



TOWN OF
QUEEN CREEK
ARIZONA

TO: PLANNING & ZONING COMMISSION

THROUGH: BRETT BURNINGHAM, DEVELOPMENT SERVICES DIRECTOR

FROM: ERIK SWANSON, PLANNING ADMINISTRATOR, MALLORY RESS, PLANNER I,
MALLORY RESS, PLANNER I

RE: PUBLIC HEARING AND POSSIBLE ACTION ON CASES P23-0024 AND P23-0028
AT&T MONOPALM AT U-HAUL CONDITIONAL USE PERMIT, AND SITE PLAN, A
REQUEST FOR SITE PLAN AND CONDITIONAL USE PERMIT APPROVAL FOR THE
CONSTRUCTION OF A NEW 80-FOOT TALL MONOPALM CELL TOWER WITHIN A
1200SQ.FT. WALLED EQUIPMENT COMPOUND

DATE: December 13, 2023

Suggested Action:

Staff recommends approval of cases P23-0024 and P23-0028 AT&T Monopalm at U-haul CUP and Site Plan, subject to the Conditions of Approval outlined in this report.

Summary:

This proposal consists of a request from Marck Sawyer, Smart Link Group, for CUP and Site Plan approval to allow AT&T to construct an 80-foot tall monopalm wireless communication tower within a 1200sq.ft. walled equipment compound (collectively, “Wireless Communication Facility”). The Wireless Communication Facility is a portion of the overall 17.47 parcel located east of the southeast corner of Ellsworth Road and Empire Boulevard.

History:

May 17, 2017:

- Town Council approved the annexation of the 35 acre Amerco Commercial Center (P17-0009)

Sept. 20, 2017:

- Town Council approved the removal of a PAD overlay at the Amerco Commercial Center and confirmed C-2 zoning at the property, in order to facilitate the construction of the Amerco Commercial center, including two (2) auto centers and two (2) one-acre commercial pads; and a U-Haul Service and Storage Center

Project Information:

Project Name: AT&T Monopalm at U-Haul
 Site Location: East of the SEC of Ellsworth Rd and Empire Blvd
 Current Zoning: C-2
 General Plan Designation: Commercial
 Surrounding Zoning Designations:
 North- Empire Blvd and R1-9 (Bellerio Residential Subdivision)
 South- C-2 (Ameripark RV and Boat Storage/U-Haul facility)
 East- Pinal County (CR-1A Creekside Estates Residential Subdivision)
 West- C-2 (Earnhardt Auto Dealership)
 Facility Area: 1200sq.ft.

Total site Acreage: Approx. 17.47 acres
Monopalm Height: 80-feet

Discussion:

This proposal consists of a request from Marck Sawyer, Smart Link Group, for CUP and Site Plan approval to allow for the construction of a new 80-foot tall monopalm communication tower within a 1200sq.ft. walled equipment compound (collectively, “Wireless Communication Facility”) located east of the southeast corner of Ellsworth Road and Empire Boulevard. The applicant has indicated that there is an increased need for additional cellular capacity and coverage in the region, as there are no existing towers in the immediate vicinity surrounding the Ameripark/U-Haul commercial center. The Wireless Communication Facility will initially serve AT&T as the primary service provider, but will allow for future collocations to expand the available carriers. This facility will also provide wireless communication coverage for the First Responder Network Authority, which will have a dedicated communication system during emergencies for First Responders such as Police, Fire and Emergency Medical Services.

The Zoning Ordinance allows wireless communication towers to a top height of 80-feet. The proposed tower meets this requirement and the applicant has provided the following justification for the need for the 80-foot height. At 80-feet, the tower allows the equipment to propagate and cover a wider area of Queen Creek than if the height was reduced. The antennas are able to move over terrain better without blockage of the signal as the technology works optimally at taller heights. Additionally, AT&T also and always wants to make certain that another carrier may collocate so that additional towers in the vicinity are not needed. This specific location was chosen as it is a large commercial parcel and the tower would not be as intrusive to the surrounding properties.

The monopalm will be contained within a 30’ x 40’ equipment compound area leased from AREC 47 LLC, the property owner, on a portion of their parcel just outside of the site walls for the existing RV and Boat storage facility. Access is granted and maintained via an easement that spans south off of Empire Boulevard. The pole is designed to mimic the appearance of a palm tree, which meets the intent of the stealth requirement for telecommunication facilities. With regard to setbacks, the Zoning Ordinance calls for a base setback of 3-feet from each property line with an additional 1-foot of distance for every 1-foot of tower height over 15-feet. For the proposed 80-foot high monopalm, this standard warrants a minimum 68-foot setback from each property line. The proposed pole meets the required setbacks for all property lines. The closest setback is 145-feet from the north (Empire Boulevard adjacent) property line. The setback of the monopalm from all other property lines is at least 400-feet.

The site is located approximately 255-feet from the closest residential area to the north, across Empire Blvd., and approximately 400-feet from the residential area to the east. As the site is within the 300-foot notification buffer, property owners within this buffer were notified via mail of the neighborhood and public hearing meetings. With the proximity of the existing uses in the area, include RV and Boat Storage and the U-Haul rental facility, Staff supports the location and design of the site as presented.

Public Participation:

A notification letter was sent on November 3, 2023 to all property owners of record within 300 feet of the proposed monopalm. The neighborhood meeting was held on November 20, 2023. No residents attended this meeting. To date the applicant and Staff have not received any public input.

Analysis:

General Plan: The General Plan Land Use designation for this project is Commercial. This project site was originally incorporated into the Town in May of 2017, as part of the overall Amerco Commercial Center. The equivalent zoning of C-2/PAD (General Commercial) was applied, which is in conformance with the Commercial Land Use Designation that exists today.

Zoning Review: In September 2017, the site was rezoned to remove the PAD overlay and confirm the

C-2 zoning at the property. The current zoning designation of the property is C-2. A Conditional Use Permit is being requested to allow the monopalm and its associated ground-level equipment compound on-site, as set forth within the Town of Queen Creek Zoning Ordinance.

Landscape and Wall Review: To assist with screening the wireless facility equipment compound, the applicant is proposing 11 new Fan Tex Ash trees spaced evenly along the north and east boundaries of the compound. An 8-foot high CMU wall, painted to match the existing site walls, is proposed around the equipment compound. All ground level equipment, including transformers, bollards and compound access gate, will be painted to match the compound walls.

Conditional Use Review: Conditional Use Permits are authorized under Article 3.5 Conditional Use Permits of the Zoning Ordinance. Conditional uses are those uses that are generally compatible with the land uses permitted by right in a zoning district, but which require individual review of their location, design and configuration and the imposition of conditions in order to ensure the appropriateness of the use as a particular location within a given zoning district.

Conditional use review in the Zoning Ordinance sets forth the following criteria for evaluating a proposed conditional use:

1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Applicant's Response- AT&T has designed the site in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of the Zoning Ordinance, and any applicable performance standards as set forth in article 6 of the this Ordinance.

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type and height of buildings or structures and the type and extent of landscaping and screening on the site.

Applicant's Response- The site has utilized a widely accepted stealth design of a MonoPalm. This design conforms to the character of the neighborhood, within the same zoning district, in which it is located. Selecting this design, AT&T considered the site location, type, and height of the building or structures and the type and extent of landscaping and screening on the site.

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Applicant's Response- The property on which the proposed tower will be located is currently developed and no further improvements are needed for the operation of the facility. Existing utilities, access roads, drainage, fire protection, and other facilities are sufficient for the proposed communication facility.

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Applicant's Response- The property on which the proposed tower will be located is currently developed and no further improvements are needed for ingress and egress. The facility is unmanned and seldom visited by AT&T personnel. Thus, the facilities operation will have no impact on traffic in the area.

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

Applicant's Response- Communication towers do not produce noxious or offensive vibrations, noises,

odors, dust, smoke or gases.

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted nor substantially diminishes or impairs the property values within the neighborhood.

Applicant's Response-Wireless communication towers are not injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood. To the contrary, reliable wireless communication services improve not only safety of the surrounding area but also value within the neighborhood.

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Applicant's Response- The addition of a wireless communication tower promotes the orderly development and improvement of surrounding property for the uses permitted within the zoning district. Wireless communication services are widely used by residential, commercial and governmental users alike. Towers are essential for the development of reliable wireless communication services.

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Applicant's Response- The establishment, maintenance, or operation of the proposed wireless communication tower is not detrimental to or endanger the public health, safety, morals, comfort, or general welfare; To the contrary, reliable wireless communication services enables emergency services to communicate and respond better and faster. AT&T is the provider of FirstNet, a national network dedicated to first responders. In emergency situations, police, fire and other first responders can use a dedicated wireless network to communicate.

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Applicant's Response- Reliable wireless communication service, including those of FirstNet, provide critical communication services to the community which is in the public interest and welfare. Cell towers promote the public interest and welfare supporting the proposed conditional use and is sufficient to outweigh any individual interests which are adversely affected by the establishment of the proposed use.

Staff believes the applicant has met the intent of the criteria for evaluating a conditional use; therefore, Staff supports the applicant's request in conformance with Article 6.9 for Wireless Communications in the Zoning Ordinance.

Conditions of Approval:

1. The Site Plan and Conditional Use Permit, as submitted, shall be subject to all the applicable provisions of the Town of Queen Creek Zoning Ordinance under Article 6.9 Wireless Communications.
2. Signage which advertises the facility, product or services shall be prohibited.
3. The applicant shall be responsible for removing the tower/pole within ninety (90) days when the operations cease to exist.
4. The monopalm shall be maintained in a manner similar to its condition at the time of installation consistent with the exhibits and details as submitted.
5. Mechanical equipment, electrical meter and service components, and similar utility devices, if proposed at ground level, shall be screened from public view and designed to appear as an integral part of the facility.

Attachment(s):

1. [Aerial.pdf](#)
2. [General Plan.pdf](#)
3. [Zoning.pdf](#)
4. [Site Plan.pdf](#)
5. [Photo Simulations.pdf](#)

Project Name: AT&T Monopalm at U-haul

Case Numbers: P23-0024 (CUP) and P23-0028 (Site Plan)

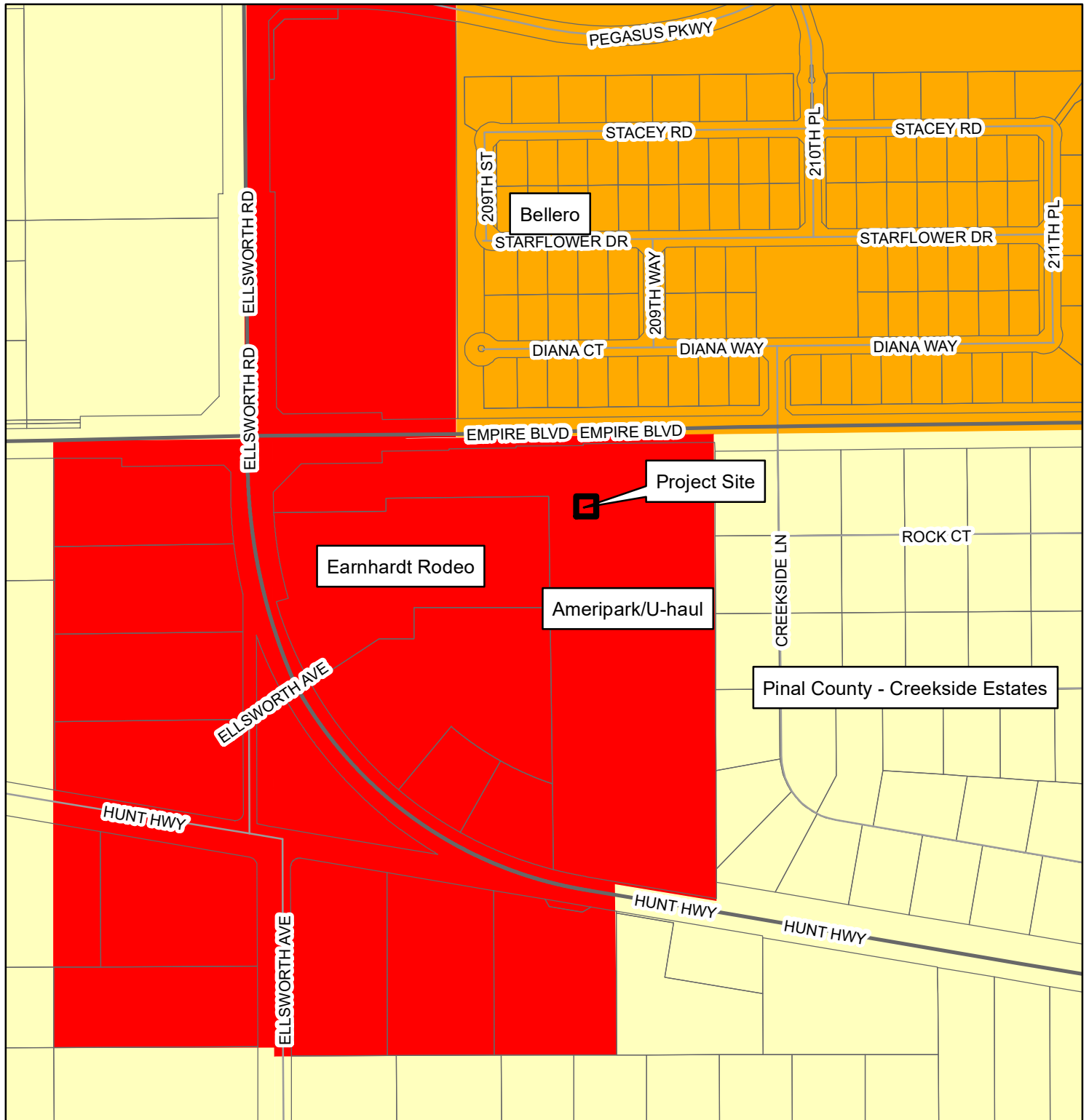
**Hearing Dates: December 13, 2023 (Planning Commission)
January 17, 2024 (Town Council)**



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Hearing Date: December 13, 2023 (Planning Commission)
January 17, 2024 Town Council



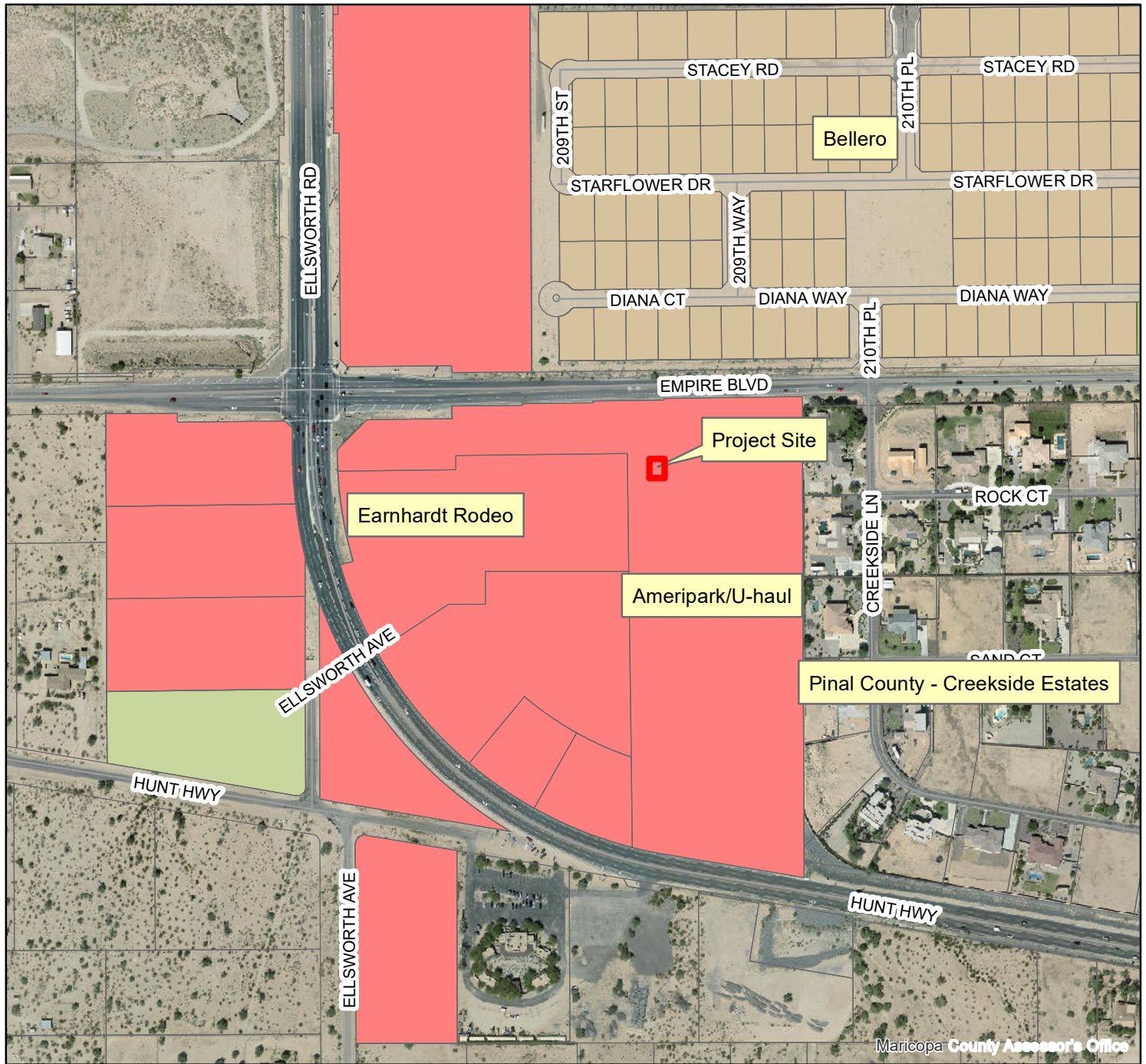
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |

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Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
TC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment
			MU - Mixed Use

PROJECT TEAM

CLIENT REPRESENTATIVE
 COMPANY: SMARTLINK, GROUP
 ADDRESS: 8767 E. VIA DE VENTURA, SUITE 200
 CITY, STATE, ZIP: SCOTTSDALE, AZ 85258
 CONTACT: JOHN TISHUCK
 PHONE: (480) 262-6316
 E-MAIL: JOHN.TISHUCK@SMARTLINKGROUP.COM

PROJECT OWNER
 COMPANY: AT&T
 ADDRESS: 1355 WEST UNIVERSITY DRIVE
 CITY, STATE, ZIP: MESA, AZ 85201-5419

PROFESSIONAL OF RECORD
 COMPANY: SMARTLINK, GROUP
 ADDRESS: 1997 ANNAPOLIS EXCHANGE PKWY, STE 200
 CITY, STATE, ZIP: ANNAPOLIS, MD 21401
 CONTACT: JASON HADLEY
 PHONE: (801) 380-0282
 E-MAIL: JASON.HADLEY@SMARTLINKGROUP.COM

PROPERTY OWNER
 COMPANY: AREC 47, LLC
 ADDRESS: PO BOX 29046
 CITY, STATE, ZIP: PHOENIX, AZ 85038

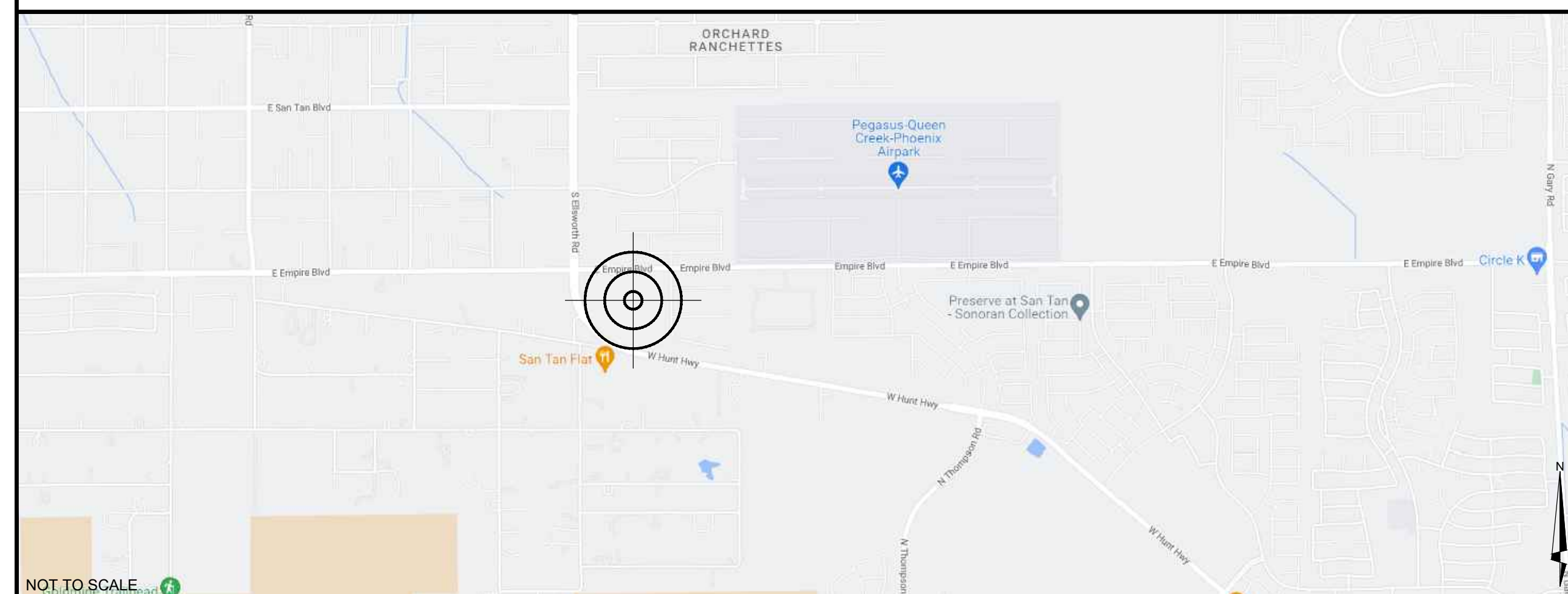
TOWER OWNER
 COMPANY: AT&T
 ADDRESS: 1355 WEST UNIVERSITY DRIVE
 CITY, STATE, ZIP: MESA, AZ 85201-5419



**AZL01502
 QUEEN CREEK U-HAUL
 6028 W. HUNT HWY
 QUEEN CREEK, AZ 85142
 PINAL COUNTY**

PTN: 3901A11SF1, 3901A160DW, 3901A175XJ, 3901A160EB, 3901A160DY, 3901A15ZM9, & 3901A160DN
 PACE#: MRANM042176, MRANM049199, MRANM049237, MRANM050710, MRANM049197, MRANM049239, MRANM049295, & MRANM049265
FA: 15456894 USID: 319207

VICINITY MAP



DRIVING DIRECTIONS

FROM AT&T OFFICE: 1355 WEST UNIVERSITY DRIVE, MESA, AZ 85201-5419:
 GET ON US-60 E FROM N ALMA SCHOOL RD. CONTINUE ON US-60 E TO AZ-24. TAKE EXIT 34A FROM AZ-202 / AZ-202 LOOP S. TAKE S ELLSWORTH RD TO E EMPIRE BLVD IN QUEEN CREEK. CONTINUE EAST ON E EMPIRE BLVD FOR ±0.2 MILES. SITE WILL BE ON THE RIGHT.

CODE COMPLIANCE

BUILDING CODE: INTERNATIONAL BUILDING CODE 2018
 ELECTRICAL CODE: NATIONAL ELECTRICAL CODE 2017
 LIGHTNING PROTECTION CODE: NFPA 780 - 2000, LIGHTNING PROTECTION CODE

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
 FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

RFDS DATA

DESIGN PACKAGE BASED ON RF DATA SHEET
 RFDS NAME: AZL01502
 RFDS DATE: 06/13/2022
 REVISION: V1.0
 RFDS VERSION: 5.00
 RFDS ID: 5270722
 CREATED BY: KA053U DATE: 06/13/2021 01:08:49 PM
 UPDATED BY: AC7856 DATE: 11/16/2022 11:59:41 AM
 NUMBER OF SECTORS: 3
 NUMBER OF ANTENNAS: 9
 NUMBER OF TMA'S: 0
 NUMBER OF RRH'S: 12
 NUMBER OF COAX CABLES: 0
 NUMBER OF FIBER/DC SQUID: 2
 NUMBER OF FIBER TRUNK CABLES: 2
 NUMBER OF DC TRUNK CABLES: 6
 NUMBER OF RET CABLES: 3

APPROVALS

AT&T (RF): _____ DATE: _____
 AT&T (CONST.): _____ DATE: _____
 AT&T (SAM): _____ DATE: _____
 LANDLORD: _____ DATE: _____
 LANDLORD: _____ DATE: _____

PROJECT DESCRIPTION

THIS PROJECT WILL BE COMPRISED OF:
NEW AT&T ANTENNA ARRAY:
 • INSTALL (1) NEW ANTENNA PLATFORM MOUNT ON PROPOSED MONOPALM
 • INSTALL (9) NEW ANTENNAS, (3) PER SECTOR, (3) SECTORS
 • INSTALL (6) NEW RRH'S, (1) AIRSCALE TRI RRH 4T4R B12/14/29 370W AHLBBA PER SECTOR, (1) AIRSCALE DUAL RRH 4T4R B25/66 320W AHFIB PER SECTOR, (3) SECTORS
 • INSTALL (2) NEW DC3 SURGE SUPPRESSORS
 • INSTALL (6) NEW DC TRUNK CABLES (#6 AWG)
 • INSTALL (2) NEW FIBER TRUNKS (24 PR)

NEW AT&T EQUIPMENT AREA:
 • INSTALL NEW ULL LISTED 3-BAY WALK UP CABINET (WUC) ON NEW GRAVITY MOUNT PLATFORM. EMU(NEQ.20579)
 • INSTALL (1) NEW SPD CABINET ON NEW UNISTRUT RAIL
 • INSTALL NEW DIESEL NEQ.20574 POLAR POWER, INC. 8220-100-D-20-03-V...48 VDC; 20KW; DC GENERATOR HORIZONTAL ENCLOSURE WITH 54 GALLON FUEL TANK WITH OPV ON NEW GALV. GRAVITY MOUNT PLATFORM
 • INSTALL (6) NEW 4"Ø SCHED. 80 CONDUITS FROM SPD CABINET TO TOWER
 • INSTALL 2.5"Ø CONDUIT FROM LEC MEET POINT TO NEW WUC
 • INSTALL (1) NEW GPS UNIT TO UNISTRUT RAIL

PERMANENT STANDBY GENERATOR:
 MINIMUM REQUIRED BATTERY BACKUP TIME IS 2.0 HOURS.

BATTERY CHECK:
 • SITE WILL HAVE (2) STRINGS (8 CELLS) OF NEW ENERSYS 190 AMP-HOUR BATTERIES IN BOTTOM SECTION OF NEW DC POWER PLANT RACK, CONFIGURED AS (4) CELLS PER STRING @ -48 VDC NOMINAL. (INSTALLED BY OEM) THREE STRINGS WILL ACHIEVE 1.9 HRS OF BATTERY RESERVE CAPACITY.

HVAC UNITS:
 • SITE HAS A ONE 1-TON HVAC UNIT AND (1) DAC UNIT (DIRECT AIR COOLING).

DC POWER PLANT, RECTIFIERS & CONVERTERS:
 • NEW WUC CABINET WITH (1) EA. VERTIV INDOOR NETSURE 7100 -48VDC/-58VDC POWER PLANT EQUIPPED WITH (3) EA. BATTERY TRAYS (NEQ.53545)
 • INSTALL (10) EA. NEW VERTIV HE 2KW -48VDC RECTIFIERS (NEQ.15930) TO SATISFY N+1 REDUNDANCY.
 • INSTALL (8) EA. NEW -48VDC/-48VDC 2KW CONVERTER MODULES (NEQ.53011) TO SATISFY N+1 REDUNDANCY.

DC CIRCUIT BREAKERS (SEE SHEET E-2 FOR DC BREAKER PANEL SCHEDULE):
 (1) EA. 10 AMP [NEQ.Q0B110] (2) EA. 20 AMP [NEQ.Q0B120]
 (7) EA. 40 AMP [NEQ.Q0B140] (10) EA. 50 AMP [NEQ.Q0B150]
 (2) EA. 100 AMP [NEQ.Q0B2100]
 EA. 400 AMP 4-POLE [GENERATOR INPUT CB P/N 564219]

GENERAL NOTES

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.
 THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.
 PDF DRAWING ISSUED AS 24X36 SHALL BE PRINTED 50% SCALE CENTERED ON PAGE FOR 11X17 PRINTS. PDF DRAWINGS ISSUED 11X17 SHALL BE PRINTED 100% CENTERED.

SITE INFORMATION

LATITUDE: 33° 12' 16.518" (33.2045883°)
 LONGITUDE: -111° 37' 52.478" (-111.6312438°)
 LATLONG TYPE: NAD 83
 GROUND ELEVATION: 1447.4' AMSL -NAVD88
 APN #: 509041820
 AREA OF CONSTRUCTION: PROPOSED
 ZONING/JURISDICTION: PINAL COUNTY
 CURRENT ZONING: 0112L - COMMERCIAL / REAL AND IMPROVEMENTS
 PROPOSED USE: UNMANNED TELECOMMUNICATIONS FACILITY
 COUNTY: PINAL COUNTY
 HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.
 TRANSPORT SOLUTION: TBD
 COMMERCIAL POWER PROVIDER: TBD
 COMMERCIAL POWER INSPECTING AUTHORITY: TBD



1355 WEST UNIVERSITY DRIVE
 MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO AT&T WIRELESS
 ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED



RAMAKER
 employee-owned
 (608) 643-4100 www.ramaker.com



8767 E. VIA DE VENTURA
 SUITE 200
 SCOTTSDALE, AZ 85258

SHEET	DESCRIPTION
T-1	TITLE SHEET
T-2	SPECIFICATIONS
T-3	SPECIFICATIONS
T-4	LEGEND & ABBREVIATIONS SPECIFICATIONS
LS-1	SITE SURVEY
A-1.1	OVERALL SITE PLAN
A-1.2	ENLARGED SITE PLAN
A-1.3	ENLARGED GRADING PLAN
A-1.4	EROSION CONTROL DETAILS
A-2	EQUIPMENT COMPOUND PLAN
A-3	ELEVATION
A-4	ELEVATION
A-5	EQUIPMENT & ANTENNA LAYOUT
A-6	SIGNAGE
L-1	LANDSCAPING PLAN
E-1	ELECTRICAL ONE-LINE AND PANEL
E-2	DC PANEL
E-3	UTILITY PLANS
G-1	GROUNDING PLANS

REV.	DATE	REVISION DESCRIPTION
E	11/03/2023	REVISED PER REDLINES
D	07/24/2023	REVISED ACCESS EASEMENT
C	03/23/2023	REVISED PER REDLINES
B	11/23/2022	REVISED PER REDLINES
A	10/31/2022	ISSUE FOR PERMIT

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND SPEC'S. UNLESS SPECIFICALLY STATED OTHERWISE, THE MANUFACTURERS EQUIPMENT INSTALLATION SPEC'S SHALL ALWAYS BE VERIFIED BY THE CONTRACTOR BEFORE INSTALLATION

PROJECT INFORMATION:
**AZL01502
 QUEEN CREEK U-HAUL
 6028 W. HUNT HWY
 QUEEN CREEK, AZ 85142
 PINAL COUNTY
 FA: 15456894
 USID: 319207**

DRAWN BY: **ZMV** CHECKED BY: **AS**

SHEET TITLE: **TITLE SHEET**

SHEET NUMBER: **T-1** REV.: **E**

LESSOR'S LEGAL DESCRIPTION

LOT 1, OF AMERCO COMMERCIAL CENTER, ACCORDING TO THE MAP OR PLAT THEREOF OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA, IN FEE NO. 2018-018314.

LEASE AREA LEGAL DESCRIPTION

A PORTION OF LOT 1, OF AMERCO COMMERCIAL CENTER, ACCORDING TO THE MAP OR PLAT THEREOF OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA, IN FEE NO. 2018-018314 AND BEING SITUATED WITHIN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS CAP IN HANDHOLE MARKING THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 7 EAST FROM WHICH A FOUND BRASS CAP MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 34 BEARS NORTH 89°20'24" EAST, 2641.11 FEET; THENCE NORTH 89°20'24" EAST, ALONG THE SOUTH LINE OF SAID SECTION 34 AND THE NORTH LINE OF SAID SECTION 3, 928.45 FEET; THENCE SOUTH 00°00'00" EAST, 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EMPIRE BOULEVARD; THENCE SOUTH 00°42'25" EAST, 121.58 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE NORTH, HAVING A RADIUS OF 35.00 FEET AND A CHORD WHICH BEARS SOUTH 62°24'56" EAST, 32.41 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 55°10'08", AN ARC LENGTH OF 33.70 FEET; THENCE NORTH 90°00'00" EAST, 4.33 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°00'00" EAST, 10.00 FEET; THENCE NORTH 90°00'00" EAST, 40.00 FEET; THENCE SOUTH 00°00'00" EAST, 30.00 FEET; THENCE NORTH 90°00'00" WEST, 40.00 FEET; THENCE NORTH 00°00'00" EAST, 20.00 FEET TO THE POINT OF BEGINNING.

ACCESS/UTILITY EASEMENT LEGAL DESCRIPTION

A 15.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF LOT 1, OF AMERCO COMMERCIAL CENTER, ACCORDING TO THE MAP OR PLAT THEREOF OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA, IN FEE NO. 2018-018314 AND BEING SITUATED WITHIN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, LYING 7.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A FOUND BRASS CAP IN HANDHOLE MARKING THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 7 EAST FROM WHICH A FOUND BRASS CAP MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 34 BEARS NORTH 89°20'24" EAST, 2641.11 FEET; THENCE NORTH 89°20'24" EAST, ALONG THE SOUTH LINE OF SAID SECTION 34 AND THE NORTH LINE OF SAID SECTION 3, 928.45 FEET; THENCE SOUTH 00°00'00" EAST, 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EMPIRE BOULEVARD AND TO THE POINT OF BEGINNING; THENCE SOUTH 00°42'25" EAST, 121.58 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE NORTH, HAVING A RADIUS OF 35.00 FEET AND A CHORD WHICH BEARS SOUTH 62°24'56" EAST, 32.41 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 55°10'08", AN ARC LENGTH OF 33.70 FEET; THENCE NORTH 90°00'00" EAST, 4.33 FEET TO THE POINT OF TERMINUS.

UTILITY EASEMENT LEGAL DESCRIPTION

A 10.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF LOT 1, OF AMERCO COMMERCIAL CENTER, ACCORDING TO THE MAP OR PLAT THEREOF OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA, IN FEE NO. 2018-018314 AND BEING SITUATED WITHIN THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A FOUND BRASS CAP IN HANDHOLE MARKING THE SOUTHWEST CORNER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 7 EAST FROM WHICH A FOUND BRASS CAP MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 34 BEARS NORTH 89°20'24" EAST, 2641.11 FEET; THENCE NORTH 89°20'24" EAST, ALONG THE SOUTH LINE OF SAID SECTION 34 AND THE NORTH LINE OF SAID SECTION 3, 928.45 FEET; THENCE SOUTH 00°00'00" EAST, 30.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EMPIRE BOULEVARD; THENCE NORTH 89°20'24" EAST ALONG SAID RIGHT-OF-WAY LINE, 20.90 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°00'00" EAST, 125.02 FEET TO THE POINT OF TERMINUS.

NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY PIONEER TITLE AGENCY INC., ORDER NO.: 90706592 EFFECTIVE DATE: 05/26/2022.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY AND IS NOT INTENDED TO VERIFY OWNERSHIP.
- SURVEYOR DOES NOT GUARANTEE THE LOCATION, EXISTENCE, SIZE OR DEPTH OF ANY PUBLIC OR PRIVATE UTILITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

SITE BENCHMARK

ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NAVD88 ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS, APPLYING GEOID 12B SEPARATIONS.

FLOOD ZONE

THIS IS TO CERTIFY THAT THE ABOVE SUBJECT PROPERTY LIES WITHIN ZONE 'X' AS DESIGNATED ON THE FIRM FLOOD INSURANCE RATE MAP, MAP NUMBER 04021C0450E, DATED DECEMBER 4, 2007. ZONE 'X' IS DESIGNATED AS BEING AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY UNDER THAT CIRCUMSTANCE.

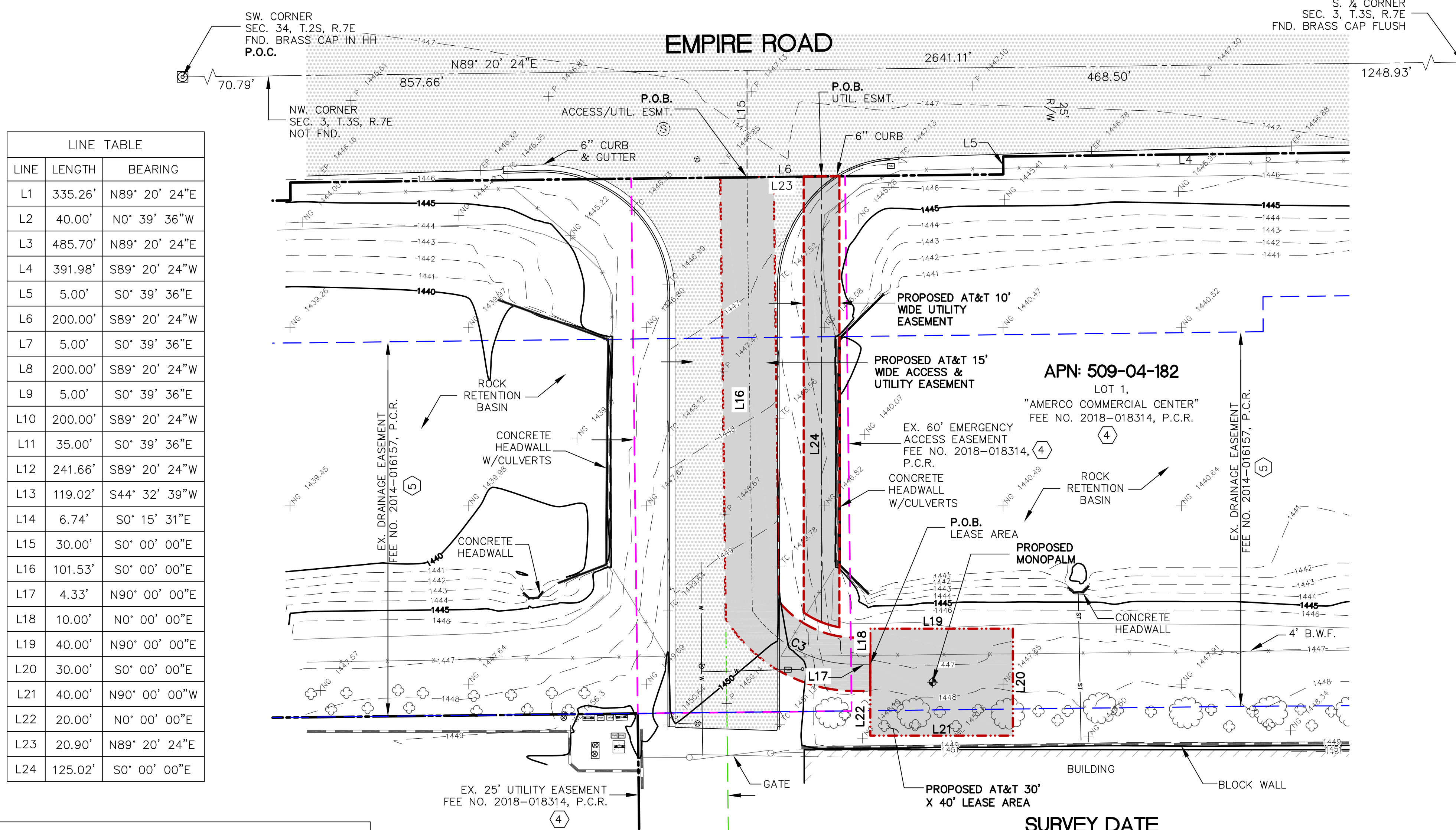
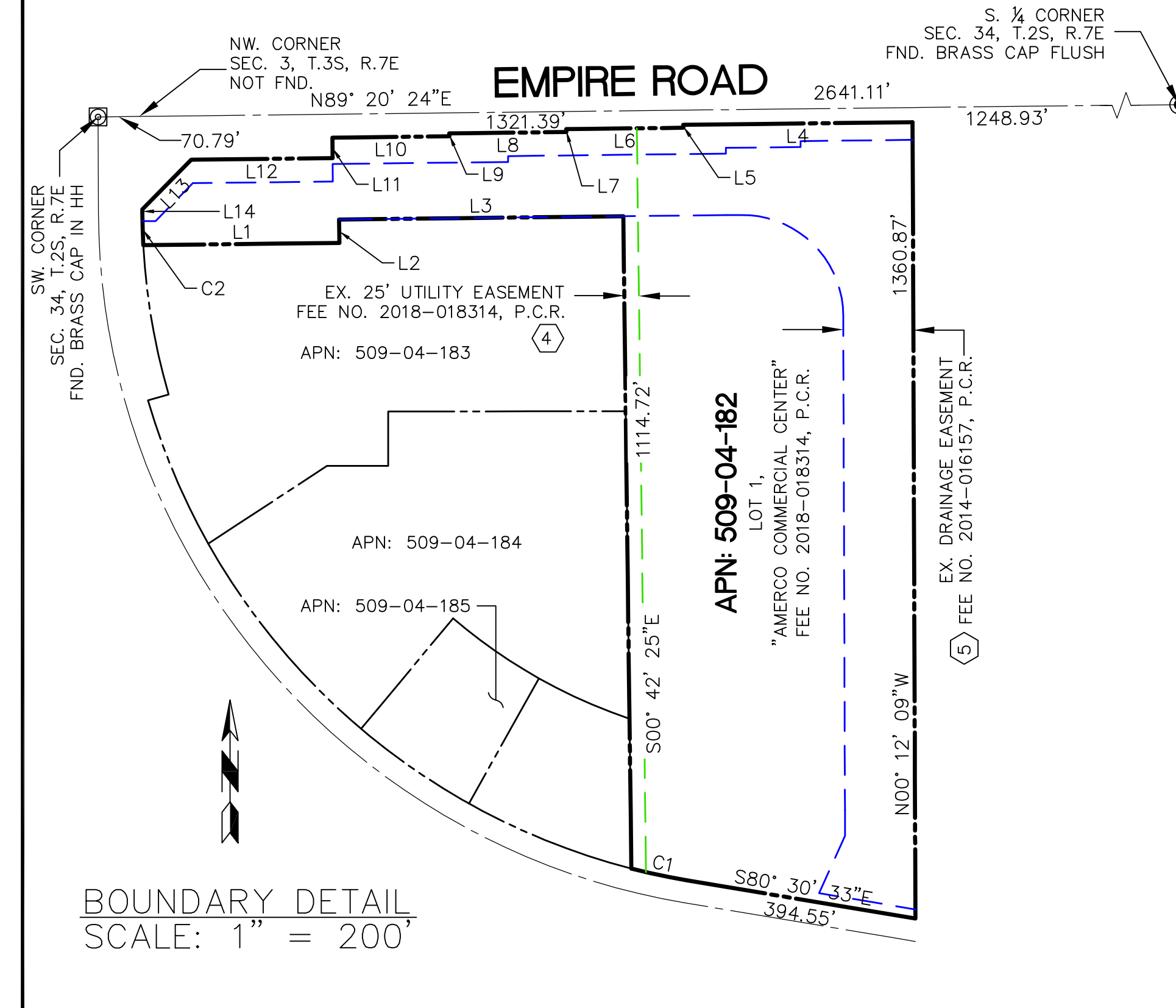
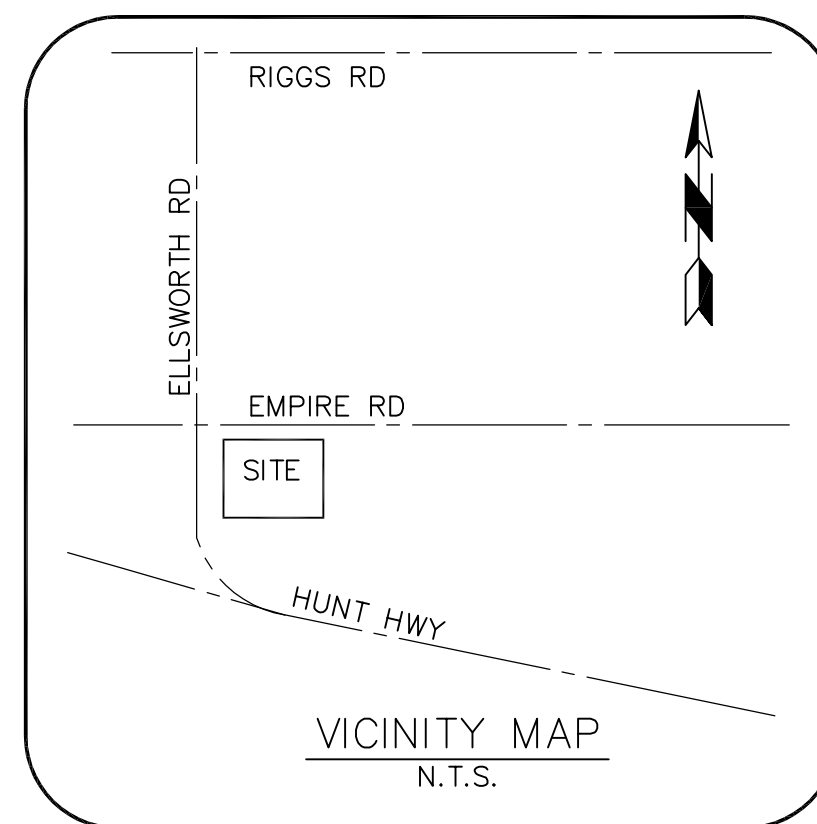
TITLE REPORT SCHEDULE "B" ITEMS

- EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED AT FEE NO. 2018-18314, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C). (AS SHOWN)
- ALL MATTERS SET FORTH IN FINAL ORDER OF CONDEMNATION ACCORDING TO THE TERMS AND CONDITIONS CONTAINED THEREIN: RECORDED IN FEE NO. 2014-16157 (AS SHOWN)
- EASEMENT AND RIGHTS INCIDENT THERETO, AS SET FORTH IN INSTRUMENT: RECORDED IN FEE NO. 2018-25788 PURPOSE POWER DISTRIBUTION AND APPURTENANT PURPOSES (DOES NOT AFFECT LEASE AREA)

SCHEDULE B ITEMS NO. 7-11 ARE BLANKET IN NATURE TO THE PARENT PARCEL.

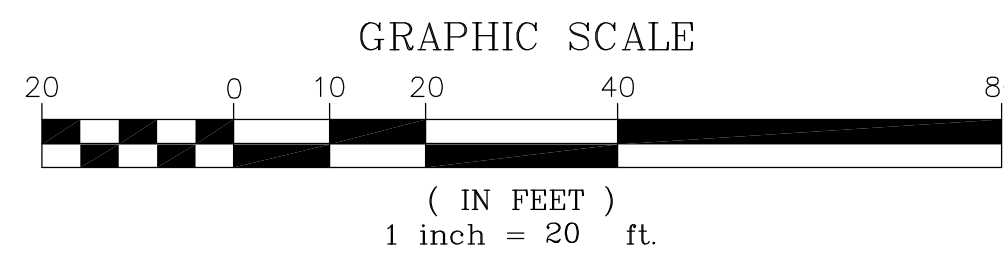
LEGEND

- | | | | |
|----------|-------------------------|---|----------------------------------|
| TC | TOP OF CURB GRADE | ⊙ | FOUND BRASS CAP IN HANDHOLE |
| WL | TOP OF WALL GRADE | ⊙ | SEWER MANHOLE |
| FND | FOUND | ⊙ | WATER VALVE |
| A.G.L. | ABOVE GROUND LEVEL | ⊙ | FIRE HYDRANT |
| A.M.S.L. | ABOVE MEAN SEA LEVEL | ⊙ | WATER METER |
| R/W | RIGHT-OF-WAY | ⊙ | BACKFLOW PREVENTER |
| --- | BOUNDARY LINE | ⊙ | IRRIGATION CONTROL VALVE |
| --- | ADJOINING BOUNDARY LINE | ⊙ | BUSH (TYP) |
| --- | EASEMENT LINE | ⊙ | TREE (TYP) |
| --- | CENTERLINE | ⊙ | SIGN |
| --- | LEASE LINE | ⊙ | BREAKLINE |
| --- | LEASE LINE | ⊙ | POSITION OF GEODETIC COORDINATES |
| --- | BARB WIRE FENCE | ⊙ | P.O.B. POINT OF BEGINNING |
| --- | IRON FENCE | ⊙ | P.O.C. POINT OF COMMENCEMENT |
| --- | U/G STORM LINE | ⊙ | EX EXISTING |
| --- | U/G WATER LINE | ⊙ | NG NATURAL GRADE |
| --- | PAVED AREA | ⊙ | P PAVEMENT GRADE |
| --- | CONCRETE AREA | ⊙ | EP EDGE OF PAVEMENT GRADE |
| | | ⊙ | B.W.F. BARB WIRE FENCE |



LINE	LENGTH	BEARING
L1	335.26'	N89° 20' 24"E
L2	40.00'	N0° 39' 36"W
L3	485.70'	N89° 20' 24"E
L4	391.98'	S89° 20' 24"W
L5	5.00'	S0° 39' 36"E
L6	200.00'	S89° 20' 24"W
L7	5.00'	S0° 39' 36"E
L8	200.00'	S89° 20' 24"W
L9	5.00'	S0° 39' 36"E
L10	200.00'	S89° 20' 24"W
L11	35.00'	S0° 39' 36"E
L12	241.66'	S89° 20' 24"W
L13	119.02'	S44° 32' 39"W
L14	6.74'	S0° 15' 31"E
L15	30.00'	S0° 00' 00"E
L16	101.53'	S0° 00' 00"E
L17	4.33'	N90° 00' 00"E
L18	10.00'	N0° 00' 00"E
L19	40.00'	N90° 00' 00"E
L20	30.00'	S0° 00' 00"E
L21	40.00'	N90° 00' 00"W
L22	20.00'	N0° 00' 00"E
L23	20.90'	N89° 20' 24"E
L24	125.02'	S0° 00' 00"E

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LENGTH
C1	98.56'	1161.50'	4°51'42"	S78° 00' 43"E	98.53'
C2	54.42'	1125.00'	2°46'18"	S1° 38' 40"E	54.41'
C3	33.70'	35.00'	55°10'08"	S62° 24' 56"E	32.41'



SURVEY DATE

THE FIELD SURVEY FOR THE PROJECT WAS COMPLETED ON 07/01/2022.

CENTER OF GEODETIC COORDINATES

PROPOSED MONOPALM LOCATION
 LATITUDE: 33° 12' 16.518" (33.2045883°) NORTH (WGS84)(NAD83)
 LONGITUDE: 111° 37' 52.478" (111.6312438°) WEST (WGS84)(NAD83)
 ELEVATION @ GRADE = 1447.4' (NAVD88)



SITE NAME:
AZL01502
QUEEN CREEK AZ
 SITE ADDRESS:
 6028 W. HUNT HIGHWAY
 QUEEN CREEK, AZ 85142

SUBMITTALS

NO.	BY	DATE	SUBMITTAL
1	MG	07/08/22	SUBMITTAL 1
2	MG	08/01/22	FINAL SUBMITTAL
3	MG	10/28/22	TITLE REVIEW
4	MG	07/11/23	REVISION

TERRAMARK
 LAND SURVEYING
 24654 N. LAKE PLEASANT PKWY #103-163
 PEORIA, AZ 85383
 P. 480-440-1748
 F. 623-777-1782
 www.terramarksurveying.com

Handwritten Signature

SITE SURVEY

JOB NO: 2205005	FIELD BY: BC	DRAWN BY: MG
--------------------	-----------------	-----------------

SHEET NO.: 1 OF 1	SHEET NAME: LS-1
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NOTE:
 MODELSPACE LINework BASED ON SURVEY BY
 TERRAMARK LAND SURVEYING, DATED 07/11/2023

NOTE:
 EXISTING FOLIAGE IN WORK
 AREAS TO BE RELOCATED
 PRIOR TO ANY CONSTRUCTION

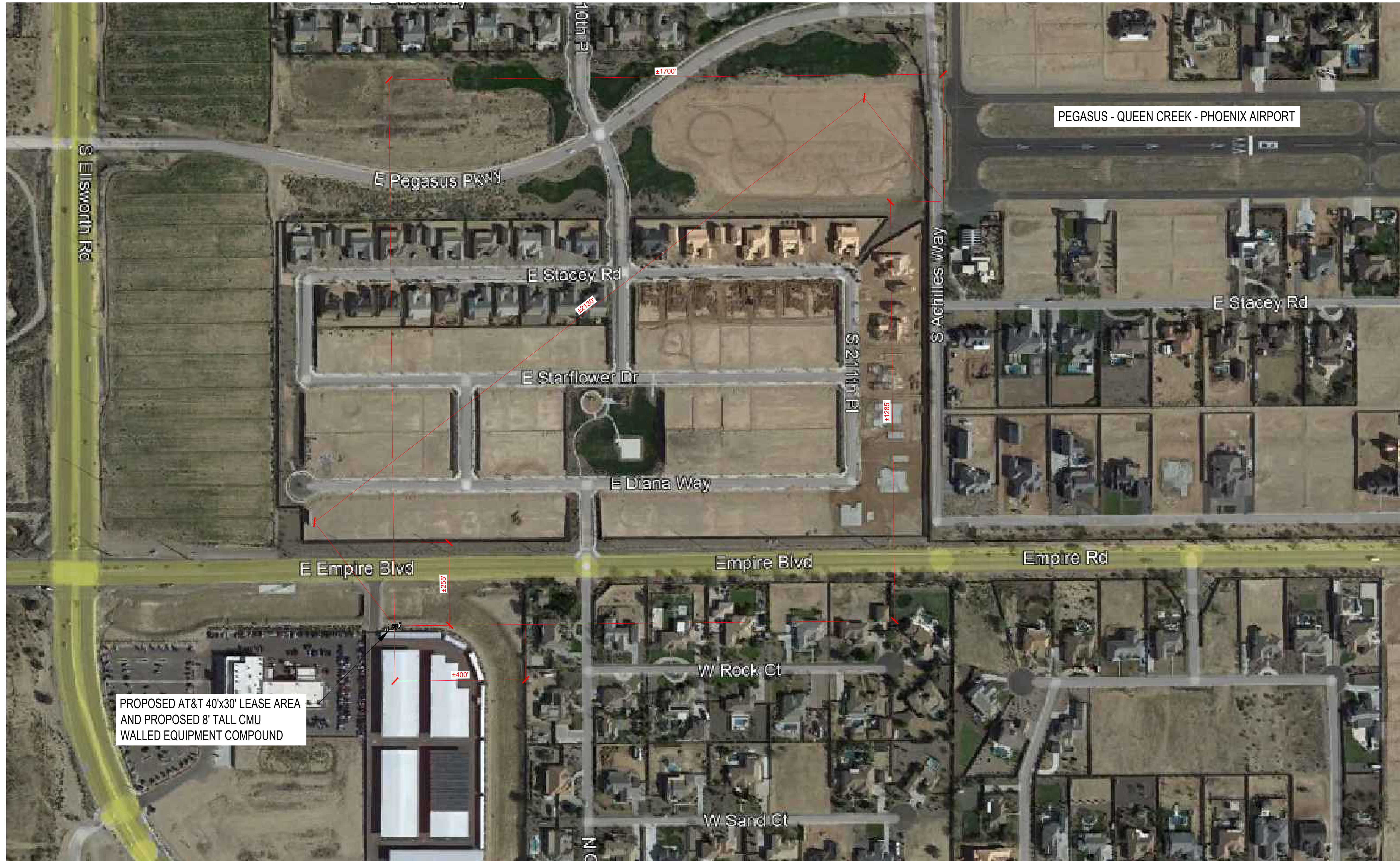
Call at least two full working days
 before you begin excavation.
ARIZONA 811
 Arizona Blue Stake, Inc.
 Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
 In Maricopa County: (602) 263-1100

AT&T
 1355 WEST UNIVERSITY DRIVE
 MESA, AZ 85201-5419

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS
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smartlink
 8767 E. VIA DE VENTURA
 SUITE 200
 SCOTTSDALE, AZ 85258



PROPOSED AT&T 40'x30' LEASE AREA
 AND PROPOSED 8' TALL CMU
 WALLED EQUIPMENT COMPOUND

PEGASUS - QUEEN CREEK - PHOENIX AIRPORT

REV.	DATE	REVISION DESCRIPTION
E	11/03/2023	REVISED PER REDLINES
D	07/24/2023	REVISED ACCESS EASEMENT
C	03/23/2023	REVISED PER REDLINES
B	11/23/2022	REVISED PER REDLINES
A	10/31/2022	ISSUE FOR PERMIT

THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND
 MATERIALS IN ACCORDANCE WITH MANUFACTURERS
 RECOMMENDATIONS AND SPECS, UNLESS SPECIFICALLY
 STATED OTHERWISE. THE MANUFACTURERS EQUIPMENT
 INSTALLATION SPECS SHALL ALWAYS BE VERIFIED BY THE
 CONTRACTOR BEFORE INSTALLATION

PROJECT INFORMATION:
 AZL01502
 QUEEN CREEK U-HAUL
 6028 W. HUNT HWY
 QUEEN CREEK, AZ 85142
 PINAL COUNTY
 FA: 15456894
 USID: 319207

DRAWN BY: ZMV CHECKED BY: AS

SHEET TITLE:
 OVERALL
 SITE PLAN

SHEET NUMBER: A-1.1 REV.: E

OVERALL SITE PLAN

22"x34" SCALE: 1" = 160'-0"
 11"x17" SCALE: 1" = 320'-0"
 160' 80' 0' 160'



1

NOTE:
MODELSPACE LINework BASED ON SURVEY BY
TERRAMARK LAND SURVEYING, DATED 07/11/2023

NOTE:
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AREAS TO BE RELOCATED
PRIOR TO ANY CONSTRUCTION

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MESA, AZ 85201-5419

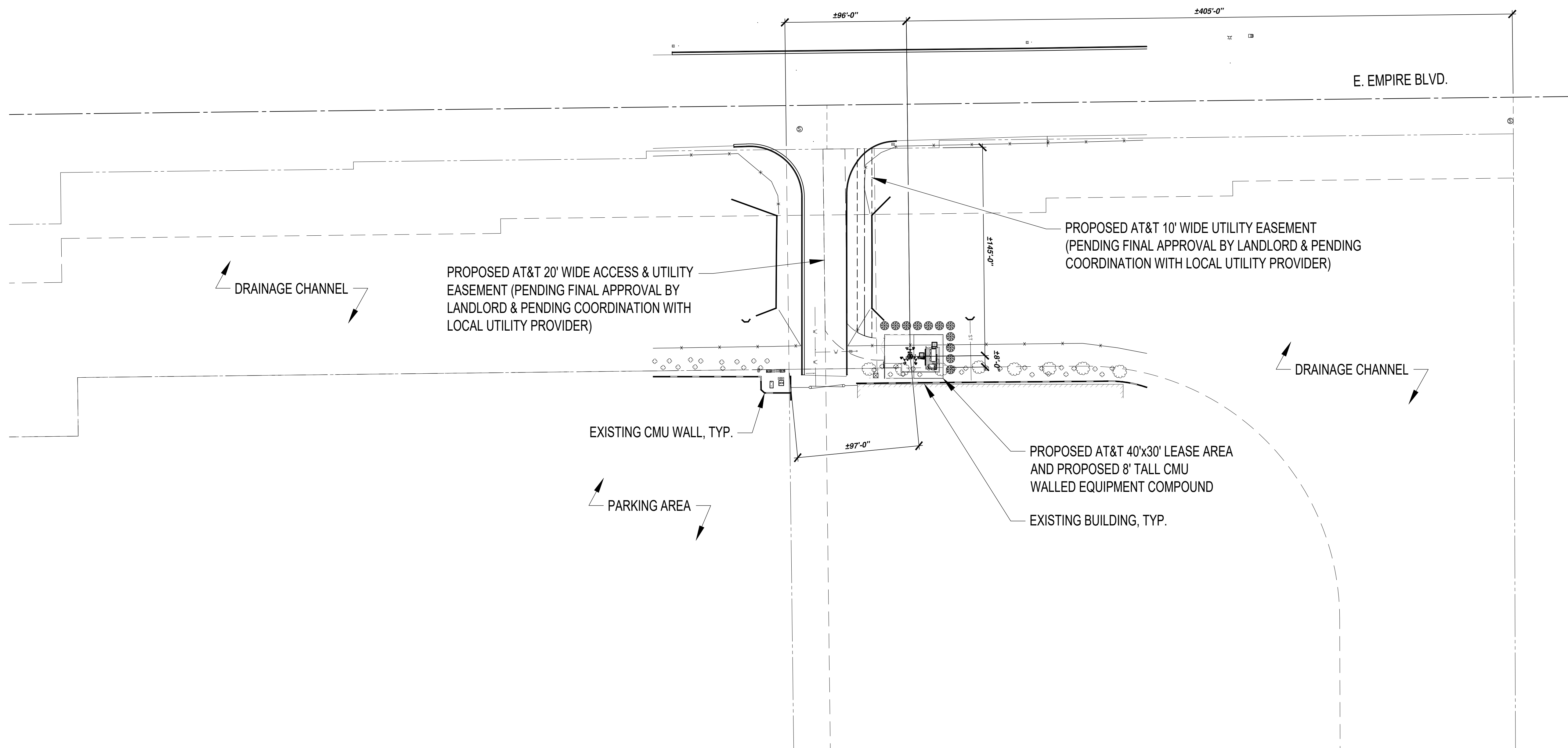
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8767 E. VIA DE VENTURA
SUITE 200
SCOTTSDALE, AZ 85258



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RECOMMENDATIONS AND SPEC'S, UNLESS SPECIFICALLY
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INSTALLATION SPEC'S SHALL ALWAYS BE VERIFIED BY THE
CONTRACTOR BEFORE INSTALLATION

PROJECT INFORMATION:
AZL01502
QUEEN CREEK U-HAUL
6028 W. HUNT HWY
QUEEN CREEK, AZ 85142
PINAL COUNTY
FA: 15456894
USID: 319207

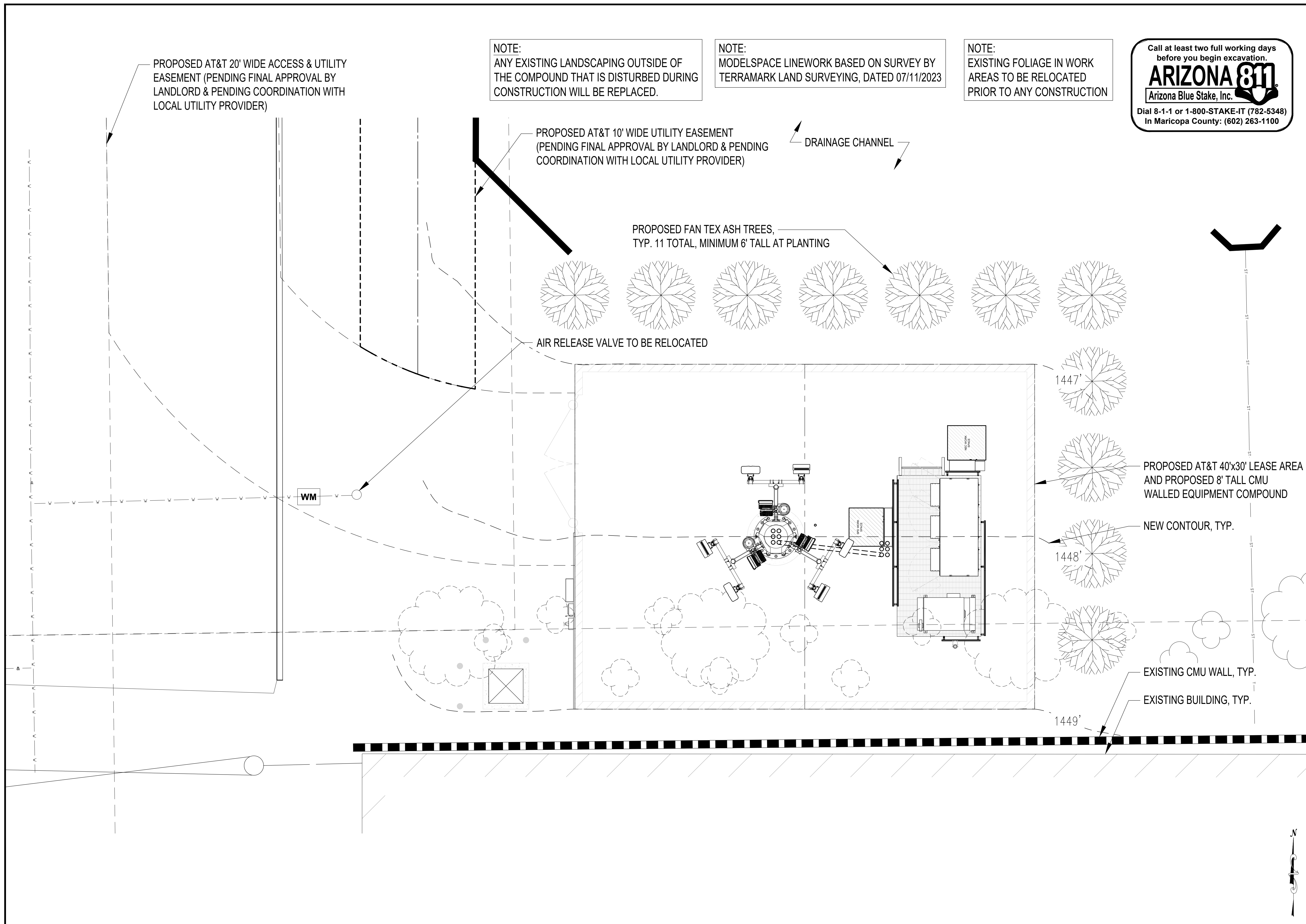
DRAWN BY: **ZMV** CHECKED BY: **AS**

SHEET TITLE:
**ENLARGED
SITE PLAN**

SHEET NUMBER: **A-1.2** REV.: **E**

ENLARGED SITE PLAN

22"x34" SCALE: 1" = 40'-0"
11"x17" SCALE: 1" = 80'-0"
0 20 40 80
1



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MESA, AZ 85201-5419

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 SCOTTSDALE, AZ 85258

REV.	DATE	REVISION DESCRIPTION
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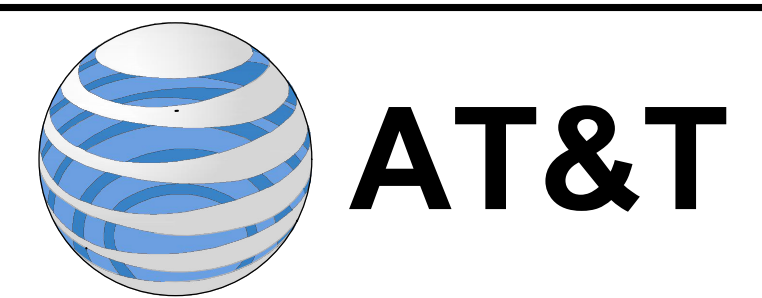
PROJECT INFORMATION:
AZL01502
QUEEN CREEK U-HAUL
 6028 W. HUNT HWY
 QUEEN CREEK, AZ 85142
 PINAL COUNTY
 FA: 15456894
 USID: 319207

DRAWN BY: **ZMV** CHECKED BY: **AS**

SHEET TITLE:
ENLARGED GRADING PLAN

SHEET NUMBER: **A-1.3** REV.: **E**

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 In Maricopa County: (602) 263-1100



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 MESA, AZ 85201-5419

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QUEEN CREEK U-HAUL
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 QUEEN CREEK, AZ 85142
 PINAL COUNTY
 FA: 15456894
 USID: 319207

DRAWN BY: **ZMV** CHECKED BY: **AS**

SHEET TITLE:
EQUIPMENT COMPOUND PLAN

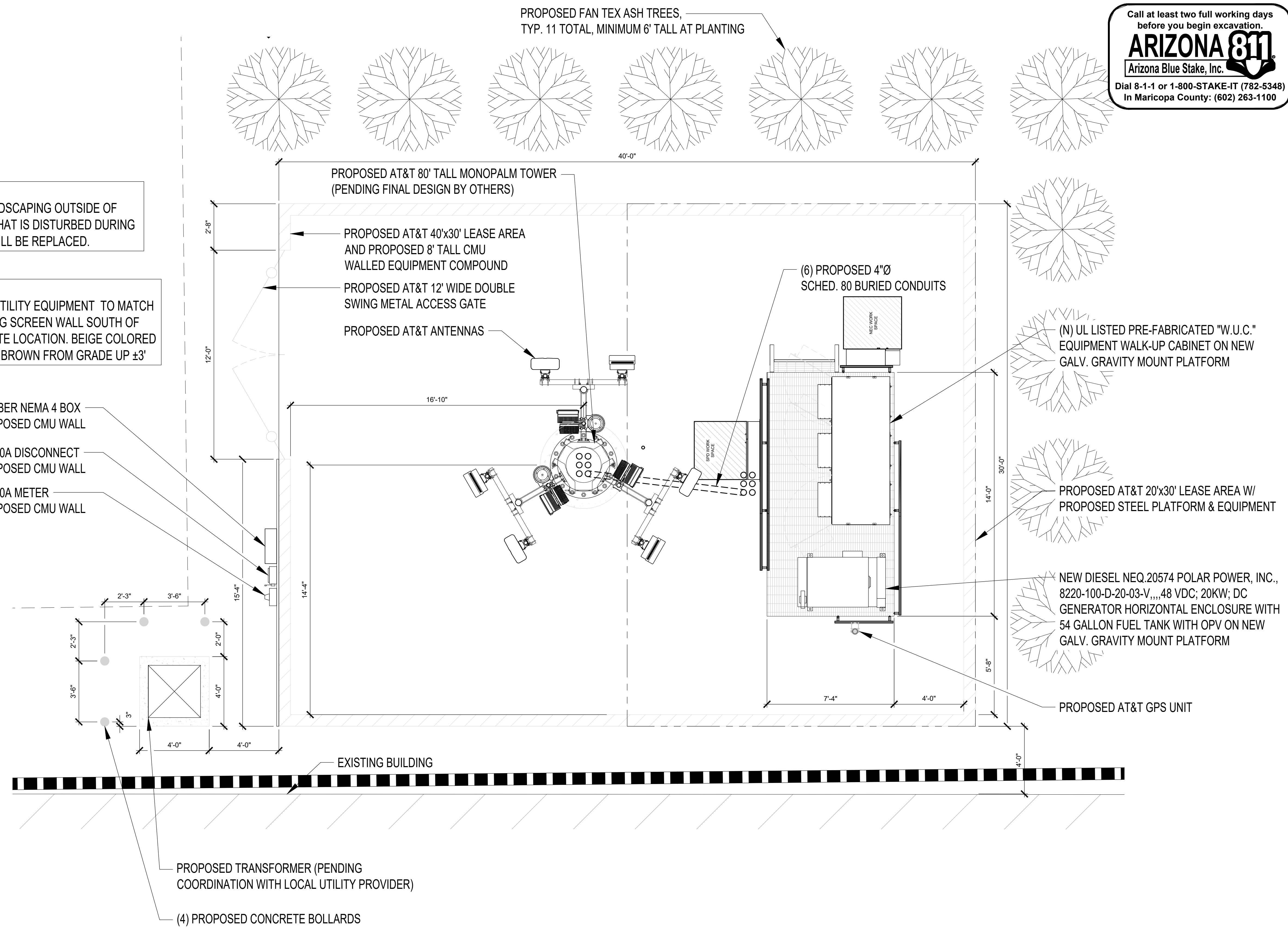
SHEET NUMBER: **A-2** REV.: **E**

PROPOSED FAN TEX ASH TREES,
 TYP. 11 TOTAL, MINIMUM 6' TALL AT PLANTING

NOTE:
 ANY EXISTING LANDSCAPING OUTSIDE OF THE COMPOUND THAT IS DISTURBED DURING CONSTRUCTION WILL BE REPLACED.

NOTE:
 PROPOSED AT&T UTILITY EQUIPMENT TO MATCH COLOR OF EXISTING SCREEN WALL SOUTH OF THE PROPOSED SITE LOCATION. BEIGE COLORED ON TOP AND DARK BROWN FROM GRADE UP ±3'

PROPOSED AT&T FIBER NEMA 4 BOX ATTACHED TO PROPOSED CMU WALL
 PROPOSED AT&T 200A DISCONNECT ATTACHED TO PROPOSED CMU WALL
 PROPOSED AT&T 200A METER ATTACHED TO PROPOSED CMU WALL



EQUIPMENT COMPOUND PLAN

22"x34" SCALE: 1" = 3'-0"
 11"x17" SCALE: 1" = 6'-0"
 0' 1.5' 3' 6'



1



1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

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8767 E. VIA DE VENTURA
SUITE 200
SCOTTSDALE, AZ 85258

PROPOSED 3-SECTOR T-ARM MOUNT
KIT W/ MOUNT REINFORCEMENT KIT

NEW AT&T ANTENNA ARRAY:
(3) ANTENNAS PER SECTOR,
(3) SECTORS, (9) TOTAL
-POSITION 1 - (1) NEW ANTENNA
-POSITION 2 - EMPTY
-POSITION 3 - (2) NEW STACKED ANTENNAS WITH INTEGRATED RRH UNIT

NEW LINES FROM GROUND EQUIPMENT TO PROPOSED MONOPALM:
-(2) NEW 24 PAIR NOKIA FIBER
-(6) NEW 6 AWG DC TRUNKS
-TOTAL FEED RUN APPROX 155' FROM WUC TO ANTENNAS

PROPOSED AT&T 80' TALL MONOPALM TOWER
(PENDING FINAL DESIGN BY OTHERS)

PROPOSED AT&T GPS UNIT TO BE PAINTED
BEIGE TO MATCH EXISTING SCREEN WALL

PROPOSED AT&T 20'x30' LEASE AREA W/
PROPOSED STEEL PLATFORM & EQUIPMENT

PROPOSED AT&T 40'x30' LEASE AREA AND PROPOSED
8' TALL CMU WALLED EQUIPMENT COMPOUND.

PROPOSED AT&T FIBER NEMA 4 BOX
ATTACHED TO PROPOSED CMU WALL

PROPOSED AT&T 200A DISCONNECT
ATTACHED TO PROPOSED CMU WALL

PROPOSED AT&T 200A METER ATTACHED
TO PROPOSED CMU WALL

PROPOSED TRANSFORMER (PENDING
COORDINATION WITH LOCAL UTILITY PROVIDER)

PROPOSED BOLLARD TYP.

EXISTING GRADE

NEW AT&T RRH UNITS, (2) PER SECTOR, (3) SECTORS, (6) TOTAL
-ALPHA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE
-BETA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT
-GAMMA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE

(2) NEW DC9 SURGE
SUPPRESSOR SQUIDS

NOTE:
PROPOSED COMPOUND CMU WALL, ACCESS GATE,
TRANSFORMER AND BOLLARDS TO MATCH COLOR OF
EXISTING SCREEN WALL SOUTH OF THE PROPOSED SITE
LOCATION. BEIGE COLORED ON TOP AND DARK BROWN
FROM GRADE UP ±3'

NOTE:
PROPOSED AT&T UTILITY EQUIPMENT TO MATCH COLOR
OF EXISTING SCREEN WALL SOUTH OF THE PROPOSED
SITE LOCATION. BEIGE COLORED ON TOP AND DARK
BROWN FROM GRADE UP ±3'

REV.	DATE	REVISION DESCRIPTION
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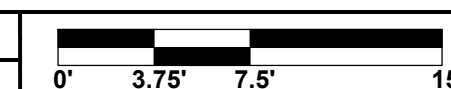
DRAWN BY: ZMV CHECKED BY: AS

SHEET TITLE:
ELEVATION

SHEET NUMBER: A-3 REV.: E

SOUTH ELEVATION - NEW

22"x34" SCALE: 1" = 7.5'
11"x17" SCALE: 1" = 15'-0"



1



1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

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SUITE 200
SCOTTSDALE, AZ 85258

PROPOSED 3-SECTOR T-ARM MOUNT
KIT W/ MOUNT REINFORCEMENT KIT

NEW AT&T ANTENNA ARRAY:
(3) ANTENNAS PER SECTOR,
(3) SECTORS, (9) TOTAL
-POSITION 1 - (1) NEW ANTENNA
-POSITION 2 - EMPTY
-POSITION 3 - (2) NEW STACKED ANTENNAS WITH INTEGRATED RRH UNIT

NEW LINES FROM GROUND EQUIPMENT TO PROPOSED MONOPALM:
-(2) NEW 24 PAIR NOKIA FIBER
-(6) NEW 6 AWG DC TRUNKS
-TOTAL FEED RUN APPROX 155' FROM WUC TO ANTENNAS

PROPOSED AT&T 80' TALL MONOPALM TOWER
(PENDING FINAL DESIGN BY OTHERS)

PROPOSED AT&T GPS UNIT TO BE PAINTED
BEIGE TO MATCH EXISTING SCREEN WALL

PROPOSED AT&T 12' WIDE DOUBLE SWING
METAL ACCESS GATE

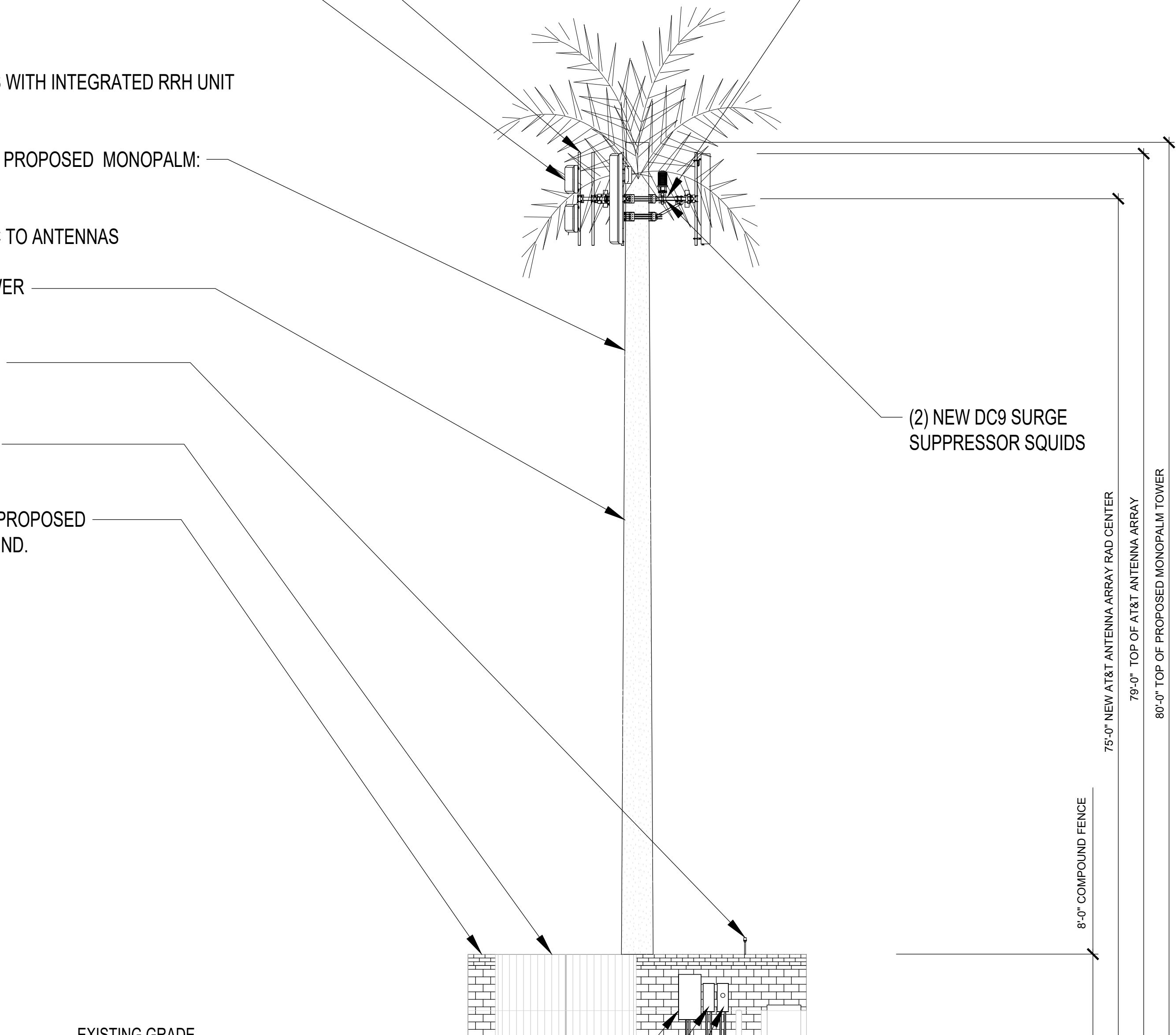
PROPOSED AT&T 40'x30' LEASE AREA AND PROPOSED
8' TALL CMU WALLED EQUIPMENT COMPOUND.

NEW AT&T RRH UNITS, (2) PER SECTOR, (3) SECTORS, (6) TOTAL
-ALPHA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE
-BETA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT
-GAMMA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE

(2) NEW DC9 SURGE
SUPPRESSOR SQUIDS

NOTE:
PROPOSED COMPOUND CMU WALL, ACCESS GATE,
TRANSFORMER AND BOLLARDS TO MATCH COLOR OF
EXISTING SCREEN WALL SOUTH OF THE PROPOSED SITE
LOCATION. BEIGE COLORED ON TOP AND DARK BROWN
FROM GRADE UP ±3'

NOTE:
PROPOSED AT&T UTILITY EQUIPMENT TO MATCH COLOR
OF EXISTING SCREEN WALL SOUTH OF THE PROPOSED
SITE LOCATION. BEIGE COLORED ON TOP AND DARK
BROWN FROM GRADE UP ±3'



EXISTING GRADE

PROPOSED AT&T FIBER NEMA 4 BOX
ATTACHED TO PROPOSED CMU WALL

PROPOSED AT&T 200A DISCONNECT
ATTACHED TO PROPOSED CMU WALL

PROPOSED AT&T 200A METER
ATTACHED TO PROPOSED CMU WALL

PROPOSED TRANSFORMER (PENDING
COORDINATION WITH LOCAL UTILITY PROVIDER)

PROPOSED BOLLARD TYP.

EAST ELEVATION - NEW

22"x34" SCALE: 1" = 7.5'
11"x17" SCALE: 1" = 15'-0"



1

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PROJECT INFORMATION:
AZL01502
QUEEN CREEK U-HAUL
6028 W. HUNT HWY
QUEEN CREEK, AZ 85142
PINAL COUNTY
FA: 15456894
USID: 319207

DRAWN BY: ZMV CHECKED BY: AS

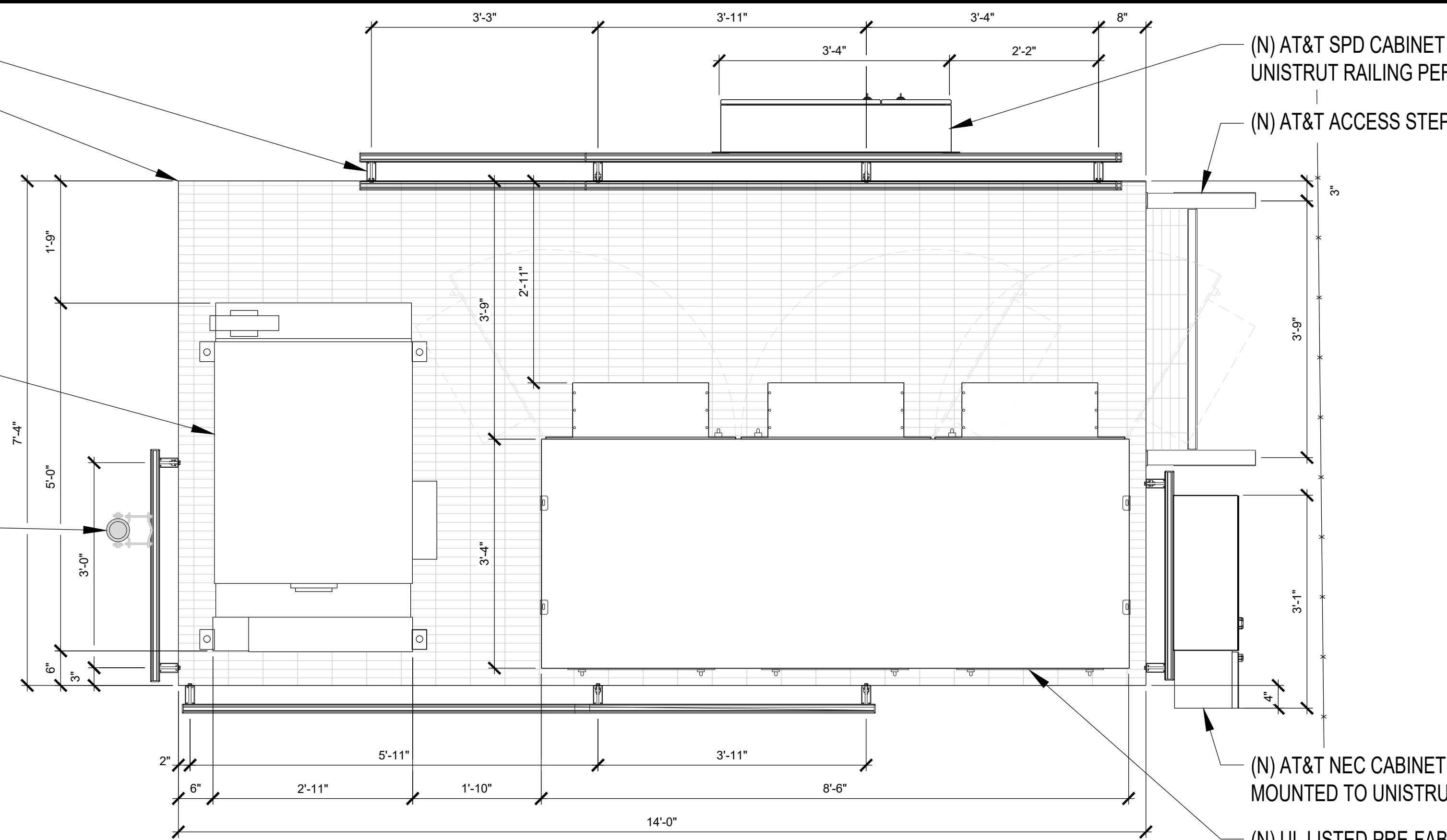
SHEET TITLE: ELEVATION

SHEET NUMBER: A-4 REV.: E

(N) UNISTRUT RAILING, TYP.
(N) GRAVITY MOUNT PLATFORM

NEW DIESEL NEQ.20574 POLAR POWER, INC.,
8220-100-D-20-03-V, 48 VDC; 20KW; DC GENERATOR
HORIZONTAL ENCLOSURE WITH 54 GALLON FUEL TANK
WITH OPV ON NEW GALV. GRAVITY MOUNT PLATFORM

(N) AT&T GPS UNIT



(N) AT&T NEC CABINET W/ GEN. RECEPTACLE
MOUNTED TO UNISTRUT RAILING

(N) UL LISTED PRE-FABRICATED "W.U.C." EQUIPMENT WALK-UP
CABINET ON NEW GALV. GRAVITY MOUNT PLATFORM

EQUIPMENT PLAN - NEW

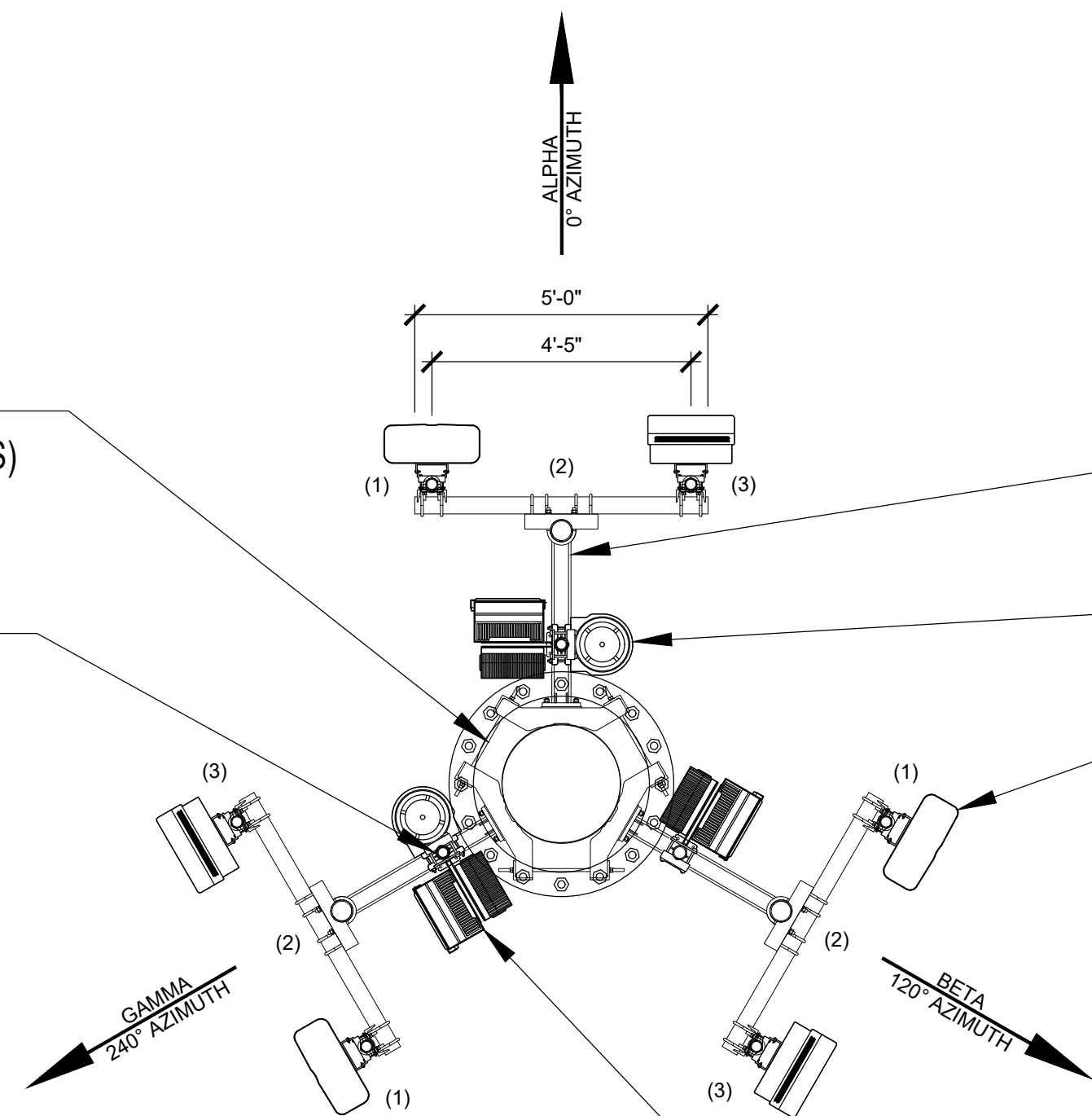
22"x34" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"
0' 1'-3" 2'-6" 5'

1

NOTE:
DIMENSIONS ARE SAME FOR ALL SECTORS

PROPOSED AT&T 80' TALL MONOPALM
TOWER (PENDING FINAL DESIGN BY OTHERS)

NEW SITEPRO1 SAMAST-3 PIPE MOUNT KIT,
(1) PER SECTOR, (3) SECTORS, (3) TOTAL



NEW 3-SECTOR T-ARM MOUNT KIT
W/ MOUNT REINFORCEMENT KIT

(2) NEW DC9 SURGE
SUPPRESSOR SQUIDS

NEW AT&T ANTENNA ARRAY,
(3) ANTENNAS PER SECTOR,
(3) SECTORS, (9) TOTAL
-POSITION 1 - (1) NEW ANTENNA
-POSITION 2 - EMPTY
-POSITION 3 - (2) NEW STACKED ANTENNAS
WITH INTEGRATED RRH UNIT

NEW AT&T RRH UNITS, (2) PER SECTOR, (3) SECTORS, (6) TOTAL
-ALPHA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE
-BETA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT
-GAMMA MOUNT POLE - (2) NEW AT&T RRH UNITS ON BACK TO BACK MOUNT & (1) NEW DC9 SURGE

ANTENNA SCHEDULE						
	ANTENNA MODEL NUMBER	AZIMUTH	ANTENNA RAD CENTER	DETAIL REF.	RRH MODEL NUMBER	DETAIL REF.
ALPHA SECTOR						
POSITION 1	ANDREW-COMMSCOPE - NNH4-65C-R6-HG	0°	75'	1/D-1 1/D-1	AIRSCALE TRI RRH 4T4R B12/14/29 370W AHLBBA AIRSCALE DUAL RRH 4T4R B25/66 320W AHFIB	4/D-1
POSITION 2	-	-	-	-	-	-
POSITION 3	NOKIA-COMMSCOPE - AEQ SERIES NOKIA-COMMSCOPE - AEQ SERIES	0°	73' 76'	1/D-1.1 2/D-1.1	INTEGRATED WITHIN AEQ SERIES ANTENNA INTEGRATED WITHIN AEQ SERIES ANTENNA	1/D-1.1 2/D-1.1
BETA SECTOR						
POSITION 1	ANDREW-COMMSCOPE - NNH4-65C-R6-HG	120°	75'	1/D-1 1/D-1	AIRSCALE TRI RRH 4T4R B12/14/29 370W AHLBBA AIRSCALE DUAL RRH 4T4R B25/66 320W AHFIB	4/D-1
POSITION 2	-	-	-	-	-	-
POSITION 3	NOKIA-COMMSCOPE - AEQ SERIES NOKIA-COMMSCOPE - AEQ SERIES	120°	73' 76'	1/D-1.1 2/D-1.1	INTEGRATED WITHIN AEQ SERIES ANTENNA INTEGRATED WITHIN AEQ SERIES ANTENNA	1/D-1.1 2/D-1.1
GAMMA SECTOR						
POSITION 1	ANDREW-COMMSCOPE - NNH4-65C-R6-HG	240°	75'	1/D-1 1/D-1	AIRSCALE TRI RRH 4T4R B12/14/29 370W AHLBBA AIRSCALE DUAL RRH 4T4R B25/66 320W AHFIB	4/D-1
POSITION 2	-	-	-	-	-	-
POSITION 3	NOKIA-COMMSCOPE - AEQ SERIES NOKIA-COMMSCOPE - AEQ SERIES	240°	73' 76'	1/D-1.1 2/D-1.1	INTEGRATED WITHIN AEQ SERIES ANTENNA INTEGRATED WITHIN AEQ SERIES ANTENNA	1/D-1.1 2/D-1.1



1355 WEST UNIVERSITY DRIVE
MESA, AZ 85201-5419

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SUITE 200
SCOTTSDALE, AZ 85258

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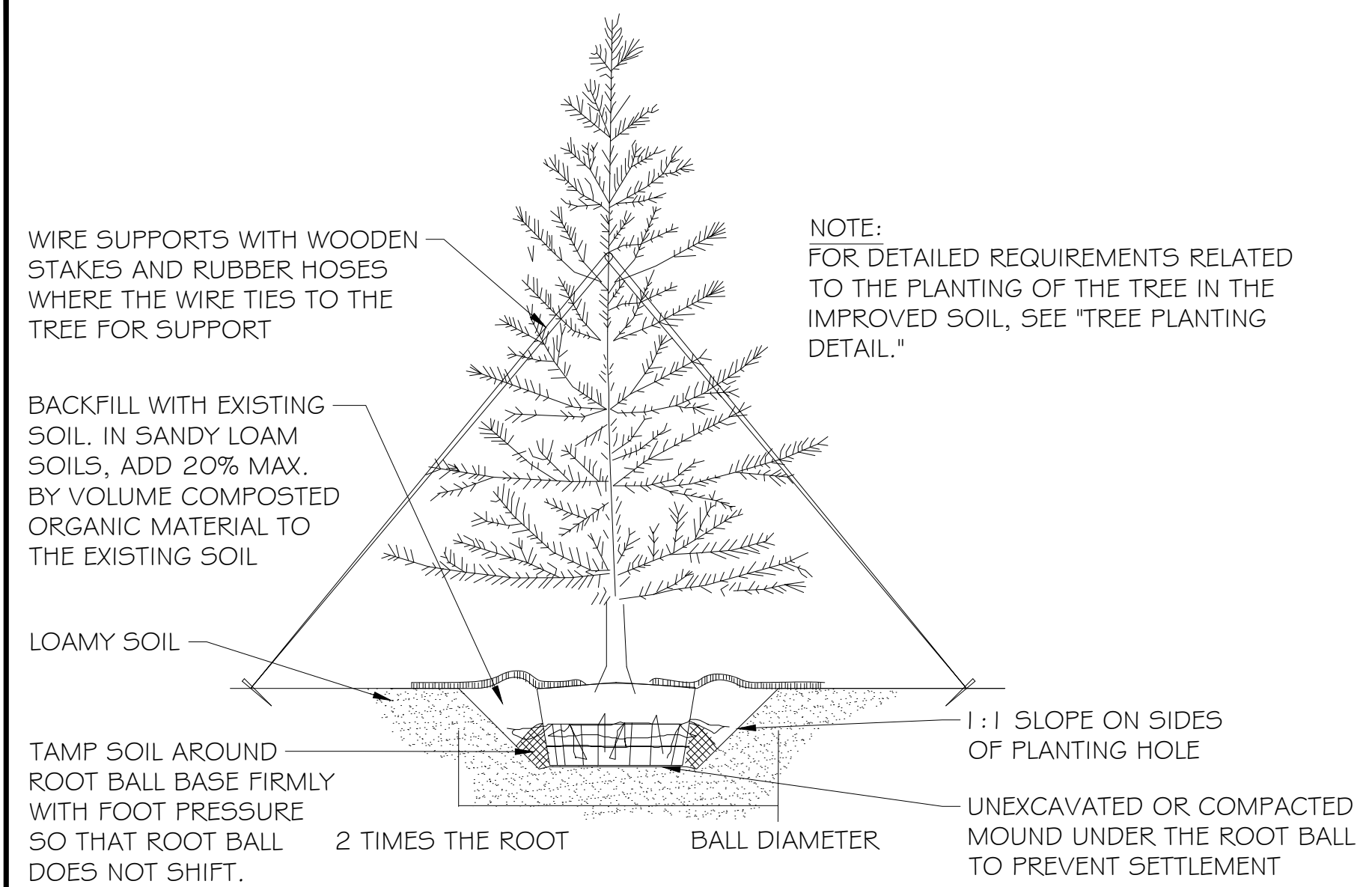
SHEET TITLE:
EQUIPMENT &
ANTENNA LAYOUT

SHEET NUMBER: A-5 REV.: E

ANTENNA PLAN - NEW

22"x34" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"
0' 2.5' 5' 10'

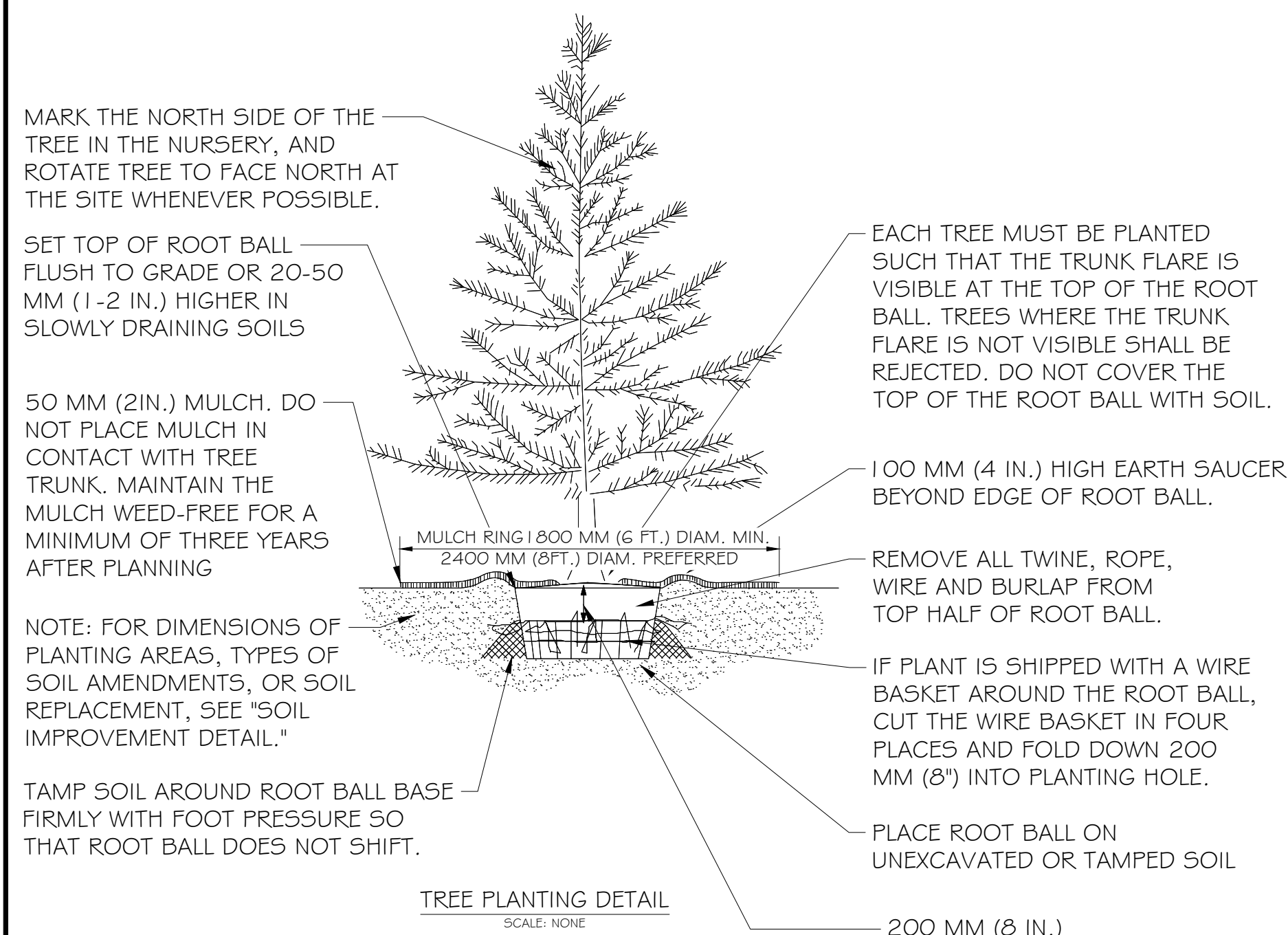
2



LOAMY SOILS INCLUDE THE FOLLOWING USDA TEXTURAL CLASSIFICATIONS AND HAVE A CLAY CONTENT OF BETWEEN 15 TO 27%: LOAM, SANDY LOAM AND SILT LOAM. NOTE THAT SOILS AT THE OUTER LIMITS OF THE LOAM CLASSIFICATIONS MAY PRESENT SPECIAL PLANTING PROBLEMS NOT ANTICIPATED BY THIS DETAIL.

LOAMY SOILS ARE DEFINED AS GRANULAR OR BLOCKY FRIABLE SOILS, A MIXTURE OF SAND, SILT AND CLAY PARTICLES WITH A MINIMUM OF 1.5% BY DRY WEIGHT ORGANIC MATTER. THE SOIL MUST NOT BE SO COMPACTED AS TO IMPEDED ROOT GROWTH OR DRAINAGE. THE SOIL STRUCTURE SHALL NOT BE PLATY OR MASSIVE. THE SOIL MUST BE TESTED FOR TEXTURE, DRAINAGE CAPABILITY, PH AND NUTRIENT VALUES PRIOR TO DETERMINING PLANT SELECTIONS AND ANY ADDITIONAL SOIL IMPROVEMENTS.

SOIL IMPROVEMENT DETAIL
TREES PLANTED IN NON-RESTRICTED SOIL CONDITIONS

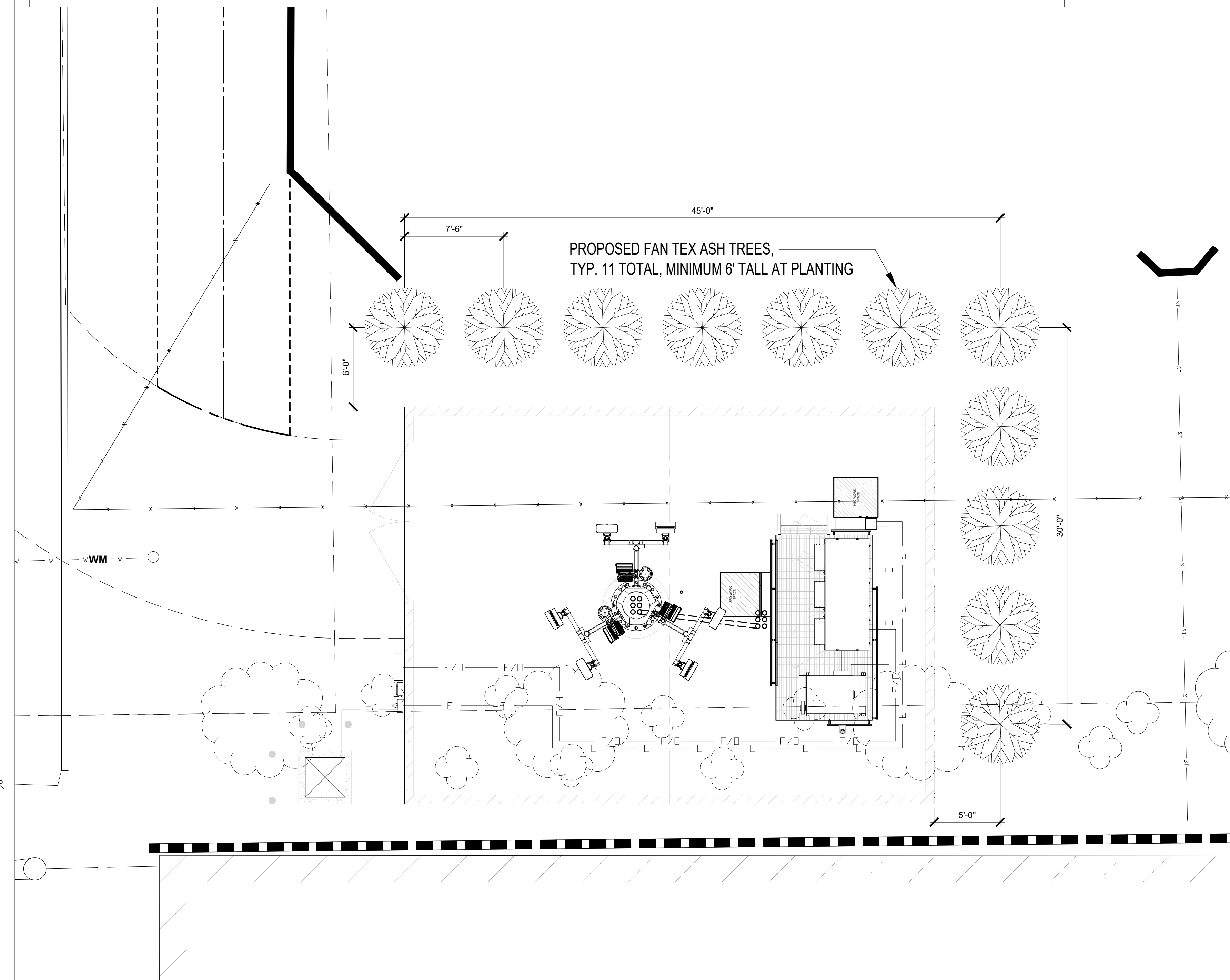


B&B TREES IN ALL SOIL TYPES

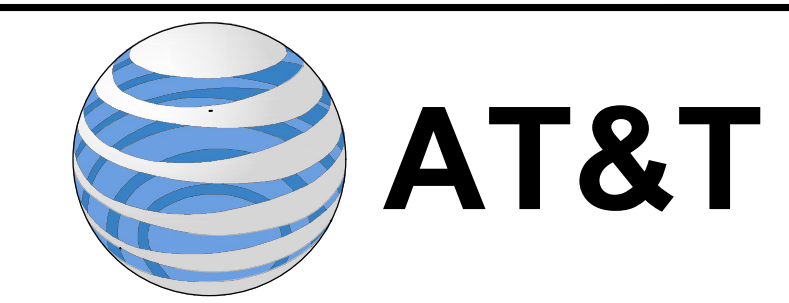
NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

NOTE:

- CONTRACTOR TO WATER IN TREES ONCE A WEEK FOR A PERIOD OF 30 DAYS AFTER PLANTING. CONTRACTOR TO WARRANTY TREES FOR A PERIOD OF 1 YEAR.
- PLANT TREES DURING APPROPRIATE TIME AS DETERMINED BY SEASON OF THE YEAR, WEATHER CONDITIONS AND ACCEPTED PRACTICE.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING.
- ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
- PLANTING AREA TO BE MULCHED WITH 4" OF BARK MULCH AFTER PLANTING AND RE-MULCHED EVERY OTHER YEAR.
- MULCH TO BE TREATED FOR WEEDS AS PART STANDARD COMPOUND MAINTENANCE.
- CARRIER TO MONITOR WATERING & STANDARD CARE DURING TYPICAL COMPOUND MAINTENANCE.



QUANTITY	COMMON NAME	LATIN NAME	PLANTING SIZE	MATURE SIZE
11	FAN TEX ASH	Fraxinus velutina	7'-6" B&B	25' - 40' TALL



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DRAWN BY: ZMV
CHECKED BY: AS

SHEET TITLE:
LANDSCAPING PLAN

SHEET NUMBER: L-1
REV.: E



SHEET TITLE: PHOTO RENDERING/SIMULATION LOCATION MAP
PROJECT TITLE: AZLO1502 - QUEEN CREEK AZ
PROJECT NUMBER: 56185
PROJECT LOCATION: 6028 W. HUNT HWY. QUEEN CREEK, AZ 85142



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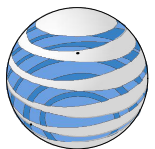


SHEET TITLE:
BEFORE PHOTO RENDERING/SIMULATION - LOOKING
SOUTHEAST

PROJECT TITLE:
AZLO1502 - QUEEN CREEK AZ

PROJECT NUMBER:
56185

PROJECT LOCATION:
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PROPOSED 80FT MONOPALM

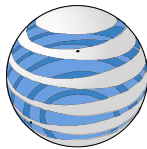


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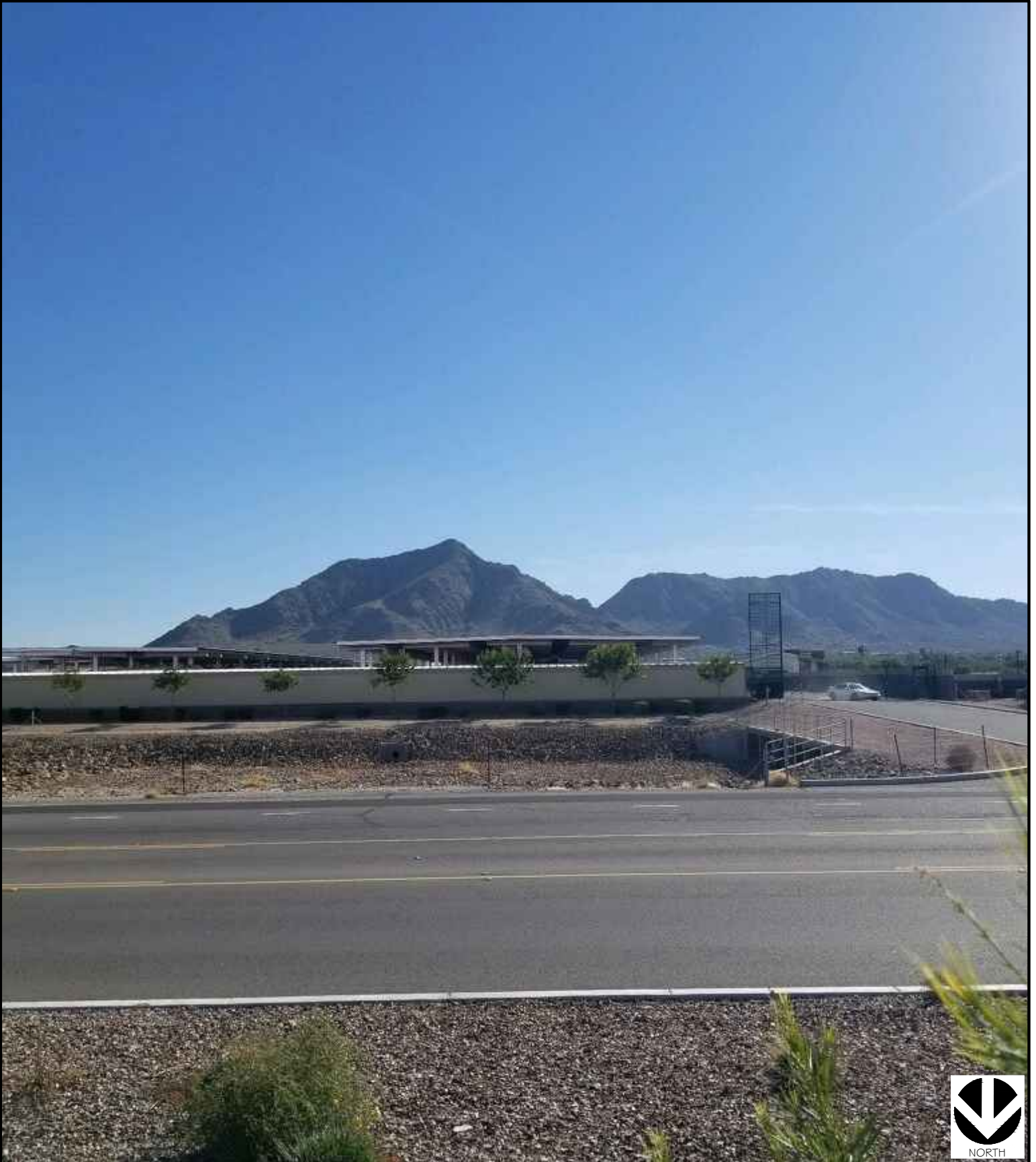
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SHEET TITLE:
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PROJECT TITLE:
AZLO1502 - QUEEN CREEK AZ

PROJECT NUMBER:
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PROPOSED 80FT MONOPALM

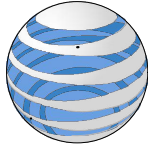


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AFTER PHOTO RENDERING/SIMULATION - LOOKING SOUTH

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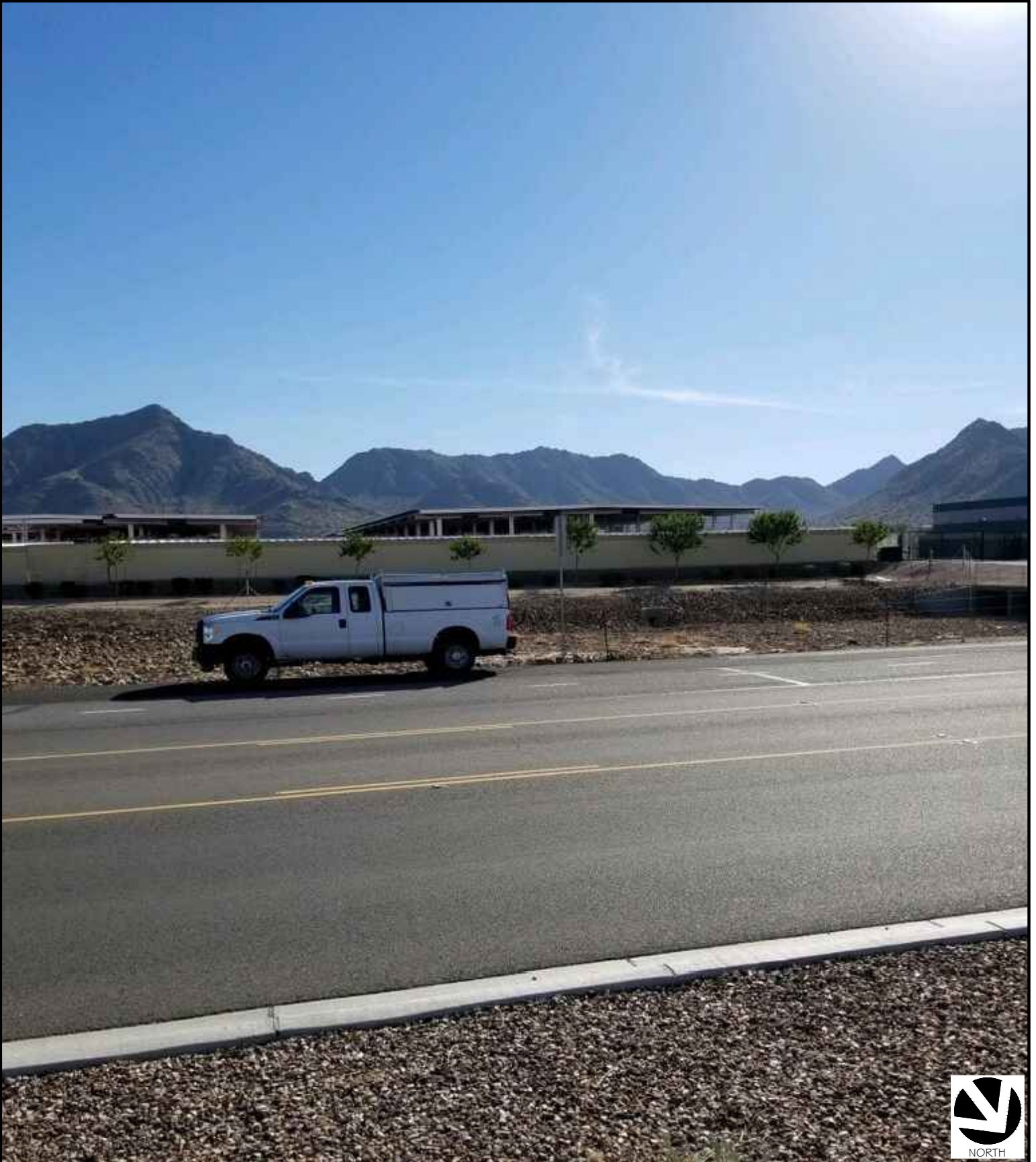
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SHEET TITLE:
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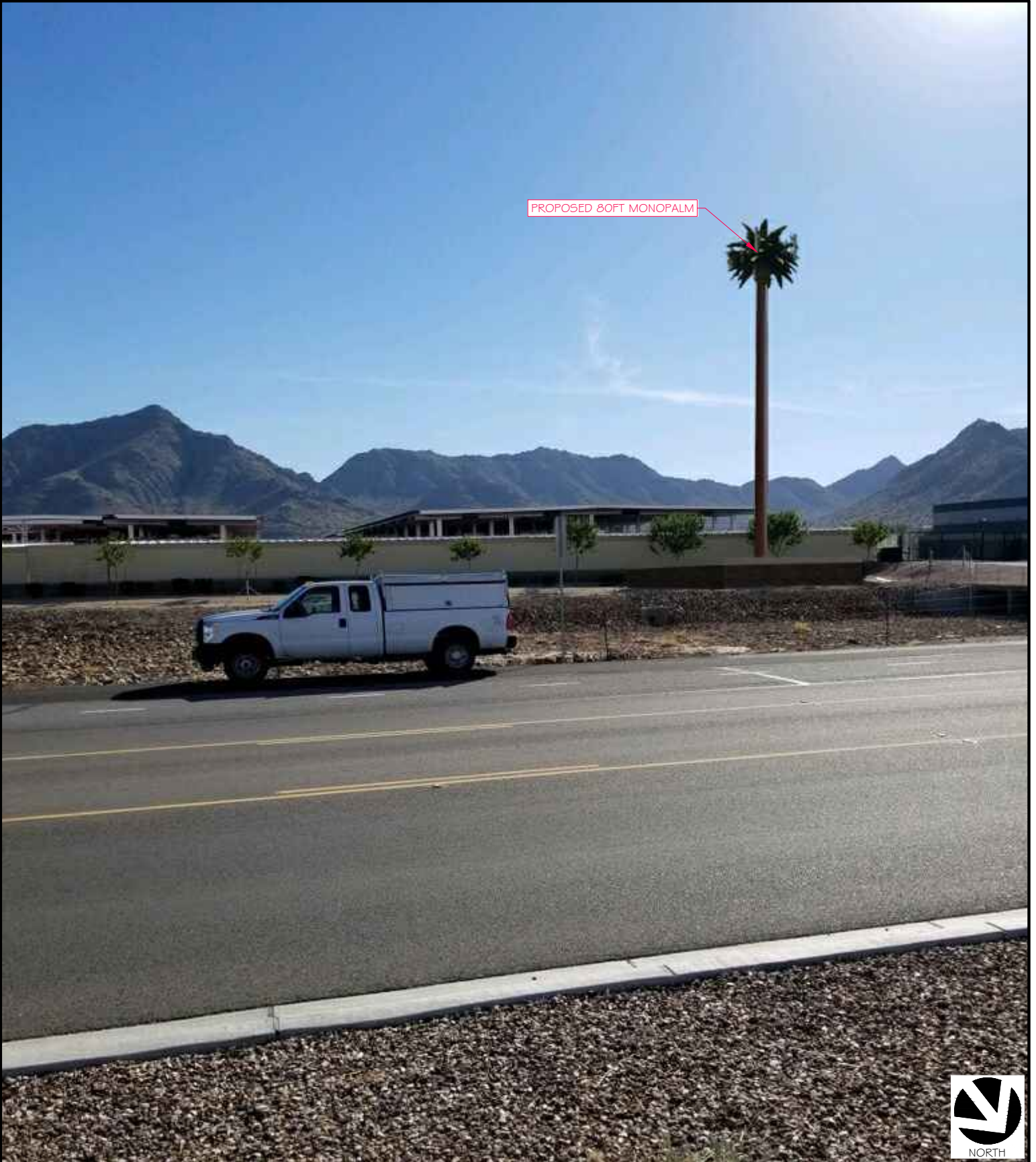
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PROPOSED 80FT MONOPALM

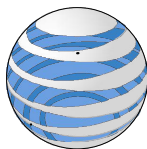


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