



TOWN OF
QUEEN CREEK
ARIZONA



TO: PLANNING AND ZONING COMMISSION
THROUGH: BRETT BURNINGHAM, DEVELOPMENT SERVICES DIRECTOR
FROM: ERIK SWANSON, PLANNING ADMINISTRATOR, MALLORY RESS, PLANNER II

RE: PUBLIC HEARING AND POSSIBLE ACTION ON QUEEN CREEK VETERINARY CLINIC BUILDING EXPANSION CONDITIONAL USE PERMIT AND SITE PLAN (CASES P22-0118 AND P22-0204), A REQUEST FROM CAIN GARCIA, SPS+ ARCHITECTS, FOR A CUP AND SITE PLAN APPROVAL FOR THE CONSTRUCTION OF AN APPROXIMATELY 4,400SQ.FT. BUILDING ADDITION AT THE EXISTING VETERINARY CLINIC, LOCATED EAST OF THE SOUTHEAST CORNER OF OCOTILLO AND HAWES ROADS.

DATE: November 9, 2022

Staff Recommendation:

Staff recommends approval of cases P22-0118 and P22-0204 Queen Creek Veterinary Clinic Building Expansion CUP and Site Plan, subject to the Conditions of Approval included in this report.

Proposed Motion:

Move to recommend approval of cases P22-0118 and P22-0204 Queen Creek Veterinary Clinic Building Expansion CUP and Site Plan, subject to the Conditions of Approval included in this report.

Summary:

This proposal consists of a request for CUP and Site Plan approval for the construction of an approximately 4,400sq.ft. building addition at the existing veterinary clinic, located east of the southeast corner of Ocotillo and Hawes roads.

History:

June 19, 1996: Town Council approved SU02-96 authorizing a 25-year use permit allowing 20 kennels at the Queen Creek Veterinary Clinic.

March 1, 2000: Town Council approved CU07-99 authorizing a 25-year use permit allowing 60 kennels at the Queen Creek Veterinary Clinic.

Project Information:

Project Name: Queen Creek Vet Clinic Building Expansion

Site Location: E/SEC of Ocotillo and Hawes roads

Current Zoning: C-2 (General Commercial)

Surrounding Zoning Designations

North: Ocotillo Road, Victoria PRC/R1-7

South: R1-8

East: C-2

West: C-2

Building Area

Existing: 3,936sq.ft.

Addition: 4,408sq.ft.

Total: 8,344sq.ft.

Lot Coverage

Provided: 23.53%

Maximum Allowed: 60%

Open Space/Landscaping

Required: 15% (3,646sq.ft)

Provided: 20.8% (5,250sq.ft)

Parking

Required: 42

Provided: 34 (3 accessible)

Discussion:

The proposal is for an approximately 4,400sq.ft building expansion at the existing veterinary clinic, located east of the southeast corner of Hawes and Ocotillo roads. The building addition is approximately 23'2" in height, while the top height of the existing building is approximately 20'. The maximum allowed height in the C-2 zoning district is 48', thus the building expansion height is below the allowed height in the zoning district. The building expansion is requested to accommodate eleven additional exam rooms. No additional kennels are proposed as part of the expansion.

The project meets all lot coverage and building setback requirements, however, the landscape buffer requirements are not met at the north and south property lines. The required landscape buffer at the adjacent to Ocotillo, is 30' from the subject site's north property line. The applicant is proposing a 25'2" landscape buffer. The distance from the property line to back of curb at Ocotillo Road is approximately 30'. Therefore, the total buffer from back of curb is approximately 52'2". The proposed 25'2" on-site landscape buffer setback is consistent with existing buildings adjacent to the east and west of the subject site. Given the existing conditions in the area, the reduced landscape buffer at the north property line is supported by staff.

Similarly, the required landscape buffer at the south property line is 30' adjacent to the single family residential use. A 50% proportional share of the landscape setback is required to be installed along each property line, thus, requiring a 15' landscape buffer at the subject site along the south property line. The applicant is proposing a varied landscape buffer from 15' to 10'. The reduced landscape buffer is commensurate with the existing conditions at parcels to the east and west of the subject site. It should be noted that under case P22-0097, the parking lot expansion at the subject site was administratively approved and provided a 15' landscape buffer along the entirety of the south

property line. However, with the required drive aisle width, the landscape buffer was reduced to what is shown in the attached site plan. Seven trees and 47 shrubs will be installed within the southern landscape buffer. Given the existing conditions in the area, the reduced landscape buffer at the south property line is supported by staff.

A total of 42 parking spaces are required for the entire site. Of these 42 spaces, 22 are required as part of the building expansion. The Zoning Ordinance does not specifically delineate required parking for a veterinary clinic, and parking is calculated using the required parking count for a medical office. With past veterinary clinic/hospital projects, parking reductions have been justified as the intensity of use is less than that of a typical medical office. Additionally, the building expansion proposes 11 new exam rooms and an anticipated 2-3 employees. As represented by the applicant, the building expansion necessitates a maximum of 14 spaces. The proposed project provides an additional 17 parking spaces, for a site total of 32 parking spaces at the subject site. Staff is supportive of the requested parking reduction.

The building expansion has been designed to architecturally integrate with the existing building. The expansion incorporates hipped rooflines, CMU wainscot, stucco and window treatments that are consistent with the existing building. Trellis details are provided at the north and west elevations and an entry canopy is provided at the east elevation. Additionally, as part of the building expansion, the entire building will be painted in a neutral color scheme to complement the surrounding neighborhood.

Lastly, an outdoor staff patio area is proposed as part of the project. The area is located at the rear of the building expansion and includes an approximately 1,550sq.ft. area fenced with 5' high wrought iron posts and gate and will include artificial turf and trees. This area is intended for staff use, however, animals may utilize the area post-operation to ensure that pets are ready to leave the vet clinic. Animals will never be left unattended in this area. A Condition of Approval has been added to this effect.

Public Participation:

The applicant held a neighborhood meeting on September 19, 2022 with approximately 5 members of the public in attendance. Attendees were neighboring business owners and residents who reside within the 1200ft notification mail-out distance. The applicant presented the project, explained that the building expansion is proposed at the north side of the property, and that no additional kennels are proposed as part of the project. Attendees were interested in the design of the project and requested architectural consistency with the existing building. Additionally, the distinction between the administratively approved parking lot expansion and the conditional use permit requirement for the expansion of the building was discussed. It should be noted that the southern landscaping buffer, adjacent to the existing residential was discussed, however, this landscape buffer was approved administratively and is not the subject of this application. Related to the southern landscape buffer, residents requested density equal to or better than what existed prior to the commencement of the parking lot expansion. The applicant provided information related to the timeframe for replanting the buffer—approximately 6 months, and indicated that the density will be similar to the previous plantings. It is important to note that portions of the previous landscape buffer were installed without the Town's review and approval and may have been in excess of the Town's current requirements. To

date staff has received one written comment relating to the landscape buffer at the south of the property. This comments is included with the attachments.

Analysis:

Conditional Use Permit (CUP) Review: The proposed expansion to the existing veterinary clinic requires a CUP pursuant to a condition of approval under CU07-99 requiring approval by the Planning Commission and Town Council for building expansions greater than 1,000sq.ft. The Zoning Ordinance lists nine criteria for evaluating a proposed Conditional Use Permit. The criteria were established to ensure that the use does not negatively impact the surrounding community by examining sufficient infrastructure, access, potentially offensive operations that can impact the general welfare of the community, and that orderly development of the adjacent area is not impacted. The proposed CUP satisfies the requirements.

General Plan Review: The current General Plan designation for this property is Commercial. The request is in conformance with the property's General Plan Land Use designation.

Zoning Review: This property is zoned C-2 (General Commercial). The veterinary clinic use was previously approved under a conditional use permit and the expansion of the facility is permitted with an amendment to the conditional use permit.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Signage: Proposed signage will be reviewed and approved as part of a separate Sign Permit application.

Conditions of Approval:

1. All required conditions listed under cases SU02-96 and CU07-99 are codified herein, with any conditions not listed removed as conditions.
2. This project shall be developed in accordance with the plans attached to cases P22-0118 and P22-0204 and all the provisions of the Zoning Ordinance applicable to these cases.
3. Animals shall not be kept unattended in the patio area.
4. The maximum number of kennels shall be sixty (60). Applicant shall demonstrate compliance through site plan approval that 60 kennels can be accommodated on site without violating any requirements of the Zoning Ordinance. The number of kennels can be adjusted accordingly if the applicant cannot demonstrate compliance with Zoning Ordinance requirements.
5. Construction of exterior walls shall be of the Integra Wall System (using foam filament that is entirely "blown" into each block) or similar material achieving the same or greater level of noise abatement. Noise abatement shall comply with the provisions set forth in the Zoning Ordinance.
6. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, or roof mounted, shall be screened from public view and designed to appear as an integral part of the building.

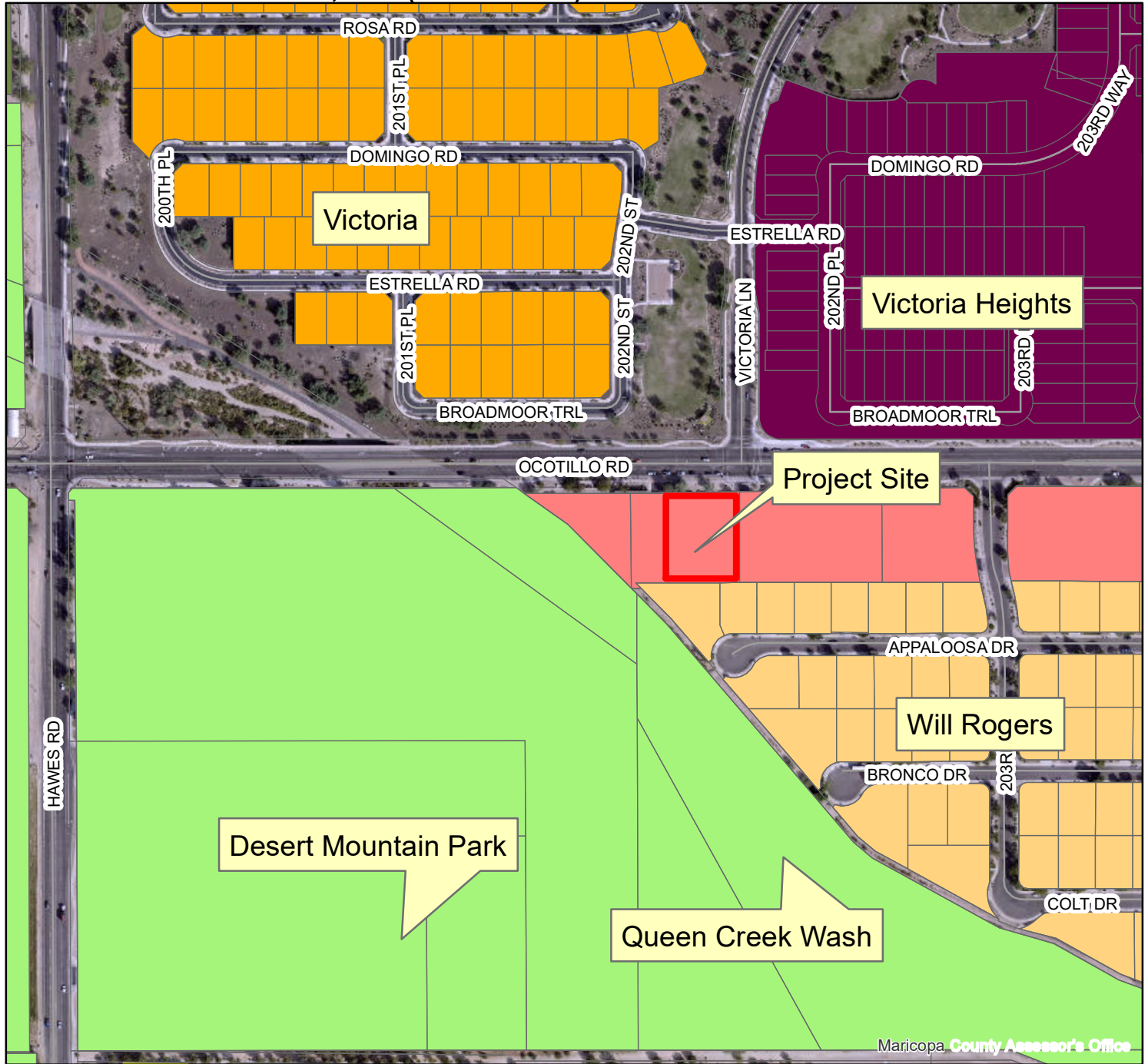
Attachment(s):

1. Aerial Exhibit
2. Zoning Exhibit
3. Site Plan
4. Landscape Plan
5. Elevations
6. Project Narrative
7. Public Comment

Project Name: QC Vet Clinic Building Expansion Aerial Exhibit
Case Numbers: P22-0118 & P22-0204
Hearing Date: November 9, 2022 (Planning Commission)
November 16, 2022 (Town Council)



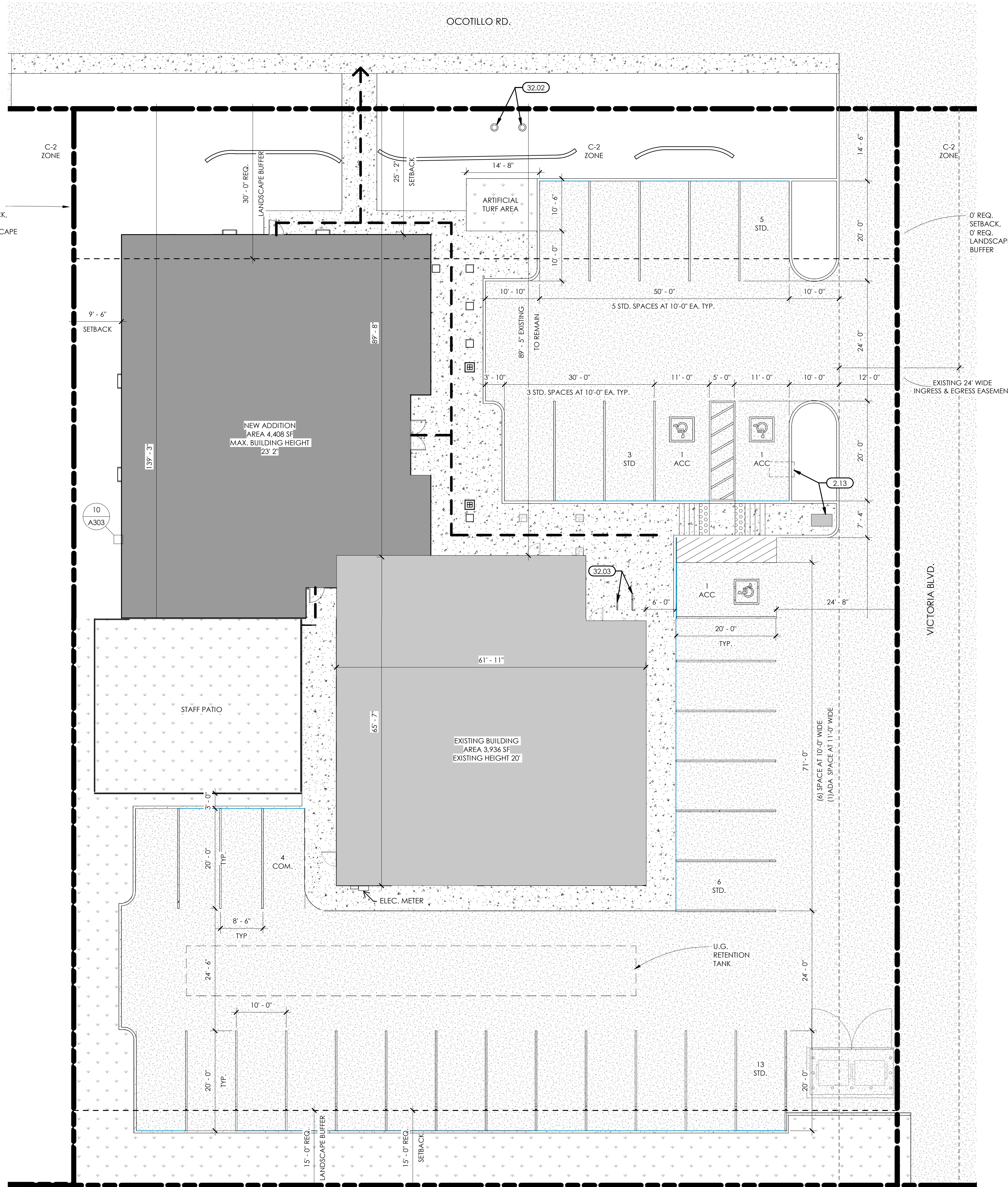
Project Name: QC Vet Clinic Building Expansion Zoning Exhibit
 Case Numbers: P22-0118 & P22-0204
 Hearing Date: November 9, 2022 (Planning Commission)
 November 16, 2022 (Town Council)



Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
TC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment

A:\client\Docs\2022\Queen Creek Veterinary Clinic\2022\Queen Creek_ARCH_VET CLINIC_2022.rvt
 10/25/2022 5:42:19 PM



