



RESIDENTIAL SWIMMING POOL PERMITS APPLICATION PROCESS GUIDELINES

The following guidelines clarify and simplify the process of applying for building permits to construct swimming pools in the Town of Queen Creek.

By following these guidelines, you will ensure that your application is complete and contains the required information for the plan review and permitting process.

Simple Swimming Pool Permit Approval Process

Step 1. **Applicant** will complete and submit the following through the Development Nexus:

- Permit Application
- Licensed Contractor Declaration (Permit Application Supplement)
- Dimensioned site plan
- Engineered construction plans and calculations (Not required for above ground pools)

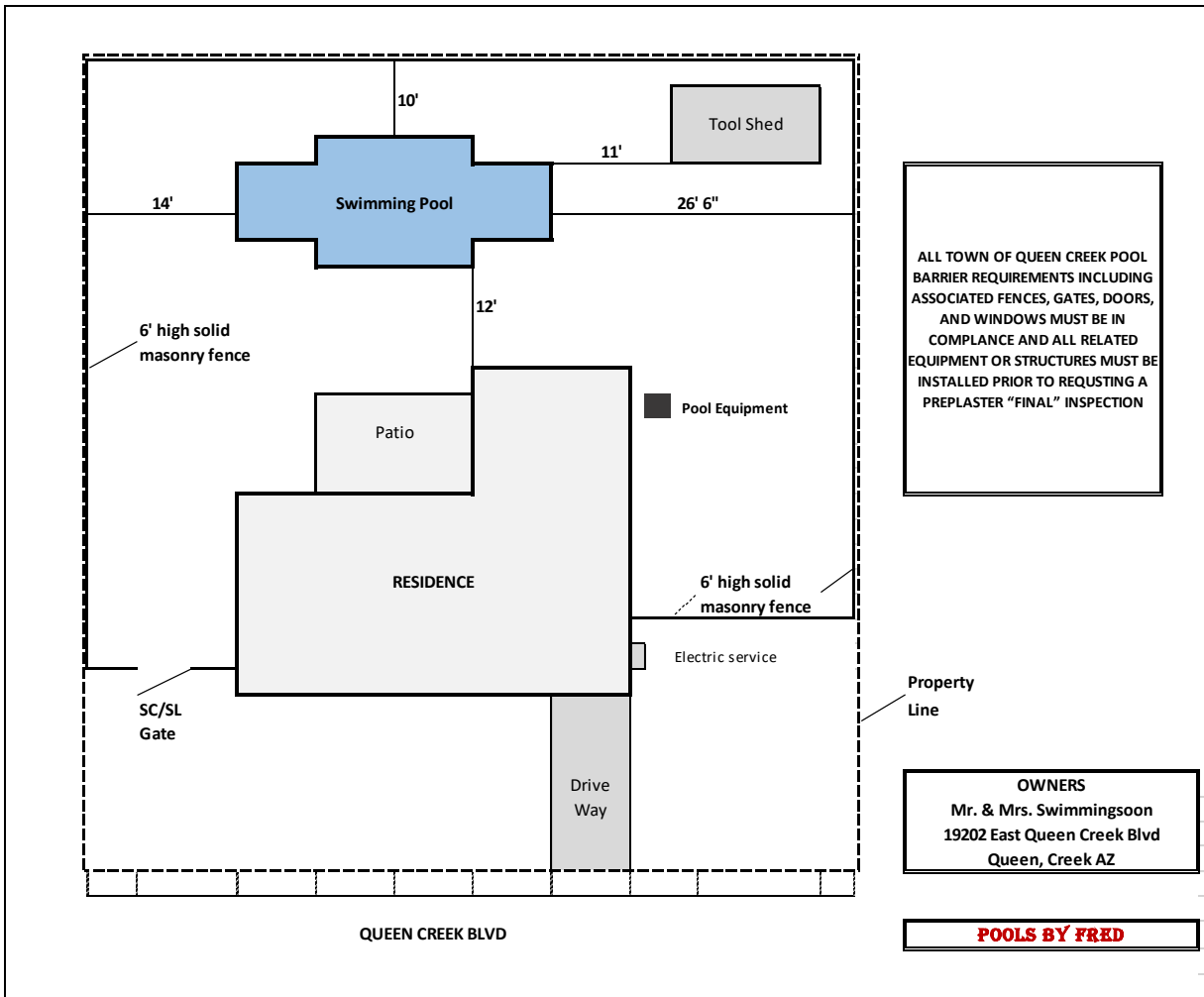
Step 2. **Town of Queen Creek** will then perform the following:

- Verify that all submittal documents are complete and legible
- Building safety will perform their plan review
- Development Engineering will perform their site plan review (on lots required to retain storm water)
- If plans are approved: Prepare documents for permit issuance and notify applicant to pay associated permit permits. The applicant then prints the approved plans, inspection record, and building permit from the Development Nexus.

OR

- If plans are not approved: Applicant will then need to correct plans and resubmit them for subsequent plan reviews until plans meet all requirements and are approved.

MINIMUM REQUIREMENTS FOR SITE PLANS



At a minimum, all swimming pool site plans are required to provide the following information in a legible format:

1. Perimeter boundary lot lines of the residential property.
2. Property address.
3. An accurate outline of all existing buildings, structures, and easements on the site.
4. An accurate outline of the swimming pool, hot tub, or spa in its proposed location.
5. Dimensions from swimming pool, hot tub, or spa to each lot line, dwelling, and accessory structures.
6. Pool equipment location.
7. Location and height of code compliant swimming pool barrier fence and gates.
8. Show pedestrian gates as self-closing and self-latching and they must be shown swinging out away from the pool.

9. Show vehicle gates must be shown as padlocked.
10. Description of the barrier fence to include materials, size of all openings, configuration etc.
11. This note must appear on the plan:
“ALL TOWN OF QUEEN CREEK POOL BARRIER REQUIREMENTS INCLUDING ASSOCIATED FENCES, GATES, DOORS, AND WINDOWS MUST BE IN COMPLIANCE AND ALL RELATED EQUIPMENT OR STRUCTURES MUST BE INSTALLED PRIOR TO REQUESTING A PRE-PLASTER “FINAL” INSPECTION”
12. Wrought iron fence and view fence details must be on the plans. Please provide a detail of wrought iron fencing or view fencing on all plans.
13. The detail is a dimensioned drawing showing how the wrought iron fence is to be constructed for this site. The detail must depict a fence at least 60 inches high, an ornamental pattern that will not allow a 4 inch sphere to pass through, horizontal members at least 45 inches apart, and the bottom of the fence or gates less than 2 inches above earth or less than 4 inches above concrete.
14. View fencing details must show height of block wall and height of wrought iron and total height of the fence.
15. Site plans that do not contain the minimum required information may not be acceptable for review.
16. The Queen Creek Pool Barrier Requirements with Commentary is available at:
17. <http://www.queencreek.org/home/showdocument?id=15707> Perimeter boundary lot lines of the residential property.

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LICENSED CONTRACTOR DECLARATION FORM

Licensed Contractors

Please note that under Arizona State Statutes 32-1169, A, as part of the municipal building permit application procedures, registered contractors are required to file a signed statement that they are currently licensed and they are required to supply their license number. The Licensed Contractor Declaration is intended for that purpose and it must be completed prior to permit issuance.

Owner/Builders

Owner/Builders may declare an exemption under Arizona State Statutes 32-1121, A 5. However, Arizona State Statutes 32-1169, A, requires the name and license number of any general, mechanical, electrical, or plumbing contractor who will be employed on the work. The Licensed Contractor Declaration is intended for that purpose and it must be completed prior to permit issuance.



