



TOWN OF  
**QUEEN CREEK**  
 ARIZONA

**TO:** PLANNING & ZONING COMMISSION

**THROUGH:** BRETT BURNINGHAM, DEVELOPMENT SERVICES DIRECTOR

**FROM:** ERIK SWANSON, PLANNING ADMINISTRATOR, STEVEN ESTER, PLANNER II

**RE:** DISCUSSION AND POSSIBLE APPROVAL OF P22-0284 QUEEN CREEK STATION SOUTH COMMERCIAL COMPREHENSIVE SIGN PLAN, A REQUEST FROM MICHAEL DONADA (SIGNS PLUS) FOR APPROVAL OF A COMPREHENSIVE SIGN PLAN AT A COMMERCIAL DEVELOPMENT ON APPROXIMATELY 9.7 ACRES, LOCATED AT THE SOUTHEAST CORNER OF ELLSWORTH AND WALNUT ROADS.

**DATE:** May 10, 2023

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**Suggested Action:**

Staff recommends approval of P22-0284 Queen Creek Station South Commercial Comprehensive Sign Plan, subject to the Conditions of Approval outlined in this report.

**Planning Commission Recommendation:**

Move to approve of P22-0284 Queen Creek Station South Commercial Comprehensive Sign Plan, subject to the Conditions of Approval outlined in this report.

**Relevant Council Goal(s):**

Secure Future

**Summary:**

This proposal consists of a request from Michael Donada (Signs Plus) for approval of a Comprehensive Sign Plan at a commercial development on approximately 9.7 acres, located at the southeast corner of Ellsworth and Walnut roads.

**History:**

November 4, 2020: The Town Council approved Ordinance 741-20, P20-0062 and P20-0063 QC Station South Phase II Rezone and Site Plan, changing the site's zoning from R1-43 to C-2 (General Commercial).

December 29, 2022: Staff administratively approved P22-0182 Portillo's Site Plan as the first pad on the northern portion of the overall site.

**Project Information:**

Project Name: Queen Creek Station South Commercial Comprehensive Sign Plan

Site Location: SEC of Ellsworth and Walnut roads

Current Zoning: C-2 (General Commercial)

General Plan Designation: Neighborhood

Site Area: 9.7 acres

Surrounding Zoning:

- North - Walnut Road, C-2 (General Commercial) – Black Rock Coffee

- South - EMP-B (General Industrial) – QCUSD Bus Yard
- East - Old Ellsworth Road, R1-8/PAD – Queensland Manor, R1-12/PAD – Queensland Manor
- West - Ellsworth Road, MU/PAD (Mixed Use) – Acero

### **Discussion:**

In late 2020, the subject site was originally rezoned to C-2 (General Commercial) to allow for various commercial uses including restaurants and inline-tenant space, as a continuation and secondary phase of the development directly north across Walnut Road. At this time, the overall property has one (1) approved site plan for a Portillo’s drive-thru at the northern end of the parcel that is currently under construction. The remainder of the site south of Portillo’s is still being planned, but will generally consist of approximately 26,554 square feet of additional restaurant and retail shop space between another four (4) separate pad buildings.

A Comprehensive Sign Plan has been submitted to outline the sign standards being requested. The design of the monument signage incorporates materials complimentary to the associated building architecture with its use of a stone base, girder-style beams, and slate grey painted finish. Notably, the materials and finishes have been coordinated to match those approved with the signage for the development to the north. All raceways will be hidden from view in both the ground-mounted and wall-mounted applications. In total, this request includes:

- Three (3) 10’ tall ground-mounted multi-tenant monument signs (one each on Old Ellsworth Road, Walnut Road, and Ellsworth Road).
- One (1) 14’ tall ground-mounted multi-tenant monument sign on Ellsworth Road.
- Proposed standards for wall-mounted signage.

Three (3) deviations from the Zoning Ordinance are proposed. The applicant is requesting approval for the following features that deviate from signage standards as set by the Zoning Ordinance:

### **Increased Monument Sign Height and Square Footage**

Proposed Monument Sign Height and Area Modifications:

**1) Zoning Ordinance Requirement** - Freestanding monument signs shall not exceed 8-feet in height above grade.

**Proposed Standard** - Three (3) 8’-10” tall ground-mounted multi-tenant monument signs and one (1) 12-9’ tall ground-mounted multi-tenant monument sign.

**2) Zoning Ordinance Requirement** - Freestanding monument signs shall not exceed 48 square feet in sign area.

**Proposed Standard** - Freestanding monument signs shall not exceed 48 square feet in sign area.

**Applicant Justification:** “The signs were designed to be similar size and height of other approved comprehensive sign plans in the area. This will be necessary to provide tenants with similar visual exposure in a competitive manner when compared to the Black Rock Coffee, Queen Creek Crossing, QC District, and Cornerstone developments. The signage is scaled to function well on each respective street with smaller signage on the side streets (Old Ellsworth and Walnut) and larger signage along the primary arterial (Ellsworth Loop Road). The signs also compliment the architectural style of the buildings, and create an aesthetically pleasing environment to the surrounding area. In addition, there is an east-west bound overpass at Rittenhouse Road that effects the visibility of the site. Sign D is proposed to be larger to potentially target the traffic that would otherwise be unable to see the site, and help direct traffic to businesses inside of the center.”

### **Increased Wall Sign Area Calculation**

Proposed Wall Sign Area Modification:

**3) Zoning Ordinance Requirement** - Building front wall signage shall not exceed one and a half (1 1/2) square feet of sign area per lineal foot of building occupancy frontage. Side wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of side wall. Rear wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of rear wall.

**Proposed Standard** - 1.5 square feet of sign area per linear foot of building frontage or elevation upon which signage is placed.

Applicant Justification: “This site has a large east-west overpass near it that prevents the visibility of northbound traffic to the buildings set inside of this parcel. Additional sign allowance is requested to ensure the users are able to compete with the surrounding businesses without being at a disadvantage.”

Analysis: Staff has reviewed the deviations and supports them as presented. The intent of this Comprehensive Sign Plan was to be consistent with the deviations and design granted with the signage approved on the similar commercial piece to the north with Black Rock Coffee, while also recognizing some of the site-specific conditions that are more unique to this site (i.e. adjacent road grade and underpass). The monument signage matches in materials and finish, with a slight increase in height compared to those to the north. The proposed wall signage standards match what has been approved to the north, and will follow the base aggregate signage limit of 250 SF total for any standalone building. Overall, the proposed Comprehensive Sign Plan is commensurate with other commercial developments in Town.

**Conditions of Approval:**

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. Any temporary signage shall be subject to review and approval under the Temporary Sign Permit application process.
3. All signage shall be permitted under a building permit, following approval of the Comprehensive Sign Plan from the Planning and Zoning Commission.
4. The monument sign’s sign panels shall have an integrated or decorative cover panel until a tenant name is added to the sign.
5. Signage shall be maintained in a manner consistent with its initial installation.

**Attachment(s):**

1. [Aerial Exhibit.pdf](#)
2. [QC Station South Commercial Comprehensive Sign Plan.pdf](#)

Project Name: QC Station South Commercial CSP Aerial Exhibit

Case Number: P22-0284



Hearing Dates: May 10, 2023 (Planning Commission)



# RETAIL SHOPPING CENTER

Comprehensive Sign Program

SE Corner of S. Ellsworth Loop Rd & E. Walnut Rd Queen Creek Arizona

March 17th, 2023

Project Description / Introduction

Site Plan

Building Sign Matrix

Tenant Sign Criteria

Future Tenant Wall Sign Fabrication Details

Portillo’s Wall Sign Fabrication Details

Portillo’s Wall Sign Elevations

Blade Sign

Freestanding Sign Matrix

10’ Freestanding Signs

14’ Freestanding Sign

**Project:**

SE Corner of S. Ellsworth Loop Rd & E. Walnut Rd  
Queen Creek, Arizona

**Landlord Information:**

W Holdings  
1121 W. Warner Road, #109  
Tempe, AZ 85254

Ashton Wolfswinkel  
ashton.wolfswinkel@gmail.com

**Parcel Information:**

Zoning: - C-2 (General Commercial)  
Parcel Number: 304-89-942A  
Site Area: 422,734.00 sqft

**Governing Agent:**

Queen Creek, Arizona

**Signage Consultant:**

**Signs Plus**  
2507 West Villa Rita Drive  
Phoenix, AZ 85023  
623.238.1099

Gary Johnson  
gary@arizonasignsplus.com

**Narrative:**

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout the area for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations through Queen Creek, Arizona Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval through Queen Creek, Arizona as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved through Queen Creek, Arizona the latter shall prevail.

**Design Concepts:**

Freestanding signs are “excerpts” of architectural components of the building theme and materials. Instead of mini buildings, the freestanding monuments become statements in the environment. Architectural and textured walls that create simple expression for the project identification. Accent elements and materials are used for tenant identification areas for both retail. Each combination of wall and accent is integrated into the site with simple, yet formal landscaped areas and lighting features. All signage elements focus on a simple vocabulary of materials – rock, steel, mass of materials, planting, lighting and colors. Combined with the graphic materials of aluminum, dimensional lettering and logo treatments, signage becomes representative of established brands within the overall design theme and palettes. Variations in design distinguish the different uses on the site – through simplicity – not over designed or cluttered with details.

**Functional Requirements:**

As a local retail center, signage for identification and recognition to customers is inter-dependant on high profile signage to support high sales volumes.

The sign package has been designed to provide a hierarchy of elements to meet the spectrum of functional signage needs, from identification to the pedestrian experience approaching the front door, as follows:

**Signage Types**

**Street-Level Identity**

Four multi-tenant identification monument signs will be provided along South Ellsworth Loop Road, Ellsworth Loop Rd & East Walnut Road. This will serve to identify the various tenants inside of the development.

**Tenant Identification Signs**

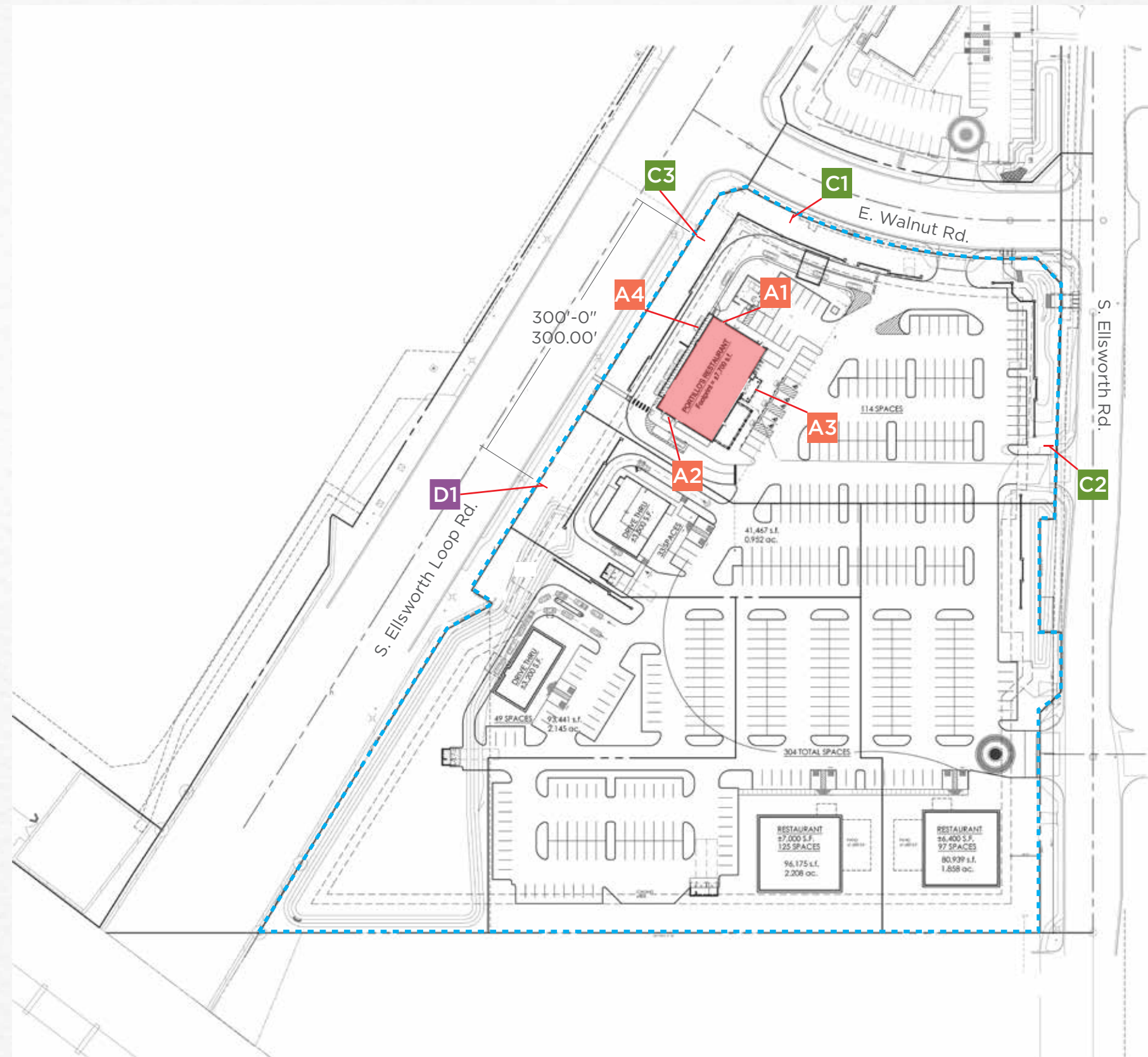
Building signage will be allowed on all elevations of the building.

## Legend

- A1** Portillo's Illum. Wall Sign
- A2** Portillo's Illum. Wall Sign
- A3** Portillo's Illum. Wall Sign
- A4** Portillo's Illum. Wall Sign



..... Property Line



Scale: 1"=125'



# Building Sign Matrix



Sign Type	Sign Description	Function	Overall Sign Size	Quantity	Max Sign Area Allowed	Materials	Illumination
<b>Portillo's A1 &amp; A2</b> North & South Elevations Wall Signs	A permanent sign attached to building with the exposed face of the sign parallel to the face of the wall or fascia. Sign will be mounted w/ an aluminum raceway.	Such sign may identify the individual businesses.	4'-8" x 12'-7" SQFT: 58.74	Two (2)	1.5 square foot per linear foot of building street frontage or elevation upon which signage is placed (typical)  50 SF Minimum (typical)	Aluminum, Vinyl, Acrylic, Painted Metal, Flexface Material	LED Internally, backlit, external or a combination thereof.
<b>Portillo's A3</b> East Elevation Wall Sign	A permanent sign attached to building with the exposed face of the sign parallel to the face of the wall or fascia.	Such sign may identify the individual businesses.	4'-8" x 12'-7" SQFT: 58.74	One (1)	1.5 square foot per linear foot of building street frontage or elevation upon which signage is placed (typical)  50 SF Minimum (typical)	Aluminum, Vinyl, Acrylic, Painted Metal, Flexface Material	LED Internally, backlit, external or a combination thereof.
<b>Portillo's A4</b> West Elevation Wall Sign	A permanent sign attached to building with the exposed face of the sign parallel to the face of the wall or fascia. Sign will be mounted w/ an aluminum raceway.	Such sign may identify the individual businesses.	5'-4" x 14'-6" SQFT: 77.28	One (1)	1.5 square foot per linear foot of building street frontage or elevation upon which signage is placed (typical)  50 SF Minimum (typical)	Aluminum, Vinyl, Acrylic, Painted Metal, Flexface Material	LED Internally, backlit, external or a combination thereof.
<b>Future Pad Tenants</b> Wall Sign	A permanent sign attached to building with the exposed face of the sign parallel to the face of the wall or fascia.	Such sign may identify the individual businesses.	TBD	TBD	1.5 square foot per linear foot of building street frontage or elevation upon which signage is placed (typical)  50 SF Minimum (typical)	Aluminum, Vinyl, Acrylic, Painted Metal, Flexface Material	LED Internally, backlit, external or a combination thereof.

Sign Type	Sign Description	Function	Sign Location	Quantity	Max Sign Area Allowed	Materials	Illumination
<b>B</b> Blade Sign	Under Canopy Blade Sign	Tenant Identification	In front of leased space Below canopy & maintain 8' clearance AFF	One (1)	6 square feet Max	Aluminum, Vinyl, Acrylic, Painted Metal	Non-Illuminated or LED Illuminated

**ORDINANCE SECTION 7.2.3.C.1.A AND B**

Building front wall signage shall not exceed one and a half (1 1/2) square feet of sign area per linear foot of building occupancy frontage; Side wall signage shall not exceed one-half (1/2) square feet of sign area per linear foot of side wall; b) Rear wall signage shall not exceed one-half (1/2) square feet of sign area per linear foot of rear wall.

**PROPOSED STANDARD:**

Proposed wall sign area is to be computed by multiplying one and one half (1 1/2 SF) square feet of sign area for each one (1) linear foot of the building storefront and / or elevation occupied by the tenant. As a minimum allowance, Tenants occupying less than thirty three (33') feet of storefront and/or building elevation shall be permitted a minimum of fifty (50) square feet of sign area per elevation.

**JUSTIFICATION:**

Site has an large East / Westbound overpass that prevents visibility of Northbound traffic to the buildings set inside of parcel. Additional sign allowance requested to ensure they are able to compete with the surrounding businesses without being at a disadvantage.



## I. GENERAL REQUIREMENTS AND PERMIT PROCEDURE

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, electronic copies of detailed drawings drawn to scale illustrating the exact location(s) of the proposed signage on the building elevation(s), the size, layout, design color, method of illumination, material specifications, and the method of attachment.
- B. Tenant or Tenant's representative shall obtain all required permits for signs and their installation from the Town of Queen Creek.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the Town of Queen Creek.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals shall remain the sole and absolute discretion of the Developer's and/or Developer's Designated Representative.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign(s) require maintenance or repair, Developer shall give Tenant fourteen (14) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's and/or Developer's Designated Representative invoice.
- G. Devices such as attraction boards, posters, banners and flags may be permitted. Tenant shall submit its request for approval first to the Developer who shall have sole and absolute discretion in granting approval prior to Tenant obtaining any required permits from the Town of Queen Creek.

## II. SPECIFICATIONS - TENANT SIGNS

- A. General Specifications
  - 1. Animated, flashing or audible signs, except for Town of Queen Creek approved menu type signs shall not be permitted.
  - 2. All signs and their installation shall comply with all Town of Queen Creek building and electrical codes.
  - 3. All conductors, transformers and other equipment required to illuminate the Tenant's signage shall be concealed.
  - 4. Any damage to any wall surface, canopy, and/or roof deck resulting from Tenant's sign installation shall be repaired to its original condition at the Tenant's sole expense.
  - 5. Upon removal of any sign by a Tenant, the Tenant shall repair any damage to the wall surface, canopy, and/or roof deck to its original condition at the sole expense of the Tenant.
- B. Placement of Signs
  - 1. All Tenant signage shall be installed in accordance to the approved Comprehensive Sign Plan in location(s) designated by the Developer based upon the individual building's unique design.

## III. TENANT SIGNAGE - DESIGN REQUIREMENTS

Tenant signage shall primarily consist of Individual illuminated and/or non-illuminated letters, logos and custom cabinet forms. Letters and logos may be constructed as internally illuminated pan channel letters with illuminated acrylic sign faces, reverse pan channel "backlit" or "halo" illuminated letters, or any combination thereof. Tenant shall first obtain Developer's and/or Developer's Designated Representative written approval prior to submitting a sign permit application to the Town of Queen Creek. The Town of Queen Creek shall require the Developer's and/or Developer's Designated Representative approval as a condition of issuing the sign permit. All signage shall be installed in compliance with all building and electrical codes of the Town of Queen Creek. All signage shall be in compliance of all UL standards and shall be listed and installed in accordance to the National Electrical Code, Article 600. Any sign installation found to be non-compliant with these provisions shall be remedied immediately by the Tenant at Tenant's sole expense.

### A. Sign Area

- 1. The area of signs with all copy mounted on a single geometric plane shall consist of the entire area within a continuous exterior perimeter which bounds all portions of the sign including background panels except those which are entirely opaque and have the same color and texture as the building to which the sign is attached.
- 2. The maximum wall sign area per building elevation occupied by a Tenant shall be computed by multiplying one and one-half (1.5) square feet for each one (1) lineal foot of the building storefront and/or building elevation occupied by the Tenant, subject to a maximum aggregate sign area of two hundred fifty (250) square feet.
- 3. As a minimum allowance, Tenants occupying less than thirty three (33) feet of storefront and/or building elevation shall be permitted a minimum of fifty (50) square feet of sign area per elevation.

### B. Height and Length Restrictions

- 1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer based upon the individual building's unique design.
- 2. In no event shall any sign exceed eighty (80) percent of the Tenant's storefront and/or wall surface upon which it is placed.
- 3. The available surface area and/or architectural feature shall regulate allowable letter and logo height. In no event shall any sign exceed seventy (70) percent of the vertical height of the wall surface upon which the sign is placed.

### C. Brand Identity

- 1. Tenants may use the typeface, marks/icons, logos, and colors of their choice subject to Developer's and/or Developer's Designated Representative approval.
- 2. Nationally recognized Tenants shall be permitted to utilize their standard corporate identification programs subject to the sign area limitations stated herein.

### D. Illumination

- 1. Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon, LED tubing, and/or combination of lighting methods mentioned herein.
- 2. Tenant signage shall be illuminated utilizing LED's and/or neon tubing. All illumination shall cast even lighting avoiding hot spots. Uneven illumination shall be corrected by the Tenant at Tenant's sole expense.

## E. Blade Sign

1. Each Tenant may install a double-faced non-illuminated blade sign not exceeding three (3) square feet in sign area. The blade sign design shall be submitted to the Developer and/or Developer's Designated Representative for approval and shall be reviewed on a case by case basis. The Developer shall have the sole and absolute discretion to approve or deny a blade sign request. All blade signs shall be permitted by the Town of Queen Creek.
2. All blade sign copy shall be flat cut out graphics and surface applied to both sides of the display. The Developer shall approve in writing all copy and layout prior to installation of the blade sign. Tenant shall furnish and install the approved blade sign display at Tenant's sole and separate expense.
3. The blade sign shall be suspended and/or projected using a mechanism consistent approved by the Developer and the Town of Queen Creek.

## IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer and the Town of Queen Creek harmless for, from and against damages or liabilities on account thereof.

## TENANT SIGN TYPES & TYPICAL CONSTRUCTION METHODS

### I. LETTER CONSTRUCTION

All letterforms and logos shall be fabricated using a minimum of .050 aluminum for returns and .063 aluminum for letterbacks. For reverse pan channel letter faces, a minimum of .090 aluminum shall be used. Clear polycarbonate shall be used as a backing for reverse pan channel letters and combination face-lit & back-lit type letters.

### II. LETTER DEPTH

3" minimum. 8" maximum.

### III. COLOR

All colors and combinations of colors are permissible.

### IV. FINISH

All letterforms and logos shall be painted and sealed utilizing matthews acrylic polyurethane paints, or equal. Letter interiors shall be caulked to ensure that there are no visible light leaks. Letter interiors shall be painted high reflective white.

### V. ILLUMINATION

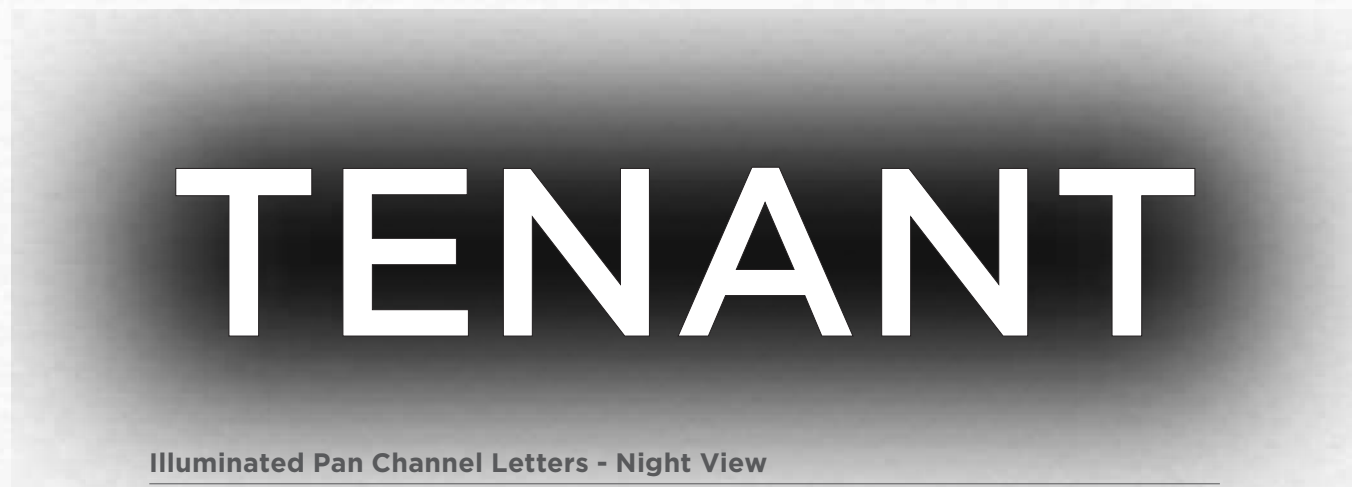
Illumination shall be provided by LED modules or neon tubing. Fabricator shall ensure that illumination provided is even throughout and without hot spots. Exposed neon illumination may be permitted at the sole discretion of the Developer or his designated agent.

### VI. UL AND NEC COMPLIANCE

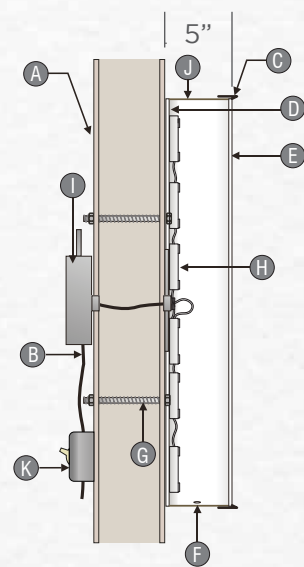
All electrical sign components shall be fabricated and installed in accordance to UL 48 and shall be labeled accordingly. All installations shall be in accordance with the requirements of Article 600 of the National Electrical Code and the Town of Queen Creek codes. All signs shall include proper grounding and bonding of components.



Illuminated Pan Channel Letters - Face View



Illuminated Pan Channel Letters - Night View



A	wall
B	low voltage wiring
C	trim cap
D	aluminum back
E	acrylic Face
F	weep holes
G	mounting varies
H	LED lights
I	LED power supply
J	aluminum return
K	disconnect switch

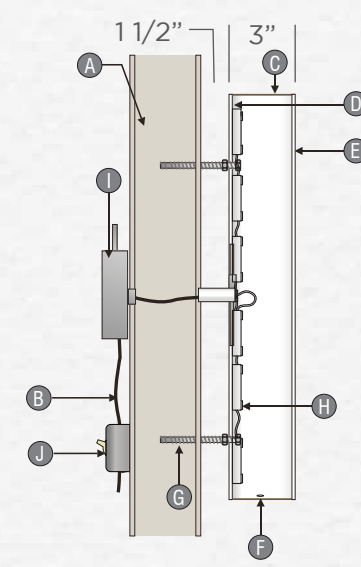
Illuminated Pan Channel Letters - Cross Section View



Halo-Illuminated Reverse Pan Channel Letters - Face View



Halo-Illuminated Reverse Pan Channel Letters - Night View



A	wall
B	low voltage wiring
C	aluminum return welded
D	lexan back
E	aluminum face
F	weep holes
G	stud mounting
H	LED lights
I	remote low voltage trans.
J	disconnect switch

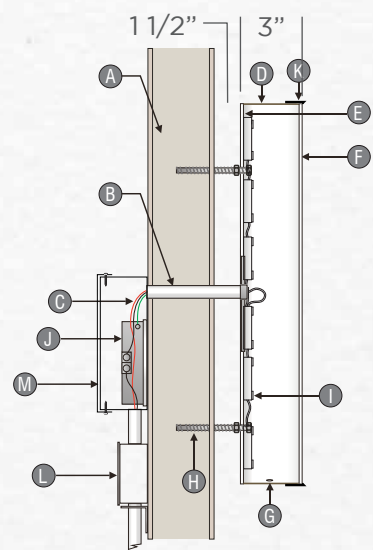
Halo-Illuminated Reverse Pan Channel Letters - Cross Section View



Halo and Face Illuminated Pan Channel Letters - Face View



Halo and Face Illuminated Pan Channel Letters - Night View



A	wall
B	1/2" EMT rigid conduit
C	low voltage wiring
D	.040 alum. rtn.
E	clear .177 lexan back
F	3/16" white plex
G	weep holes
H	stud mounting / 1 1/2" stand offs
I	LED lights
J	remote low voltage transformer
K	3/4" trimcap
L	J-Box
M	raceway behind wall with removable cap

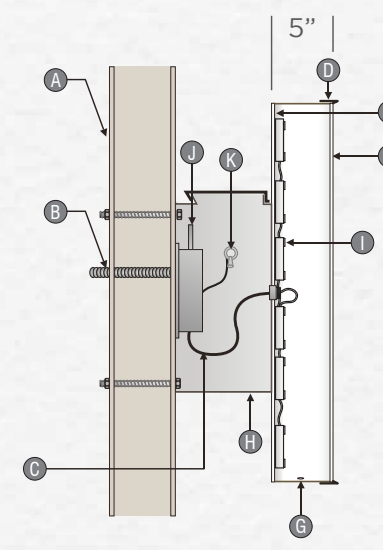
Halo and Face Illuminated Pan Channel Letters - Cross Section View



Raceway Mounted Illuminated Pan Channel Letters - Face View



Raceway Mounted Illuminated Pan Channel Letters - Night View



A	wall
B	conduit (1/2" min.)
C	low voltage wiring
D	trim cap
E	aluminum back
F	acrylic Face
G	weep holes
H	raceway
I	LED lights
J	remote low voltage transformer
K	disconnect switch
L	aluminum raceway

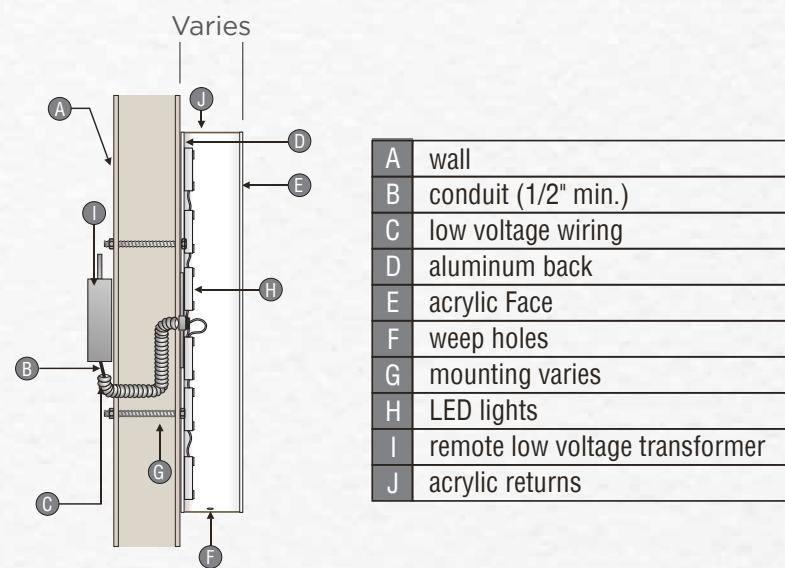
Raceway Mounted Illuminated Pan Channel Letters - Cross Section View



Acrylic Formed Illuminated Pan Channel Letters - Face View



Acrylic Formed Illuminated Pan Channel Letters - Night View



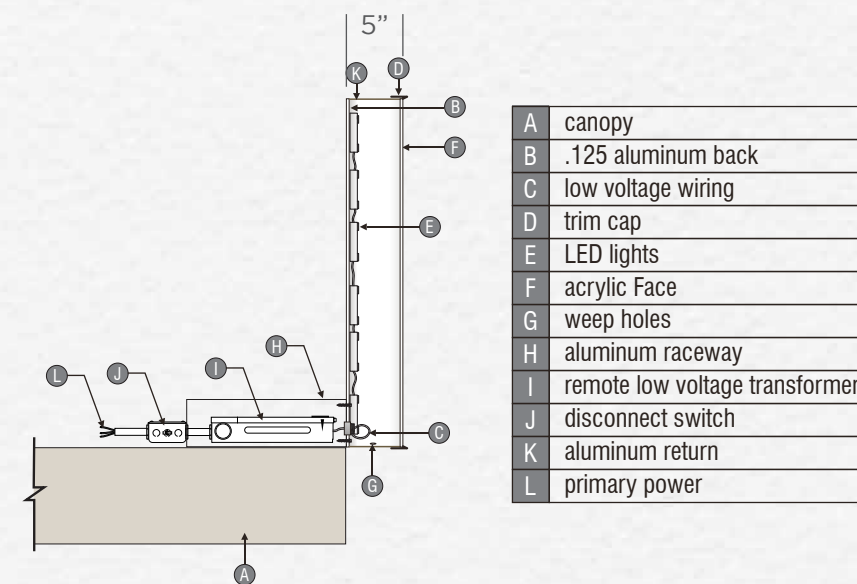
Acrylic Formed Illuminated Pan Channel Letters - Cross Section View



Raceway Mounted Illuminated Pan Channel Letters on Canopy - Face View



Raceway Mounted Illuminated Pan Channel Letters on Canopy - Night View



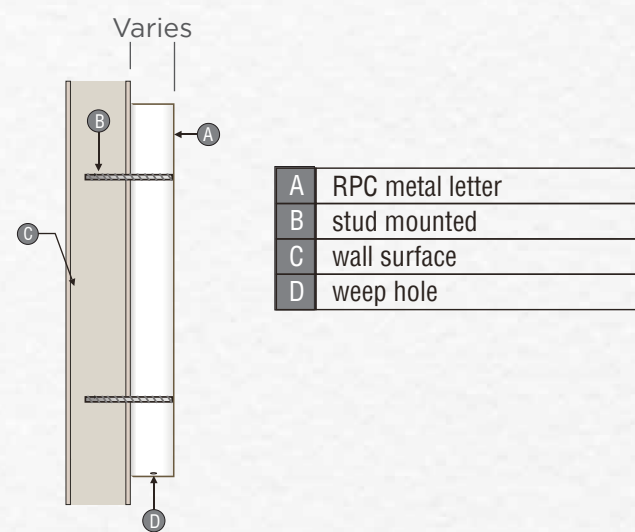
Raceway Mounted Illuminated Pan Channel Letters on Canopy - Cross Section View



Non-Illuminated Reverse Pan Channel Letters - Face View



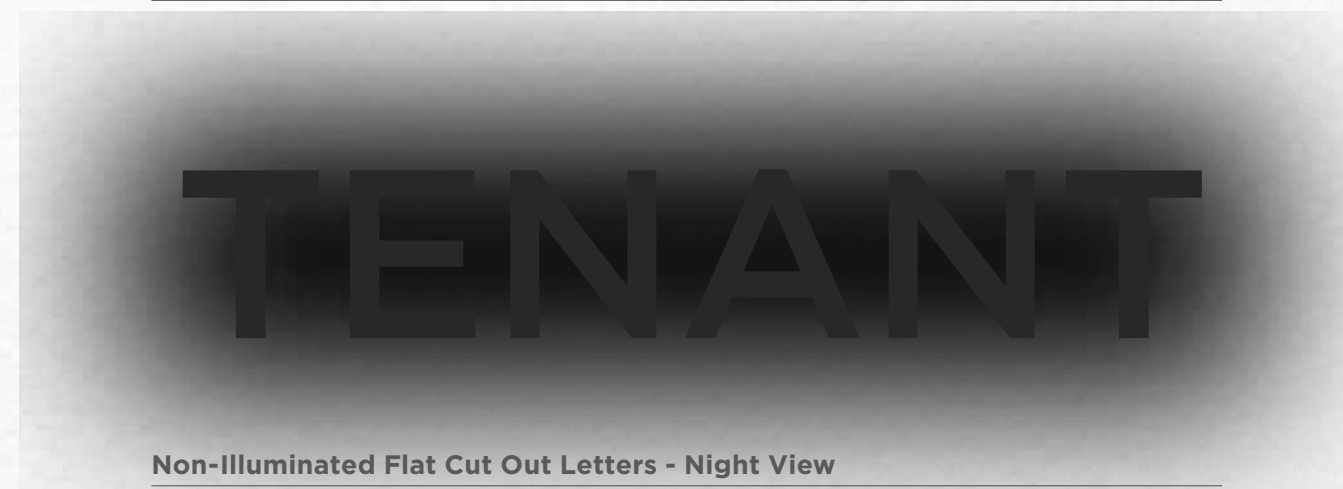
Non-Illuminated Reverse Pan Channel Letters - Night View



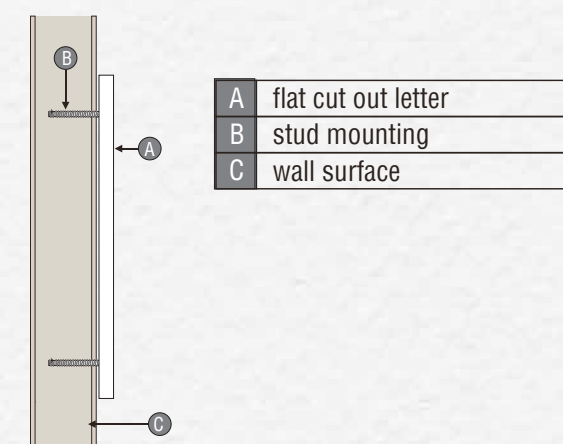
Non-Illuminated Reverse Pan Channel Letters - Cross Section View



Non-Illuminated Flat Cut Out Letters - Face View



Non-Illuminated Flat Cut Out Letters - Night View



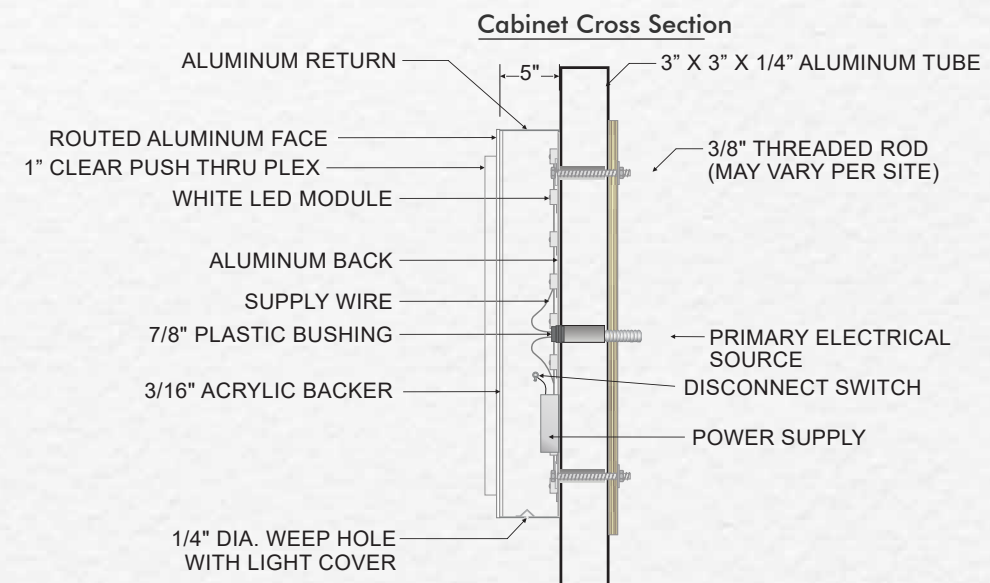
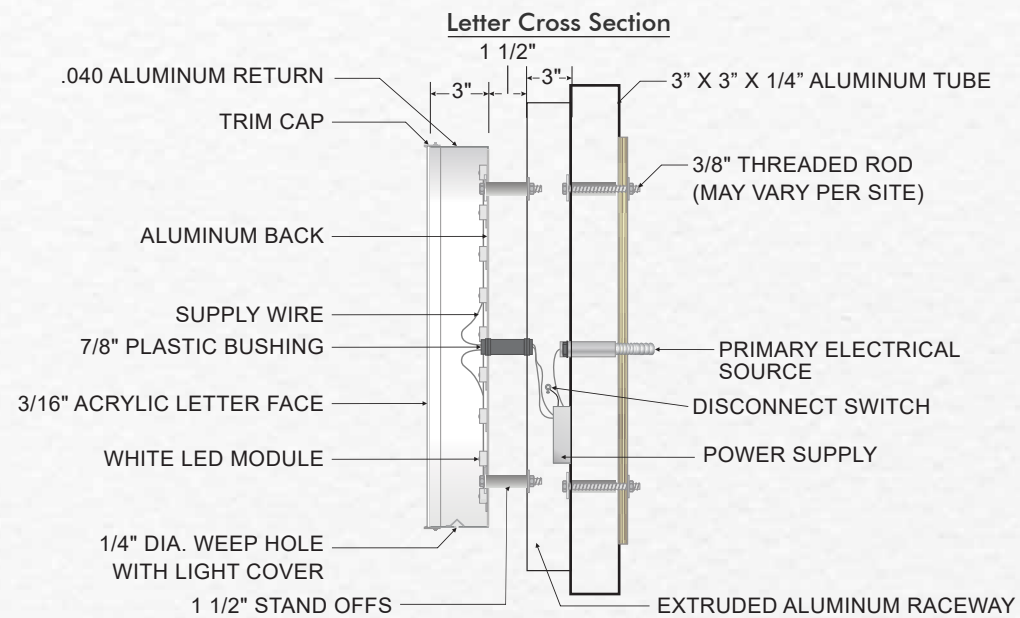
Non-Illuminated Flat Cut Out Letters - Cross Section View



Illuminated Pan Channel Letters - Face View



Illuminated Pan Channel Letters - Night View

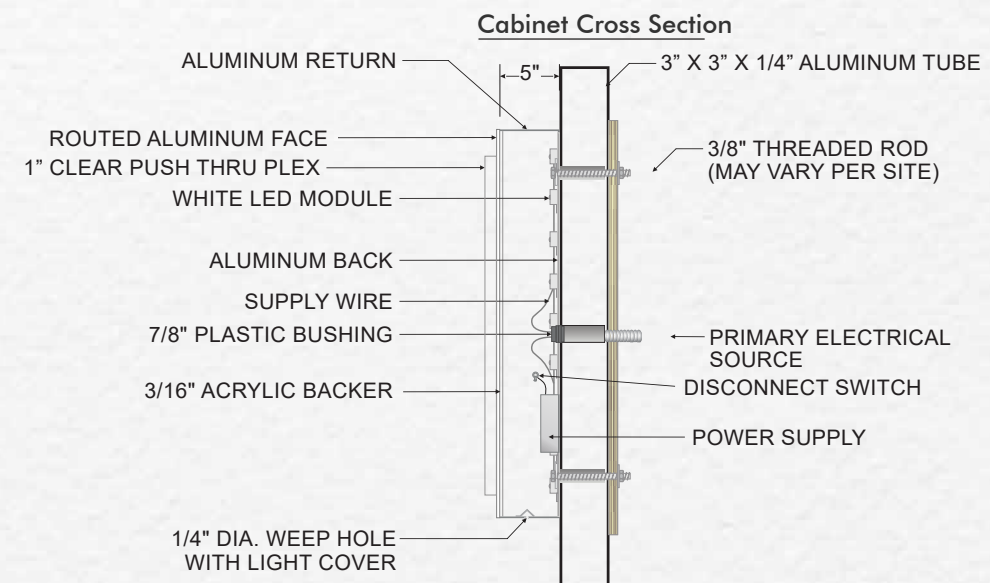
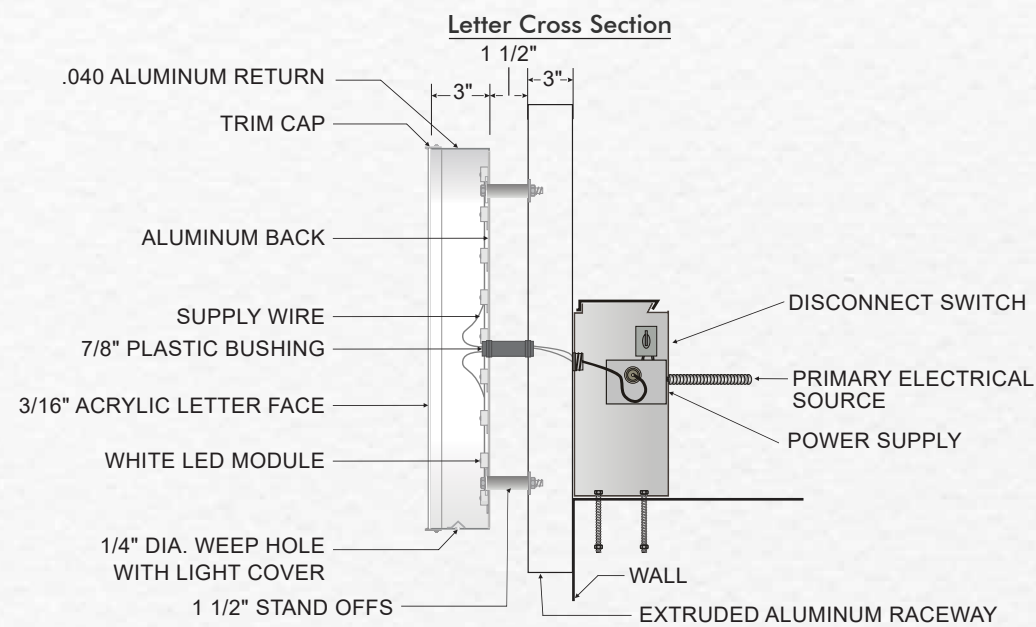




Raceway Mounted Illuminated Pan Channel Letters on Canopy - Face View



Illuminated Pan Channel Letters - Night View







**A3** East Elevation  
Scale: 3/32"=1'-0"



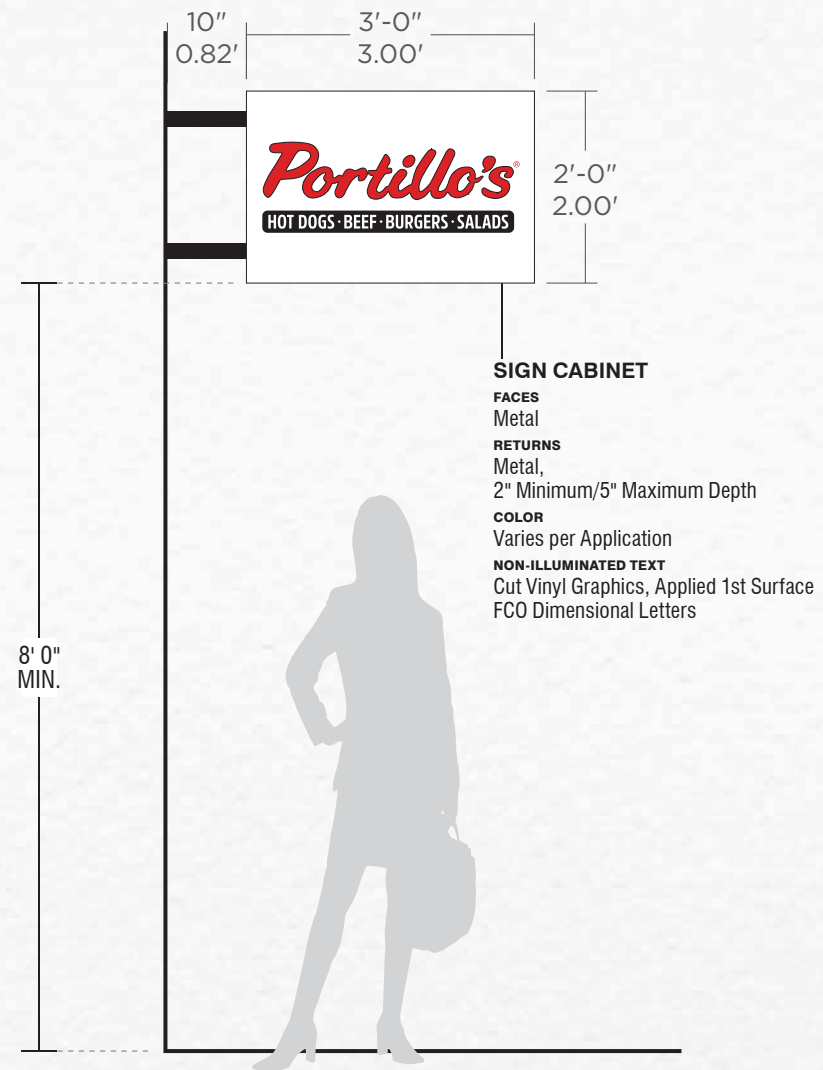
**A2** South Elevation  
Scale: 3/32"=1'-0"



**A4** West Elevation  
Scale: 3/32"=1'-0"



**A1** North Elevation  
Scale: 3/32"=1'-0"



Blade/Projecting Sign

**Sign Detail**

Scale: 1/2"=1'-0"

Sign Type	Sign Description	Function	Sign Location	Quantity	Overall Size	Tenant Copy Area Size	Materials	Illumination
<b>C1, C2 &amp; C3</b> Multi-Tenant LED Illuminated Monument Sign	Freestanding sign with three (3) tenant panels for tenant identification.	Tenant Identification	C1 - located E. Walnut Rd. C2 - located on S. Ellsworth Rd. C3 - located on S. Ellsworth Loop Rd.	Three (3)	10'-0" tall. 10'-0" wide SQFT: 100	5'-8" tall. 7'-0" wide SQFT: 39.69	Aluminum, Vinyl, Acrylic and Brick	Internally LED Illuminated
<b>D1</b> Multi-Tenant LED Illuminated Monument Sign	Freestanding sign with five (5) tenant panels for tenant identification.	Tenant Identification	D1 located on S. Ellsworth Loop Rd.	One (1)	14'-0" tall. 10'-0" wide SQFT: 100	9'-5" tall. 7'-0" wide SQFT: 65.94	Aluminum, Vinyl, Acrylic and Brick	Internally LED Illuminated

**ORDINANCE SECTION 7.2.3.C.2.C**

Such ground sign shall not exceed forty-eight (48) square feet in sign area, nor shall it exceed eight feet (8') in height above grade nor shall it extend or project over any street or alley line.

**Proposed Standard:**

Proposed signs Ellsworth Loop Road will be 12'-9" tall and 65.94 square feet in sign area inclusive of architectural embellishments. Proposed signs on Walnut and S. Ellsworth Loop Road will be 8'-10" tall and 39.69 square feet in sign area inclusive of architectural embellishments.

**JUSTIFICATION:**

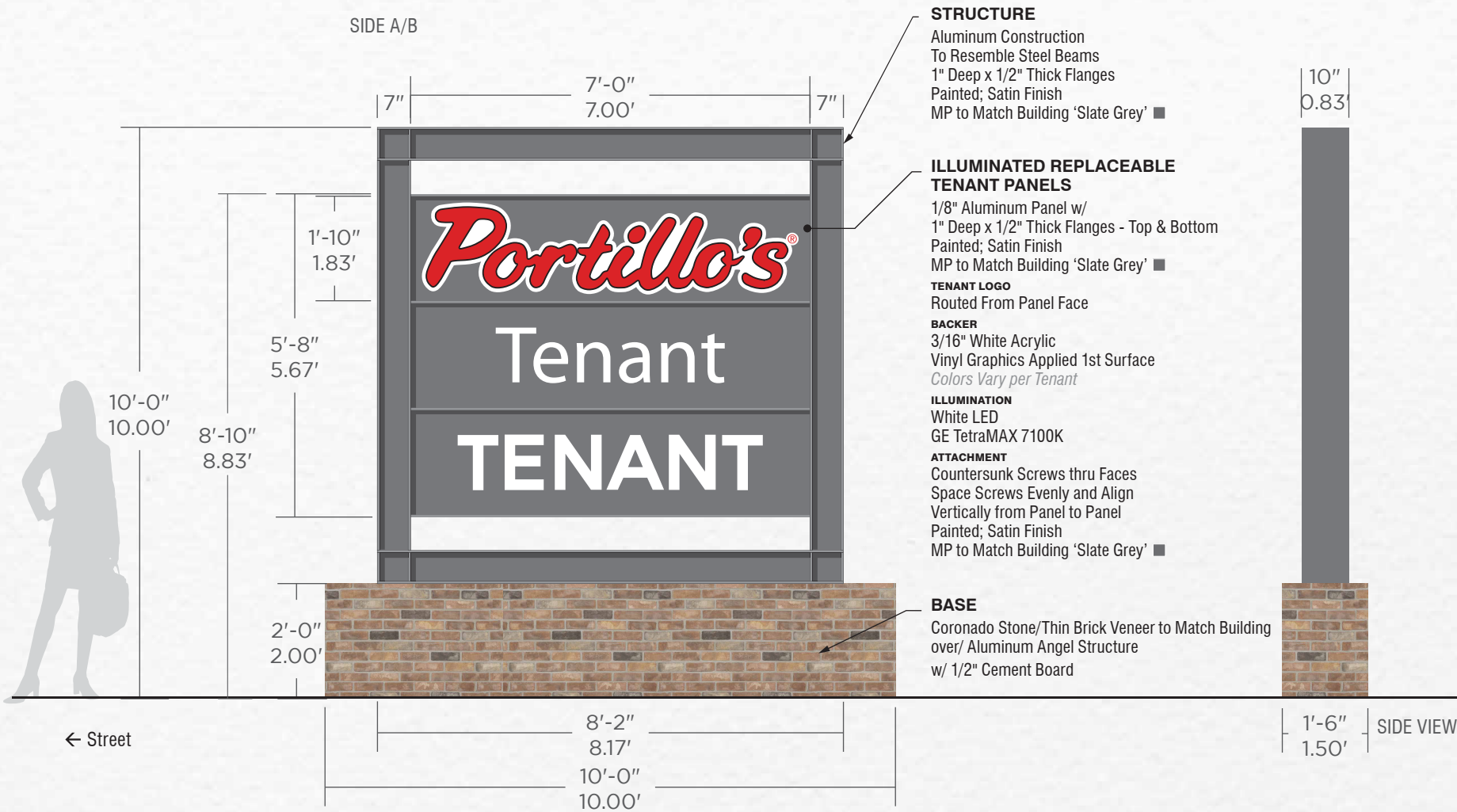
Signs were designed to be similar size and height of other approved comprehensive sign plans in the area. This will be necessary to provide tenants with similar visual exposure in a competitive manner when compared to the future Queen Creek Crossing, QC District, and Cornerstone developments. The signage is scaled to function well on each respective street with smaller signage on the side streets (S. Ellsworth Loop, and Walnut) and larger signage along the primary arterial (Ellsworth Loop Road). Signs have been designed to compliment the architectural style of the buildings and create a aesthetically pleasing environment to the surrounding area.

In addition, there is an east/west bound overpass that effects the visibility of the site. Sign D is proposed to be larger to potentially target the traffic that would otherwise be unable to see site, and help direct traffic to businesses inside of the center.



Plan View

SCALE 3/8" = 10"



Simulated Night View

SCALE 3/8" = 10"

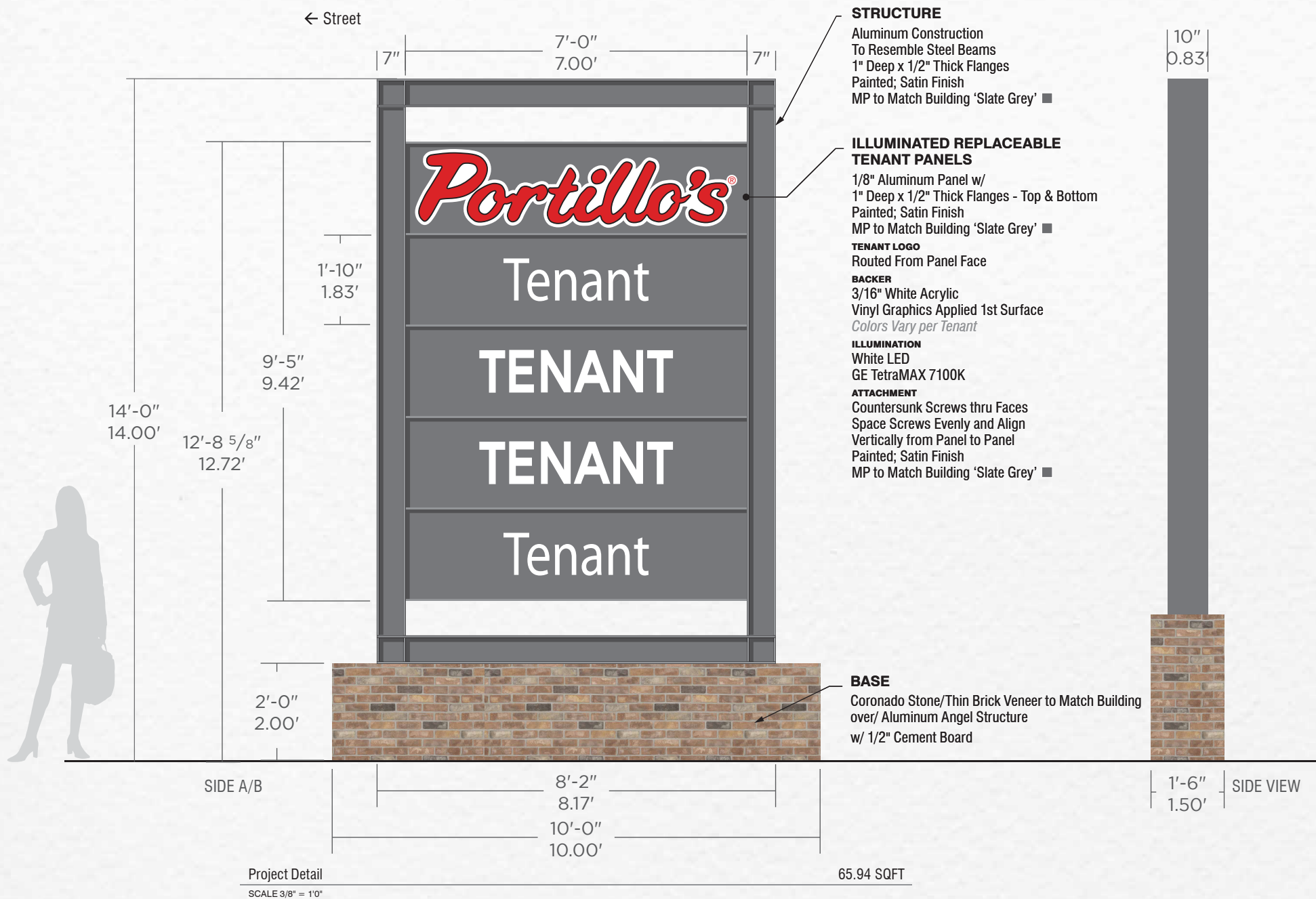
Project Detail  
 SCALE 3/8" = 10"

39.69 SQFT



Plan View

SCALE 3/8" = 1'0"



Simulated Night View

SCALE 3/8" = 1'0"