1 SITE PLAN
3/32' = 1'-0"

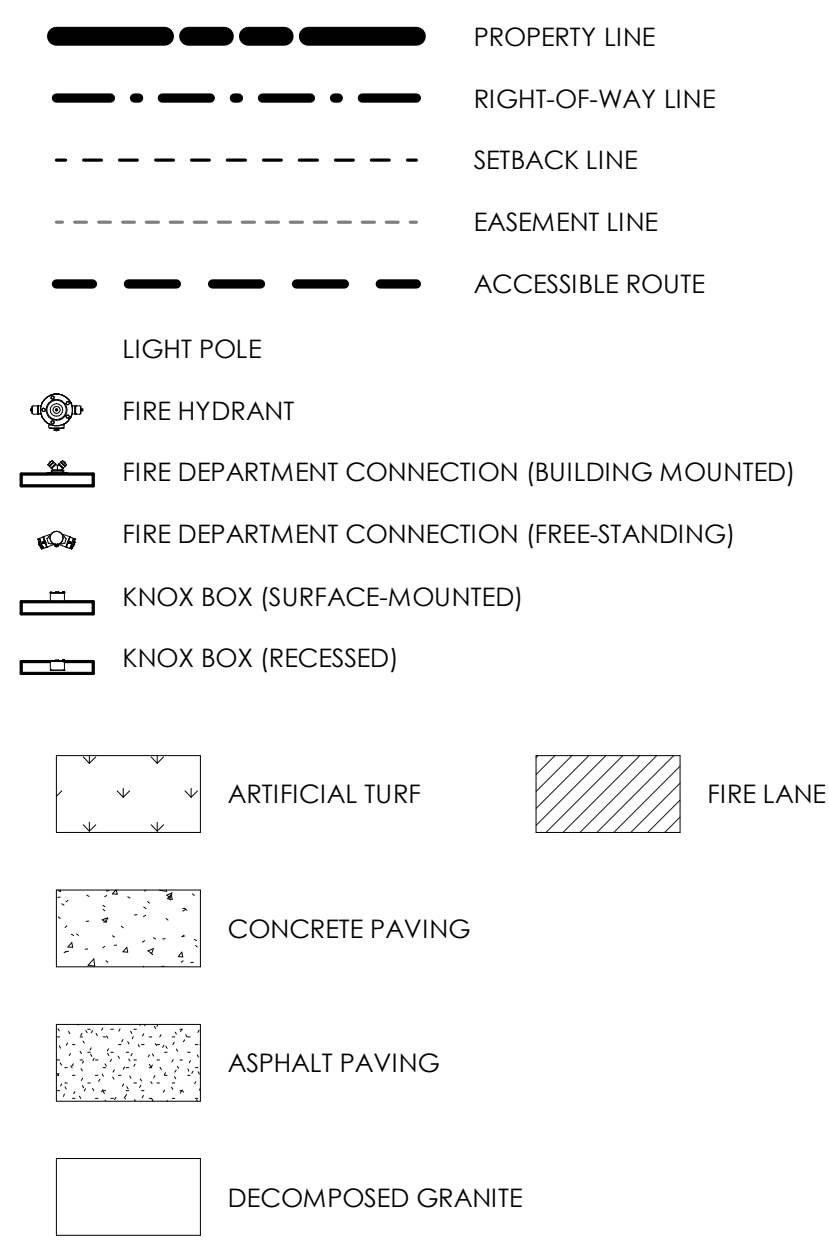


R1-8
ZONE

SITE GENERAL NOTES

- ALL ON-SITE ACCESSIBLE SIDEWALKS SHALL BE A MINIMUM OF 3'-0" WIDE AND HAVE A MAXIMUM SLOPE OF 1:20 (5%) WITH THE MAXIMUM CROSS SLOPE OF 1:50 (2%). ALL CURBS MUST PROVIDE ACCESSIBLE RAMPS PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS.
- CONTRACTOR TO VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT AND OWNER OF ANY AND ALL DISCREPANCIES.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- ANY WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A SEPARATE PERMIT.
- CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, AND/OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH RESPECTIVE UTILITY COMPANIES.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO REPLACE ANY DAMAGED CURBS, UTILITIES, SIDEWALKS, IRRIGATION COMPONENTS, ETC. DUE TO CONSTRUCTION ACTIVITIES. PROVIDE PROTECTION AS REQUIRED TO AVERT DAMAGE.
- NOTES APPLY TO ENTIRE PROJECT AREA & SCOPE. COMPLY WITH PLANS, SPECIFICATION & NOTES, WHICH EVER IS MORE RESTRICTIVE. COMPLY WITH GOVERNING AGENCIES APPLICABLE CODES & ORDINANCES.
- CONTRACTOR TO REVIEW THE CONTRACT DOCUMENTS FOR CONSTRUCTABILITY. DRAWINGS ARE DIAGRAMMATIC IN NATURE & SUBJECT TO ADJUSTMENTS TO AVOID CONFLICTS. ALTERNATE CONSTRUCTION METHODS & CONFIGURATION MAYBE MADE WHERE NECESSARY WITH THE ARCHITECT'S PERMISSION. COST FOR SUCH CONSTRUCTABILITY REVISION SHALL BE PART OF THE ORIGINAL SCOPE OF WORK. NO ADDITIONAL COMPENSATION IS ALLOWED.
- DETAILS ARE TYPICAL OR SIMILAR THROUGHOUT THE PROJECT. SUBJECT TO MODIFICATIONS FOR SPECIFIC CONDITIONS.
- THE PROJECT SCOPE INCLUDES ALL WORK REQUIRED TO PROVIDE FINISHED, FULLY FUNCTIONAL CODE COMPLIANT CONSTRUCTION. CONTRACTOR TO INCLUDE WORK ASSOCIATED WITH UNSEEN EXISTING CONDITIONS THAT ARE TYPICAL TO REMODELING IN SIMILAR EXISTING CONSTRUCTION AREA.
- COORDINATE ALL LIGHT POLE LOCATIONS WITH ELECTRICAL AND ARCHITECTURAL DRAWINGS.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED WHERE REQUIRED BY STUDENT / EMPLOYEE TRAFFIC.
- ALL SIGNAGE TO BE PROCESSED AS A SEPARATE PERMIT.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE TO DETERMINE FULL EXTENT OF WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE PERMITTED FOR FAILURE TO FULLY ASCERTAIN ALL ASPECTS OF DEMOLITION WORK REQUIRED FOR NEW CONSTRUCTION.
- CONTRACTOR TO REPLACE ANY DAMAGED CURBS, UTILITIES, SIDEWALKS, IRRIGATION COMPONENTS, ETC. DUE TO CONSTRUCTION ACTIVITIES. PROVIDE PROTECTION AS REQUIRED TO AVERT DAMAGE.
- DETAILS ARE TYPICAL OR SIMILAR THROUGHOUT THE PROJECT AND SUBJECT TO MODIFICATIONS FOR SPECIFIC CONDITIONS.
- THE PROJECT SCOPE INCLUDES ALL WORK REQUIRED TO PROVIDE FINISHED FULLY FUNCTIONAL CODE COMPLIANT CONSTRUCTION.

SITE LEGEND



SITE DATA

GENERAL:

REFERENCE: TOWN OF QUEEN CREEK ZONING CODE
 ZONING: C-2 COMMERCIAL
 USE: VETERINARIAN
 APN NUMBER: 304-67-011H

SITE AREA:
 GROSS: 35,458 S.F. (0.81 ACRES)

BUILDING HEIGHT / NUMBER OF STORIES:
 ALLOWABLE: 48'-0"
 PROVIDED: 23'-2" (1-STORY)

BUILDING AREA:
 EXISTING BUILDING: 3,936 S.F.
 ADDITION: 4,408 S.F.
 TOTAL: 8,344 S.F.

LOT COVERAGE:
 ALLOWABLE: PER ZONING ORDINANCE 60%
 0.6 x NET SITE AREA
 0.6 x 35,458 SF = 21,275 SF
 PROVIDED: GROSS BUILDING FOOTPRINT AREA / NET SITE AREA
 8,344 SF / 35,458 SF = 0.2353 = 23.53%

FLOOR AREA RATIO (F.A.R.):
 ALLOWABLE: PER ZONING ORDINANCE 0.6
 0.6 x NET LOT AREA
 0.6 x 35,458 SF = 21,275 SF
 PROVIDED: GROSS BUILDING / NET SITE AREA
 8,344 SF / 35,458 SF = 0.2353 = 23.53%

SETBACKS:

BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT YARD (NORTH):	0'	25'-2"
SIDE YARD (EAST):	0'	53'
SIDE YARD (WEST):	0'	7'
REAR YARD (SOUTH):	15'	60'-11"

LANDSCAPE SETBACKS:	REQUIRED	PROVIDED
FRONT YARD (NORTH):	30'	15'
SIDE YARD (EAST):	0'	0'
SIDE YARD (WEST):	0'	7'
REAR YARD (SOUTH):	15"	15'

*30' BUFFER REQUIRED, 50% PROPORTIONAL SHARE REQUIRED TO BE INSTALLED ALONGS EACH PROPERTY LINE (QUEEN CREEK ZONING ORDINANCE SECTION 5.6.c)

PARKING REQUIREMENTS:

	REQUIRED	PROVIDED
8,344 SF / 200 SF	42 SPACES	32 SPACES

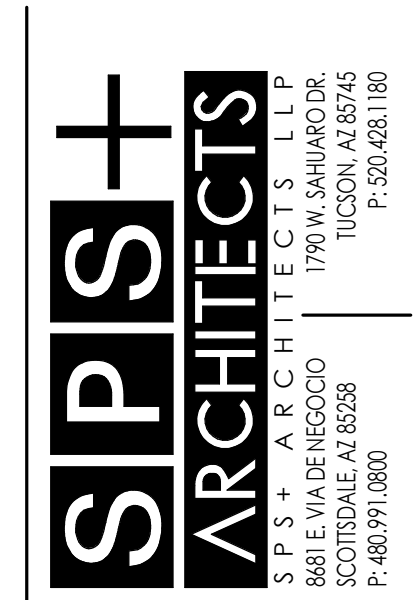
BICYCLE PARKING REQUIREMENTS:

	REQUIRED	PROVIDED
	4 SPACES	4 SPACES

OFFICE MEDICAL (1 SPACE PER 200 SF)
 BICYCLE (1 SPACE PER 30 VEHICULAR SPACES, MIN. 4 SPACES)
 ACCESSIBLE (2 SPACES PER 25 TO 50 TOTAL PARKING LOT SPACES)

KEY NOTES

- 2.13 EXISTING MAILBOX TO BE RELOCATED
- 2.14 EXISTING U.G. RETENTION TANK
- 8.05 NEW GATE. REFER TO DETAIL (5/SP110)
- 32.02 LIGHTED FLAG POLE
- 32.03 BICYCLE RACK (4 SPACES)
- 32.05 NEW FENCE, 6' WROUGHT IRON.



QUEEN CREEK VETERINARY CLINIC
 EXTERIOR RENDERERS
 20201 E OCOTILLO RD
 QUEEN CREEK, AZ 85142
 OVERALL SITE PLAN

THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF SPS+ARCHITECTS LLP & MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION.

REVISIONS

MARK	DATE	DESCRIPTION
1	9/6/2022	City Comment Response

REVIEWED BY: GS, KM
 DRAWN BY: EH

PERMIT SET
 DATE: 09-19-22

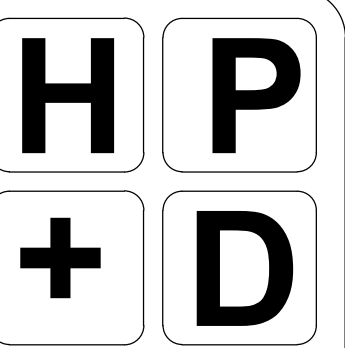
JOB No: 22022

SHEET:

SP100

QUEEN CREEK VET CLINIC

20201 E. OCOTILLO ROAD
QUEEN CREEK, ARIZONA 85142



HARRINGTON
PLANNING + DESIGN

4711 N. Falcon Drive, Suite 222
Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



QUEEN CREEK VET CLINIC

20201 E. Ocotillo Road
Queen Creek, Arizona 85142

REV.	COMMENT	DATE

LANDSCAPE PACKAGE

September 06, 2022
DRAWN BY: REW
CHECK BY: JEH
PROJ. NO.: 2022-042
CASE NO.: TBD

LANDSCAPE COVER

L0.1
1 of 6



SHEET INDEX

SHEET	TITLE
L0.1	LANDSCAPE COVER
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
L4.0-L4.1	IRRIGATION DETAILS

OWNER CONTACT

BILL LANGHOFER
2545 W. LOUGHLIN DR.
CHANDLER, AZ 85224
BILLLANGHOFER@HOTMAIL.COM
(602) 684-6179

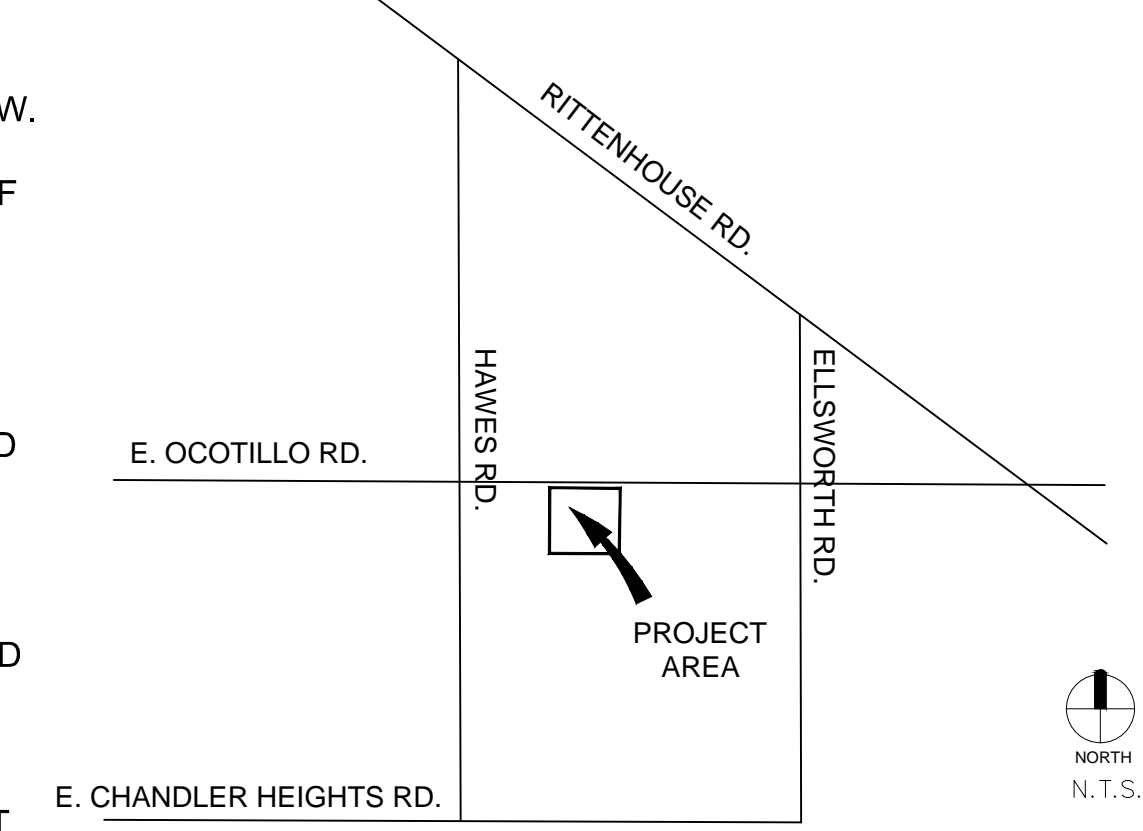
LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
4711 E. FALCON DRIVE, SUITE 222
MESA, ARIZONA 85215
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

ARCHITECT

SPS+ ARCHITECTS, LLP
8681 EAST VIA DE NEGOCIO
SCOTTSDALE, AZ 85258
(480) 991-0800
CAIN GARCIA
CAIN.G@SPSPUSARCHITECTS.COM

VICINITY MAP



TOWN OF QUEEN CREEK GENERAL NOTES

- THE TOWN OF QUEEN CREEK GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
- THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE TOWN IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN HATE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARDS SPECIFICATIONS AND DETAILS.
- FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE TOWN OF QUEEN CREEK STAFF.
- ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERY ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY AND CITY REQUIRED (PERIMETER, RETENTION, AND PARKING) PLANT MATERIAL TO BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
- CONTACT THE TOWN OF QUEEN CREEK, TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE TOWN STAFF PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY TOWN PLANT MATERIAL OR EQUIPMENT.
- ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.
- THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO TIE THE EXISTING IRRIGATION IN THE RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THROUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPPING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL, IN RIGHT-OF-WAY, PER THE APPROVED PLAN.
- WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL HAVE A MINIMUM CANOPY CLEARANCE OF EIGHT FOOT ZERO INCHES (8'-0").
- P.V.C. PIPE LATERALS ARE REQUIRED. A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE P.V.C. PIPE LATERAL IS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.
- PLANT QUANTITIES AND CALIPER SIZES PER THE SPECIFIC ZONING REQUIREMENTS FOR THIS SITE, PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO HATE APPROVED PLAN.
NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENTS. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THE THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

LANDSCAPE GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH THESE PLANS, DETAILS, AND SPECIFICATIONS.
- CAREFULLY INSPECT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DRAWINGS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.
- HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY; REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT.
- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- UNDERGROUND SERVICE ALERT - NOTIFY BLUE STAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT. EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. VERIFY THE LOCATION AND CONDITION OF UTILITIES PRIOR TO CONSTRUCTION.
- INSPECTIONS - NOTIFY OWNER REPRESENTATIVE AND APPROPRIATE AGENCY REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO REQUIRED GOVERNING AGENCY INSPECTION.
- QUANTITIES INDICATED IN DRAWINGS ARE PROVIDED AS A COURTESY ONLY. VERIFY QUANTITIES SHOWN BY CONDUCTING AN INDEPENDENT QUANTITY TAKE OFF.
- OWNER AND LANDSCAPE ARCHITECT WILL DECIDE QUESTIONS RELATING TO INTERPRETATION OF DRAWINGS AND ACCEPTABLE FULFILLMENT OF THE WORK SHOWN IN CONTRACT DOCUMENTS.
- MAINTAIN PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK AT ALL TIMES INCLUDING WEEKENDS AND HOLIDAYS. DISPOSE OF RUBBLE, TRASH, OR DISPOSABLE ITEMS RESULTING FROM DEMOLITION IN A LEGAL, LAWFUL, AND SAFE MANNER TO AN APPROVED DISPOSAL SITE.
- APPLY PRE-EMERGENT AFTER COMPLETION OF EARTHWORK, LEACHING, BED PREPARATION AND FINE GRADING PRIOR TO TOP DRESS.
- ALL EXISTING LANDSCAPE AREAS OUTSIDE THE PROJECT AREA THAT ARE DISTURBED BY ANY ACTIVITY UNDER THIS CONTRACT SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AND TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL PROVIDE FLAGGED AND/OR STAKED LAYOUT OF ALL PLANTING LOCATIONS FOR REVIEW AND ADJUSTMENT, IF NECESSARY, BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING IRRIGATION OR PLANT PIT EXCAVATIONS.
- ANY AND ALL PLANTS OR TREES, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES OF THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

IRRIGATION LEGEND

- SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 65 PSI
- SYMBOL
- WATER METER EXISTING IRRIGATION METER.
 - RPBFA EXISTING BACKFLOW PREVENTER ASSEMBLY.
 - CONTROLLER EXISTING COMMERCIAL CONTROLLER.
 - GATE VALVE NIBCO GATE VALVE, SIZE PER LINE BRONZE MATERIAL
 - FLUSH CAP SPEARS FLUSH CAP 1/2" FLUSH VALVE
 - EMITTER - SP BOWSMITH 1.0 GPH (1 PER PLANT)
 - EMITTER - MP BOWSMITH 1.0 GPH 6 PORT (2 PER TREE)

- PIPE LEGEND
- TREE LATERAL PVC SCH. 40 - SIZE PER PLAN
 - SHRUB LATERAL PVC SCH. 40 - SIZE PER PLAN
 - PIPE SLEEVE PVC SCH. 40 - 2 x PIPE SIZE MIN

IRRIGATION GENERAL NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. ADJUST LOCATION OF VALVES TO PROVIDE FULL AND ADEQUATE COVERAGE OR ADD EMITTERS AS NECESSARY TO ENSURE 100% COVERAGE OF PLANT MATERIALS. PREVENT OVERSPRAY ON ADJACENT IMPROVEMENTS.
- VERIFY WATER PRESSURE IN FIELD AND NOTIFY OWNER IMMEDIATELY SHOULD A DISCREPANCY EXIST.
- COORDINATE IRRIGATION SLEEVES LOCATION AND SIZE WITH A MINIMUM DIAMETER TWICE THE SIZE OF THE IRRIGATION LINE. EXTEND SLEEVES 12" BEYOND EDGE OF PAVEMENT, WALL, WALKS OR CURB.
- PROGRAM CONTROLLERS TO MAINTAIN SUFFICIENT FLOW RATES THROUGHOUT THE SYSTEM. ADJUST AS REQUIRED FOR SEASON AND PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
- LOCATE TAN COLOR (CARSON OR EQUAL) VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, CONTROL WIRE AND OTHERS) IN PLANTER AREAS. DO NOT LOCATE VALVE BOXES IN A LAWN OR HARDSCAPE UNLESS REQUIRED AND APPROVED BY OWNER.
- ALL IRRIGATION EQUIPMENT DESCRIBED IN LEGEND WILL BE ACCEPTED AS APPROVED EQUALS FOR PERFORMANCE. CONTRACTOR MAY SUBMIT FOR REVIEW EQUAL PERFORMANCE EQUIPMENT.
- MAINTAIN OR RESTORE ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS IMPACTED BY ANY WORK PERFORMED UNDER THIS CONTRACT. RESTORE IRRIGATION TO PROVIDE 100% SERVICE AND COVERAGE.
- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO STARTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING, FITTINGS, AND RISERS TO EACH PLANT EMITTER AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Pistacia chinensis	24" Box		7
Chinese Pistache	H 7'-9" x W 2'-4"	*ADWR	
Acacia salicina	24" Box		3
Willow Leaf Acacia	H 7'-7" x W 2'-4"	*ADWR	

GROUNDCOVERS	QTY
Lantana montevidensis	5
Trailing Lantana 'gold'	*ADWR

SHRUBS / ACCENTS	QTY
Ruellia peninsularis	6
Baja Ruellia	*ADWR
Leucophyllum frutescens	16
Compact Texas Sage	*ADWR
Eremophila hygrophana	21
Blue Bells	*ADWR
Muhlenbergia capillaris	5
Regal Mist Grass	*ADWR
Agave ocahui	12
Agave Ocahui	*ADWR
Agave desmettiana	10
Smooth Agave	*ADWR

LANDSCAPE MATERIALS	QTY
Decomposed Granite. 3/4" screened "Express Gold", 2" deep in planting areas per plan.	4,020 s.f.
Synthetic Turf K9 Grass System	1,550 s.f.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

TOWN OF QUEEN CREEK APPROVAL/SIGNATURE BLOCK

SIGNATURE: _____ DATE _____
APPROVED BY TOWN ENGINEER

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY THE TOWN OF QUEEN CREEK INSPECTION SERVICES BEFORE CERTIFICATION OF OCCUPANCY IS ISSUED.

SIGNATURE: _____ DATE _____
APPROVED BY PLANNING DIRECTOR

This drawing is an instrument of service and the property of Harrington Planning + Design and shall be restricted to the original site for which it was prepared and publication therefore is expressly limited to such use. Reuse, reproduction by any method in part or in whole is prohibited without HP+D written consent.

CASE NO.: TBD

This drawing is an instrument of service and the property of Harrington Planning + Design and shall be restricted to the original site for which it was prepared and publication therefore is expressly limited to such use. Reuse, reproduction by any method in part or in whole is prohibited without HP+D written consent.

TOWN OF QUEEN CREEK GENERAL NOTES

1. THE TOWN OF QUEEN CREEK GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
2. THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE TOWN IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN HATE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
3. CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARDS SPECIFICATIONS AND DETAILS.
4. FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
5. NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE TOWN OF QUEEN CREEK STAFF.
6. ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERY ASSOCIATION STANDARDS.
7. ALL RIGHT-OF-WAY AND CITY REQUIRED (PERIMETER, RETENTION, AND PARKING) PLANT MATERIAL TO BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
8. CONTACT THE TOWN OF QUEEN CREEK, TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE TOWN STAFF PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY TOWN PLANT MATERIAL OR EQUIPMENT.
9. ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.
10. THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO TIE THE EXISTING IRRIGATION IN THE RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THROUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPPING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL, IN RIGHT-OF-WAY, PER THE APPROVED PLAN.
11. WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.
12. TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL HAVE A MINIMUM CANOPY CLEARANCE OF EIGHT FOOT ZERO INCHES 8'-0").
13. P.V.C. PIPE LATERALS ARE REQUIRED. A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE P.V.C. PIPE LATERAL IS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.
14. PLANT QUANTITIES AND CALIPER SIZES PER THE SPECIFIC ZONING REQUIREMENTS FOR THIS SITE, PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO HATE APPROVED PLAN.
NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENTS. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THE THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

OWNER CONTACT

BILL LANGHOFER
2545 W. LOUGHLIN DR.
CHANDLER, AZ 85224
BILLLANGHOFER@HOTMAIL.COM
602-684-6179

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
4711 E. FALCON DRIVE, SUITE 222
MESA, AZ 85215
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

ARCHITECT

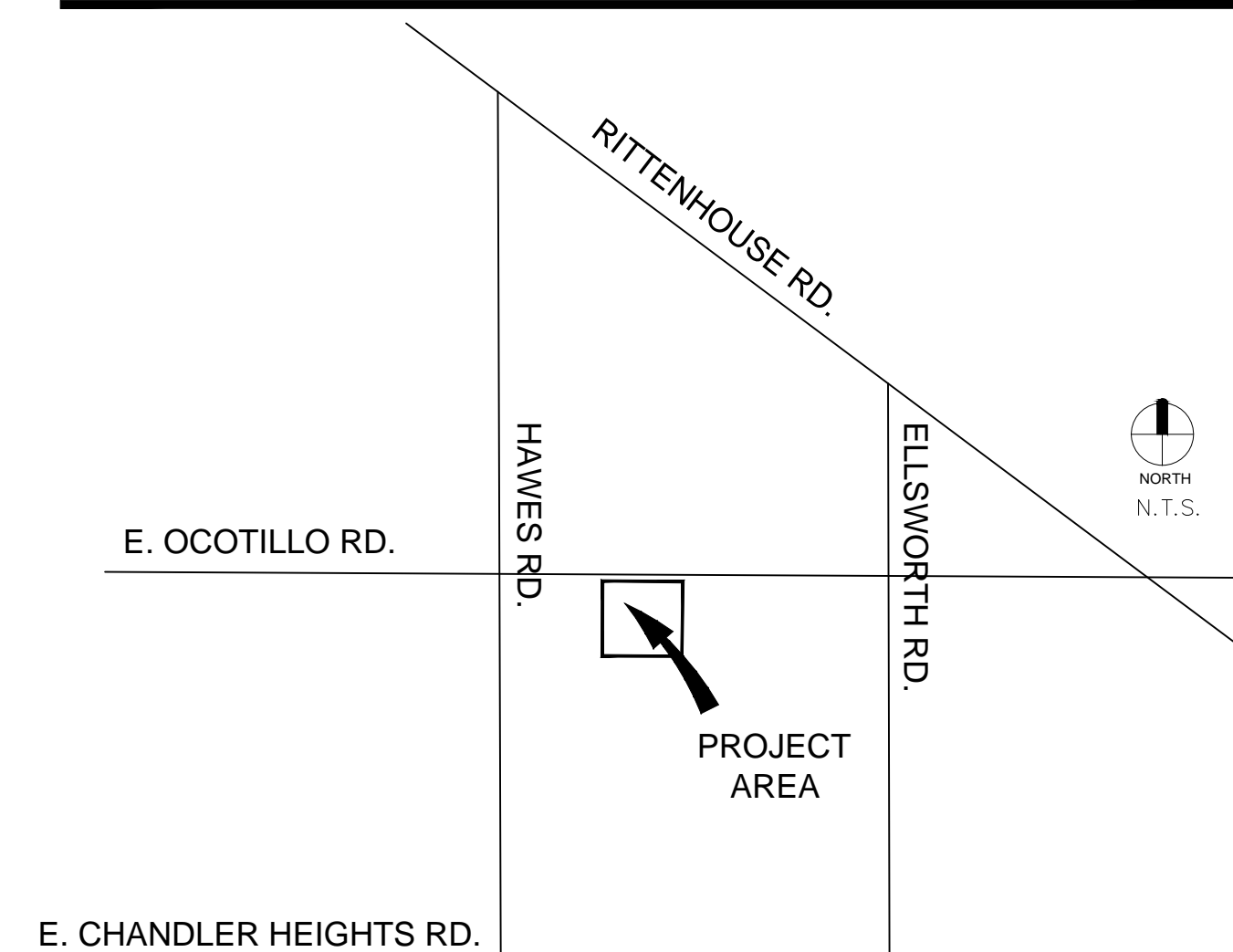
SPS+ ARCHITECTS, LLP
8681 EAST VIA DE NEGOCIO
SCOTTSDALE, AZ 85258
(480) 991-0800
CAIN GARCIA
CAIN.G@SPSPUSARCHITECTS.COM

PLANTING MATERIAL LEGEND

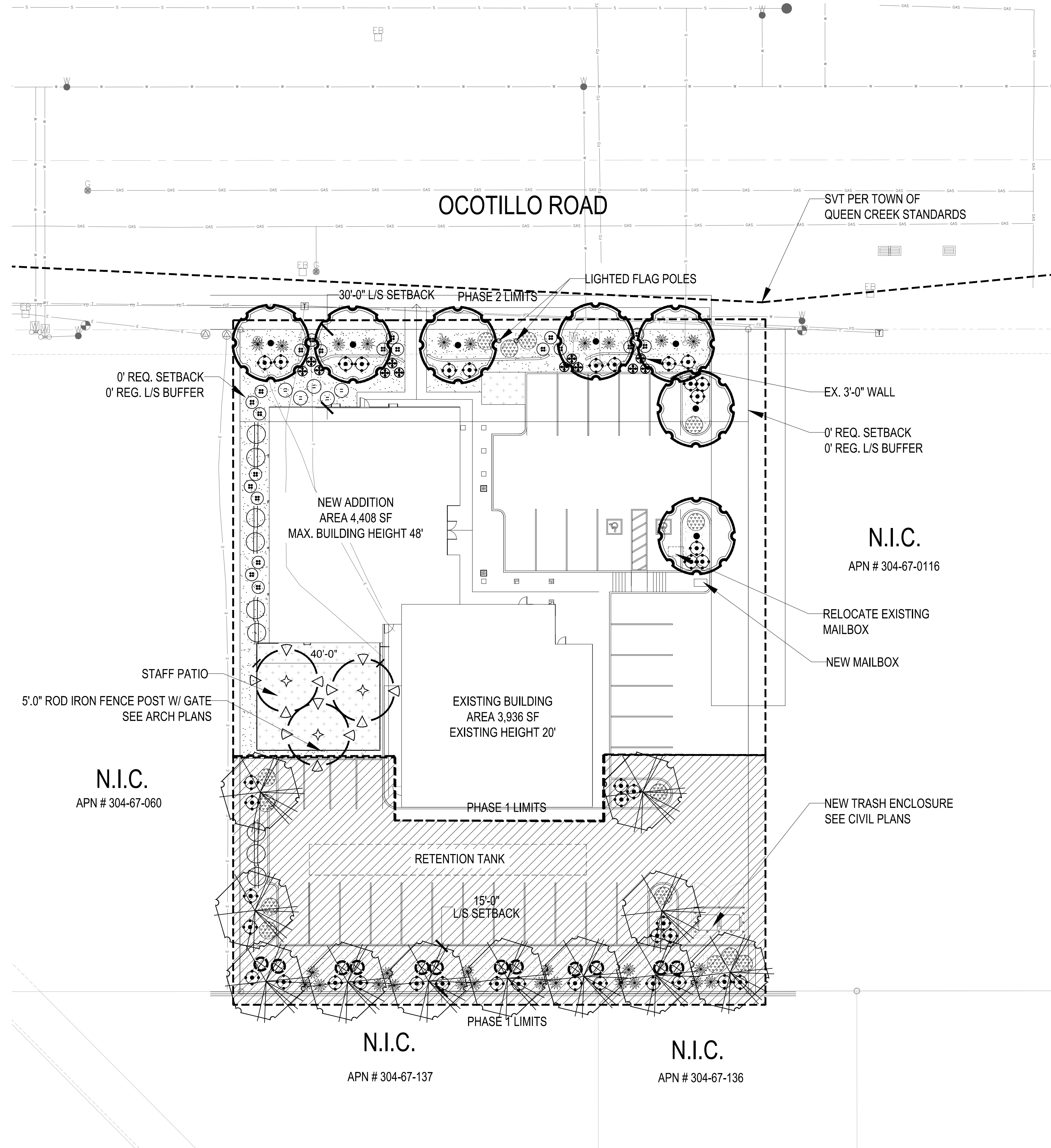
TREES	SIZE	NOTES	QTY
Pistacia chinensis	24" Box		7
Chinese Pistache	H 7'-9" x W 2'-4"	*ADWR	
Caliper Size: 1.5"			
Acacia salicina	24" Box		3
Willow Leaf Acacia	H 7'-7" x W 2'-4"	*ADWR	
Caliper Size: 1.5"			
GROUNDCOVERS			QTY
Lantana montevidensis	5 Gallon		5
Trailing Lantana 'gold'	can full	*ADWR	
SHRUBS / ACCENTS			QTY
Ruellia peninsularis	5 Gallon		6
Baja Ruellia	can full	*ADWR	
Leucophyllum frutescens	5 Gallon		16
Compact Texas Sage	can full	*ADWR	
Eremophila hygrophana	5 Gallon		21
Blue Bells	can full	*ADWR	
Muhlenbergia capillaris	5 Gallon		5
Regal Mist Grass	can full	*ADWR	
Agave ocahui	5 Gallon		12
Agave Ocahui	can full	*ADWR	
Agave desmettiana	5 Gallon		10
Smooth Agave	can full	*ADWR	
LANDSCAPE MATERIALS			QTY
Decomposed Granite. 3/4" screened "Express Gold",			4,020 s.f.
	2" deep in planting areas per plan.		
Synthetic Turf			1,550 s.f.
	K9 Grass System		

*ADWR = Arizona Department of Water Resources
Approved Low-Water Use Plant

VICINITY MAP



ARIZONA BLUESTAKE
CENTER
CALL TWO WORKING DAYS
BEFORE YOU DIG
1.800.782.5348

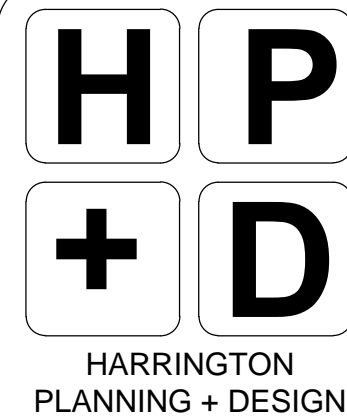


LANDSCAPE NOTES

1. FIELD VERIFY EXISTING SITE PRIOR TO BID AND CONSTRUCTION.
2. REFER TO CIVIL ENGINEERING PLANS FOR VERTICAL AND HORIZONTAL CONTROL.
3. PROTECT ALL UTILITIES DURING CONSTRUCTION.
4. PROTECT EXISTING LANDSCAPE OUTSIDE OF PHASE 1 LIMITS DURING CONSTRUCTION.
5. PROTECT EXISTING IRRIGATION SYSTEM OUTSIDE OF PHASE 1 LIMITS DURING CONSTRUCTION.

SITE LANDSCAPE DATA (PH-2)

TOTAL SITE AREA:	24,307 SF	0.55 AC
TOTAL BUILDING AREA:	8,344 SF	34.3 % OF SITE
TOTAL LANDSCAPE AREA:	5,250 SF	20.8 % OF SITE
TOTAL PARKING AREA:	7,790 SF	32.0 % OF SITE
TOTAL TURF AREA:	0 SF	0 % LS AREA
SHRUBS/GROUNDCOVER:	3,610 SF	68.7 % LS AREA
INORGANIC/GRANITE:	5,250 SF	100 % LS AREA



HARRINGTON
PLANNING + DESIGN

4711 N. Falcon Drive, Suite 222
Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



QUEEN CREEK VET CLINIC

20201 E. Ocotillo Road
Queen Creek, Arizona 85142

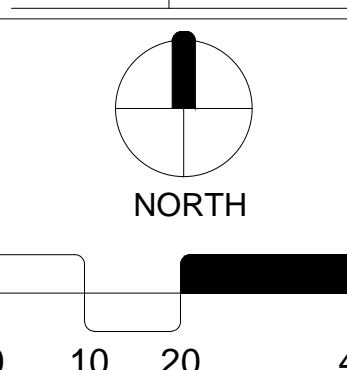
REV. COMMENT DATE

Permit Submittal - Ph2	09.06.22
Permit Submittal - Ph1	07.20.22
Preliminary Submittal	05.31.22
ISSUE	DATE

LANDSCAPE PACKAGE

September 06, 2022

DRAWN BY: REW
CHECK BY: JEH
PROJ. NO.: 2022-042
CASE NO.: TBD



LANDSCAPE
PLAN

L1.0

2 of 6

OWNER CONTACT

BILL LANGHOFER
 2545 W. LOUGHLIN DR.
 CHANDLER, AZ 85224
 BILLLANGHOFER@HOTMAIL.COM
 (602) 684-6179

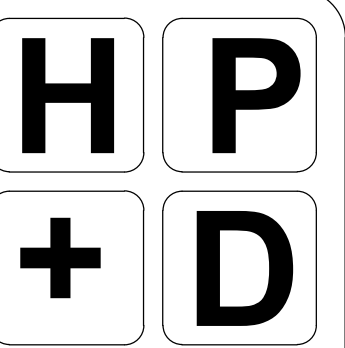
LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
 1921 S. ALMA SCHOOL RD. SUITE 204
 MESA, AZ 85210
 JASON HARRINGTON, RLA, ASLA, ASIC, APWA
 (480) 250-0116
 JASON@HARRINGTONPLANNINGDESIGN.COM

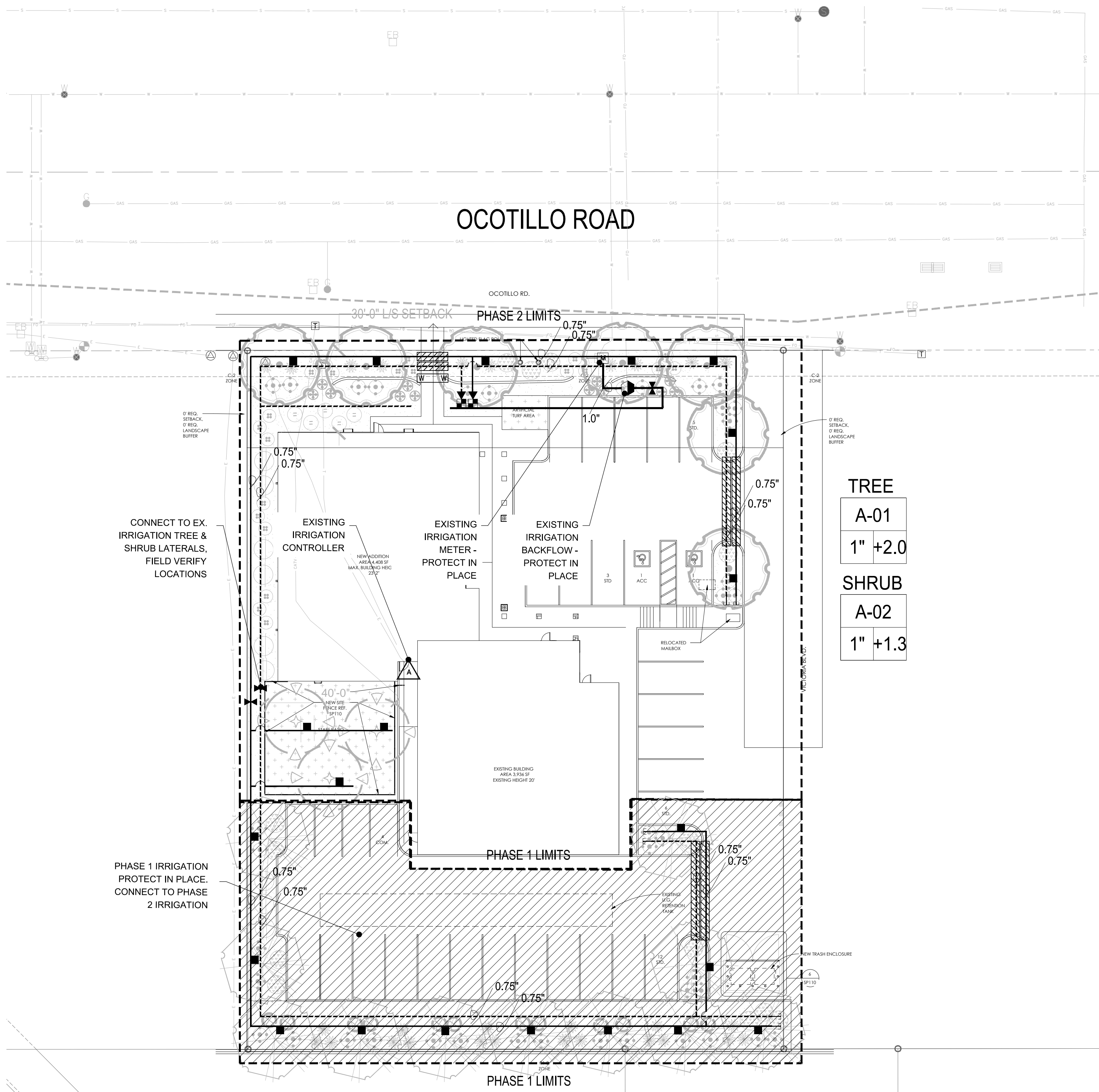
IRRIGATION LEGEND

SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 65 PSI

- SYMBOL
- | | | |
|--|--------------|----------------------------------------------------|
| | WATER METER | EXISTING IRRIGATION METER. |
| | RPBFA | EXISTING BACKFLOW PREVENTER ASSEMBLY. |
| | CONTROLLER | EXISTING COMMERCIAL CONTROLLER. |
| | GATE VALVE | NIBCO GATE VALVE, SIZE PER LINE
BRONZE MATERIAL |
| | FLUSH CAP | SPEARS FLUSH CAP
1/2" FLUSH VALVE |
| | EMITTER - SP | BOWSMITH
1.0 GPH (1 PER PLANT) |
| | EMITTER - MP | BOWSMITH 1.0 GPH 6 PORT (2 PER TREE) |
- PIPE LEGEND
- | | | |
|--|---------------|---------------------------------|
| | TREE LATERAL | PVC SCH. 40 - SIZE PER PLAN |
| | SHRUB LATERAL | PVC SCH. 40 - SIZE PER PLAN |
| | PIPE SLEEVE | PVC SCH. 40 - 2 x PIPE SIZE MIN |



HARRINGTON
 PLANNING + DESIGN
 4711 N. Falcon Drive, Suite 222
 Mesa, Arizona 85215
 Tel: 480-250-0116
 www.HarringtonPlanningDesign.com



TREE
A-01
1" +2.0
SHRUB
A-02
1" +1.3

This drawing is an instrument of service and the property of Harrington Planning + Design and shall be restricted to the original site for which it was prepared and publication therefore is expressly limited to such use.
 Reuse, reproduction by any method in part or in whole is prohibited without HP+D written consent.

QUEEN CREEK VET CLINIC

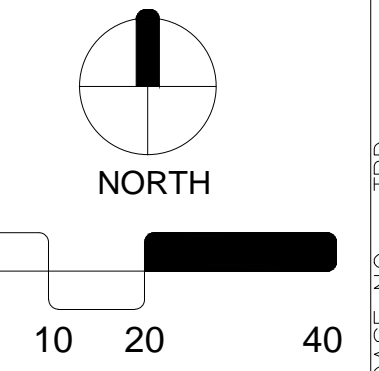
20201 E. Ocotillo Road
 Queen Creek, Arizona 85142

REV.	COMMENT	DATE
Permit Submittal - Ph2		09.06.22
Permit Submittal - Ph1		07.20.22
Preliminary Submittal		05.31.22
ISSUE		DATE

LANDSCAPE PACKAGE

September 06, 2022

DRAWN BY:	REW
CHECK BY:	JEH
PROJ. NO.:	2022-042
CASE NO.:	TBD



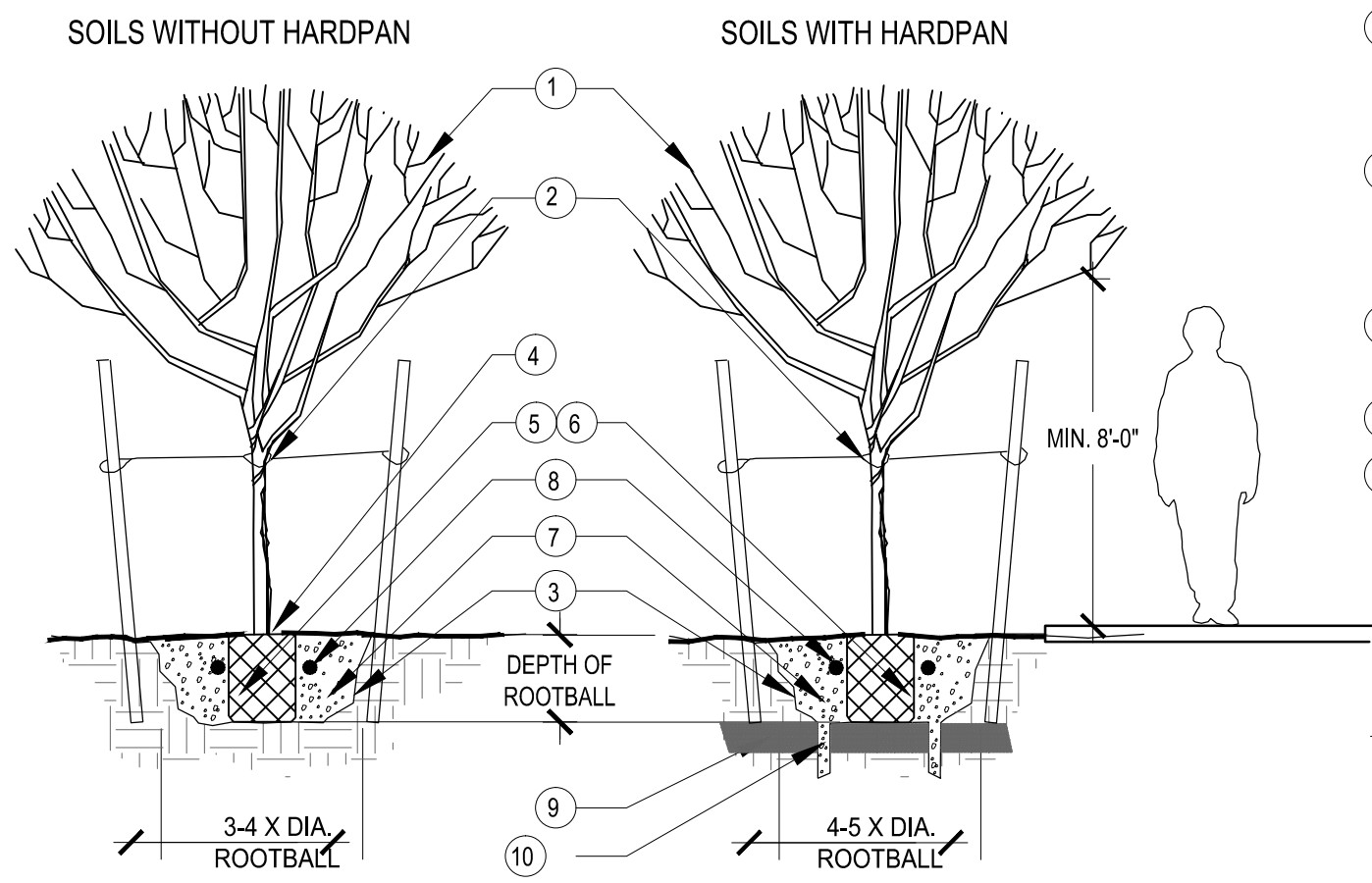
IRRIGATION PLAN

L2.0
 3 of 6

CASE NO.: TBD

Reuse, reproduction by any method in part or in whole is prohibited without H+D written consent.

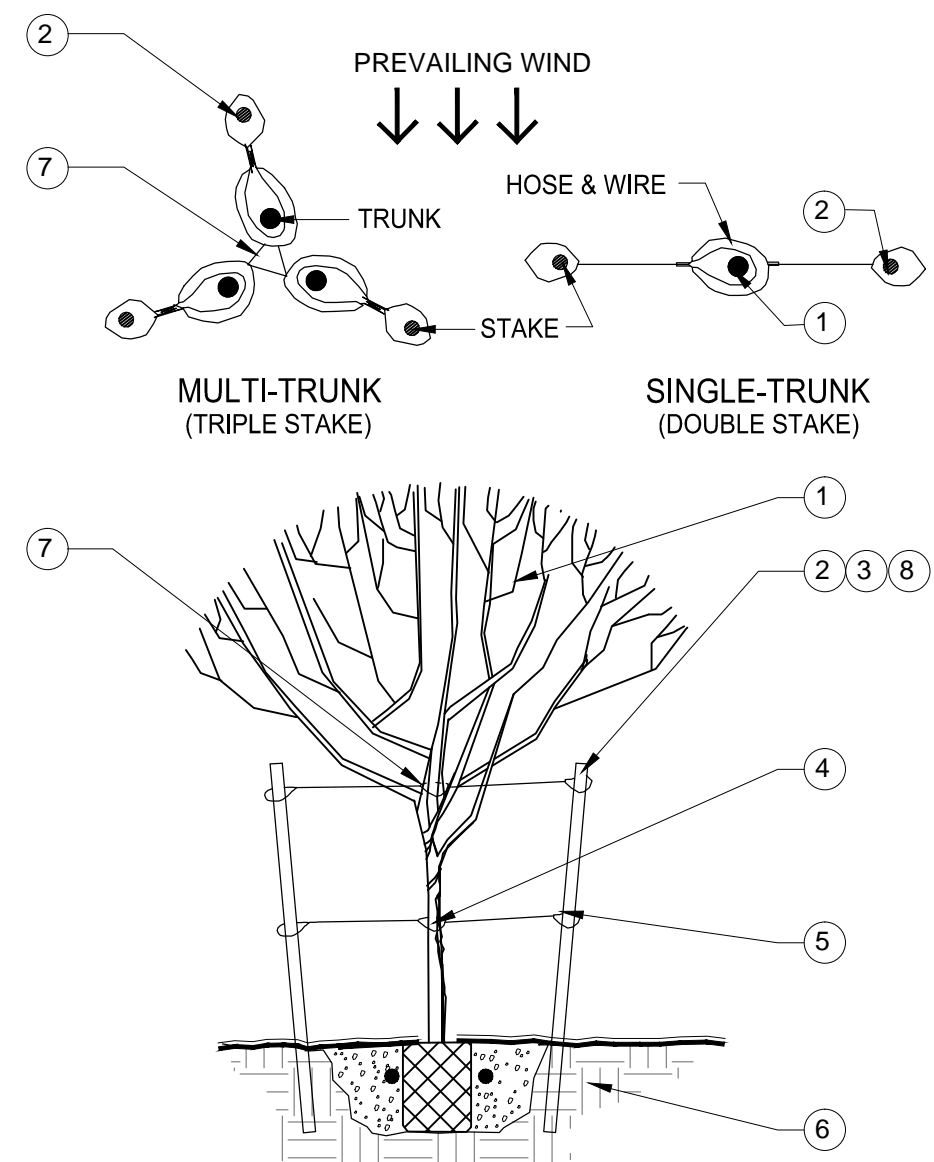
FERTILIZER TABLET SCHEDULE
 AGRIFORM FERTILIZER TABLETS OR EQUAL.
 PLACE TABLETS DOWN ALONG PLANT ROOTBALL
 1 PER 1 GAL.,
 2 PER 5 GAL.,
 4 PER 15 GAL.,
 6 PER 24" BOX
 6 PER 36" BOX OR LARGER



- 1 TREE, REF. PLANTING LEGEND
- 2 TREE STAKE, REF. STAKING DETAIL
- 3 WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES.
- 4 TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE
- 5 PLACE ROOTBALL ON UNDISTURBED SOIL
- 6 FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLED WITH MINIMAL DISTURBANCE)
- 7 BACKFILL: PER SOIL AMENDMENT MIX OR NATIVE MATERIAL IF NONE DESCRIBED
- 8 FERTILIZER TABLET. REFER TO FERTILIZER TABLET SCHEDULE
- 9 UNDISTURBED HARDPAN
- 10 DIG A MIN. OF 3 DRAINAGE CHIMNEY HOLES BESIDE ROOT BALL AND THROUGH HARDPAN

NOTES:
 1. TRIM AND MAINTAIN TO PROVIDE A MINIMUM 8'-0" CLEARANCE FROM ADJACENT PATH OR PAVEMENT TO TREE CANOPY.

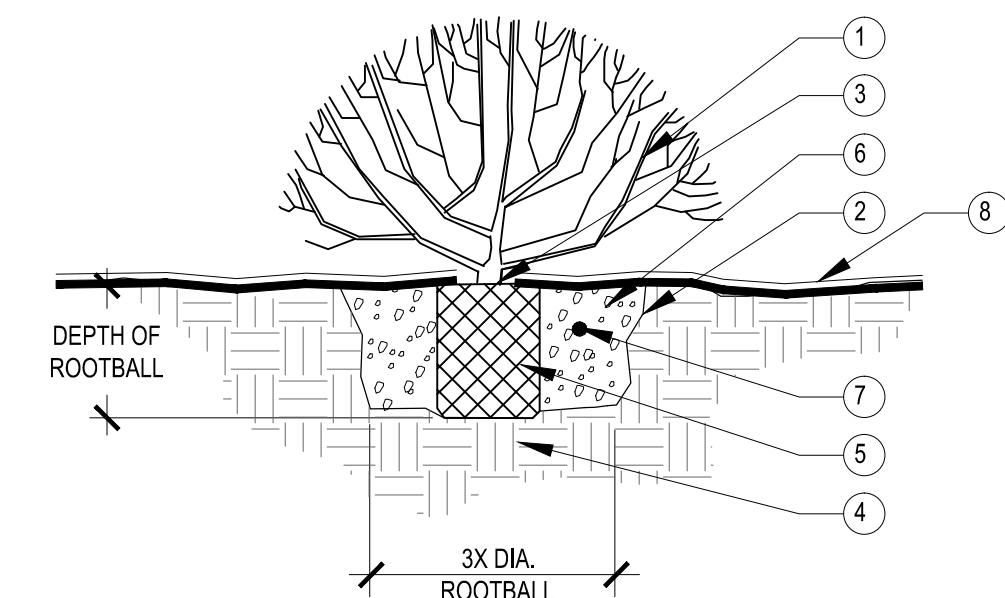
1 TREE PLANTING
 SCALE: N.T.S.



- 1 TREE PLANTING. SEE DETAIL.
- 2 2" DIA. LODGEPOLE OR 2" SQ. STAKES DRIVEN VERTICALLY OR SLIGHT ANGLE IN UNDISTURBED SOIL. 8' TALL FOR #15 GAL. SIZE, 10' TALL FOR 24" BOX OR LARGER. NOTCH EACH STAKE WITH 1/2" CUT TO SECURE WIRE AT.
- 3 PLACE OR CUT STAKES OFF BELOW THE CANOPY TO PREVENT DAMAGE TO BRANCHES.
- 4 PLACE HOSE AND WIRE 6" ABOVE STRESS POINT OF TREE. NOTCH BACKSIDE OF POLY. USE 1/2" I.D. RUBBER HOSE 12'-15' LONG MIN. OR NYLON STRAP MATERIAL.
- 5 #12 PLASTIC GUY WIRE WRAP TWICE AROUND STAKE AND SECURE.
- 6 NATIVE UNDISTURBED SOIL OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY.
- 7 PLACE HOSE AND WIRE 12" ABOVE SCAFFOLDING BRANCH. USE 1/2" I.D. RUBBER HOSE 12'-15' LONG MIN. OR NYLON STRAP MATERIAL.
- 8 STAKING PER COP MAG SUPPLEMENT 430.10.1. PER CHECKLIST.

NOTES:
 1. LARGE SALVAGED TREES DO NOT NEED STAKING. UNLESS NOTED ON PLANS.
 2. THE CONTRACTOR MAY USE THEIR OWN DISCRETION IN STAKING TREES OF 52" BOX OR LARGER AND SHOULD REVIEW SITE SPECIFIC CONDITIONS AND EACH TREE TO DETERMINE IF STAKING IS NECESSARY.

2 TREE STAKING DETAIL - 2 TIES
 SCALE: N.T.S.

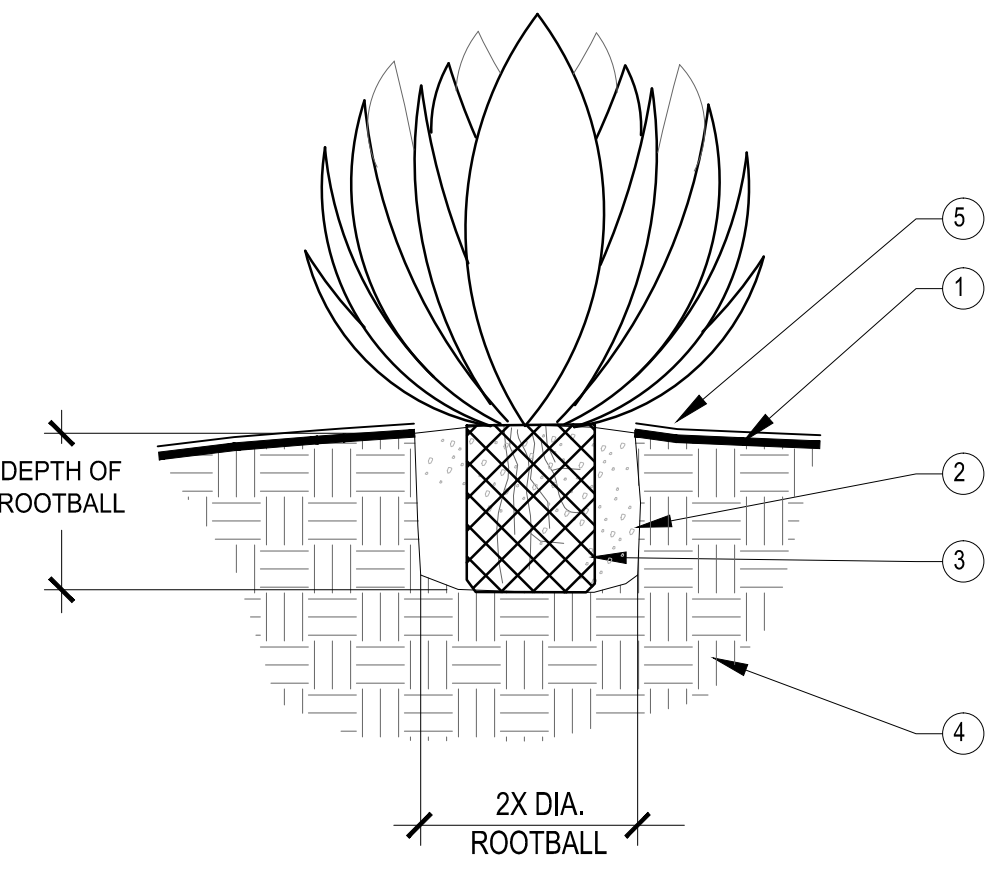


- 1 PLANT, REF. PLANT LEGEND
- 2 WALLS OF UNDISTURBED SOIL SHOULD BE SLOPED WITH ROUGH EDGES
- 3 TOP OF ROOTBALL FLUSH OR SLIGHTLY ABOVE FINISH GRADE
- 4 PLACE ROOTBALL ON UNDISTURBED SOIL
- 5 FREE OR CUT CIRCLING ROOTS (UNLESS PLANTS ARE KNOWN TO HAVE SENSITIVE ROOTS HANDLE WITH MINIMAL DISTURBANCE)
- 6 BACKFILL: PER SPECIFIED SOIL AMENDMENT MIX, OR NATIVE MATERIAL IF NONE DESCRIBED. REMOVE ALL ROCK 1" OR GREATER FROM BACKFILL
- 7 FERTILIZER TABLET. REFER TO FERTILIZER TABLET SCHEDULE
- 8 INERT MULCH OR DG. REFER TO PLANT LEGEND

NOTES:
 1. PROVIDE ADEQUATE DRAINAGE. REFER TO DETAIL REGARDING SOILS WITH HARDPAN OR CALICHE.

FERTILIZER TABLET SCHEDULE
 AGRIFORM FERTILIZER TABLETS OR EQUAL.
 PLACE TABLETS DOWN ALONG PLANT ROOTBALL
 1 PER 1 GAL.,
 2 PER 5 GAL.,
 4 PER 15 GAL.,
 6 PER 24" BOX
 6 PER 36" BOX OR LARGER

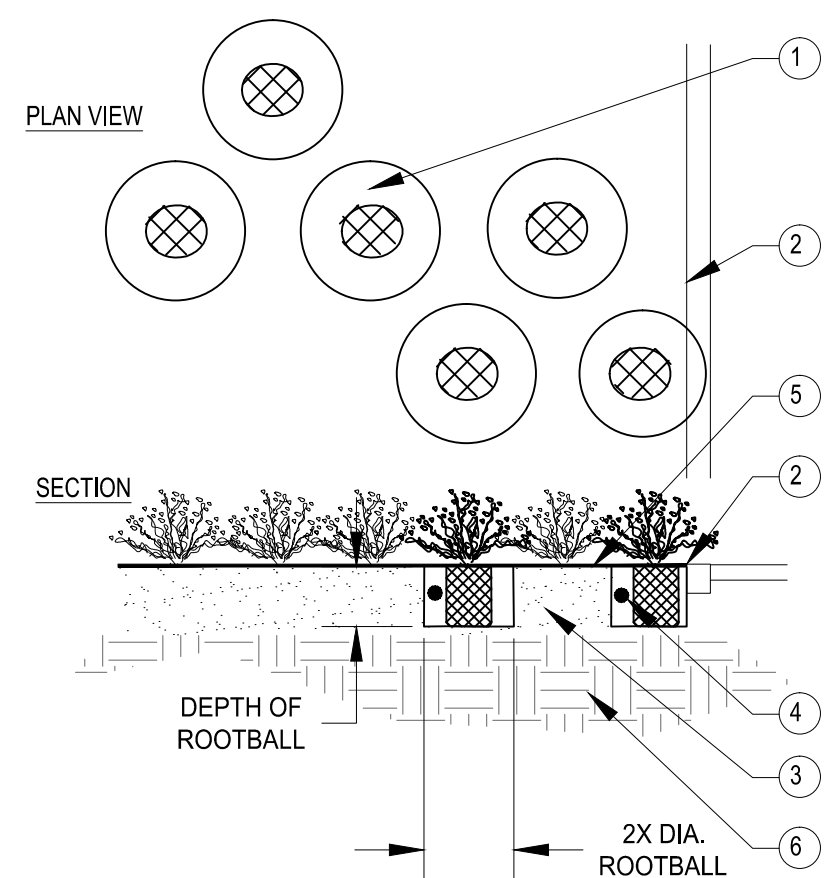
3 SHRUB PLANTING
 SCALE: N.T.S.



- 1 FINISH GRADE. SLOPE AWAY FROM BASE OF PLANT
- 2 PLANTING PIT TO BE AS DEEP AS ROOTS
- 3 BACKFILL TO BE NATIVE SOIL TREATED WITH SOIL SULFUR. HAND TAMP IN PLACE. WATER ONLY AT TIME OF PLANTING
- 4 NATIVE SOIL. REMOVE ROCK 1" OR LARGER FROM BACKFILL
- 5 INERT MULCH OR DG. REFER TO LEGEND

NOTES:
 1. IN AREAS WHERE CALICHE OR HARDPAN OCCURS BENEATH THE ROOTS, BORE THROUGH IT WITH AN 8" DIAMETER HOLE 12" DEEP.
 2. PLANT AT SAME LEVEL AS FINISH GRADE OF ORIGINAL SOIL LINE OF BASE OF PLANT.

4 ACCENT PLANTING - CONTAINER
 SCALE: N.T.S.

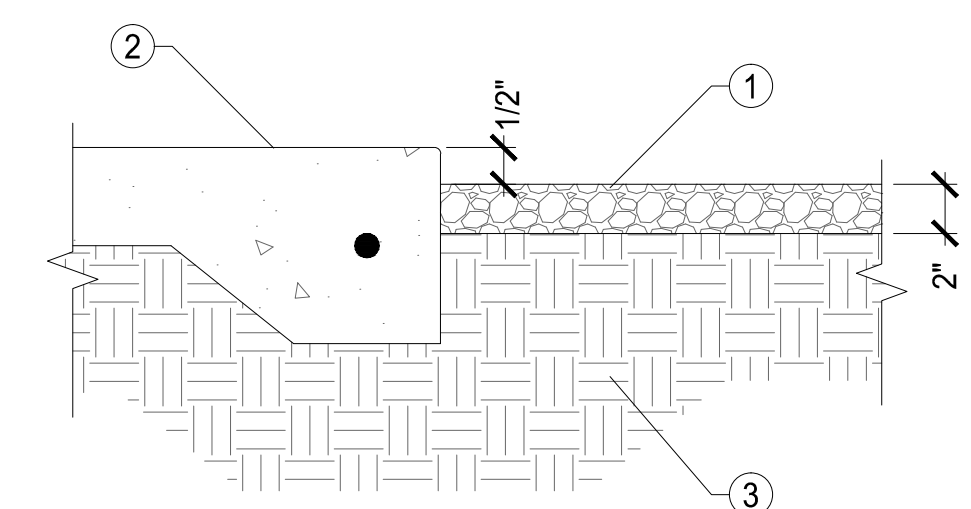


- 1 GROUNDCOVER / PLANT MATERIAL.
- 2 EDGE OF PLANTING BED
- 3 12" TILL NATIVE SOIL BED OR BACKFILL SOIL MIX: 1 PART MULCH TO 3 PARTS TOPSOIL. PLANTING PIT SIZES: 1 GAL. OR 5 GAL.: 2X WIDTH OF ROOTBALL DEPTH-2X WIDTH OF ROOTBALL
- 4 PLANT FERTILIZER TABLET
- 5 INSTALL 2" THICK MULCH LAYER. REF. LEGEND FOR MULCH MATERIAL / INERT MATERIAL
- 6 NATIVE SUBGRADE OR COMPACT FILL TO 85% STANDARD PROCTOR DENSITY

FERTILIZER TABLET SCHEDULE
 AGRIFORM FERTILIZER TABLETS OR EQUAL.
 PLACE TABLETS DOWN ALONG PLANT ROOTBALL
 1 PER 1 GAL.,
 2 PER 2 GAL.,
 3 PER 15 GAL.,
 4 PER 24" BOX
 6 PER 36" BOX OR LARGER

NOTES:
 1. REF. PLAN FOR DESIGN AND SPACING.

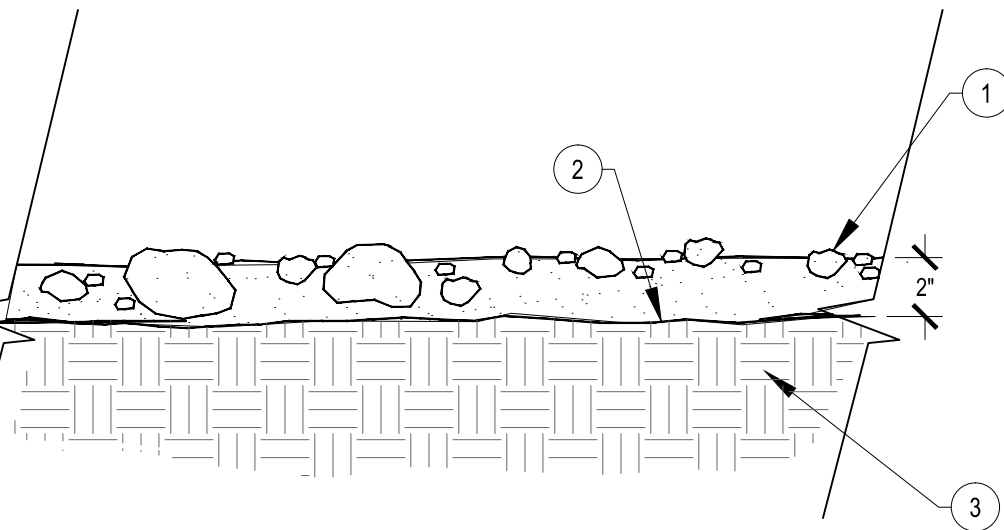
5 GROUNDCOVER PLANTING
 SCALE: N.T.S.



- 1 DECOMPOSED GRANITE PER PLANTING LEGEND
- 2 CONCRETE CURB OR WALK PER CIVIL PLANS
- 3 ENSURE PLANTING AREAS ARE FREE OF DEBRIS AND WEEDS. COMPACT TO 85% PROCTOR DENSITY. PRE-TREAT FINISH GRADED LANDSCAPE AREAS WITH PRE-EMERGENT CHEMICAL APPLICATION

NOTES:
 1. COORDINATE FINAL GRADES WITH LANDSCAPE ARCHITECT AND PER CIVIL PLANS.
 2. REAPPLY DG TO AREAS THAT SETTLE.
 3. WET DG ROCK AFTER INSTALL TO REMOVE DUST AND SETTLE ROCK.
 4. WASH DG FROM ADJACENT PAVEMENTS.
 5. APPLY POST EMERGENT WEED CONTROL AFTER LANDSCAPE INSTALL COMPLETED.

6 CONCRETE / GRANITE TRANSITION
 SCALE: N.T.S.



- 1 DECOMPOSED GRANITE PER PLANTING LEGEND
- 2 FINISH GRADE PER PLANS
- 3 ENSURE PLANTING AREAS ARE FREE OF DEBRIS AND WEEDS. COMPACT TO 85% PROCTOR DENSITY. PRE-TREAT FINISH GRADED LANDSCAPE AREAS WITH PRE-EMERGENT CHEMICAL APPLICATION

NOTE:
 1. COORDINATE FINAL GRADES WITH LANDSCAPE ARCHITECT AND PER PLANS.
 2. REAPPLY DG TO AREAS THAT SETTLE.
 3. WET DG ROCK AFTER INSTALL TO REMOVE DUST AND SETTLE ROCK.
 4. WASH DG FROM ADJACENT PAVEMENTS.
 5. APPLY POST EMERGENT WEED CONTROL AFTER LANDSCAPE INSTALL COMPLETED.

7 GRANITE INSTALLATION
 SCALE: N.T.S.

H P + D
HARRINGTON PLANNING + DESIGN
 4711 N. Falcon Drive, Suite 222
 Mesa, Arizona 85215
 Tel: 480-250-0116
 www.HarringtonPlanningDesign.com

LANDSCAPE ARCHITECT
 44161
 JASON E.
 HARRINGTON
 09.06.22
 ARIZONA U.S.A.

QUEEN CREEK VET CLINIC

20201 E. Ocotillo Road
 Queen Creek, Arizona 85142

REV.	COMMENT	DATE

Permit Submittal - Ph2	09.06.22
Permit Submittal - Ph1	07.20.22
Preliminary Submittal	05.31.22
ISSUE	DATE

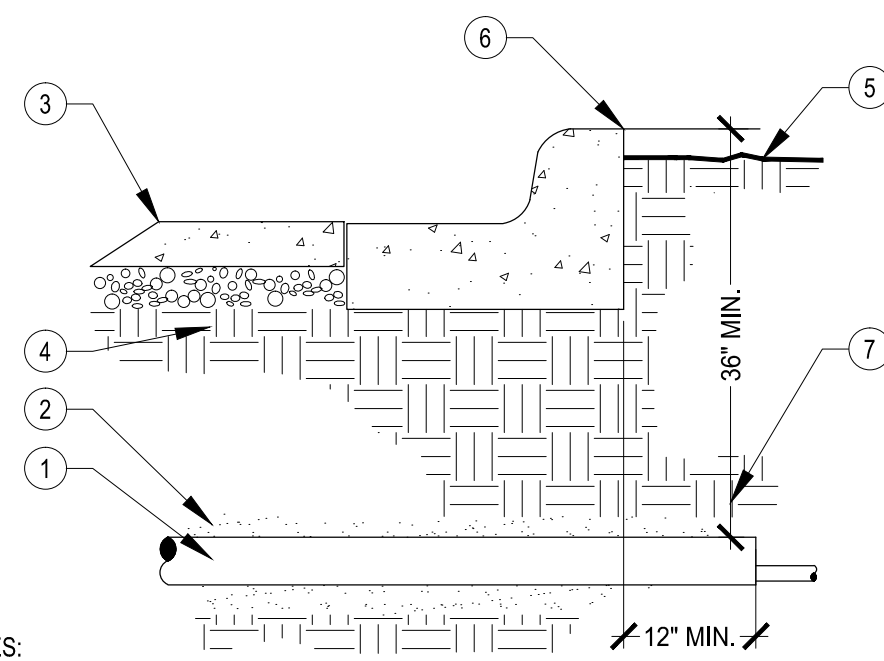
LANDSCAPE PACKAGE
 September 06, 2022
 DRAWN BY: REW
 CHECK BY: JEH
 PROJ. NO.: 2022-042
 CASE NO.: TBD

LANDSCAPE DETAILS
L3.0
 4 of 6

ARIZONA BLUESTAKE CENTER
 CALL TWO WORKING DAYS BEFORE YOU DIG
1.800.782.5348

This drawing is an instrument of service and the property of Harrington Planning + Design and shall be restricted to the original site for which it was prepared and publication therefore is expressly limited to such use.

CASE NO.: TBD

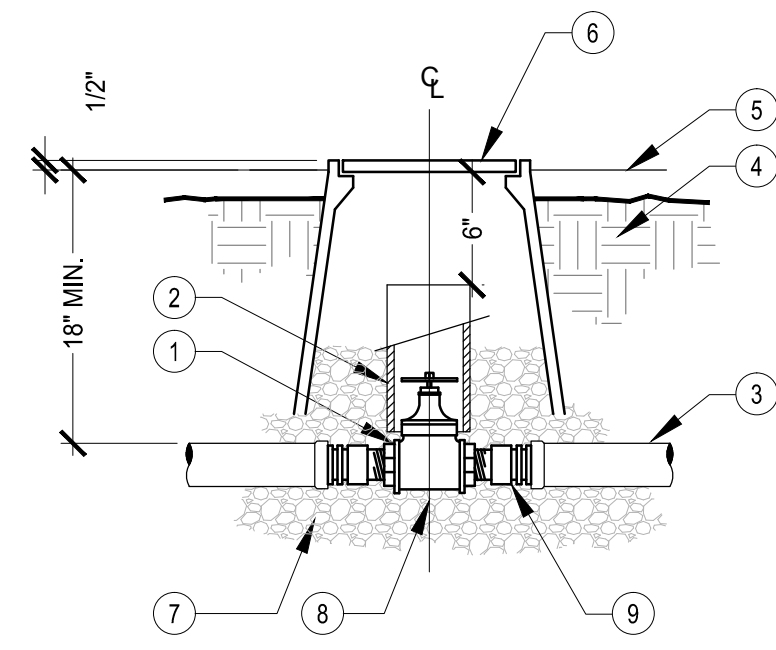


- 1 SCH. 40 PVC SLEEVE, TWICE DIAMETER OF SERVICE PIPE, SEE SLEEVE/PIPE SCHEDULE.
- 2 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS.
- 3 PAVING.
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 DISCRETELY PAINT OR MARK EDGE OF PAVING, CURB, OR WALK AT SLEEVE LOCATIONS.
- 7 36" MIN. DEPTH OR PER LOCAL CODE. EXTEND SLEEVES 12" BEYOND EDGES.

- NOTES:
1. CAP SLEEVES UNTIL USE.
 2. MULTIPLE SLEEVES REQUIRE 4" SEPARATION WITHIN SAME SLEEVE TRENCH.
 3. PROVIDE SEPARATE WATER LINE AND WIRE SLEEVES AS REQUIRED. NO WIRES IN WATER SLEEVES.

4 IRRIGATION SLEEVE

SCALE: N.T.S.

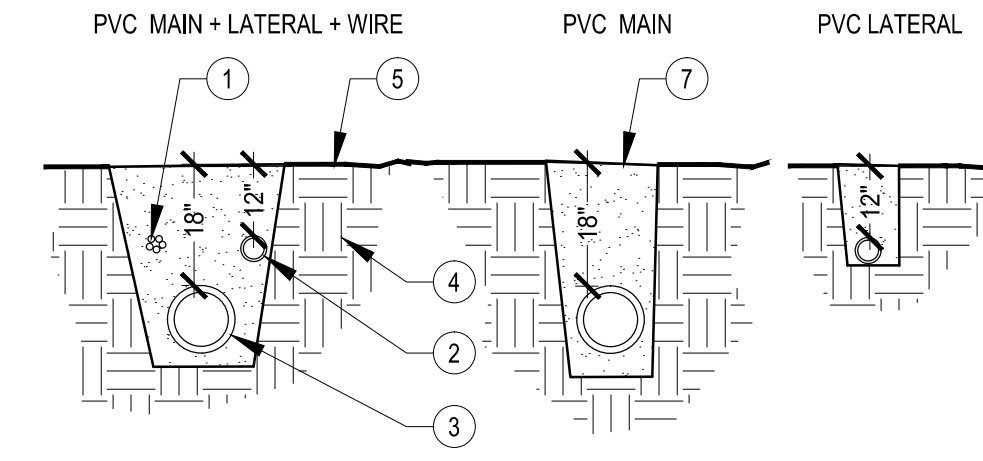


- 1 THREADED BRONZE GATE VALVE WITH SOLID WEDGE, NON-RISING STEM PER LEGEND.
- 2 PVC CL. 200 PIPE (LENGTH AS REQUIRED), 6-INCH DIA.
- 3 PVC SCH 40 MAINLINE.
- 4 COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL, 10" MIN. SIZE. COLOR TO BE TAN IN DG, GREEN IN TURF.
- 7 3/4" WASHED PEA GRAVEL SUMP, 1 CU. FT. (12"X12"X12").
- 8 PROVIDE THRUST BLOCK FOR VALVES 2" OR LARGER.
- 9 SCH 80 PVC COUPLING, 2 PLS.

- NOTES:
1. SET VALVE BOX 1/2" ABOVE FINISHED GRADE.
 2. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.
 3. DO NOT REST VALVE BOX ON MAIN LINE.
 4. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 5. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

2 GATE VALVE ASSEMBLY

SCALE: N.T.S.

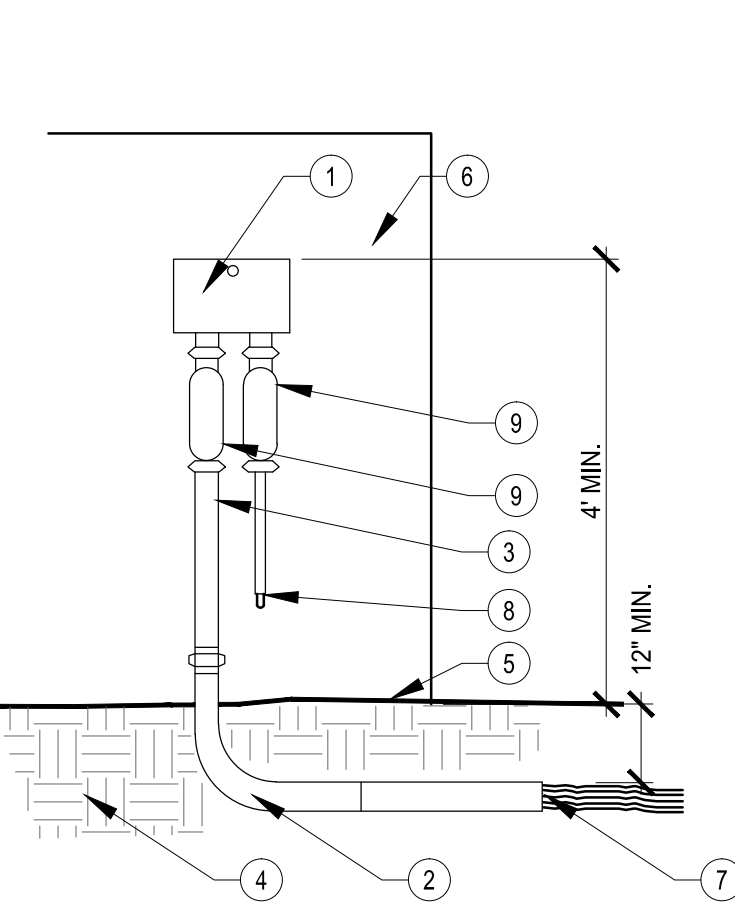


- 1 CONTROL WIRE BUNDLE, TAPE AT 10' INTERVALS.
- 2 PVC LATERAL LINE.
- 3 PVC SCH 40 MAINLINE.
- 4 COMPACT SOIL AROUND CONTROL VALVE PIT ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 SNAKE PVC PIPE IN TRENCHES.
- 7 COMPACT TRENCH BACKFILL IN 6' LIFTS, DENSITY TO MATCH ADJACENT SOIL CONDITIONS.

- NOTES:
1. INSTALL 120 VOLT WIRING IN CONDUIT, PER LOCAL CODES.
 2. SLEEVE LINES UNDER PAVING.
 3. LOOP WIRE BUNDLES (20" MIN.) AT CHANGES IN TRENCH DIRECTION.
 4. PROVIDE PIPE DETECTION TAPE FOR MAINLINE TRENCHES.
 5. MAKE WIRE CONNECTION AND SPLICES WITH WATER PROOF CONNECTORS PER MFG. RECOMMENDATIONS.
 6. BACKFILL OF PIPE TRENCHES SHALL HAVE NO ROCK 1" IN SIZE OR LARGER.
 7. PROVIDE 2" SAND BEDDING ALL AROUND PIPE IF ROCKY SOILS PRESENT.

3 IRRIGATION TRENCH

SCALE: N.T.S.

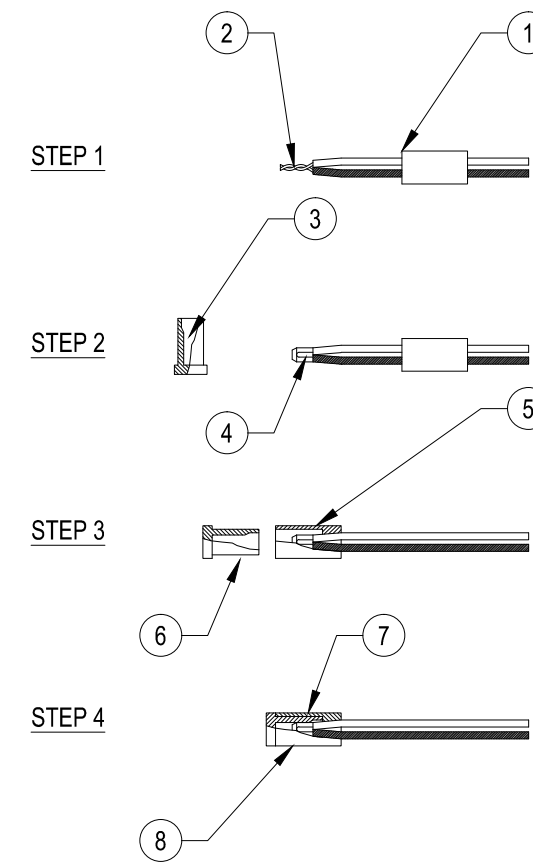


- 1 WALL MOUNTED CONTROLLER, PROVIDE LOCKING ENCLOSURE. LOCATE PER PLAN.
- 2 PVC SCH 40 ELL SWEEP FOR ELECTRICAL CONDUIT
- 3 STEEL CONDUIT.
- 4 COMPACT SOIL AROUND CONTROLLER CONDUIT TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
- 5 FINISH GRADE / TOP OF DG.
- 6 WALL SURFACE.
- 7 CONTROL VALVE WIRES AND SENSOR WIRE FEED.
- 8 120V POWER AND GROUND SOURCE. COORDINATE WITH ELECTRICAL CONTRACTOR.
- 9 J-BOX.

- NOTES:
1. INSTALL WIRING PER LOCAL CODE AND MFG. RECOMMENDATIONS.
 2. PROVIDE LIGHTNING PROTECTION AND GROUNDING FOR CONTROLLER.
 3. PROVIDE LOCK FOR CONTROLLER ENCLOSURE.
 4. PLACE WEATHERPROOF COPY OF CONTROLLER SCHEDULE INSIDE ENCLOSURE.
 5. ALLOW 3 FT. CLEARANCE IN FRONT OF CONTROLLER ENCLOSURE DOOR FOR ACCESS.
 6. PROVIDE WATERPROOF SEALANT FOR ALL CONTROLLER OPENINGS.
 7. PAINT ENCLOSURE PER LEGEND OR OWNER DIRECTION.

4 CONTROLLER, WALL MOUNT

SCALE: N.T.S.

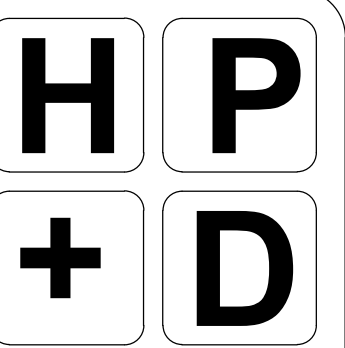


- 1 SLIP BASE SOCKET OVER END OF WIRES.
- 2 STRIP WIRES 3/8" FROM ENDS, TWIST ENDS TOGETHER.
- 3 APPLY SEALER TO OUTSIDE OF SEALING PLUG, FILL CAVITY WITH SEALER.
- 4 PLACE CRIMP SLEEVE OVER WIRE ENDS, CRIMP SLEEVE AND BEND OVER EXCESS WIRE.
- 5 PLACE BASE SOCKET OVER WIRE END SNUG TO CRIMP SLEEVE.
- 6 PUSH SEALING PLUG INTO BASE SOCKET.
- 7 PUSH WIRES TO END OF BASE SOCKET TO ASSURE COMPLETE SEALING OF CONNECTION.
- 8 RAINBIRD PEN-TITE WIRE CONNECTOR APPROVED EQUAL.

- NOTES:
1. FOR WIRE SIZES NO. 14, NO. 12, AND NO. 10

5 IRRIGATION WIRE CONNECTIONS

SCALE: N.T.S.



**HARRINGTON
PLANNING + DESIGN**

4711 N. Falcon Drive, Suite 222
Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



QUEEN CREEK VET CLINIC

20201 E. Ocotillo Road
Queen Creek, Arizona 85142

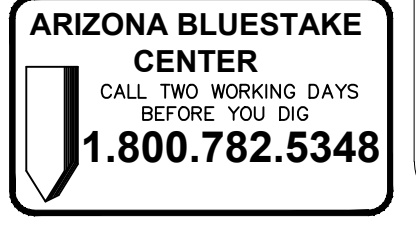
REV.	COMMENT	DATE

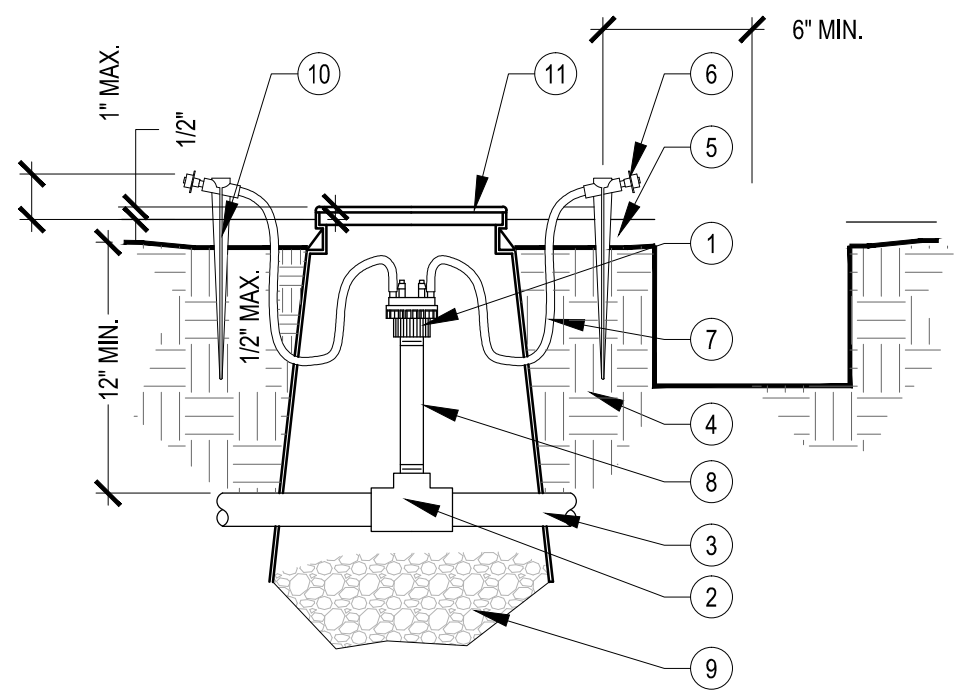
LANDSCAPE PACKAGE

September 06, 2022
 DRAWN BY: REW
 CHECK BY: JEH
 PROJ. NO.: 2022-042
 CASE NO.: TBD

**IRRIGATION
DETAILS**

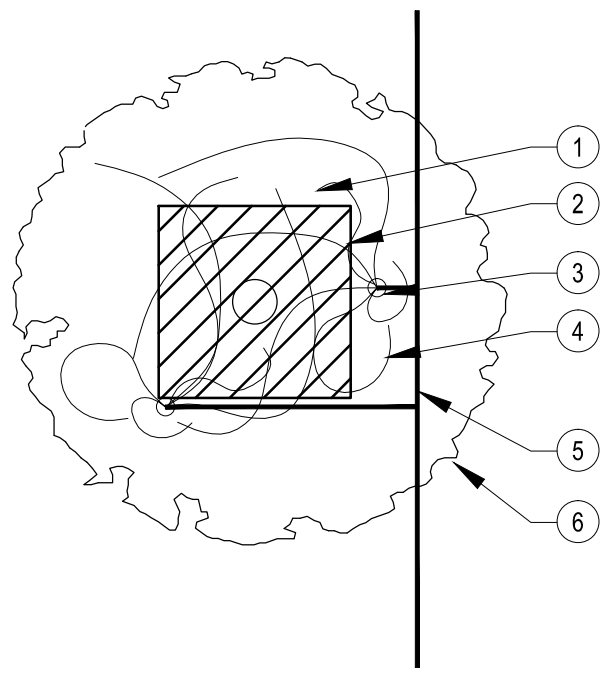
L4.0
5 of 6





- 1 THREADED PRESSURE COMPENSATING EMITTER. SEE LEGEND FOR SIZE.
 - 2 PVC SCH 80 FITTING, ELL OR TEE.
 - 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND.
 - 4 COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL.
 - 5 FINISH GRADE / TOP OF DG.
 - 6 BUG CAP.
 - 7 1/4" DISTRIBUTION TUBING. LOOP FOR A 5 FT. MAXIMUM LENGTH. NO KINKS IN TUBING.
 - 8 PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED).
 - 9 WASHED PEA GRAVEL SUMP, 1/2 CU. FT. MIN.
 - 10 1/4" DISTRIBUTION TUBE EMITTER STAKE.
 - 11 6" VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. COLOR TO BE TAN IN DG, GREEN IN TURF.
- NOTES:
- 1. MULTI PORT EMITTER FOR TREES AND MASSSED PLANTS ONLY.
 - 2. TEFLON SEAL ALL THREAD JOINTS.
 - 3. ON SLOPE CONDITIONS, PLACE EMITTER ON UPHILL SIDE OF PLANT.
 - 4. DO NOT DISTURB ROOTBALL WITH PVC PIPE.
 - 5. SPACE EMITTER TUBING EQUALLY AROUND DRIP LINE OF TREE.
 - 6. INSTALL EMITTERS ONLY AFTER SYSTEM FLUSH OF LATERALS.
 - 7. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 - 8. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

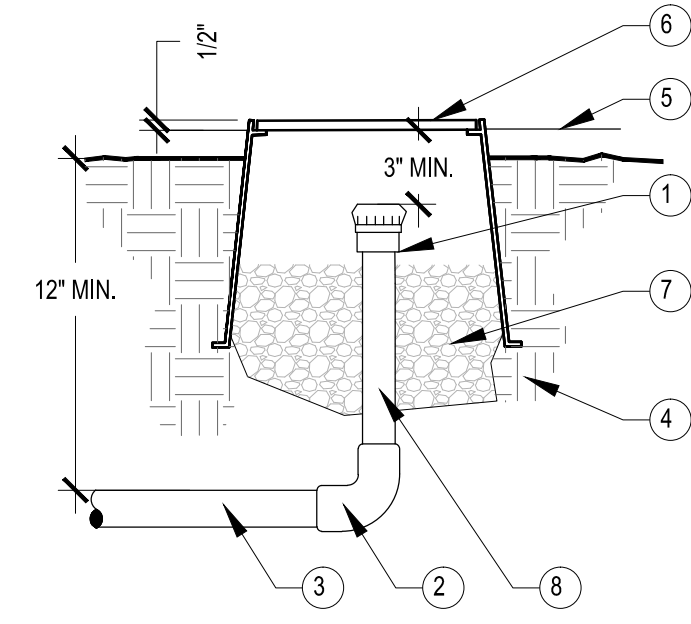
1 MULTI PORT EMITTER WITH DISTRIBUTION TUBING
SCALE: N.T.S.



- 1 EMISSION POINT (TYP.).
- 2 PLANT ROOTBALL (TYP.).
- 3 MULTI-PORT EMITTER. SEE EMITTER DETAIL.
- 4 DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING.
- 5 LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND.
- 6 TREE CANOPY.

- NOTES:
- 1. MAXIMUM LENGTH OF DISTRIBUTION TUBING SHALL BE 5 FEET.
 - 2. PLACE EMISSION POINT AT EDGE OF ROOTBALL ON UPHILL SIDE OF PLANT.
 - 3. ADJUST EMITTER LOCATIONS AS DRIPLINE OF TREE INCREASES WITH GROWTH.
 - 4. PLACE 50% OF DISTRIBUTION TUBES OUTSIDE OF TREE ROOTBALL DURING INSTALL FOR FUTURE GROWTH.

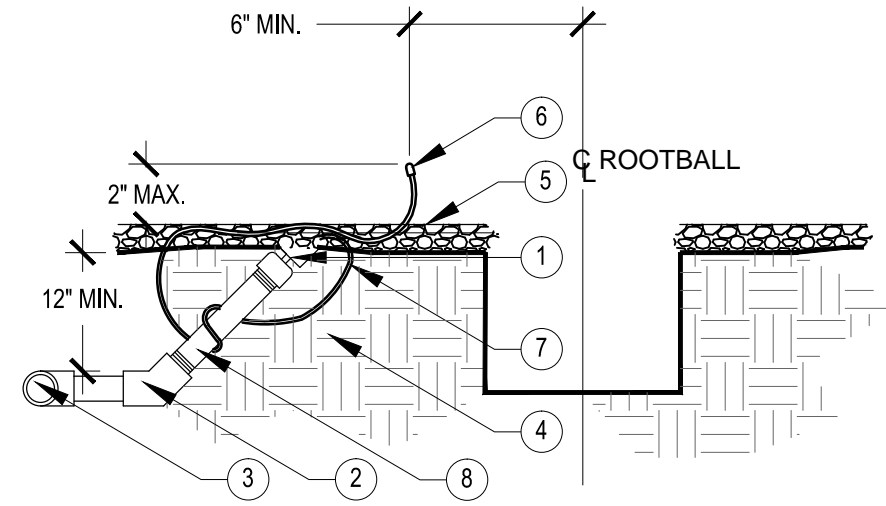
2 EMITTER LOCATIONS - TREES
SCALE: N.T.S.



- 1 PVC 3/4" THREADED FLUSH CAP
- 2 PVC SCH 80 FITTINGS
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- 4 COMPACT SOIL AROUND FLUSH CAP ASSEMBLY TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- 5 FINISH GRADE / TOP OF DG
- 6 VALVE BOX WITH LOCKING COVER, CARSON, AMETEK, OR APPROVED EQUAL. 10" MIN. SIZE. COLOR TO BE TAN IN DG, GREEN IN TURF
- 7 3/4" WASHED PEA GRAVEL SUMP, 1 CU. FT. MIN.
- 8 PVC SCH 80 1/2" NIPPLE RISER (LENGTH AS REQUIRED)

- NOTES:
- 1. SET VALVE BOX PARALLEL W/ GRADE.
 - 2. SEAL THREADED JOINTS WITH TEFLON .
 - 3. DO NOT REST VALVE BOX ON MAIN LINE.
 - 4. LOCATE ONLY ONE FLUSH CAP PER VALVE BOX.
 - 5. PROVIDE SUPPORT BRICKS TO VALVE BOX AS NECESSARY.
 - 6. PROVIDE STAINLESS STEEL FASTENERS FOR LOCKING COVER.

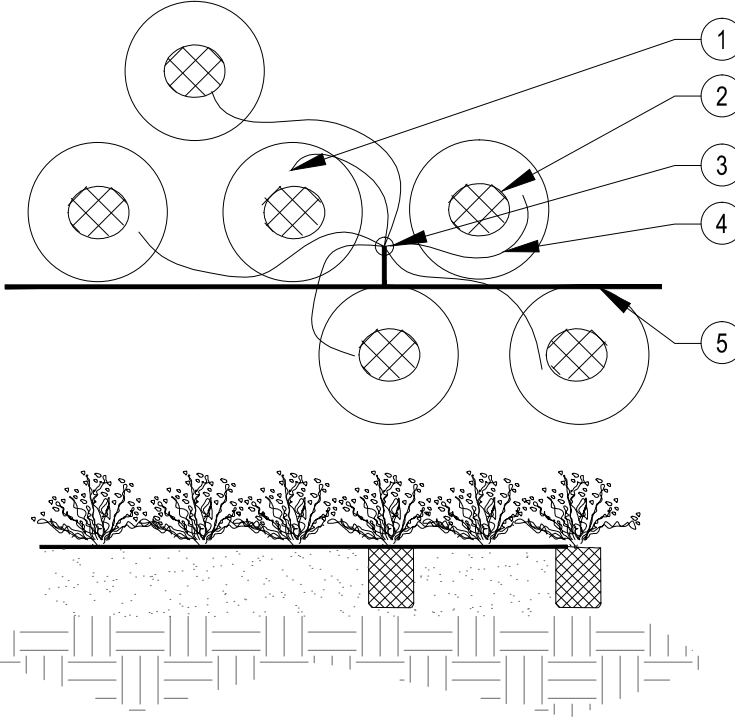
3 DRIP FLUSH CAP
SCALE: N.T.S.



- 1 PRESSURE COMPENSATING EMITTER, THREADED. SEE LEGEND FOR SIZE
- 2 PVC SCH 80 FITTING, ELL OR TEE
- 3 PVC SCH 40 LATERAL OR PER IRRIGATION LEGEND
- 4 COMPACT SOIL AROUND EMITTER TO SAME DENSITY AS UNDISTURBED ADJACENT SOIL
- 5 FINISH GRADE / TOP OF DG
- 6 BUG CAP
- 7 DISTRIBUTION TUBING. LOOP AROUND PVC FOR A 5 FT MAXIMUM LENGTH. DO NOT KINK TUBING
- 8 PVC SCH 80 1/2" NIPPLE RISER, THREADED (LENGTH AS REQUIRED)

- NOTES:
- 1. SINGLE PORT EMITTER FOR SHRUBS, ACCENTS, AND GROUND COVERS ONLY.
 - 2. SEAL THREAD JOINTS WITH TEFLON.
 - 3. SLOPE CONDITIONS: PLACE EMITTER ON UPHILL SIDE OF PLANT.
 - 4. DO NOT DISTURB ROOTBALL WITH PVC PIPE.
 - 5. INSTALL EMITTERS ONLY AFTER SYSTEM FLUSH OF LATERALS.

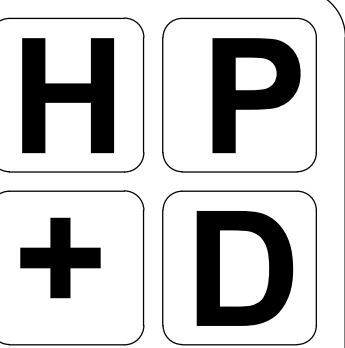
4 SINGLE PORT EMITTER W/ DISTRIBUTION TUBING
SCALE: N.T.S.



- 1 EMISSION POINT (TYP.).
- 2 PLANT ROOTBALL (TYP.).
- 3 MULTI-PORT EMITTER. SEE EMITTER DETAIL.
- 4 DISTRIBUTION TUBE, MAXIMUM LENGTH 5 FT. (TYP.) DO NOT KINK TUBING.
- 5 LATERAL PIPE, SCH 40 PVC OR PER IRRIGATION LEGEND.

- NOTES:
- 1. MORE THAN ONE SHRUB MAY BE WATERED FROM A SINGLE MULTI-PORT EMITTER.
 - 2. MAXIMUM LENGTH OF DISTRIBUTION TUBING SHALL BE 5 FEET.
 - 3. IF MORE THAN ONE DISTRIBUTION TUBE USED PER SHRUB, EQUALLY SPACE AROUND PLANT ROOTBALL.
 - 4. PLACE EMISSION POINT AT EDGE OF ROOTBALL ON UPHILL SIDE OF PLANT.

5 EMITTER LOCATIONS - SHRUBS
SCALE: N.T.S.



**HARRINGTON
PLANNING + DESIGN**
4711 N. Falcon Drive, Suite 222
Mesa, Arizona 85215
Tel: 480-250-0116
www.HarringtonPlanningDesign.com



QUEEN CREEK VET CLINIC

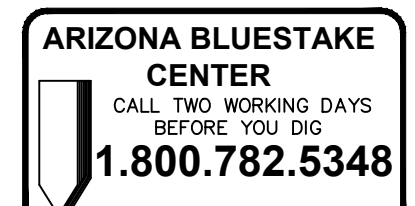
20201 E. Ocotillo Road
Queen Creek, Arizona 85142

REV.	COMMENT	DATE

LANDSCAPE PACKAGE

September 06, 2022
DRAWN BY: REW
CHECK BY: JEH
PROJ. NO.: 2022-042
CASE NO.: TBD

IRRIGATION
DETAILS

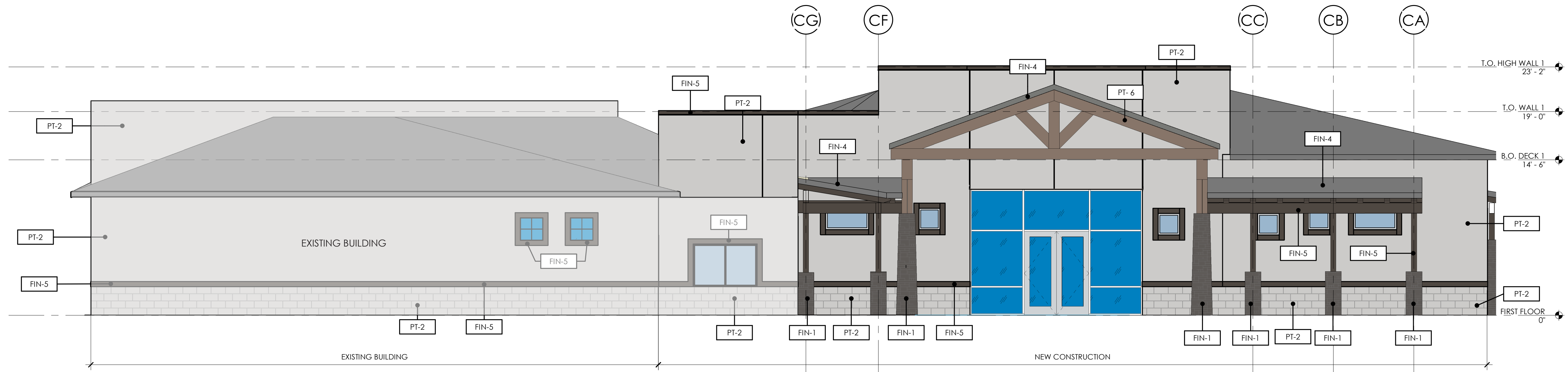


PAINT FINISH LEGEND

- PAINT: (REFER TO SPECS)**
FLAT: CEILINGS
SEMI-GLOSS: GENERAL WALLS, DOOR AND WINDOW TRIMS, RESTROOM/PLUMBING WALLS & CEILINGS, METAL COLUMNS INTERIOR & EXTERIOR
EGGSHELL: FIELD PAINT FINISH
EPOXY: ANY FLOOR PAINT
EPOXY (FILL ON CMU): RESTROOMS, ELECTRICAL ROOM, ROOF ACCESS/IDF ROOM, FIRE RISER ROOM, JANITOR CLOSET, REFER TO DRAWINGS.
- PT-1 MFR: DUNN EDWARDS PAINTS
 COLOR: MINK DE6392
 LOCATION: EXTERIOR FACIA
- PT-2 MFR: DUNN EDWARDS
 COLOR: CLOUDED VISION - DE6380
 LOCATION: FIELD - MAIN BUILDING FIELD PAINT

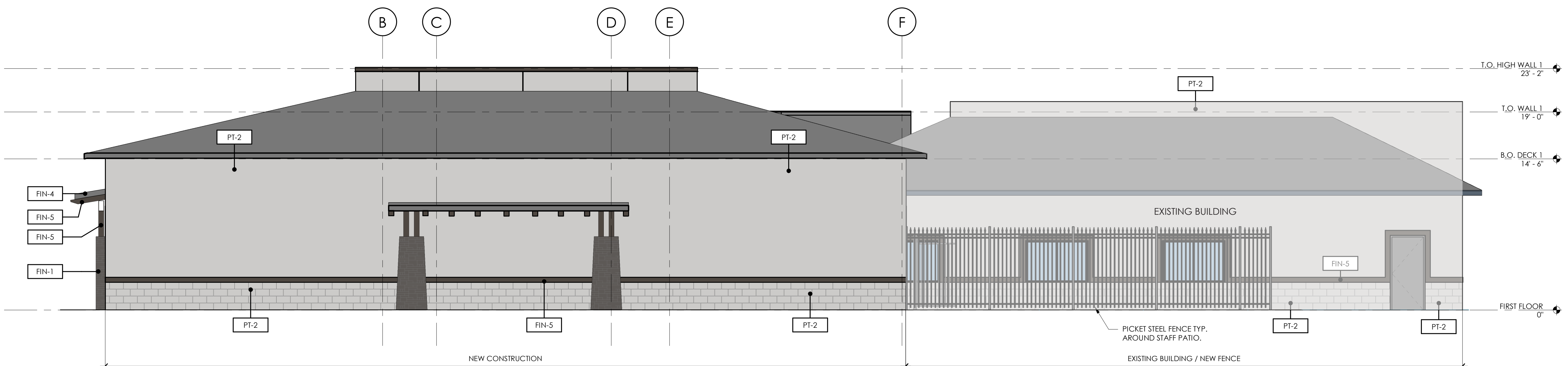
MATERIAL FINISH LEGEND

- FIN-1 **STACKED STONE VENEER**
 MFR: NORSTONE
 COLOR: CHARCOAL
 LOCATION: CANOPY PIERS
- FIN-2 **CMU WAINSCOT**
 MFR: TBD
 COLOR: TBD
 LOCATION: EXTERIOR WALLS
- FIN-3 **PAINTED STEEL**
 MFR: DUNN EDWARDS
 COLOR: MINK
 LOCATION: EXTERIOR STEEL
- FIN-4 **FLAT CONCRETE ROOF TILE**
 MFR: EAGLE ROOFING
 COLOR: ESTATE PROFILE, LEHIGH BLEND
 LOCATION: HIGH GABLED ROOF, CANOPIES
- FIN-5 **DARK BRONZE ANODIZED ALUMINIUM**
 MFR: FREYREGLET
 COLOR: DARK BRONZE
 LOCATION: STUCCO REVEAL
- FIN-6 **ROUGH SAWN LUMBER**
 MFR: TBD
 COLOR: TBD
 LOCATION: WOOD TRUSS AT ENTRY



1 **COLOR EAST EXTERIOR ELEVATION**

3/16" = 1'-0"



2 **COLOR WEST EXTERIOR ELEVATION**

3/16" = 1'-0"

THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF SPS+ARCHITECTS LLP & MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION.

REVISIONS		
MARK	DATE	DESCRIPTION
1	9/6/2022	City Comment Response

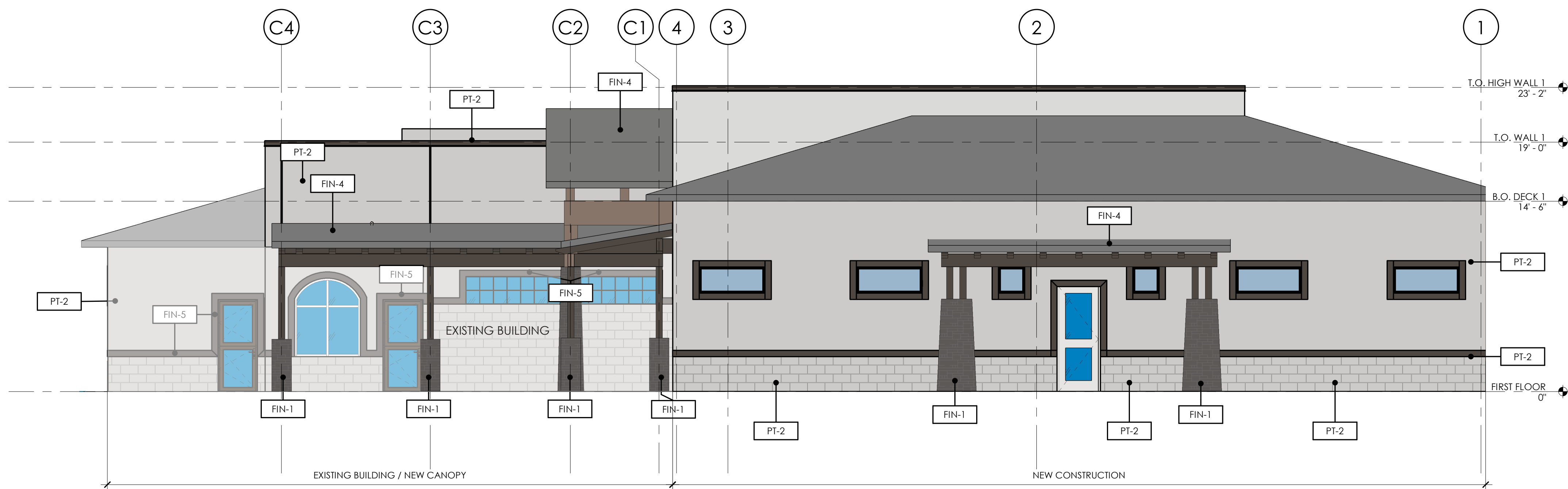
REVIEWED BY: GS
 DRAWN BY: EH

PERMIT SET
 DATE: 09-19-22

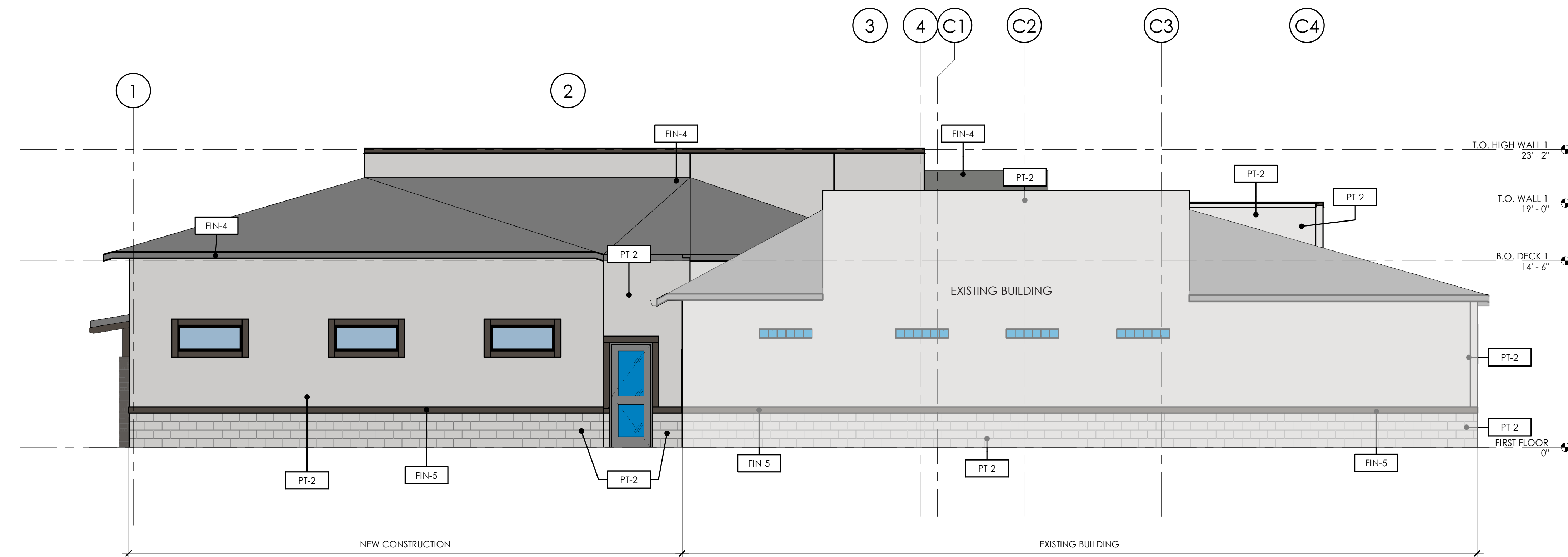
JOB No: 22022

SHEET:

A402



1 COLOR NORTH EXTERIOR ELEVATION
 3/16" = 1'-0"



2 COLOR SOUTH EXTERIOR ELEVATION
 3/16" = 1'-0"

PAINT FINISH LEGEND

PAINT:
FINISH: (REFER TO SPECS)
FLAT: CEILING
SEMI-GLOSS: GENERAL WALLS, DOOR AND WINDOW TRIMS, RESTROOM/PLUMBING WALLS & CEILING, METAL COLUMNS INTERIOR & EXTERIOR
EGGSHELL: FIELD PAINT FINISH
EPOXY: ANY FLOOR PAINT
EPOXY (FILL ON CMU): RESTROOMS, ELECTRICAL ROOM, ROOF ACCESS/IDF ROOM, FIRE RISER ROOM, JANITOR CLOSET, REFER TO DRAWINGS.

- PT-1 MFR: DUNN EDWARDS PAINTS
 COLOR: MINK DE6392
 LOCATION: EXTERIOR FACIA
- PT-2 MFR: DUNN EDWARDS
 COLOR: CLOUDED VISION - DE6380
 LOCATION: FIELD - MAIN BUILDING FIELD PAINT

MATERIAL FINISH LEGEND

- FIN-1 **STACKED STONE VENEER**
 MFR: NORSTONE
 COLOR: CHARCOAL
 LOCATION: CANOPY PIERS
- FIN-2 **CMU WAINSCOT**
 MFR: TBD
 COLOR: TBD
 LOCATION: EXTERIOR WALLS
- FIN-3 **PAINTED STEEL**
 MFR: SHERWIN WILLIAMS
 COLOR: BLACK FOX
 LOCATION: EXTERIOR STEEL
- FIN-4 **FLAT CONCRETE ROOF TILE**
 MFR: EAGLE ROOFING
 COLOR: ESTATE PROFILE LEHIGH BLEND
 LOCATION: HIGH GABLED ROOF
- FIN-5 **DARK BRONZE ANODIZED ALUMINUM**
 MFR: FRYEGLE1
 COLOR: DARK BRONZE
 LOCATION: STUCCO REVEAL
- FIN-6 **ROUGH SAWN LUMBER**
 MFR: TBD
 COLOR: TBD
 LOCATION: WOOD TRUSS AT ENTRY

THIS DRAWING IS AN INSTRUMENT OF SERVICE & IS THE PROPERTY OF SPS+ARCHITECTS LLP & MAY NOT BE REPRODUCED OR REPRODUCTIONS HEREOF USED WITHOUT WRITTEN PERMISSION.

REVISIONS		
MARK	DATE	DESCRIPTION
1	9/6/2022	City Comment Response

REVIEWED BY: GS
 DRAWN BY: EH

PERMIT SET
 DATE: 09-19-22

JOB No: 22022

SHEET:

A403

October 25, 2022

Planning, Zoning, Building & Development Services
Town of Queen Creek
22358 S. Ellsworth Road
Queen Creek, AZ 85142 480-358-3000

Re: Queen Creek Veterinary Clinic Site Plan Submittal

Subj: Project Narrative

The project is for site work improvement and building expansion on the existing Queen Creek Veterinary Clinic lot at 20201 E Ocotillo Rd Queen Creek, AZ 85142, APN# 304-67-011H. The parcel is zoned C-2 Commercial. The properties to the East and West are also zoned C-2, to the South is zoned R1-8 and to the North of the property is E Ocotillo Rd.

The existing use, Veterinary Clinic, is proposed to remain in both the existing building, +/- 3,936 sf and building addition of +/-4,408 sf on the Northeast side for a total building area of 8,344 sf. The proposed project also includes parking lot restriping, underground retention and a staff patio.

The proposed work complies with all lot coverage, building area, height, and building setback requirements but encroaches on the North and South landscape buffers. The proposal includes dense landscaping to the south of the property to shield the residential neighbors from the commercial use. Pets will be permitted in the staff patio but will never be left unattended.

The proposed building area requires 42 parking spaces (8,344 sf / 200 for Office Medical) The proposed lot configuration maximizes the lot area to provide as much parking as possible reaching a total of 32 parking spaces. A small parking reduction is requested for this facility that is more representative of the actual use and requirement. The parking ordinance does not specifically address veterinary clinics.....only clinics. The veterinary facility has a much lower occupancy and daily traffic. As there are no walk-in patients, all visitors are by appointment only. In addition, the expansion consists of 11 exams room only, while providing 17 new parking stalls. Anticipated additional employees are 2-3, leaving some spaces for overflow.

If you have any questions regarding the project scope, please do not hesitate to contact me via email at cain.g@spsplusarchitects.com.

Sincerely,

Cain Garcia, Project Manager

SPS+ Architects, LLP

QC Veterinary Clinic Building Expansion

Rachel Pollack <>

Mon, Oct 10, 2022 at 6:04 PM

To: Mallory Ress <mallory.ress@queencreekaz.gov>

But I do have a question now about the trees. The desert sweet acacia trees produce an astounding amount of pollen. Perhaps some other trees that produce less pollen could be substituted? An possible substitution would be desert willow acacia, which is evergreen.

That comment could be included in the public record.

Thank you!



L_Queen Creek Veterinary Clinic Landscape Plan.pdf
952K