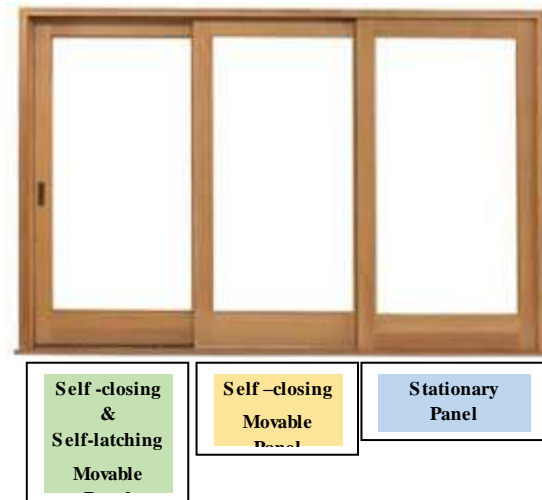
Licensed Contractor Declaration Permit Application Supplement

Licensed Contractor Declaration State Statute 32-1169 A			
Project Address			
Contract Name		Phone Number	
Contractor Business Name		Phone Number	
Mailing Address	City	State	Zip Code
Email Address			
ROC License Number		License Class	
Signature		Date	
Owner/Builder Declaration of Exemption State Statute 32-1121 A			
<input type="checkbox"/> Owners of property who improve such property or who build or improve structures or appurtenances on such property and who do the work themselves, with their own employees or with duly licensed contractors, if the structure, group of structures or appurtenances, including the improvements thereto, are intended for occupancy solely by the owner and are not intended for occupancy by members of the public as the owner's employees or business visitors and the structures or appurtenances are not intended for sale or for rent.			
<input type="checkbox"/> Owners of property who are acting as developers and who build structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor licensed pursuant to this chapter and owners of property who are acting as developers, who improve structures or appurtenances to structures on their property for the purpose of sale or rent and who contract for such a project with a general contractor or specialty contractors licensed pursuant to this chapter. To qualify for the exemption under this paragraph, the licensed contractors' names and license numbers shall be included in all sales documents.			
I understand that State Statute 32-1169 B. states that: The filing of an application containing false or incorrect information concerning an applicant's contractor's license with the intent to avoid the licensing requirements of this chapter is unsworn falsification pursuant to section 13-2704.			
Signature		Date	

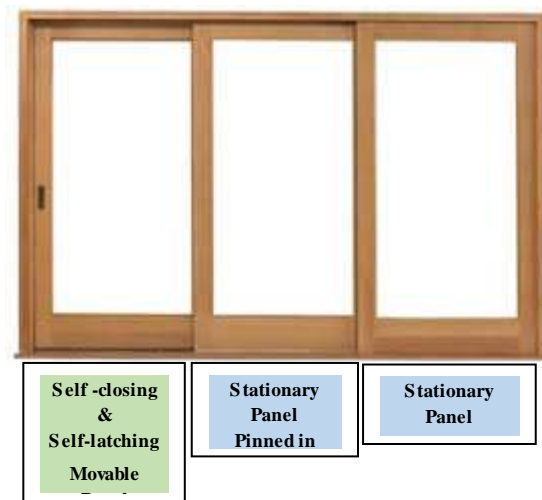
MULTIPLE PANEL SLIDING DOORS

The Town of Queen Creek swimming pool barrier requirements and the Arizona State Statutes require all doors with direct access to swimming pools to be self-closing and self-latching with a latch at least 54" above the floor. These requirements also apply to sliding glass doors with direct access to a swimming pool.

Therefore, all movable panels must be equipped with an approved self-closing device and the last movable panel must also be equipped with a self-latching mechanism located at least 54 inches above the floor as shown below:



As an alternative, multiple movable panels may be permanently pinned top and bottom to make them stationary and the last moving panel equipped with an approved self-closing device and a self-latching mechanism located at least 54 inches above the floor.



Pinning is accomplished by installing metal angles and non-reversible one-way screws as shown below:

