



Requesting Department:  
Development Services

**TO: Planning and Zoning Commission**

**THRU: Brett Burningham, Development Services Director**

**FROM: Erik Swanson, Planning Administrator  
Steven Ester, Planner II**

**RE: Public Hearing and Possible Action on P22-0061 and P22-0062 Sparrow SFG PAD Rezone and Site Plan**, a request for a PAD Rezone from C-2 (General Commercial) to MDR/PAD (Medium Density Residential) and Site Plan approval of a 110-unit, multi-family development located on approximately 11 acres west of the northwest corner of Ironwood and Ocotillo roads.

**DATE: September 14, 2022**

**STAFF RECOMMENDATION**

Staff recommends approval of P22-0061 and P22-0062 Sparrow SFG PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

**PROPOSED MOTION**

Move to recommend approval of P22-0061 and P22-0062 Sparrow SFG PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

**RELEVANT COUNCIL GOAL(S)**



Secure Future

**SUMMARY**

This proposal consists of a request for a PAD Rezone from C-2 (General Commercial) to MDR/PAD (Medium Density Residential) and Site Plan approval of a 110-unit, multi-family development located on approximately 11 acres west of the northwest corner of Ironwood and Ocotillo roads.

## HISTORY

**March 7, 2018:** The Town annexed the Ironwood Crossing PAD from Pinal County and applied equivalent zoning districts per Ordinance 657-18, P17-0144.

## PROJECT INFORMATION

Project Name	Sparrow SFG PAD Rezone and Site Plan
Site Location	W/NWC of Ironwood and Ocotillo roads
General Plan Designation	Commercial
Current Zoning	C-2 (General Commercial)
Proposed Zoning	MDR/PAD (Medium Density Residential)
Surrounding Zoning Designations:	
North	R1-5/PAD – Ironwood Crossing by Fulton Homes
South	C-2/PAD – Chipotle (Pad Site) Ocotillo Road SR – Large SFR Lots (Pinal County)
East	C-3/PAD – Ironwood Crossing Commercial Center
West	HDR/PAD – Sparrow Age-Restricted Apartments
Net Acreage	10.94 acres
Total Lots/Units	110 units
Proposed Density	10.05 du/acre (net)
Building Height	26'-10" max.
Open Space	Required: 20% - 95,337 SF Provided: 22% - 103,975 SF
Parking	Required: 236 parking spaces Provided: 277 parking spaces

## DISCUSSION

Sparrow SFG is a multi-family attached and detached gated residential rental community with 110 units and a net density of 10.05 units per acre. The product types range from single-story to two-story with private backyards to be more reminiscent of a traditional single-family community and configured with standalone and duplex buildings, rather than a typical, multi-story apartment complex.

For surrounding context, the site is bound to the north by the Ironwood Crossing residential community and to the east by the Ironwood Crossing commercial center. At its southern edge, there is a Chipotle restaurant currently under construction on a pad site, and the arterial Ocotillo Road with rural residential lots further south within Pinal County's jurisdiction. Directly west of the property and currently under-construction is the Sparrow Age-Restricted Apartments

project. It should be noted this proposed site is being developed by the same team that entitled the adjacent multi-family community.

There are three (3) points of access for the proposed project, all of which integrate into the internal circulation of the overall commercial center. The main entrance is located off a private drive that connects from Ocotillo Road to the south, while the other two (2) secondary, exit-only gates are positioned near the southeastern and northeastern corners of the site for egress. To promote walkability and connectivity to the neighboring retail uses, each access point features a sidewalk connection and pedestrian gate to give residents a paved path leading to those areas. The entrance and exits each incorporate the use of decorative paving and landscaping in accordance with the Zoning Ordinance to create an enhanced sense of arrival into the site design. Within the site, 277 parking spaces are provided, where 236 parking spaces are required. Most of the parking count consists of garage spaces per the floor plans; uncovered parking spaces are included for guests and residents. All garage dimensions meet the same 10' x 20' minimum standard required for a typical parking space.

### **Landscaping and Open Space**

With this site's surroundings and setback from Ocotillo Road, the required landscape buffers vary around the perimeter. At the west, there is a 10' buffer provided, although no separation is actually required since the project abuts another multi-family development. The northern landscape buffer was designed to be 30' and 50' wide (where 15' minimum is required) at certain sections to ensure a gradual transition from the Ironwood Crossing residential lots directly next to it. In discussion with the applicant, the intent was to continue the same enhanced buffer concept that was applied to the rear of the adjacent Sparrow site. An assortment of trees and a 5' walking trail are housed in this buffer area to assist in reducing any impact to the neighbors. Along the eastern and southern sides, a 10' landscape buffer is needed in accordance with the share between multi-family and commercial uses. Under the PAD request, the applicant is proposing a deviation to install 5' of landscaping with a 5' sidewalk at these edges, citing that the combination of both elements provide a total separation of 10'. The sidewalk serves to better orient and connect the project into the retail portion of the nearby center, while the landscape strip is still able to accommodate a steady row of plantings. This project meets the Zoning Ordinance requirements for a minimum of 20% open space (95,337 SF) by providing a total of 22% (103,975 SF), where 40% (39,309 SF) of the total is considered as active open space. Much of the landscape palette is based around Chinese elm and live oak trees, with various desert shrubs and trees dispersed throughout the site.

For walls, a 6' theme wall is provided around the eastern and southern edges of the development in accordance with the Zoning Ordinance requirements. Columns and undulations are placed every 150' or less within the runs of the site wall with gates for pedestrian access to create usable connections to the perimeter sidewalk that spans fully along both the southern and eastern perimeter. Along the western and northern edges, the walls will be shared between both the adjacent age-restricted apartment development and Ironwood Crossing respectively.

## Design Standards

In terms of architectural design, the applicant team has approached the units much like single-family homes, providing elements of four-sided architecture specific to a stylized theme. The proposed units are intentionally oriented to create a community strengthened by traditional home concepts like the inclusion of front porches, private outdoor rear yards with covered patios, and various floor plan layouts. A majority of the plans have garages as well. The product varies from one and two-story detached and attached (duplex) homes with one, two, three, and four bedroom units for a total of eleven (11) different building types as follows:

- Type 1 and 2: 1-bedroom or 2-bedroom, single-story attached units
- Type 3: 2-bedroom, two-story detached unit (with garage)
- Type 4: 2-bedroom, two-story attached unit (with garage)
- Type 5: 2-bedroom, two-story detached unit
- Type 6: 2-bedroom, two-story attached unit
- Type 7, 8, 9, and 10: 3-bedroom or 4-bedroom, two-story attached units (with garage)
- Type 11: 2-bedroom, single-story unit

For the elevation styles, there are two (2) main themes of either a Farmhouse or Prairie design provided. Some of the architectural elements include varied rooflines with concrete slate tile, decorative window gridding, shutters, gable bracketry, stone veneer wainscoting, stucco pop outs, and decorative panel siding. There are a couple of different color schemes to help distinguish the tones associated with each particular elevation style. Similar materials and colors are also carried over to the amenity areas and clubhouse to maintain design consistency with the livable units.

In reviewing the proposed elevations, Staff approaches the process much like a typical residential design review to ensure there is an appropriate level of architecture to satisfy the design standards set for multi-family projects. This pushes the design of the units to implement more features that otherwise resemble more traditional, single-family homes. The call for four-sided architecture is critical to foster elevations that demonstrate how the design theme is prevalent across all sides of the units. The proposed product meets the goals of the Town's Design Standards.

## Proposed Zoning Ordinance Deviations

Two (2) deviations to the Zoning Ordinance are requested by the applicant:

- **Reduce the required building separation of fifteen (15) feet to ten (10) feet.** Per the Design Standards, multi-family buildings shall be separated by a minimum of fifteen (15) feet. The applicant requests the deviation by stating the following: "Buildings will be clustered and oriented toward pedestrian and open space pathways, and they will comply with all applicable building code requirements. Pedestrian friendly sidewalks will be laid out with landscaping, shading, and a pattern of shared common area spaces. This modification is justified by the buildings' smaller scale, enhanced setbacks

proposed, and its reduced impact on the surrounding properties. Also, the generous open space areas support this modified standard and will further the qualities of light, space, and enhanced views to and from the parcel.”

- **Reduce the required landscape buffer area along the eastern and southern perimeters from 10’ to 5’.** As required by the Zoning Ordinance, the total landscape buffer required is 20’ between multi-family and commercial uses. This distance is intended to be split by adjacent property owners having 10’ on each site. The applicant requests the deviation by stating the following: “Given the proposed development is a hybrid between single-family and multi-family uses, proposed are 10’ of buffers, 5’ of which would be landscaped, with a 5’ sidewalk around the perimeter adjacent to the commercial use to the east and south. Behind this buffer are the proposed private backyard enclosures. Combined, this exceeds the minimum required building setbacks, which reduces the intensity of development to the benefit of the community along the perimeter. This request, therefore, meets the intent of the ordinance. Adjacent commercial buildings will likewise be setback further than required, which will mitigate impacts on the adjacent properties as intended by this zoning requirement. As further justification, the oversized 30’ buffer provided along the north edge pushes the development south, creating limitations on the south boundary.”

Given how the request uses the flexibility offered by a PAD Overlay to enhance the overall development and meet the findings of fact, Staff supports the requested deviations as a part of the PAD.

## PUBLIC PARTICIPATION

The applicant held one (1) neighborhood meeting on May 27, 2022 with 12 residents in attendance. Notification of the meeting was mailed to property owners within 1,200 feet of the project as required by the Zoning Ordinance. A presentation with general information about the development was given by the applicant. Several questions and comments related to the following items were discussed:

- Supportive of the 30’ wide landscape buffer between the Ironwood Crossing community.
- Appreciative of the developer’s responsiveness.
- What type of product is proposed?
- What is a typical rent cost and lease term for a unit?
- Do the units have backyards?

Following the applicant’s responses to the residents’ questions and feedback, the meeting was concluded with residents generally in-support of the request. Staff has not received any calls or letters regarding the proposal at this time. If any future correspondence is received, the case record will be updated for conveyance.

## ANALYSIS

**General Plan Review:** The General Plan Land Use designation for this project is Commercial. This 11 acre project site was originally annexed into the Town in March of 2018, as part of the overall Ironwood Crossing development that included both the residential and commercial components. The equivalent Town zoning of C-2/PAD was applied, which is in conformance with the Commercial land use designation that exists on the site today.

As outlined in the Town's 2018 General Plan, requests of sites up to 20 acres with a Commercial land use designation can be rezoned to a district not identified under the Commercial designation. Although MDR (Medium Density Residential) zoning is not included under this land use category, a General Plan Amendment is not required because the site is under the 20 acre threshold at 11 acres in size.

**Economic Development Review:** Typically in instances where a zoning application does not align with the General Plan, Staff requests a fiscal impact study to be included with the site's review, as there are concerns with the potential loss of one time revenues and annual sales tax revenues. The applicant has provided an economic impact analysis that discusses the implications of the proposal. According to the study, there are favorable economic benefits to be gained from the proposed development. Additionally, Economic Development Staff have reviewed the analysis and have no concerns. Accordingly, Staff has no objection to the request, based on the provided fiscal impact study.

**Zoning Review:** The property is currently zoned C-2/PAD (General Commercial). This proposed site is in conformance with the multi-family residential standards in the Zoning Ordinance and Design Standards. As discussed above, two (2) deviations are proposed to reduce the required building separation from fifteen (15) feet to ten (10) feet, and the required landscape buffer along the southern and eastern perimeters from ten (10) feet to five (5) feet. Based on the justification provided by the applicant, Staff is supportive of the proposed deviations.

In general, the MDR zoning category is intended to allow a mix of residential unit types and densities to provide a balance of housing opportunities, while maintaining neighborhood compatibility. By allowing a density range from 6-14 du/ac, there is an adequate spectrum of flexibility for both single-family and multi-family product types, while also maintaining a clear distinction from typical, higher density apartment developments. As part of the technical review of any MDR proposal, the surrounding context is considered in comparison to the project to ensure its scale and transition is appropriate for the area as a whole. The proposed net density of 10.05 du/ac falls within the allowed range of the MDR zoning category.

**Adequate Public Facilities:** In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

**Engineering, Utilities, and Traffic Review:** The Engineering Division, Traffic Division, and Utilities Department have been involved throughout the review of this request. Conditions of Approval have been added accordingly.

### CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the Zoning Ordinance applicable to this case, except as modified herein.
2. The applicant shall ensure the proposed multi-family residential development will actively participate in the Crime Free Housing program, including Crime Prevention through Management.
3. The required building separation of 15' is hereby reduced to 10', as designated by the PAD.
4. The required landscape buffer of 10' around the eastern and southern perimeters of the site is hereby reduced to 5', as designated by the PAD.
5. Garage parking shall be managed by the developer to ensure no spaces are used solely for storage or other non-parking related purposes.
6. Any covered parking canopies shall be reviewed and approved under separate building permit submittals.
7. A fair disclosure agreement and/or covenant should be provided to lessee's or buyers stating the following: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals. The mix of aviation activities and types of aircraft expected to be located and operate at the Airport now and in the future include: scheduled and unscheduled commercial charters, commercial air carriers, and commercial air cargo operations, all of which are expected to use large commercial aircraft. General aviation activity includes using corporate and executive jets, helicopters, and propeller aircraft. Aviation flight training school includes using training aircraft. Military activity includes using high performance military jets. The size of aircraft and frequency of use of such aircraft may change over time depending on market and technology changes." Any public reports filed with the Arizona Department of Real Estate shall include the previously referenced disclosure statement.

### ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Exhibit

4. Proposed Zoning Exhibit
5. Site Plan
6. Landscape Plan
7. Elevations and Floor Plans
8. Project Narrative
9. Neighborhood Meeting Summary



**Project Name: Sparrow SFG PAD Rezone and Site Plan Aerial Exhibit**

**Case Number: P22-0061 & P22-0062**

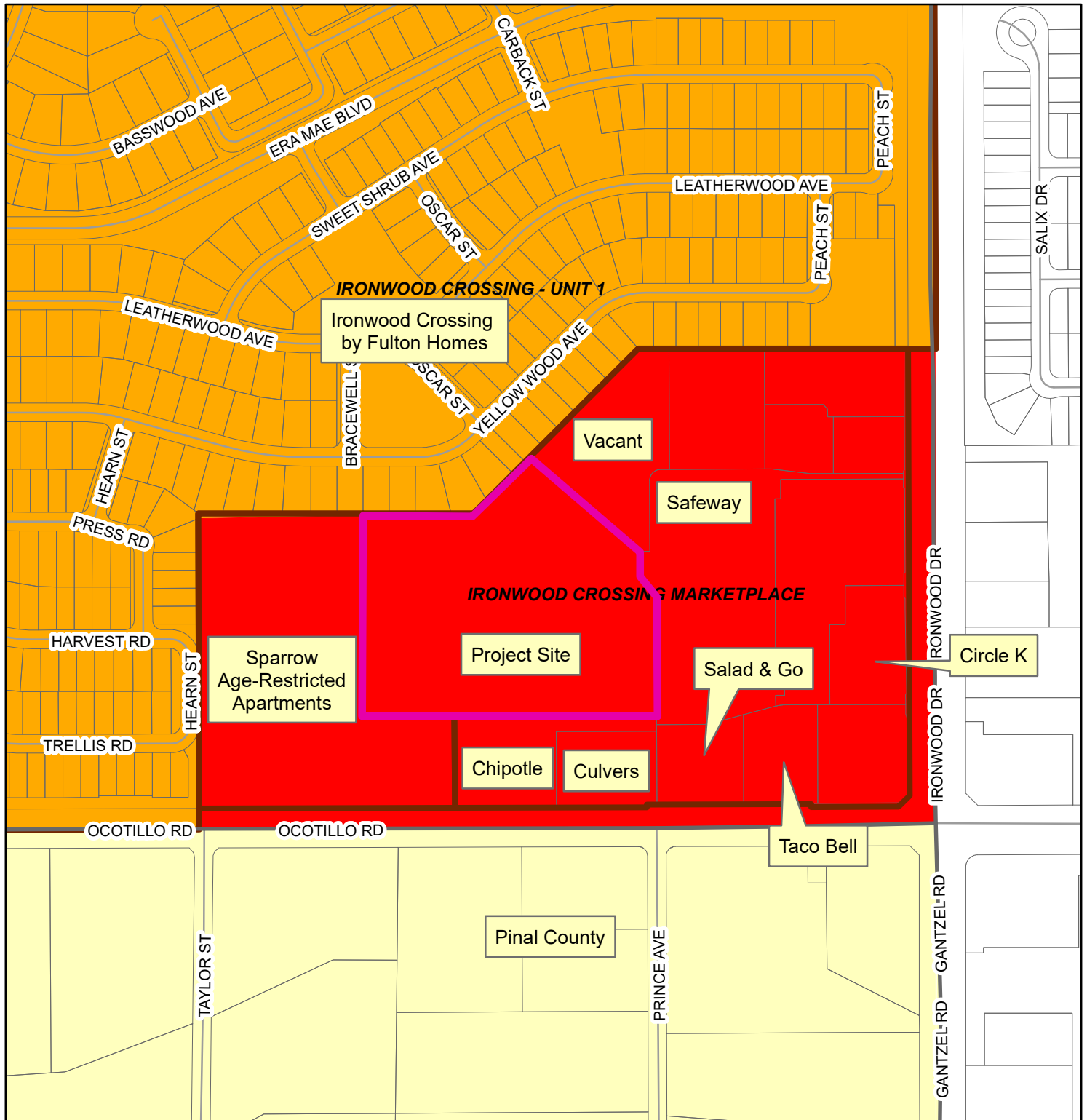
**Hearing Date: September 14, 2022 (Planning Commission)  
October 19, 2022 (Town Council)**



# Project Name: Sparrow SFG PAD Rezone and Site Plan General Plan Exhibit

Case Number: P22-0061 & P22-0062

Hearing Date: September 14, 2022 (Planning Commission)  
October 19, 2022 (Town Council)



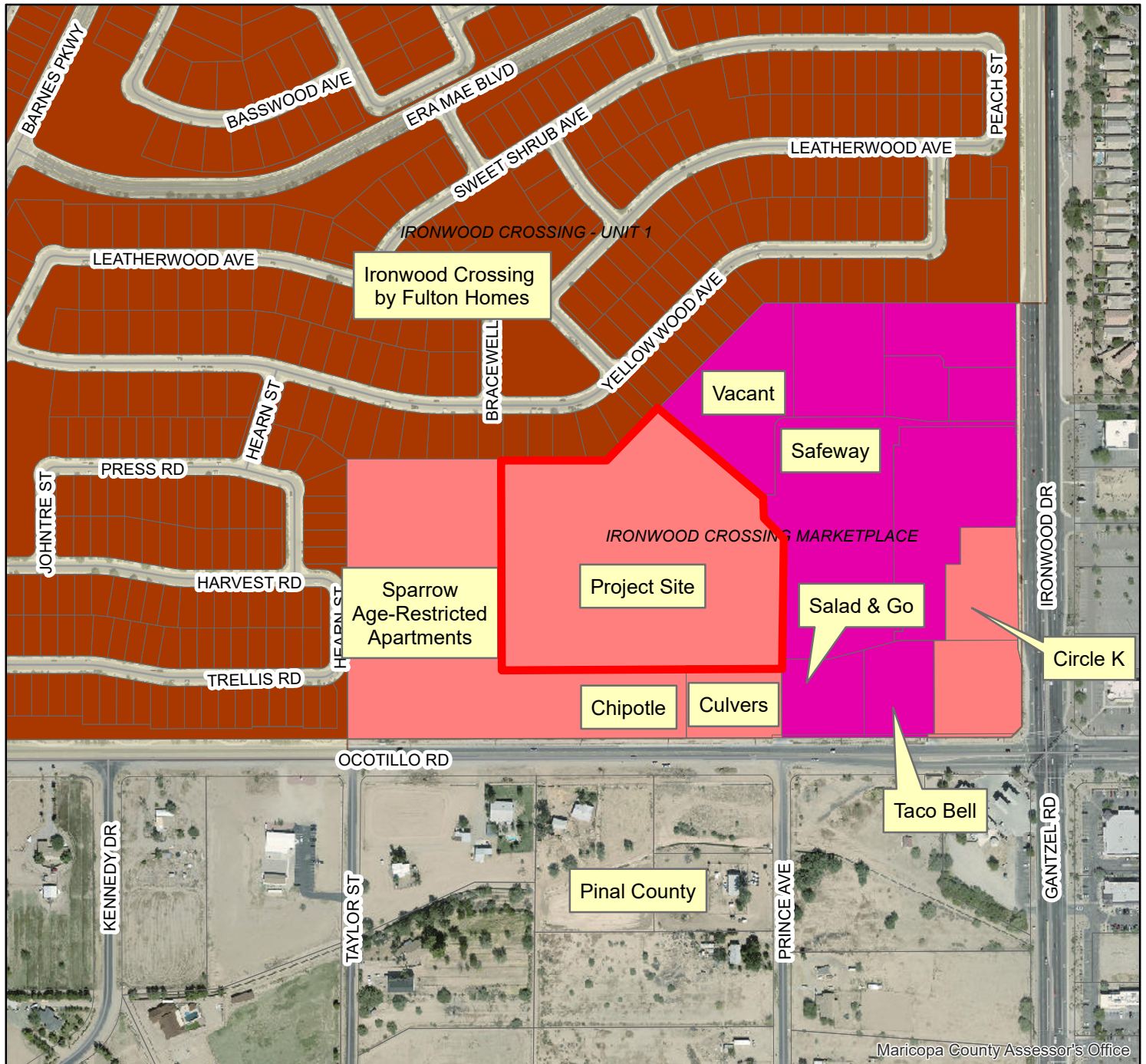
## General Plan Land Use

- |              |            |                    |                    |
|--------------|------------|--------------------|--------------------|
| Rural        | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 |                    |
| Urban        | Open Space | Special District 3 |                    |

# Project Name: Sparrow SFG PAD Rezone and Site Plan Current Zoning Exhibit

Case Number: P22-0061 & P22-0062

Hearing Date: September 14, 2022 (Planning Commission)  
October 19, 2022 (Town Council)



## Zoning Districts

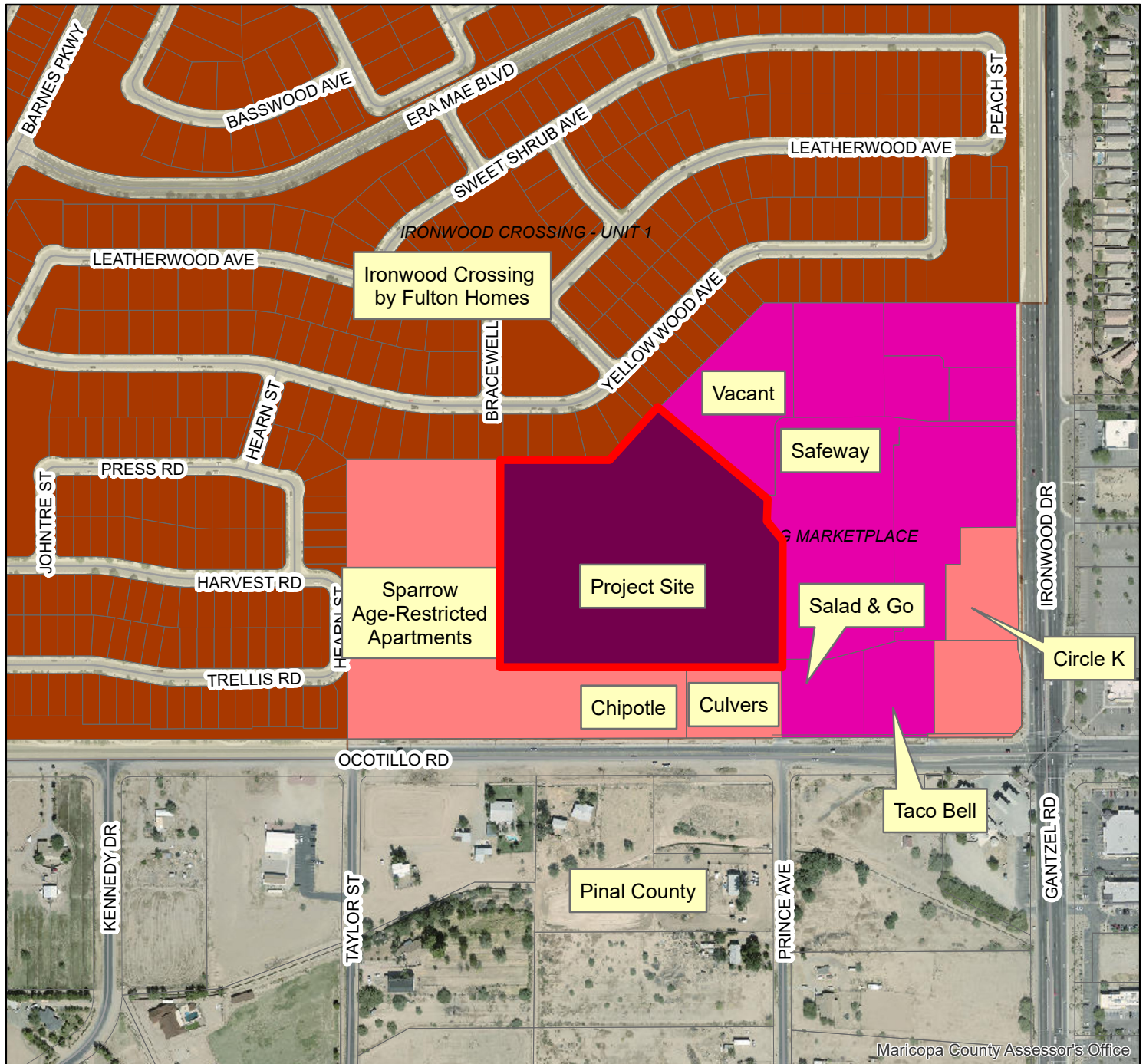
C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
TC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment

Maricopa County Assessor's Office

























# Project Name: Sparrow SFG PAD Rezone and Site Plan Proposed Zoning Exhibit

Case Number: P22-0061 & P22-0062

Hearing Date: September 14, 2022 (Planning Commission)  
October 19, 2022 (Town Council)



## Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

SCHEMATIC DESIGN

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
07/13/22

REVISIONS:

SHEET TITLE:

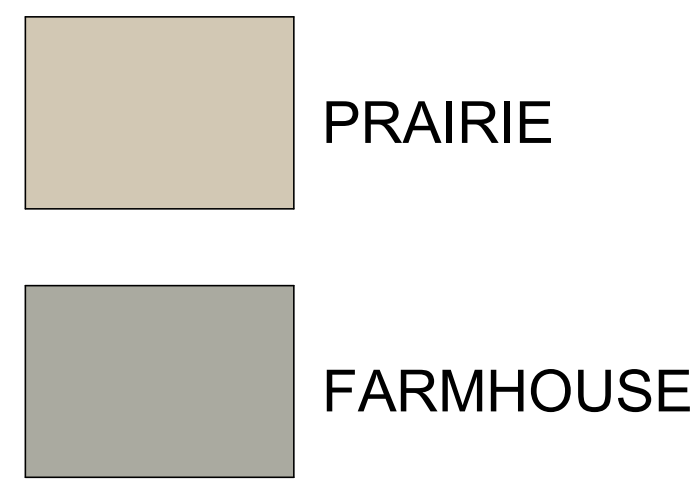
SITE PLAN

SHEET NAME:

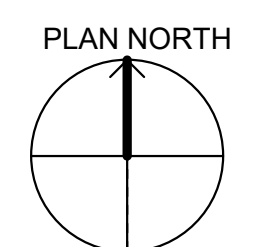
G1.1

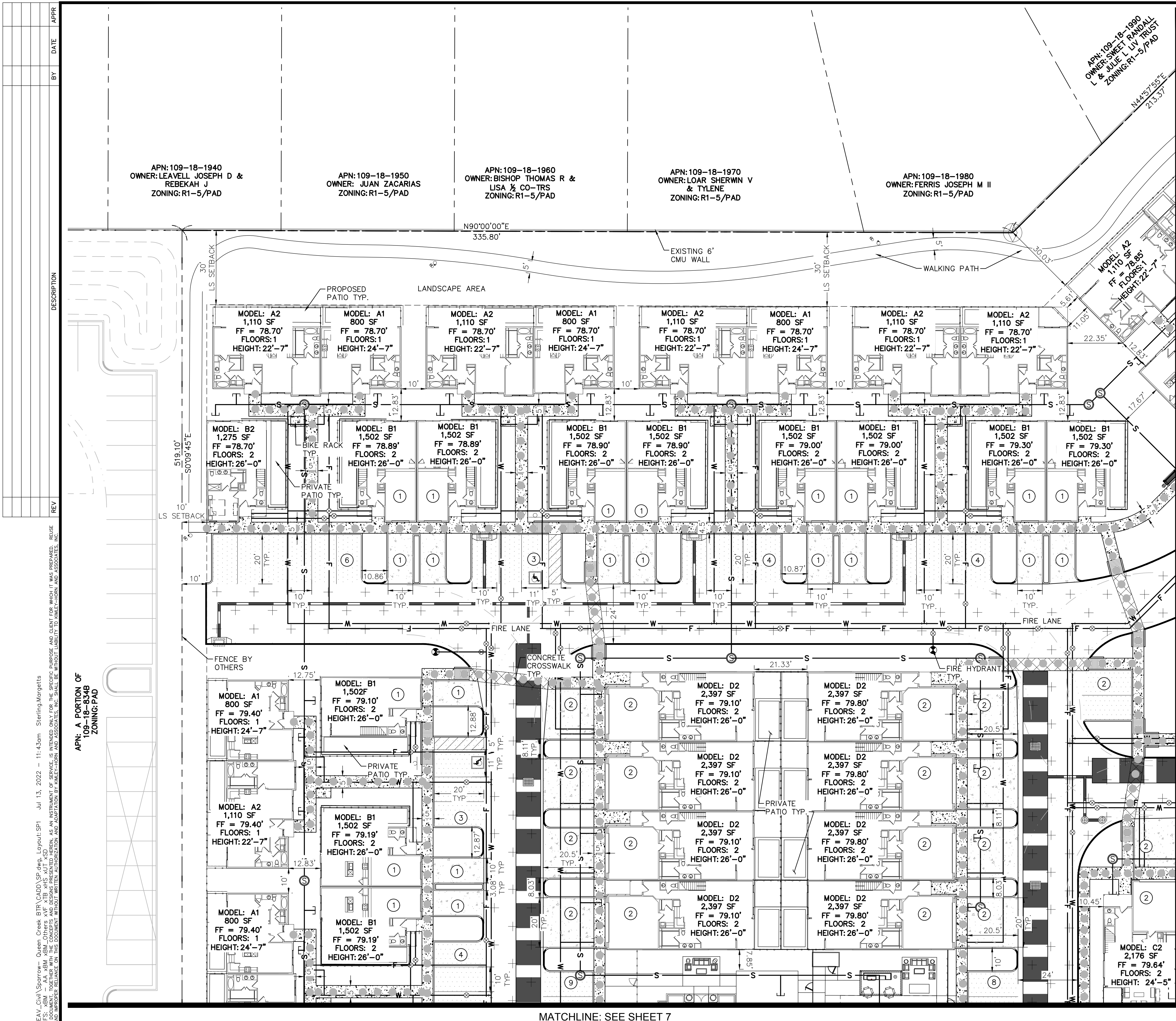
Queen Creek											
Building Type	STORIES		Unit Type								
	A1	A2	B1	B2	C1	C2	D1	D2			
Type 1	1	1	1							17	
Type 2	1		2							1	
Type 3	2			1						4	
Type 4	2			2						15	
Type 5	2				1					4	
Type 6	2				2					1	
Type 7	2					2				4	
Type 8	2						2			4	
Type 9	2							2		4.5	
Type 10	2								2	4	
Type 11	2		1							1	

TOTAL UNITS = 110



21 SITE PLAN  
G1.1 1" = 40'-0"





### LEGEND

- ● ● ● ADA PATH
- CONCRETE HARDSCAPE
- HD ASPHALT
- HD CONCRETE
- - - PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - PROPOSED CONCRETE SIDEWALK
- ⊙ (6) PARKING SPACE COUNT
- F FULL ACCESS
- ⌒ FIRE TURNING RADIUS
- ⌒ TRUCK TURNING RADIUS

SITE DATA TABLE

LOCATION:	NWC OF OCOTILLO ROAD AND IRONWOOD ROAD QUEEN CREEK, AZ	
LOT AREA:	10.943 AC NET	
EXISTING ZONING:	C-2/PAD	
PROPOSED ZONING:	MDR/PAD	
PAD DENSITY:	10.05 DU/ACRE	
CURRENT USE:	VACANT	
PROPOSED USE:	MULTI-FAMILY	
NUMBER OF UNITS:	110	
BUILDING DATA:		
BUILDING AREA:	171,074	
BUILDING HEIGHT:	26'-10" MAX	
BUILDING COVERAGE:	36%	
VEHICULAR PARKING:	REQUIRED*	PROVIDED
1 BED (17)	26	
2 BED (60)	120	
3 BED (17)	43	
4 BED (16)	48	
VEHICULAR SPACES:	229	270
ADA SPACES:	7	7
TOTAL VEHICULAR SPACES:	236	277
BIKE SPACES:	24	34

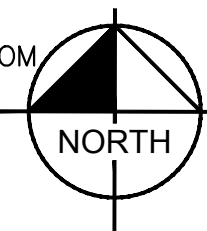
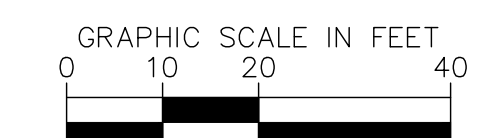
MODEL TYPE	UNIT TYPE
A1	1 BEDROOM
A2	2 BEDROOM
B1	2 BEDROOM
B2	2 BEDROOM
C1	3 BEDROOM
C2	4 BEDROOM
D1	3 BEDROOM
D2	4 BEDROOM

OPEN SPACE		
	REQUIRED	PROVIDED
PASSIVE + ACTIVE	20%/95,337 SF	22%/103,975 SF
ACTIVE	30%/28,601 SF	40%/39,309 SF
PRIVATE		14,789 SF
TOTAL		118,764 SF

**OWNER**  
 IRONWOOD COMMERCIAL LLC  
 20701 N SCOTTSDALE ROAD APT 443,  
 SCOTTSDALE, AZ 85255

**DEVELOPER**  
 SPARROW PARTNERS  
 2500 BEE CAVE RD., BLDG. 1, SUITE 380  
 AUSTIN, TX 78746  
 TEL. NO. (512) 982-6927  
 CONTACT: CLINT KNOX  
 EMAIL: CLINT.KNOX@SPARROW-PARTNERS.COM

**CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 1001 W SOUTHERN AVE. SUITE 131  
 MESA, ARIZONA 85210  
 TEL: (480) 207-2666  
 FAX: (602) 944-7423  
 CONTACT: STERLING MARGETTS, PE



**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 1001 WEST SOUTHERN AVENUE, SUITE 131  
 MESA, ARIZONA 85210 (480) 207-2666

SPARROW PARTNERS  
 QUEEN CREEK

NWC OF IRONWOOD RD & OCOTILLO RD  
 SITE PLAN  
 QUEEN CREEK, ARIZONA

PROJECT No. 291320006  
 SCALE (H): 1" = 20'  
 SCALE (V): --  
 DRAWN BY: CEP  
 DESIGN BY: AMF  
 CHECK BY: STM  
 DATE: 07/13/2022

APN: 109-18-1940  
 OWNER: LEAVELL JOSEPH D & REBEKAH J  
 ZONING: R1-5/PAD

APN: 109-18-1950  
 OWNER: JUAN ZACARIAS  
 ZONING: R1-5/PAD

APN: 109-18-1960  
 OWNER: BISHOP THOMAS R & LISA ½ CO-TRS  
 ZONING: R1-5/PAD

APN: 109-18-1970  
 OWNER: LOAR SHERWIN V & TYLENE  
 ZONING: R1-5/PAD

APN: 109-18-1980  
 OWNER: FERRIS JOSEPH M II  
 ZONING: R1-5/PAD

APN: 109-18-1990  
 OWNER: SHEET I L V TRUST  
 L & JULIE L V TRUST  
 ZONING: R1-5/PAD

APN: A PORTION OF 109-18-834B  
 ZONING: PAD

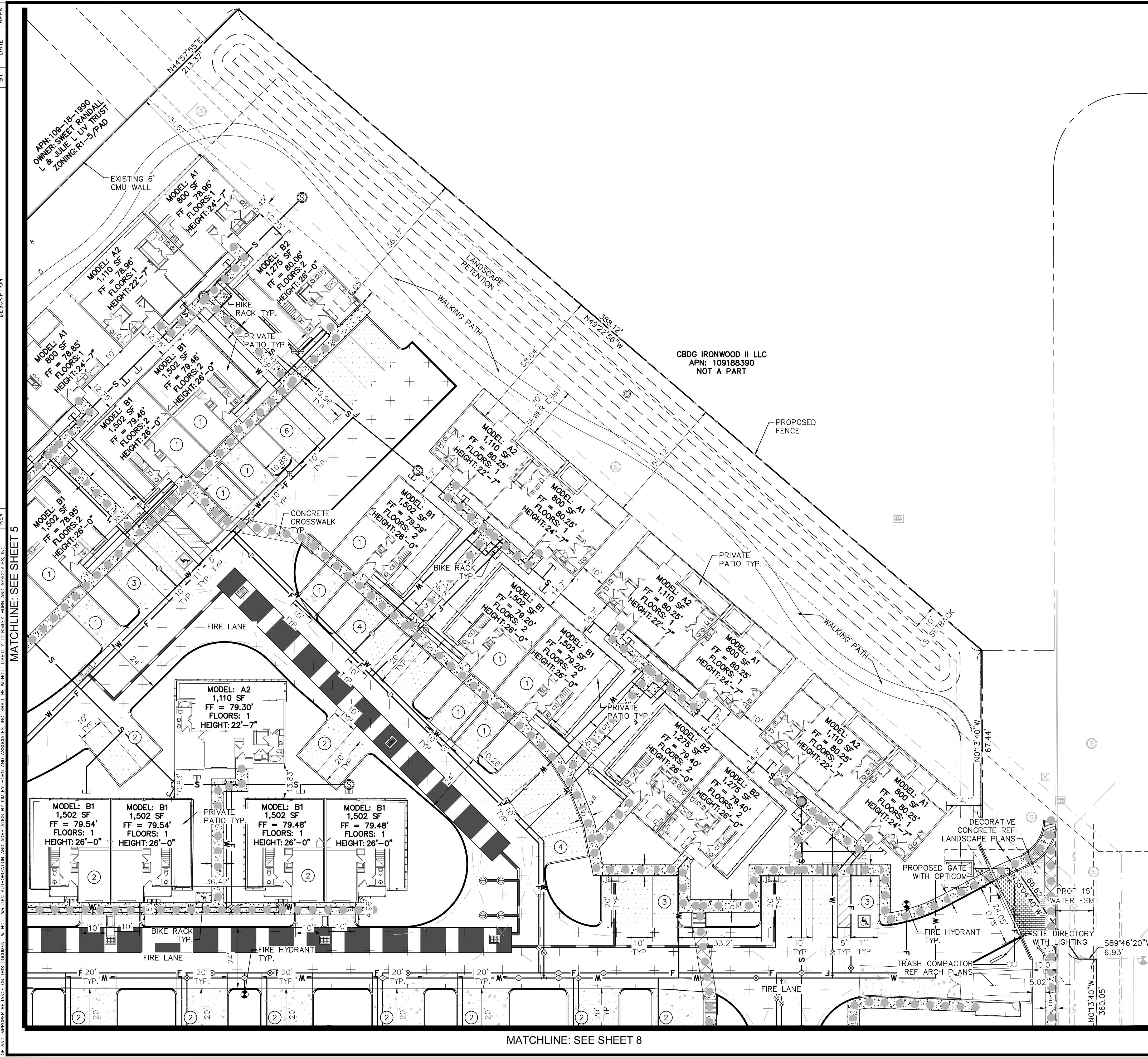
K:\LEAV-Civil\Sparrow-Queen Creek BTR\CADD\SP.dwg, Layout:SP1 Jul 13, 2022 - 11:43am Sterling Margetts  
 THE DESIGN OR CONTENT OF THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC.

REV	DESCRIPTION	DATE	APPR

MATCHLINE: SEE SHEET 7

MATCHLINE: SEE SHEET 6

REV	DESCRIPTION	DATE	BY	APP



**LEGEND**

- ● ● ● ADA PATH
- ▨ CONCRETE HARDSCAPE
- ▨ HD ASPHALT
- ▨ HD CONCRETE
- PROPERTY LINE
- BUILDING SETBACK LINE
- PROPOSED CONCRETE SIDEWALK
- ⓪ PARKING SPACE COUNT
- F FULL ACCESS
- 55° FIRE TURNING RADIUS
- 43.9° TRUCK TURNING RADIUS

**VICINITY MAP**  
N.T.S.

PIMA ROAD  
OCOTILLO ROAD  
IRONWOOD ROAD  
MERIDIAN ROAD

**SITE DATA TABLE**

LOCATION:	NWC OF OCOTILLO ROAD AND IRONWOOD ROAD QUEEN CREEK, AZ	
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**OPEN SPACE**

	REQUIRED	PROVIDED
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TEL. NO. (512) 982-6927  
CONTACT: CLINT KNOX  
EMAIL: CLINT.KNOX@SPARROW-PARTNERS.COM

**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
1001 W SOUTHERN AVE. SUITE 131  
MESA, ARIZONA 85210  
TEL: (480) 207-2666  
FAX: (602) 944-7423  
CONTACT: STERLING MARGETTS, PE

GRAPHIC SCALE IN FEET  
0 10 20 40

NORTH

CALL FOR RECORDING DATA BEFORE YOU DIG  
**602-263-1100**  
**1-800-STAKE-IT**  
(OUTSIDE MARICOPA COUNTY)

PROJECT No. 291320006  
SCALE (H): 1" = 20'  
SCALE (V): --  
DRAWN BY: CEP  
DESIGN BY: AMF  
CHECK BY: STM  
DATE: 07/13/2022

REGISTERED PROFESSIONAL ENGINEER  
47183  
STERLING MARGETTS  
DATE ISSUED 07/13/22  
ARIZONA, U.S.A.  
EXPIRES 12/31/25

SP2  
6 OF 40 SHEETS

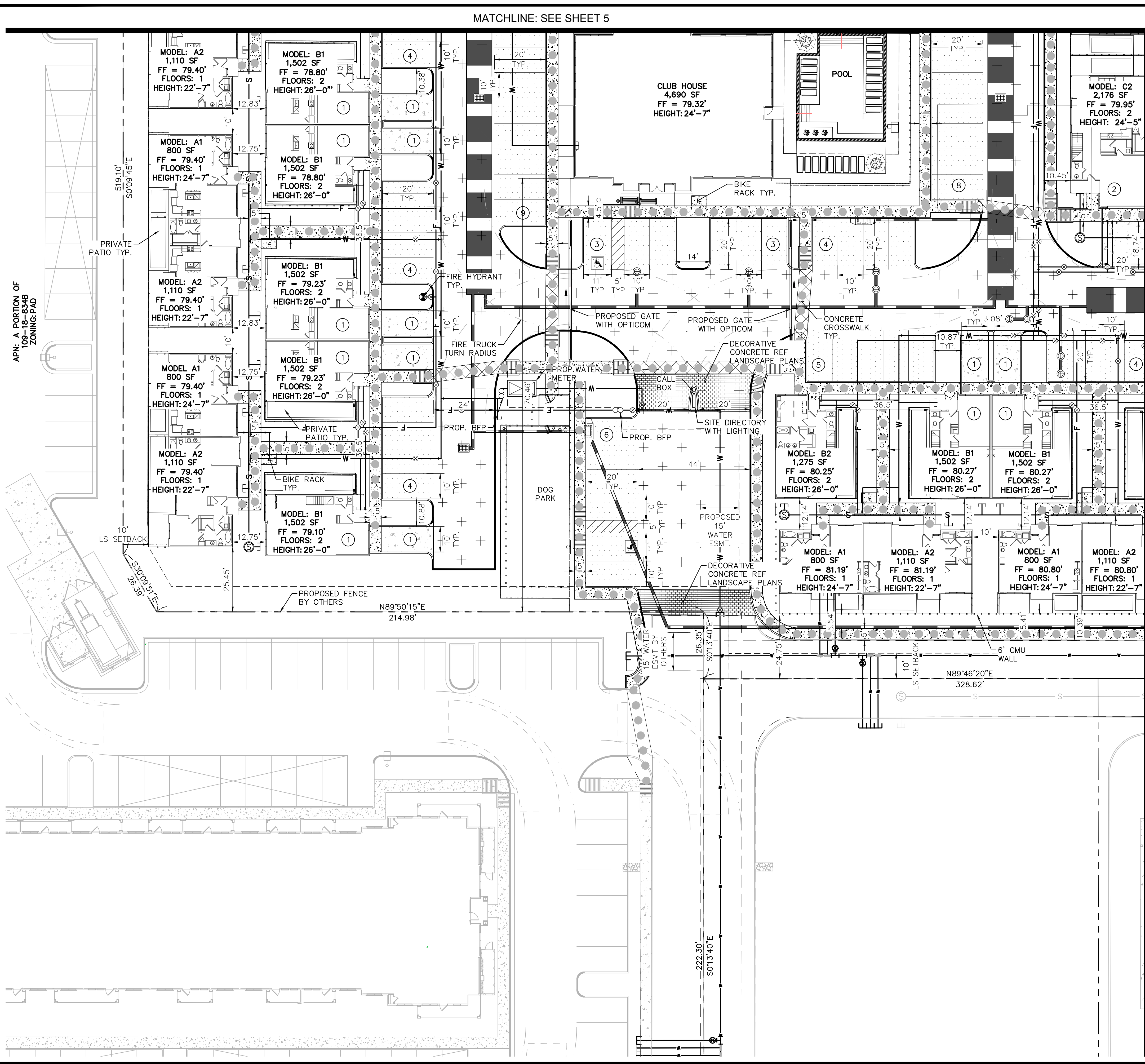
**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
1001 WEST SOUTHERN AVENUE, SUITE 131  
MESA, ARIZONA 85210 (480) 207-2666

SPARROW PARTNERS  
QUEEN CREEK

NWC OF IRONWOOD RD & OCOTILLO RD  
**SITE PLAN**  
QUEEN CREEK, ARIZONA

K:\EAV\Civil\Sparrow - Queen Creek BTR\CADD\SP.dwg, Layout:SP3 Jul 13, 2022 - 11:44am SterlingMargetts  
 THE DESIGNER HAS REVIEWED THIS PLAN AND ASSURES THAT THE INFORMATION IS ACCURATE AND COMPLETE AS SHOWN. THE DESIGNER HAS REVIEWED THIS PLAN AND ASSURES THAT THE INFORMATION IS ACCURATE AND COMPLETE AS SHOWN.  
 NO OTHER WORK HAS BEEN DONE SINCE THE DATE OF THIS PLAN. THE DESIGNER HAS REVIEWED THIS PLAN AND ASSURES THAT THE INFORMATION IS ACCURATE AND COMPLETE AS SHOWN.  
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REV	DESCRIPTION	DATE	BY	APP



### LEGEND

- ● ● ● ADA PATH
- ▨ CONCRETE HARDSCAPE
- ▨ HD ASPHALT
- ▨ HD CONCRETE
- PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - PROPOSED CONCRETE SIDEWALK
- ⑥ PARKING SPACE COUNT
- F FULL ACCESS
- 55' FIRE TURNING RADIUS
- 43.9' TRUCK TURNING RADIUS

#### VICINITY MAP

N.T.S.

#### SITE DATA TABLE

LOCATION:	NWC OF OCOTILLO ROAD AND IRONWOOD ROAD QUEEN CREEK, AZ	
LOT AREA:	10.943 AC NET 476,683 SF NET	
EXISTING ZONING:	C-2/PAD	
PROPOSED ZONING:	MDR/PAD	
PAD DENSITY:	10.05 DU/ACRE	
CURRENT USE:	VACANT	
PROPOSED USE:	MULTI-FAMILY	
NUMBER OF UNITS:	110	
BUILDING DATA:		
BUILDING AREA:	171,074	
BUILDING HEIGHT:	26'-10" MAX	
BUILDING COVERAGE:	36%	
VEHICULAR PARKING:	REQUIRED*	PROVIDED
1 BED (17)	26	
2 BED (60)	120	
3 BED (17)	43	
4 BED (16)	48	
VEHICULAR SPACES	229	270
ADA SPACES	7	7
TOTAL VEHICULAR SPACES	236	277
BIKE SPACES	24	34

MODEL TYPE	UNIT TYPE
A1	1 BEDROOM
A2	2 BEDROOM
B1	2 BEDROOM
B2	2 BEDROOM
C1	3 BEDROOM
C2	4 BEDROOM
D1	3 BEDROOM
D2	4 BEDROOM

	OPEN SPACE	
	REQUIRED	PROVIDED
PASSIVE + ACTIVE	20%/95,337 SF	22%/103,975 SF
ACTIVE	30%/28,601 SF	40%/39,309 SF
PRIVATE		14,789 SF
TOTAL		118,764 SF

**OWNER**  
 IRONWOOD COMMERCIAL LLC  
 20701 N SCOTTSDALE ROAD APT 443,  
 SCOTTSDALE, AZ 85255

**CIVIL ENGINEER**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 1001 W SOUTHERN AVE. SUITE 131  
 MESA, ARIZONA 85210  
 TEL: (480) 207-2666  
 FAX: (602) 944-7423  
 CONTACT: STERLING MARGETTS, PE

**DEVELOPER**  
 SPARROW PARTNERS  
 2500 BEE CAVE RD., BLDG. 1, SUITE 380  
 AUSTIN, TX 78746  
 TEL. NO. (512) 982-6927  
 CONTACT: CLINT KNOX  
 EMAIL: CLINT.KNOX@SPARROW-PARTNERS.COM

**GRAPHIC SCALE IN FEET**  
 0 10 20 40

**NORTH**

**602-263-1100**  
**1-800-STAKE-IT**  
 (OUTSIDE MARICOPA COUNTY)

**PROJECT No.**  
291320006

**SCALE (H):** 1" = 20'

**SCALE (V):** --

**DRAWN BY:** CEP  
**DESIGN BY:** AMF  
**CHECK BY:** STM  
**DATE:** 07/13/2022

**REGISTERED PROFESSIONAL ENGINEER**  
 47183  
 STERLING MARGETTS  
 Date Signed 07/13/22  
 ARIZONA, U.S.A.  
 Expires 12/31/25

**SP3**  
7 OF 40 SHEETS

**Kimley-Horn**  
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 1001 WEST SOUTHERN AVENUE, SUITE 131  
 MESA, ARIZONA 85210 (480) 207-2666

**SPARROW PARTNERS**  
 QUEEN CREEK

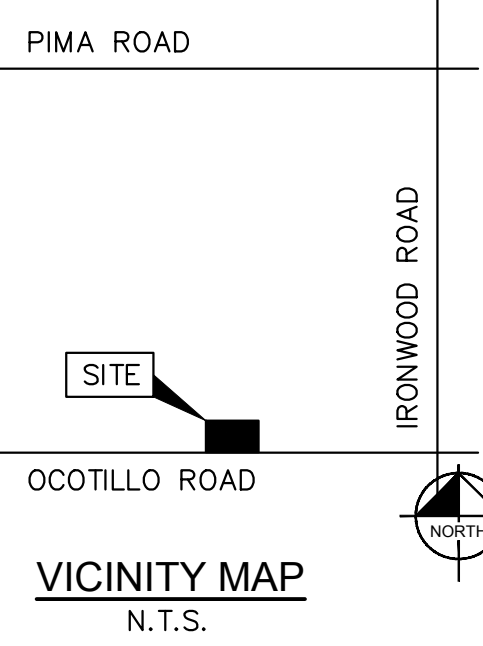
**NWC OF IRONWOOD RD & OCOTILLO RD**  
**SITE PLAN**  
 QUEEN CREEK, ARIZONA



MATCHLINE: SEE SHEET 6

LEGEND

- ADA PATH
- CONCRETE HARDSCAPE
- HD ASPHALT
- HD CONCRETE
- - - PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - PROPOSED CONCRETE SIDEWALK
- (6) PARKING SPACE COUNT
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PROPOSED ZONING:	MDR/PAD
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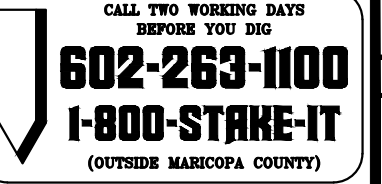
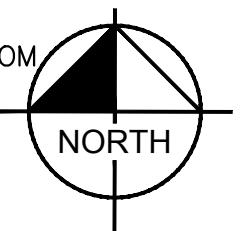
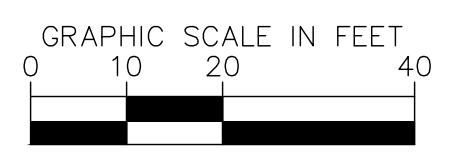
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 SCOTTSDALE, AZ 85255

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 1001 W SOUTHERN AVE. SUITE 131  
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**DEVELOPER**  
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 AUSTIN, TX 78746  
 TEL. NO. (512) 982-6927  
 CONTACT: CLINT KNOX  
 EMAIL: CLINT.KNOX@SPARROW-PARTNERS.COM



SPARROW PARTNERS  
 QUEEN CREEK

NWC OF IRONWOOD RD & OCOTILLO RD  
 SITE PLAN  
 QUEEN CREEK, ARIZONA

PROJECT No.  
291320006  
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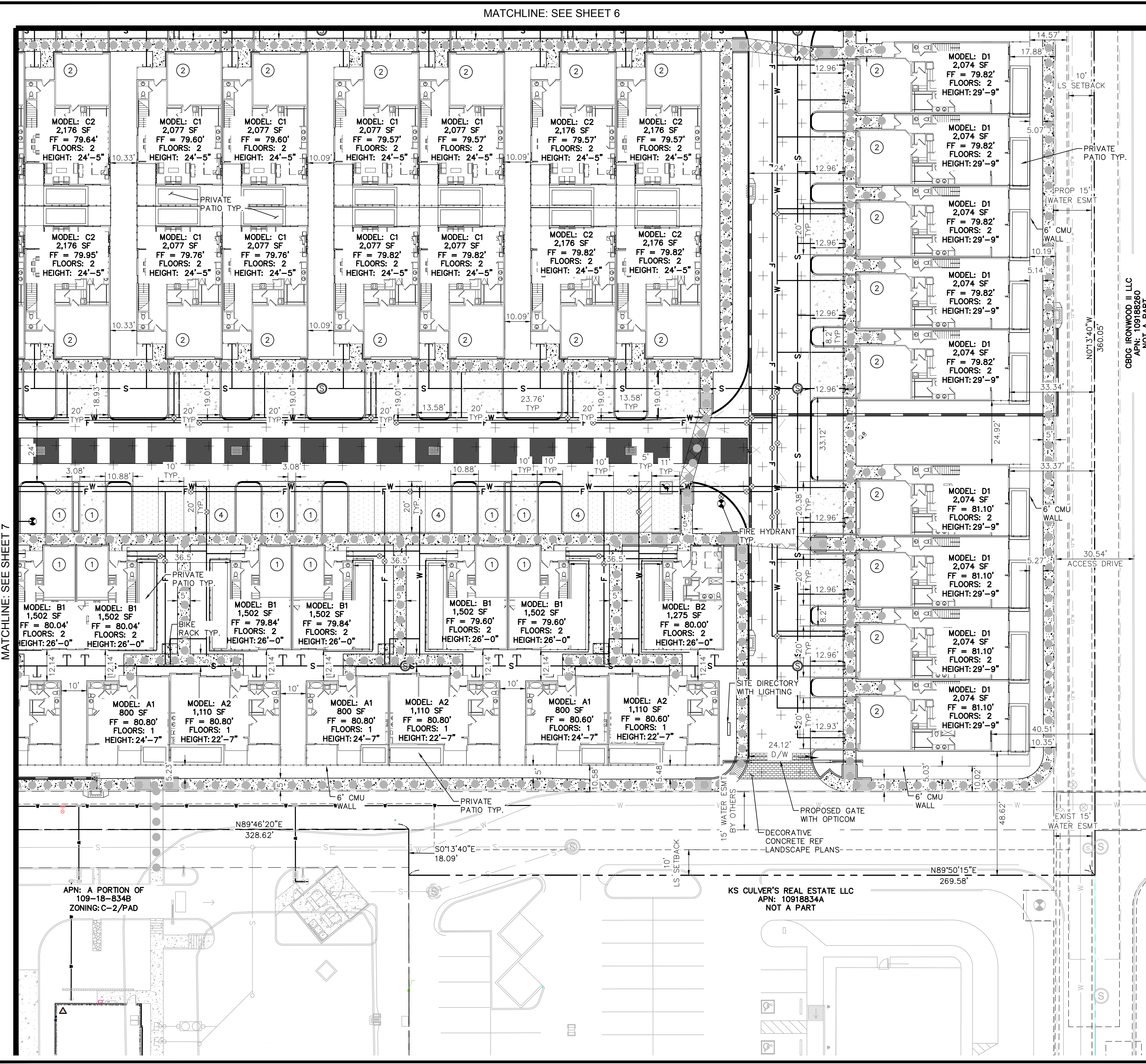
SP4  
 8 OF 40 SHEETS

K:\EAV\Civil\Sparrow-Queen Creek BTR\CADD\SP.dwg, Layout:SP4 Jul 13, 2022 - 11:44am SterlingMargetts  
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REV	DESCRIPTION	DATE	BY	APPR

MATCHLINE: SEE SHEET 7

MATCHLINE: SEE SHEET 6



KS CULVER'S REAL ESTATE LLC  
 APN: 10918834A  
 NOT A PART

APN: A PORTION OF  
 109-18-834B  
 ZONING: C-2/PAD

LANDSCAPE AND HARDSCAPE CONSTRUCTION DOCUMENTATION FOR

# COMMUNITY AT IRONWOOD CROSSING

## SITE PLAN SUBMITTAL

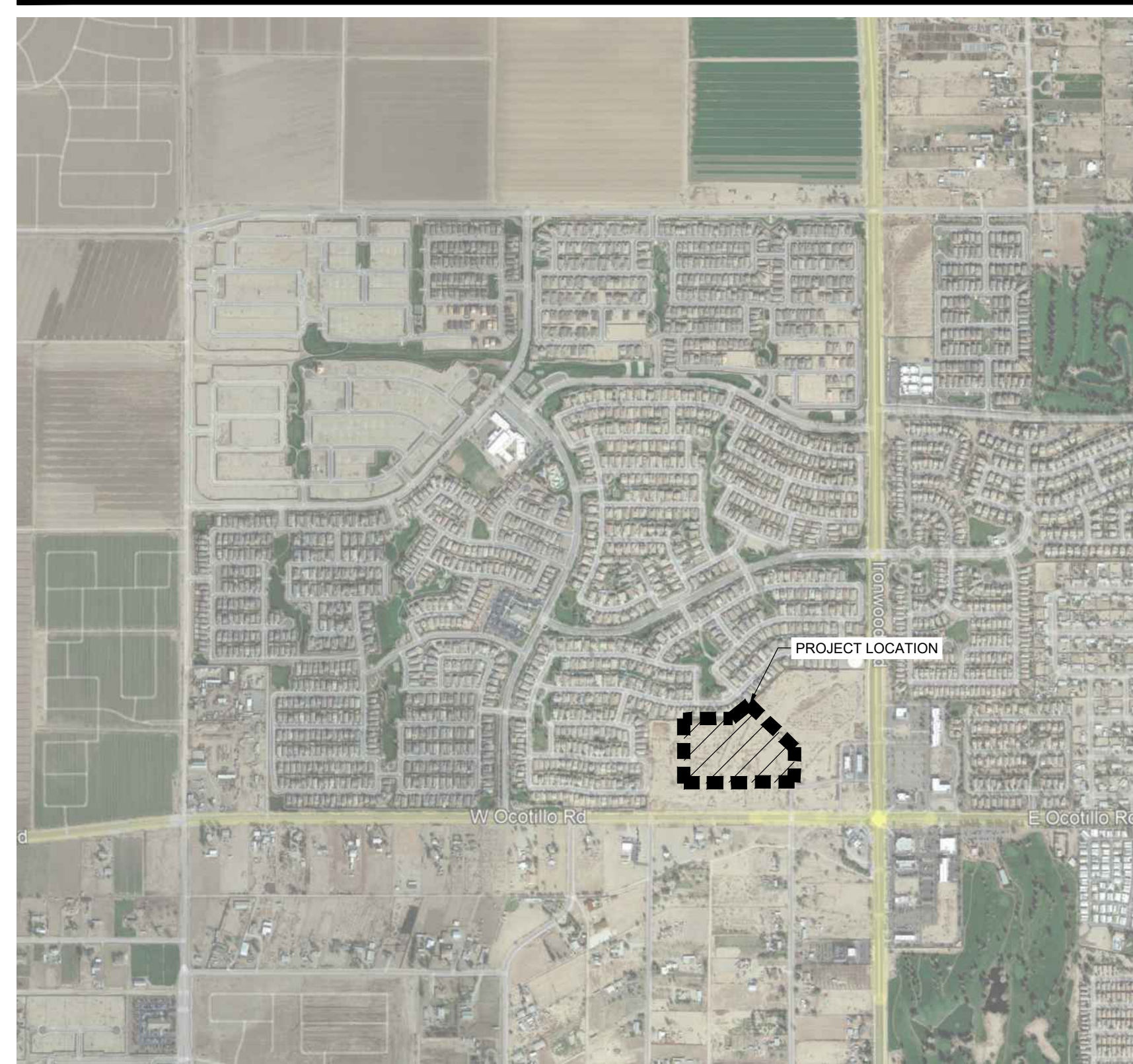
QUEEN CREEK, AZ

DATE: 08.08.2022

### SHEET INDEX

LANDSCAPE INDEX	
SHEET #	SHEET TITLE
L0-00	COVER
L0-01	NOTES
L0-02	LEGEND
L0-03	OVERALL SITE PLAN (NOT INCLUDED)
L1-01 - L1-03	LAYOUT PLAN
L1-04	LAYOUT PLAN - POOL
L2-01 - L2-03	MATERIALS PLAN
L3-01 -	PAVING PLAN (NOT INCLUDED)
L4-01 - L4-03	SITE DETAILS
L5-01	GRADING PLAN (NOT INCLUDED)
L6-00.a	OPEN SPACE PLAN
L6-01 -L6-03	LANDSCAPE PLAN
L6-04	LANDSCAPE SCHEDULE & CALCULATIONS
L6-05 - L6-06	LANDSCAPE DETAILS
L7-01 -	LIGHTING PLAN (NOT INCLUDED)

### VICINITY MAP



SCALE: NTS  
(NOT TO SCALE)

### PROJECT TEAM

**OWNER**  
IRONWOOD COMMERCIAL, LLC  
20701 N SCOTTSDALE ROAD APR  
443  
SCOTTSDALE, AZ 85255

**DEVELOPER**  
SPARROW PARTNERS  
2500 BEE CAVE RD., BLDG.1, SUITE  
380  
AUSTIN, TX 78746  
512.982.6927

**LANDSCAPE ARCHITECT**  
LANDDESIGN  
5301 ALPHA ROAD, SUITE 24  
DALLAS, TX 75240  
214.785.6009

**CIVIL ENGINEER**  
KIMLEY HORN  
801 CHERRY STREET, UNIT 11,  
SUITE 1300  
FORT WORTH, TX, 76102  
817.335.6511

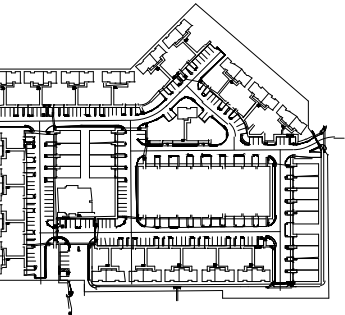
**ARCHITECT**  
DESIGN BALANCE, INC.  
2231 RIDGE ROAD SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306



CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

KEY MAP



SEAL

08.08.2022



PROJECT

**COMMUNITY AT  
IRONWOOD  
CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ.# 8521195  
8521195

**REVISION / ISSUANCE**

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE

VERT: N/A  
HORZ: NTS



(NOT TO SCALE)

SHEET TITLE

**LEGENDS**

SHEET NUMBER

**L0-02**

**ABBREVIATIONS**

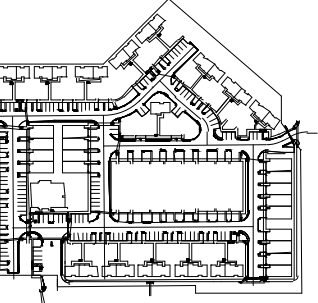
<p><b>A</b> AD AREA DRAIN ADJ ADJACENT AFG ABOVE FINISHED GRADE ALT ALTERNATE ALUM ALUMINUM APPROX APPROXIMATE ARCH ARCHITECT(URAL)</p>	<p><b>B</b> BC BOTTOM OF CURB BLDG BUILDING BLKS BLOCKING BOC BACK OF CURB BOT BOTTOM BR BOTTOM OF RAMP BS BOTTOM OF STAIR BW BOTTOM OF WALL</p>	<p><b>C</b> CEM CEMENT CIP CAST IN PLACE CJ CONTROL JOINT CMU CONCRETE MASONRY UNIT CO CLEANOUT COL COLUMN CONT CONTINUOUS CONC CONCRETE CU FT CUBIC FEET</p>	<p><b>L</b> L LENGTH LT LIGHT LP LOW POINT</p>	<p><b>M</b> MAS MASONRY MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MED MEDIUM MFR MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MTL METAL</p>	<p><b>N</b> N NORTH NIC NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE</p>	<p><b>O</b> OC ON CENTER OD OUTSIDE DIAMETER OPNG OPENING OPP OPPOSITE</p>	<p><b>P</b> PA PLANTING AREA PB PLANT BED PERF PERFORATED PNL PANEL PNT PAINT(ED) PSI POUNDS/SQUARE INCH PT PRESSURE TREATED POB POINT OF BEGINNING POC POINT OF CURVATURE PROP PROPOSED</p>	<p><b>Q</b> QTY QUANTITY</p>	<p><b>R</b> RAD RADIUS REINF REINFORC(E), (ING) REQD REQUIRED REV REVISION R.O.W RIGHT OF WAY</p>	<p><b>S</b> S SOUTH SB SETBACK SCHED SCHEDULE, (ED) SD STORM DRAIN SF SQUARE FOOT, FEET SIM SIMILAR SQ SQUARE SSMH SANITARY SEWER MANHOLE STL STEEL SSTL STAINLESS STEEL STD STANDARD SUSP SUSPENDED SW SIDEWALK SYM SYMBOL</p>	<p><b>T</b> TBD TO BE DETERMINED TC TOP OF CURB THK THICK(NESS) TR TOP OF RAMP TS TOP OF STAIR TW TOP OF WALL TYP TYPICAL</p>	<p><b>U</b> UE UTILITY EASEMENT U.N.O UNLESS NOTED OTHERWISE</p>	<p><b>V</b> VERT VERTICAL VIF VERIFY IN FIELD</p>	<p><b>W</b> W WEST, WIDE, WIDTH WITH WITH W/O WITHOUT WD WOOD WL WATER LINE WM WATER METER WT WEIGHT WWM WELDED WIRE MESH</p>
<p><b>D</b> DD DECK DRAIN DE DRAINAGE EASEMENT DI DRAIN INLET DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DN DOWN DS DOWN SPOUT DWG(S) DRAWING(S)</p>	<p><b>E</b> E EAST EA EACH EJ EXPANSION JOINT EL ELEVATION ELEC ELECTRIC(AL) EOP EDGE OF PAVEMENT EQ EQUAL EQUIP EQUIPMENT ESMT EASEMENT EW EACH WAY EXP EXPANSION EXIST EXISTING EXT EXTERIOR</p>	<p><b>F</b> FAB FABRIC FDC FIRE DEPT. CONNECTION FH FIRE HYDRANT FIN FINISH FOC FACE OF CURB FT FOOT, FEET FTG FOOTING</p>	<p><b>G</b> GA GAUGE GAL GALLON GALV GALVANIZED GC GENERAL CONTRACTOR GV GATE VALVE</p>	<p><b>H</b> HDW HARDWARE HDWD HARDWOOD HORZ HORIZONTAL HP HIGH POINT HT HEIGHT</p>	<p><b>I</b> ID INSIDE DIAMETER INCL INCLUDE INSUL INSULATION INT INTERIOR INV INVERT</p>	<p><b>J</b> JB JUNCTION BOX JT JOINT</p>	<p><b>K</b> KO KNOCK OUT</p>	<p><b>L</b> L LENGTH LT LIGHT LP LOW POINT</p>						

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

KEY MAP



SEAL

08.08.2022



PROJECT

**COMMUNITY AT  
IRONWOOD  
CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDESIGN PROJ # 8521195  
8521195

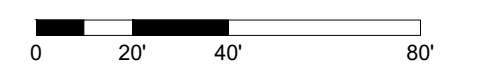
**REVISION / ISSUANCE**

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE

VERT: N/A  
HORZ: 1"=40'

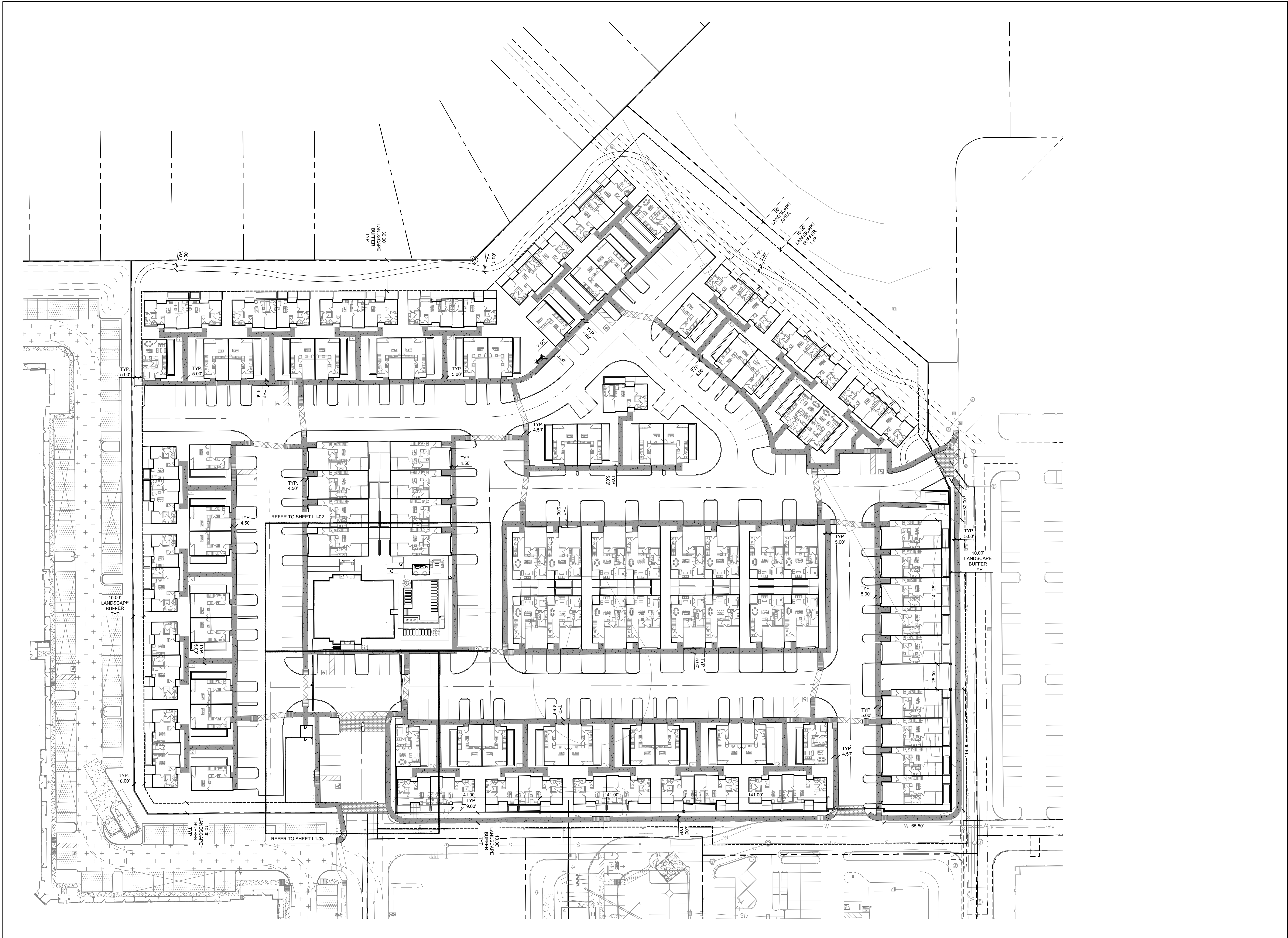


SHEET TITLE

LAYOUT PLAN

SHEET NUMBER

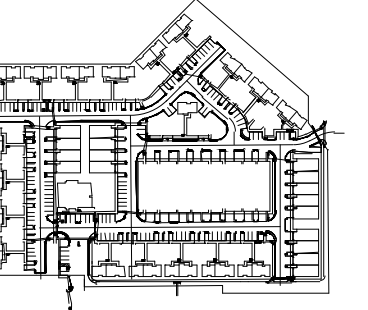
L1-01



CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

KEY MAP



SEAL

08.08.2022



PROJECT

**COMMUNITY AT  
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QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
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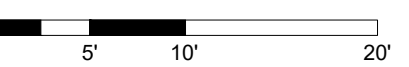
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DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE

VERT: N/A  
HORZ: 1"=10'

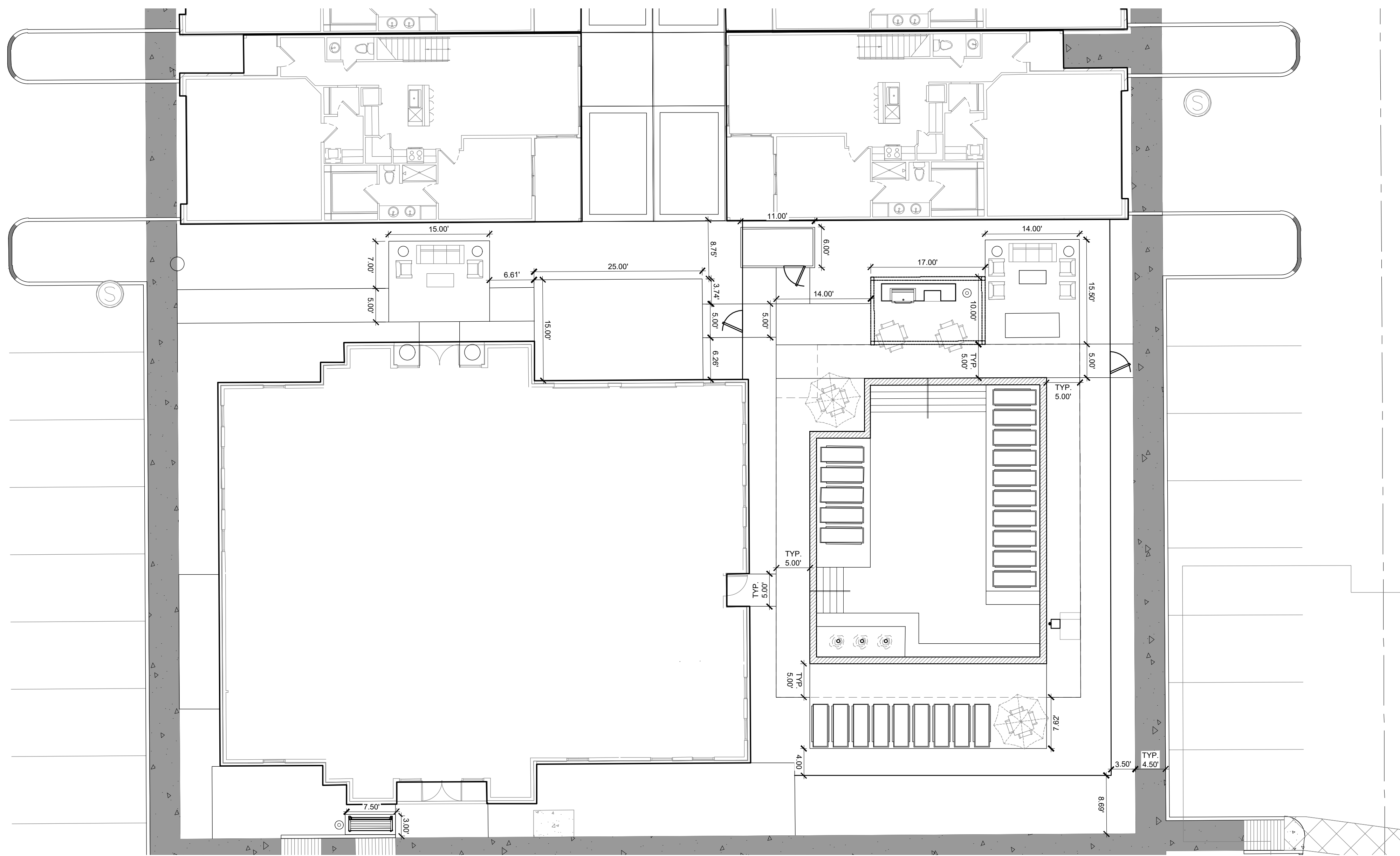


SHEET TITLE

LAYOUT PLAN - POOL  
COURTYARD

SHEET NUMBER

L1-02



POOL COURTYARD

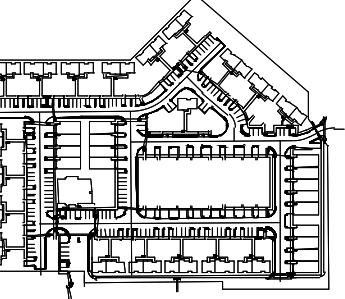
CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1, SUITE 380  
AUSTIN, TEXAS 78746

**POOL NOTES:**

- POOL SHALL COMPLY WITH ALL CURRENT ARIZONA DEPARTMENT OF HEALTH STANDARDS FOR SWIMMING POOLS STANDARDS AND REGULATIONS.
- CONTRACTOR TO SUBMIT ALL NECESSARY TECHNICAL CALCULATIONS, PLANS, DETAILS, AND SPECIFICATIONS TO LOCAL AND STATE JURISDICTIONAL AGENCIES FOR POOL PERMITTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND FEES.
- CONTRACTOR SHALL SUBMIT A FULL SET OF SHOP DRAWINGS TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO SUBMITTING APPLICATION TO LOCAL AND STATE AGENCIES. DRAWINGS SHALL INCLUDE BUT NOT LIMITED TO REGULATORY COMPLIANCE TABLES, TECHNICAL INFORMATION, SUPPLIER SCHEDULE AND DETAILS, STRUCTURAL PLANS, ELECTRICAL PLANS, PLUMBING PLANS, MECHANICAL PLANS, POOL DETAILS, ETC.
- CONTRACTOR SHALL SUBMIT SAMPLES FOR APPROVAL TO OWNER/LANDSCAPE ARCHITECT FOR COPING, WATERLINE TILE, TOE TILE, POOL FINISH, ETC PRIOR TO APPLICATION SUBMITTAL, ORDERING OF MATERIAL AND BEGINNING OF CONSTRUCTION.
- POOL TILE AND FINISH COLOR TO BE DETERMINED BY LANDSCAPE ARCHITECT.
- A MINIMUM 5-FOOT BARRIER FENCE AND/OR WALL HAVE BEEN INCLUDED AROUND THE PERIMETER OF THE SWIMMING POOL THAT COMPLIES WITH LOCAL POOL CODE. NO FOOTHOLDS OR HANDHOLDS HAVE BEEN INCLUDED WITHIN THIS FENCE AND/OR WALL. REFER TO POOL SAFETY AND SIGNAGE PLAN ABOVE.
- SELF CLOSING/LATCHING GATES SHALL BE PROVIDED PER CURRENT ARIZONA DEPARTMENT OF HEALTH STANDARDS FOR SWIMMING POOLS AND SPAS.
- 4 INCH MAXIMUM CLEARANCE BETWEEN ALL FENCE AND BUILDING/COLUMN CONNECTION POINTS.
- FENCE AND/OR WALLS TO COMPLETELY ENCLOSE POOL AREA.
- REFER TO PLANS BY POOL CONTRACTOR FOR POOL, POOL DECK, ELECTRICAL, PLUMBING DESIGN AND DETAILS.
- POOL NOTIFICATION SIGNAGE SHALL BE LOCATED AT ALL ENTRANCE POINTS LEADING INTO THE POOL/AMENITY AREA. SIGNAGE SHALL INDICATE NO GLASS IS TO BE ALLOWED WITHIN THE POOL AREA.
- POOL OPERATION HOURS SIGNAGE SHALL BE INDICATED ON POOL NOTIFICATION SIGNAGE. SIGNAGE SHALL BE LOCATED IN A WELL LIT LOCATION.
- POOL DECK DEPTH MARKING AND NO DIVING SYMBOLS TO BE SANDBLASTED AND PAINTED ONTO COPING.
- POOL SAFETY EQUIPMENT AND EMERGENCY PHONE TO BE LOCATED IN AN ACCESSIBLE LOCATION AND MOUNTED WITHIN MAXIMUM 48" AFF.
- INFORMATION RELATED TO THE POOL PERMIT PACKAGE SHALL BE SUBMITTED AT A LATER DATE.

KEY MAP



SCALE



PROJECT

**COMMUNITY AT IRONWOOD CROSSING**

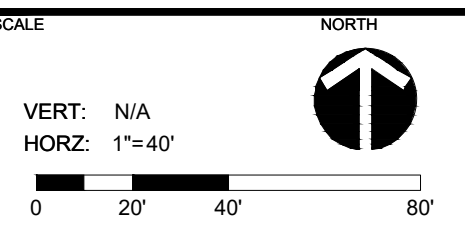
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QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

**REVISION / ISSUANCE**

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DRAWN BY:  
CHECKED BY:

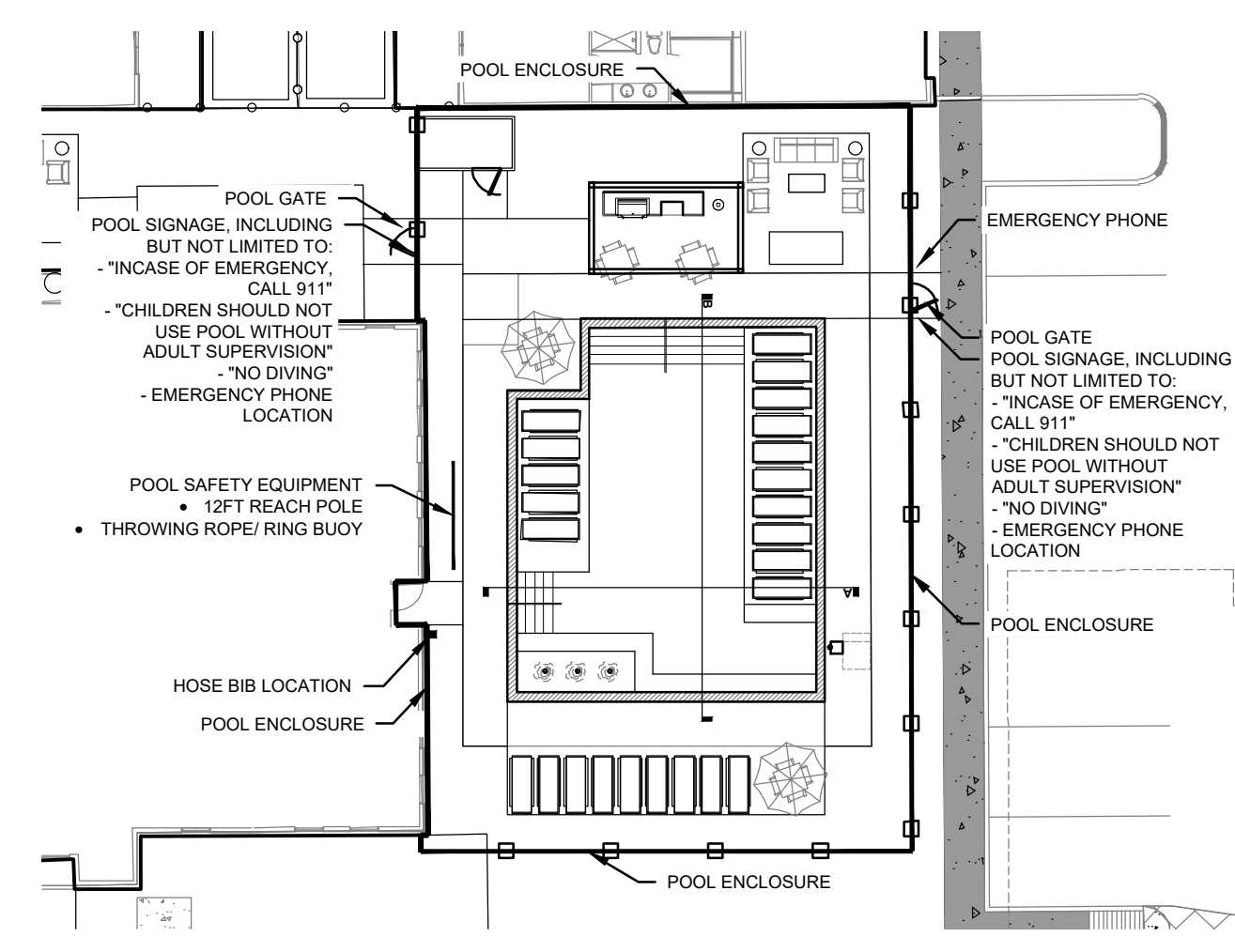


SHEET TITLE

LAYOUT PLAN - POOL

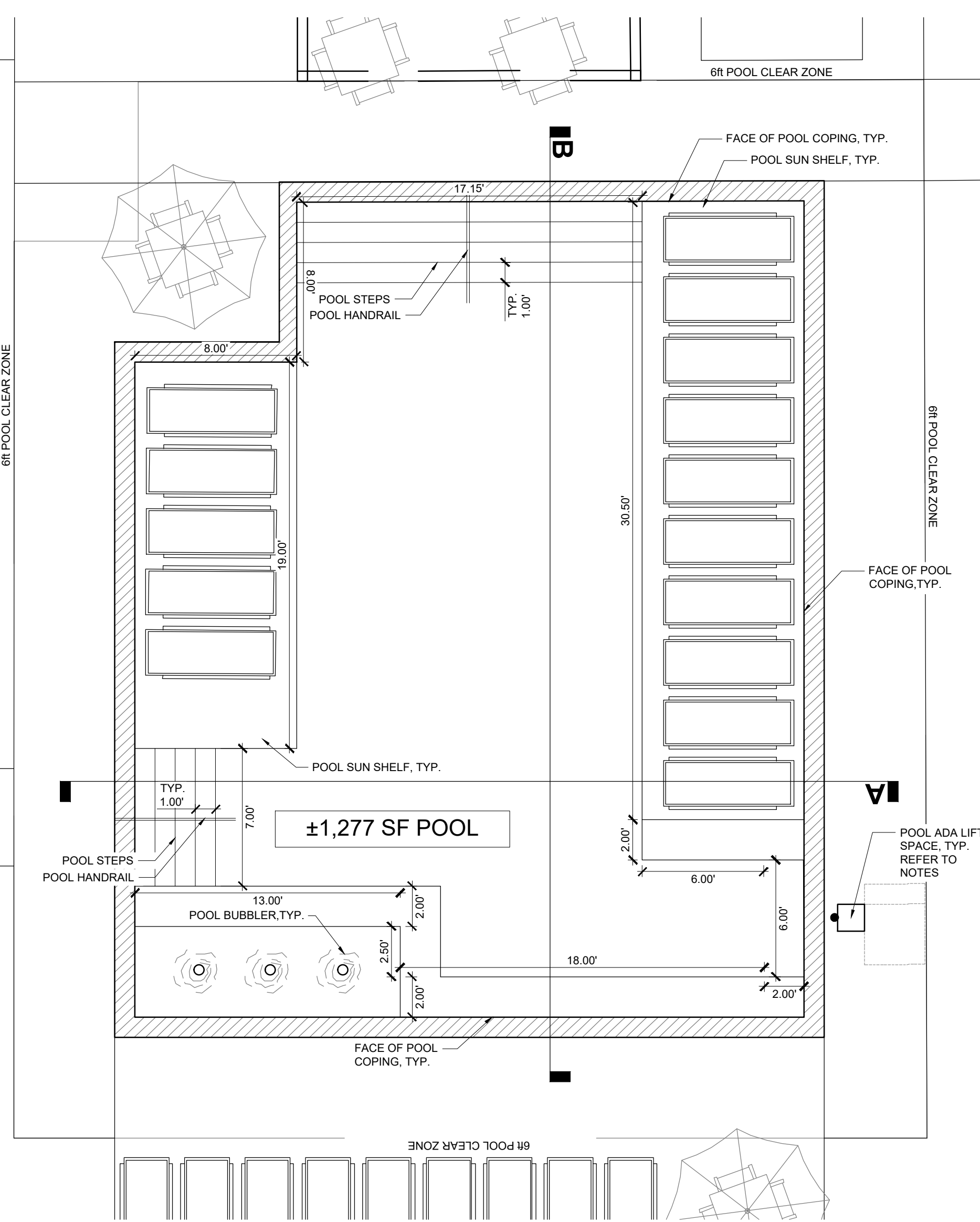
SHEET NUMBER

L1-03

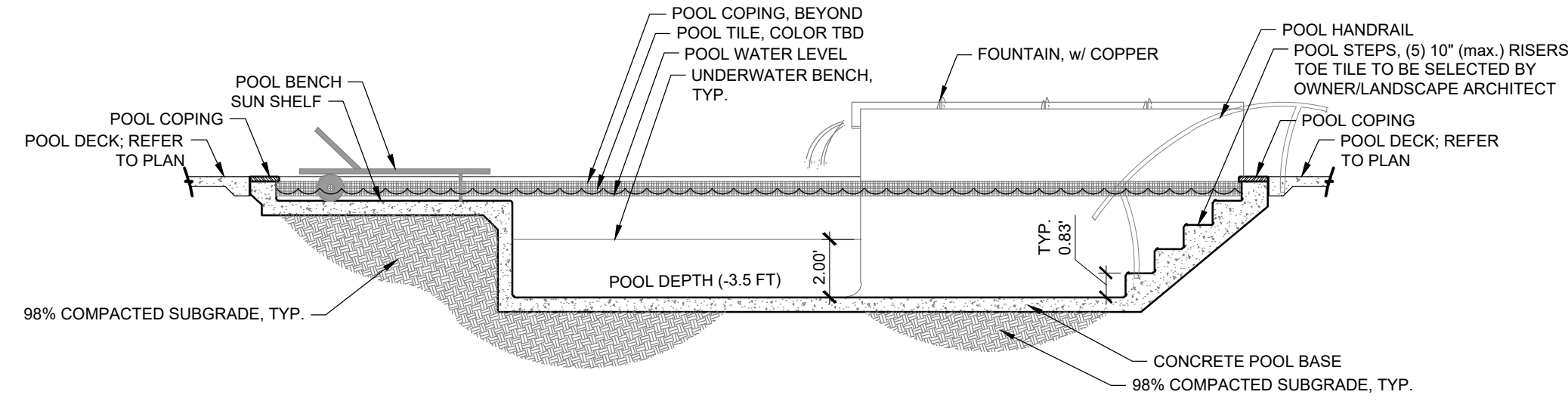


**2 POOL SAFETY AND SIGNAGE** SCALE: NTS

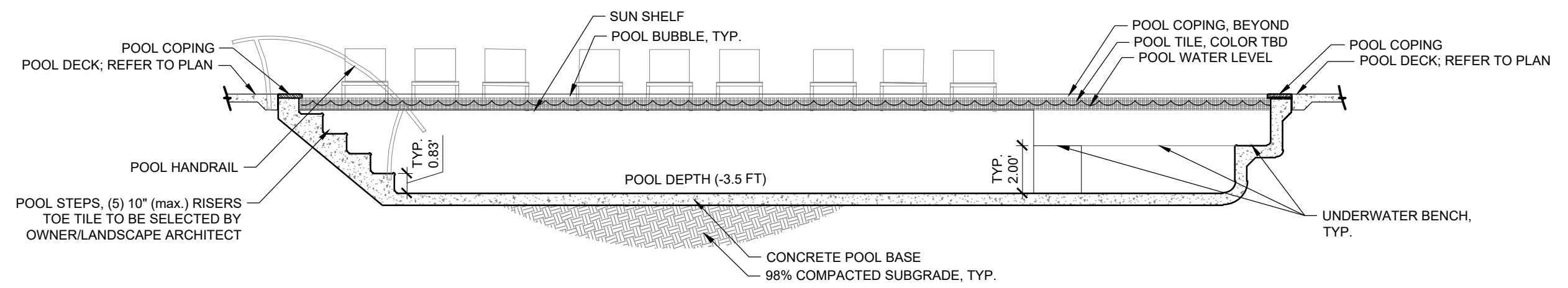
- POOL FINISHES/MATERIALS:**
- POOL COPING**  
TBD: PRECAST CONCRETE  
SIZE: 24"x12"x2"  
GROUT: TO MATCH COPING  
COLOR: WHITE  
FINISH: TBD  
APPROVAL: SAMPLE  
\*DEPTH MARKERS AND NO DIVING TO BE ETCHED INTO COPING AND PAINTED
- POOL TILE (WATERLINE)**  
VENDOR: TBD  
SERIES: TBD  
COLOR: TBD  
SIZE: TBD  
MATERIAL: TBD  
DIMENSION: 6" BANDING  
SUPPLIER: TBD  
APPROVAL: SAMPLE
- POOL TILE (DELINEATION - STEP / SUN SHELF)**  
VENDOR: TBD  
SERIES: TBD  
COLOR: TBD  
SIZE: TBD  
MATERIAL: TBD  
DIMENSION: 2" BANDING  
SUPPLIER: TBD  
CONTACT: TBD  
APPROVAL: SAMPLE
- POOL PLASTER**  
COLOR: TBD
- SUPPLIER:** QUARTZSCAPE  
**APPROVAL:** CUT SHEET, SAMPLE
- POOL ADA LIFT**  
VENDOR: TBD  
MODEL: TBD  
APPROVAL: CUT SHEET
- POOL STAIR HANDRAILS**  
VENDOR: TBD  
MODEL: TBD  
APPROVAL: CUT SHEET



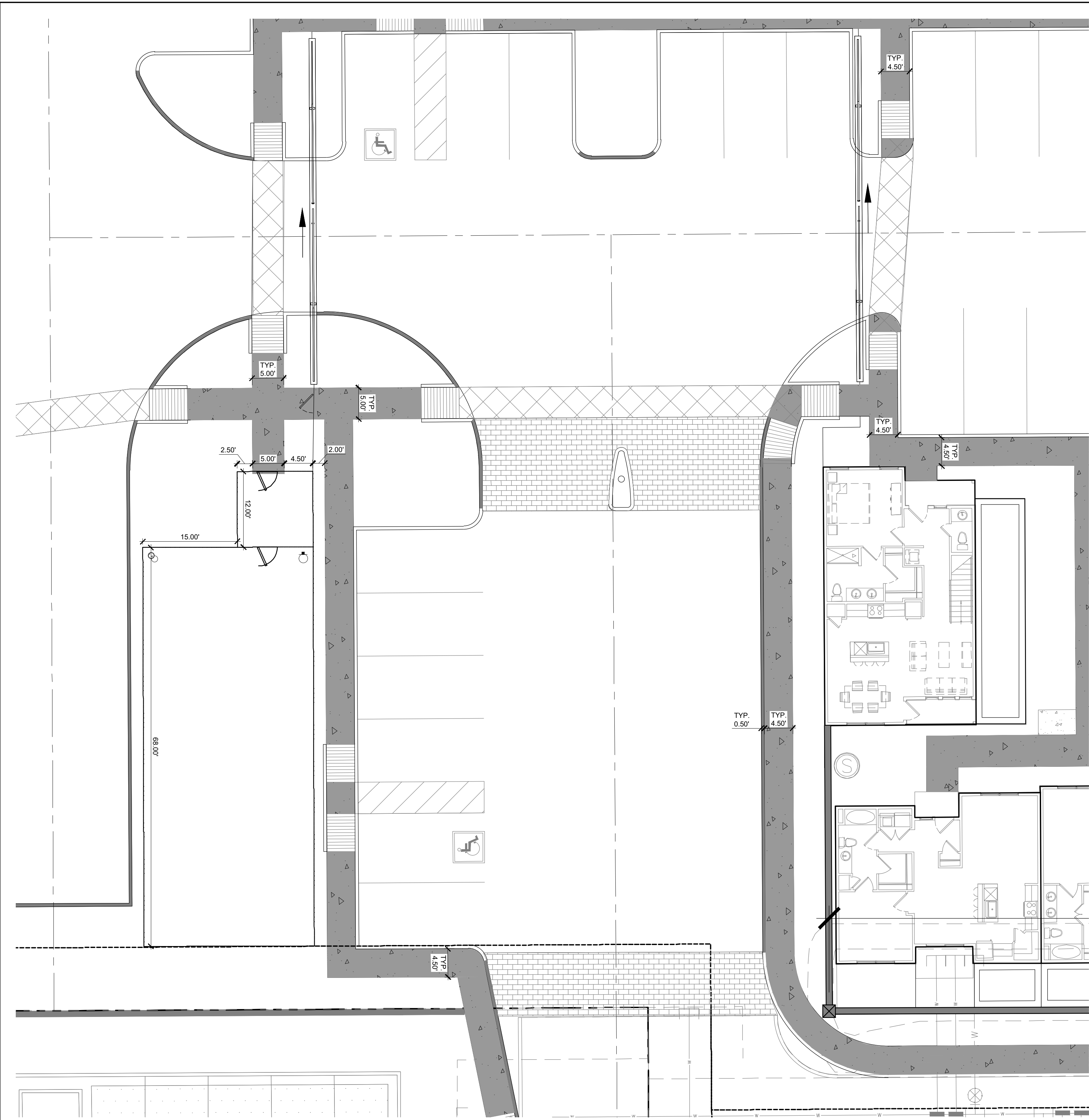
**1 THE POOL** SCALE: NTS



**3 POOL SECTION - A** SCALE: 1"=5'-0"



**4 POOL SECTION - B** SCALE: 1"=5'-0"

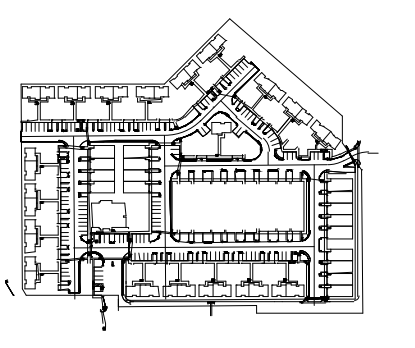


ENTRANCE AND DOG PARK

CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

KEY MAP



SEAL

08.08.2022



PROJECT

**COMMUNITY AT  
IRONWOOD  
CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

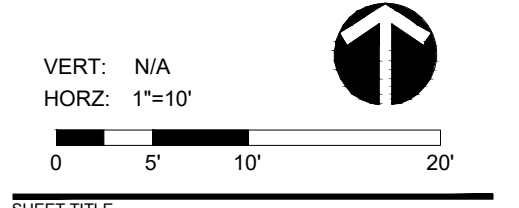
LANDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE



SHEET TITLE

LAYOUT PLAN - DOG PARK

SHEET NUMBER

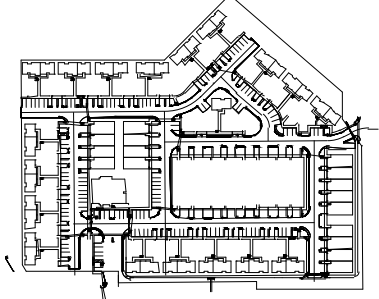
**L1-04**



REFERENCE NOTES SCHEDULE

SYMBOL	SITE FURNISHINGS DESCRIPTION	DETAIL
(F-01)	GRILL AREA	
(F-02)	BENCH	
(F-03)	TRASH RECEPTACLE	
(F-04)	WATER FEATURE	
(F-07)	PET WASTE STATION	
(F-08)	PLANTER	
(F-09)	BIKE RACK	
GENERAL IMPROVEMENTS DESCRIPTION		
(G-01)	SHADE STRUCTURE - POOL	
MISCELLANEOUS DESCRIPTION		
(M-101)	MAILBOX	
PAVING AND CURB DESCRIPTION		
(P-01)	CONCRETE PAVING - STANDARD GRAY: HEAVY BROOM FINISH	
(P-02)	DECORATIVE CONCRETE	
(P-03)	DECOMPOSED GRANITE	
(P-04)	SMALL GRAVEL STONE	
(P-05)	LARGE GRAVEL STONE	
(P-07)	CONCRETE PAVER - VEHICULAR	
(P-08)	SYNTHETIC TURF	
(P-13)	CONCRETE PAVING - STANDARD GRAY: ROCK SALT FINISH	
RAILING AND FENCE DESCRIPTION		
(R-01)	POOL FENCE	
(R-02)	POOL GATE	
(R-03)	DOG FENCE	
(R-04)	DOG GATE	
(R-05)	4" VINYL FENCE	
(R-07)	6" VINYL FENCE	
(R-08)	6" PERIMETER FENCE	
(R-10)	6" PERIMETER GATE	
(R-14)	POOL EQUIPMENT FENCE & GATE	
WALLS AND STAIRS DESCRIPTION		
(W-06)	6" DOOLEY WALL	
(W-07)	6" DOOLEY WALL COLUMN	

KEY MAP



SCALE

08.08.2022



PROJECT

**COMMUNITY AT IRONWOOD CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

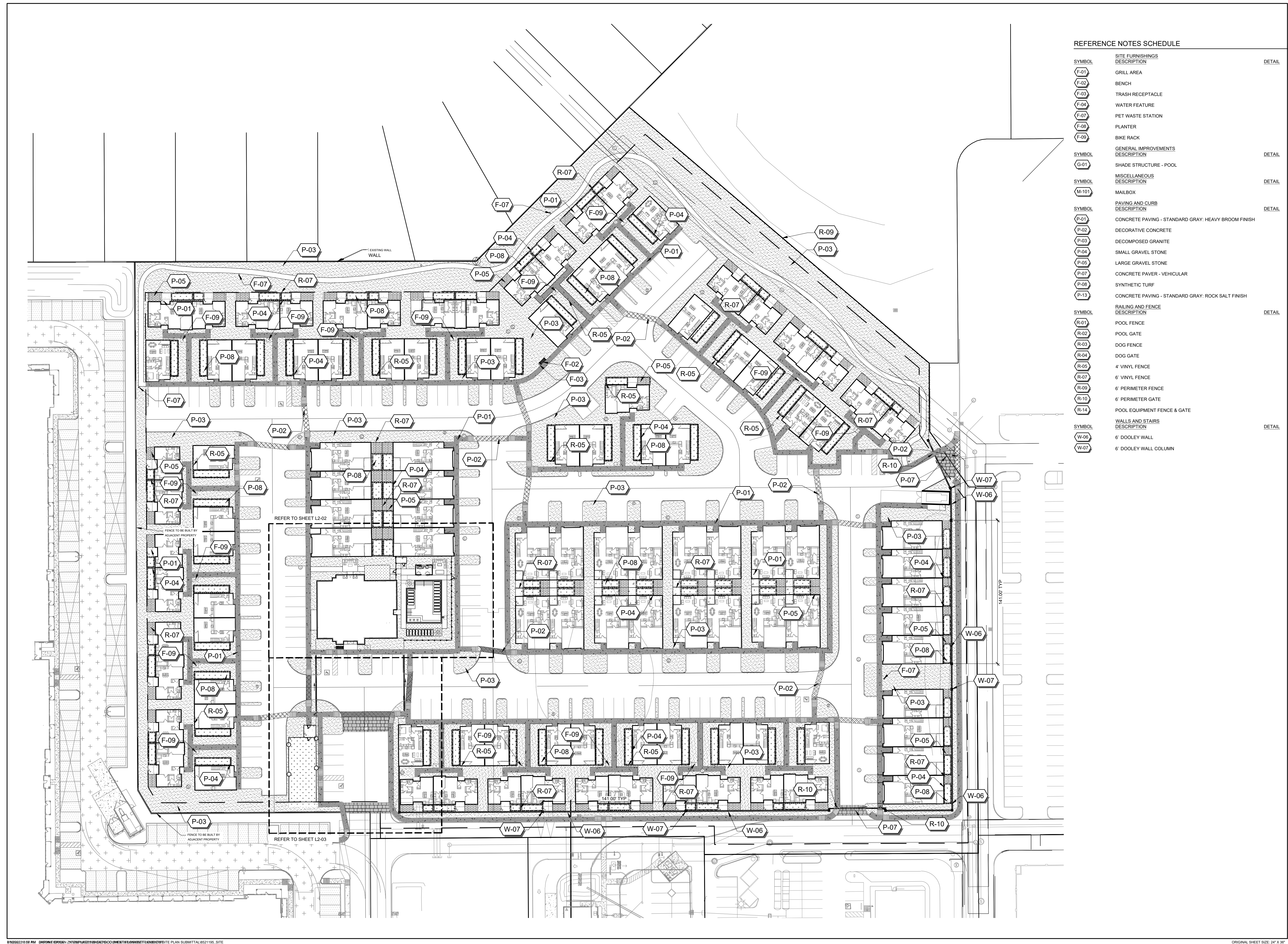
NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE NORTH  
VERT: N/A  
HORZ: 1"=40'  
0 20 40 80'

MATERIAL PLAN

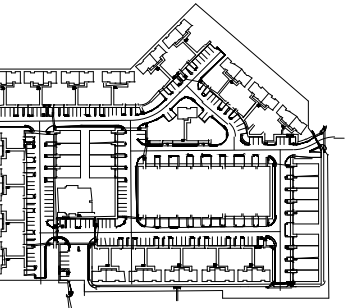
SHEET NUMBER  
**L2-01**



REFERENCE NOTES SCHEDULE

SYMBOL	SITE FURNISHINGS DESCRIPTION	DETAIL
(F-01)	GRILL AREA	
(F-02)	BENCH	
(F-03)	TRASH RECEPTACLE	
(F-04)	WATER FEATURE	
(F-07)	PET WASTE STATION	
(F-08)	PLANTER	
(F-09)	BIKE RACK	
SYMBOL	GENERAL IMPROVEMENTS DESCRIPTION	DETAIL
(G-01)	SHADE STRUCTURE - POOL	
SYMBOL	MISCELLANEOUS DESCRIPTION	DETAIL
(M-101)	MAILBOX	
SYMBOL	PAVING AND CURB DESCRIPTION	DETAIL
(P-01)	CONCRETE PAVING - STANDARD GRAY: HEAVY BROOM FINISH	
(P-02)	DECORATIVE CONCRETE	
(P-03)	DECOMPOSED GRANITE	
(P-04)	SMALL GRAVEL STONE	
(P-05)	LARGE GRAVEL STONE	
(P-07)	CONCRETE PAVER - VEHICULAR	
(P-08)	SYNTHETIC TURF	
(P-13)	CONCRETE PAVING - STANDARD GRAY: ROCK SALT FINISH	
SYMBOL	RAILING AND FENCE DESCRIPTION	DETAIL
(R-01)	POOL FENCE	
(R-02)	POOL GATE	
(R-03)	DOG FENCE	
(R-04)	DOG GATE	
(R-05)	4' VINYL FENCE	
(R-07)	6' VINYL FENCE	
(R-08)	6' PERIMETER FENCE	
(R-10)	6' PERIMETER GATE	
(R-14)	POOL EQUIPMENT FENCE & GATE	
SYMBOL	WALLS AND STAIRS DESCRIPTION	DETAIL
(W-06)	6' DOOLEY WALL	
(W-07)	6' DOOLEY WALL COLUMN	

KEY MAP



SEAL

08.08.2022



PROJECT

**COMMUNITY AT IRONWOOD CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

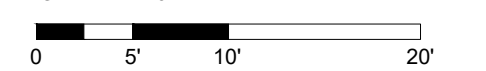
REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE

VERT: N/A  
HORZ: 1"=10'

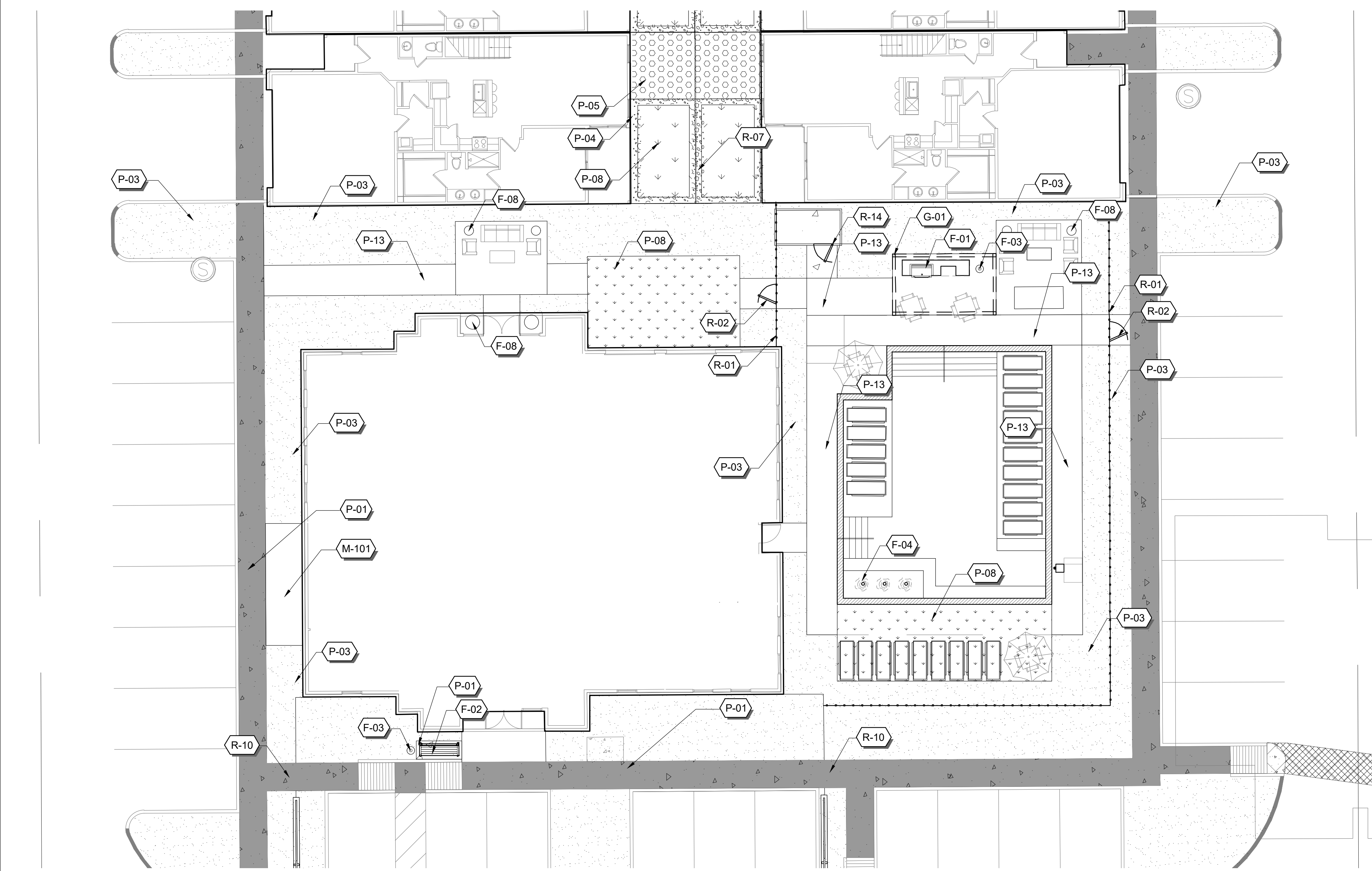


SHEET TITLE

MATERIAL PLAN - POOL COURTYARD

SHEET NUMBER

L2-02

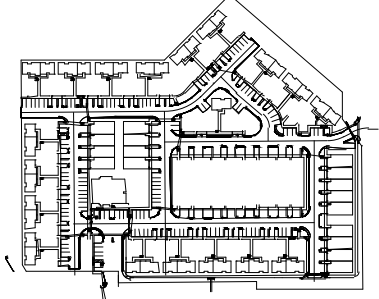


POOL COURTYARD

REFERENCE NOTES SCHEDULE

SYMBOL	SITE FURNISHINGS DESCRIPTION	DETAIL
(F-01)	GRILL AREA	
(F-02)	BENCH	
(F-03)	TRASH RECEPTACLE	
(F-04)	WATER FEATURE	
(F-07)	PET WASTE STATION	
(F-08)	PLANTER	
(F-09)	BIKE RACK	
GENERAL IMPROVEMENTS DESCRIPTION		
(G-01)	SHADE STRUCTURE - POOL	DETAIL
MISCELLANEOUS DESCRIPTION		
(M-101)	MAILBOX	DETAIL
PAVING AND CURB DESCRIPTION		
(P-01)	CONCRETE PAVING - STANDARD GRAY: HEAVY BROOM FINISH	
(P-02)	DECORATIVE CONCRETE	
(P-03)	DECOMPOSED GRANITE	
(P-04)	SMALL GRAVEL STONE	
(P-05)	LARGE GRAVEL STONE	
(P-07)	CONCRETE PAVER - VEHICULAR	
(P-08)	SYNTHETIC TURF	
(P-13)	CONCRETE PAVING - STANDARD GRAY: ROCK SALT FINISH	
RAILING AND FENCE DESCRIPTION		
(R-01)	POOL FENCE	DETAIL
(R-02)	POOL GATE	
(R-03)	DOG FENCE	
(R-04)	DOG GATE	
(R-05)	4' VINYL FENCE	
(R-07)	6' VINYL FENCE	
(R-08)	6' PERIMETER FENCE	
(R-10)	6' PERIMETER GATE	
(R-14)	POOL EQUIPMENT FENCE & GATE	
WALLS AND STAIRS DESCRIPTION		
(W-06)	6' DOOLEY WALL	
(W-07)	6' DOOLEY WALL COLUMN	

KEY MAP



SEAL



08.08.2022

PROJECT

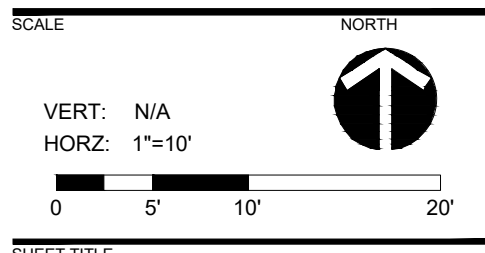
**COMMUNITY AT IRONWOOD CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

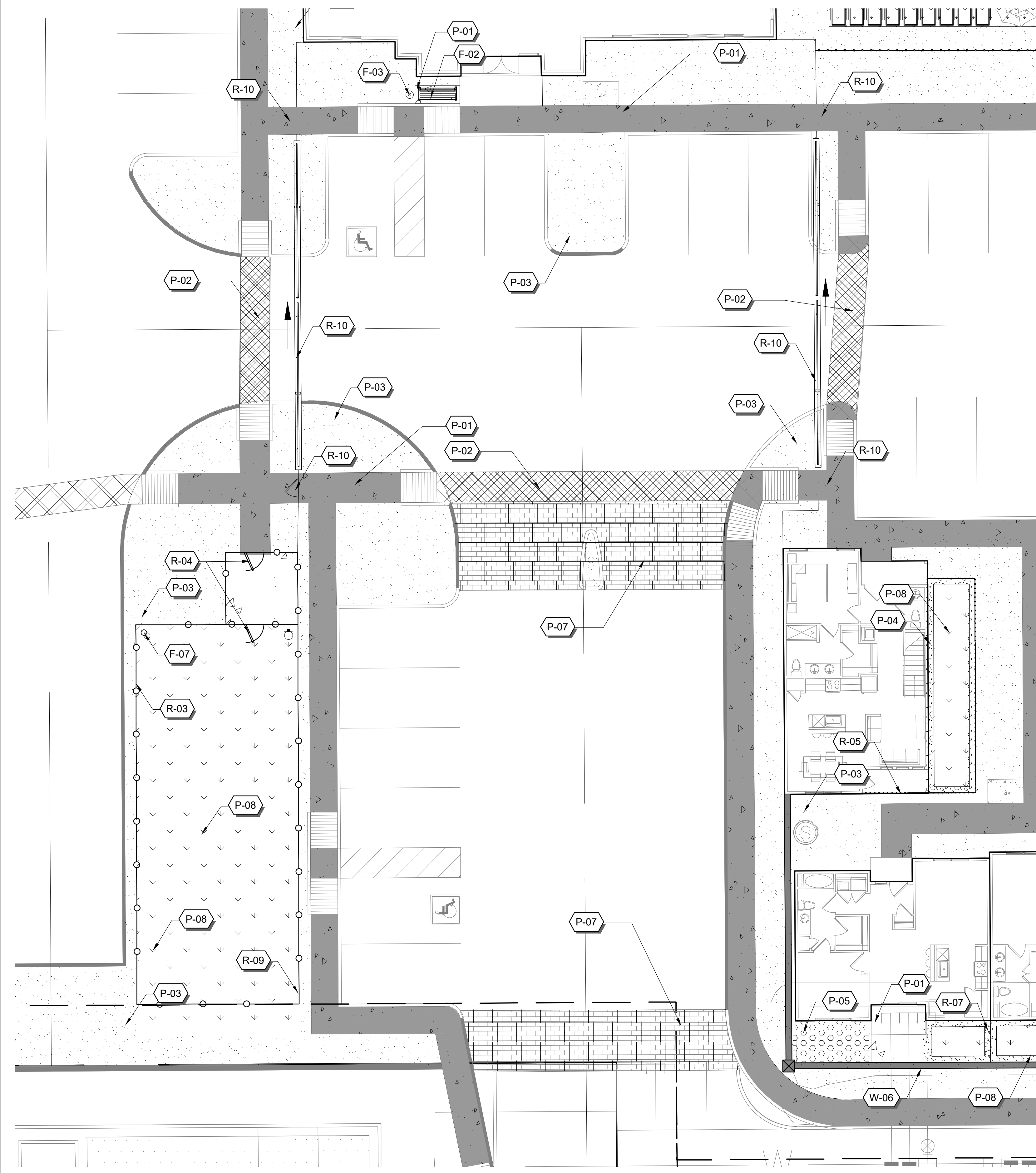


SHEET TITLE

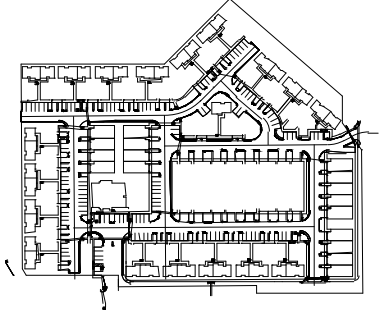
MATERIAL PLAN - DOG PARK

SHEET NUMBER

L2-03



ENTRANCE AND DOG PARK



**COMMUNITY AT  
IRONWOOD  
CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

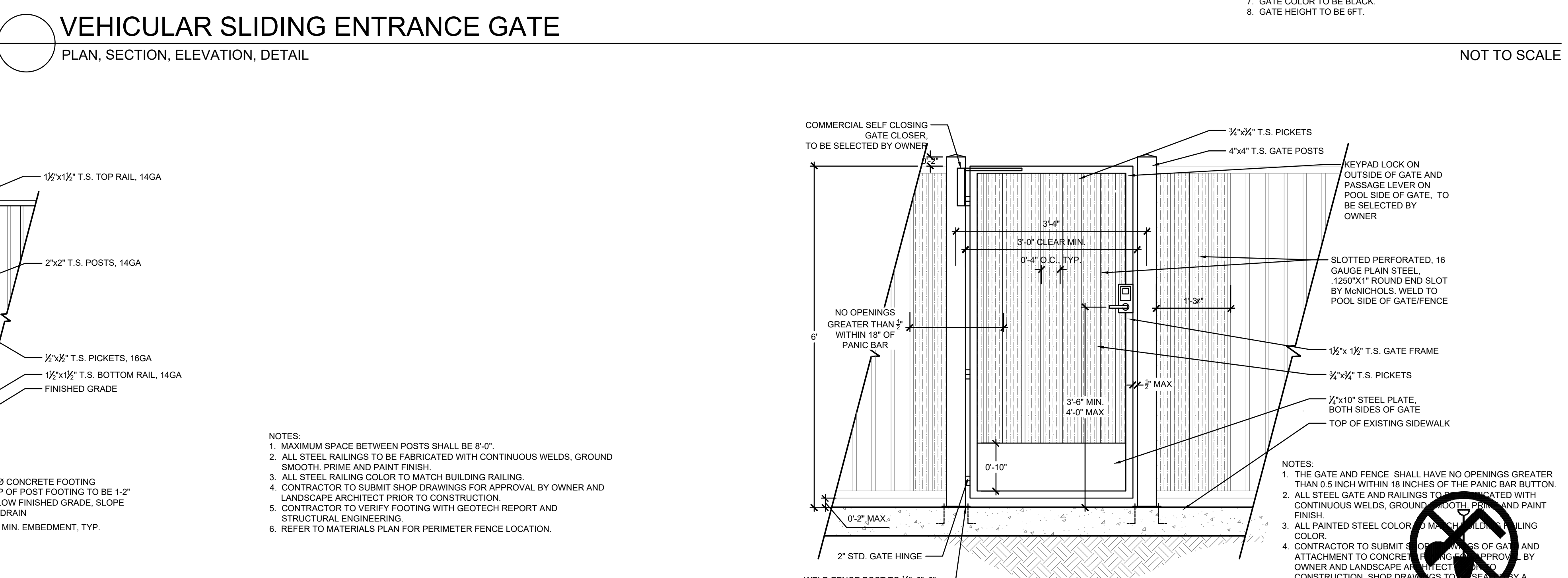
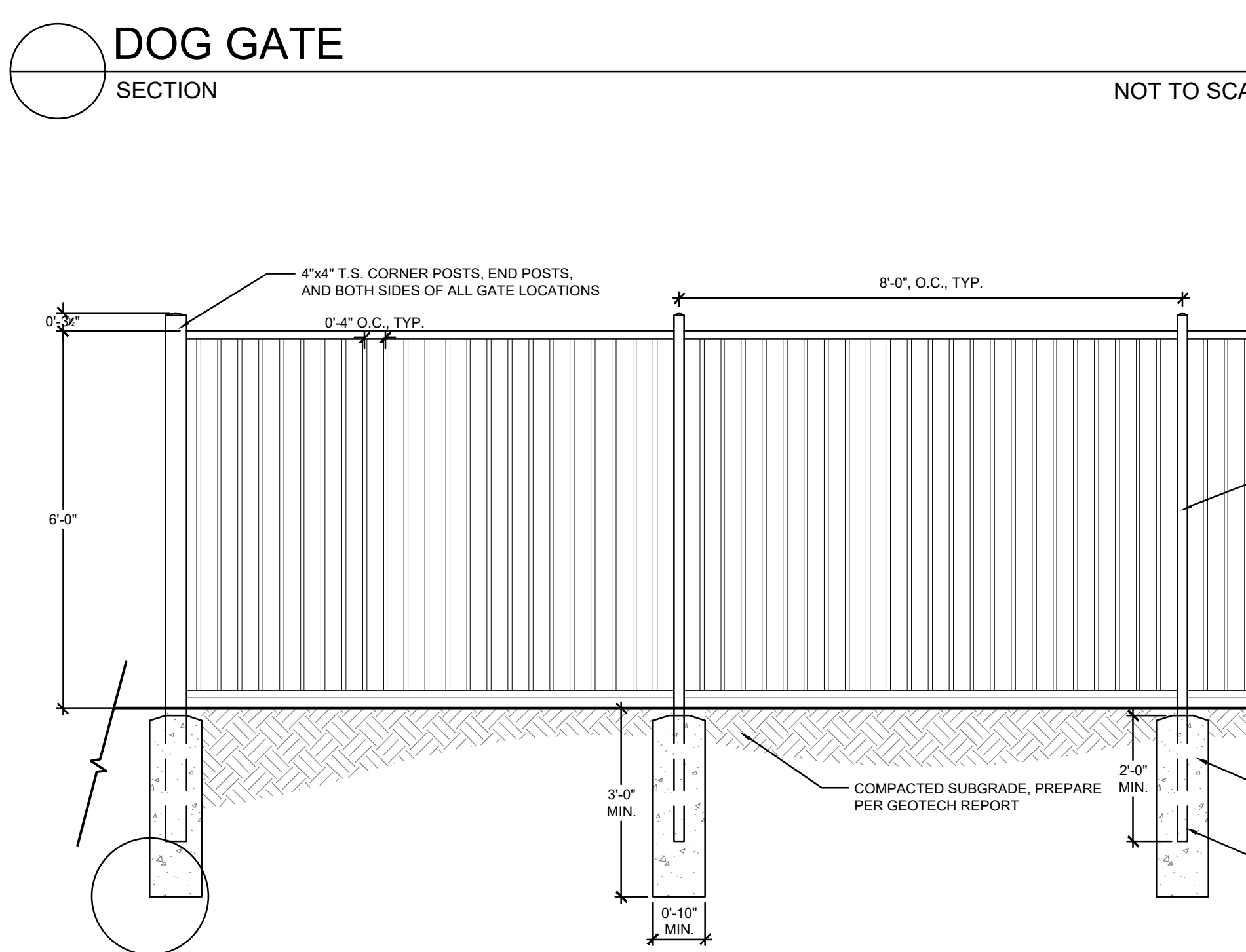
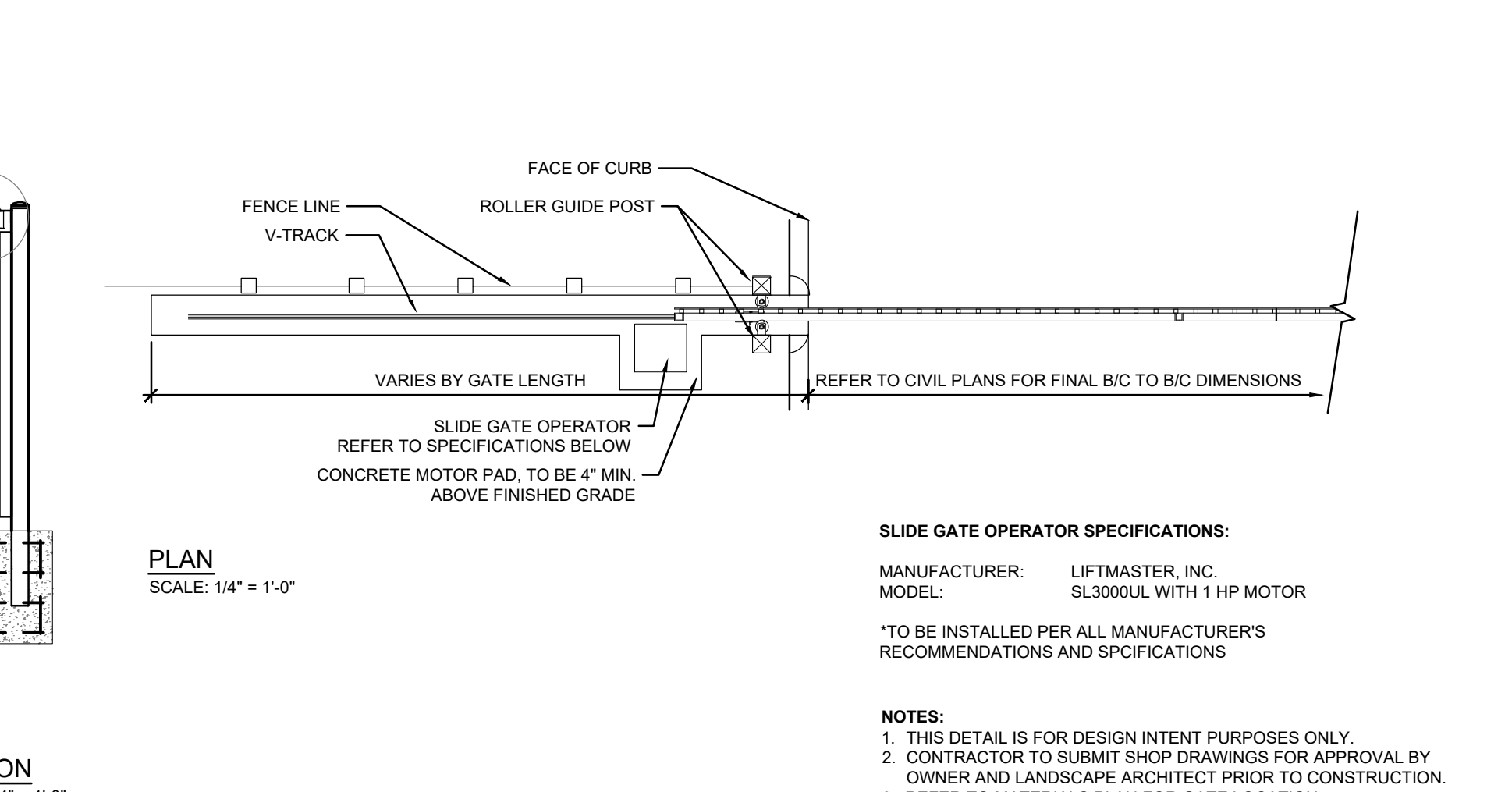
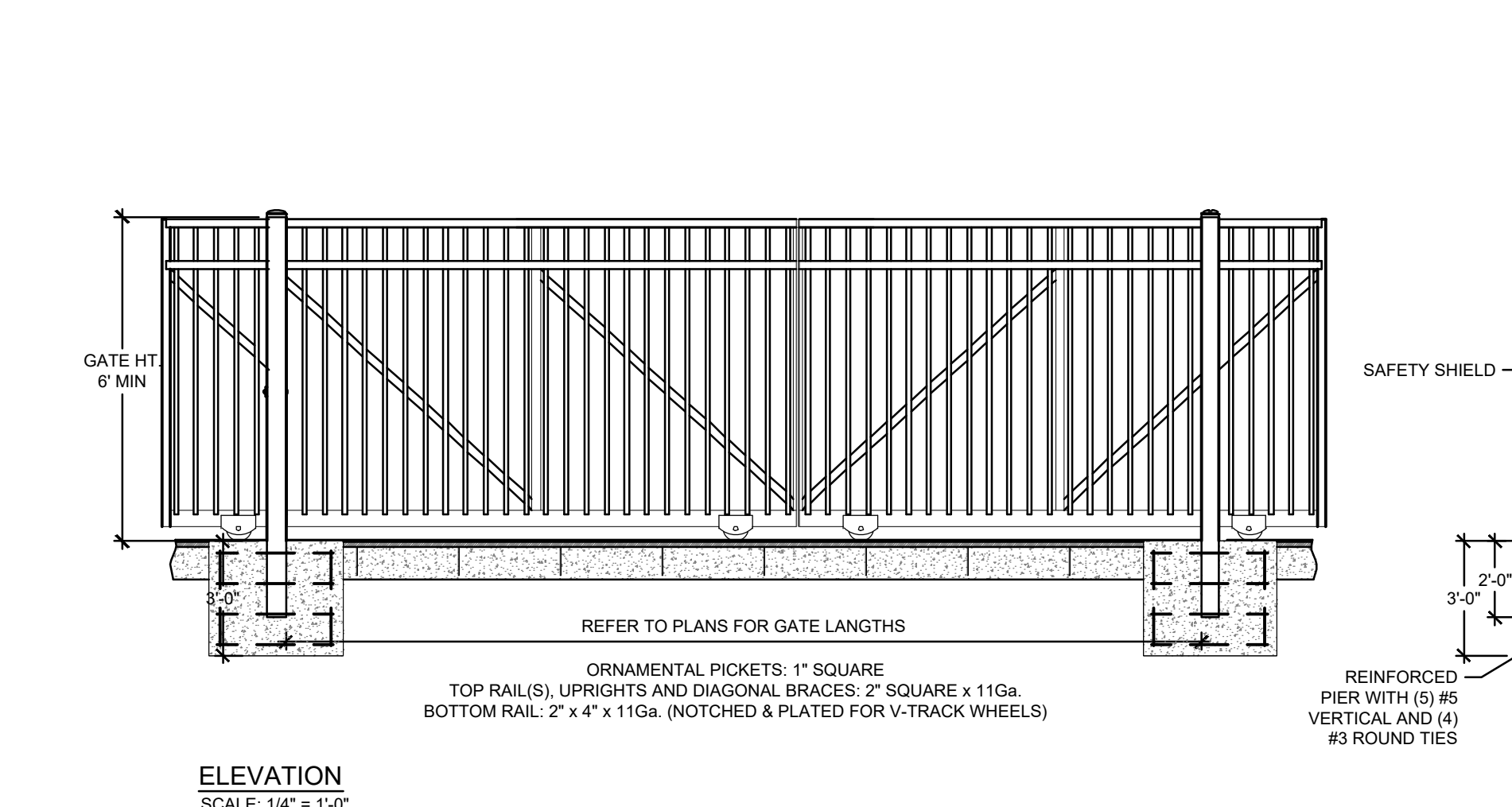
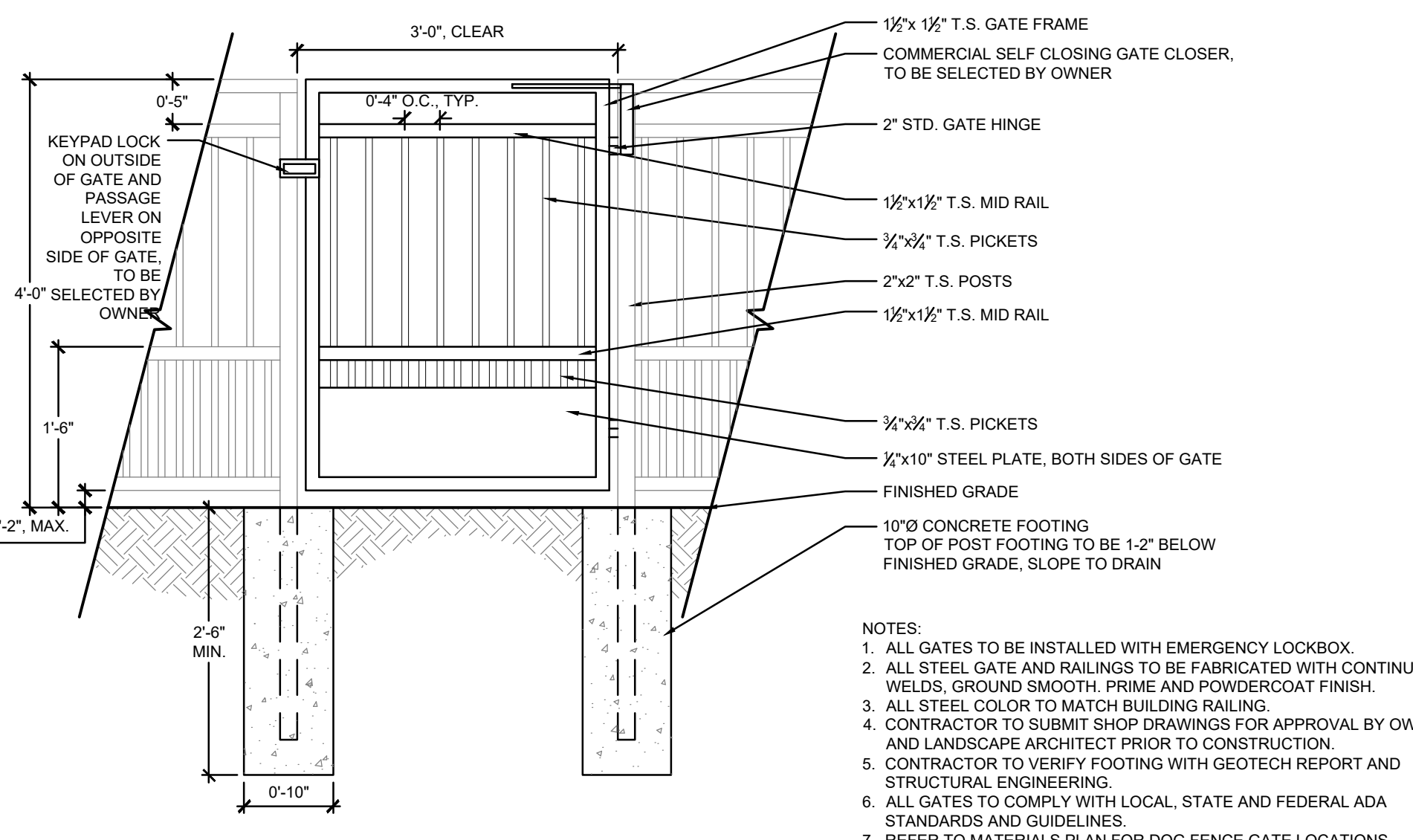
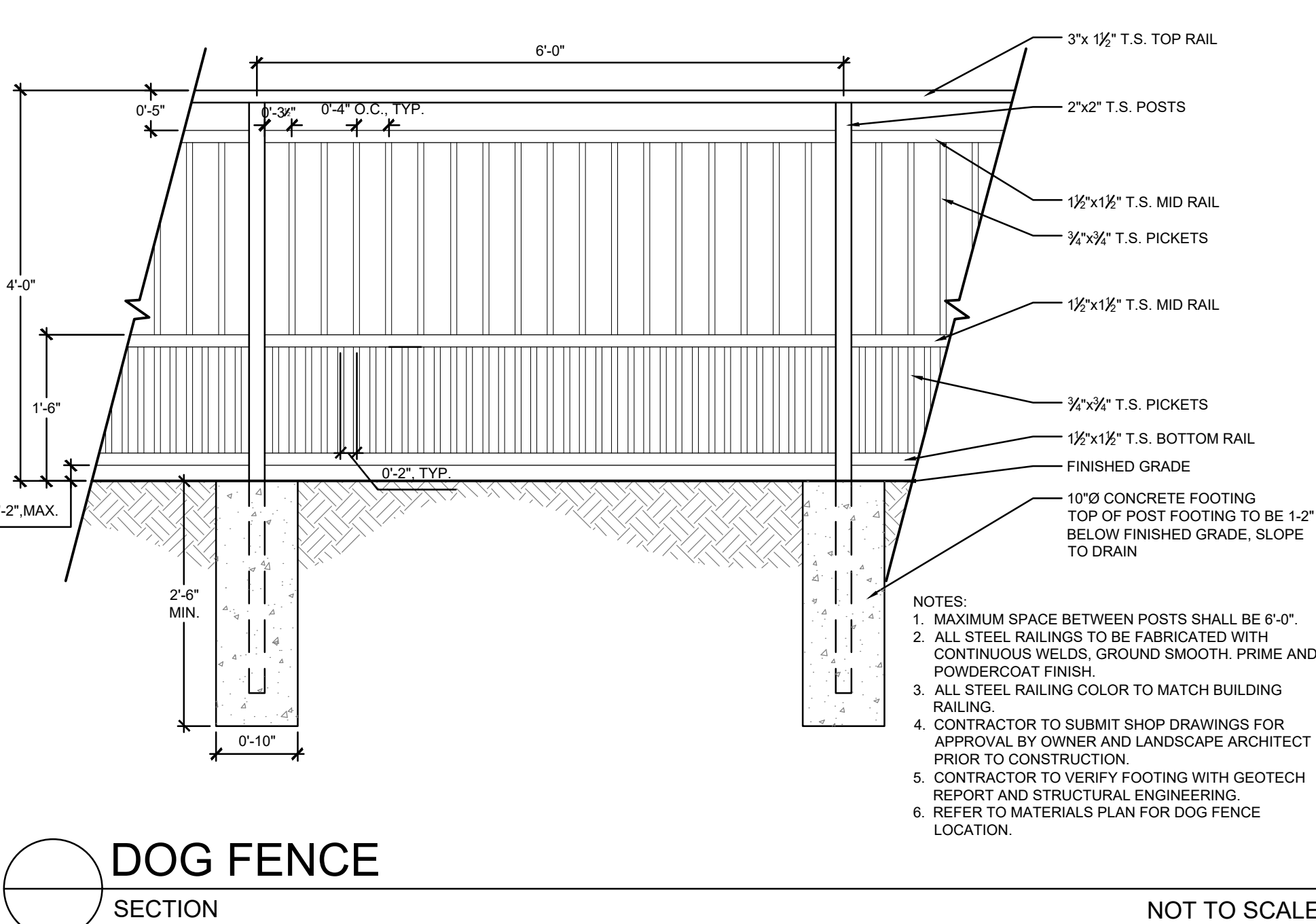
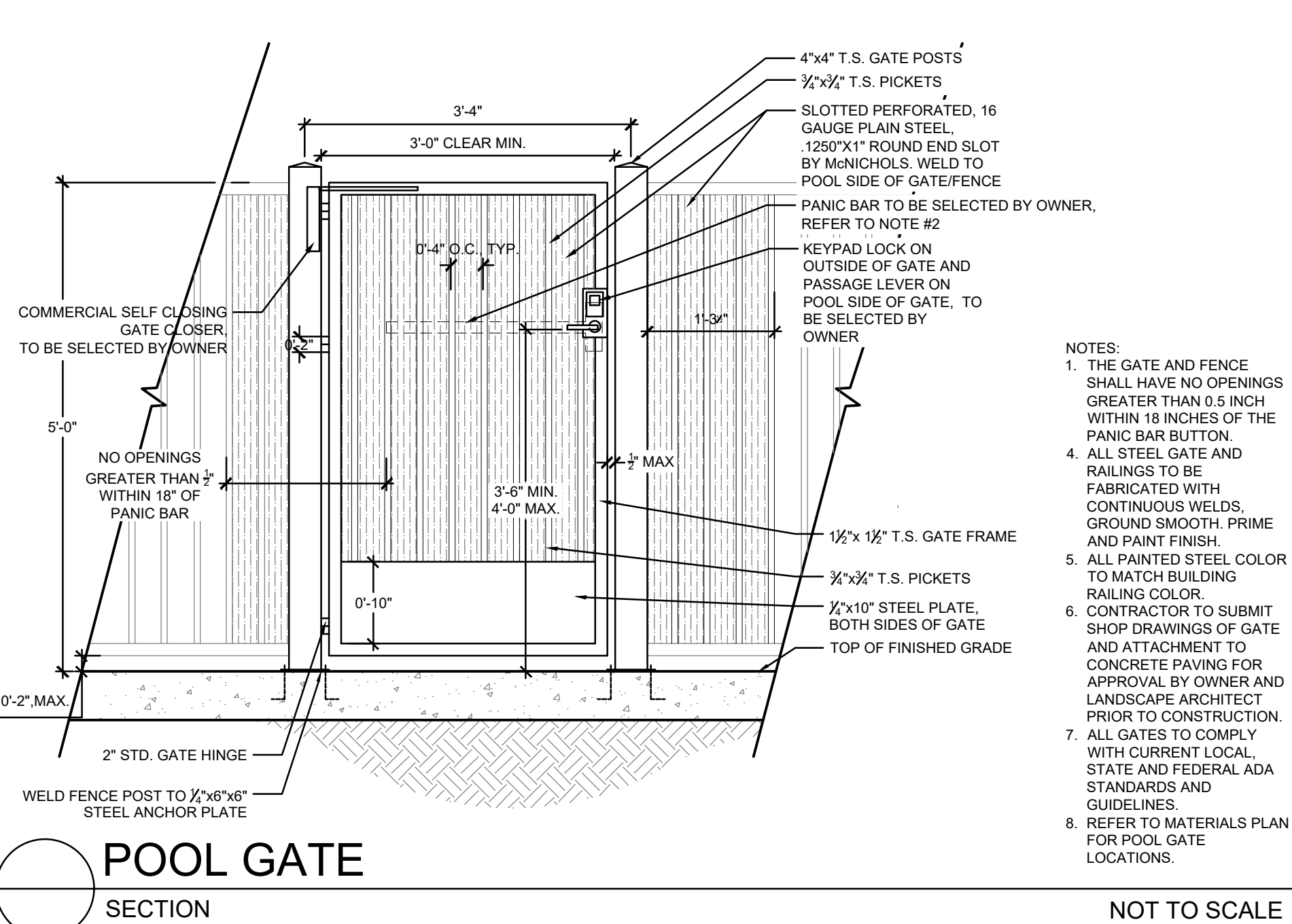
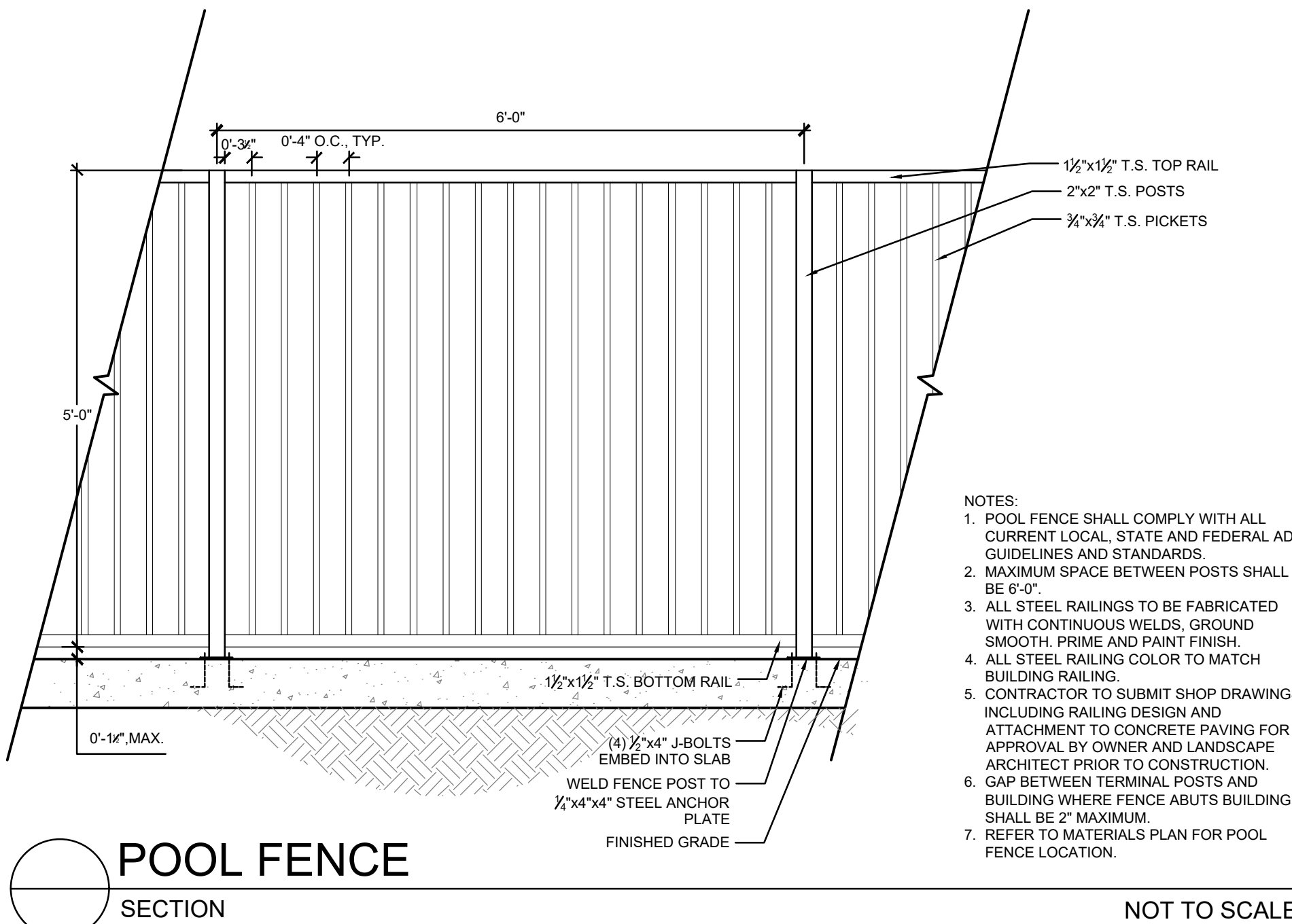
**REVISION / ISSUANCE**

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

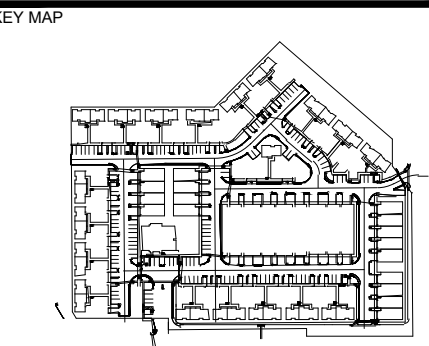
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE NORTH  
VERT: N/A  
HORZ: 1"=40'

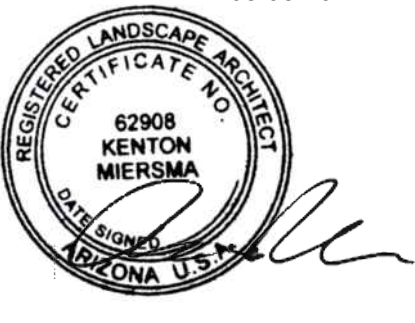
**SITE DETAILS**







SCALE 08.08.2022



PROJECT  
**COMMUNITY AT IRONWOOD CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

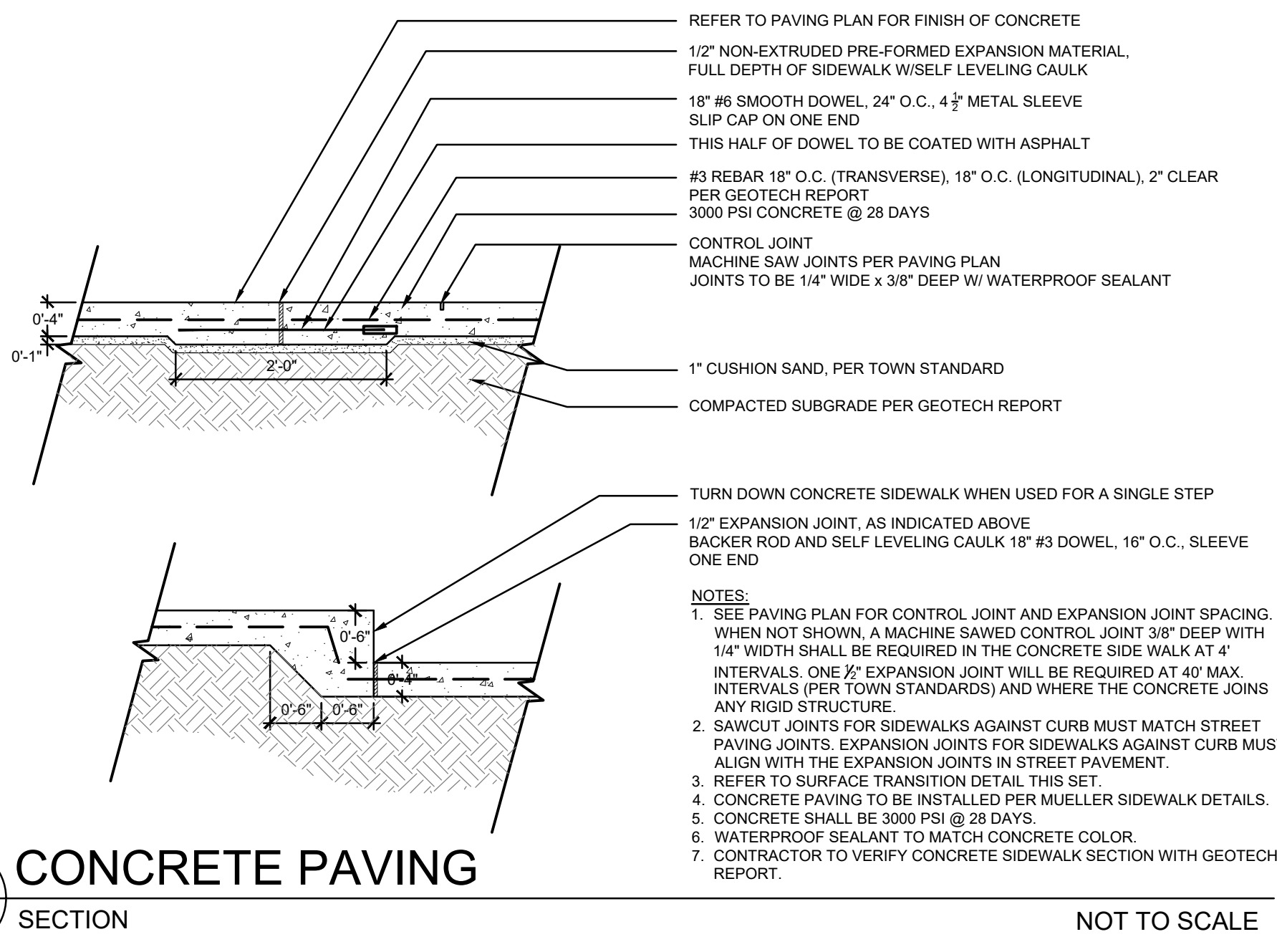
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DRAWN BY:  
CHECKED BY:

SCALE NORTH

VERT: N/A  
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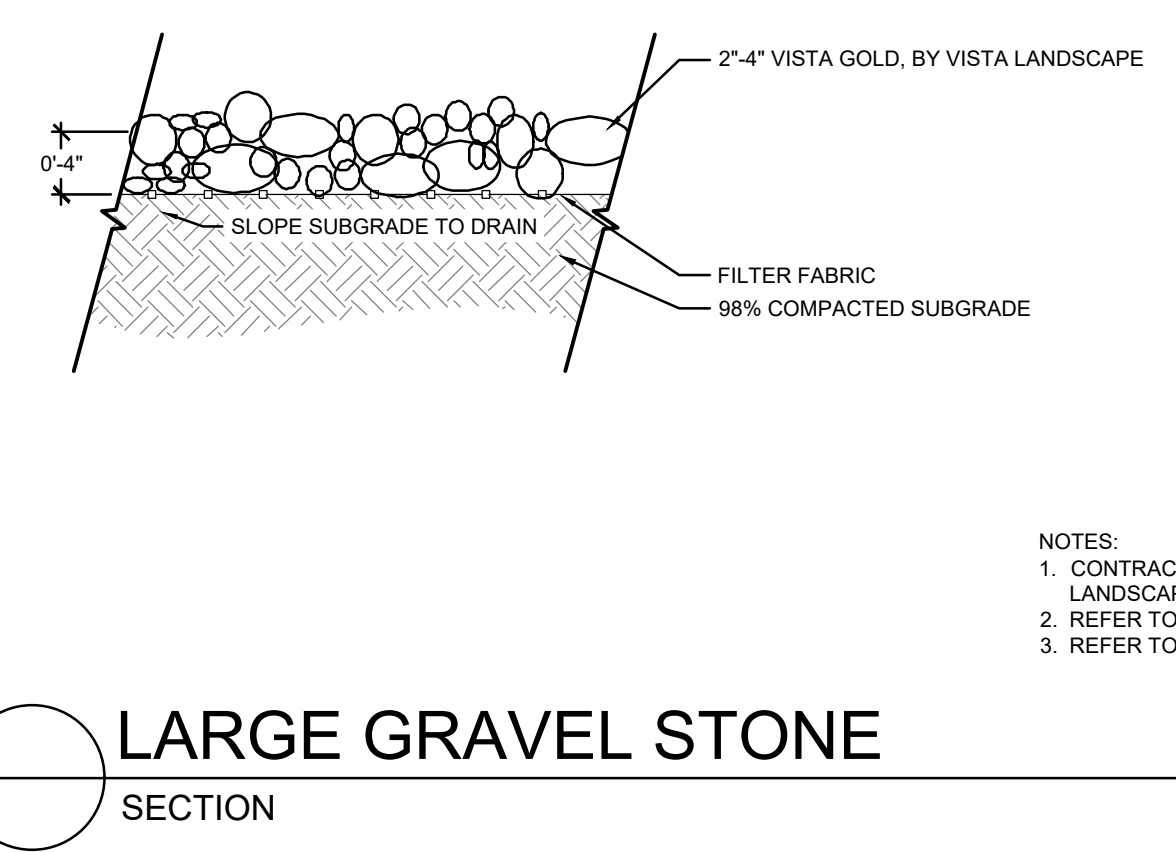
SHEET TITLE  
SITE DETAILS

SHEET NUMBER  
**L4-01**



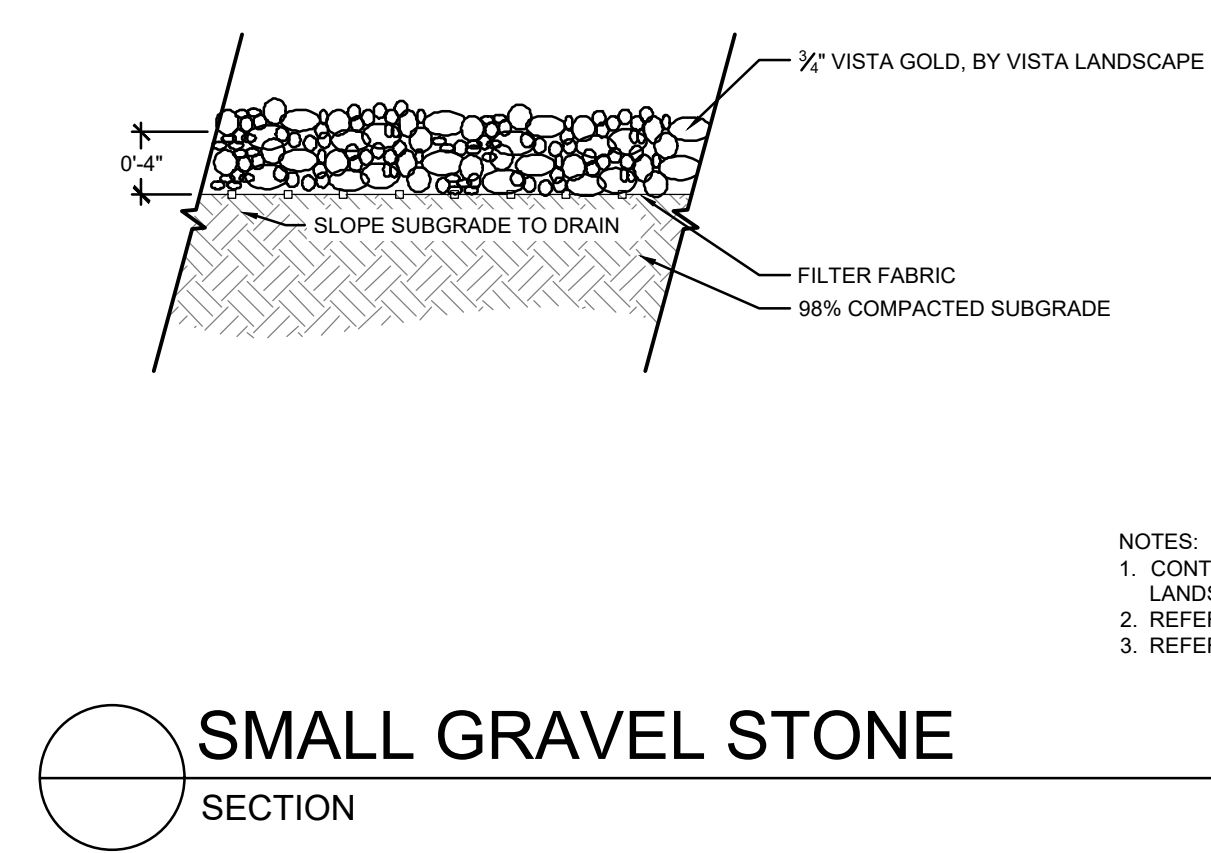
**CONCRETE PAVING**

SECTION NOT TO SCALE



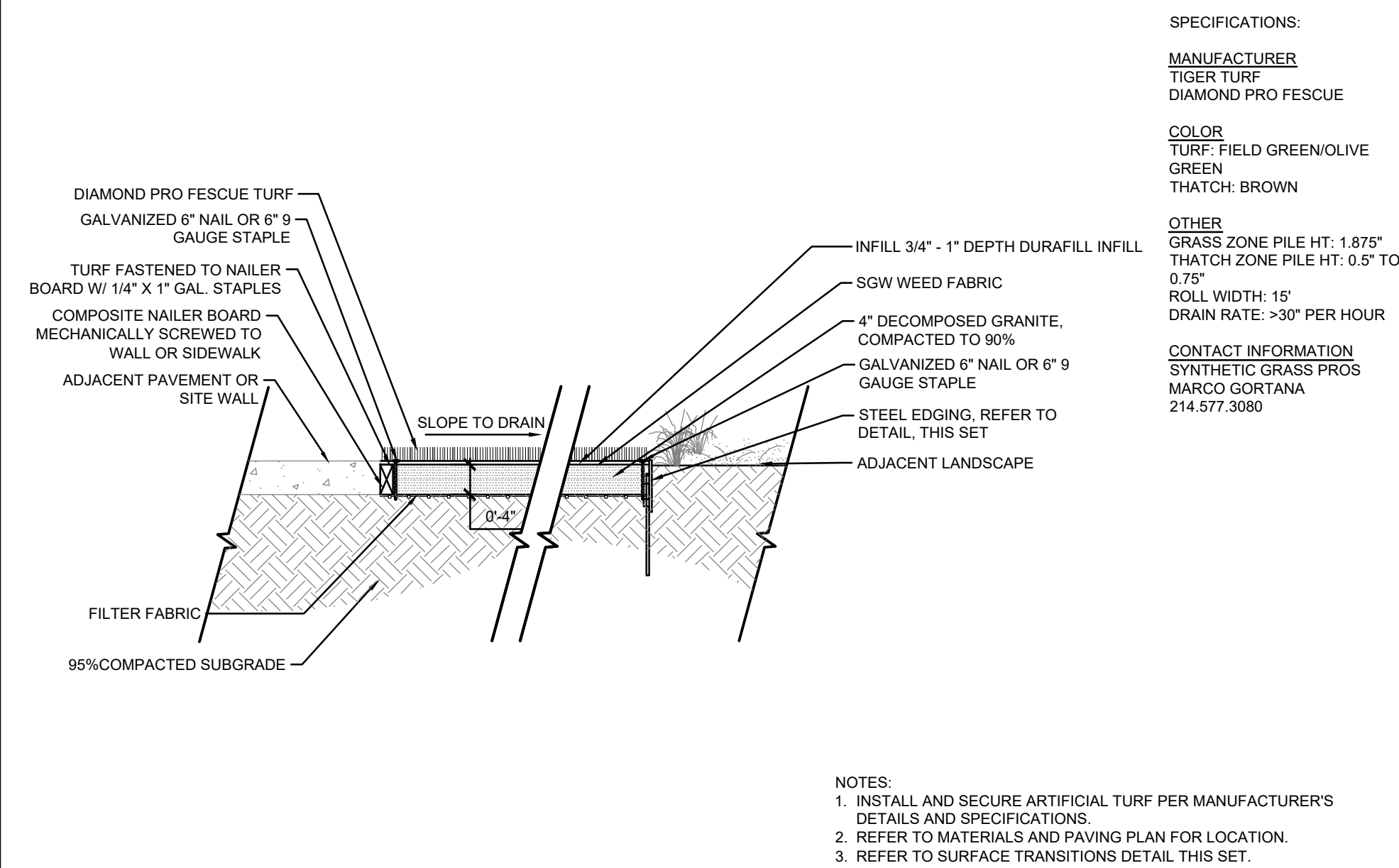
**LARGE GRAVEL STONE**

SECTION NTS



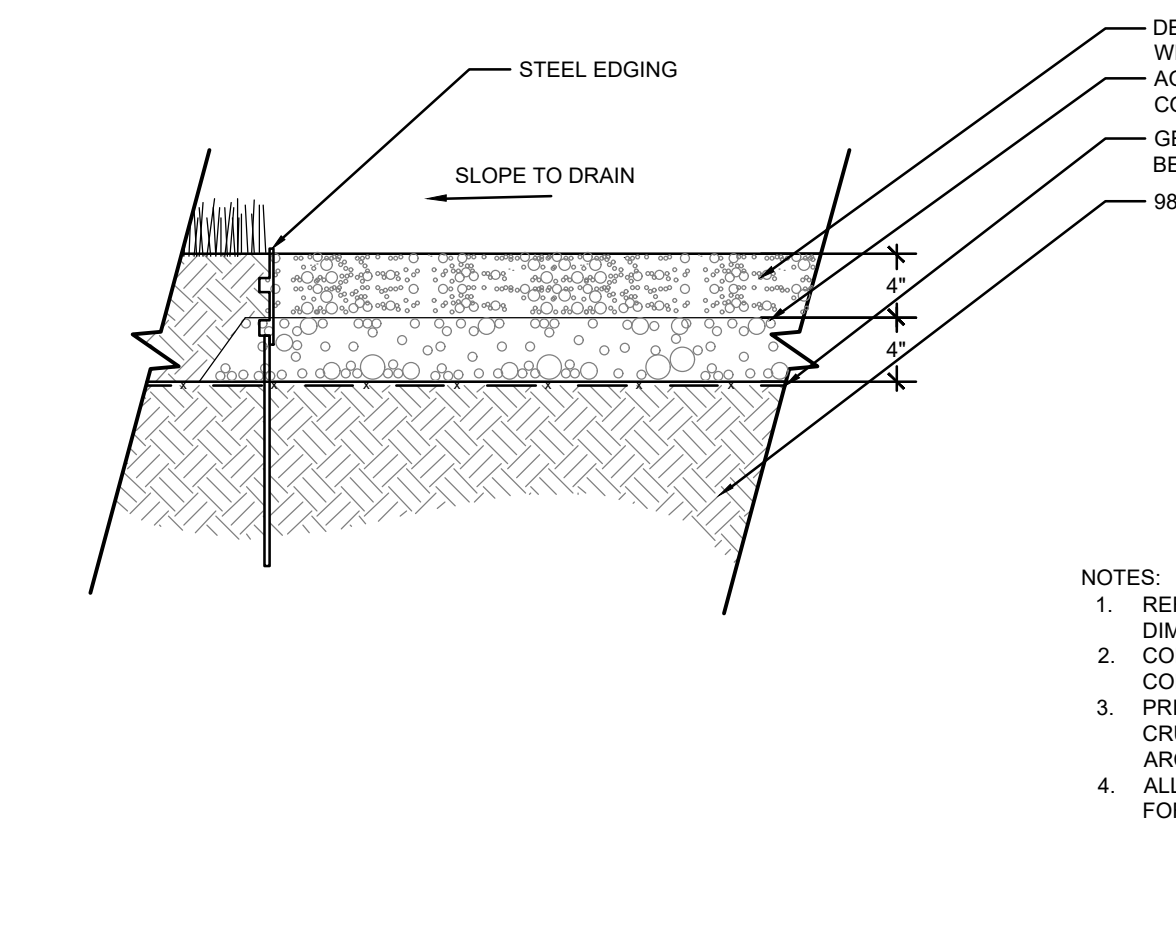
**SMALL GRAVEL STONE**

SECTION NTS



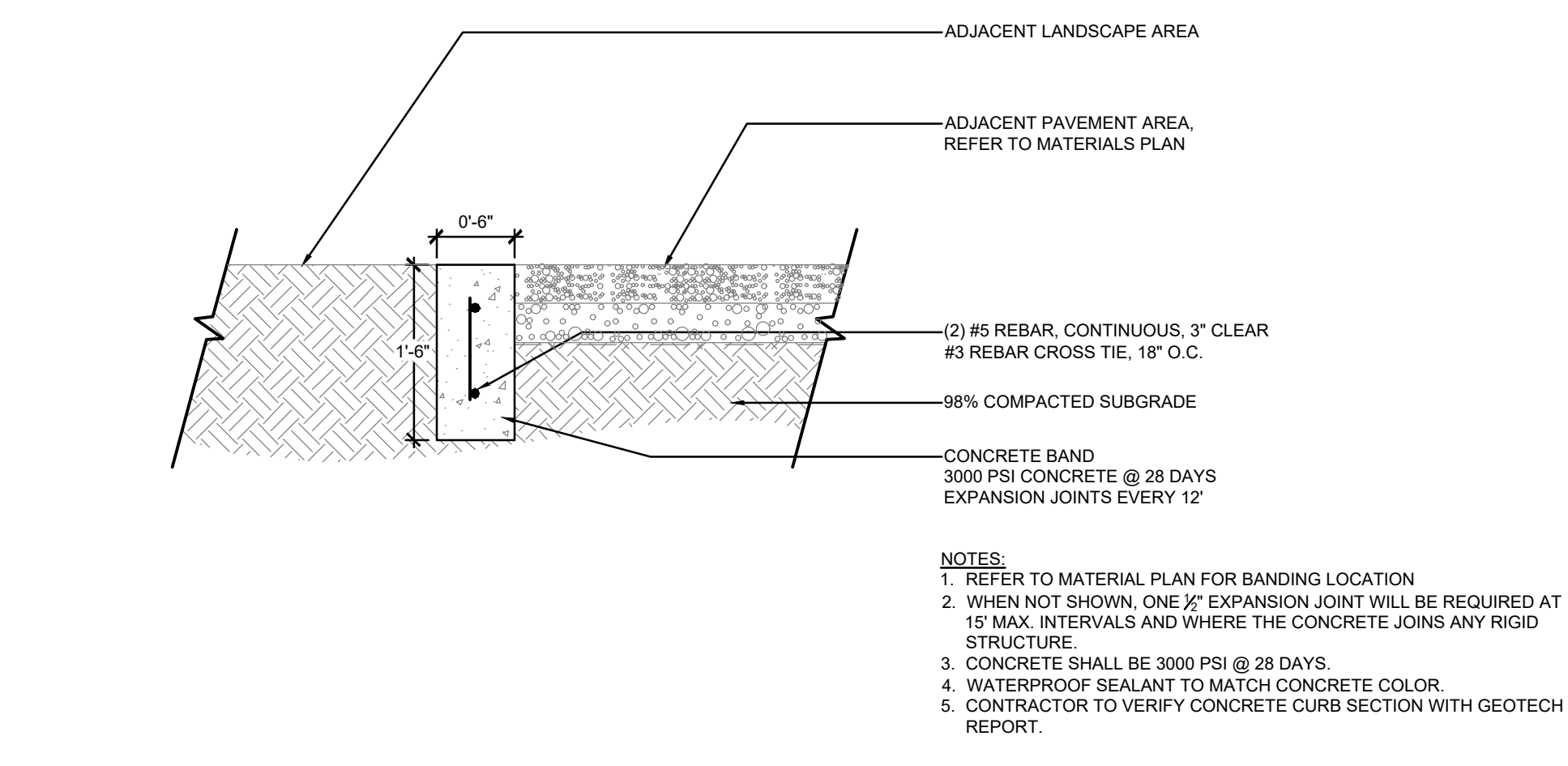
**SYNTHETIC TURF**

SECTION NOT TO SCALE



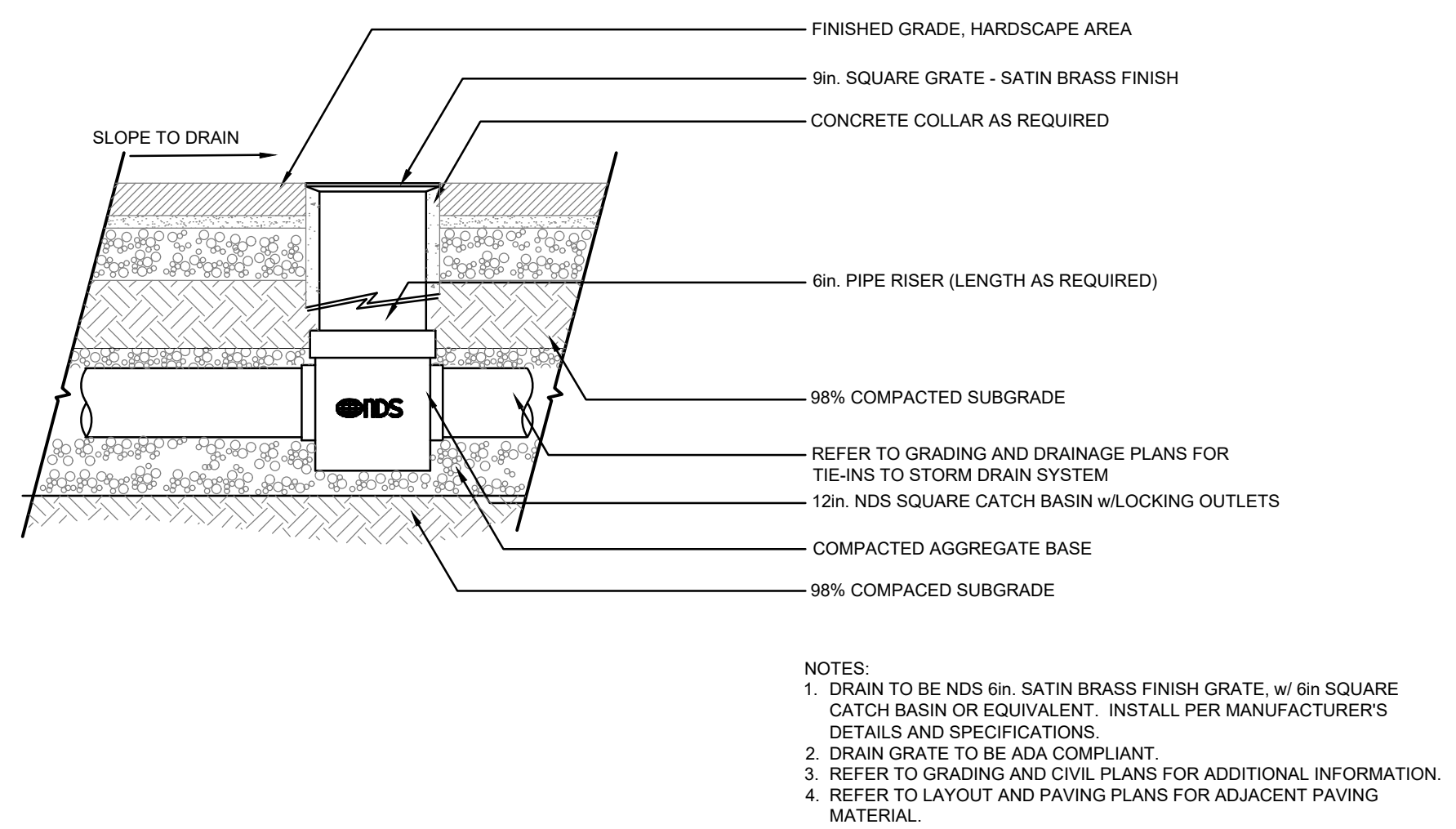
**DECOMPOSED GRANITE**

SECTION NOT TO SCALE



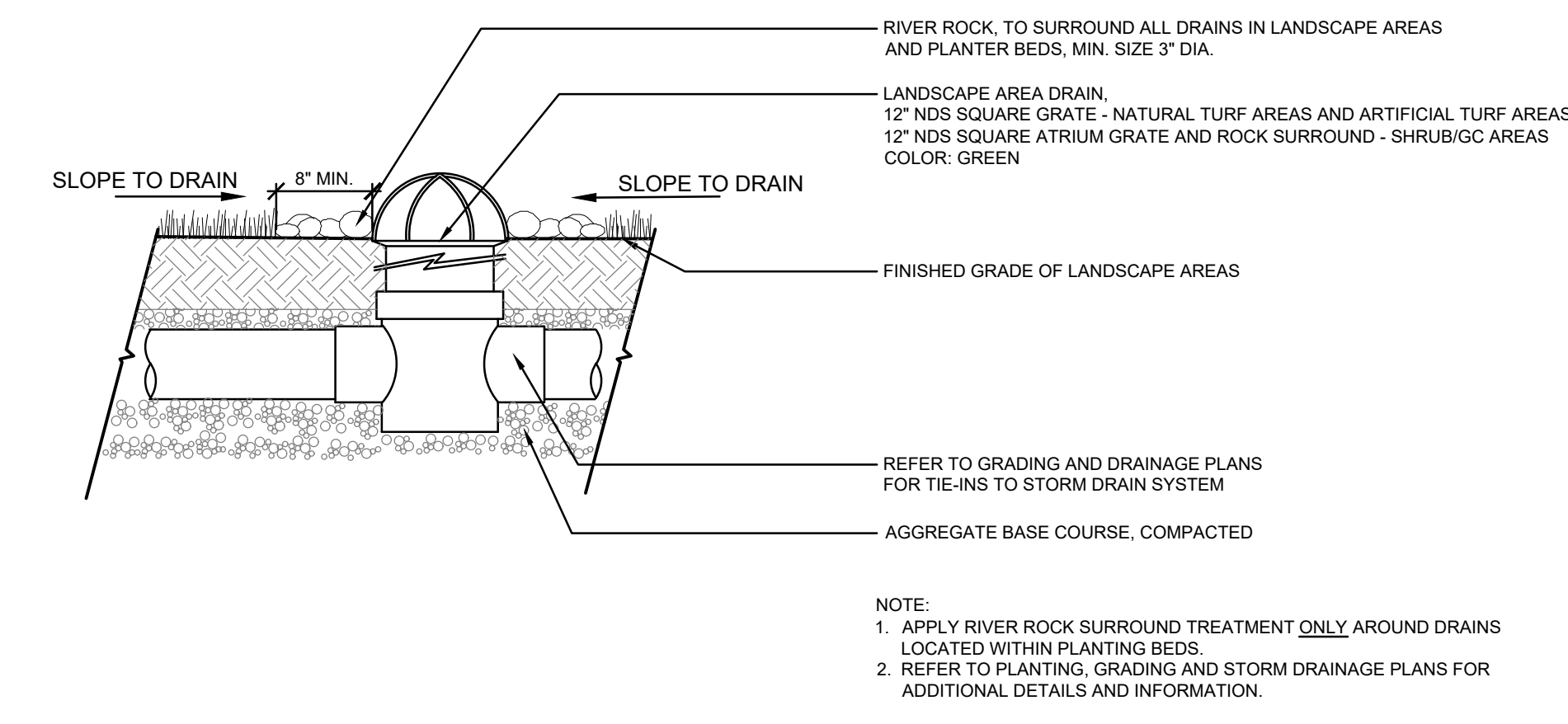
**CONCRETE BAND**

SECTION NOT TO SCALE



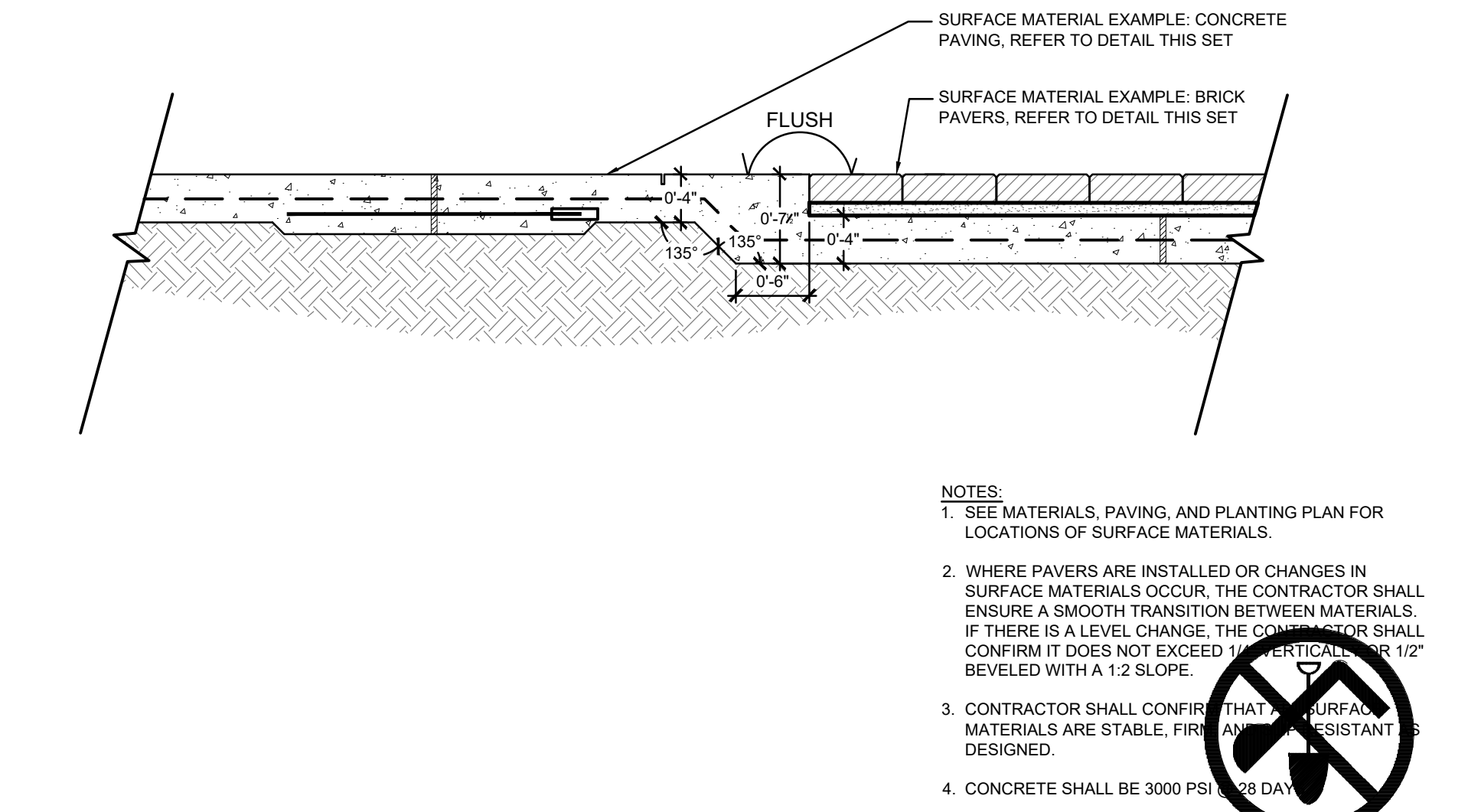
**HARDSCAPE AREA DRAIN**

SECTION NOT TO SCALE



**LANDSCAPE AREA DRAIN**

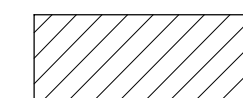
SECTION NOT TO SCALE



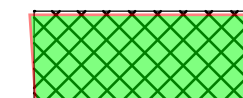
**SURFACE TRANSITIONS**

SECTION

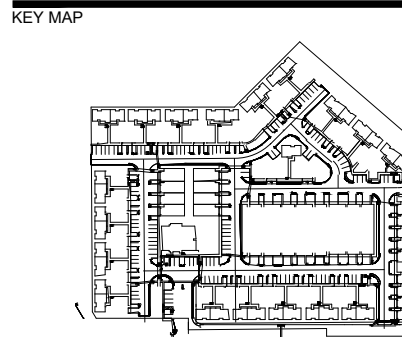
**TOTAL SITE AREA:**  
10.943 AC / 476,683 SF

 **PASSIVE OPEN SPACE**  
- REQUIRED: 20%  
  (95,337 SF)

- PROVIDED: 22%  
  (103,975 SF)

 **ACTIVE OPEN SPACE**  
- REQUIRED: 30%  
  (28,601 SF)

- PROVIDED: 40%  
  (39,309 SF)



DATE 07.13.2022



PROJECT  
**COMMUNITY AT  
IRONWOOD  
CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22
	SITE PLAN SUBMITTAL	08.08.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
SCALE NORTH  
VERT: N/A  
HORZ: 1"=40'  
0 20 40 80'

SHEET TITLE  
**OPEN SPACE PLAN**  
SHEET NUMBER  
**L6-00.A**

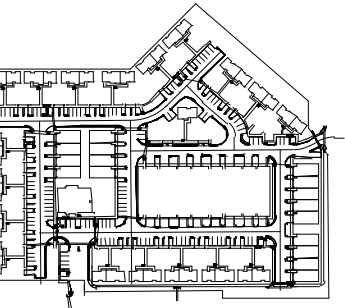




CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

KEY MAP



SEAL

07.13.2022



PROJECT

**COMMUNITY AT  
IRONWOOD  
CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

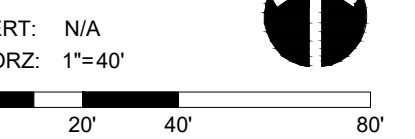
LANDDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE



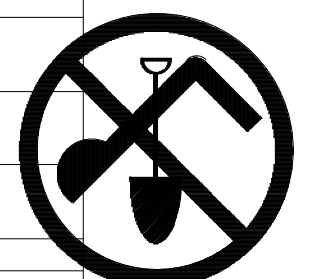
SHEET TITLE

LANDSCAPE PLAN - POOL  
COURTYARD

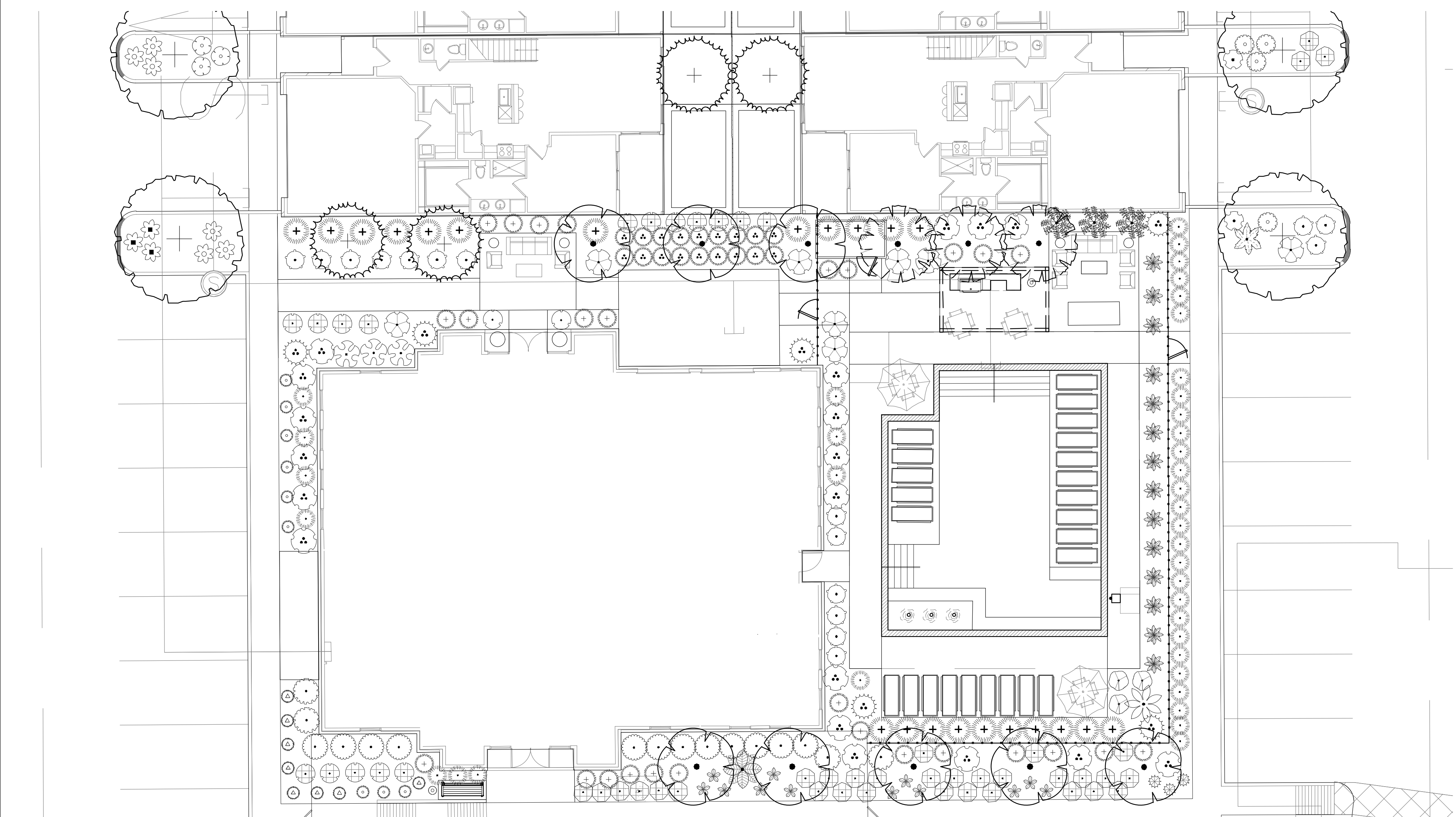
SHEET NUMBER

L6-02

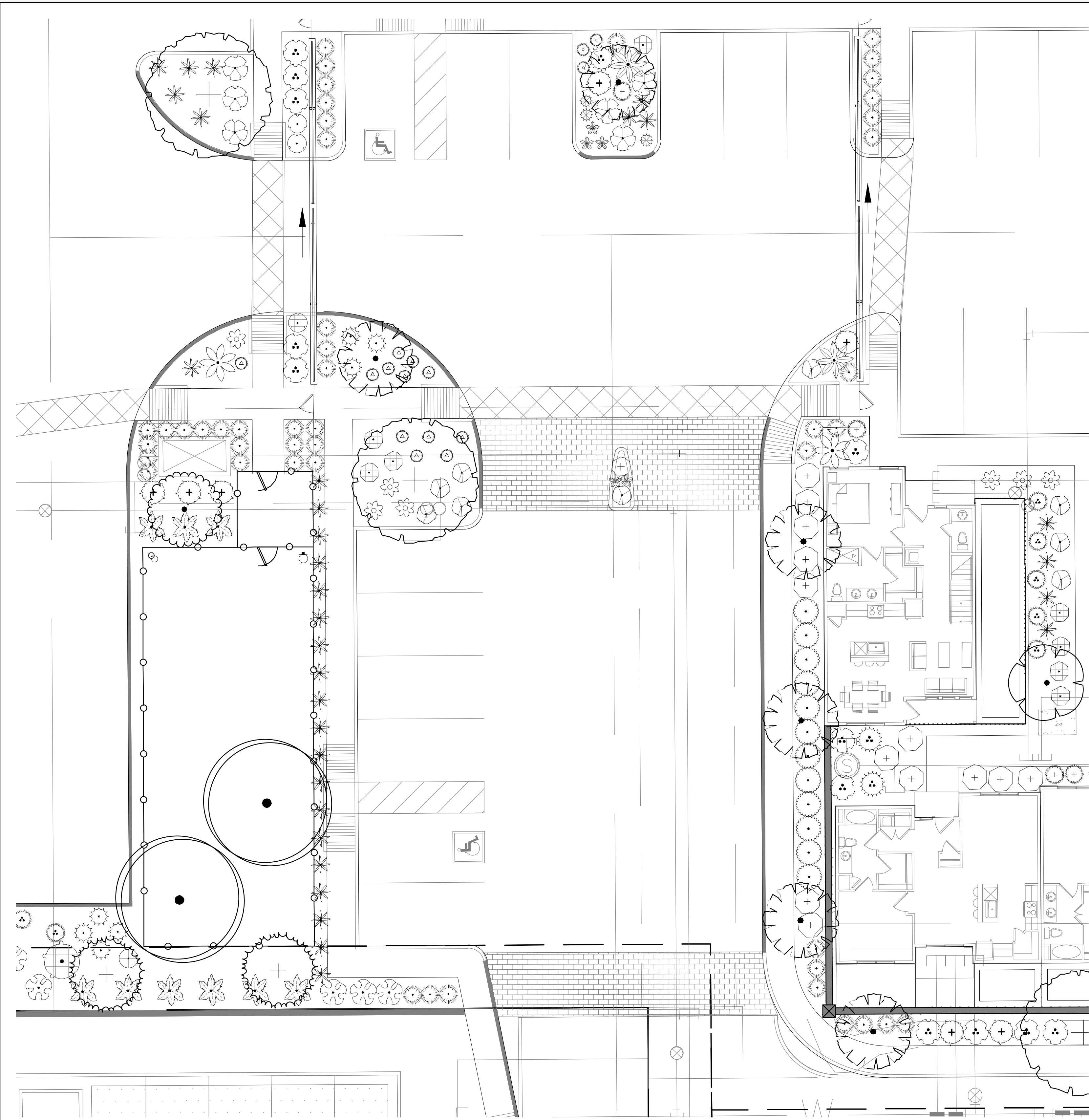
PLANT SCHEDULE		
TREES	CODE	COMMON NAME
	ACWL	Palo Blanco
	CEFL	Blue Palo Verde
	CEDE	Desert Museum Palo Verde
	CHBU	Bubba Desert Willow
	PHDA	Female Date Palm
	PRO PHX	Phoenix Thornless Mesquite
	QUVI	Southern Live Oak
	ULPA	Lacebark Elm
SHRUBS	CODE	COMMON NAME
	AGA AME	Century Plant
	AGA MAR	Variagated Century Plant
	AGA NPE	Golden Striped Century Plant
	AGA HAV	Harvard's Century Plant
	AGPA	Parry's Agave
	AGBG	Blue Glow Agave
	BFTT	Tiny Tangerine Bubine
	CAE PUL	Red Bird Of Paradise
	CAE FLV	Yellow Bird Of Paradise
	CASS	Sierra Starr Fairy Duster
	CVLJ	Dwarf Weeping Bottlebrush
	DATE	Texas Sotol
	ECH GRU	Golden Barrel Cactus
	ECH BBC	Blue Barrel Cactus
	ERLA	Turpentine Bush
	FOSP	Ocotillo
	HES PAR	Red Yucca
	HPBL	Brakelights Red Yucca
	HES YEL	Yellow Sun Yucca
	LCRA	Radiation Lantana
	LAN PUR	Purple Trailing Lantana
	LAN HYB	New Gold Lantana
	LETH	Arizona Organ Pipe
	LEU CAN	Texas Sage
	LLRB	Rio Bravo Langman's Sage
	MEBL	Blackfoot Daisy
	MUH CAP	Pink Muhly Grass
	MULI	Lindheimer's Muhly
	MUH RIG	Deer Grass
	OEN ROZ	Mexican Evening Primrose
	OPEL	Spineless Prickly Pear
	PAC MAR	Mexican Fence Post
	PED CHI	Lady's Slipper
	PEN PAR	Parry's Beardtongue
	RUS EOU	Firecracker Plant
	SAL VIC	Victoria Blue Mealy Sage
	SAGR	Autumn Sage
	SALE	Mexican Bush Sage
	SAL HOT	Hot Lips Graham Sage
	TEC ANG	Yellow Bells
	YUC COL	Color Guard Adam's Needle
	YUPA	Twistleaf Yucca
	YUC PEN	Soft Leaf Yucca
	YUC RIG	Mexican Blue Yucca
GROUND COVERS	CODE	COMMON NAME
	LAPU	Purple Trailing Lantana
	OECA	Tufted Evergreen



ARIZONA 811  
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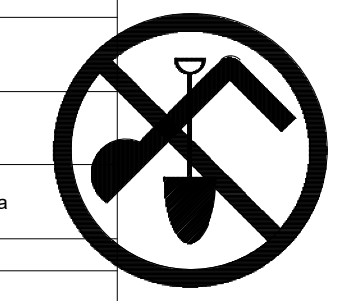


POOL COURTYARD

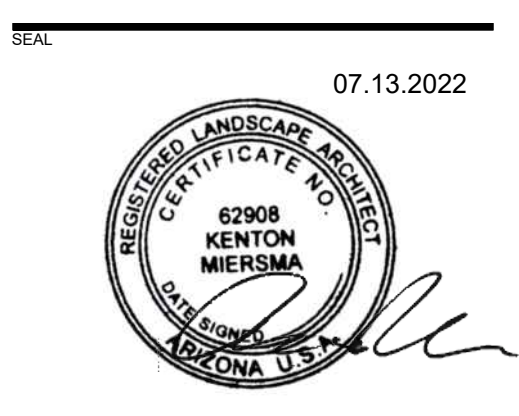
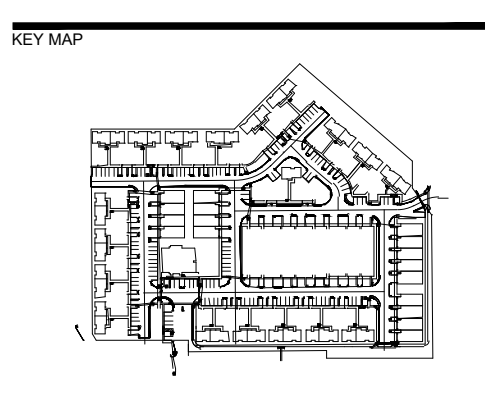


○ ENTRANCE AND DOG PARK

PLANT SCHEDULE		
TREES	CODE	COMMON NAME
+	ACWL	Palo Blanco
○	CEFL	Blue Palo Verde
⊙	CEDE	Desert Museum Palo Verde
⊙	CHBU	Bubba Desert Willow
⊙	PHDA	Female Date Palm
⊙	PRO PHX	Phoenix Thornless Mesquite
⊙	QUVI	Southern Live Oak
+	ULPA	Lacebark Elm
SHRUBS	CODE	COMMON NAME
⊙	AGA AME	Century Plant
⊙	AGA MAR	Variegated Century Plant
⊙	AGA NPE	Golden Striped Century Plant
⊙	AGA HAV	Harvard's Century Plant
⊙	AGPA	Parry's Agave
⊙	AGBG	Blue Glow Agave
⊙	BFTT	Tiny Tangerine Bulbine
⊙	CAE PUL	Red Bird Of Paradise
⊙	CAE FLV	Yellow Bird Of Paradise
⊙	CASS	Sierra Starr Fairy Duster
⊙	CVLJ	Dwarf Weeping Bottlebrush
⊙	DATE	Texas Sotol
⊙	ECH GRU	Golden Barrel Cactus
⊙	ECH BBC	Blue Barrel Cactus
⊙	ERLA	Turpentine Bush
⊙	FOSP	Ocotillo
⊙	HES PAR	Red Yucca
⊙	HPBL	Brakelights Red Yucca
⊙	HES YEL	Yellow Sun Yucca
⊙	LCRA	Radiation Lantana
⊙	LAN PUR	Purple Trailing Lantana
⊙	LAN HYB	New Gold Lantana
⊙	LETH	Arizona Organ Pipe
⊙	LEU CAN	Texas Sage
⊙	LLRB	Rio Bravo Langman's Sage
⊙	MEBL	Blackfoot Daisy
⊙	MUH CAP	Pink Muhly Grass
⊙	MULI	Lindheimer's Muhly
⊙	MUH RIG	Deer Grass
⊙	OEN ROZ	Mexican Evening Primrose
⊙	OPEL	Spineless Prickly Pear
⊙	PAC MAR	Mexican Fence Post
⊙	PED CHI	Lady's Slipper
⊙	PEN PAR	Parry's Beardtongue
⊙	RUS EQU	Firecracker Plant
⊙	SAL VIC	Victoria Blue Mealy Sage
⊙	SAGR	Autumn Sage
⊙	SALE	Mexican Bush Sage
⊙	SAL HOT	Hot Lips Graham Sage
⊙	TEC ANG	Yellow Bells
⊙	YUC COL	Color Guard Adam's Needle
⊙	YUPA	Twistleaf Yucca
⊙	YUC PEN	Soft Leaf Yucca
⊙	YUC RIG	Mexican Blue Yucca
GROUND COVERS	CODE	COMMON NAME
⊙	LAPU	Purple Trailing Lantana
⊙	OECA	Tufted Evergreen



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PROJECT  
**COMMUNITY AT  
IRONWOOD  
CROSSING**  
SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195

8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE: NORTH

VERT: N/A  
HORZ: 1"=40'

SHEET TITLE  
**LANDSCAPE PLAN - DOG  
PARK**

SHEET NUMBER  
**L6-03**

CLIENT

**SPARROW PARTNERS**  
2500 BEE CAVE RD  
BLDG. 1 SUITE 380  
AUSTIN, TEXAS 78746

SUMMARY CHART - SITE DATA

CURRENT ZONING CLASSIFICATION:	PAD/PAD
TOTAL SITE AREA:	10.943 ACRES/ 476,683 SF
PROPOSED USE:	MULTI-FAMILY
# UNITS/ # BEDROOMS (REFER TO ARCHITECTURALS)	110 UNITS/ 237 BEDROOMS
# PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM= 237

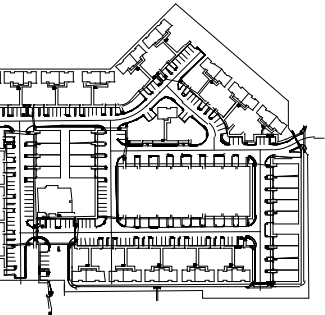
SUMMARY CHART - LANDSCAPE DATA

BUILDING GROUND FLOOR			
PASSIVE OPEN SPACE REQUIRED(PERCENTAGE):	20%; 95,337 SF	PASSIVE OPEN SPACE PROVIDED(PERCENTAGE):	22% 103,562 SF
ACTIVE OPEN SPACE REQUIRED(PERCENTAGE):	30%; 28,601 SF	ACTIVE OPEN SPACE PROVIDED(PERCENTAGE):	40% 38,309 SF
ON-SITE LANDSCAPE AREA			
TREES REQUIRED(1 TREE PER DWELLING UNIT)	110	TREES PROVIDED:	110 MIN.
SHRUBS REQUIRED(10 SHRUBS PER 1 TREE)	1,100	SHRUBS PROVIDED:	1,100 MIN.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	MIN. CAL.	MIN. HT.	REMARKS
+	ACWL	43	Acacia willardiana	Palo Blanco	BOX		6-8' HT	24" BOX; 6' HEIGHT MIN.
○	CEFL	14	Cercidium floridum	Blue Palo Verde	BOX		6-8' HT	24" BOX; 6' HEIGHT MIN.
⊙	CEDE	50	Cercidium x 'Desert Museum'	Desert Museum Palo Verde	BOX		6-8' HT	24" BOX; 6' HEIGHT MIN; MULTI TRUNK (3) MIN.
⊙	CHBU	33	Chilopsis linearis 'Bubba'	Bubba Desert Willow	BOX		6-8' HT	
⊙	PRO PHX	10	Prosopis x 'Phoenix' TM	Phoenix Thornless Mesquite	BOX			24" BOX
○	QUVI	30	Quercus virginiana	Southern Live Oak	BOX		6-8' HT	24" BOX; 6' HEIGHT MIN.
+	ULPA	100	Ulmus parvifolia	Lacebark Elm	BOX		6-8' HT	24" BOX MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	SPACING	MIN. HT.	REMARKS
✱	AGA AME	18	Agave americana	Century Plant	5 GAL			
✱	AGA MAR	23	Agave americana 'Marginata'	Variegated Century Plant	5 GAL			
✱	AGA NPE	21	Agave americana 'Mediopicta Aurea'	Golden Striped Century Plant	5 GAL			
✱	AGA HAV	20	Agave havardiana	Havard's Century Plant	5 GAL			
✱	AGPA	38	Agave parryi	Parry's Agave	5 GAL			
✱	AGBG	54	Agave x 'Blue Glow'	Blue Glow Agave	5 GAL			
⊙	BFTT	36	Bubine frutescens 'Tiny Tangerine'	Tiny Tangerine Bulbine	3 GAL	2.5' O.C.		
✱	CAE PUL	119	Caesalpinia pulcherrima	Red Bird Of Paradise	5 GAL			
✱	CAE FLV	72	Caesalpinia pulcherrima flava	Yellow Bird Of Paradise	5 GAL			
⊙	CASS	32	Calliandra x 'Sierra Star' TM	Sierra Star Fairy Duster	5 GAL			
⊙	CVLJ	25	Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush	5 GAL			
✱	DATE	15	Dasyliion texanum	Texas Sotol	5 GAL	4' O.C.		
⊙	ECH GRU	118	Echinocactus grusonii	Golden Barrel Cactus	5 GAL			
⊙	ECH BBC	85	Echinocactus horizontalis	Blue Barrel Cactus	5 GAL			
⊕	ERLA	8	Ericameria laricina	Turpentine Bush	5 GAL			
⊙	FOSP	86	Fouquieria splendens	Ocotillo	5 GAL			
✱	HES PAR	286	Hesperaloe parviflora	Red Yucca	5 GAL			
✱	HPBL	67	Hesperaloe parviflora 'Brake Lights'	Brakelights Red Yucca	3 GAL	4' O.C.		
⊙	HES YEL	116	Hesperaloe parviflora 'Yellow Sun'	Yellow Sun Yucca	5 GAL			
⊕	LCRA	111	Lantana camara 'Radiation'	Radiation Lantana	5 GAL			
⊕	LAN PUR	105	Lantana montevidensis	Purple Trailing Lantana	5 GAL			
⊕	LAN HYB	106	Lantana x 'New Gold'	New Gold Lantana	5 GAL			
⊕	LETH	51	Lemnecocereus thurberi	Arizona Organ Pipe	5 GAL			
⊕	LEU CAN	149	Leucophyllum candidum	Texas Sage	5 GAL			
⊕	LLRB	26	Leucophyllum langmaniae 'Rio Bravo' TM	Rio Bravo Langman's Sage	5 GAL			
⊕	MEBL	126	Melampodium leucanthum	Blackfoot Daisy	5 GAL			
⊕	MUH CAP	314	Muhlenbergia capitaris	Pink Muhly Grass	5 GAL			
⊕	MULI	47	Muhlenbergia lindheimeri	Lindheimer's Muhly	5 GAL			
⊕	MUH RIG	60	Muhlenbergia rigens	Deer Grass	5 GAL			
⊕	OEN RO2	204	Oenothera speciosa 'Rosea'	Mexican Evening Primrose	5 GAL			
⊕	OPEL	158	Opuntia ellisiana	Spineless Prickly Pear	5 GAL			
⊕	PAC MAR	119	Pachycereus marginatus	Mexican Fence Post	5 GAL			
⊕	PED CHI	75	Pedicularis macrocarpus	Lady's Slipper	5 GAL			
⊕	PEN PAR	57	Penstemon parryi	Parry's Beardtongue	5 GAL			
⊕	RUS EQU	75	Russelia equisetiformis	Firecracker Plant	5 GAL			
⊕	SAL VIC	37	Salvia farinacea 'Victoria Blue'	Victoria Blue Mealy Sage	5 GAL			
⊕	SAGR	160	Salvia greggii	Autumn Sage	5 GAL			
⊕	SALE	75	Salvia leucantha	Mexican Bush Sage	5 GAL			
⊕	SAL HOT	33	Salvia microphylla 'Hot Lips'	Hot Lips Graham Sage	5 GAL			
⊕	TEC ANG	35	Tecoma stans angustata	Yellow Bells	5 GAL			
✱	YUC COL	98	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	5 GAL			
⊕	YUPA	19	Yucca pallida	Twistleaf Yucca	5 GAL	5' O.C.	18-24"	
⊕	YUC PEN	69	Yucca pendula	Soft Leaf Yucca	5 GAL			
⊕	YUC RIG	43	Yucca rigida	Mexican Blue Yucca	5 GAL			
GROUNDS COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. CONT.	SPACING	MIN. HT.	REMARKS
⊕	LAPU	154	Lantana montevidensis	Purple Trailing Lantana	1 GAL	4' O.C.	12-18"	
⊕	OECA	13	Oenothera caespitosa	Tufted Evening Primrose	1 GAL	2' O.C.	12"	

KEY MAP



SEAL

07.13.2022



PROJECT

**COMMUNITY AT  
IRONWOOD  
CROSSING**

SPARROW PARTNERS  
QUEEN CREEK, AZ

LANDDESIGN PROJ # 8521195  
8521195

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
	SITE PLAN SUBMITTAL	03.21.22
	SITE PLAN SUBMITTAL	05.06.22
	SITE PLAN SUBMITTAL	05.17.22
	SITE PLAN SUBMITTAL	07.13.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

SCALE

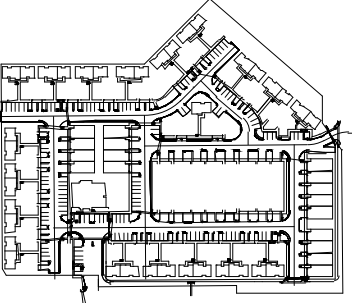
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SHEET TITLE

LANDSCAPE SCHEDULE &  
CALCULATIONS

SHEET NUMBER

**L6-04**



COMMUNITY AT  
IRONWOOD  
CROSSING

SPARROW PARTNERS

QUEEN CREEK, AZ

LANDSCAPE PROJ # 8521195  
8521195

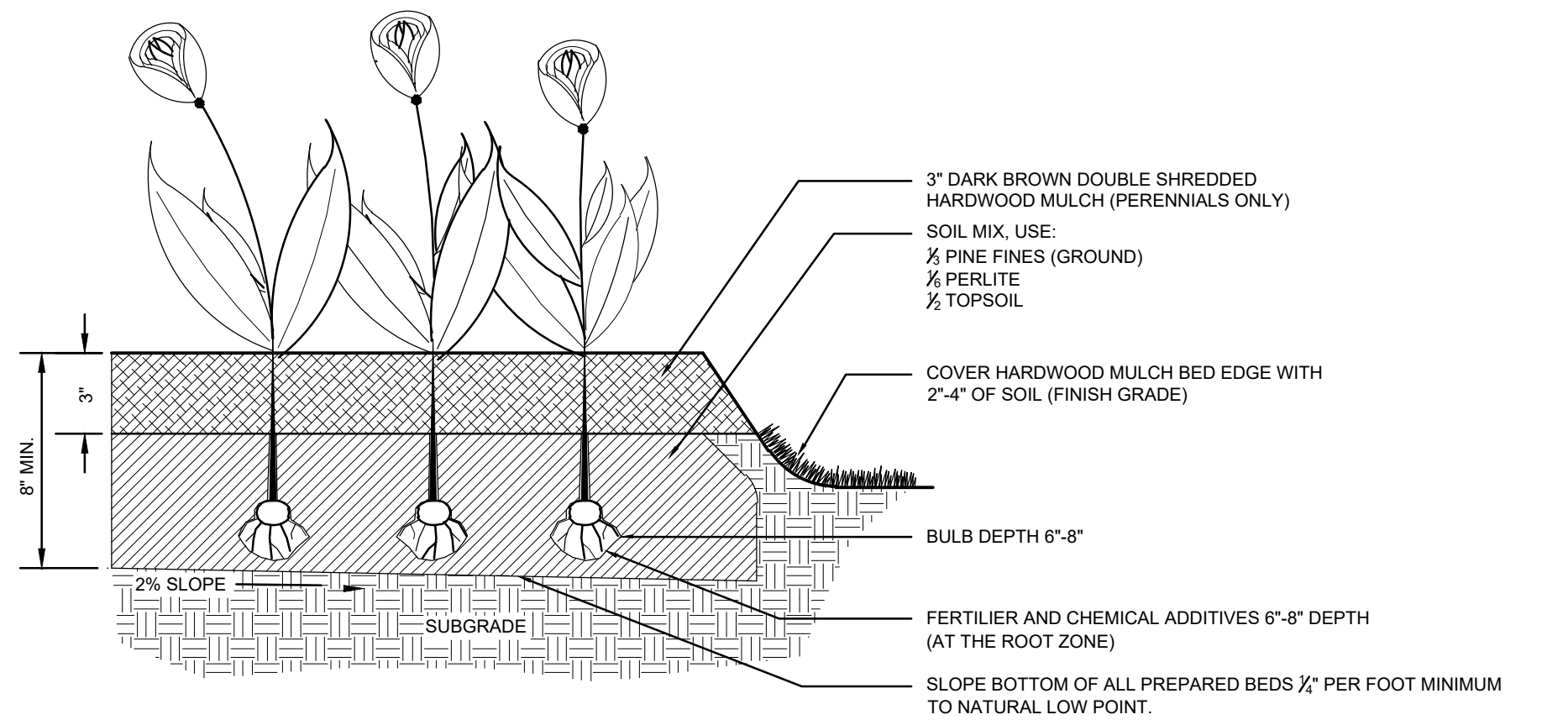
REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
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	SITE PLAN SUBMITTAL	07.13.22

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
SCALE NORTH  
VERT: N/A  
HORZ: 1"=40'  
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SHEET TITLE

PLANTING DETAILS

NOTE:  
1. MIX IN BONE MEAL AT BOTTOM OF BULB WHEN PLANTED

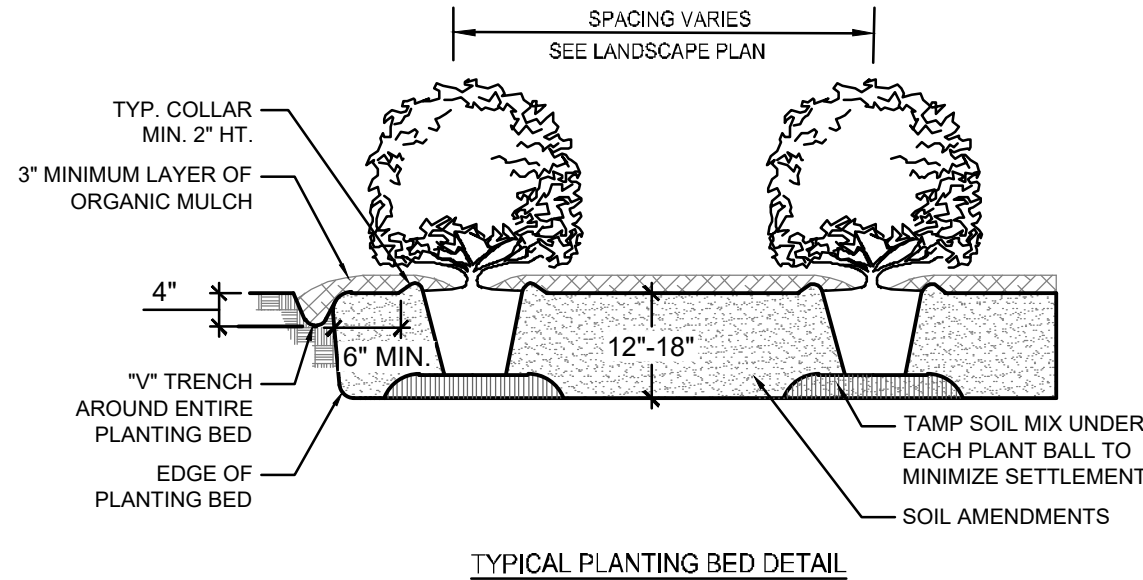


PLANTING BED FOR  
ANNUALS AND PERENNIALS

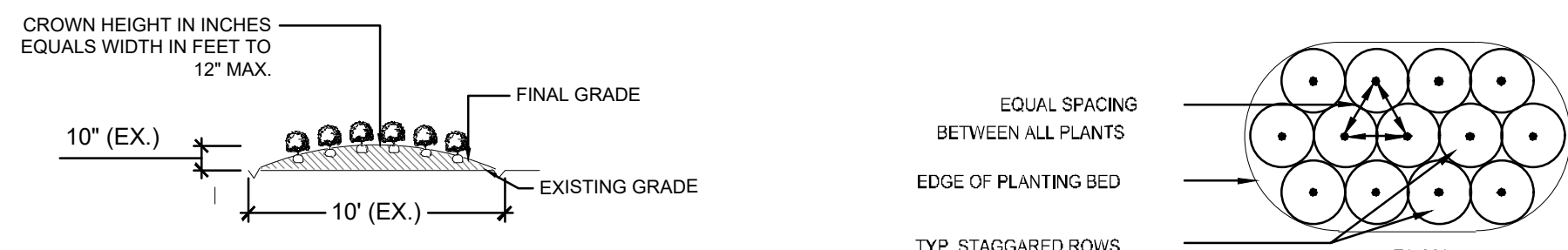
SECTION

NTS

- NOTES:  
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.  
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.  
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.  
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.  
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL

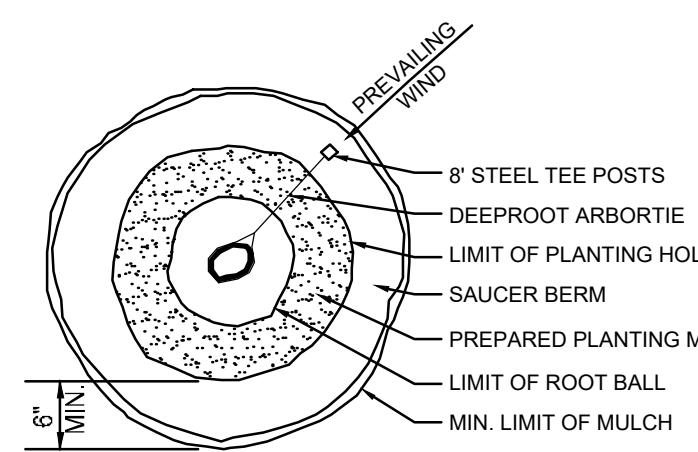


TYPICAL BED CROWNING

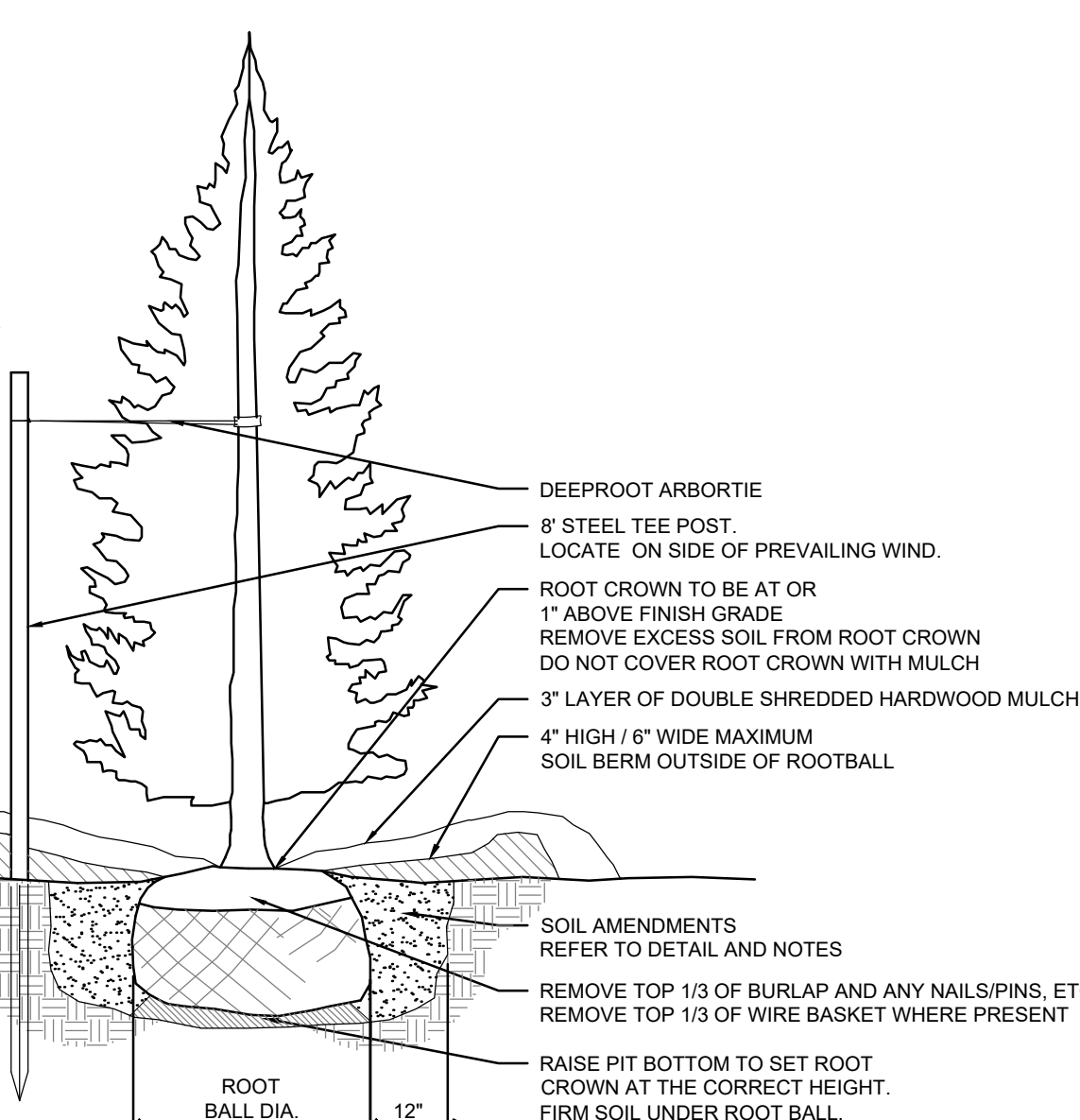
SHRUB PLANTING BED

PLAN, SECTION

NTS



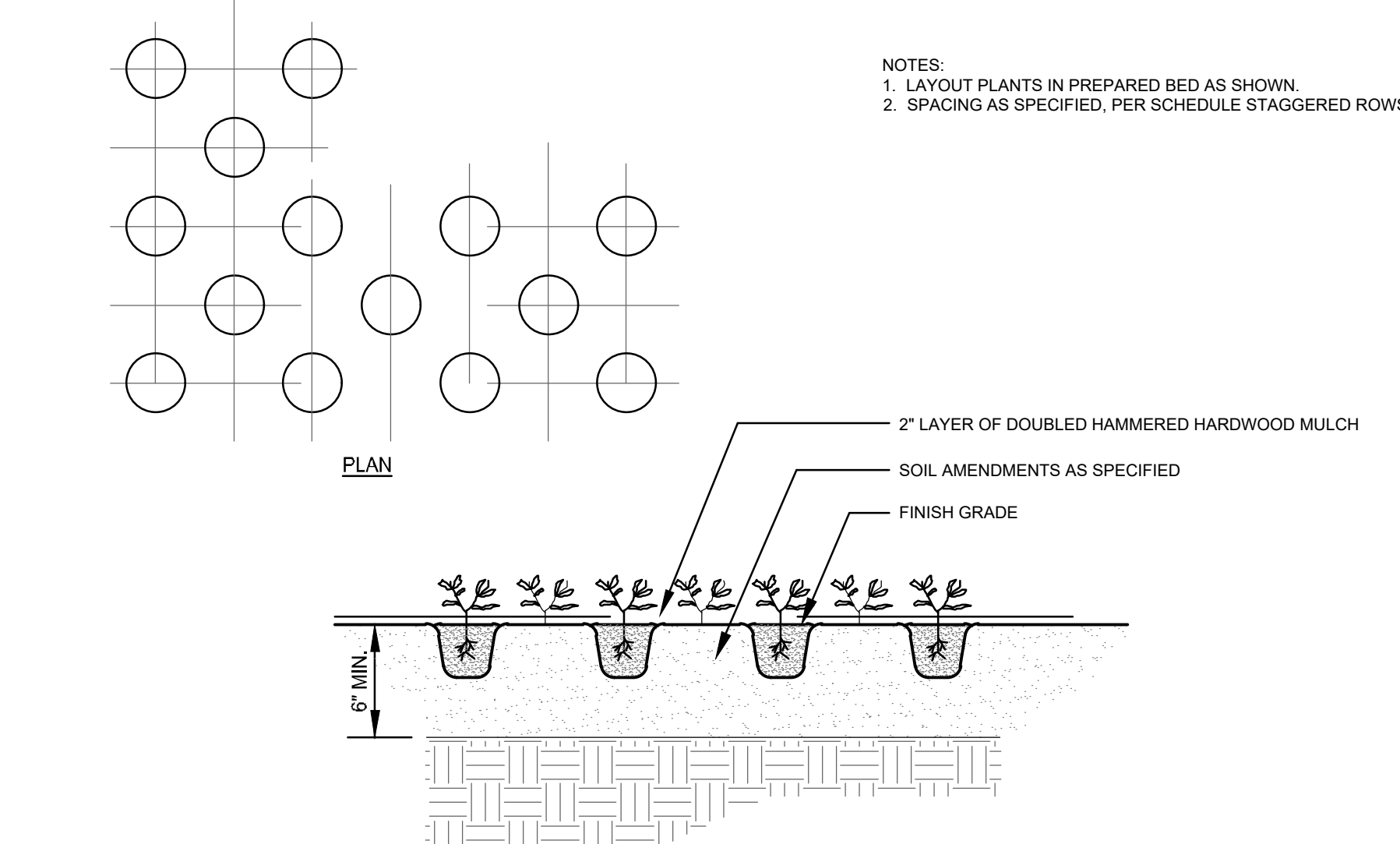
- NOTES:  
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.  
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.  
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.  
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.  
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.  
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.  
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.  
8. RESEED UNMULCHED, DISTURBED AREAS.  
9. DO NOT COVER ROOT CROWN.



EVERGREEN TREE PLANTING

PLAN, SECTION

NTS

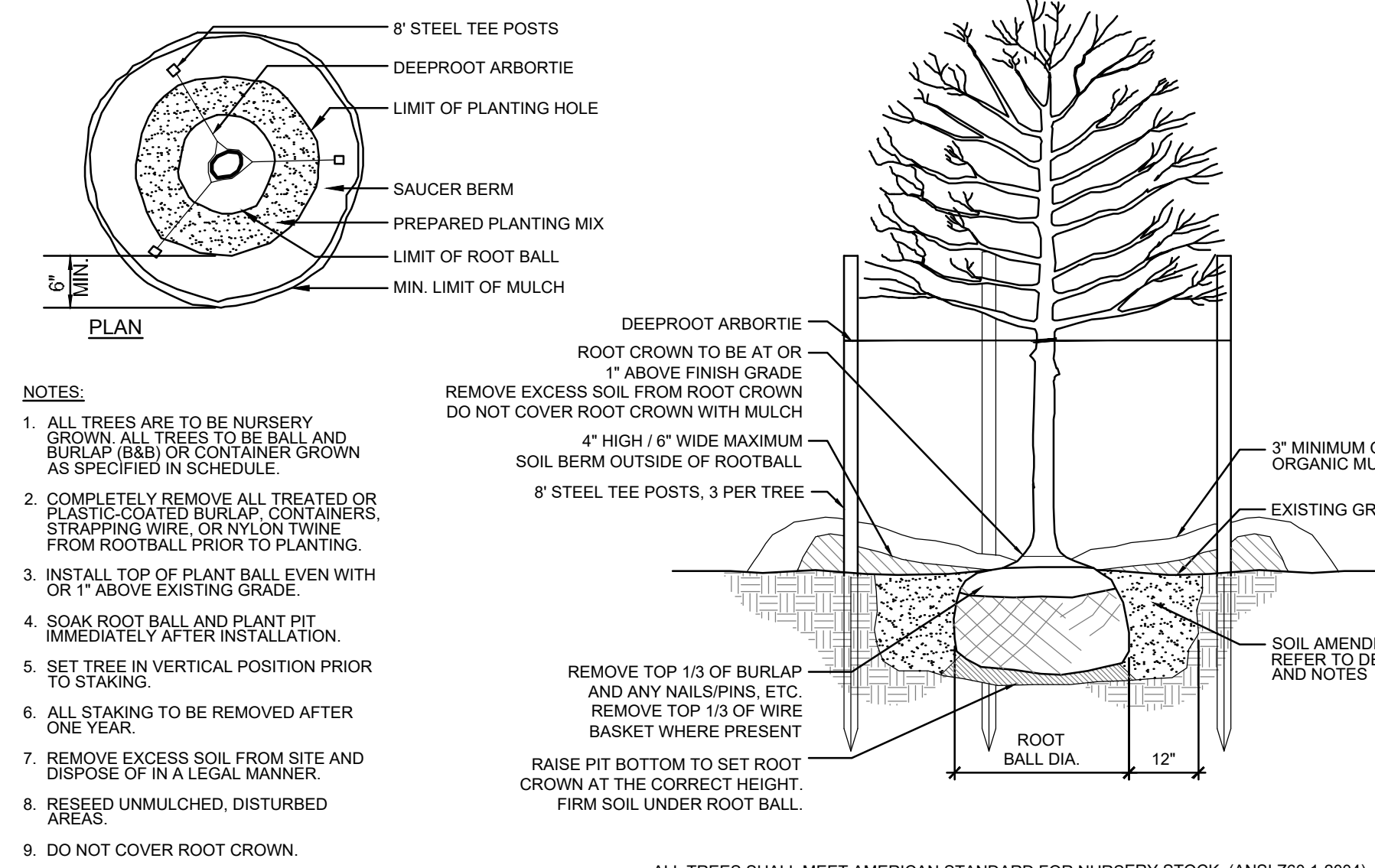


GROUND COVER PLANTING

PLAN, SECTION

NTS

NOTES:  
1. LAYOUT PLANTS IN PREPARED BED AS SHOWN.  
2. SPACING AS SPECIFIED, PER SCHEDULE STAGGERED ROWS.



TREE PLANTING

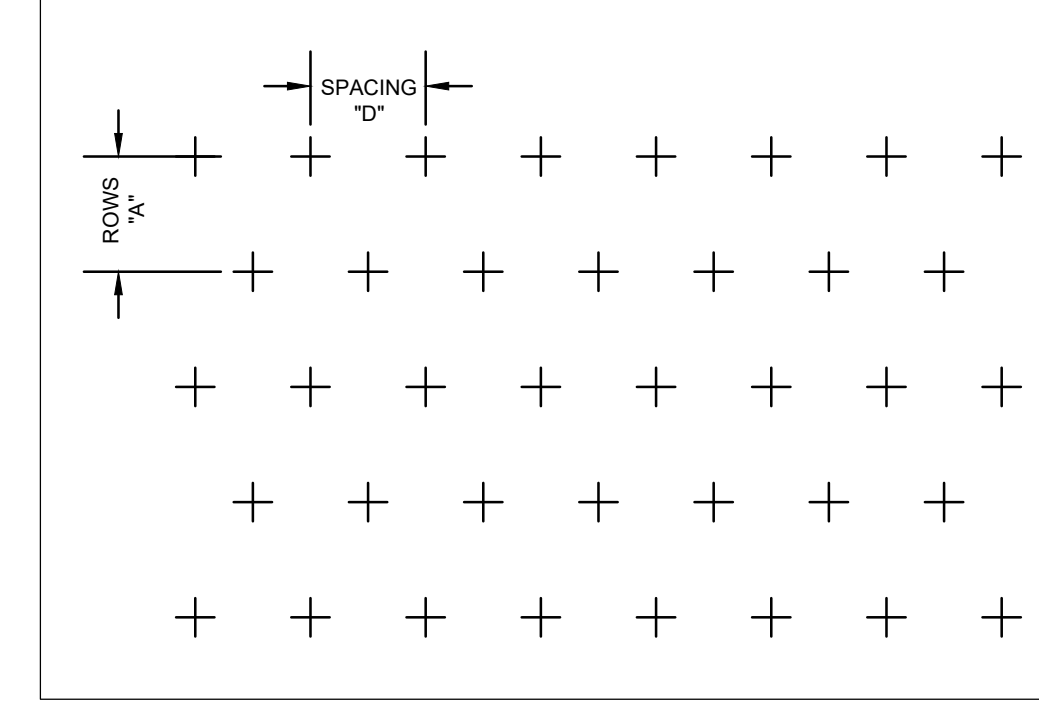
PLAN, SECTION

NTS

- NOTES:  
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.  
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.  
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.  
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.  
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.  
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.  
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.  
8. RESEED UNMULCHED, DISTURBED AREAS.  
9. DO NOT COVER ROOT CROWN.

ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

FOR EXAMPLE:	CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
	2"	12-14'	16'	24"	16"
	3"	14-16'	18'	32"	21"



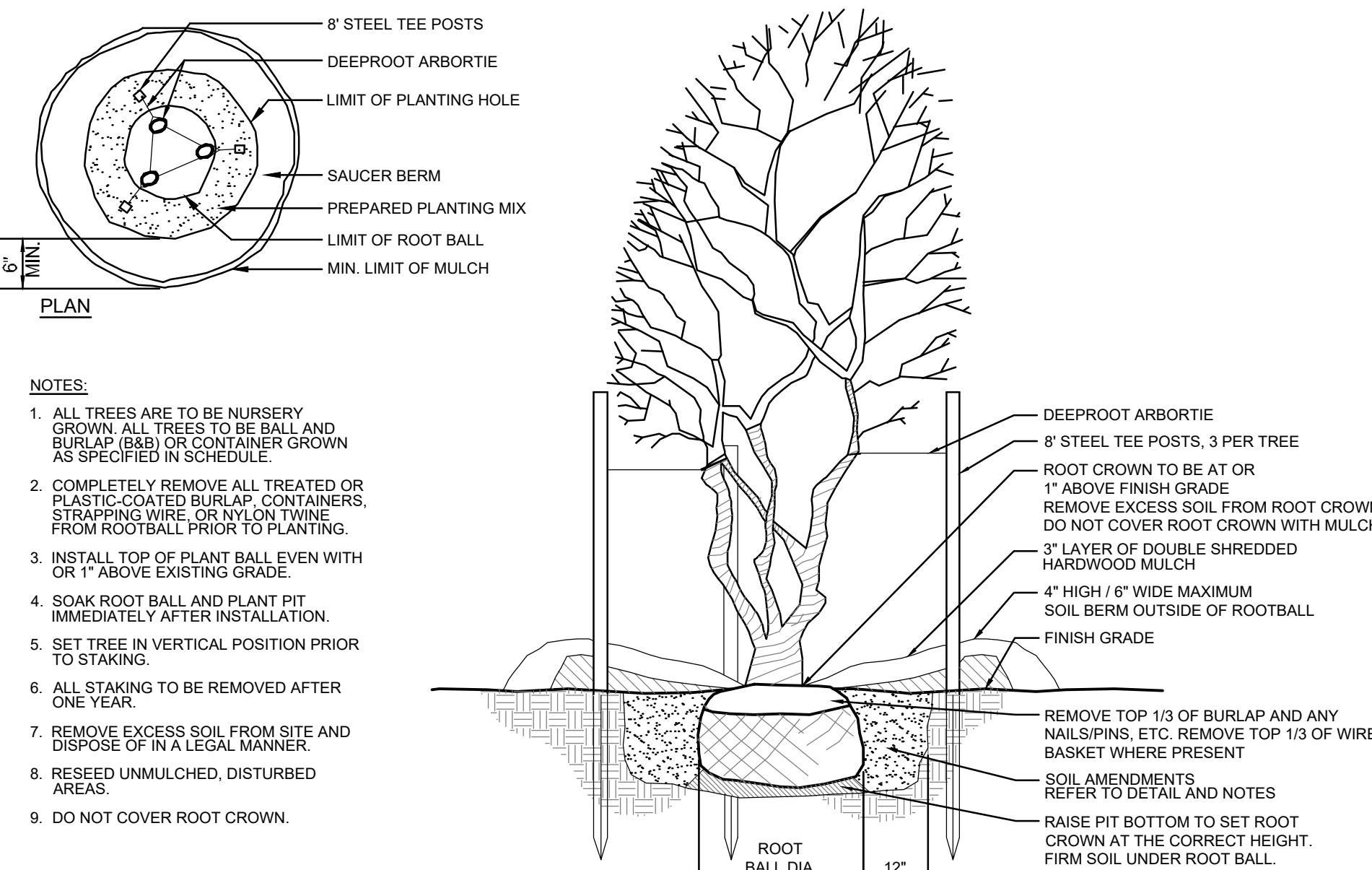
PLANT SPACING CHART

SPACING "D"	ROW "A"	PLANTS / S.F.
6" O.C.	5 3/16" O.C.	4.61
8" O.C.	6 15/16" O.C.	2.60
10" O.C.	8 2/3" O.C.	1.66
12" O.C.	10 3/8" O.C.	1.15
15" O.C.	13" O.C.	0.73
18" O.C.	15 9/16" O.C.	0.51
24" O.C.	20 13/16" O.C.	0.29

TRIANGULAR SPACING FOR  
SHRUBS & GROUND COVERS

PLAN

NTS

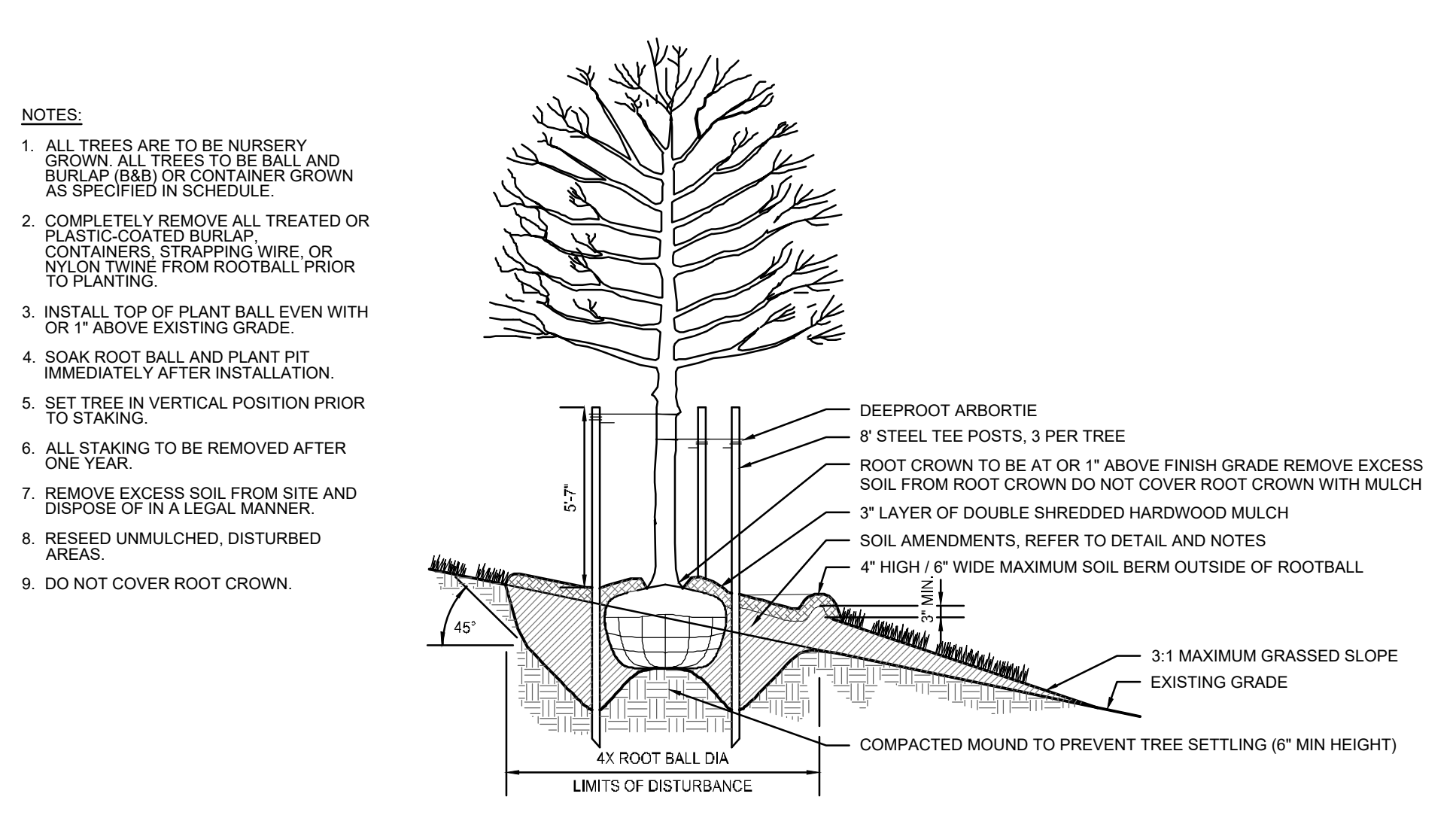


- NOTES:  
1. ALL TREES ARE TO BE NURSERY GROWN. ALL TREES TO BE BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN SCHEDULE.  
2. COMPLETELY REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, CONTAINERS, STRAPPING WIRE, OR NYLON TWINE FROM ROOTBALL PRIOR TO PLANTING.  
3. INSTALL TOP OF PLANT BALL EVEN WITH OR 1" ABOVE EXISTING GRADE.  
4. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.  
5. SET TREE IN VERTICAL POSITION PRIOR TO STAKING.  
6. ALL STAKING TO BE REMOVED AFTER ONE YEAR.  
7. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.  
8. RESEED UNMULCHED, DISTURBED AREAS.  
9. DO NOT COVER ROOT CROWN.

MULTI-STEM TREE

PLAN, SECTION

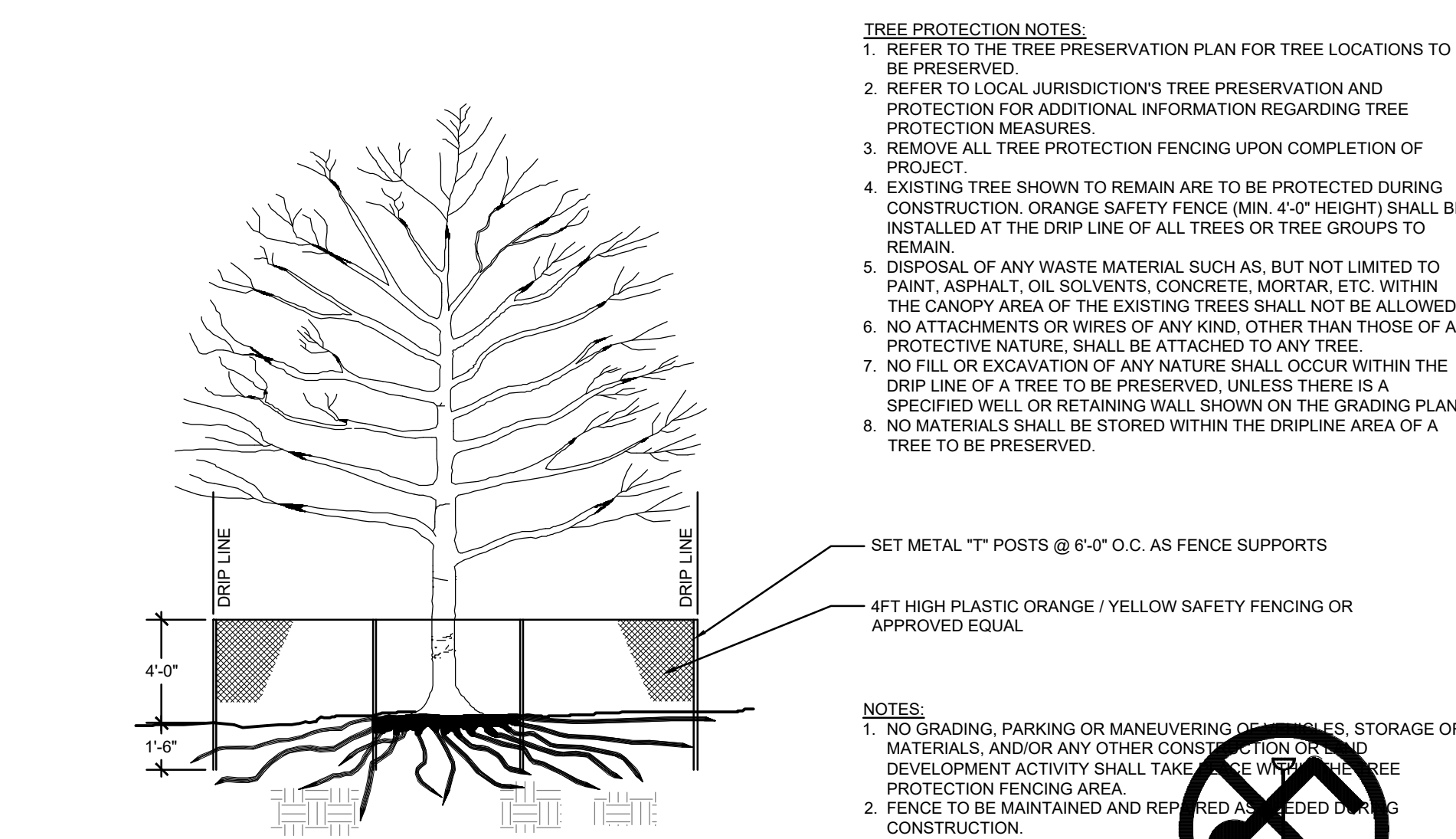
NTS



TREE PLANTING ON SLOPE

SECTION

NTS



TREE PROTECTION FENCE

SECTION

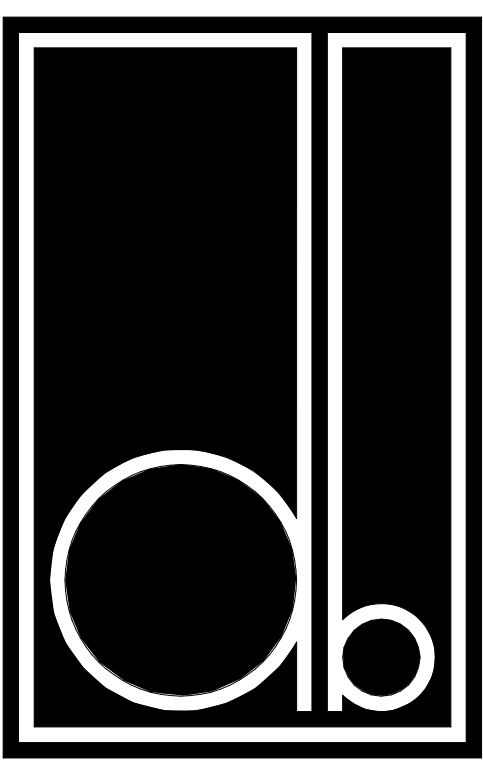
NTS

- TREE PROTECTION NOTES:  
1. REFER TO THE TREE PRESERVATION PLAN FOR TREE LOCATIONS TO BE PRESERVED.  
2. REFER TO LOCAL JURISDICTION'S TREE PRESERVATION AND PROTECTION FOR ADDITIONAL INFORMATION REGARDING TREE PROTECTION MEASURES.  
3. REMOVE ALL TREE PROTECTION FENCING UPON COMPLETION OF PROJECT.  
4. EXISTING TREE SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE SAFETY FENCE (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN.  
5. DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.  
6. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.  
7. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.  
8. NO MATERIALS SHALL BE STORED WITHIN THE DRIPLENE AREA OF A TREE TO BE PRESERVED.

- NOTES:  
1. NO GRADING, PARKING OR MANEUVERING OF EQUIPMENT, STORAGE OF MATERIALS, AND/OR ANY OTHER CONSTRUCTION OR LAND DEVELOPMENT ACTIVITY SHALL TAKE PLACE WITHIN TREE PROTECTION FENCING AREA.  
2. FENCE TO BE MAINTAINED AND REPAIRED AS NEEDED DURING CONSTRUCTION.







DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

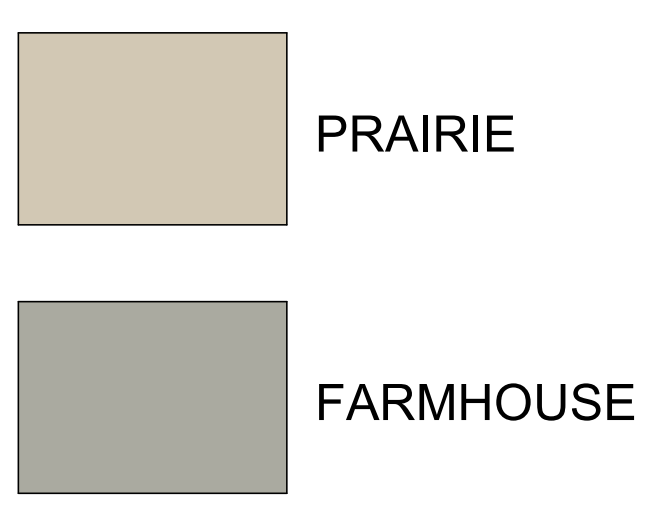
REVISIONS:

SHEET TITLE:

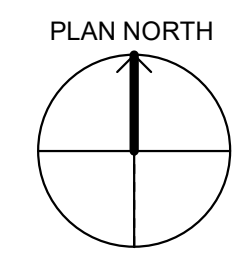
SITE PLAN

SHEET NAME:  
G1.1

Building Types & Unit Mix							
Building Type (# of Levels)	# of Bldgs	Attached & Detached	Unit Type (# of Bedrooms)				# of Units
			1-BDRM	2-BDRM	3-BDRM	4-BDRM	
1 (ONE STORY)	17	Duplex	17	17			34
2 (ONE STORY)	1	Duplex		2			2
3 (TWO STORY)	4	Detached		4			4
4 (TWO STORY)	15	Duplex		30			30
5 (TWO STORY)	4	Detached		4			4
6 (TWO STORY)	1	Duplex		2			2
7 (TWO STORY)	4	Duplex			8		8
8 (TWO STORY)	4	Duplex				8	8
9 (TWO STORY)	2	Multi (4 & 5)			9		9
10 (TWO STORY)	2	Multi (4)				8	8
11 (ONE STORY)	1	Detached		1			1
<b>Total Residential:</b>	<b>55</b>		<b>17</b>	<b>60</b>	<b>17</b>	<b>16</b>	<b>110</b>
			15.5%	54.5%	15.5%	14.5%	
CLUBHOUSE	1						
<b>Total Buildings:</b>	<b>56</b>						



1 SITE PLAN  
G1.1 1" = 40'-0"

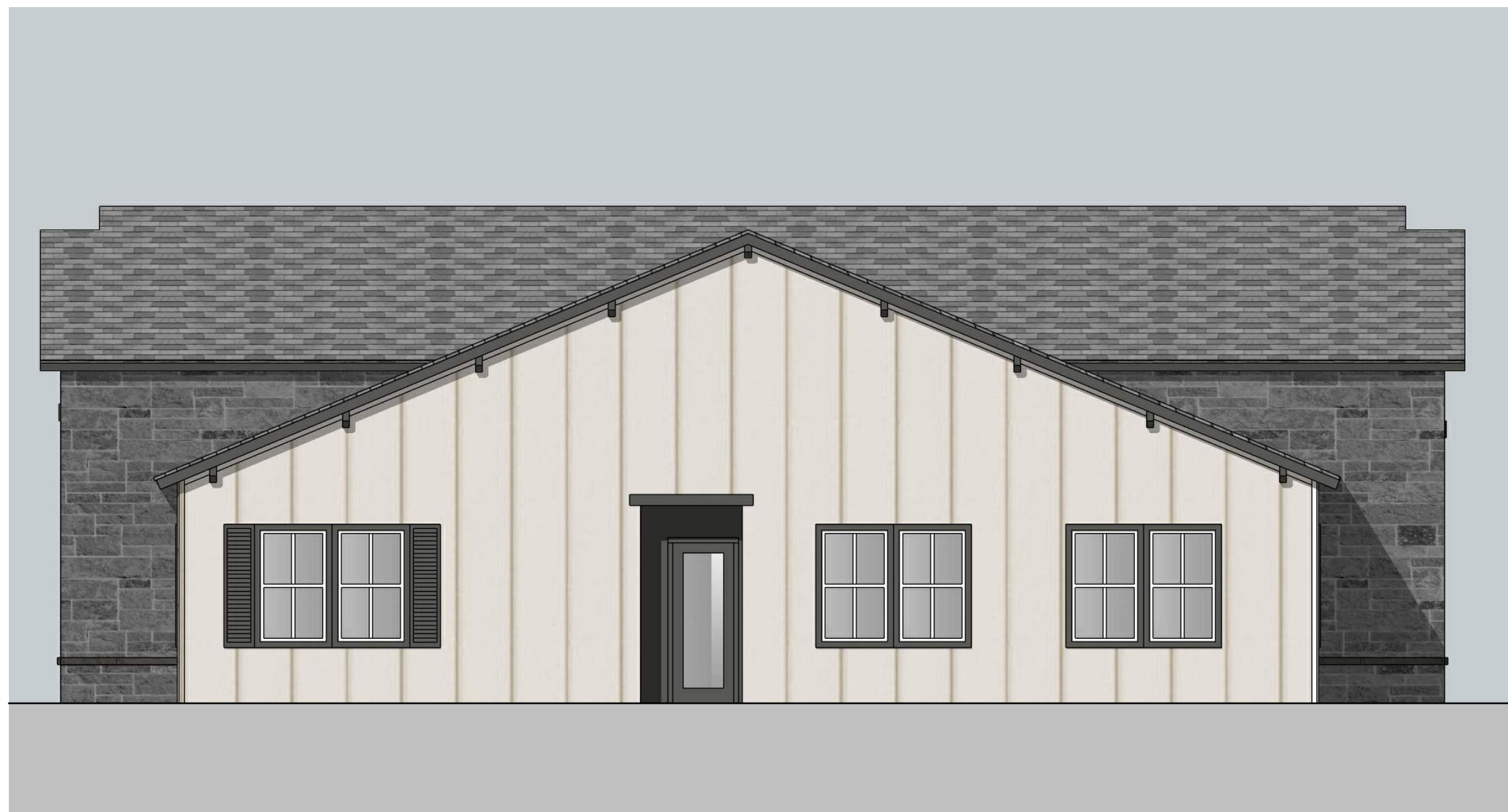




6 CLUBHOUSE - 3D VIEW - REAR  
A2.0-R



5 CLUBHOUSE - 3D VIEW - FRONT  
A2.0-R



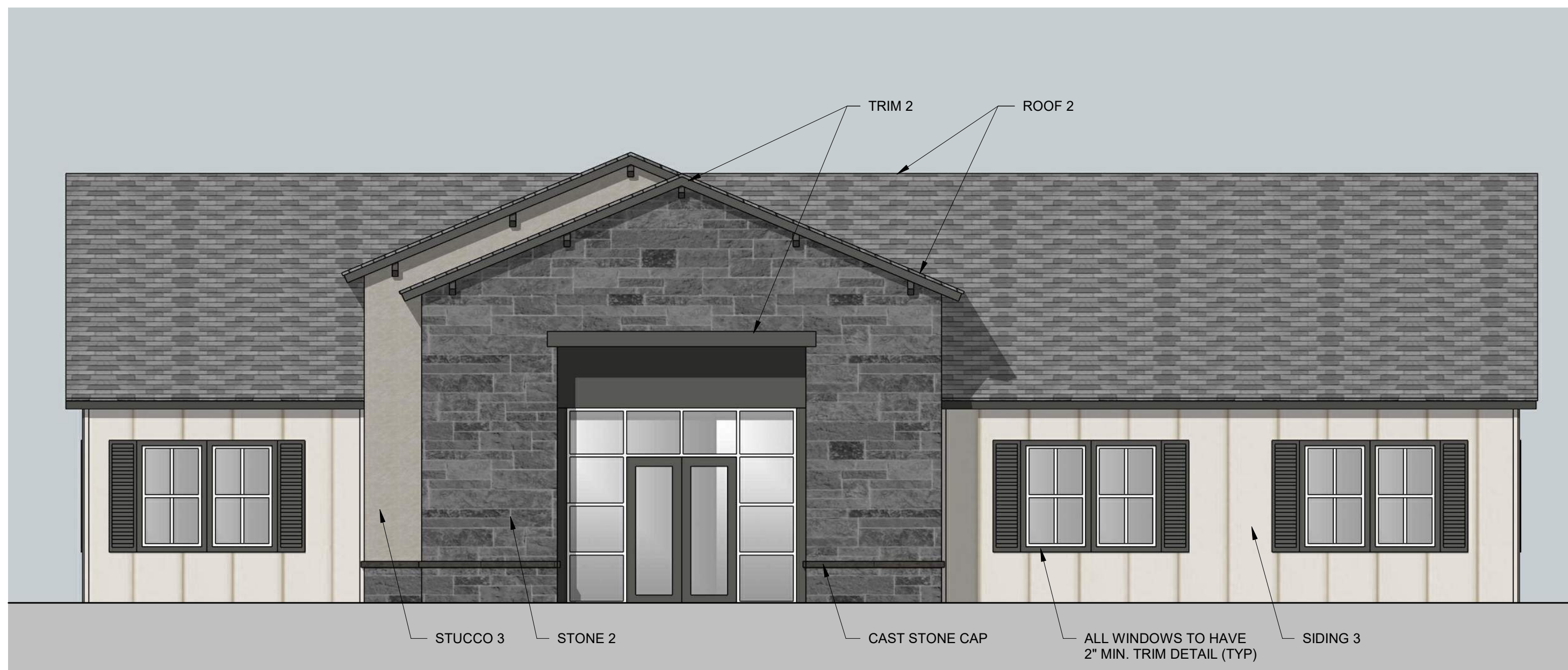
4 CLUBHOUSE - RIGHT  
A2.0-R



3 CLUBHOUSE - REAR  
A2.0-R

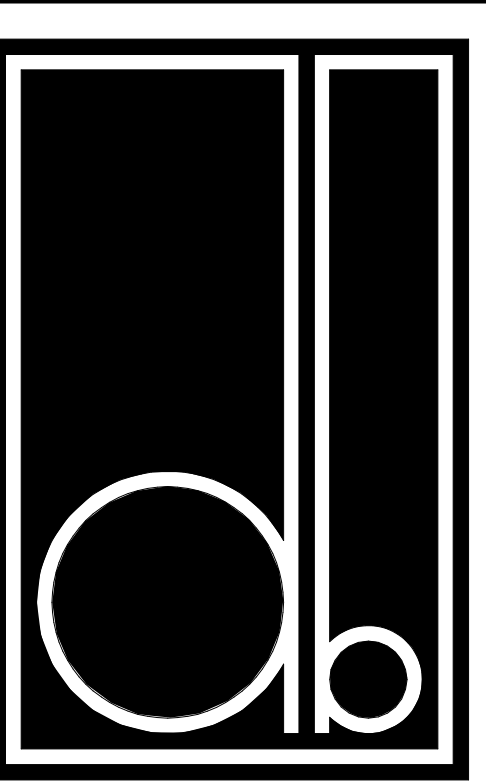


2 CLUBHOUSE - LEFT  
A2.0-R



1 CLUBHOUSE - FRONT  
A2.0-R

CLUBHOUSE - FARMHOUSE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

CLUBHOUSE  
ELEVATIONS

SHEET NAME:

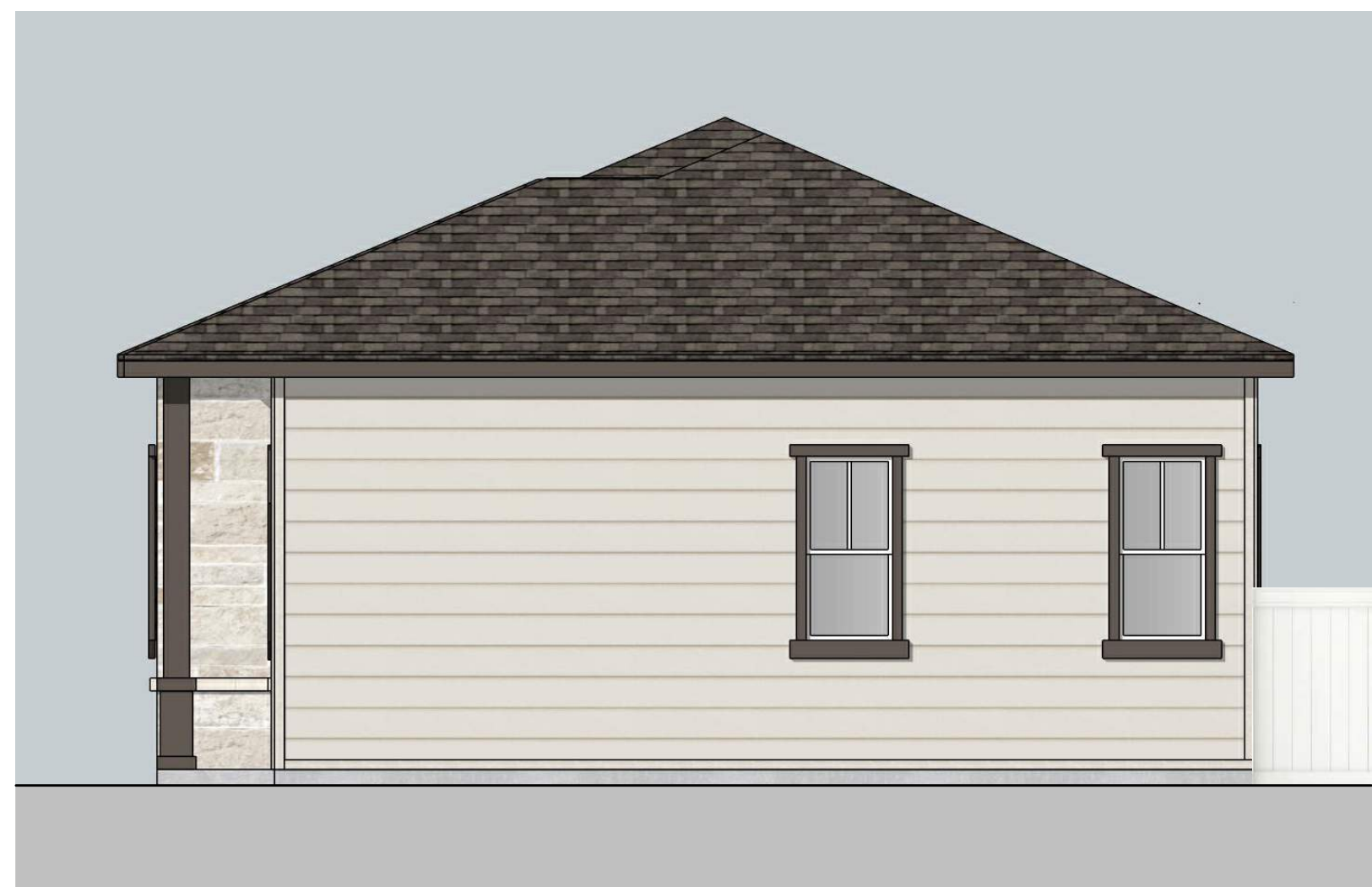
A2.0-R



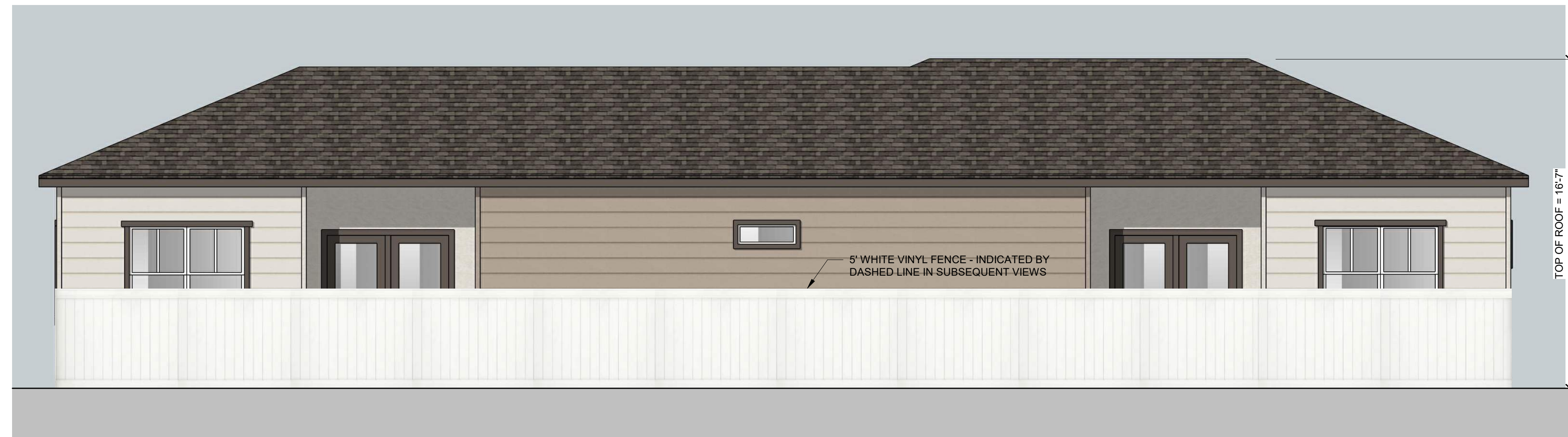
6 BUILDING TYPE 1 - 3D VIEW - REAR  
A2.1A-R



5 BUILDING TYPE 1 - 3D VIEW - FRONT  
A2.1A-R



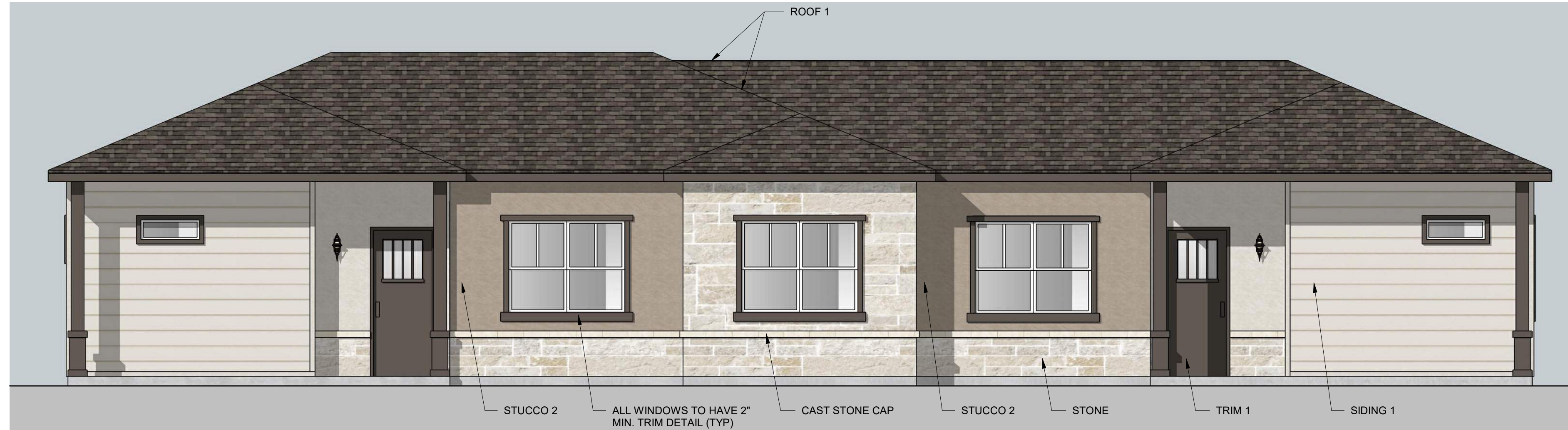
4 BUILDING TYPE 1 - RIGHT  
A2.1A-R  
LARGE WINDOWS @ "A" - REFER TO SITE PLAN



3 BUILDING TYPE 1 - REAR  
A2.1A-R

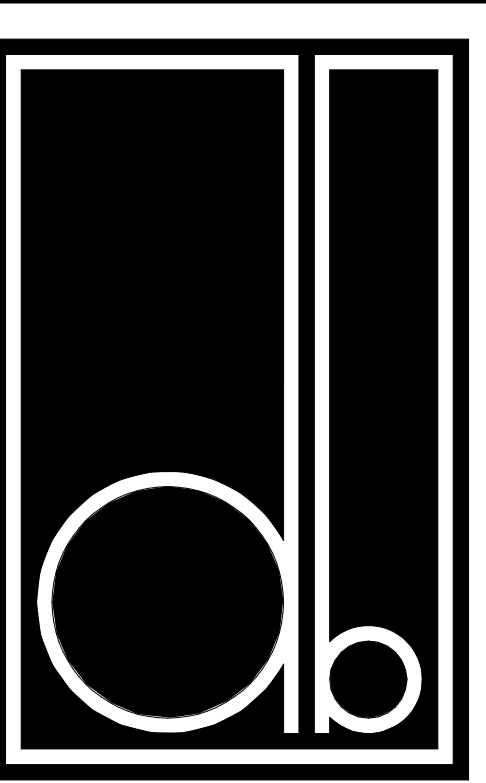


2 BUILDING TYPE 1 - LEFT  
A2.1A-R  
SMALL WINDOWS @ "B" - REFER TO SITE PLAN



1 BUILDING TYPE 1 - FRONT  
A2.1A-R

UNITS A1 + A2 DUPLEX - PRAIRIE



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2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

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20033

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08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 1  
ELEVATIONS

SHEET NAME:

A2.1A-R





6 BUILDING TYPE 1 - 3D VIEW - REAR  
A2.1B-R



5 BUILDING TYPE 1 - 3D VIEW - FRONT  
A2.1B-R



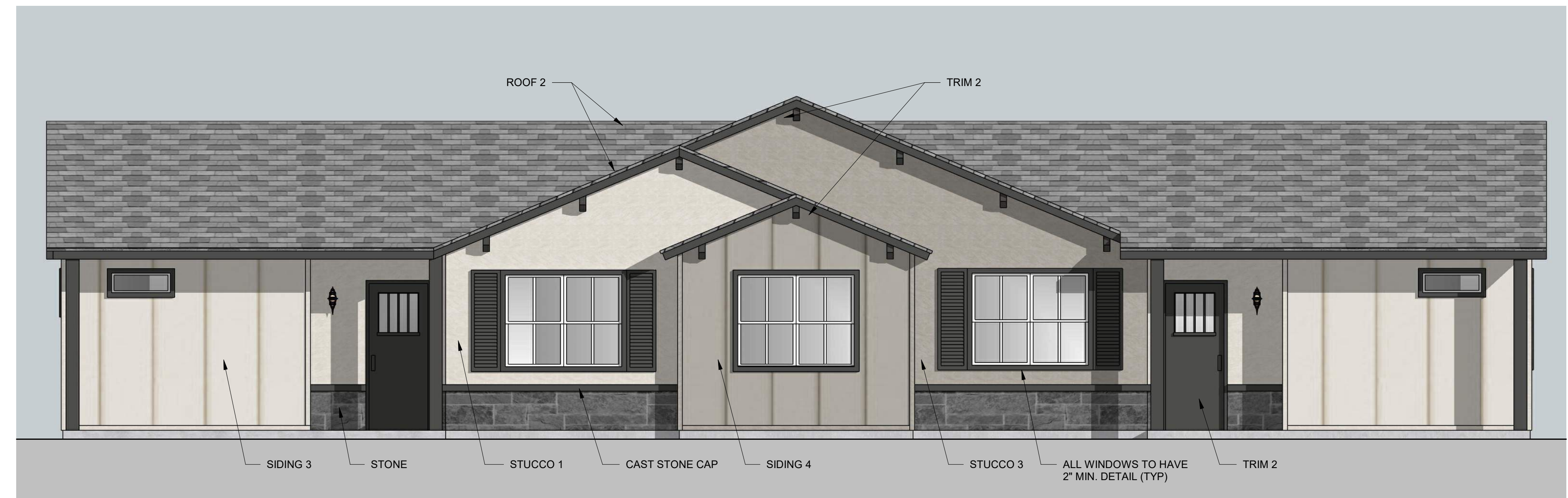
4 BUILDING TYPE 1 - RIGHT  
A2.1B-R  
LARGE WINDOWS @ "A" - REFER TO SITE PLAN



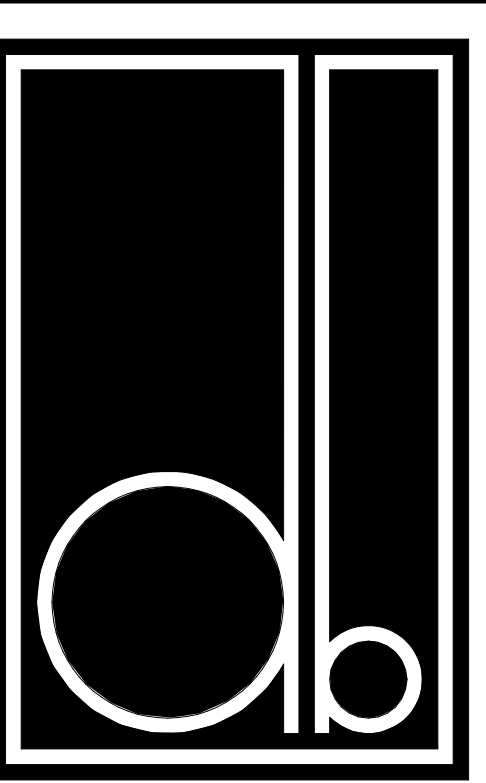
3 BUILDING TYPE 1 - REAR  
A2.1B-R



2 BUILDING TYPE 1 - LEFT  
A2.1B-R  
SMALL WINDOWS @ "B" - REFER TO SITE PLAN



1 BUILDING TYPE 1 - FRONT  
A2.1B-R



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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

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20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 1  
ELEVATIONS

SHEET NAME:

A2.1B-R

UNITS A1 + A2 DUPLEX - FARMHOUSE



6 BUILDING TYPE 2 - 3D VIEW- REAR



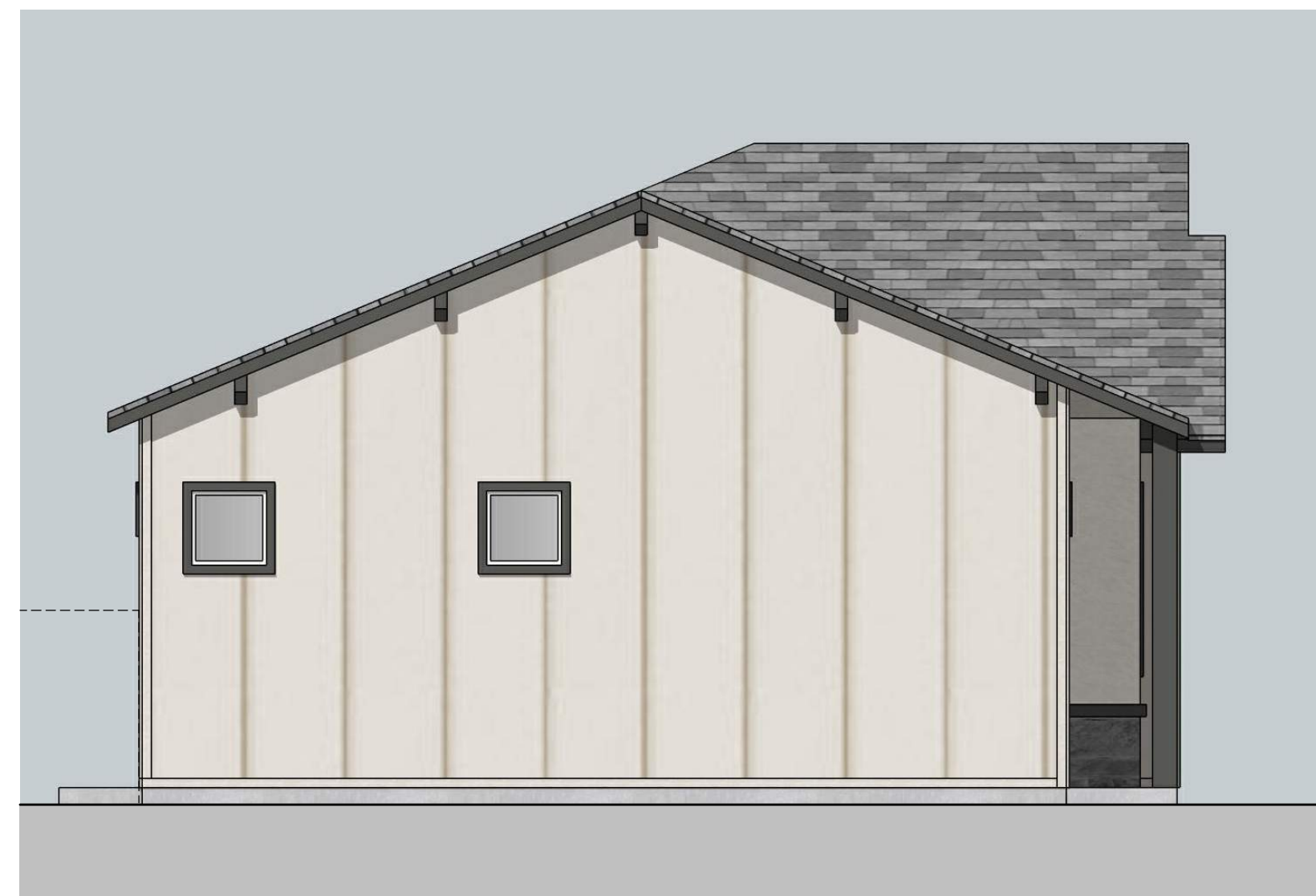
5 BUILDING TYPE 2 - 3D VIEW - REAR



4 BUILDING TYPE 2 - RIGHT  
LARGE WINDOWS @ "A" - REFER TO SITE PLAN



3 BUILDING TYPE 2 - REAR



2 BUILDING TYPE 2 - LEFT  
SMALL WINDOWS @ "B" - REFER TO SITE PLAN



1 BUILDING TYPE 2 - FRONT

UNITS A2 + A2 DUPLEX - FARMHOUSE



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2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

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20033

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REVISIONS:

SHEET TITLE:

BLDG TYPE 2  
ELEVATIONS

SHEET NAME:

A2.2-R



6 BUILDING TYPE 3 - 3D VIEW - REAR  
A2.3-R



4 BUILDING TYPE 3 - RIGHT  
A2.3-R



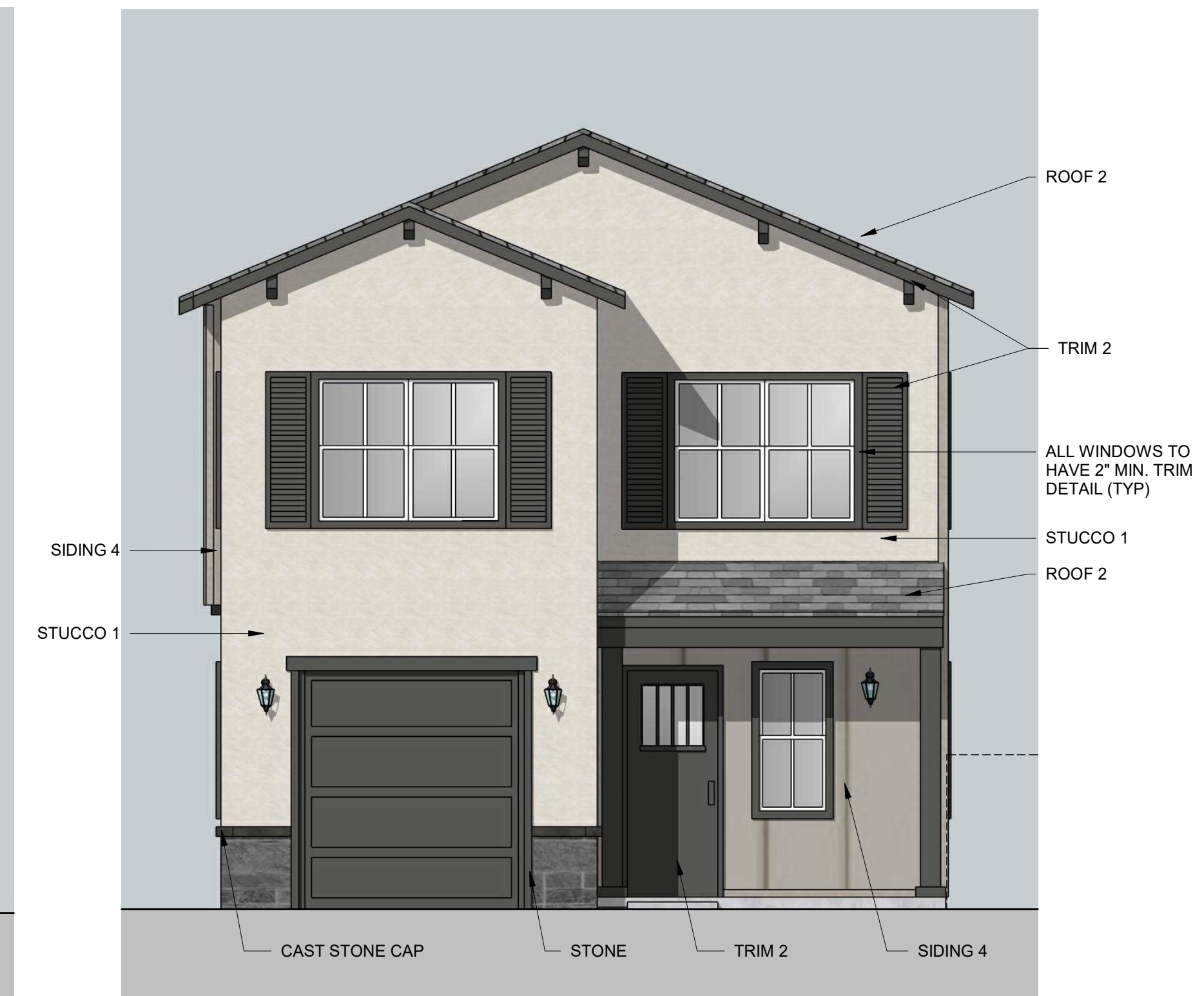
3 BUILDING TYPE 3 - REAR  
A2.3-R



5 BUILDING TYPE 3 - 3D VIEW - FRONT  
A2.3-R



2 BUILDING TYPE 3 - LEFT  
A2.3-R



1 BUILDING TYPE 3 - FRONT  
A2.3-R

UNIT B1 - FARMHOUSE



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214.668.2306

OWNER:



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5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

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20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 3  
ELEVATIONS

SHEET NAME:

A2.3-R



6 BUILDING TYPE 4 - 3D VIEW - REAR



5 BUILDING TYPE 4 - 3D VIEW - FRONT



4 BUILDING TYPE 4 - RIGHT



3 BUILDING TYPE 4 - REAR

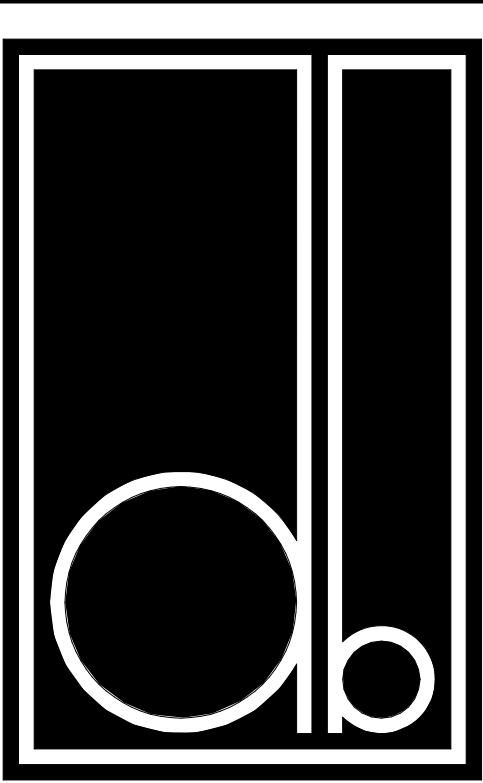


2 BUILDING TYPE 4 - LEFT



1 BUILDING TYPE 4 - FRONT

UNITS B1 + B1 DUPLEX - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
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ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

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08.17.22

REVISIONS:

SHEET TITLE:  
BLDG TYPE 4  
ELEVATIONS

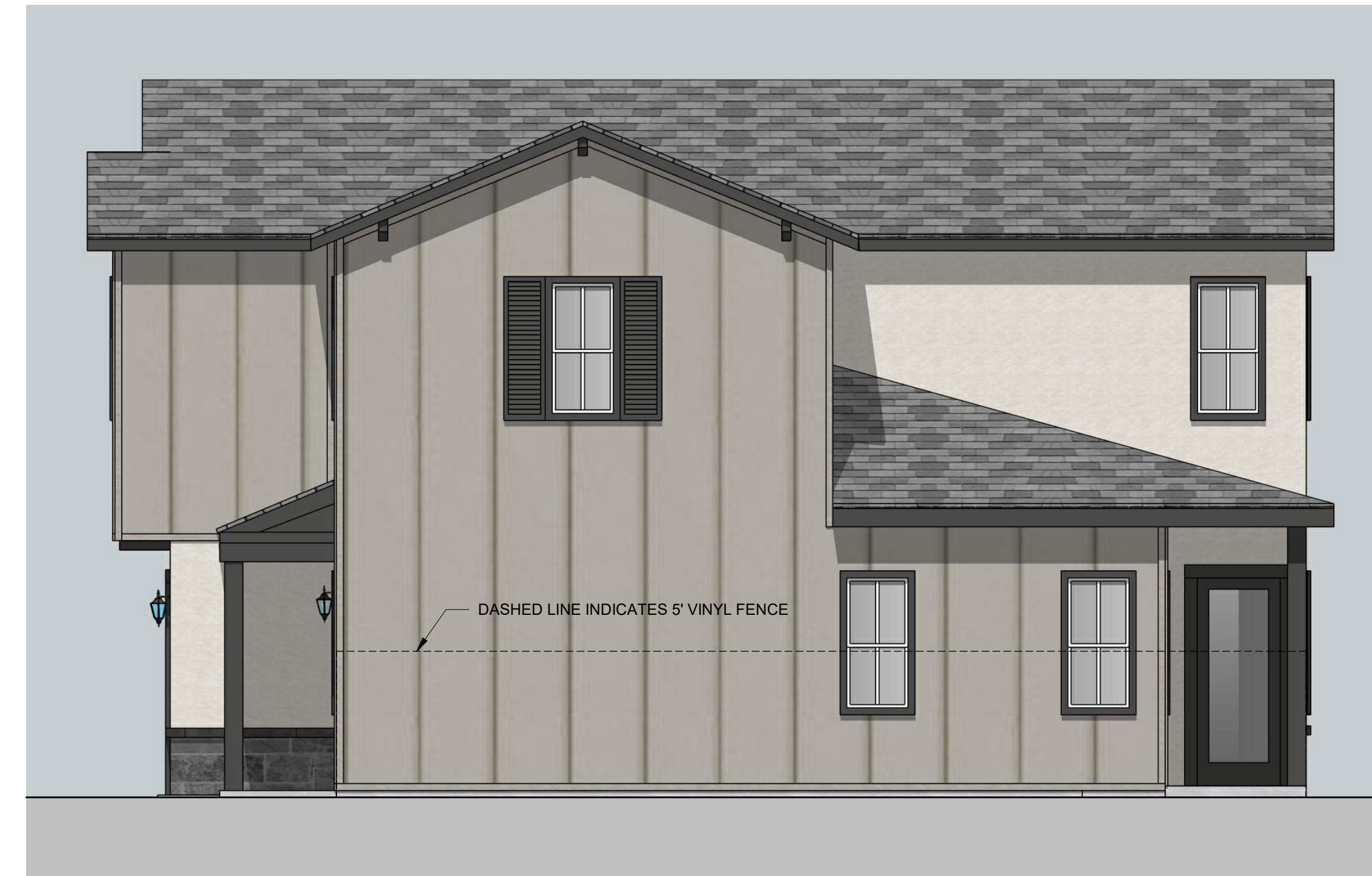
SHEET NAME:  
A2.4A-R



6 BUILDING TYPE 4 - 3D VIEW - REAR  
A2.4B-R



5 BUILDING TYPE 4 - 3D VIEW - FRONT  
A2.4B-R



4 BUILDING TYPE 4 - RIGHT  
A2.4B-R



3 BUILDING TYPE 4 - REAR  
A2.4B-R

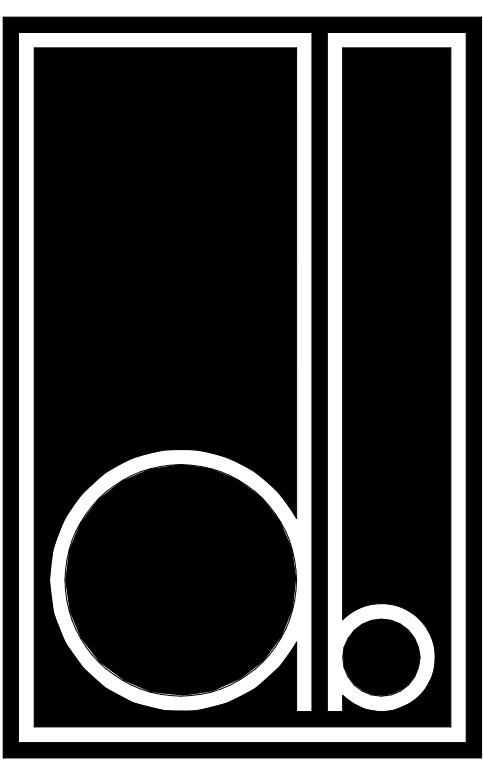


2 BUILDING TYPE 4 - LEFT  
A2.4B-R

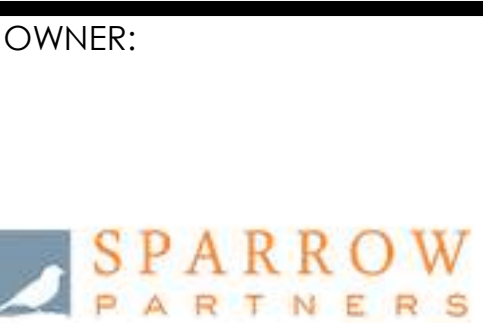


1 BUILDING TYPE 4 - FRONT  
A2.4B-R

UNITS B1 + B1 DUPLEX - FARMHOUSE



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5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

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PROJECT NUMBER:  
20033

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REVISIONS:

SHEET TITLE:  
BLDG TYPE 4  
ELEVATIONS

SHEET NAME:  
A2.4B-R



6 BUILDING TYPE 5 - 3D VIEW - REAR  
A2.5-R



4 BUILDING TYPE 5 - RIGHT  
A2.5-R



3 BUILDING TYPE 5 - REAR  
A2.5-R



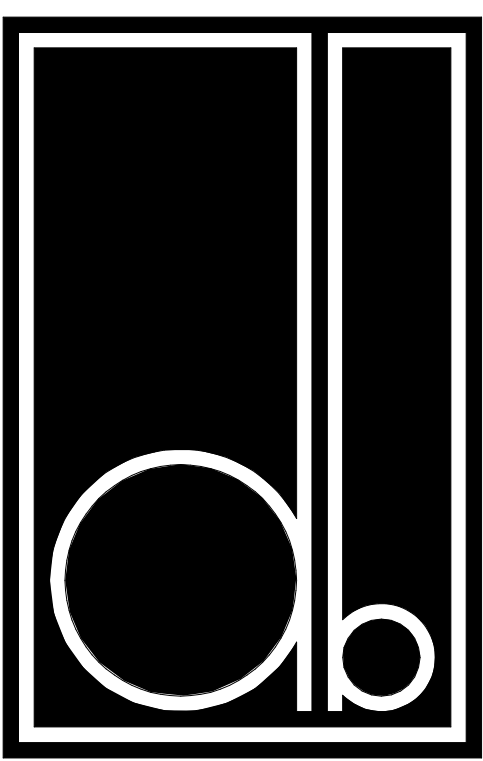
5 BUILDING TYPE 5 - 3D VIEW - FRONT  
A2.5-R



2 BUILDING TYPE 5 - LEFT  
A2.5-R



1 BUILDING TYPE 5 - FRONT  
A2.5-R



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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

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20033

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08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 5  
ELEVATIONS

SHEET NAME:

A2.5-R

UNIT B2 - FARMHOUSE



6 BUILDING TYPE 6 - 3D VIEW - REAR  
A2.6-R



5 BUILDING TYPE 6 - 3D VIEW - FRONT  
A2.6-R



4 BUILDING TYPE 6 - RIGHT  
A2.6-R



3 BUILDING TYPE 6 - REAR  
A2.6-R

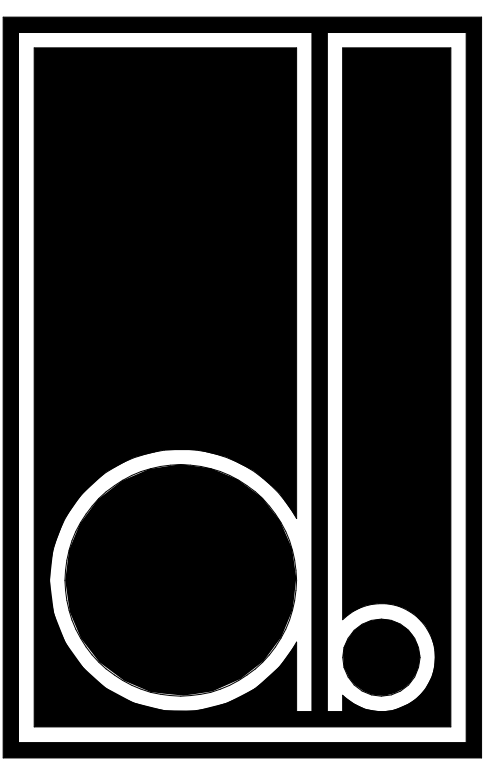


2 BUILDING TYPE 6 - LEFT  
A2.6-R



1 BUILDING TYPE 6 - FRONT  
A2.6-R

UNIT B2 + B2 DUPLEX - FARMHOUSE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

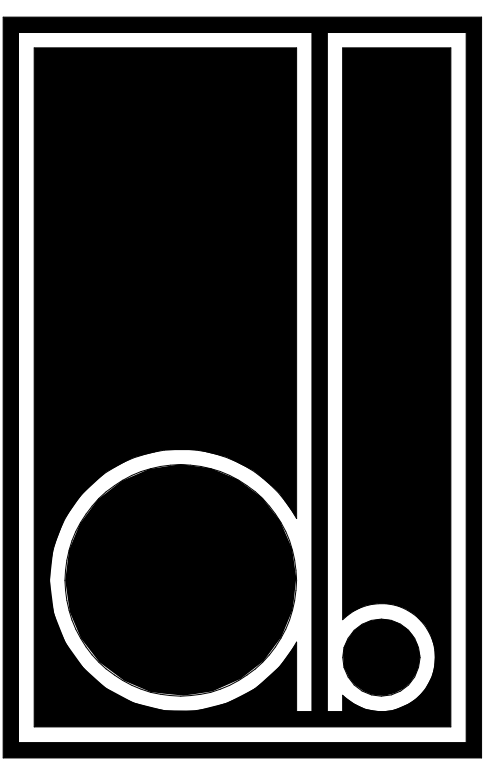
REVISIONS:

SHEET TITLE:

BLDG TYPE 6  
ELEVATIONS

SHEET NAME:

A2.6-R



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

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08.17.22

REVISIONS:  
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SHEET TITLE:

BLDG TYPE 7  
ELEVATIONS

SHEET NAME:

A2.7-R



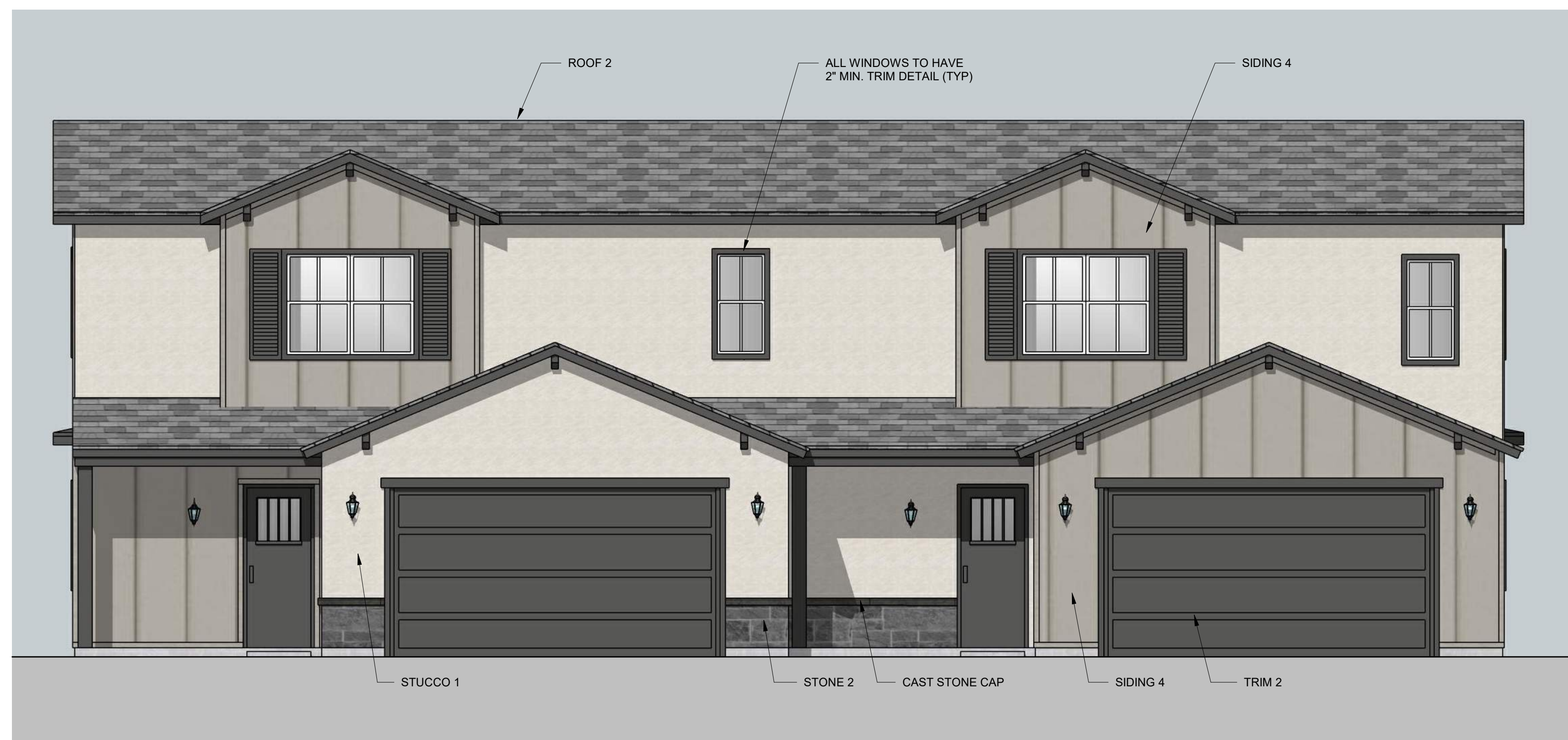
4 BUILDING TYPE 7 - RIGHT  
A2.7-R



3 BUILDING TYPE 7 - REAR  
A2.7-R



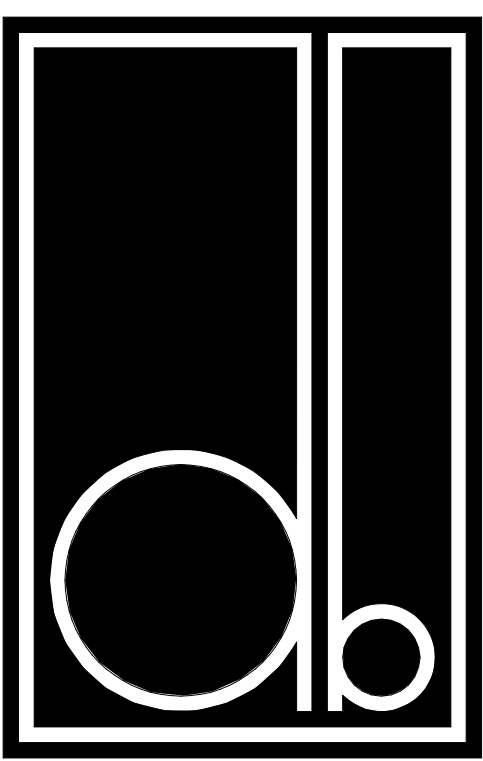
2 BUILDING TYPE 7 - LEFT  
A2.7-R



1 BUILDING TYPE 7 - FRONT  
A2.7-R

UNIT C1 - FARMHOUSE





DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

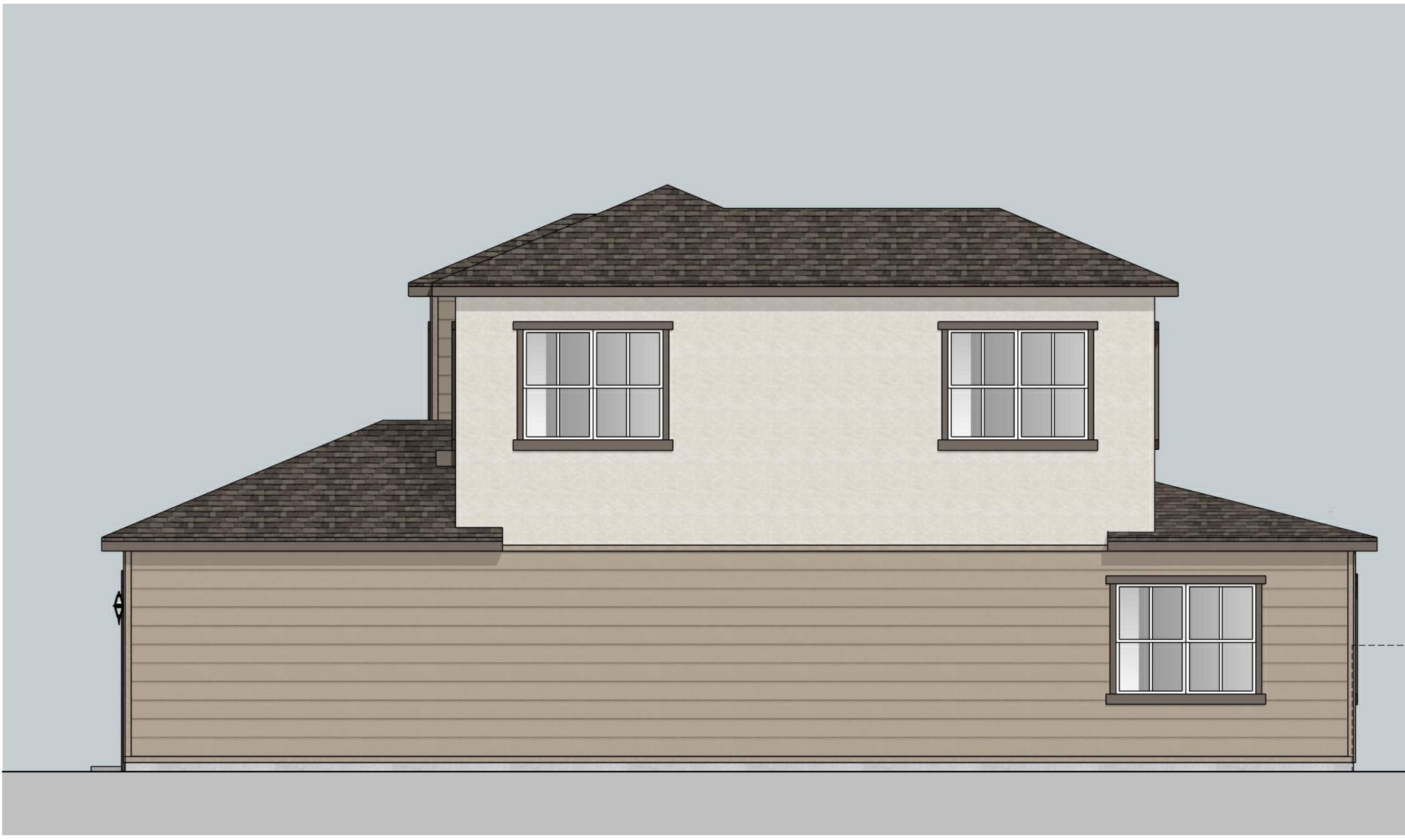
PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:


SHEET TITLE:  
BLDG TYPE 8  
ELEVATIONS

SHEET NAME:  
A2.8A-R



4 BUILDING TYPE 8 - RIGHT  
A2.8A-R



3 BUILDING TYPE 8 - REAR  
A2.8A-R



2 BUILDING TYPE 8 - LEFT  
A2.8A-R



1 BUILDING TYPE 8 - FRONT  
A2.8A-R

UNIT C2 - PRAIRIE



4 BUILDING TYPE 8 - 3D VIEW - REAR  
A2.8C-R



3 BUILDING TYPE 8 - 3D VIEW - FRONT  
A2.8C-R



2 BUILDING TYPE 7 - 3D VIEW - REAR  
A2.8C-R



1 BUILDING TYPE 7 - 3D VIEW - FRONT  
A2.8C-R

3D VIEWS - PRAIRIE

3D VIEWS - FARMHOUSE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 7 & 8 3D  
VIEWS

SHEET NAME:

A2.8C-R



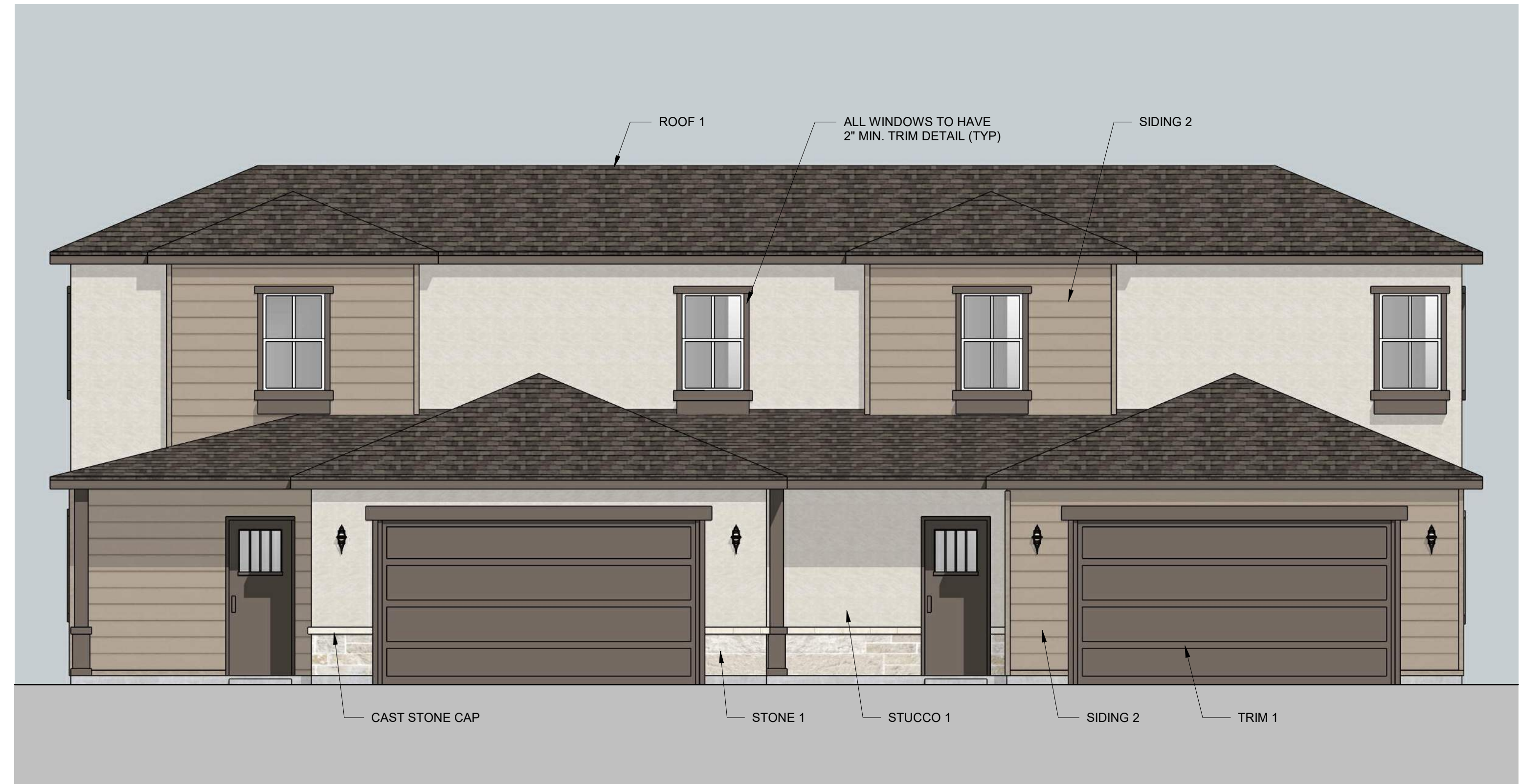
4 BUILDING TYPE 9 - RIGHT  
A2.9A-R



3 BUILDING TYPE 9 - REAR  
A2.9A-R



2 BUILDING TYPE 9 - LEFT  
A2.9A-R



1 BUILDING TYPE 9 - FRONT  
A2.9A-R

UNIT D1 - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 9  
ELEVATIONS

SHEET NAME:

A2.9A-R



4 BUILDING TYPE 9 - RIGHT  
A2.9B-R



3 BUILDING TYPE 9 - REAR  
A2.9B-R



2 BUILDING TYPE 9 - LEFT  
A2.9B-R



1 BUILDING TYPE 9 - FRONT  
A2.9B-R

UNIT D1 - FARMHOUSE



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ROCKWALL, TEXAS 75087  
214.668.2306

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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
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SEAL:

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20033

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REVISIONS:

SHEET TITLE:

BLDG TYPE 9  
ELEVATIONS

SHEET NAME:

A2.9B-R



4  
A2.9C-R  
BUILDING TYPE 9 - 3D VIEW - REAR



3  
A2.9C-R  
BUILDING TYPE 9 - 3D VIEW - FRONT

3D VIEWS - FARMHOUSE

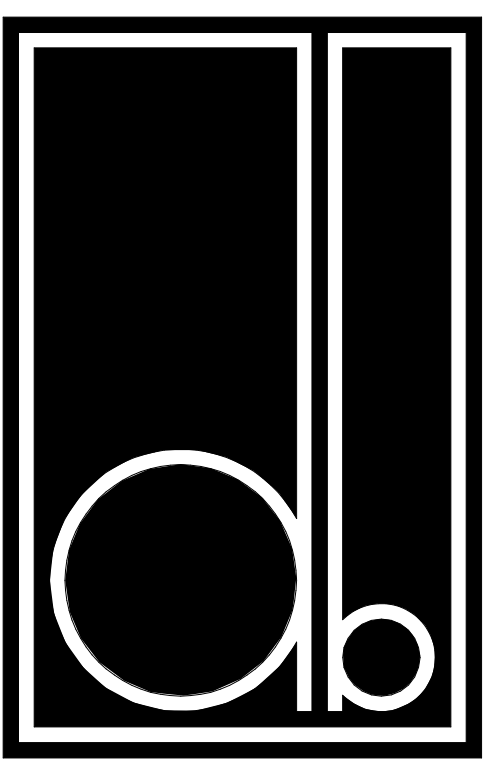


2  
A2.9C-R  
BUILDING TYPE 9 - 3D VIEW - REAR



1  
A2.9C-R  
BUILDING TYPE 9 - 3D VIEW - FRONT

3D VIEWS - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
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REVISIONS:  
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\_\_\_\_\_  
\_\_\_\_\_

SHEET TITLE:  
BLDG TYPE 9 3D  
VIEWS

SHEET NAME:  
A2.9C-R



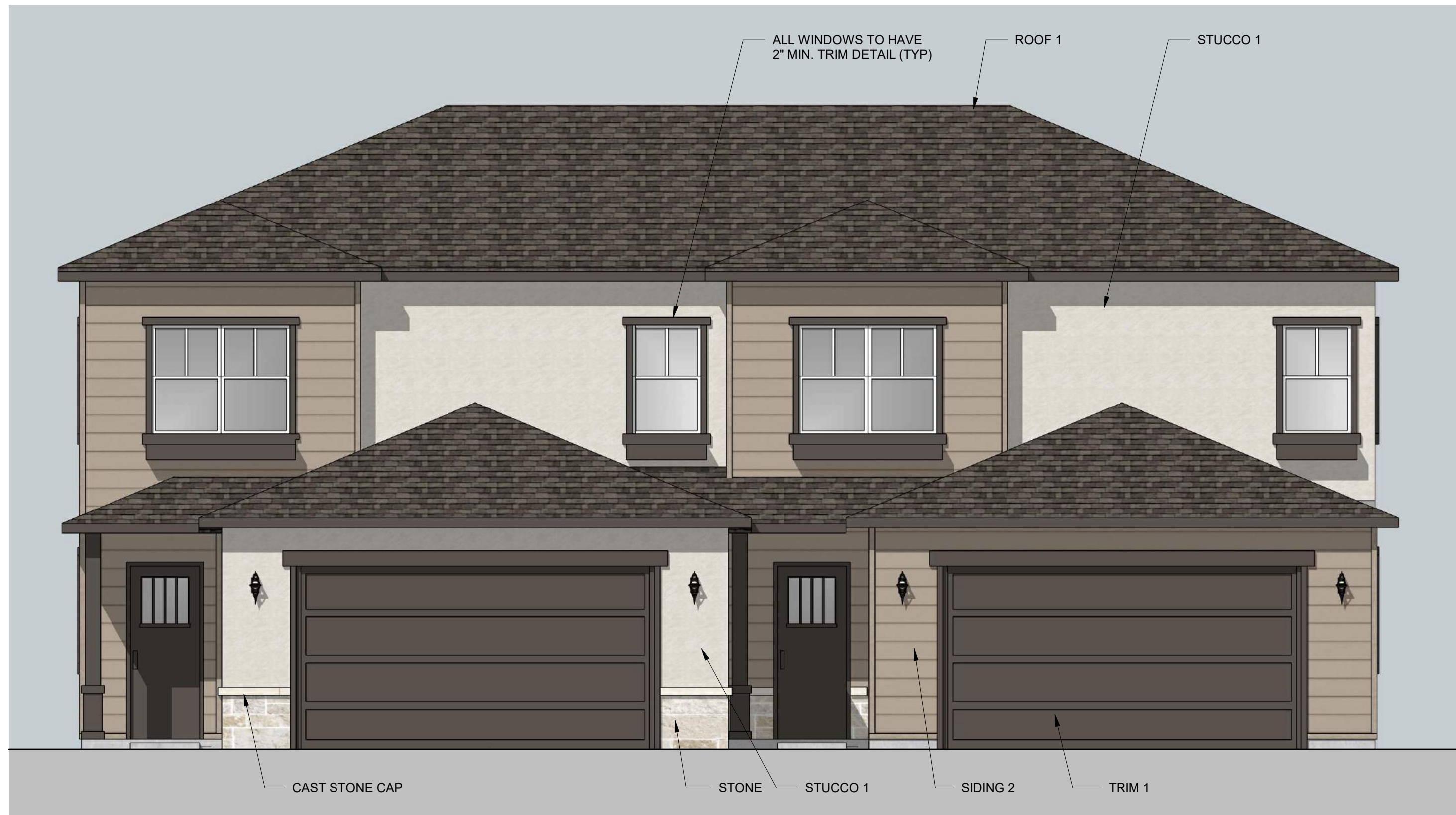
4 BUILDING TYPE 10 - RIGHT  
A2.10A-R



3 BUILDING TYPE 10 - REAR  
A2.10A-R

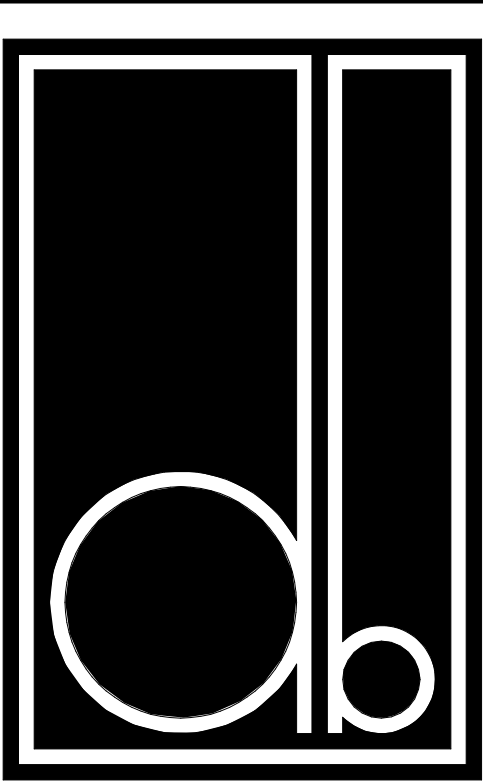


2 BUILDING TYPE 10 - LEFT  
A2.10A-R



1 BUILDING TYPE 10 - FRONT  
A2.10A-R

UNIT D2 - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306



OWNER:  
SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

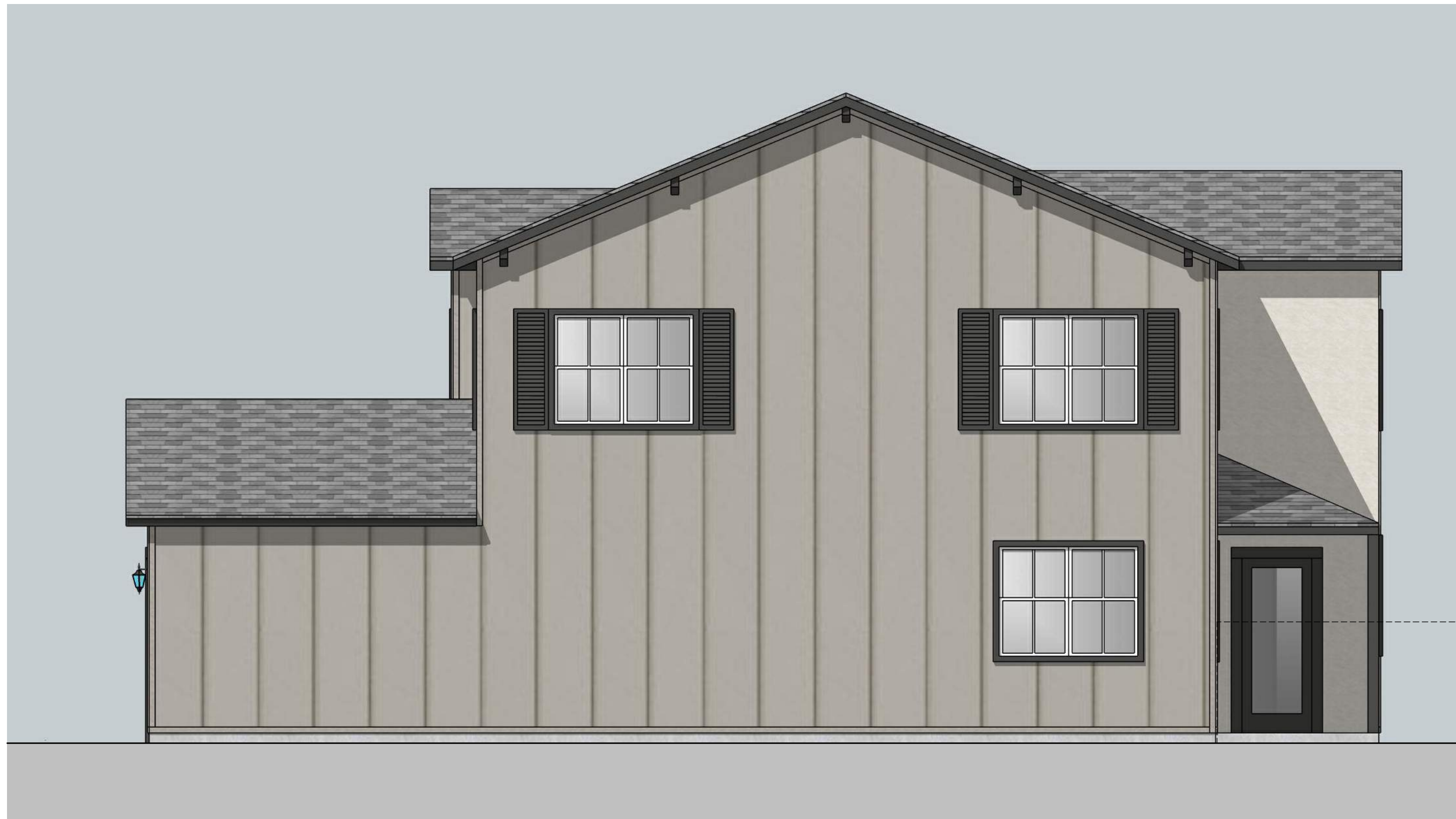
PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:  
BLDG TYPE 10  
ELEVATIONS

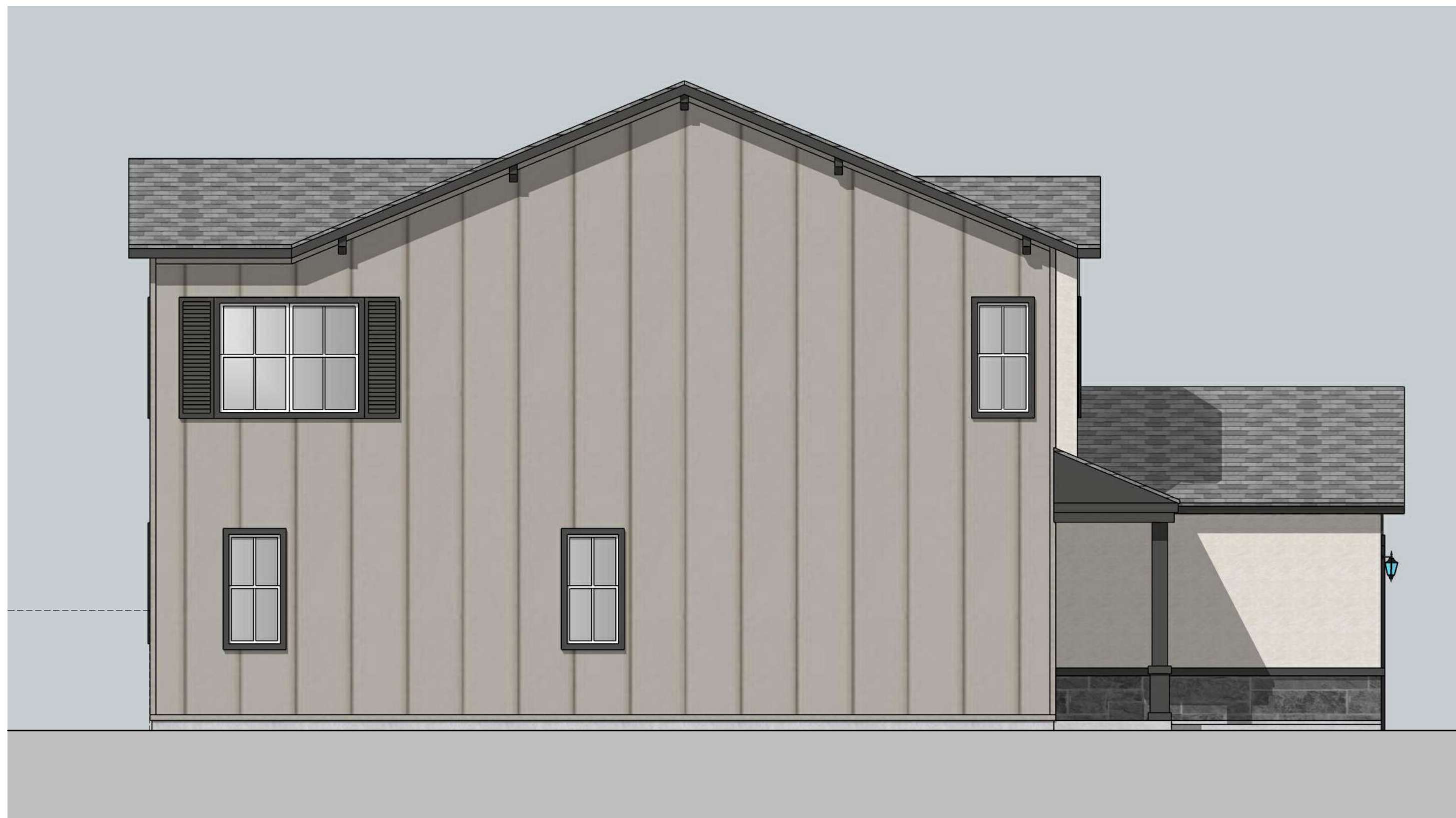
SHEET NAME:  
A2.10A-R



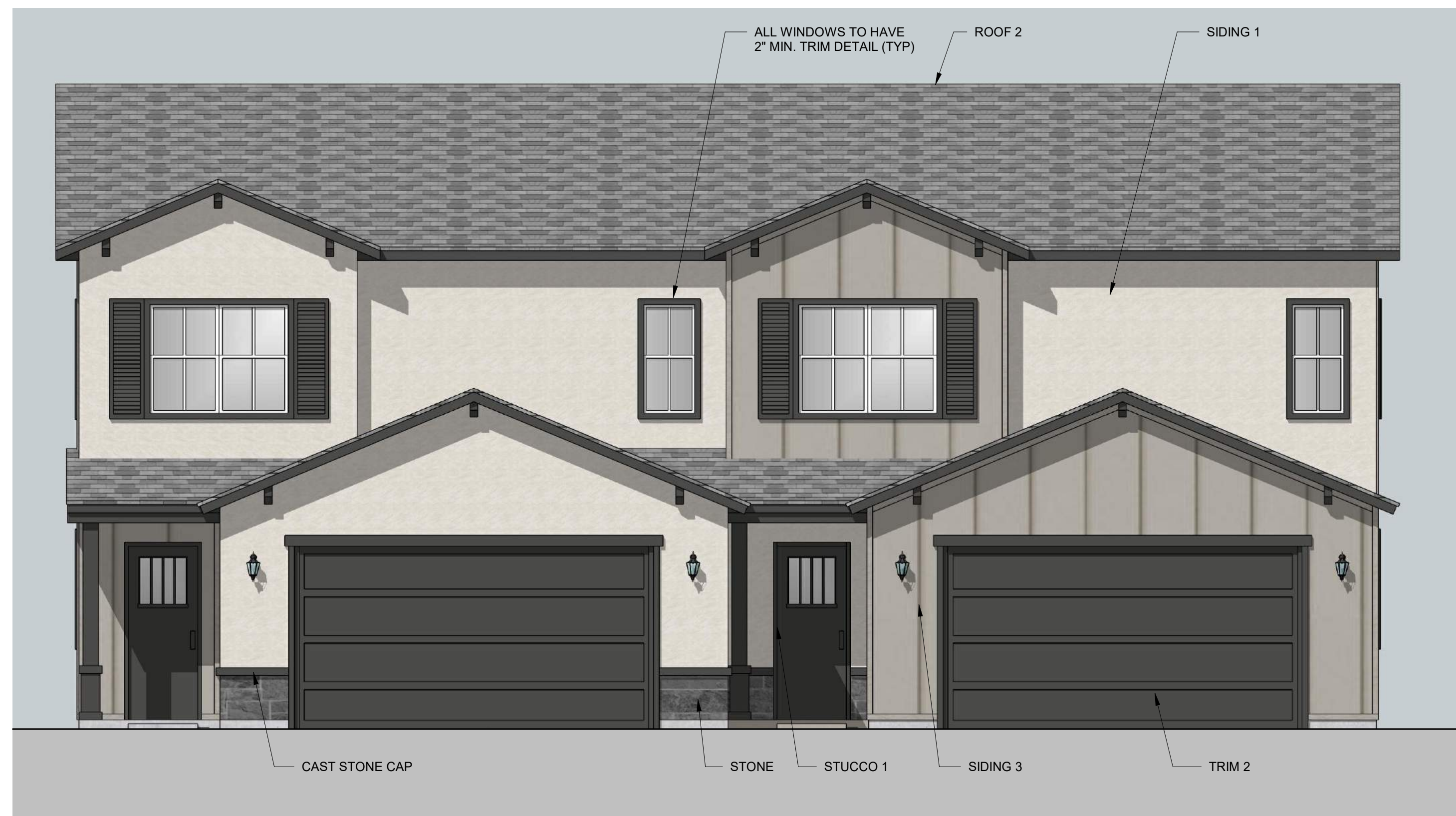
4 BUILDING TYPE 10 - RIGHT  
A2.10B-R 1/4" = 1'-0"



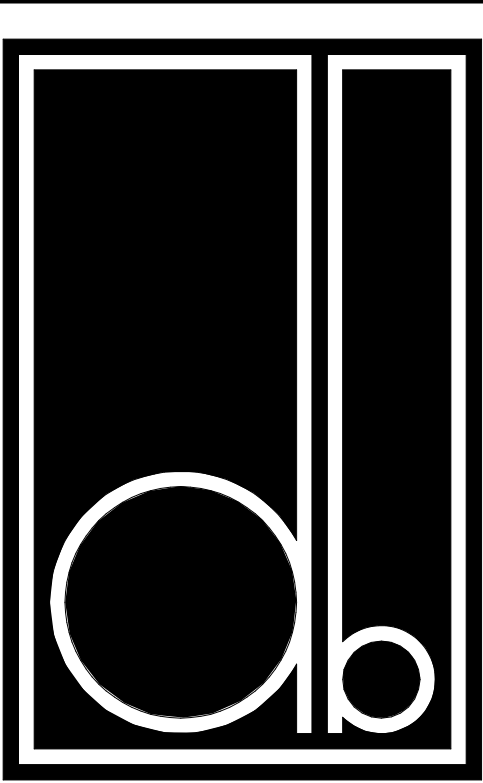
3 BUILDING TYPE 10 - REAR  
A2.10B-R 1/4" = 1'-0"



2 BUILDING TYPE 10 - LEFT  
A2.10B-R 1/4" = 1'-0"



1 BUILDING TYPE 10 - FRONT  
A2.10B-R 1/4" = 1'-0"



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:  
**SPARROW PARTNERS**

SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHEET TITLE:  
BLDG TYPE 10  
ELEVATIONS

SHEET NAME:  
A2.10B-R

UNIT D2 - FARMHOUSE



4 BUILDING TYPE 10 - 3D VIEW - REAR  
A2.10C-R



3 BUILDING TYPE 10 - 3D VIEW - FRONT  
A2.10C-F

3D VIEWS - FARMHOUSE

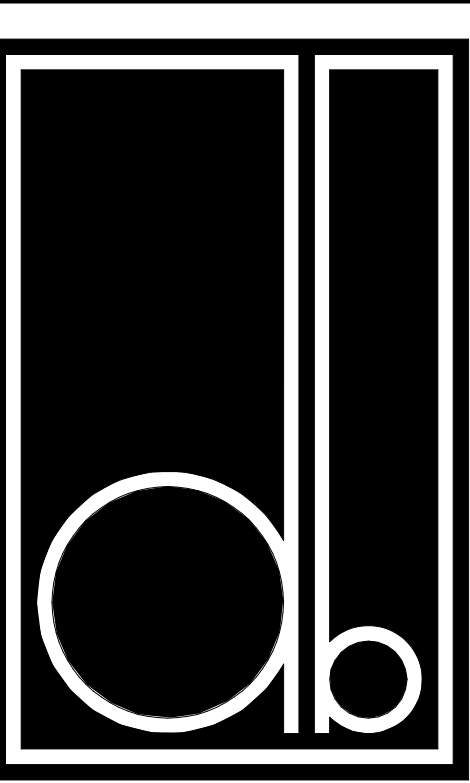


2 BUILDING TYPE 10 - 3D VIEW - REAR  
A2.10C-R



1 BUILDING TYPE 10 - 3D VIEW - FRONT  
A2.10C-F

3D VIEWS - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:

BLDG TYPE 10 3D  
VIEWS

SHEET NAME:

A2.10C-R





6 BUILDING TYPE 11 - 3D VIEW - REAR  
A2.11-R



5 BUILDING TYPE 11 - 3D VIEW - FRONT  
A2.11-R



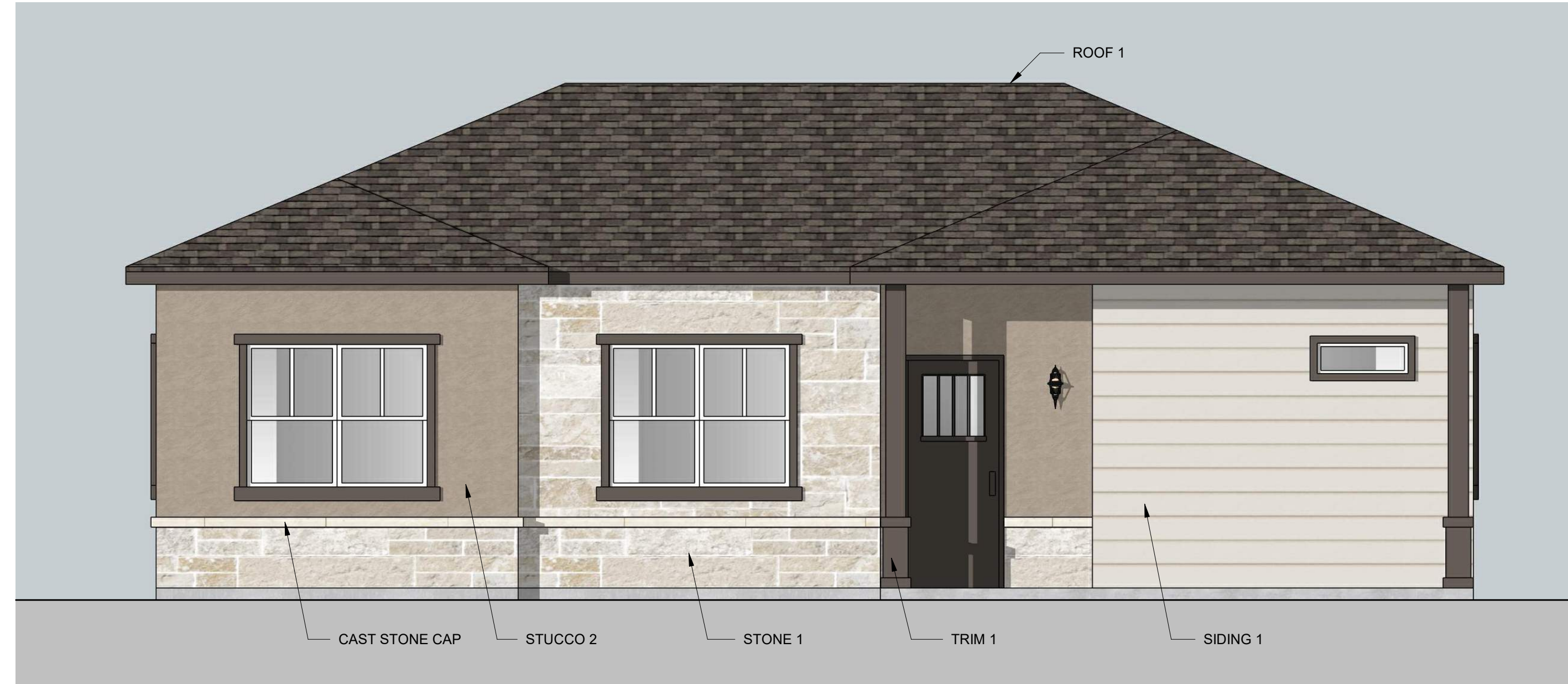
4 BUILDING TYPE 11 - RIGHT  
A2.11-R



3 BUILDING TYPE 11 - REAR  
A2.11-R

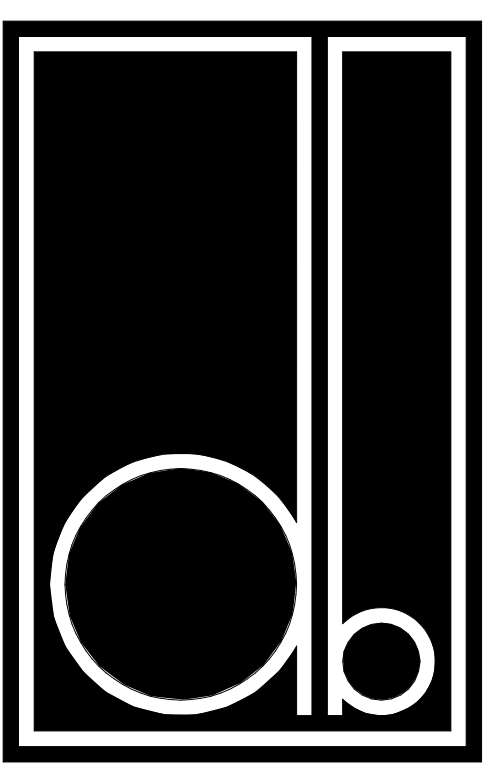


2 BUILDING TYPE 11 - LEFT  
A2.11-R



1 BUILDING TYPE 11 - FRONT  
A2.11-R

UNIT A2 - PRAIRIE



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

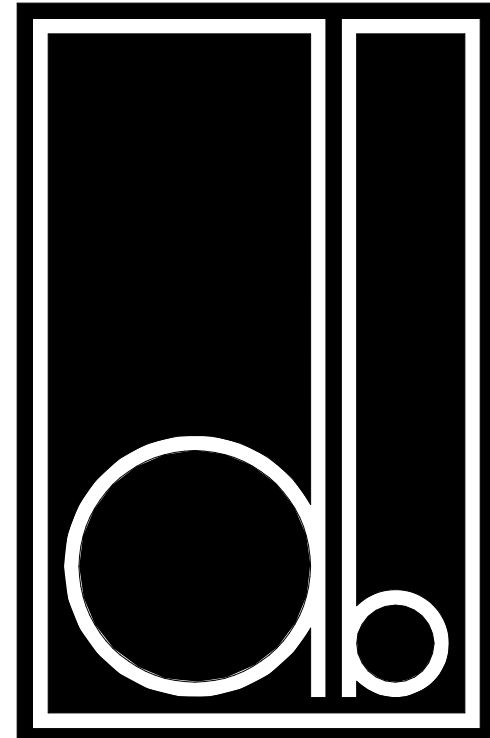
REVISIONS:

SHEET TITLE:

BLDG TYPE 11  
ELEVATIONS

SHEET NAME:

A2.11-R



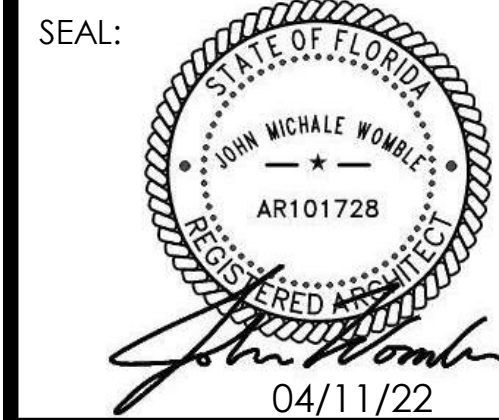
DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT



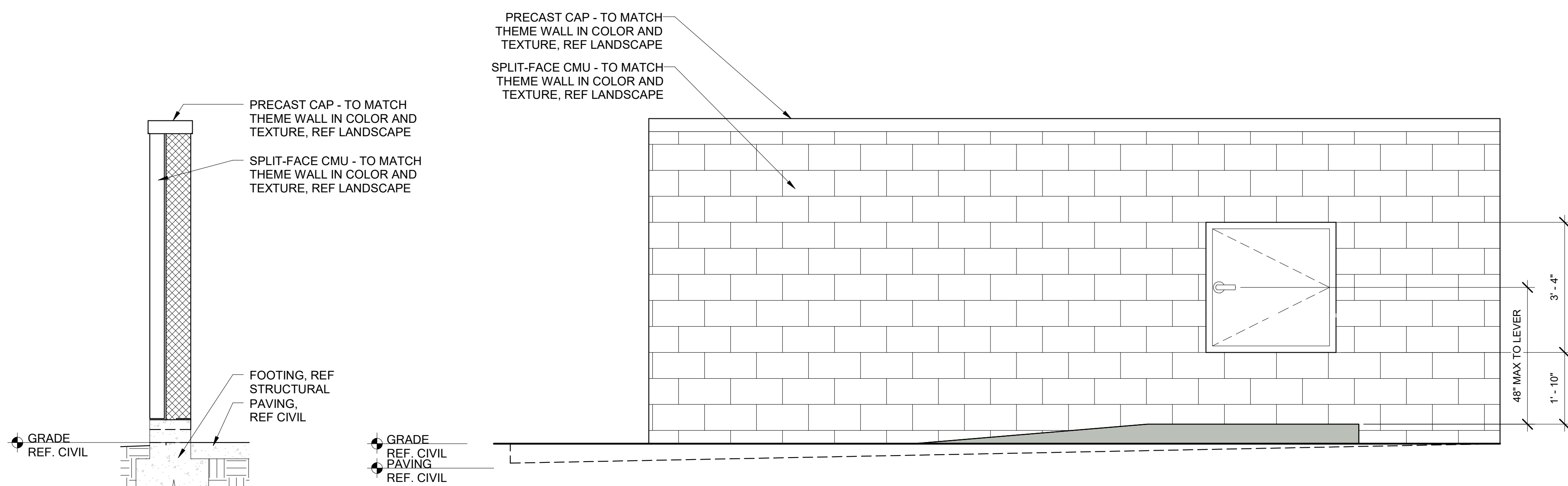
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20033

DATE ISSUED:  
04/11/22

REVISIONS:

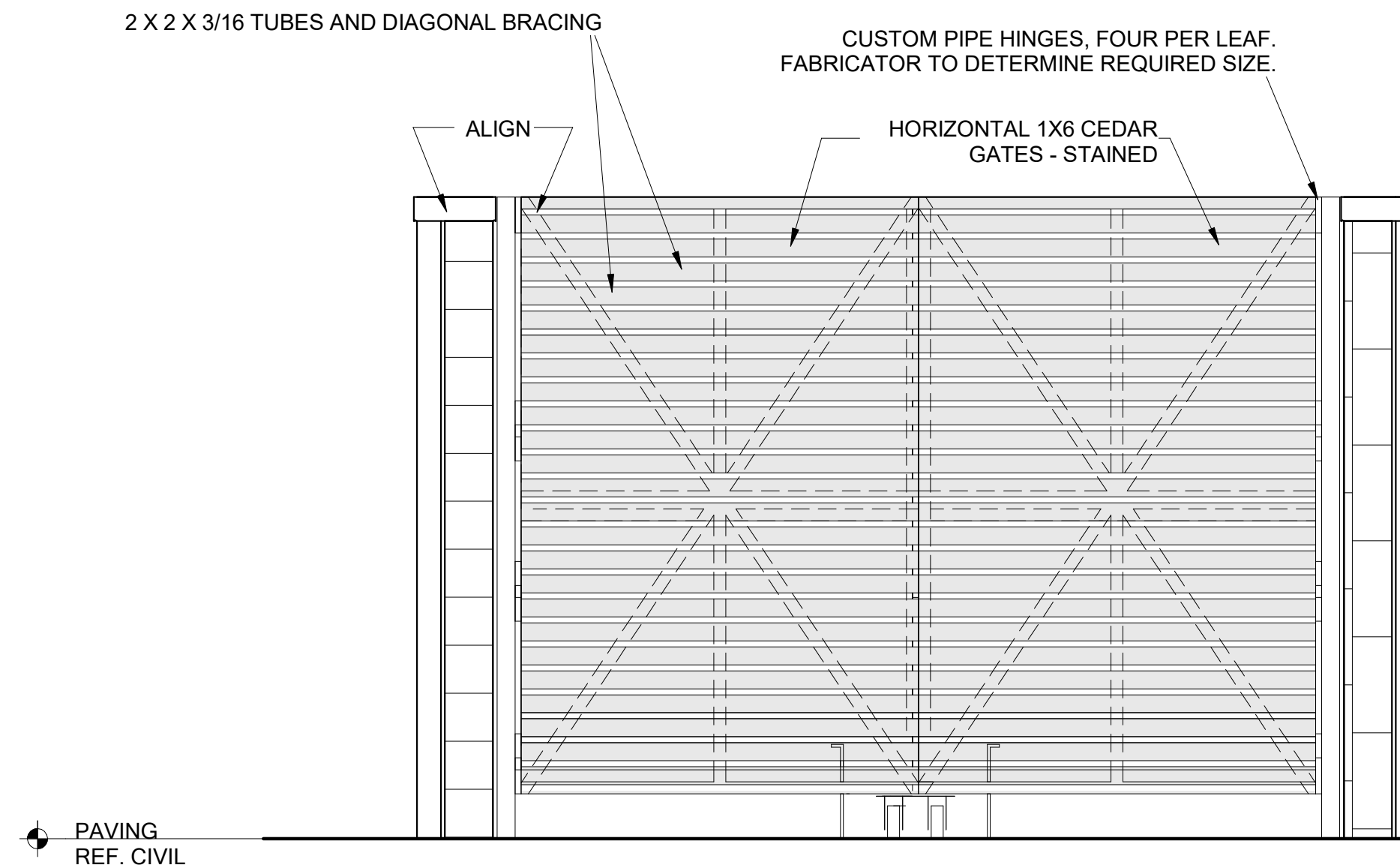
SHEET TITLE:  
TRASH ENCLOSURES

SHEET NAME:  
A3.02



**SECTION**

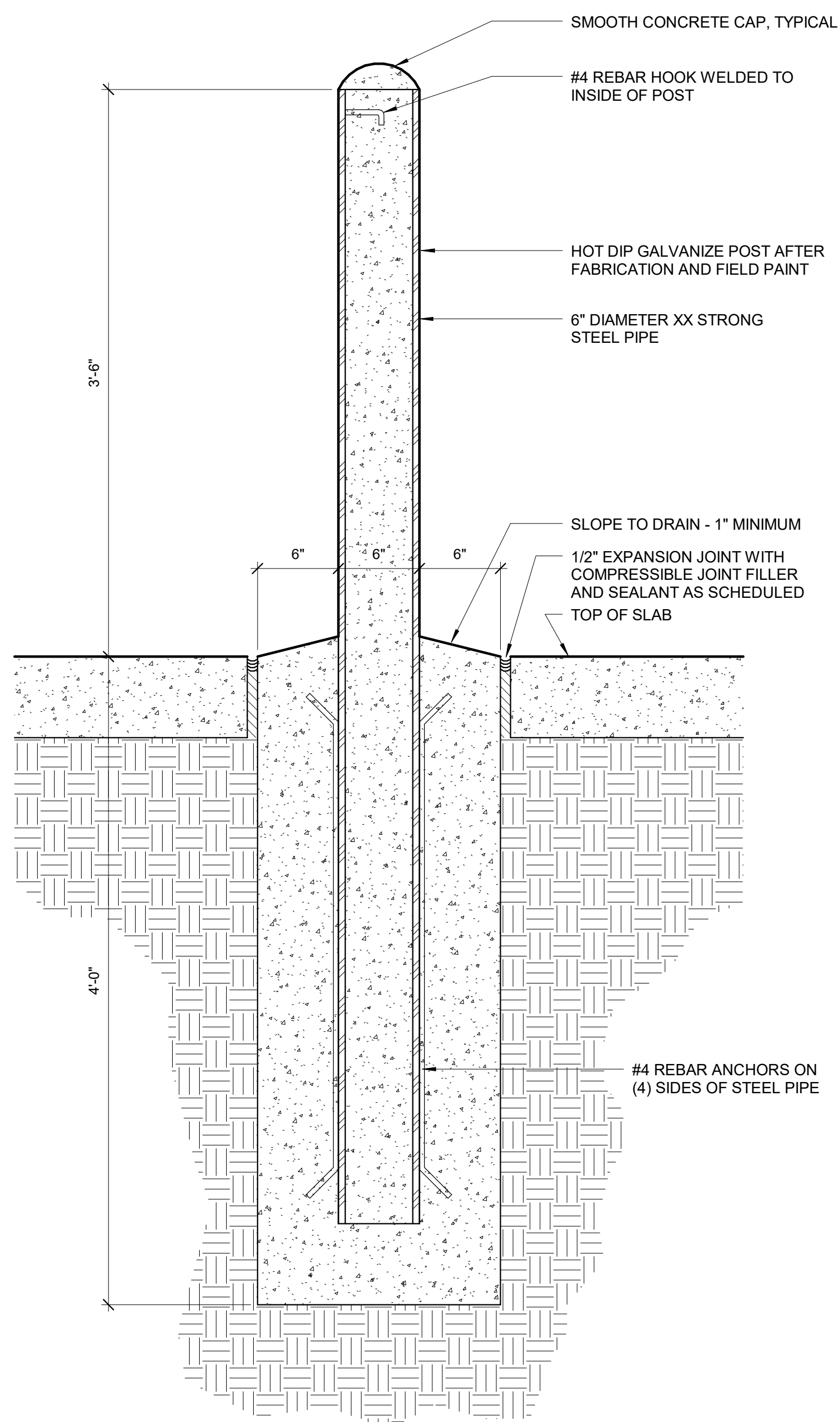
**SIDE ELEVATION**



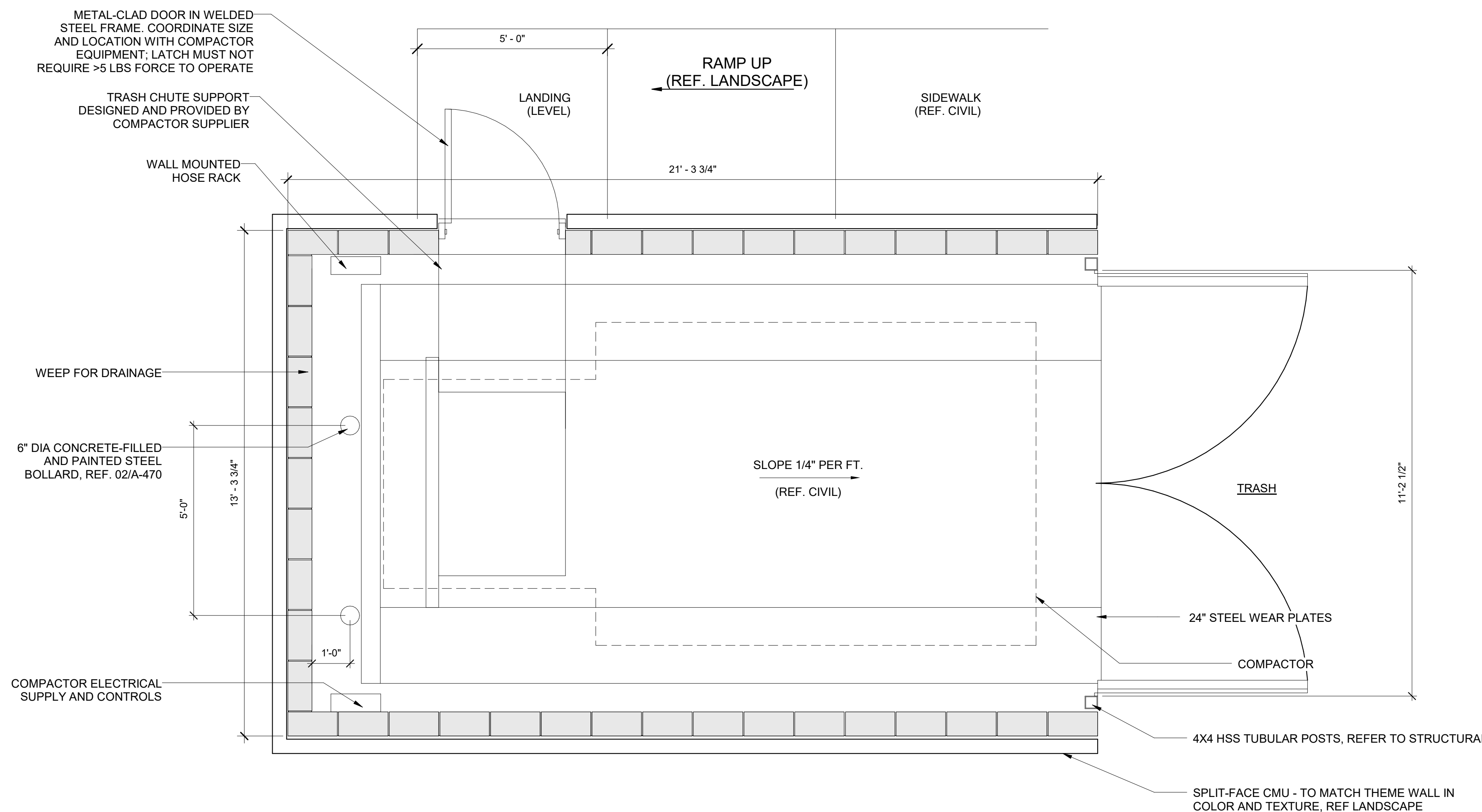
**FRONT ELEVATION**

NOTE:  
CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL REQUIRED COMPACTOR EQUIPMENT, ELECTRICAL SUPPLY, AND CONTROLS WITH THE WASTE DISPOSAL COMPANY, INCLUDING PLACEMENT OF BOLLARDS AND SPECIAL CHUTE EQUIPMENT REQUIRED FOR HANDICAP ACCESSIBILITY.

NOTE:  
DUMPSTER MAY REQUIRE SEPARATE PERMIT AND APPROVAL, CONFIRM WITH CITY

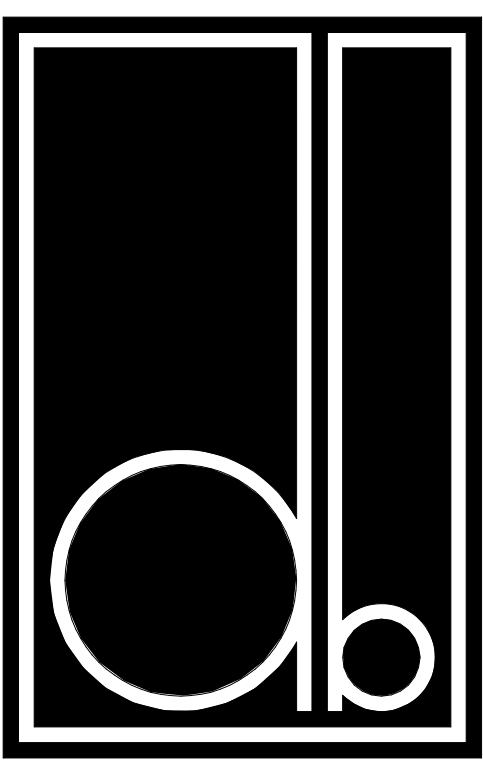


**2 BOLLARD DETAIL**  
1 1/2" = 1'-0"



**PLAN**

**1 TRASH ENCLOSURE**  
1/2" = 1'-0"



DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
 SUITE 200  
 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ  
 ISSUED FOR PERMIT

SEAL:

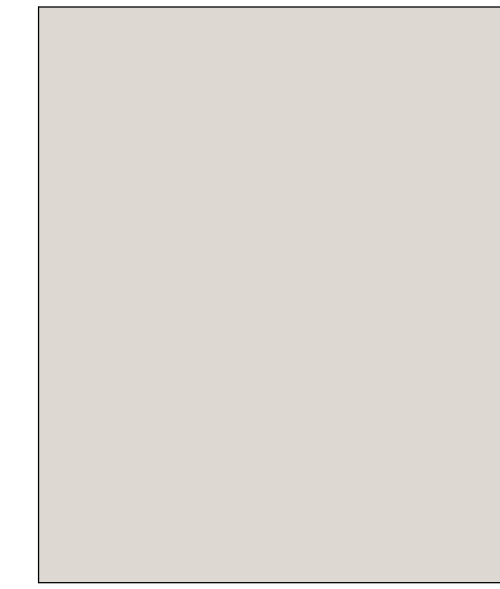
PROJECT NUMBER:  
 20033

DATE ISSUED:  
 08.17.22

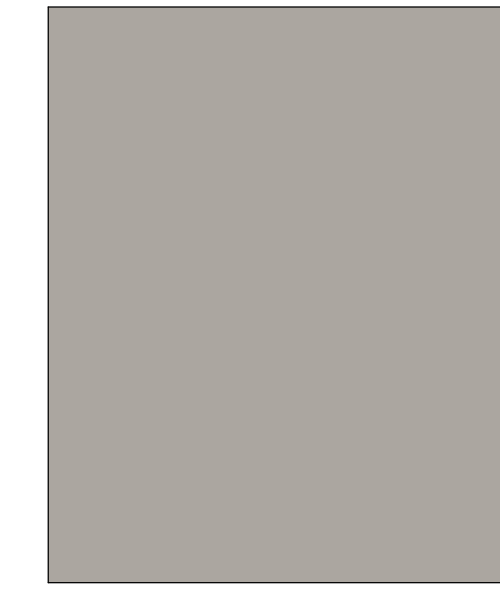
REVISIONS:  
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SHEET TITLE:  
 COLOR SCHEME  
 SAMPLE BOARD

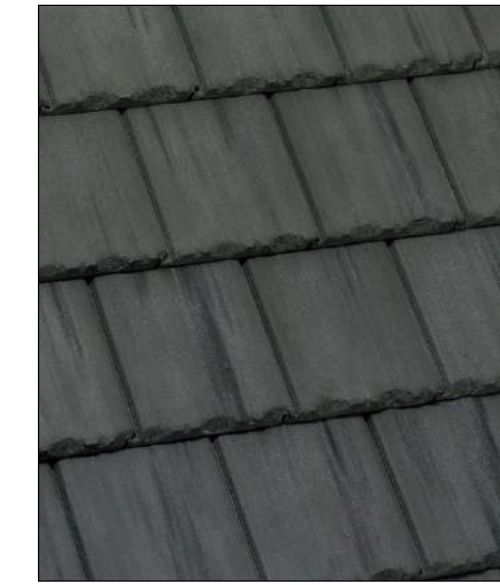
SHEET NAME:  
 A6.00



STUCCO 1  
 SW7631 "CITY LOFT"



STUCCO 3  
 SW7017 "DORIAN GRAY"



ROOF 2  
 CONCRETE SLATE TILE

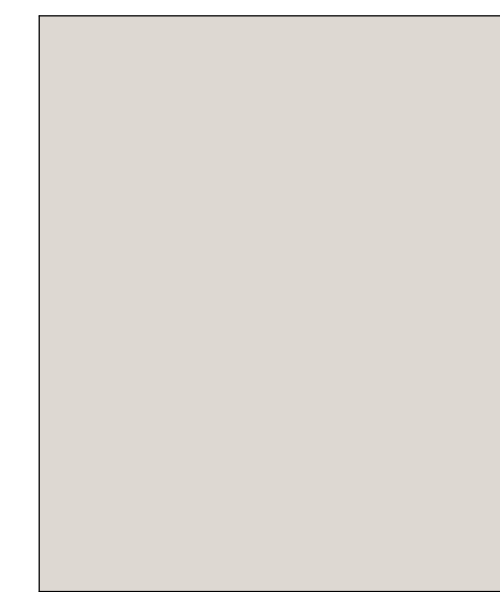


TRIM 2  
 SW7069 "IRON ORE"

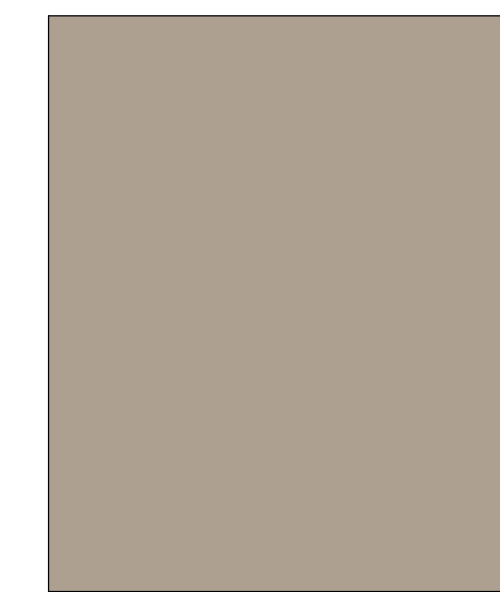


STONE 2  
 CREATIVE STONE GREY CUT BLOCK

**SCHEME 2 - FARMHOUSE**



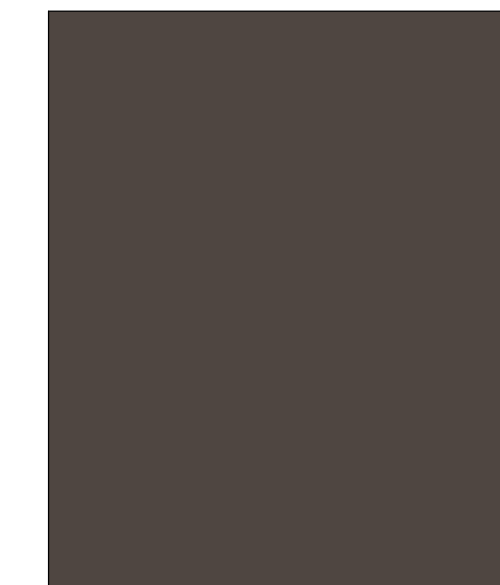
STUCCO 1  
 SW7631 "CITY LOFT"



STUCCO 2  
 SW6107 "NOMADIC DESERT"



ROOF 1  
 CONCRETE SLATE TILE

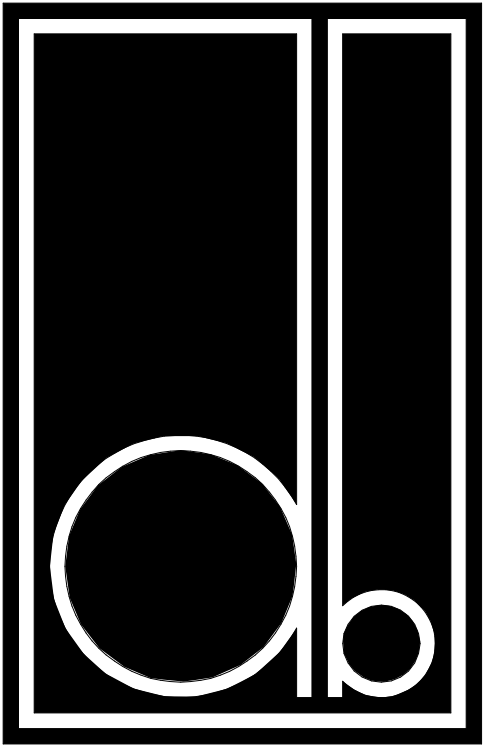


TRIM 1  
 SW7020 "BLACK FOX"



STONE 1  
 CREATIVE STONE CREAM CUT BLOCK

**SCHEME 1 - PRAIRIE**



DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
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 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ  
 SCHEMATIC DESIGN

SEAL:

PROJECT NUMBER:  
 20033

DATE ISSUED:  
 07/13/22

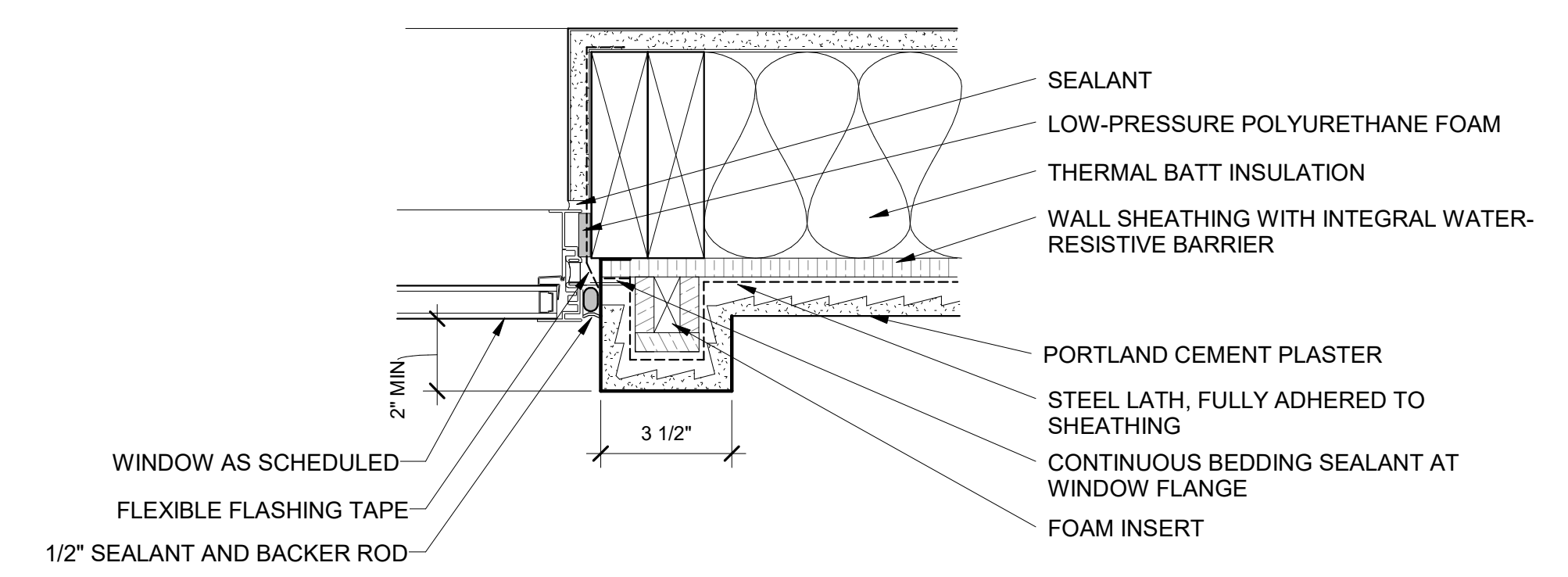
REVISIONS:  
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SHEET TITLE:

OVERALL BUILDING  
 DETAILS

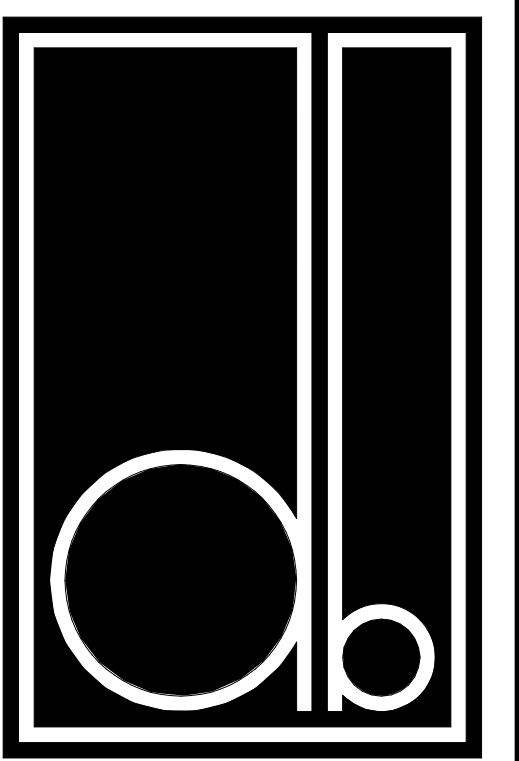
SHEET NAME:

**A3.01**



**1** WINDOW JAMB @ STUCCO  
 A3.01 3" = 1'-0"

# QUEEN CREEK



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
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ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:

SHEET TITLE:  
COVER SHEET

SHEET NAME:  
G1.0

## PROJECT DIRECTORY

<b>OWNER</b> SPARROW 2500 BEE CAVE RD, BLDG. 1 SUITE 380 AUSTIN, TX 78746 TEL 512.982.6927 CONTACT: CLINT KNOX EMAIL: CLINT.KNOX@SPARROW-PARTNERS.COM	<b>ARCHITECT</b> DESIGN BALANCE, INC. 2231 RIDGE ROAD SUITE 200 ROCKWALL, TX 75087 TEL 214.668.2306 CONTACT: JOHN WOMBLE EMAIL: JOHN@DESIGNBALANCE.COM	<b>LANDSCAPE ARCHITECT</b> LAND DESIGN 5301 ALPHA RD, SUITE 24 DALLAS, TX 75240 TEL 214.842.6980 CONTACT: HETH HENDRICK EMAIL: HKENDRICK@LANDDESIGN.COM	<b>CIVIL ENGINEER</b> KIMLEY HORN 1001 WEST SOUTHERN AVENUE SUITE 131 MESA, AZ 85210 TEL 480.207.2666 CONTACT: STERLING MARGETTS EMAIL: STERLING.MARGETTS@KIMLEY-HORN.COM
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INDEX OF DRAWINGS		
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE
01-GENERAL		
G1.0	COVER SHEET	08.17.22
G1.1	SITE PLAN	08.17.22
04 - ARCHITECTURAL		
A1.0	AMENITY FLOOR PLANS	08.17.22
A1.1	BLDG TYPE 1 - FLOOR PLAN	08.17.22
A1.2	BLDG TYPE 2 - FLOOR PLAN	08.17.22
A1.3	BLDG TYPE 3 - FLOOR PLAN	08.17.22
A1.4	BLDG TYPE 4 - FLOOR PLAN	08.17.22
A1.5	BLDG TYPE 5 - FLOOR PLAN	08.17.22
A1.6	BLDG TYPE 6 - FLOOR PLAN	08.17.22
A1.7A	BLDG TYPE 7 - FLOOR PLAN	08.17.22
A1.7B	BLDG TYPE 7 - FLOOR PLAN	08.17.22
A1.8A	BLDG TYPE 8 - FLOOR PLAN	08.17.22
A1.8B	BLDG TYPE 8 - FLOOR PLAN	08.17.22
A1.9A	BLDG TYPE 9 - FLOOR PLAN	08.17.22
A1.9B	BLDG TYPE 9 - FLOOR PLAN	08.17.22
A2.0-R	CLUBHOUSE ELEVATIONS	08.17.22
A2.1A-R	BLDG TYPE 1 ELEVATIONS	08.17.22
A2.1B-R	BLDG TYPE 1 ELEVATIONS	08.17.22

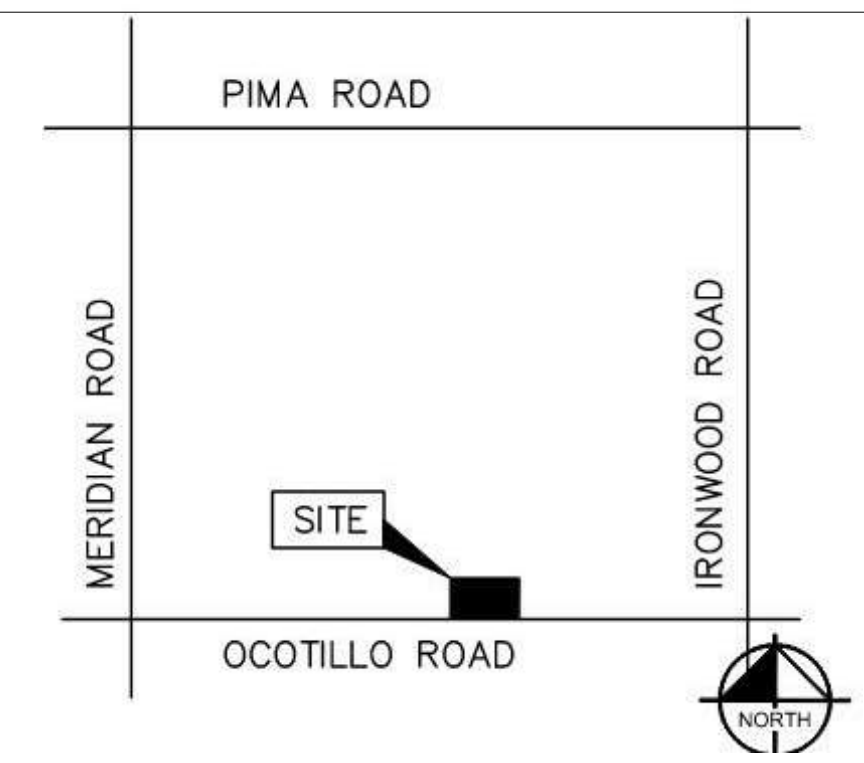
INDEX OF DRAWINGS		
SHEET NUMBER	SHEET TITLE	SHEET ISSUE DATE
A2.2-R	BLDG TYPE 2 ELEVATIONS	08.17.22
A2.3-R	BLDG TYPE 3 ELEVATIONS	08.17.22
A2.4A-R	BLDG TYPE 4 ELEVATIONS	08.17.22
A2.4B-R	BLDG TYPE 4 ELEVATIONS	08.17.22
A2.5-R	BLDG TYPE 5 ELEVATIONS	08.17.22
A2.6-R	BLDG TYPE 6 ELEVATIONS	08.17.22
A2.7-R	BLDG TYPE 7 ELEVATIONS	08.17.22
A2.8A-R	BLDG TYPE 8 ELEVATIONS	08.17.22
A2.8C-R	BLDG TYPE 7 & 8 3D VIEWS	08.17.22
A2.9A-R	BLDG TYPE 9 ELEVATIONS	08.17.22
A2.9B-R	BLDG TYPE 9 ELEVATIONS	08.17.22
A2.9C-R	BLDG TYPE 9 3D VIEWS	08.17.22
A2.10A-R	BLDG TYPE 10 ELEVATIONS	08.17.22
A2.10B-R	BLDG TYPE 10 ELEVATIONS	08.17.22
A2.10C-R	BLDG TYPE 10 3D VIEWS	08.17.22
A2.11-R	BLDG TYPE 11 ELEVATIONS	08.17.22
A6.00	COLOR SCHEME SAMPLE BOARD	08.17.22
A6.01	OVERALL BUILDING DETAILS	08.17.22
A6.02	TRASH ENCLOSURES	08.17.22



## PROJECT UNIT COUNT

Queen Creek				
Building Type	Unit Type	# of Bldg Types	Detached (1)/Twin(2)	# of Units
1	A1(1BD)/A2(2BD)	17	2	34
2	A2(2BD)	1	2	2
3	B1(2BD)	4	1	4
4	B1(2BD)	15	2	30
5	B2(2BD)	4	1	4
6	BD(2BD)	1	2	2
7	C1(3BD)	4	2	8
8	C2(4BD)	4	2	8
9	D1(3BD)	4.5	2	9
10	D2(4BD)	4	2	8
11	A2(2BD)	1	1	1
Total Count :		59.5		110

## LOCATION MAP

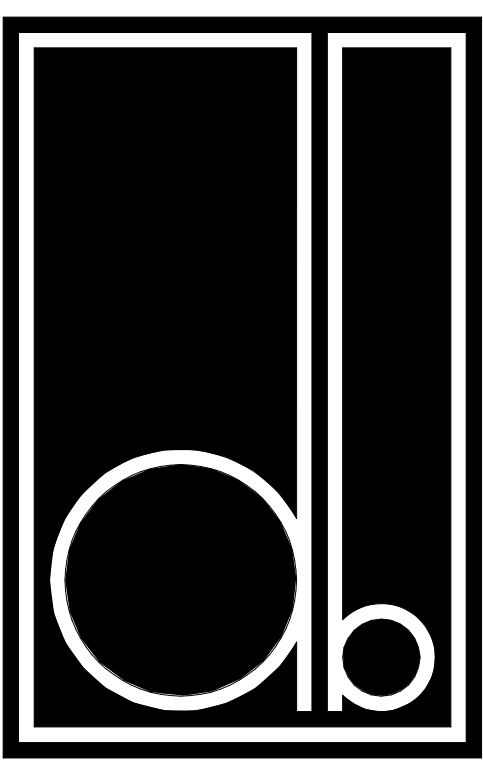


## ISSUE DATES

03.21.2022 SCHEMATIC DESIGN  
05.20.2022 SCHEMATIC DESIGN  
07.13.2022 SCHEMATIC DESIGN

## ANNOTATION CALLOUTS/DRAWING SYMBOLS

<p>INTERIOR ELEVATION</p> <p>PLATE NUMBER WHERE SECTION/DETAIL IS DRAWN</p> <p>ELEVATION NUMBER</p>	<p>Room name</p> <p>101</p> <p>ROOM NAME/NUMBER</p>
<p>EXTERIOR ELEVATION</p> <p>PLATE NUMBER WHERE SECTION/DETAIL IS DRAWN</p>	<p>Window Type</p> <p>01</p> <p>WINDOW TYPE</p>
<p>SECTION</p> <p>PLATE NUMBER WHERE SECTION/DETAIL IS DRAWN</p>	<p>Wall Type</p> <p>1i</p> <p>WALL TYPE</p>
<p>ENLARGEMENT, DETAIL</p> <p>PLATE NUMBER WHERE SECTION/DETAIL IS DRAWN</p>	<p>Grid / Column Line Designator</p> <p>0 #</p> <p>GRID / COLUMN LINE DESIGNATOR</p>
<p>SPOT ELEVATION</p> <p>NAME ELEVATION</p>	<p>Equipment Number</p> <p>ti</p> <p>EQUIPMENT NUMBER</p>
<p>FLOOR LEVEL &amp; NAME</p>	<p>Door Number</p> <p>0</p> <p>DOOR NUMBER</p>
	<p>Revision Tag</p> <p>0</p> <p>REVISION TAG</p>
	<p>PLAN NORTH</p> <p>NORTH ARROW w/ TRUE NORTH INDICATION</p>
	<p>Room Rm_Occupancy</p> <p>101</p> <p>ROOM OCCUPANCY &amp; AREA</p> <p>150 SF</p>
	<p>View Reference</p> <p>1 / A101</p> <p>VIEW REFERENCE</p>



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

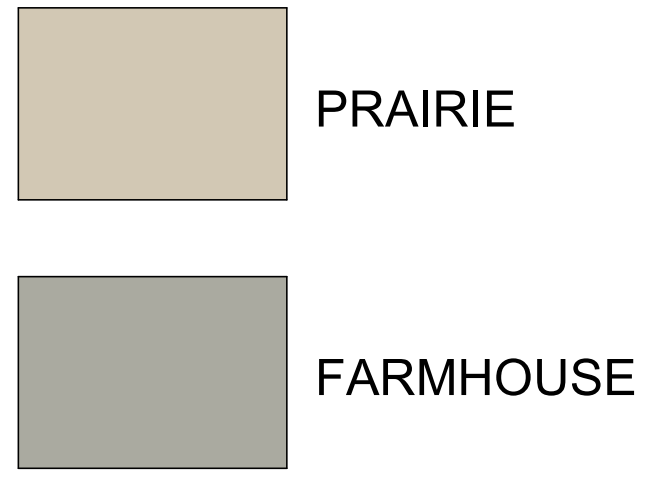
REVISIONS:

SHEET TITLE:

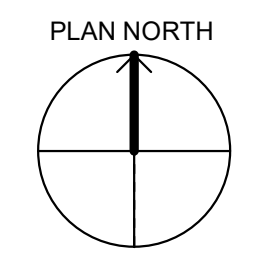
SITE PLAN

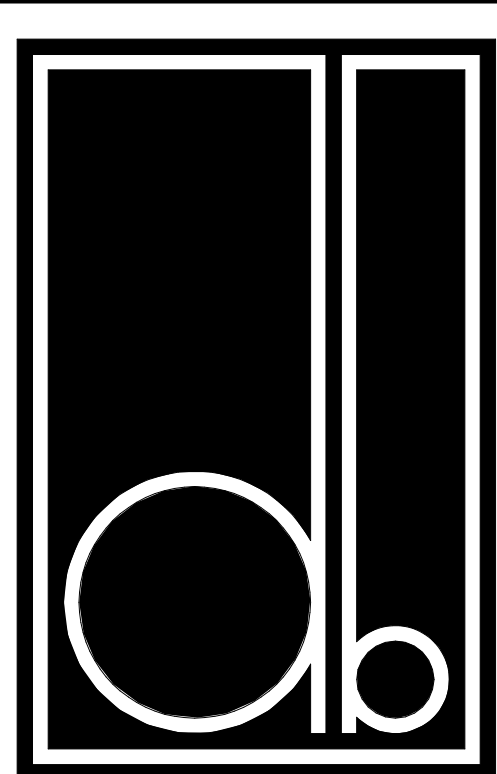
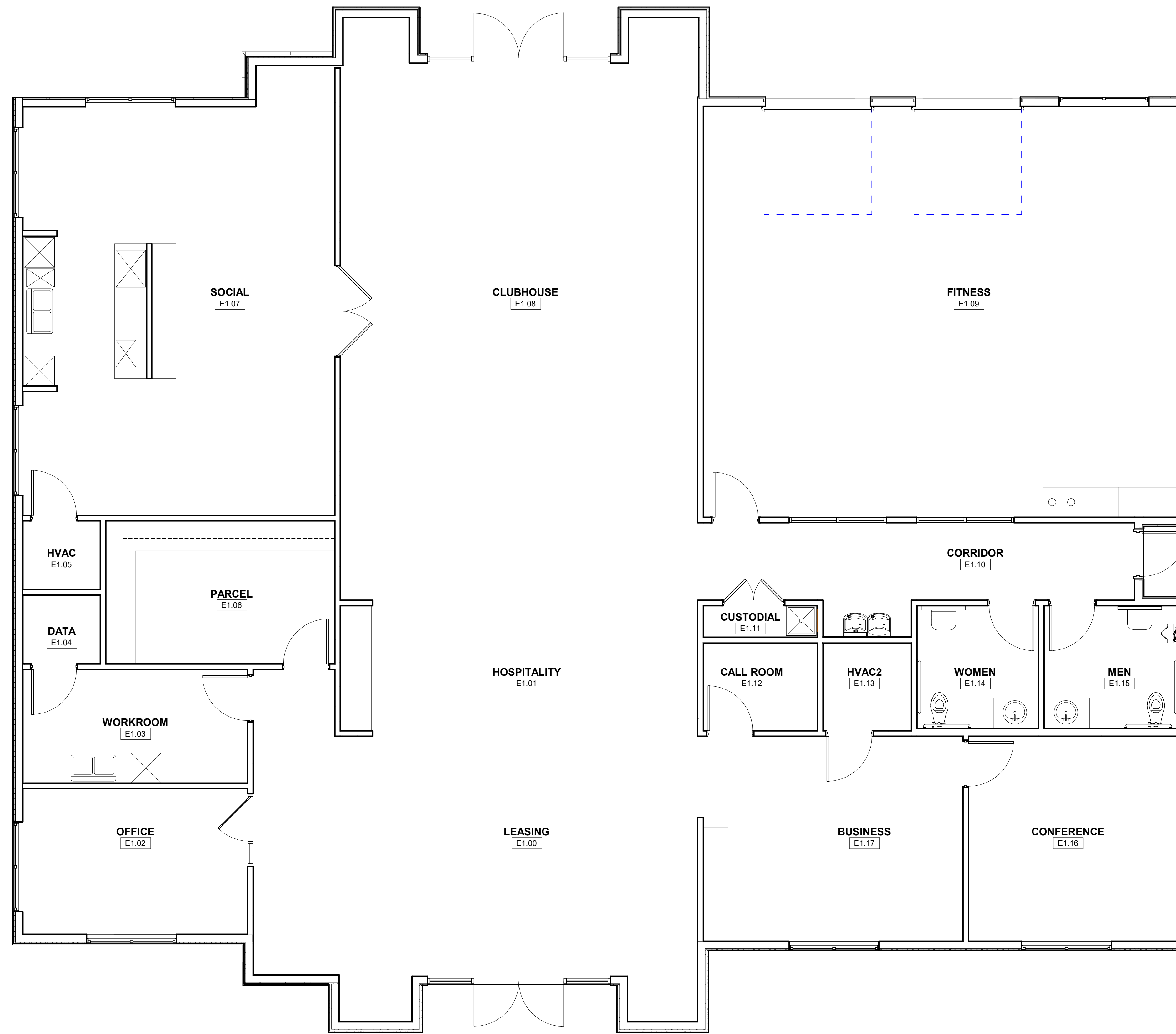
SHEET NAME:  
G1.1

Building Types & Unit Mix							
Building Type (# of Levels)	# of Bldgs	Attached & Detached	Unit Type (# of Bedrooms)				# of Units
			1-BDRM	2-BDRM	3-BDRM	4-BDRM	
1 (ONE STORY)	17	Duplex	17	17			34
2 (ONE STORY)	1	Duplex		2			2
3 (TWO STORY)	4	Detached		4			4
4 (TWO STORY)	15	Duplex		30			30
5 (TWO STORY)	4	Detached		4			4
6 (TWO STORY)	1	Duplex		2			2
7 (TWO STORY)	4	Duplex			8		8
8 (TWO STORY)	4	Duplex				8	8
9 (TWO STORY)	2	Multi (4 & 5)			9		9
10 (TWO STORY)	2	Multi (4)				8	8
11 (ONE STORY)	1	Detached		1			1
<b>Total Residential:</b>	<b>55</b>		<b>17</b>	<b>60</b>	<b>17</b>	<b>16</b>	<b>110</b>
			15.5%	54.5%	15.5%	14.5%	
CLUBHOUSE	1						
<b>Total Buildings:</b>	<b>56</b>						



1 SITE PLAN  
G1.1 1" = 40'-0"





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 2231 RIDGE ROAD  
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 214.668.2306

OWNER:



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 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ

ISSUED FOR PERMIT

SEAL:

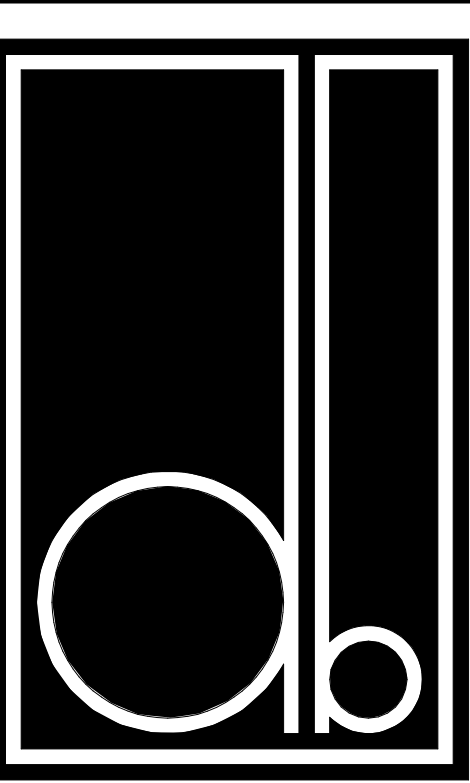
PROJECT NUMBER:  
 20033

DATE ISSUED:  
 08.17.22

REVISIONS:  
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SHEET TITLE:  
 AMENITY FLOOR  
 PLANS

SHEET NAME:  
 A1.0



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
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QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

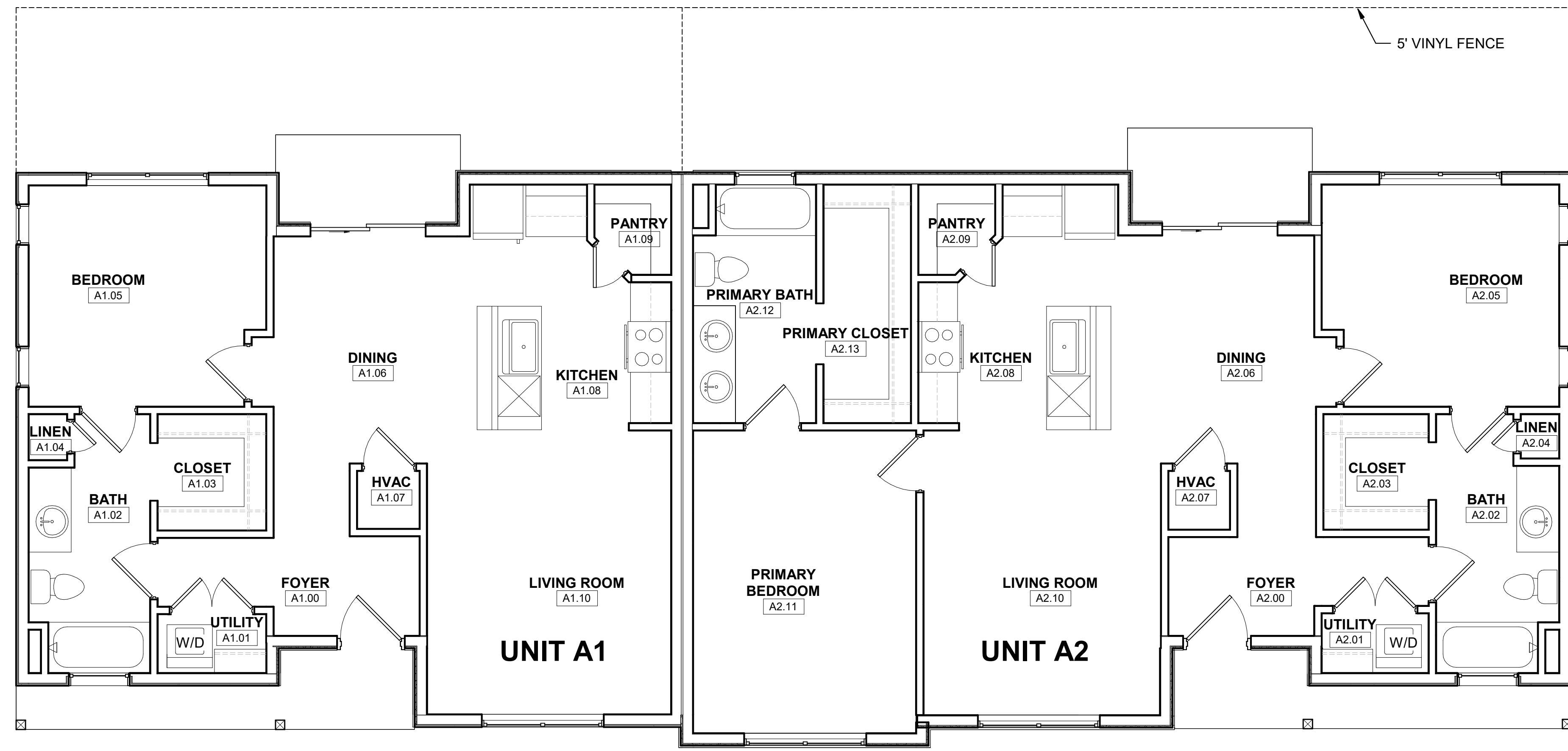
REVISIONS:

SHEET TITLE:

BLDG TYPE 1 -  
FLOOR PLAN

SHEET NAME:

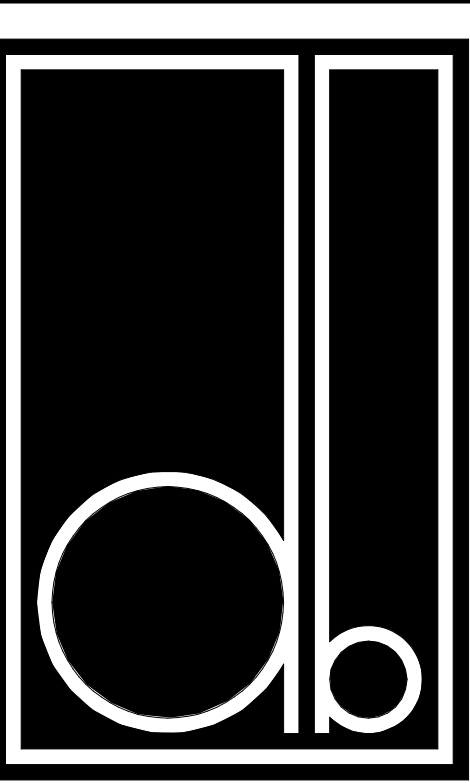
A1.1



1 BUILDING TYPE 1 FLOOR PLAN  
A1.1 1/4" = 1'-0"

17 UNITS





DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
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 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ  
 ISSUED FOR PERMIT

SEAL:

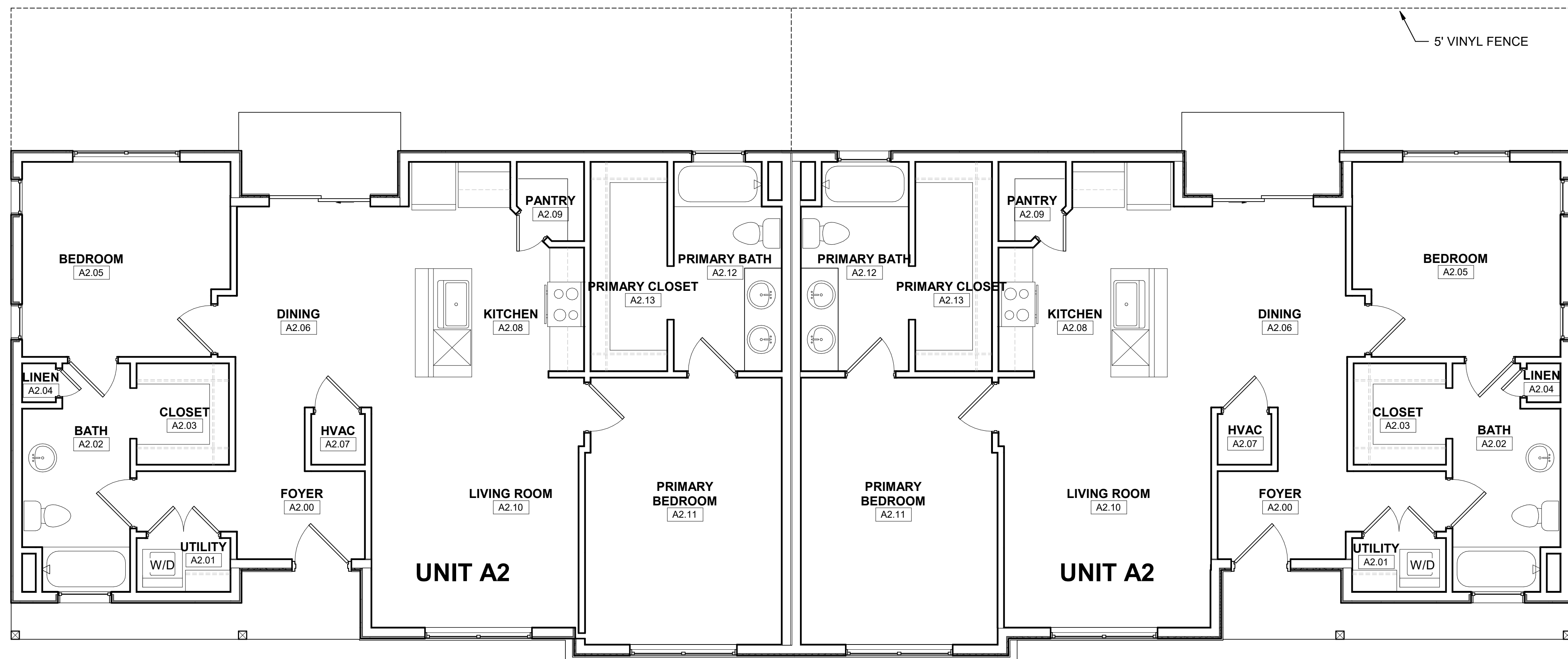
PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

REVISIONS:  
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 \_\_\_\_\_  
 \_\_\_\_\_

SHEET TITLE:  
BLDG TYPE 2 - FLOOR PLAN

SHEET NAME:  
A1.2



1 BUILDING TYPE 2 FLOOR PLAN  
 A1.2 1/4" = 1'-0"

1 UNIT



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

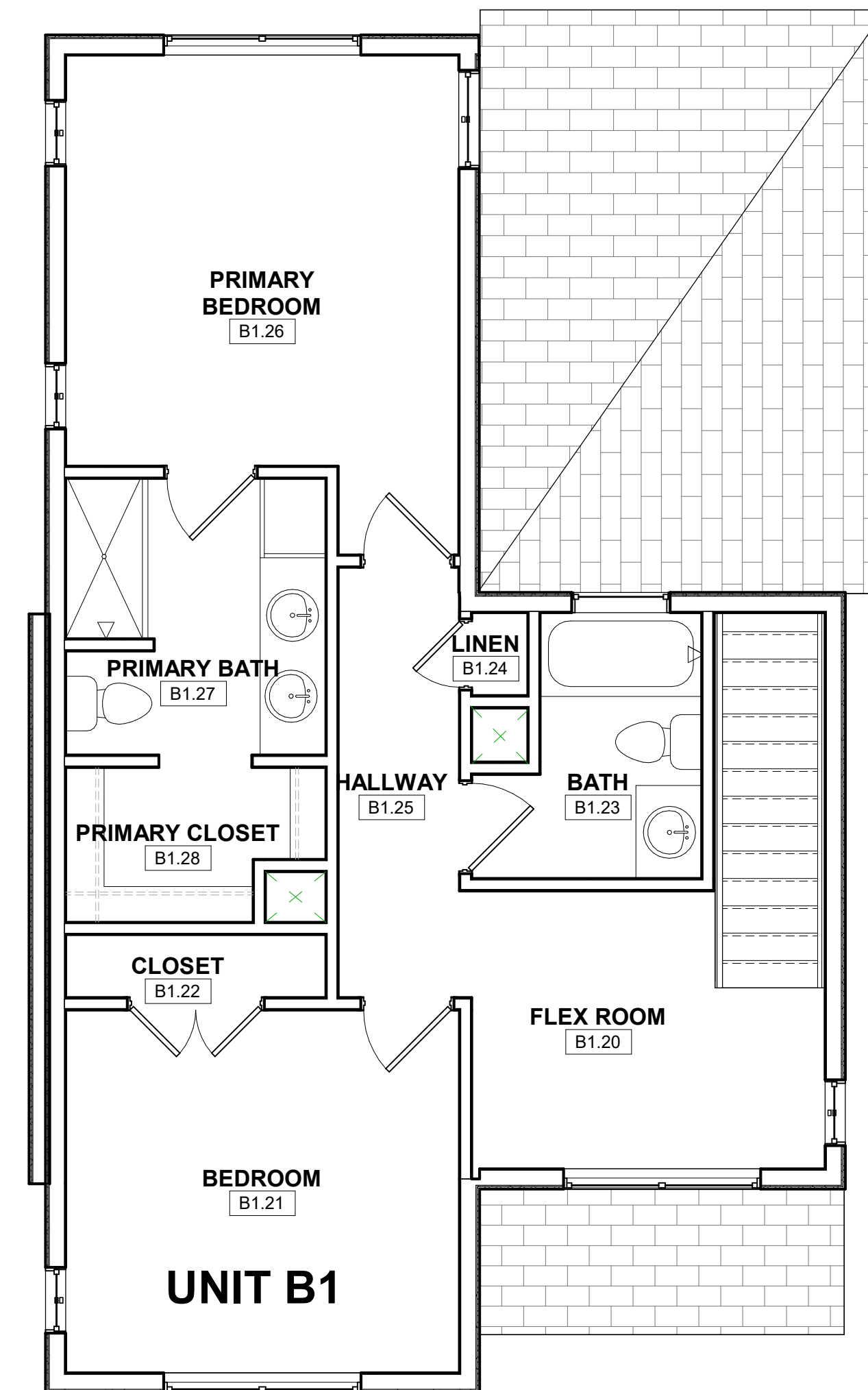
REVISIONS:

SHEET TITLE:

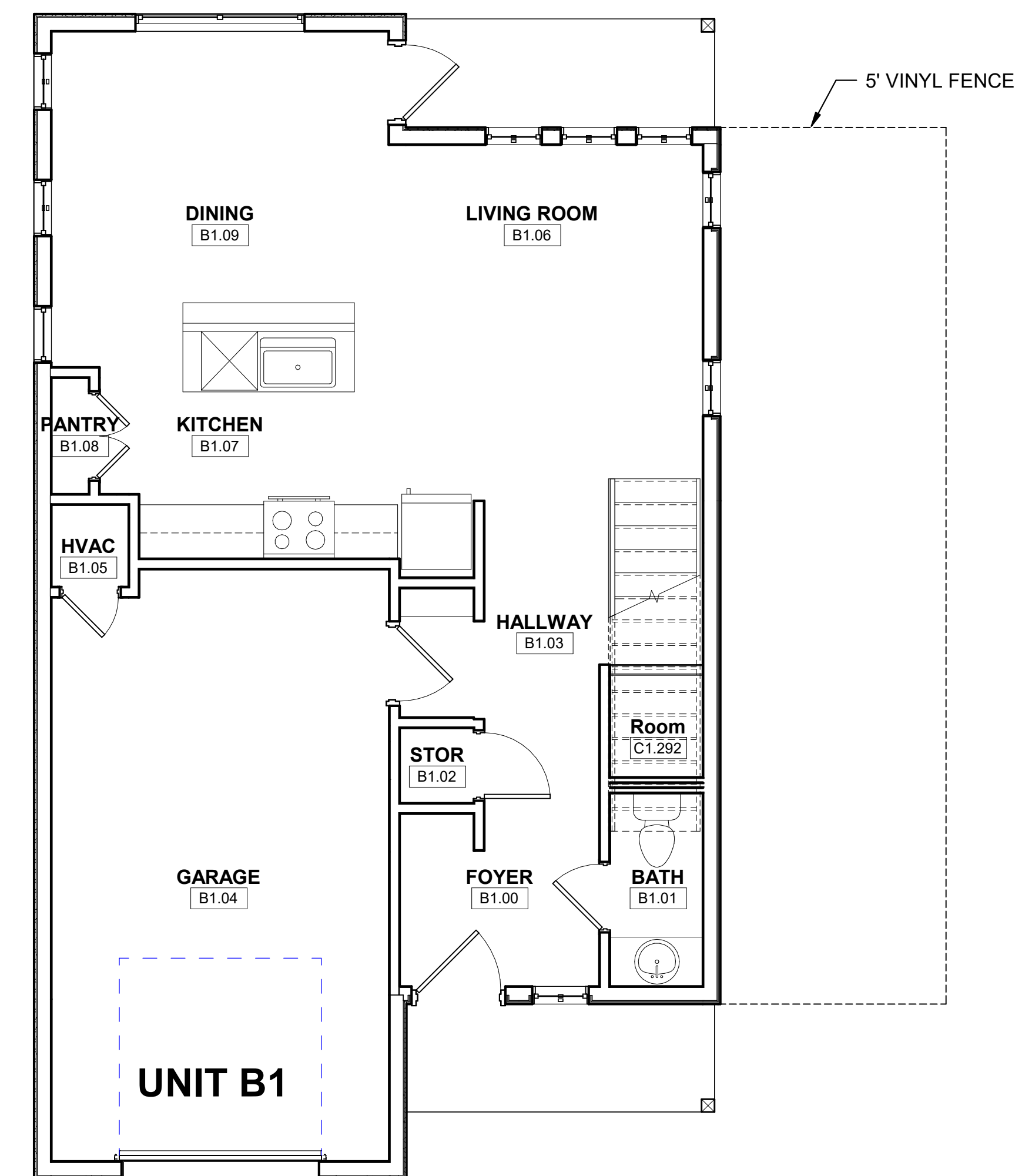
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FLOOR PLAN

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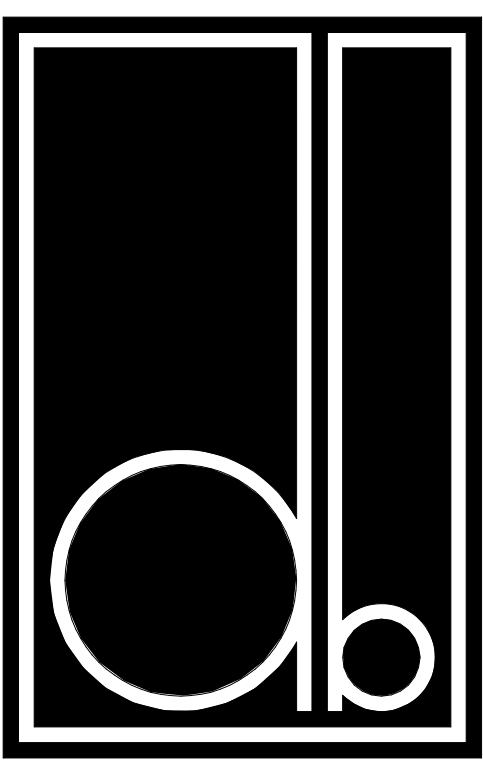
A1.3



2 BUILDING TYPE 3 FLOOR PLAN - LEVEL 2  
A1.3 1/4" = 1'-0"



1 BUILDING TYPE 3 FLOOR PLAN - LEVEL 1  
A1.3 1/4" = 1'-0" 4 UNITS



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

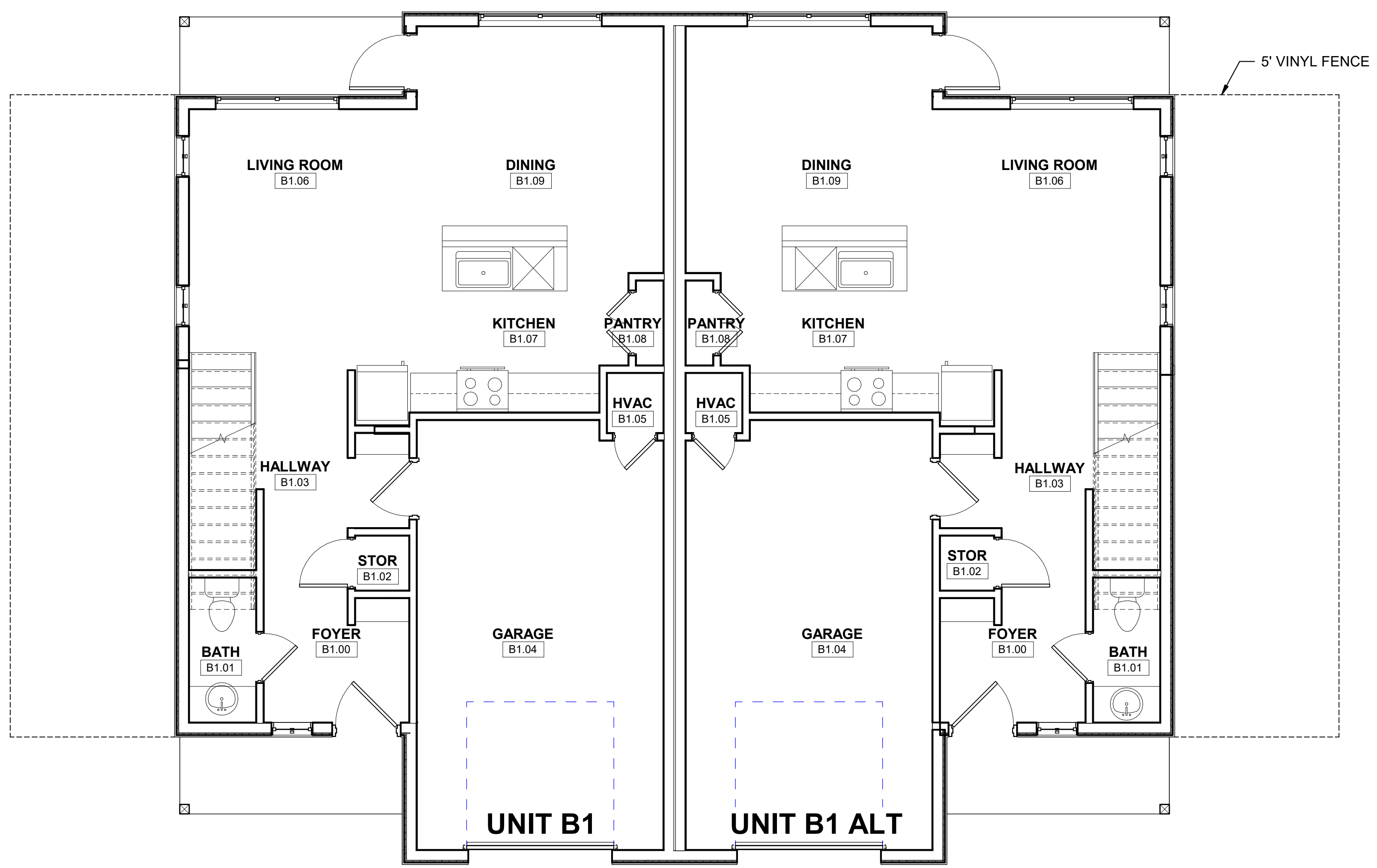
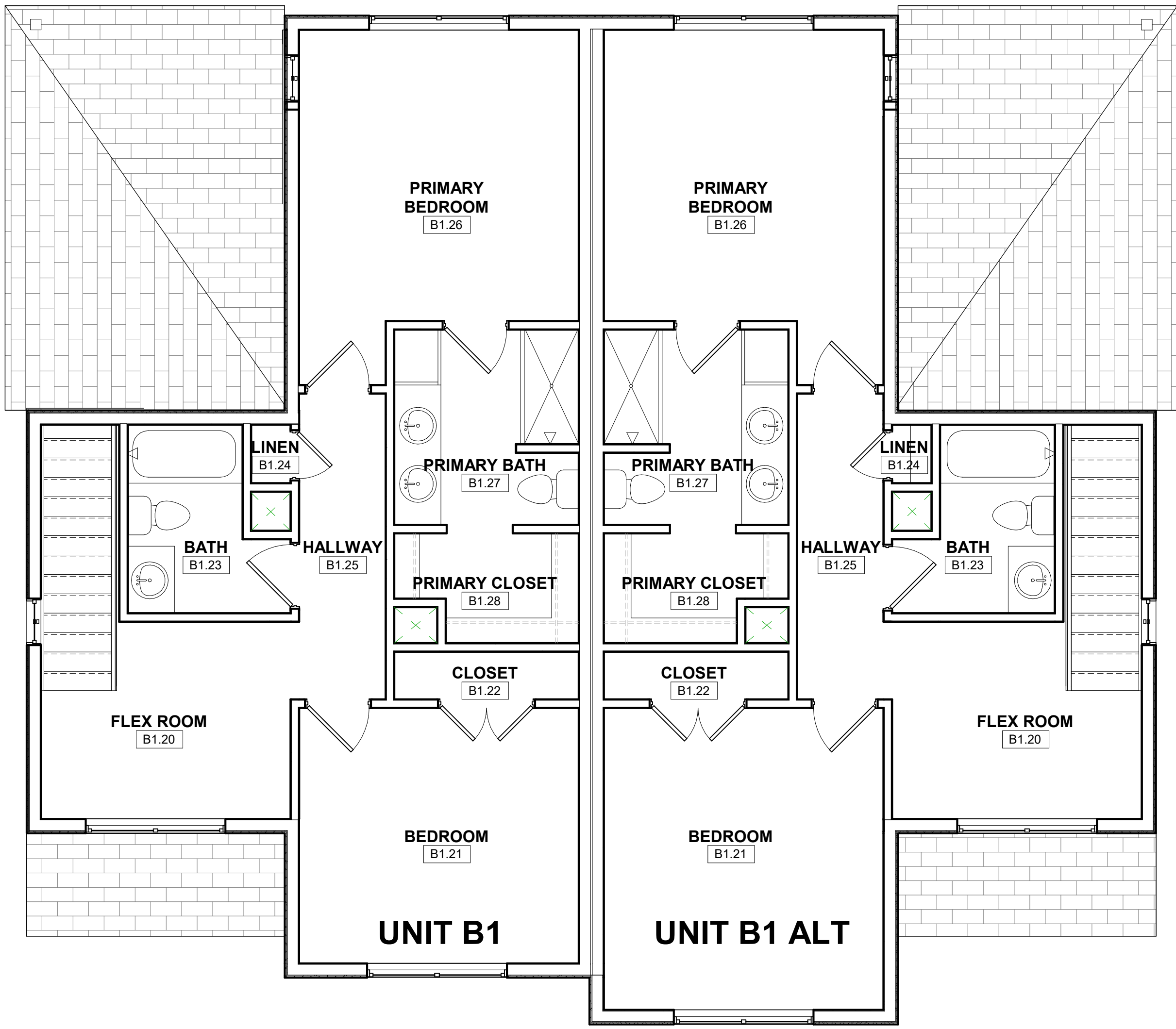
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20033

DATE ISSUED:  
08.17.22

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SHEET TITLE:  
BLDG TYPE 4 -  
FLOOR PLAN

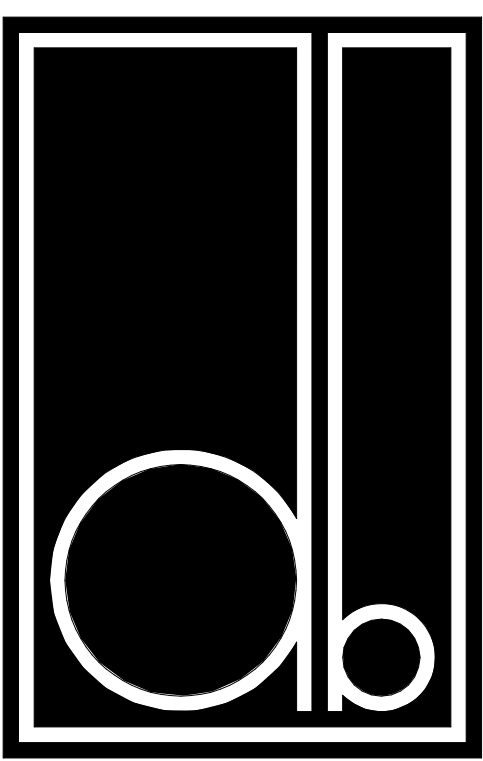
SHEET NAME:  
A1.4



1 BUILDING TYPE 4 FLOOR PLAN - LEVEL 2  
A1.4 1/4" = 1'-0"

2 BUILDING TYPE 4 FLOOR PLAN - LEVEL 1  
A1.4 1/4" = 1'-0"

15 UNITS



DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
 SUITE 200  
 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ  
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SEAL:

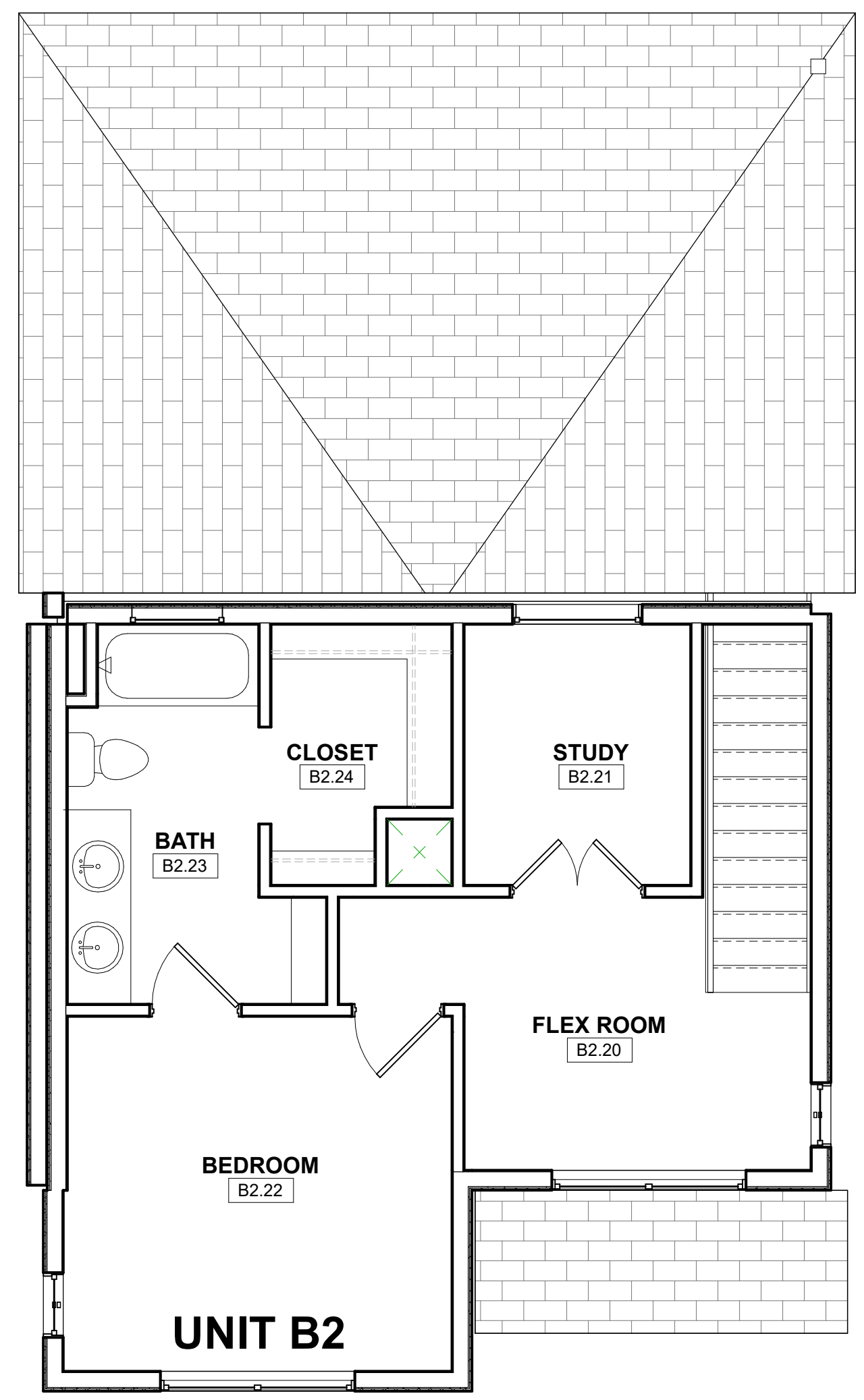
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DATE ISSUED:  
 08.17.22

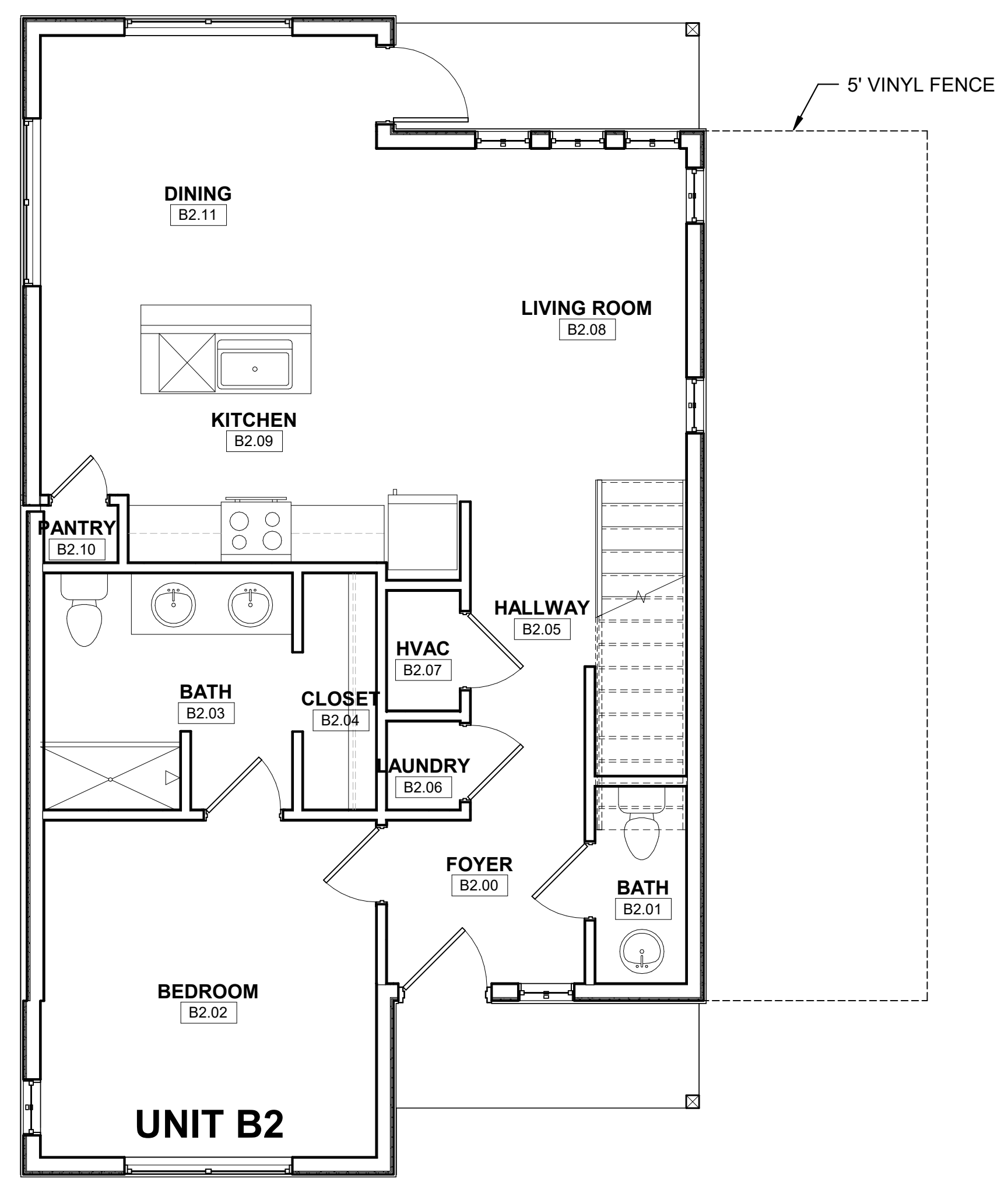
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SHEET TITLE:  
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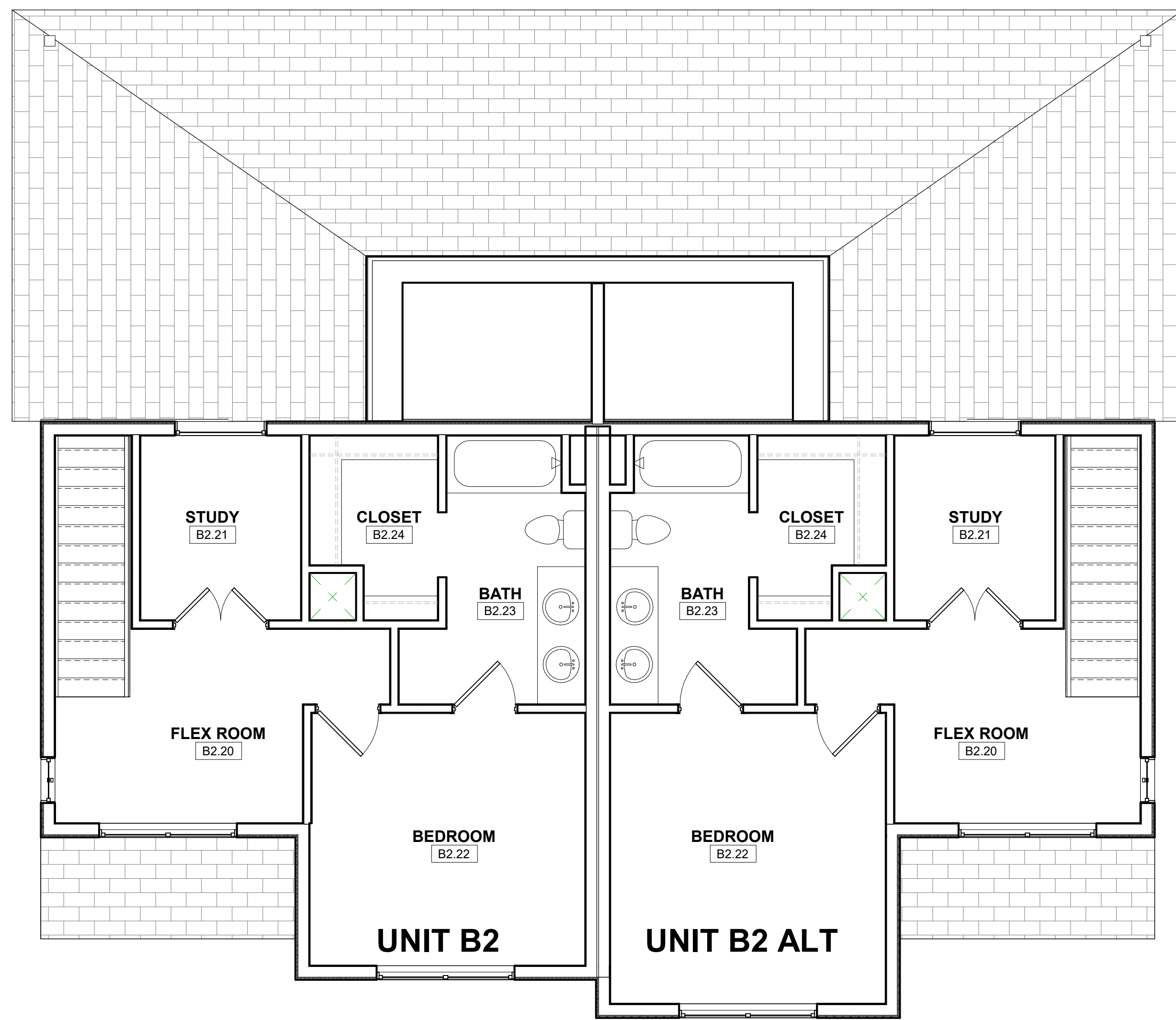
SHEET NAME:  
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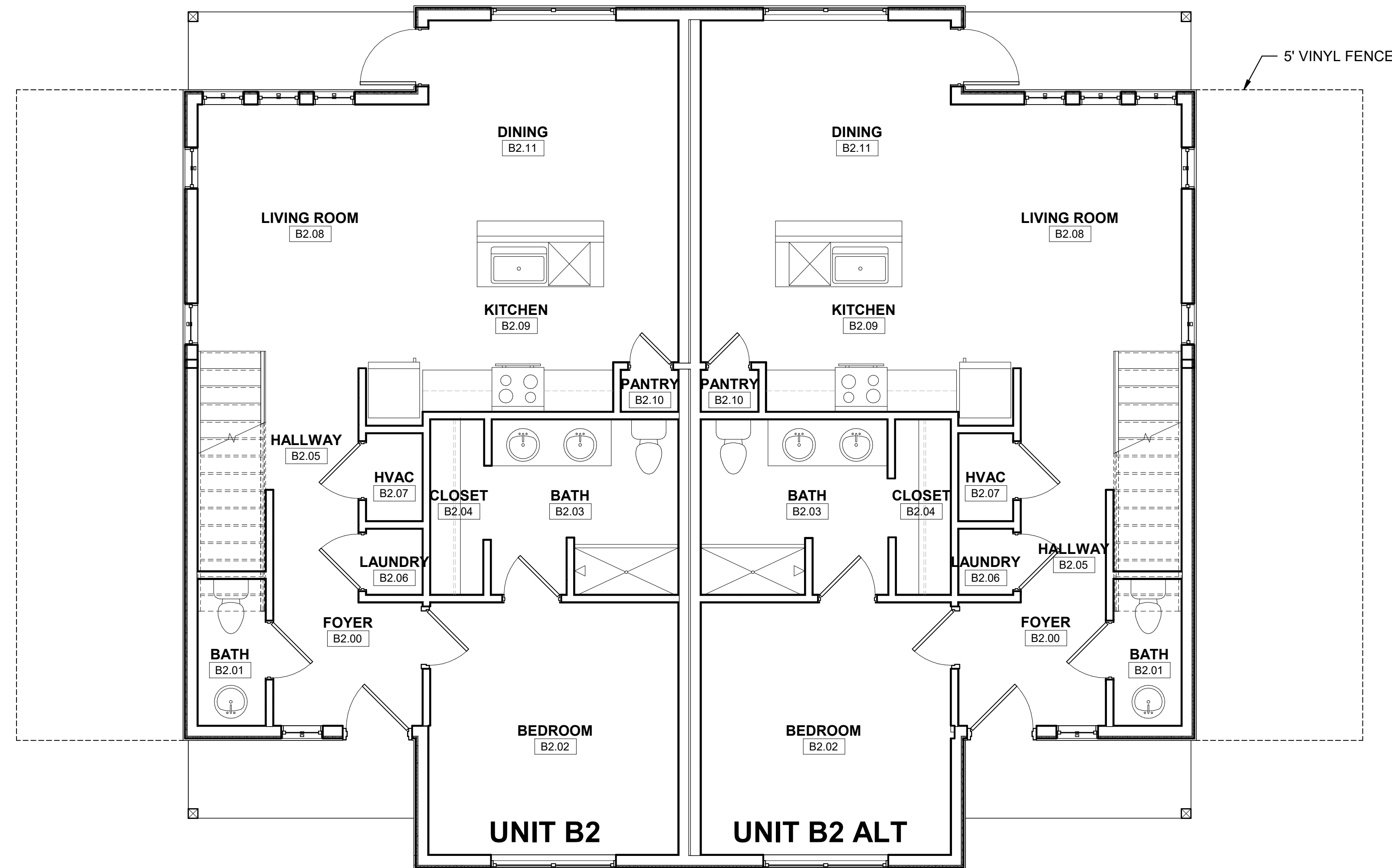
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**1** BUILDING TYPE 5 FLOOR PLAN  
 A1.5 1/4" = 1'-0" 4 UNITS

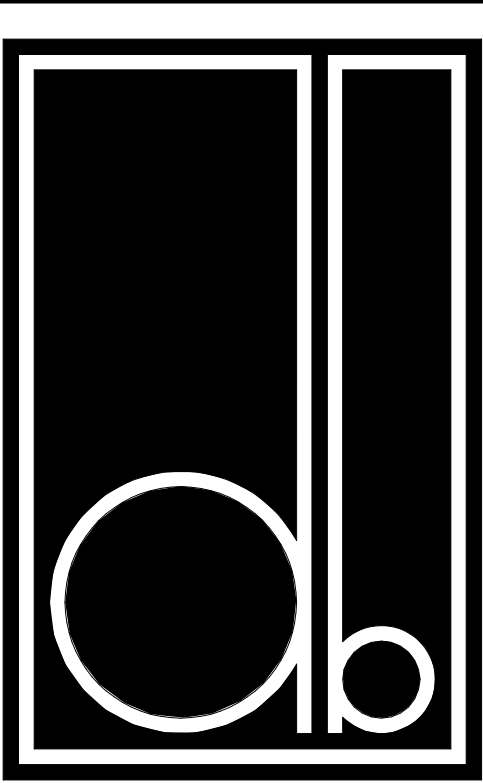


1 BUILDING TYPE 6 FLOOR PLAN - LEVEL 2  
A1.6 1/4" = 1'-0"



2 BUILDING TYPE 6 FLOOR PLAN - LEVEL 1  
A1.6 1/4" = 1'-0"

1 UNIT



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

PROJECT NUMBER:  
20033

DATE ISSUED:  
08.17.22

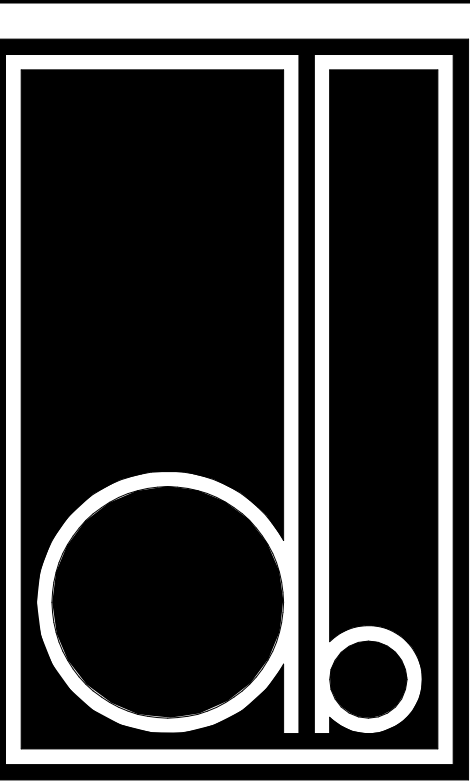
REVISIONS:

SHEET TITLE:

BLDG TYPE 6 -  
FLOOR PLAN

SHEET NAME:

A1.6



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



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5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
ISSUED FOR PERMIT

SEAL:

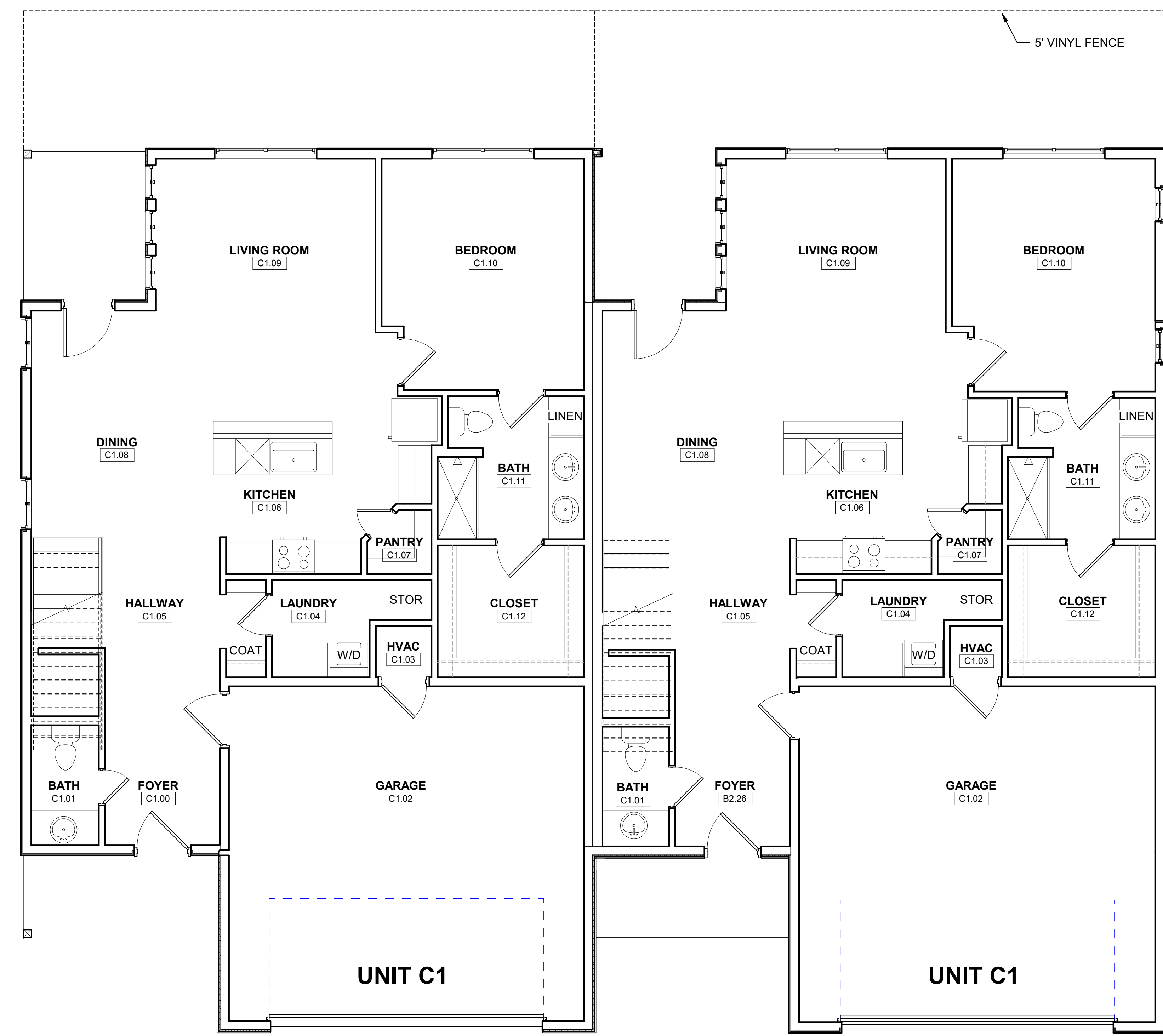
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20033

DATE ISSUED:  
08.17.22

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SHEET TITLE:  
BLDG TYPE 7 -  
FLOOR PLAN

SHEET NAME:  
A1.7A



**1** BUILDING TYPE 7 FLOOR PLAN - LEVEL 1  
A1.7A 1/4" = 1'-0"

4 UNITS



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



SPARROW PARTNERS  
5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

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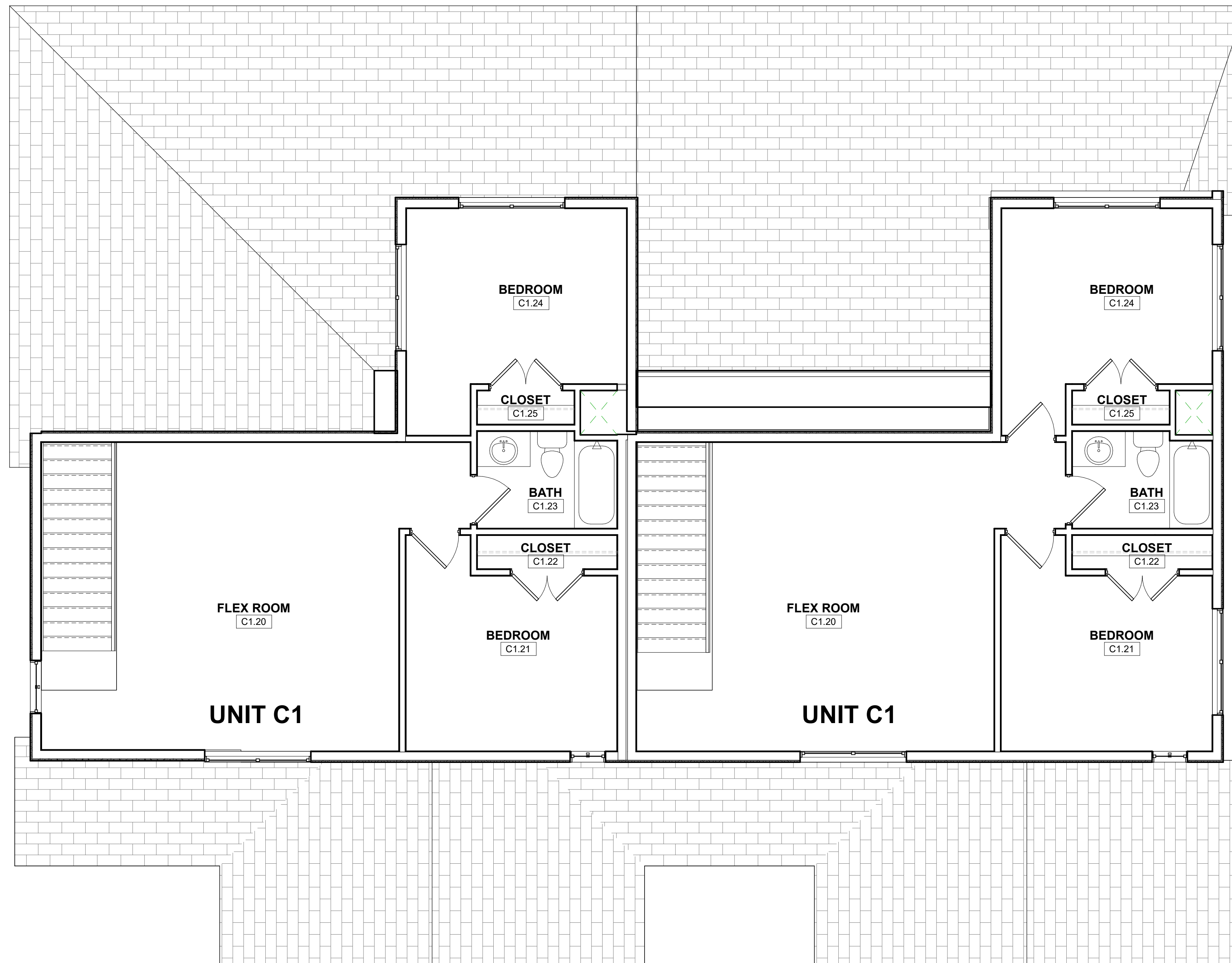
REVISIONS:

SHEET TITLE:

BLDG TYPE 7 -  
FLOOR PLAN

SHEET NAME:

A1.7B



**BUILDING TYPE 7 FLOOR PLAN - LEVEL 2**

1/4" = 1'-0"

1 UNITS



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



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SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ

ISSUED FOR PERMIT

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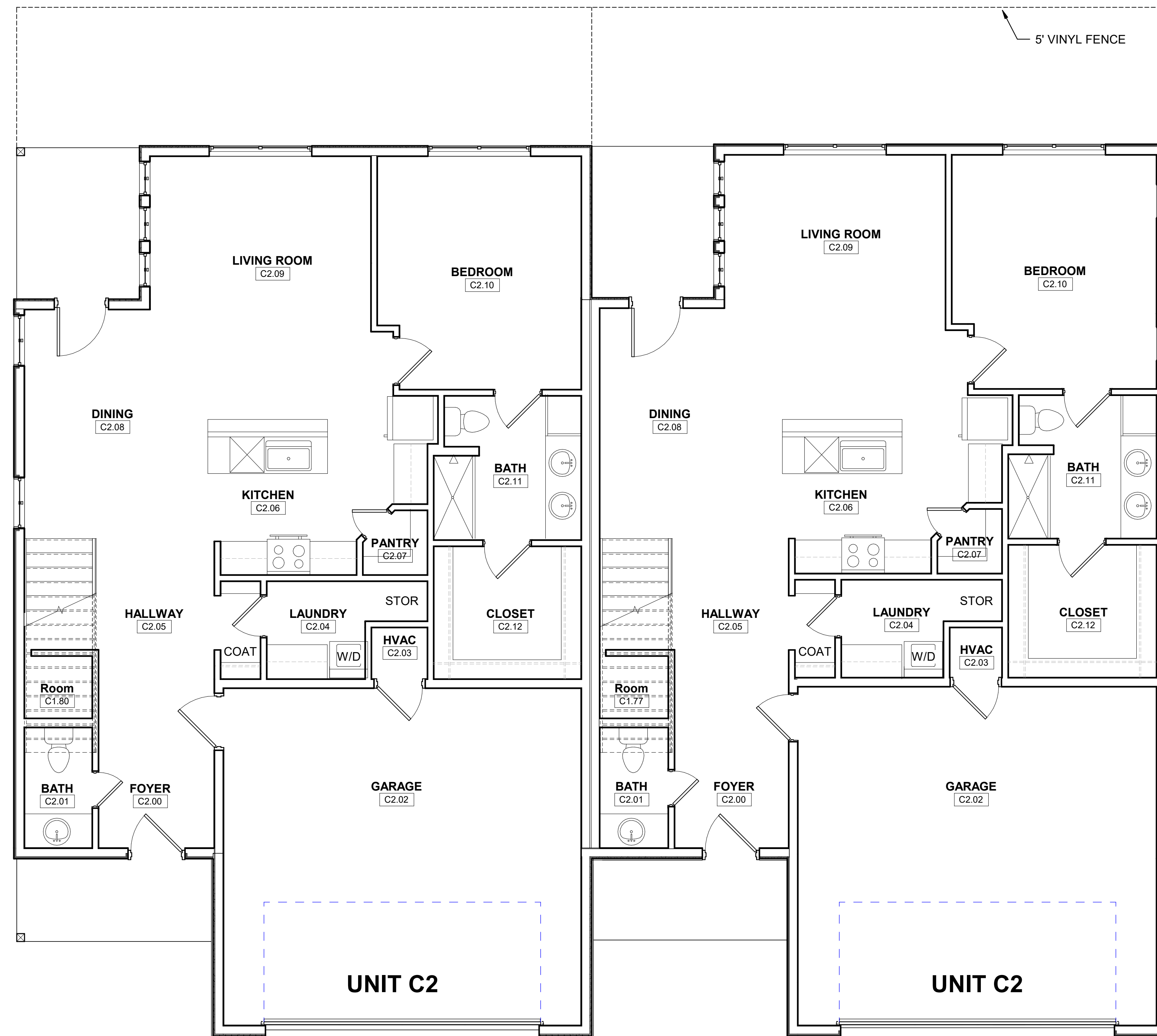
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SHEET TITLE:

BLDG TYPE 8 -  
FLOOR PLAN

SHEET NAME:

A1.8A



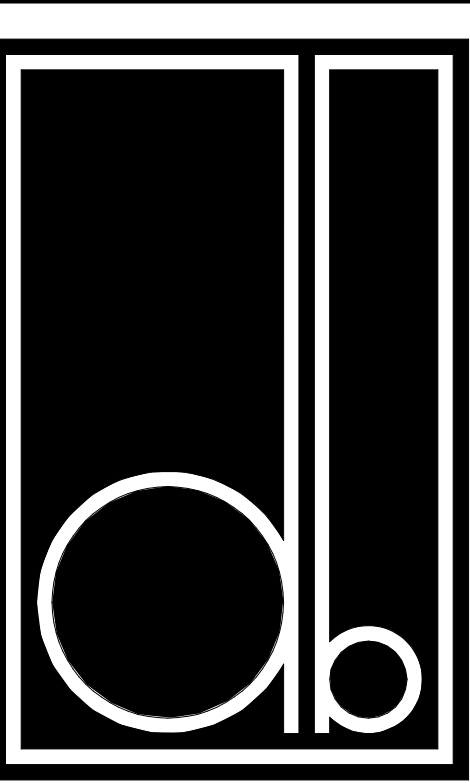
1  
A1.8A

BUILDING TYPE 8 FLOOR PLAN - LEVEL 1

1/4" = 1'-0"

4 UNITS





DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
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OWNER:



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QUEEN CREEK  
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08.17.22

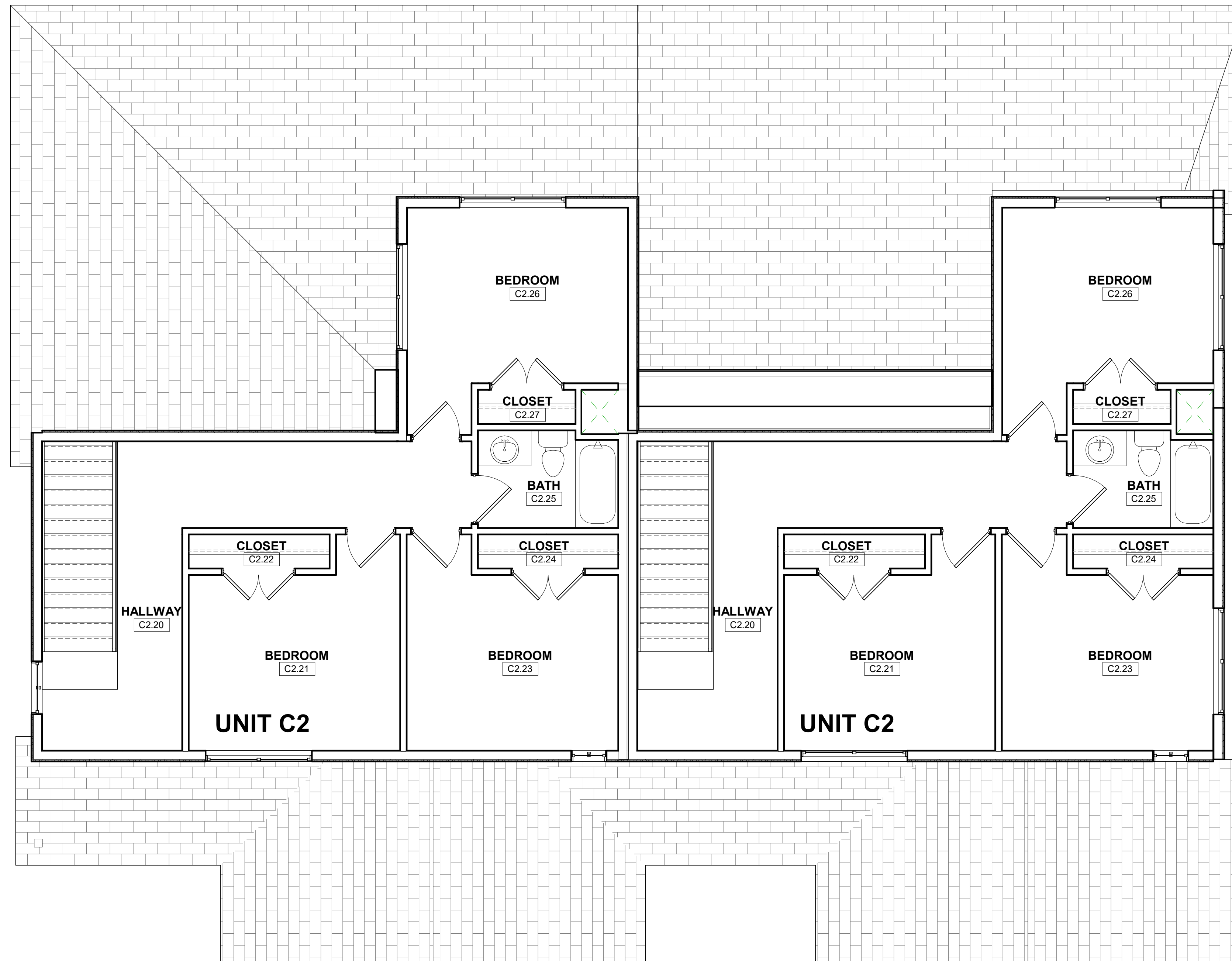
REVISIONS:


SHEET TITLE:

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FLOOR PLAN

SHEET NAME:

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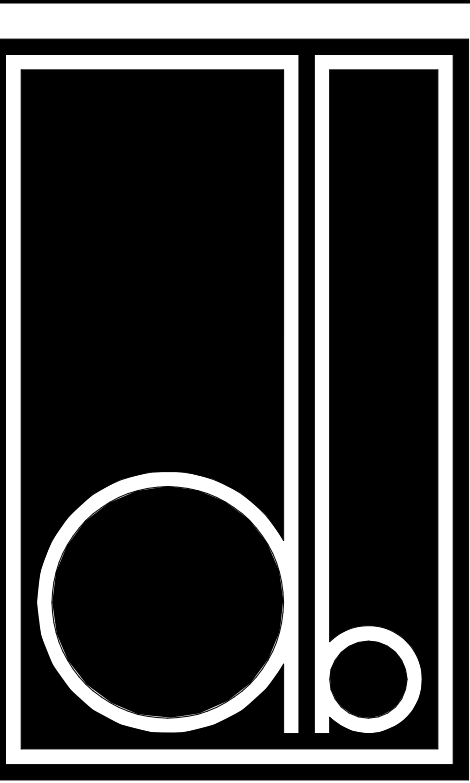


1  
A1.8B

BUILDING TYPE 8 FLOOR PLAN - LEVEL 2

1/4" = 1'-0"

4 UNITS



DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
 SUITE 200  
 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

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SEAL:

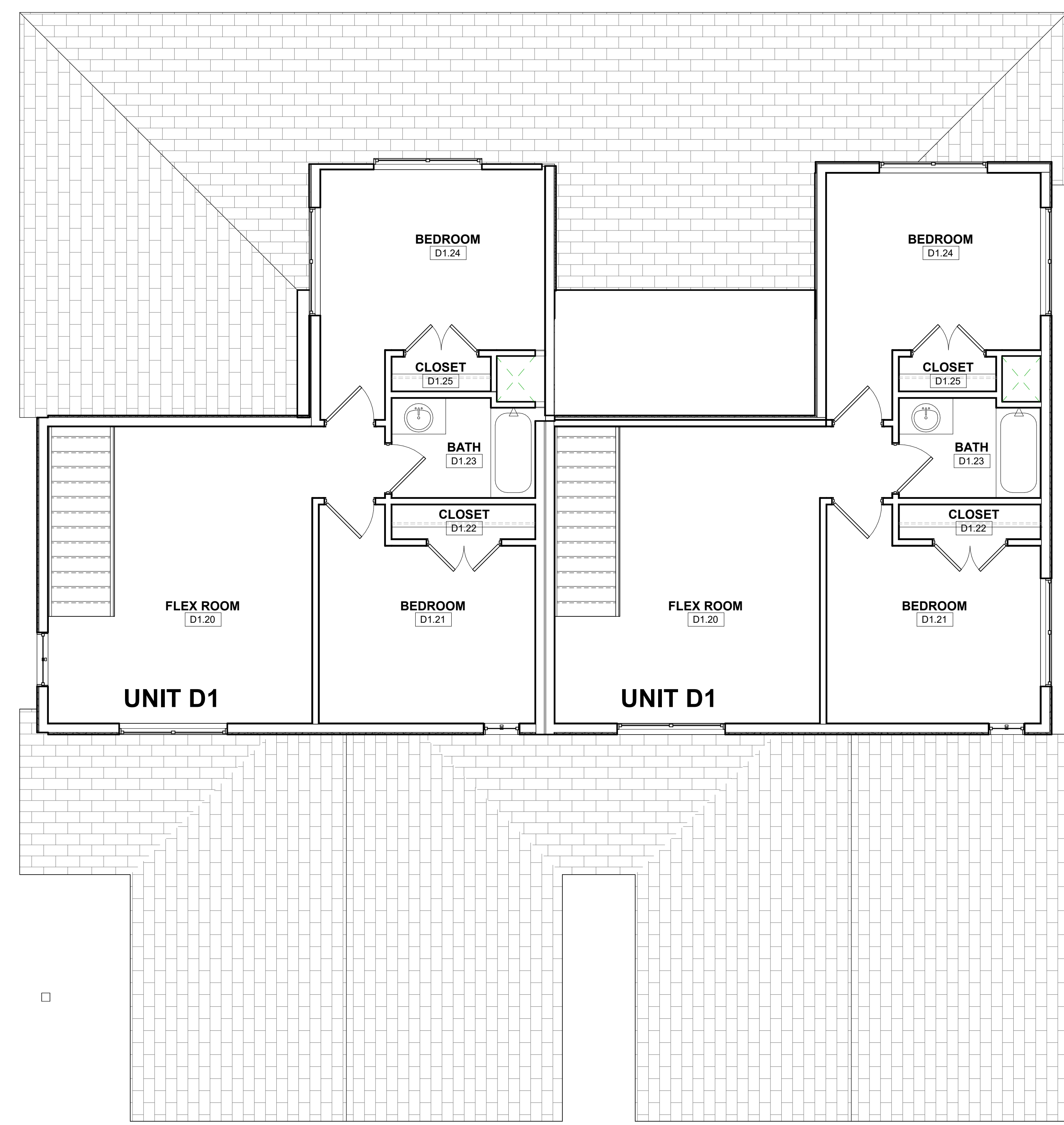
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 20033

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SHEET TITLE:  
 BLDG TYPE 9 -  
 FLOOR PLAN

SHEET NAME:  
 A1.9B

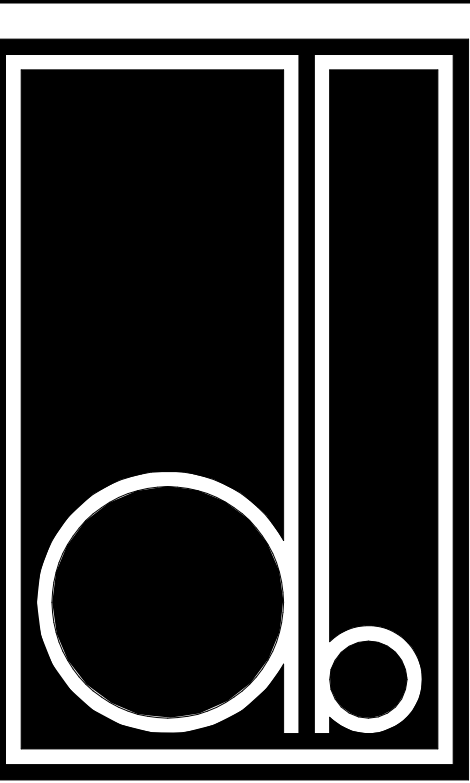


1  
 A1.9B

**BUILDING TYPE 9 FLOOR PLAN - LEVEL 2**

1/4" = 1'-0"

4.5 UNITS



DESIGN BALANCE, INC.  
2231 RIDGE ROAD  
SUITE 200  
ROCKWALL, TEXAS 75087  
214.668.2306

OWNER:



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5055 KELLER SPRINGS RD.  
SUITE 550  
ADDISON, TEXAS 75001

QUEEN CREEK  
QUEEN CREEK, AZ  
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PROJECT NUMBER:  
20033

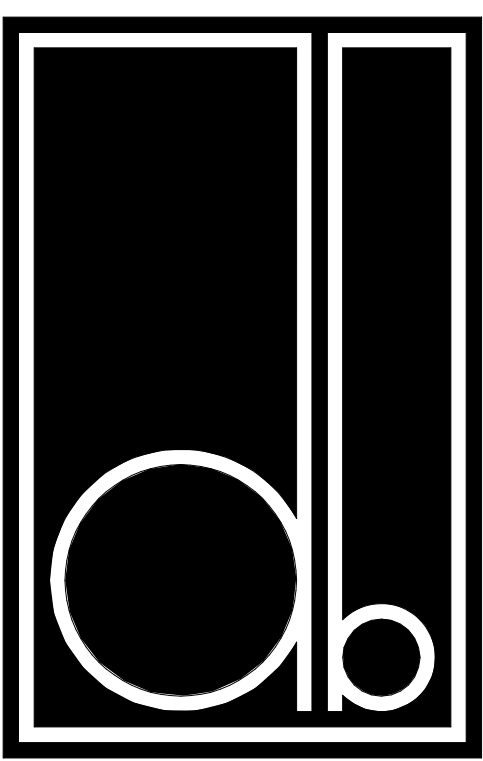
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BLDG TYPE 9 -  
FLOOR PLAN

SHEET NAME:  
A1.9A





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QUEEN CREEK  
 QUEEN CREEK, AZ

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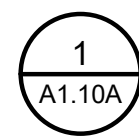
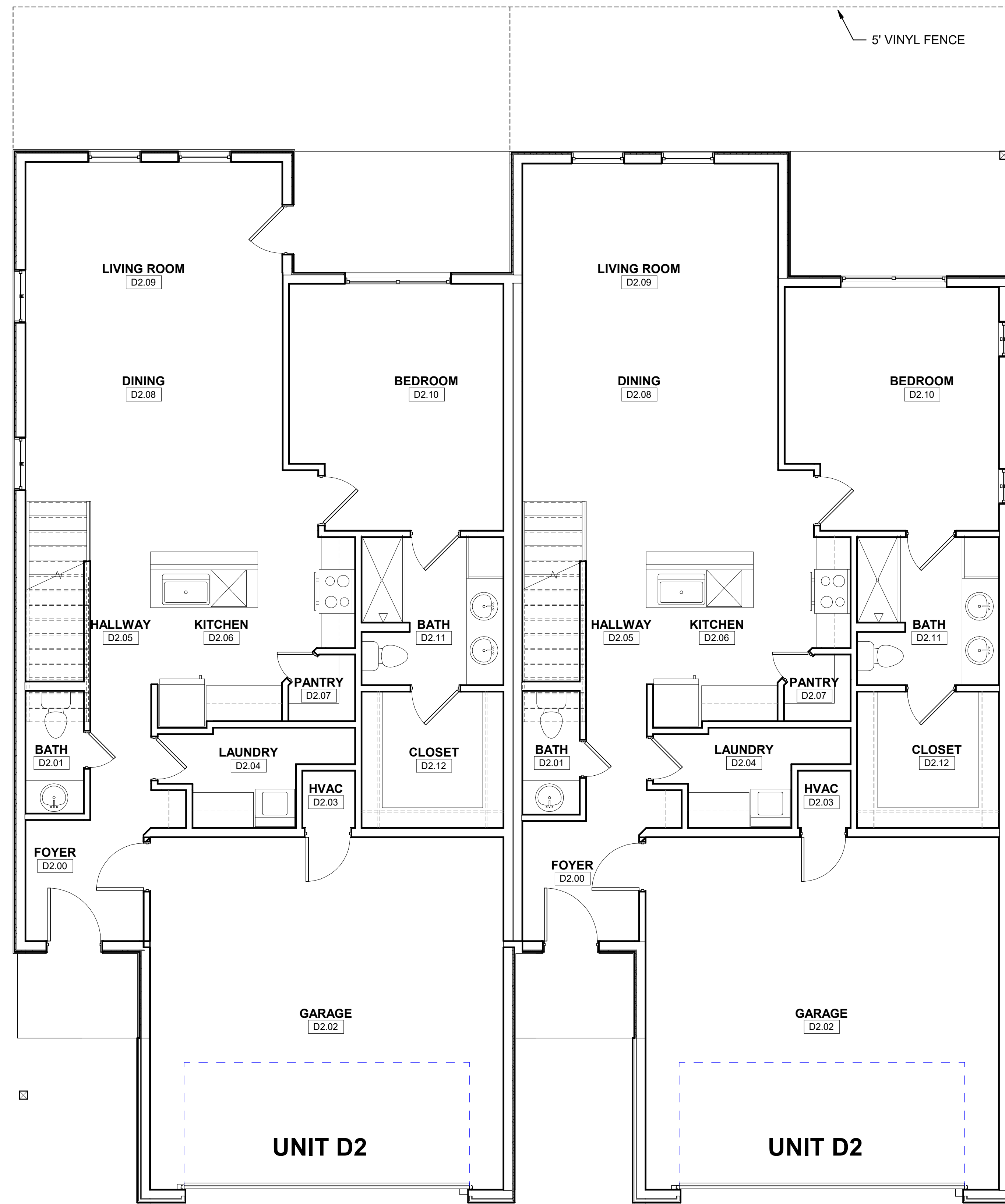
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BLDG TYPE 10 -  
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SHEET NAME:

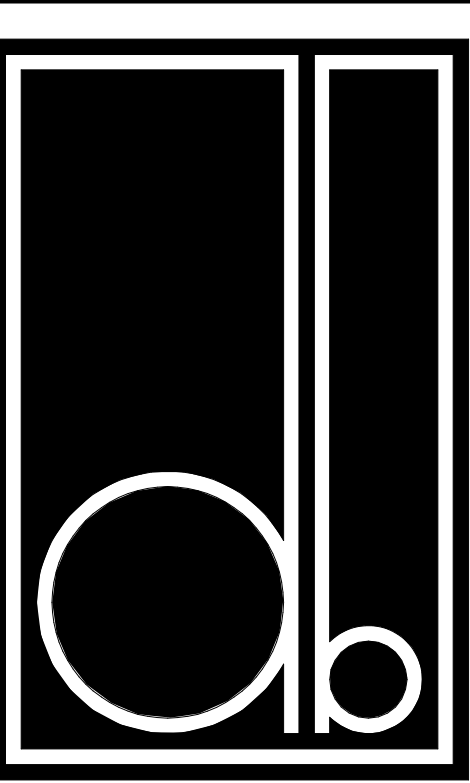
A1.10A



**BUILDING TYPE 10 FLOOR PLAN - LEVEL 1**

1/4" = 1'-0"

4 UNITS



DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
 SUITE 200  
 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ  
 ISSUED FOR PERMIT

SEAL:

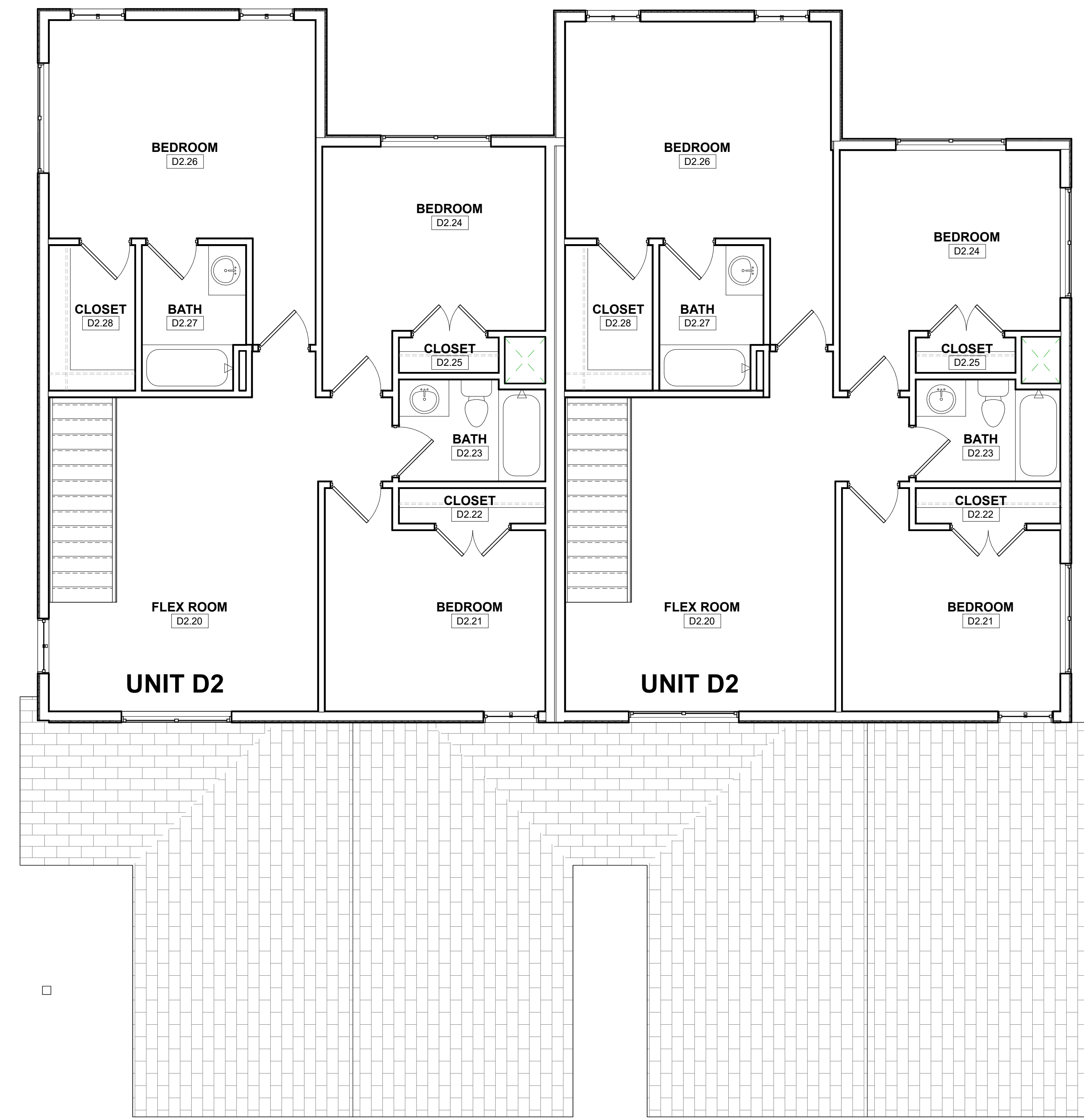
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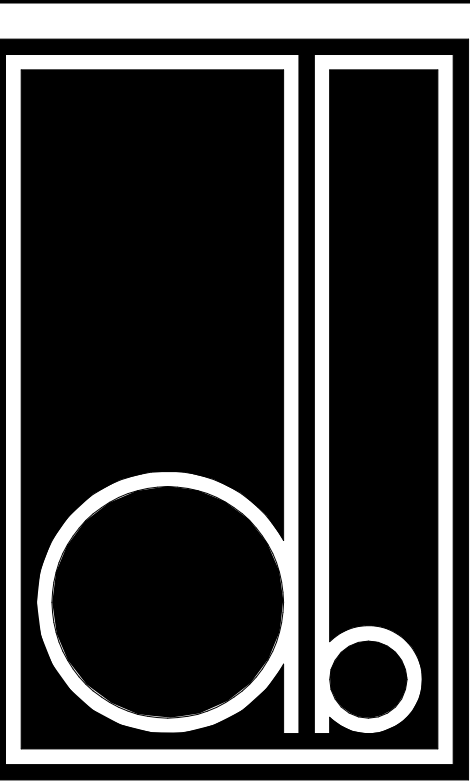
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SHEET TITLE:  
 BLDG TYPE 10 -  
 FLOOR PLAN

SHEET NAME:  
 A1.10B





DESIGN BALANCE, INC.  
 2231 RIDGE ROAD  
 SUITE 200  
 ROCKWALL, TEXAS 75087  
 214.668.2306

OWNER:



SPARROW PARTNERS  
 5055 KELLER SPRINGS RD.  
 SUITE 550  
 ADDISON, TEXAS 75001

QUEEN CREEK  
 QUEEN CREEK, AZ

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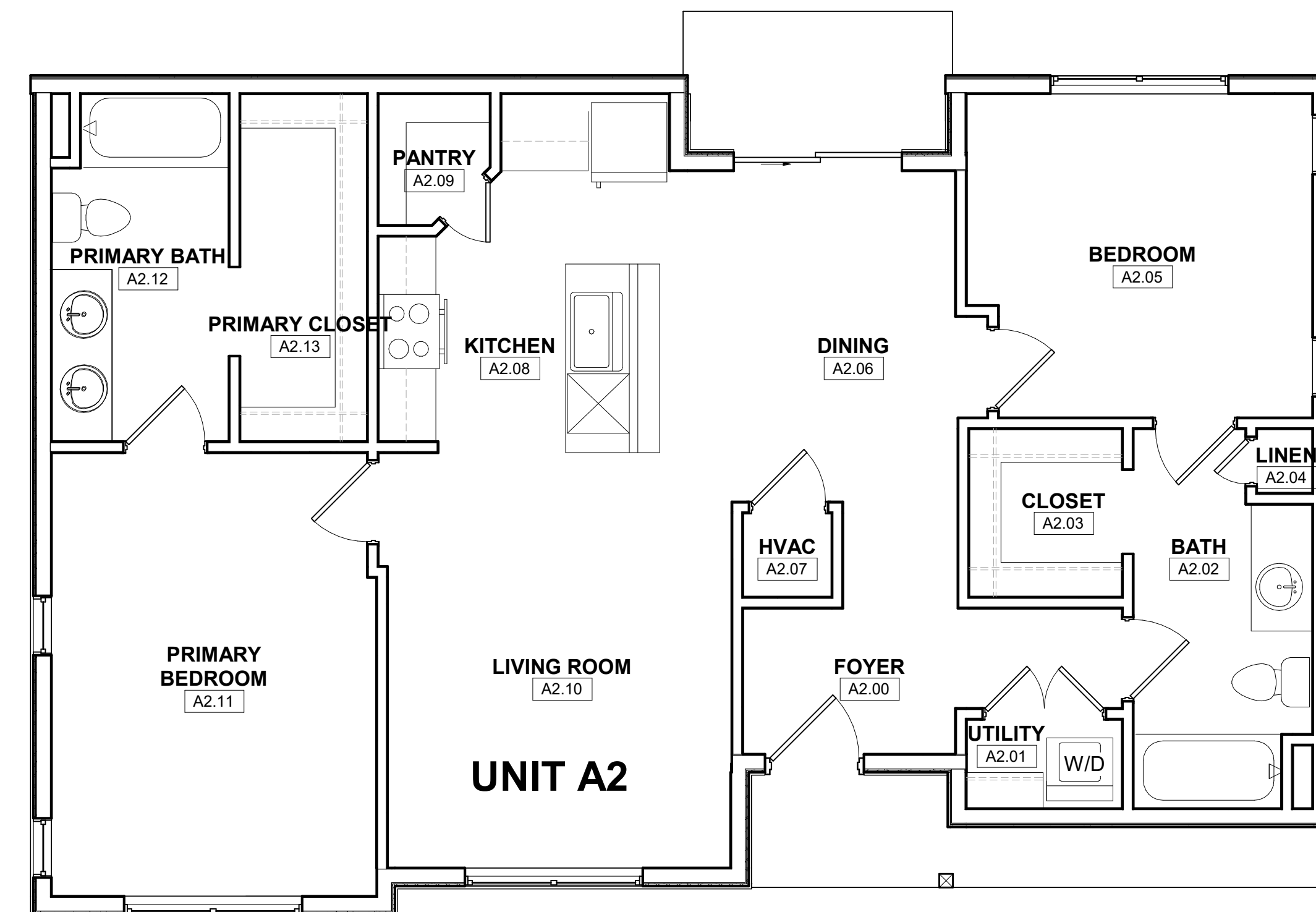
REVISIONS:

SHEET TITLE:

BLDG TYPE 11 -  
 FLOOR PLAN

SHEET NAME:

A1.11



1  
 A1.11

BUILDING TYPE 11 FLOOR PLAN

1/4" = 1'-0"

5 UNITS

# Ironwood and Ocotillo

## A Single Family Patio Home Gated Community

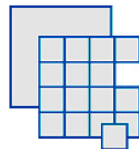
NW of NWC of Ironwood & Ocotillo Rd.

### PAD Narrative Rezoning & Site Plan Review

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*Submitted by:*

**Applicant: Pew & Lake, PLC**  
Sean B. Lake, D.J. Stapley  
1744 S. Val Vista Drive, Suite 217  
Mesa, AZ 85204  
Ph. (480) 461-4670



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

*On Behalf of:*



*Submitted to:*

**Town of Queen Creek**



March 24, 2022

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## 1. Introduction

Pew & Lake, PLC, on behalf of Sparrow Partners, is pleased to submit this narrative and related exhibits in support of a Rezoning and Site Plan Review for residential development on the approximately 11 net-acre vacant property (“Property”) located next to its recently approved project located NW of NWC of Ironwood Road and Ocotillo Road in Queen Creek (a portion of APN 109-18-834B, see Site Aerial in Figure 1 below). Based on the submitted plans, the specific requests include: (a) Rezoning from C-2 to MDR PAD; and (b) Site Plan Review to allow for the a medium density residential development.

The development team is excited to present the submitted PAD plans for Sparrow’s single-family attached and detached rental patio homes in a gated community. This unique neighborhood provides modern living features and includes includes 8+ housing plans with 1-4 bedroom options, front and rear patios, and 14+ elevations that provide for diversity and quality. Floorplans include the latest options for flex rooms and private studies that support modern lifestyles and work-from-home options. The proposed development incorporates a high level of lifestyle amenities, such as a clubhouse, perimeter trail, dog park, and an overall lush landscape and open space plan that will bring about a distinctive development. Perimeter landscaping and 1-story homes in the buffer areas will create a compatible transition to the single-family uses to the north.

The nature of this modern living, single-family patio/townhome type of development will provide additional investment and support for businesses that will complement and enhance the area and transition to nearby properties. The project fits within the framework by creating a balanced mix of land uses with commercial pads on the front at Ocotillo Road and the residential uses behind.

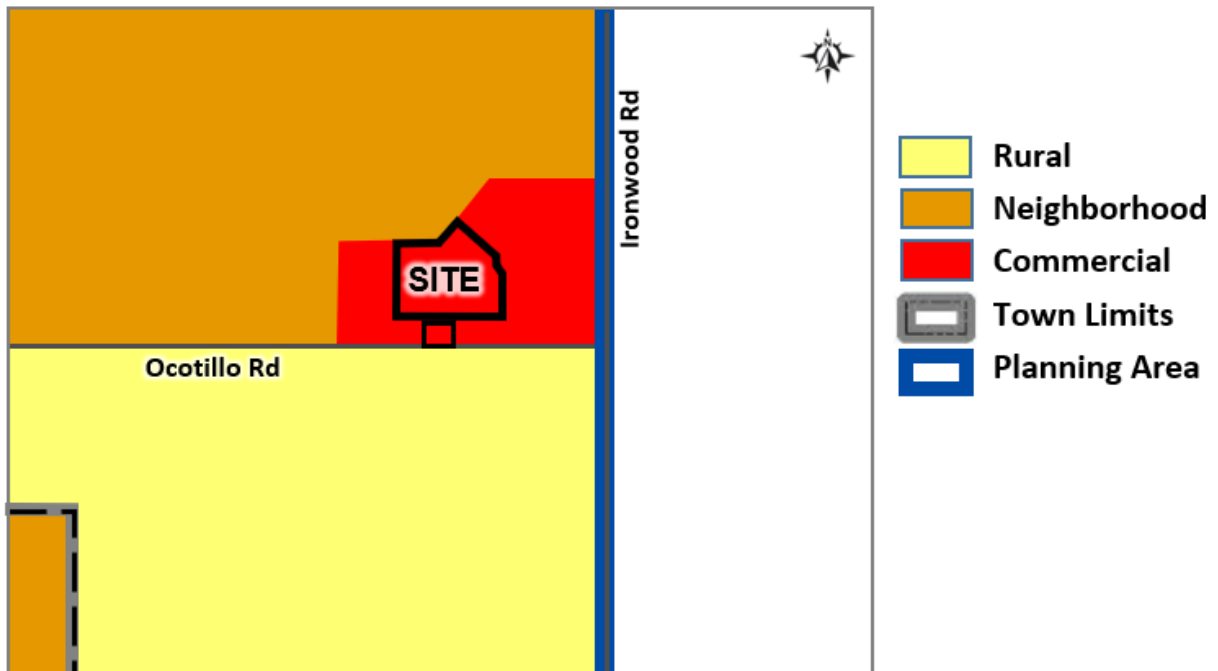
**Figure 1 – Site Aerial**



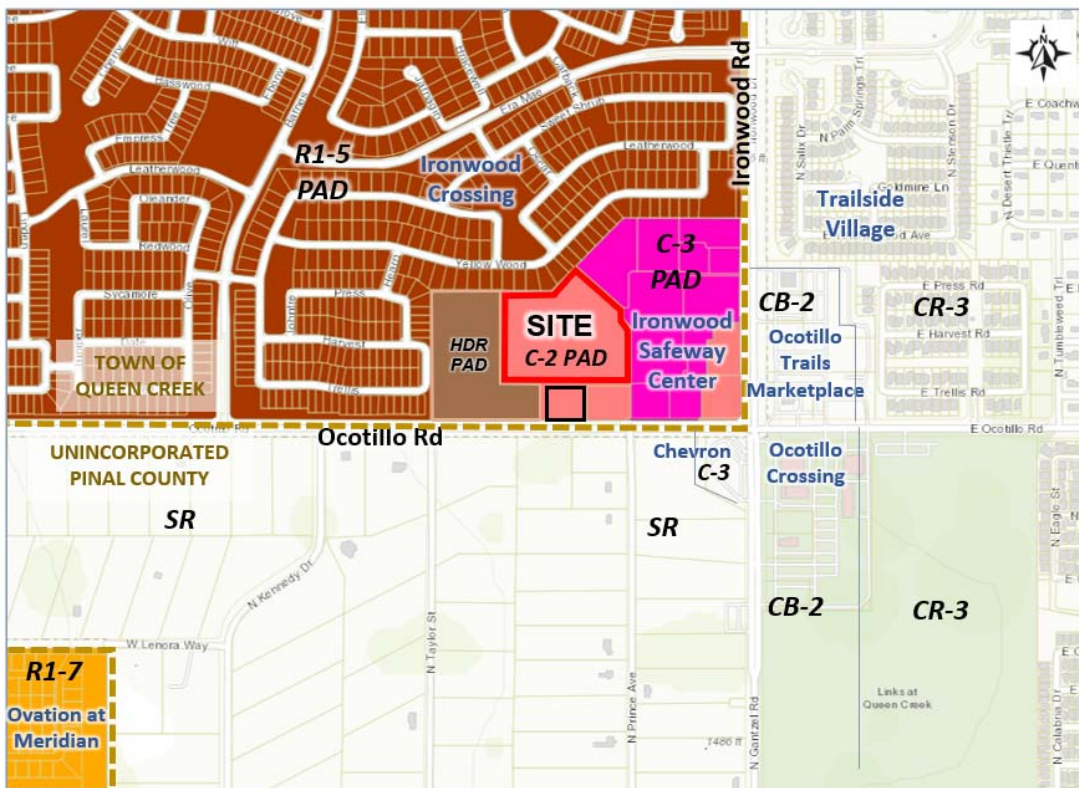
## 2. General Plan Designation and Zoning Classification

The Property is designated on the Town of Queen Creek General Plan as Commercial and is zoned C-2 (see below Figures 2-4, which indicate the existing and proposed designations).

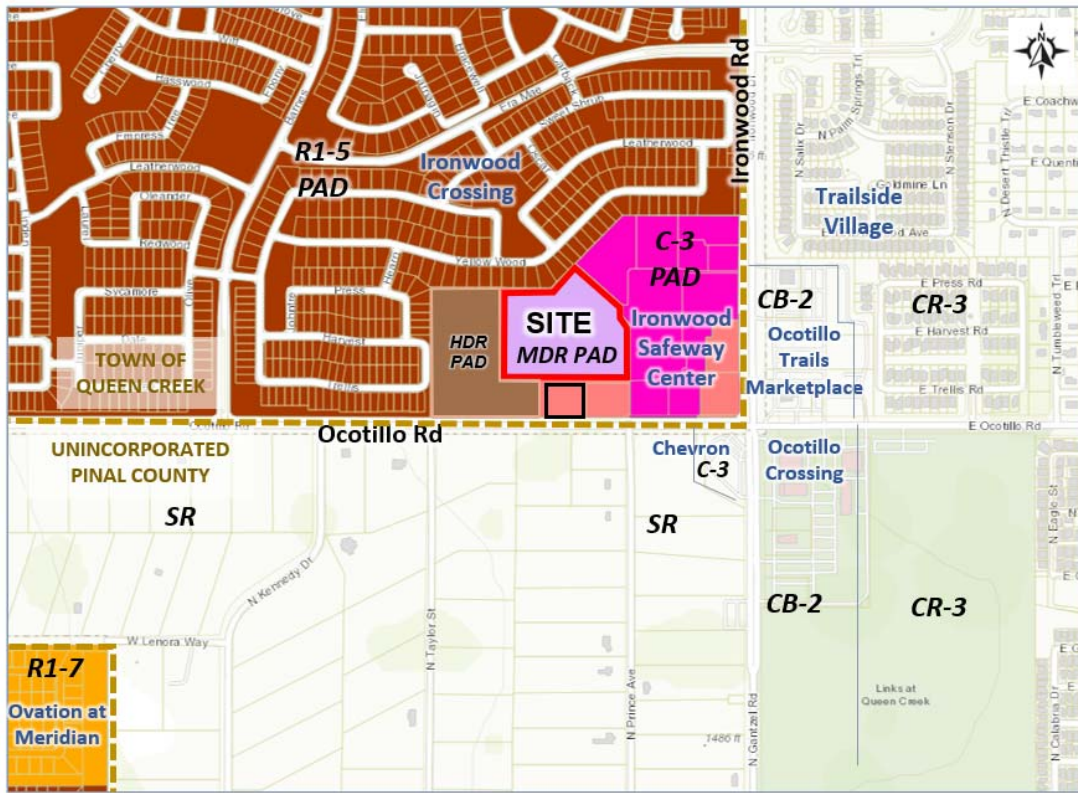
**Figure 2 –General Plan Land Use**



**Figure 3 – Existing Zoning Map**



**Figure 4 – Proposed Zoning Map**



The proposed development supports the vision, goals, and policies of the Town of Queen Creek General Plan for properties less than 20 acres, which requires that a given development “maintain a compatible transition between adjacent properties (pp. 6, 36, 90).” The General Plan also encourages the development of infill properties within the Town limits with a balance of quality housing types that support future housing demand and contribute to the stability of nearby businesses in Queen Creek (pp. 29, 47, 75).

The proposed development accomplishes these goals by providing a desirable residential gated community that promotes neighborhood stability and investment in the community. It will attract households to which businesses traditionally seek to locate near. Upon approval of this type of development, we will likely see stronger stability in commercial businesses and uses, such as professional services, retail, restaurants, medical, offices, and neighborhood services. Also, commercial uses are proposed that will not require a rezoning, but will provide desirable services to benefit the neighborhood as expected in the C-2 zoning.

Consistent with the General Plan, this development will create an effective transition to the site from the residential neighborhood to the north to the commercial uses along the arterial street and the HDR, C-2 and C-3 zoning development in and near the Ironwood shopping center. They are single-family homes like the homes to the north and are compatible with the nearby dynamic blend of land uses. The Property is appropriately located near Ironwood Road, which will have direct access to the future connection to the SR-24 freeway.

In consideration of the area’s market demand and the surrounding commercial developments on all four corners of the intersection of Ironwood and Ocotillo Roads, the proposed residential use creates a better balance in the mix of housing types. The number of homesites are right-fitted for the Property. They will help sustain the commercial developments and maintain the high quality of properties consistent with buildings at the intersection. This Property lacks frontage on a street and is accessible on what will be a dedicated 40-foot wide private accessway. Thus, the Property is located offset from the intersection near a mid-block of a mid-block location, which reduces visibility and marketability that is critical to commercial viability. Less commercial is needed, especially in areas such as the surrounding neighborhoods that are more spread-out and generally lower intensity in nature.

In the modern environment of land use trends and economics, properties located further from intersections and without frontage struggle to attract the same level of quality brick-and-mortar commercial than in years past. National studies have shown that before the COVID pandemic, businesses were beginning a shift to work-from-home and hybrid options, and online orders increased over the past decade to the detriment of a growing list of retailers and small businesses. (Dr. Richard Barkham, CBRE, www.cbre.com, 2020). The ongoing medical crisis has accelerated that commercial development trend with no end in the foreseeable future. Arizona has also been affected according to recent analyses. Less commercial space is required per home, and more and more employers have embraced home-office strategies. Considering the subject Property’s location amidst these development trends, the proposed residential use will offer benefits for the surrounding area. Project design will integrate high quality design principles consistent with the surrounding area and Queen Creek’s character.

### 3. Existing Site Conditions and Relationship to Surrounding Properties

The Property is vacant with relatively flat terrain and located in Queen Creek’s jurisdiction within Pinal County. Unincorporated land is located south of Ocotillo and east of Gantzel Road. Abutting the north boundary is the Ironwood Crossings single-family residential subdivision. Sparrow’s age restricted community is located to the west, and it wraps around to the south. Abutting the east and south boundaries are the developing Ironwood Safeway shopping center. Access to the south extends to Ocotillo Road (see Table 1 below).

**Table 1 – Existing and Surrounding Land Use Context**

Direction	General Plan	Existing Zoning	Jurisdiction	Existing Use
Project Site	Neighborhood	C-2	Queen Creek	Vacant
North	Neighborhood	R1-5	Queen Creek	Single-Family Residential (Ironwood Crossings)
East	Commercial	C-3 & C-2	Queen Creek	Developing Safeway Shopping Center (Ironwood)
South	Commercial & Rural	C-2 & HDR	Queen Creek	Developing Safeway Shopping Center (Ironwood), Vacant
West	Neighborhood	HDR	Queen Creek	Vacant, developing Sparrow community

#### 4. Project Description

The requested MDR zoning with a PAD overlay allows for the protection of a project’s quality design and a development plan that incorporates creativity, flexibility, and consistency with the Queen Creek Zoning Ordinance criteria. The proposed request will allow for the development of a single-family attached and detached gated community behind restaurant commercial uses. The site plan for the commercial uses will be submitted at a future date.

The residential development will be a hybrid use designed with patio homes that have the look and feel of single-family homes, with the benefits professionally managed common open space and recreational amenities in a secure environment. The development plan contemplates 110 homes on nearly 11 acres at density of approximately 10 du/acre (see submitted site plan), as depicted in Table 2 below. The proposed building height will be maximum 1 story generally around the north, east and south boundaries, with 2-story buildings limited to the site’s interior and eastern boundary.

**Table 2 – Project Summary Table**

Project Area	Acres
Gross and Net Project Area	10.94
Public Streets/ROW	0.0
Non-Residential Uses (Commercial, Schools, Industrial)	n/a
<b>Net Project Area</b>	<b>10.94</b>
Total Number of Lots/Homes	110
<b>Subject Property’s Net Density (du/acre)</b>	10.05

South of the residential rezoning are two planned restaurants that will front onto Ocotillo Road. They will not require a rezoning, only Site Plan Review. They are consistent with the land uses in the shopping center and the planned rear setbacks exceed minimum standards, which will contribute to project compatibility.

##### a. Site Design and Layout

Proposed design will comply with Queen Creek’s Residential Design Standards and PAD criteria, which purpose will be to implement the character contemplated in the design of the buildings and landscaping. In addition, the preliminary design concept anticipates complying with all of the applicable Town standards for engineering and infrastructure. The various design features will be holistically designed to form an attractive cohesive development plan.

Fronting Ocotillo road are two proposed restaurants. The restaurants will also be separated from the residential project by a connecting east-west drive. Buildings are located behind the perimeter landscape buffer to the arterial street. Massing and placement will complement the orientation and layout of the existing Culver’s restaurant.

On the residential project, the homes are laid out facing one another onto various landscaped pedestrian corridors. It is a small site, and residential blocks are short, which breaks-up the

building form and promotes human-scale development. Regarding compatibility, 1-story homes are designed where adjacent to the northern single-family community behind a 30-foot onsite buffer, and 1-story homes are also located to the west near the adjacent multi-family development and the south property boundary near the commercial development. Setbacks on the adjacent properties and the adjacent retention also promote project compatibility with surrounding uses.

Carefully designed buffers will ensure project compatibility with the residential uses to the north, multi-family use to the west, and commercial uses to the south and east. A 40+ foot buffer is located at the northeast property line partially as a result of a utility easement, which buffer exceeds minimum standards. Where a similar single-family use is provided to the north in the form of a single-family subdivision, a 30-foot onsite buffer on the north is provided. This buffer exceeds the 15-foot onsite requirement in Zoning Ordinance Section 5.3.D.6.c, which requires "a 50% proportional share of the required landscape setback" for each development.

Situations where buffers exceed standards reduces the developable area of this already challenging site because of its irregular configuration, sewer easement, and angled point at the north boundary. In exchange, the applicant seeks a small reduction in the 10-foot onsite landscape buffer to a commercial use along a limited section of the southern boundary next to only 5 building clusters along that southern boundary. This requested modification is further supported by the protection of the project with the enclosed backyards of the respective homes along the southern boundary east of the main access. Also, the surrounding commercial uses are not buildings, but parking fields and driveways, which creates more than the minimum required setbacks between buildings and mitigates any unreasonable impacts.

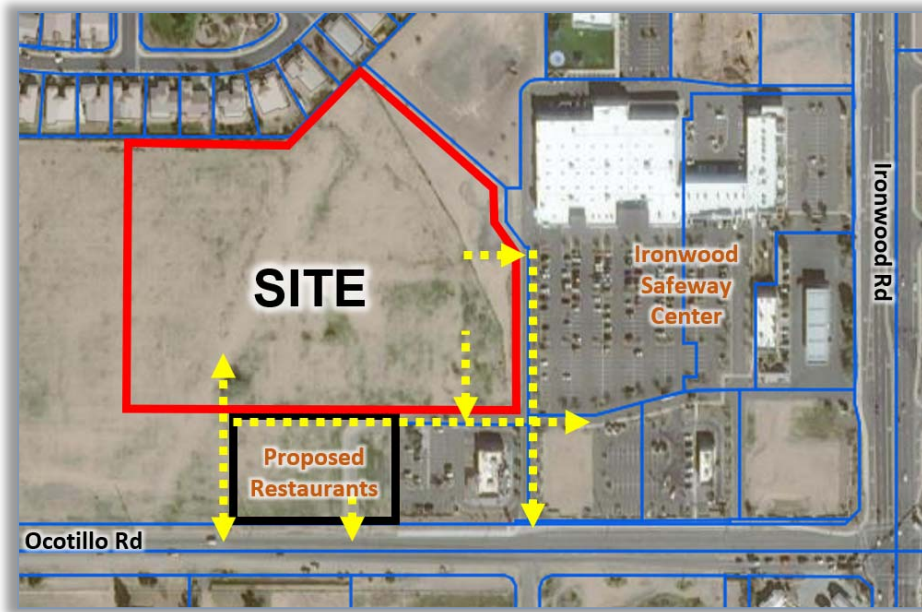
#### **b. Site Access and Circulation**

The main entrance to the residential development is proposed on a 40-foot wide dedicated private drive accessing Ocotillo Road. The drive turns east along the Property's southern boundary and then north-south in alignment with the site's eastern boundary. The project has two secondary, exit-only drives – one to the south and one to the east. The minor access points will provide direct access to the south or to the east at the Ironwood Safeway center. As part of the pedestrian circulation plan, all three site access points include sidewalk connections and a pedestrian gate to encourage a walkable community with easy access to the surrounding restaurants and retail uses. See Figure 5 on the next page.

Proposed design for the project's primary entrance will include prominent design features that create a sense of entry. At the focal point is the distinctive minimum 4,500+ sq. ft. clubhouse and resort-style pool amenity with landscaping features. A dog park is also located on the west side of the entry. Views into the site's grand clubhouse and park amenities portray the project's quality themes and character and are designed more like a single-family community appropriate for this local street-type of access. Internal to the project are private driveways are efficiently laid out to provide convenient access. They will be designed consistent with fire and public safety requirements. Interlaced throughout the community are pedestrian pathways that provide convenient linkages from the residences to the central amenity area and to the exterior of the community. Pedestrian pathways will extend outward to the perimeter buffers to connect to the

commercial property.

**Figure 5 – Site Access to Ocotillo Road**



**c. Open Space, Recreational Amenities, and Landscape Design**

The proposed development will offer a generous amount of landscaping and a hierarchy of private and common open space. The intent is to establish a sense of place and build a true community where neighbors can meet, relax, and enjoy their neighborhood community. Open space plans will meet or exceed Town standards (see Table 4 below). As provided on the Site Plan, project landscaping, courtyards, private backyards, common amenities, and a pedestrian circulation system will tie into the surrounding commercial uses to promote connectivity and a walkable neighborhood (see the open space summary below).

**Table 3 – Preliminary Open Space Summary**

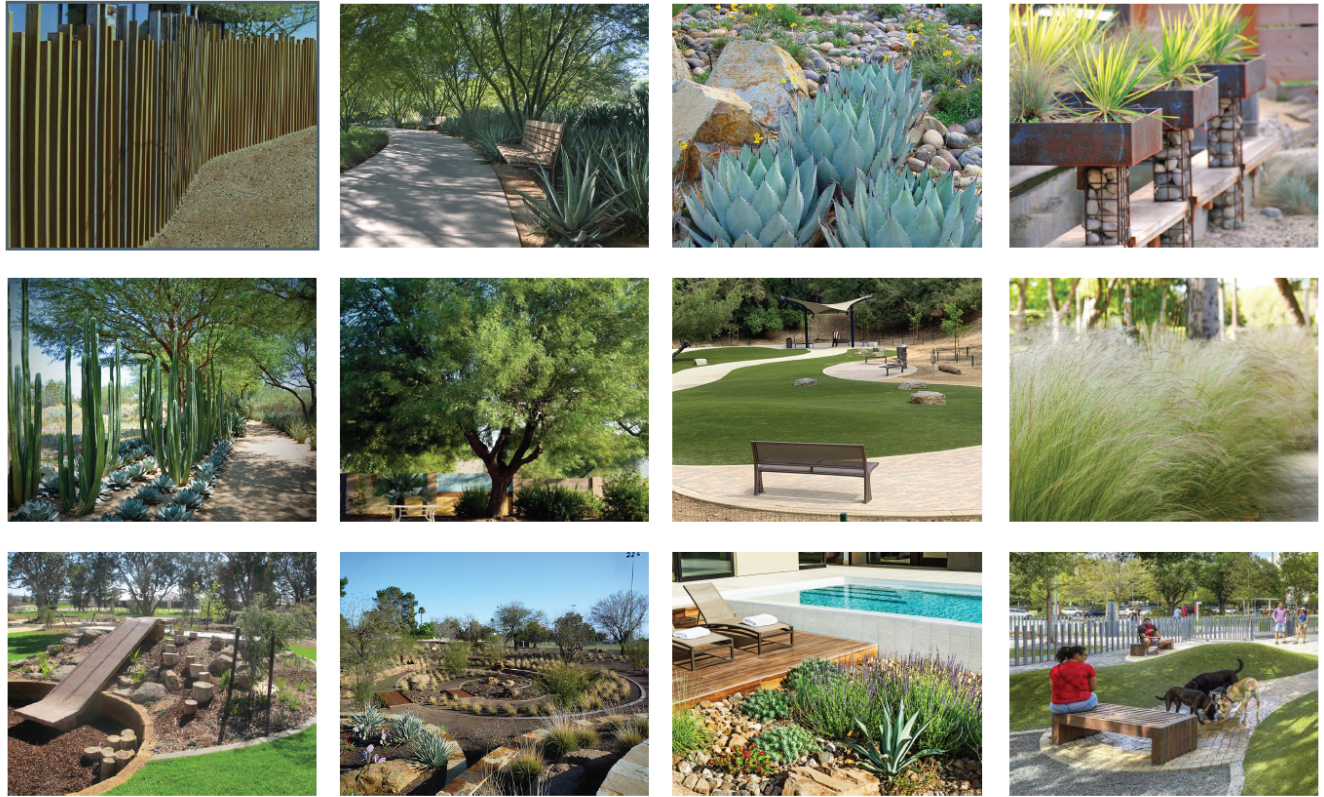
	Open Space	Min. %*
Required	<ul style="list-style-type: none"> <li>Total Open Space (2.19 acres)</li> <li>Active Open Space (% of Total) (0.67 acres)</li> </ul>	<p>20%</p> <p>30%</p>
Provided	<ul style="list-style-type: none"> <li>Total Open Space (2.4 acres)</li> <li>Active Open Space (0.9 acres)</li> </ul>	22%

\* In addition to the above required open space, private open space is proposed.

The project integrates recreational amenities and gathering spaces to promote social interaction. Central to the project is the main amenity area that may include, but is not limited to, a welcoming clubhouse building, fitness center, a resort-style pool and spa, turf lawn, BBQ amenities, and gathering areas with seating and shade trees and structures. Secondary open space amenities include, among other things, a dog park, connecting pathways with landscaping and shading, and

outdoor seating. The landscape character and themes intended for this community are illustrated in the representative imagery submitted with this application and depicted in Figure 6 below.

**Figure 6 – Representative Imagery of Landscape Character**



**MIXED USE COMMUNITY AT IRONWOOD CROSSING** QUEEN CREEK, AZ • CHARACTER IMAGERY  
PN 8521195 | 01.13.2022 | SPARROW PARTNERS

Because of the smaller size of this community, the proposed amenities will exceed the amount typically expected in comparable developments. A list of some of the upgraded features are as follows:

- Attached garages, which limit the number of detached canopies needed and increases direct parking access to homes.
- 1-4 bedroom options
- 1-2-story options
- 5 floorplans with a 30% larger average housing size than comparable developments.
- Full 30-foot common landscape buffer (not 15 feet) to the single-family use, followed by private backyard enclosures
- Homes face the streets or internal shaded pathways, which layout lives and feels more like a single-family community than traditional rental apartments.
- Inspired open space with more intentionally designed gathering areas, view corridors, and recreational uses with a focus on community building.



- The wall plan will include a boutique, farmhouse-themed white decorative walls made of durable vinyl materials with permanent anchoring to enclose the backyards of the homes. Perimeter theme walls to the south and east will include three materials, such as concrete block, split faced, and a cap, and will comply with the design standards for columns. Perimeter walls will tie into existing walls to the north and west. View fencing will be utilized for pool areas and along the sewer easement along the Property's northeast boundary with views into the retention area.
- Many communities do not have a clubhouse in their central amenity area. The proposed clubhouse in this community is more than 4,000 SF, which exceeds the size typically seen for projects of this smaller scale.

#### **d. Community Design Character**

The design of the buildings and landscape plan at the site entries will establish the project's low-intensity residential character and high-quality residential design. Housing product options include a desirable variety that are greater than typical developments of this type. Variety exceeds single-family and multi-family standards with approximately 11 plans and approximately 14 elevations available for 1-bed, 2-bed, 3-bed, and 4-bed options that are designed as patio homes and one- and two-story twin homes. A majority of the homes will have attached garages, which furthers the look and feel of a standard single-family residential community. The list below summarizes the elevation types:

- Plan 1-2 – Twin single-story
- Plan 3 – SFR two-story, garage
- Plan 4 – Twin two-story, garage
- Plans 5 – SFR two-story
- Plans 6 – twin two-story
- Plans 7-10 – twin two-story, garage
- Plan 11 – SFR 1-story

The proposed design and character will celebrate the heritage inherent to Queen Creek. The Town's background is epitomized by a sense of pride in its traditions and values centering on its rural history, recreational amenities, and quality neighborhoods. The proposed character of the proposed development will extend this experience to its future residents and visitors through a combination of landscaping, colors, textures, and building materials.

At the MDR parcel's main entry, views are directed toward the landscaped clubhouse amenity area with gates pushed to the east and west. A stately clubhouse will establish the community's design character and sense of place, which is larger than expected for a project of this size. The intention is to create a private gated community with perimeter walls, landscaping, pathways, and entry monumentation. Theme walls along the southern and eastern boundaries will be aesthetically pleasing with appropriately spaced articulation, material, and color variations in accordance with Town standards.

Along the street frontages, the landscape buffer create a cohesive design theme along the street.

Homes backing onto the perimeter buffer will be protected from any roadway effects by the proposed backyard enclosures, integration of open space, and plant material. Buildings on the adjacent parcels will exceed minimum standards that are designed to address impacts. Given they exceed standards, any effects will be mitigated by the distances and benefits this community offers in the form of proximity to retail-commercial and internal site amenities.

#### **e. Architectural Themes**

Submitted elevations, floorplans, and color-material boards have been submitted to represent the level of quality planned for the Property. Each home will have both a covered front and rear patio, which is typical of Queen Creek's expectations for single-family homes.

The architecture of the proposed housing development will incorporate and exterior design features, windows, and articulation that are appropriate to the scale and interior design of the buildings. Elevations will be punctuated with various design materials and durable roofing material, such as slate and clay tile. Details, trim, and complementary color schemes will add tasteful variety to the buildings consistent with related developments in the area. Private patios will transition to the outdoor spaces and private backyards for each homesite, increasing articulation of the rear elevation and transitions to the outdoor space.

Window trim and detailing will enhance the elevations, and their size and design will correspond with the functionality of the interior design and floorplans. They are designed to allow natural lighting to enter the interior spaces from multiple directions and accentuate views to the outdoors. The sizing and styles will be consistent with single-family dwellings, in contrast to typical large-scale multi-family projects with rows of homes with fewer exterior walls with direct natural lighting.

Interior spaces will also have high-quality features, such as high ceilings, granite countertops, and a host of efficient design elements, like flex rooms and private studies that support modern lifestyles and work-from-home opportunities. As designed, the project will be ideal for families and individuals who enjoy the outdoors and who seek to be long-term residents in the area.

#### **f. PAD Development Standards**

The proposed PAD standards and development plan comply with the Zoning Ordinance's PAD criteria, and they help implement the General Plan goals and policies. This PAD will meet or exceed the development standards for MDR zoning, except for minor modifications that are tailored to this development and justified by the unique design characteristics, site conditions, and features that exceed zoning standards. It is noted that the MDR zoning district was created prior to the development of this transitional residential use, thus necessitating a limited number of minor modifications in exchange for highly desirable development features that when looked at as a whole provide an enhanced product. Table 5 below lists the requested modification to development standards, which are shown as **bold** under the "Proposed" column.

***Table 4 – PAD Modified Development Standards***

Zoning Standard	QCZO Required	Proposed
Distance between multi-family buildings DS.5 (C)(1)(a))	15 ft. recommended	<b>10 ft.</b>
Min. Perimeter Landscape Buffers (5.3.C.6.a, Table 5.3-1) <ul style="list-style-type: none"> <li>• East - Commercial Use</li> </ul>	<ul style="list-style-type: none"> <li>• 10 ft. onsite</li> </ul>	<b>5 ft. landscaping</b> <b>5 ft. sidewalk</b> <b>10 ft. combined total</b>
<ul style="list-style-type: none"> <li>• South – Commercial Use</li> </ul>	<ul style="list-style-type: none"> <li>• 10 ft. onsite</li> </ul>	<b>5 ft. landscaping</b> <b>5 ft. sidewalk</b> <b>10 ft. combined total</b>

**Justification for Modified Development Standards**

**a. Building Separation**

Proposed is a minimum 10-ft. building separation, which is an essential element of the development’s multi-faceted open space plan and the efficient and cohesive design. Buildings will be clustered and oriented toward pedestrian and open space pathways, and they will comply with all applicable building code requirements. Pedestrian friendly sidewalks will be laid out with landscaping, shading, and a pattern of shared common area spaces. Among other things, this modification is justified by the buildings’ smaller scale, enhanced setbacks proposed, and its reduced impact on the surrounding properties. Also, the generous open space areas support this modified standard and will further the qualities of light, space, and enhanced views to and from the parcel.

**b. Landscape Buffer**

The proposed landscape buffers are described in Table 4 and earlier in this narrative. They are requested to benefit the Town and to increase its ability to enforce these enhanced standards through the PAD. These are also proposed to promote the intents of the General Plan regarding landscape buffers and transitions to surrounding uses.

Given the proposed development is a hybrid between single-family and multi-family uses, proposed are 10 feet of buffers, 5 of which would be landscaped, with a 5 ft. sidewalk around the perimeter adjacent to the commercial use to the east and south. Behind this buffer are the proposed backyard enclosures as shown in the table. Combined, this exceeds the minimum required building setbacks, which reduces the intensity of development to the benefit of the community along the perimeter. This request, therefore, meets the intent of the ordinance. Adjacent commercial buildings will likewise be setback further than required, which will mitigate any the impacts on the adjacent properties as intended by this Zoning requirement.

In complying with buffer requirements, it is common for at least a portion of the landscaping in multi-family type of developments to be located in common landscape areas accessible to any resident in the community. On the other hand, single-family developments frequently allow the backyard enclosures of housing units to back-up to the side and rear property lines.

The 30 ft. buffer to the north exceeds standards causing the adjacent residential homes to north benefit aesthetically from having a wider strip of landscaping on this Property's boundaries. The buffer is more than 50 ft. to the northeast, which also increases the views into landscape areas from adjacent properties, creating benefits to the properties to the north. As further justification, this 30 ft. larger buffer pushes the development south creating limitations on the south boundary. This southern boundary has a site layout is more compatible with the proposed medium density residential use adjacent to the commercial parking areas and walkways and where setbacks are more than required.

#### **c. Exceeds other standards**

The zoning ordinance prescribes building setbacks and buffering standards to address the differences in land uses. In this case, many of these standards are exceeded, thus contributing to enhanced development components. As such, the modified standards are further justified by the instances where the project exceeds standards relating to the single-story building height around the perimeter behind enhanced setbacks to the north, and clubhouse size, number of housing plans, and other requirements.

The proposed buildings will not exceed a height of 1-story around the perimeter to the north and northeast, which is lower than would be typically expected for a multi-family use. The single-story limit will promote the enhanced feeling of light and space and a low intensity use, which enhances the project's compatibility with surrounding properties. Two-story plans are needed internal to the site to create the feeling of a standard single-family community with multiple options that create an inviting appearance, promote diversity, and provide an opportunity to age in place. In addition, open space is more than required, and lot coverage is substantially below the minimum 60% standard. These features decrease the project's intensity along the perimeter of the project and form part of the justification for the modified standards unique to this project.

#### **d. Similarity to Single Family Uses**

One of the main premises for the proposed development is to develop a highly desired single-family product in the residential marketplace as opposed to the traditional 2-3 story apartment project with multiple units in each building. Based on the developer's extensive experience in delivering high-quality rental housing, the proposed housing product has proven attractive to residents for many reasons. For one, the project is set up more like single-family homes with private backyards and the architectural style, in which there are no units above or below as in the case of traditional apartments. This arrangement allows more privacy and more natural lighting to enter each unit on three to four sides of the buildings. The proposed homes transition to the outdoors through the patios and private open space. The project design enhances the comfort of the interior spaces and offers convenient access to pedestrian pathways and outdoor amenities. As a result, the proposed development establishes a cohesive plan and a desirable, resort-like environment that will benefit onsite residents and the surrounding community.

#### **e. Health, Safety, and Welfare**

The proposed standards are necessary to achieve the benefits to the Town's health, safety, and

welfare. In sum, the proposed development standards are in the best interest of the Town to:

- Provide land use buffers to properties with differing intensities;
- Integrate connectivity of open space areas into the development plan;
- Enable the project to develop the high-quality housing concepts expected by the local market and development patterns;
- Establish distinctive design concepts and development themes; and
- Foster desired economic benefits for the Town's nearby non-residential and neighborhood commercial uses.

In different situations, the proposed standards may exceed the Town's requirements – such as building setbacks, building height, open space, quality interior and exterior architectural themes, and appreciation of the outdoor environment. These elements are tailored to this creative and highly demanded residential product. When considered alongside the project site's unique context and what the proposed development offers, this request will comply with the PAD criteria and promote the welfare of the community.

## 5. PAD Compliance

The proposed development meets the Zoning PAD criteria as indicated in this narrative and the submitted plans, summarized as follows:

- A. Changes in Surrounding Area** – Growth and change has occurred in this section of Town that are updating land uses as is intended in the General Plan. The commercial development to the east and south are slowly coming to fruition. This site was originally sized for a regional power center, which would not match the lower intensity nature of this area given the already 4-corners of commercial uses at the intersection that are not yet built-out.

Given the conceptual nature of the General Plan, this application enables the Town to analyze the information available now and the evidence provided in this package, which proposes an appropriate zoning framework for quality development on the subject Property.

- B. Consistency with the General Plan** – The proposed development meets the intents and purposes, and the economic development objectives of the General Plan by:
- Providing an effective mix of land uses and a diverse range of quality housing options for current and future residents with community amenities in a resort-like environment (Housing Element, Goal 1);
  - Maintaining the Town's Unique Community Character and neighborhood stability through the proposed PAD development standards (Land Use Element, Goal 1);
  - Facilitating expansion of active open space and recreational opportunities for

Queen Creek residents (Recreation, Parks, and Open Space Element, Goal 4):

- Increasing the opportunities for professional services, jobs within the Town, and economic development (Strategic Themes);
- Maximum building heights are decreased, buffers increased, and other design elements developed effectively with respect to the site constraints (Goal 4).

- C. Property Characteristics and Limitations** – The property’s location that is set back several feet from the arterial intersection creates a nice cove with privacy and tranquility that are suitable for this lower intensity residential use. The lot has an awkward configuration with a large easement at the northeast boundary that limits the onsite developable area. Owing to the lack of direct arterial frontage, this property lacks attractiveness for brick-and-mortar retail or offices that are already struggling in today’s modern economy and given the general low intensity nature of the area looking to the broader radius that businesses need to maintain sustainability.
- D. Compatibility and Health, Safety, Welfare** – Strict adherence to the requirements of the Zoning Ordinance is not required in order to ensure the health, safety, and welfare of the future occupants of the proposed development given the information provided in this PAD. The proposed development reflects the above referenced site characteristics and blend of land uses in the area. The proposed development promotes the welfare of the community and is compatible with the surrounding properties as explained in this narrative concerning land use transitions. The PAD Development Plan incorporates development elements that unify the development, integrating the design concepts and pedestrian circulation, thus creating aesthetic enhancements from the public view and creating lifestyle amenities and design features that promote neighborhood stability and safety.
- E.** The various elements of the development plan are organized into a cohesive whole. Circulation, landscaping, open space, pathways, and design make efficient use of the the land with special consideration safety and compatibility as indicated above.
- F.** The proposed development is appropriate for the conditions of the project, which has no special environmental features in terms of topography, or water courses, or views. The clubhouse is arranged to be in the center of the respective parcel and proximate to the primary entry to enhance project compatibility and to maximize views to internal open space areas.
- G.** As detailed in the landscape and open space section of the PAD narrative and in the project plans, quality of life is a centerpiece of the project, which exceeds standards in terms of open space percentages and the quality and quantity of active amenities, both indoor and outdoor. Locating a project with residential uses near a commercial project at the intersection reduces travel times and reduces traffic necessary to reach essential neighborhood services. As indicated in the public services section of this narrative, adequate facilities are available to service the water, sewer, storm water, streets, and other infrastructure requirements for the development

## 6. Benefits to Queen Creek

Positive impacts this proposal will have on the surrounding area and on Queen Creek as a whole include the following:

- a. Providing a lower intensity type of buffer/transition to existing single-family residential from more intense commercial and residential developments and traffic on major streets;
- b. Activating a vacant parcel with an irregular configuration and limited access and limited visibility;
- c. Proposing a neighborhood and family-friendly development in a quality environment;
- d. Providing a healthy housing variety to the options available to Queen Creek;
- e. Providing a unique lifestyle choice that is in high demand in the area for residents who want high-quality housing with more lifestyle amenities and a hierarchy of open space than is available in traditional housing;
- f. Developing a project that offers secure housing and efficient property maintenance and operations under single ownership, which promotes long-term residency and neighborhood stability;
- g. Creating a walkable neighborhood with connectivity and convenience access between the surrounding land uses;
- h. Promoting economic development by bringing potential consumers in closer proximity to the four corners of commercial developments at Ironwood and Ocotillo;
- i. Stimulating professional services, retail, commercial, and business growth in Queen Creek by increasing consumer spending and demand for services;
- j. Generating new tax receipts and Town fees for construction, ongoing lease taxes, plus state-shared revenues that contribute to Town services for residents; and
- k. Developing an infill site, which will bring households closer to commercial areas and reduce traffic demand; and
- l. Reducing intensity of traffic compared to commercial uses and conventional multifamily.

## 7. Conclusion

Sparrow Partner's industry-recognized development team has crafted a residential community with the specifics needed to achieve the high level of design in landscaping, open space, architectural character, and community connectivity as is anticipated for this quality development. This is tantamount to becoming a catalyst for local business vitality and an enhancement to the community. The project's character and site layout are sensitively designed to be compatible with the surrounding properties. The plans meet or exceed standards and possess the elements of a viable and sustainable place in which to live.

<b>Neighborhood Meeting Summary</b> <b><i>Sparrow Ironwood – Ocotillo W. of Ironwood Rd.</i></b>
May 17, 2022 at 6:00 pm
Queen Creek Community Chambers 20727 E. Civic Parkway Queen Creek, Arizona 85142

Following a traditional format, the meeting began at approximately 6:02 pm and ended at approximately 6:40 pm. Twelve citizens attended. Present for the applicant were Clint Know with Sparrow, and Sean B. Lake and D.J. Stapley at Pew & Lake, PLC. Steven Ester attended from the Queen Creek Planning Division. To begin, Mr. Lake made introductions and gave a brief presentation, summarized as follows:

- Meeting instructions and format
- Overview of the zoning process
- Project location, history and surrounding context – This is the remainder of an infill site of what had been originally zoned in the County. When it was brought into the town, it was originally planned for Wal-Mart-big box commercial, which did not get built. Based on the surrounding land uses, this intersection corner has more land than the area can support for commercial uses. At this time, some restaurants and commercial pads are proposed on the Ocotillo Road frontage.
- General Plan and Zoning maps
- Described the proposed development as a conceptual plan, which is a 1 and 2-story attached and detached patio homes/town homes. It is a gated community, which complements the nearby neighborhood.
- The landscape plan continues the 30-foot type of landscape buffer onto this property. That is followed by one-story homes along the north, west, and southern boundaries. This plan is attached to the zoning, which means the zoning is for this project. No other plan is possible.
- A line-of-sight was shared showing the estimated dimensions between this project and the 1-2 story homes to the north. First are a 30-ft. buffer and then enclosed backyards and 1-story homes, followed by a landscaped driveway and then 2-story homes. There are no backyards in the 30-foot landscaping area. When the trees grow, they will block views into the site. It will not be intrusive.
- Traffic will be distributed in multiple points to help connect.

After the presentation, Mr. Lake opened the meeting for questions and answers. The following summarizes the comments received and the applicant's responses. Overall, the neighbors were supportive of the proposal, subject to the proposed homes that were strategically designed to complement the neighborhood to the north with the large buffer. They were appreciative of the neighborhood outreach.

1. Has this been approved? A. No. Mr. Lake explained the zoning process.
2. After acknowledging the proposed the landscape buffer, the citizen asked what will go in that area.  
A. There will be trees and landscaping, comparable to the kind of buffer to the west that was approved. Let us know if there are certain trees you do not want to see.



3. Could there be a single-story home in the middle?
  - A. The home types are prearranged and designed to fit the site. In the middle, where pointed to, are 2-story homes.
4. What does patio home mean?
  - A. It is a broad term for single-family type of homes that are attached. They can also include patio homes, duplexes – homes with a patio. They are typically one-story. In this case, there are both 1-story and 2-story. It looks like a single-family home.
5. Will this be rental? Is the lease minimum 1 year?
  - A. Proposed are rental homes, which is what is happening in the market right now. This is high rent, high-quality homes. The rents are much higher than a small apartment project. Typically, the minimum lease is 1 year or 18 months. There are no short-term month-to-month contracts proposed. Everything is long-term, and the site qualities will promote stable rents. Sparrow's approach is to develop, build, and manage these and hold onto it for the long term, which ensures that they maintain a commitment to maintain the property in good condition.
10. What are the rents proposed?
  - A. Rents in today's market are changing and rising. Proposed at this time are 1–4-bedroom units. \$2,300/month would be the average rents at this time. We are watching rents and the rising construction costs closely. The amenities shown on the plans will be incorporated into the rents.
7. Will the property be fenced in for each house?
  - A. Each house has a fenced-in back yard to encourage privacy and layers of open space. Attached units will share a boundary wall. Detached units will have the wall wrap around to enclose the backyard. The rear buffer to the north will be common area landscaping, not private yards at the wall.
8. Is a traffic signal planned?
  - A. These streets are too close to Ironwood Road for a traffic signal. There are multiple points of access to help facilitate traffic. This project will be required to comply with the Town's Traffic Engineering standards.
9. Does this road serve the 55+ community?
  - A. This is not an active adult community. The adjacent community will have its own main access point to Ocotillo.
11. Discussion on the landscape plan.
  - A. We and our team focus on wellness in the open space plans. Project plans by Sparrow typically exceed landscaping and amenity requirements. This is a smaller community so we are trying to incorporate as much as we can. Included in the plan are trails and open space to help connect to the commercial center.
12. A neighbor asked about any comments the Ironwood Crossing neighborhood had, and this discussion proceeded:
  - A. The HOA has not responded, although it did receive a notice letter. Some neighbors stated they did not have concerns and noted this is the first time they learned about this. Another citizen who shares a backyard wall who was initially concerned about proximity – but after seeing the buffers and this presentation, she felt encouraged and glad about the separation to the 1-story building and the landscape buffer. Another adjacent neighbor noted that it is common to have 1-2 stories anyway.

Mr. Lake said he will be happy to work with the neighbors on the kinds of trees and landscaping in the buffer area. Some of the neighbors noted that things were changed on the other project to the west, which directly addressed neighborhood concerns. Clint Knox noted that his team is specialized in this kind of housing, and they diligently seek to propose livable communities with 1-2 story heights.

13. What is the notice requirements for notifying neighbors? Someone wanted their address updated.
  - A. State law is 300 feet, which is what was followed in the old days. Now it is 1,200 feet. We try to round out the boundaries, and we post the site to give notice to the public. Anyone wishing to be notified in the future can sign in or provide us with their contact information.
  
14. When do you estimate breaking ground and completion?
  - A. It will likely be 1.5 years to break ground. Sparrow will try to go faster. Construction duration could be a little less than 2 years. Usually 10 months for the clubhouse and first couple homes. Then the rest of the housing units will follow, estimated total 20 months to completion. The north side of Ocotillo will be improved before the project breaks ground.

## Neighborhood Meeting Sign-In Sheet

**Applicant:**

**Pew & Lake, PLC/ Sparrow**

**Property Location:**

Approximately 11 net-acres located northwest of the northwest corner of Ironwood Road and Ocotillo Road

**Date:**

**May 17, 2022**

**Meeting Location:**

**Town of Queen Creek Chambers  
20727 E. Civic Parkway, Queen Creek 85142**

**Time:**

**6:00 PM**

**Case:**

**PZ22-0061**

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Patti Herrera	1038 W Layland Ave	85140	pherrera1975@gmail.com	505-979-4451
2	Berry Herrera	1038 W Layland Ave	85140	"	"
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

*2 names / 10 names*

*10 total*

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20727 E. Civic Parkway, Queen Creek 85142

**Time:**

6:00 PM

**Case:**

PZ22-0061

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Judy Gaines	1091 W Sycamore Rd, QC	85140	JudeGaines@cox.net	
2	KEL KAERCHER	174 W HACKBERRY AVE	85140	KelKaercher@yattod.com	
3					
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

2 names / 10 names

10 total

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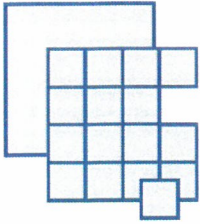
**Case:**

PZ22-0061

#	NAME	ADDRESS	ZIP	Email	PHONE
1	Monty & Carolyn MOOSE	503 W. Yellow Wood Ave	85140	moosecas8@gmail.com	951-218-3018
2	C Anders	1390 W. JOSHUA Tree Ave	85140	anders.cheryl@gmail.com	
3	Evelyn Rosciszewski	1090 W. SYCAMORE RD	85140	nana 34530@gmail.com	
4	Randy & Julie Sweet	387 W. Yellow Wood Ave	85140	Sweetr1237@gmail.com	(480) 323-5455
5					
6					
7					
8					
9					
10					
11					
12					
13					

6 names / 10 names

10 total



**Pew & Lake, P.L.C.**  
Real Estate and Land Use Attorneys

**W. Ralph Pew**  
Certified Real Estate Specialist  
**Sean B. Lake**  
**Reese L. Anderson**

May 2, 2022

## NOTICE OF NEIGHBORHOOD MEETING

Dear Neighbor:

Together with our client, Sparrow Partners, we are pleased to provide notice of a neighborhood meeting to receive your input regarding a proposed development on the approximately 11 net-acres located northwest of the northwest corner of Ironwood Road and Ocotillo Road in Queen Creek behind the commercial center. Specifically, the application requests Rezoning from C-2 to MDR PAD and Site Plan Review to allow for a gated residential community with attached and detached single-family residential patio homes. Preliminary plans provide enhanced landscape buffers and transitions to the surrounding area. Additionally, resort lifestyle amenities are proposed, such as a clubhouse, fitness center, pool amenity, dog park, work-from home amenities, loop of pathways, and other features that will contribute to a high quality environment for residents. A copy of the preliminary site plan and elevations are enclosed with this letter.

A neighborhood meeting will be held at the time and place listed below to discuss the project and to answer any questions you may have. As part of making this a successful project, we value and look forward to your input and comments.

<b>Date:</b> May 17, 2022
<b>Time:</b> 6:00 p.m.
<b>Place:</b> Queen Creek Community Chambers 20727 E. Civic Parkway, Queen Creek 85142

Please contact either me or D.J. Stapley in my office at [sean.lake@pewandlake.com](mailto:sean.lake@pewandlake.com) or [djstapley@pewandlake.com](mailto:djstapley@pewandlake.com) or by phone at 480-461-4670 should you have any questions. For any questions regarding the public process, you may also contact Steven Ester, Planner with the Town of Queen Creek's Planning Division at 480-358-3089 or via email at [steven.ester@queencreekaz.gov](mailto:steven.ester@queencreekaz.gov).

At this time, no public hearing before the Town of Queen Creek Planning and Zoning Board has been scheduled. When any meeting date is known, the property will be properly noticed, and those who attend the neighborhood meeting and provide their contact information on the sign-in sheet will also be notified. We welcome any comments and feedback on this case and would be happy to discuss it with citizens or groups upon request.

Sincerely,

Sean B. Lake  
**PEW & LAKE, PLC**

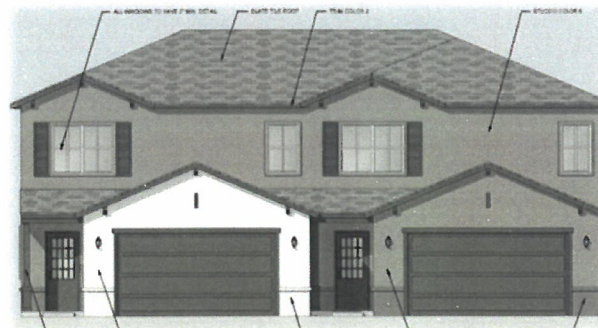
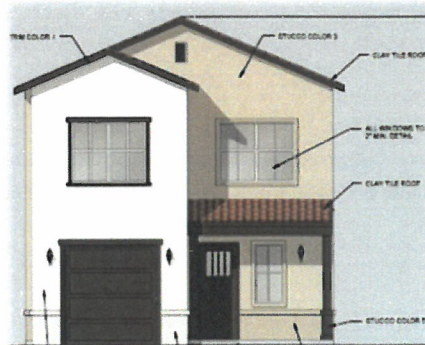
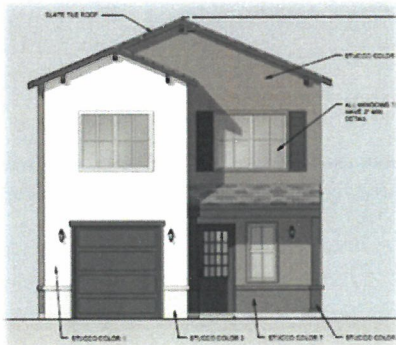
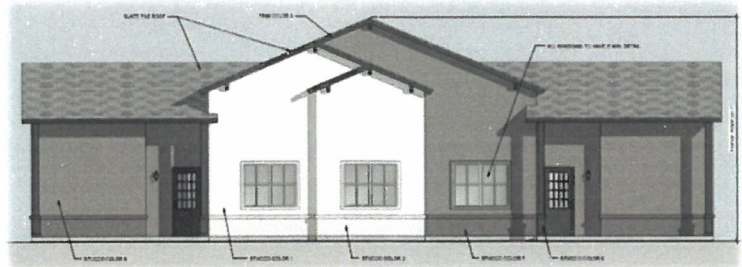
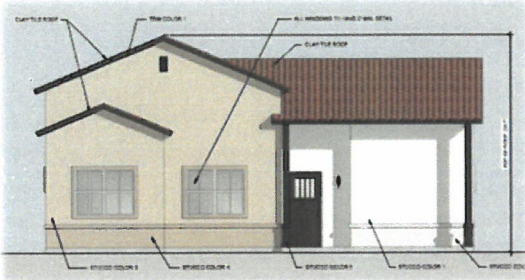
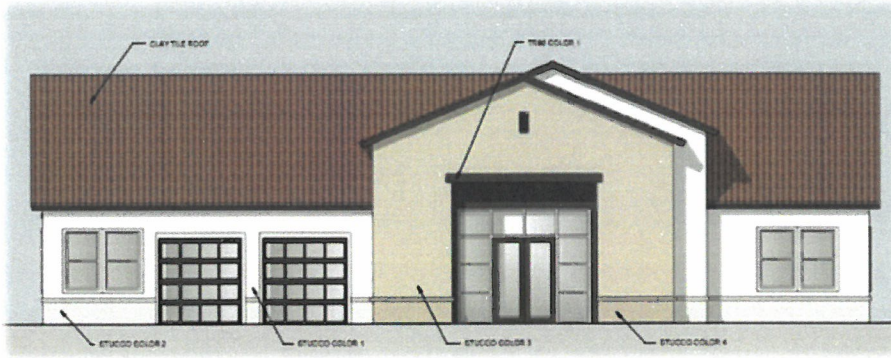
Preliminary Site Plan



RESIDENTIAL COMMUNITY AT IRONWOOD CROSSING QUEEN CREEK, AZ • LANDSCAPE CONCEPT PLAN

PN 86211991 01-20-2022 | SPARROW PARTNERS

# Preliminary Elevations



DESIGN BALANCE



Property Owners, 1,200+ Feet  
Ocotillo W. of Ironwood

SAVEDRA STEPHEN ANTHONY ...  
40347 N TAYLOR ST  
SAN TAN VALLEY, AZ 85140

WILLIAMSON JONATHAN S & LE...  
40525 N KENNEDY DR  
SAN TAN VALLEY, AZ 85140

SJT LAND AZ LLC  
9105 DESERT CT NE  
ALBUQUERQUE, NM 87122

A & P INVESTMENTS  
2601 E BASELINE  
GILBERT, AZ 85234

NOLAND LESLIE B  
PO BOX 122  
BRONSON, IA 51007

YOUNG GEORGE P & SHIRLEY ...  
PO BOX 821  
DALY CITY , CA 94017

COATS DEBORAH JEAN  
40392 N PRINCE AVE  
SAN TAN VALLEY, AZ 85140

MARSTELLA RICHARD O & BAR...  
40525 N TAYLOR ST  
SAN TAN VALLEY, AZ 85140

TOWN OF QUEEN CREEK  
22350 S ELLSWORTH RD  
QUEEN CREEK, AZ 85142

SAVEDRA JAMES A & CLAUDIA ...  
40400 N TAYLOR ST  
QUEEN CREEK, AZ 85142

STANDAGE LARRY R & MADDIE...  
40624 N PRINCE AVE  
SAN TAN VALLEY, AZ 85140

MKG PROPERTIES LLC  
25 W OCOTILLO RD  
SAN TAN VALLEY, AZ 85140

NEALY RICKY DEAN JR & ZEITL...  
40443 N PRINCE AVE  
SAN TAN VALLEY, AZ 85140

O CONNOR PAIGE M & MICHAEL...  
699 W OCOTILLO RD  
SAN TAN VALLEY, AZ 85140

TUITU'U SIMILAMI  
735 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

MEDINA MARIAN & STEVE  
40443 N TAYLOR ST  
SAN TAN VALLEY, AZ 85140

SPENCE JUSTIN S  
19064 E ORIOLE WAY  
QUEEN CREEK, AZ 85142

CRAIG JOSHUA R  
721 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

NAVALUA JEDDAH  
2754 S GUINN AVE  
GILBERT, AZ 85295

MEDINA ROLAND  
517 W OCOTILLO RD  
SAN TAN VALLEY, AZ 85140

SARTEN LOUIS R  
707 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

JIM RANDLE HOLDINGS LLLP  
40435 N KENNEDY DR  
SAN TAN VALLEY, AZ 85140

431 W OCOTILLO RD SAN TAN ...  
3633 N SANTIAGO CIRCLE  
MESA, AZ 85215

PALEN JEFFREY ALAN & BARB...  
7466 E MILAGRO AVE  
MESA, AZ 85209

WENDLANDT LAURA M  
40438 N KENNEDY DR  
SAN TAN VALLEY, AZ 85140

GENGNAGEL HARALD & JOAN ...  
251 W OCOTILLO RD  
SAN TAN VALLEY, AZ 85140

PUCCIO VINCENT J JR & SUSAN...  
679 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

JENKINS WILLIAM MONTELL & ...  
40525 N PRINCE AVE  
SAN TAN VALLEY, AZ 85140

ORTIZ ANGELICA THOME  
195 W OCOTILLO RD  
SAN TAN VALLEY, AZ 85140

KLOSZEWSKI JACOB & JACQU...  
663 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

CHAO YANPEI & OOI LEE CHEN  
6923 BURNSIDE DR  
SAN JOSE, CA 95120

SOFRANKO LAUREN  
849 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

DONLEY STEVEN BRENDEN GA...  
698 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

RODEBAUGH DAVID & REBECK...  
635 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

GABRIELLA MICHAEL A & DANI...  
865 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

WOLFE JOHN L  
682 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

GILL TIMOTHY S  
749 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

CHAN PATRICIA  
881 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

HARRISON MICHAEL D & TAMM...  
664 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

FINGER RANDALL W  
763 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

OCHOA-MILLER LUKAS B  
MAIL RETURN  
,

TENNERT TRAVIS & JENAVIEV...  
650 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

WINGET TOMMY G & DORIS A  
621 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

MUNOZ LUIS R & ESTELA Y  
1282 W DOVE TREE AVE  
SAN TAN VALLEY, AZ 85140

ANDRES LESLIE A  
636 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

AGUILAR ADAM  
777 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

WRIGHT DAVID A & LESLEY R  
40816 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

RITENBURG JOSHUA D & SUSAN...  
758 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

KAYFESH JEREMY S & DANIELL...  
793 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

THORSON RAYMOND M & MARI...  
PO BOX 1130  
DILLINGHAM, AK 99576

RICHARDSON JASON W  
776 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

WILSON SUZETTE TRUST  
41009 N LINDEN ST  
SAN TAN VALLEY, AZ 85140

JONES CAYTER A  
740 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

RAMOS GLEN N  
790 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

MATHERS MELISSA  
835 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

RAMIREZ GABRIEL JR  
724 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

LEWIS JOSHUA E & ADILENE  
806 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

PEREIRA JODY  
823 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

HAYMORE BRANDON & AUDRE...  
710 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

FAHLING GRIFFIN J & EVSTOLI...  
40846 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

SOUTHWICK REX & ERIKA TRS  
842 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

MAKIN ANA  
697 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

TOLLEY PAUL L & PAMELA M  
199 CRANBROOK CIR  
CALGARY, AB

LECHANTEUR MICHELE  
858 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

GAPEN TONYA A  
683 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

BULLOCK JASON & NICHOLE  
MAIL RETURN  
,

CROVETTI MATTHEW & MORG...  
872 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

SUTTON JESSE MICHAEL  
665 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

BOHM JOANNE MARIE  
843 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

GILGEN JOSEPH BARTHOLOM...  
1939 E MAHONEY AVE  
MESA, AZ 85204

DUFORD RICHARD  
813 USFS 630  
COCOLALLA , ID 83813

GOMEZ JAIME N & PIORKOWS...  
809 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

GUERRA NICHOLE  
902 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

EQUITY TRUST COMPANY CUS...  
651 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

QUAID MATTHEW & DANA  
859 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

BATEMAN GWENDOLYN P  
830 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

STREEPER TRAVER R & KATHE...  
637 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

HOWE DENNIS E & DIANA L  
873 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

FLATLEY MARC E & AMANDA L  
820 W TRELIS RD  
SAN TAN VALLEY, AZ 85140

JOHNSON TRAVIS & AMANDA  
755 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

FERENCZ DILLON A  
887 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

BATTAGLIA PAUL LOIS JR & DA...  
40860 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

VOUGHT JAMES & JANNIE  
763 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

SOWDER MARSHA RAY  
903 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

SOUFAN HAISAM  
3372 E MYRTABEL WAY  
GILBERT, AZ 85298

REICH JOSEPH T  
40874 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

MICKELSON ELIZABETH A  
40890 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

ALVAREZ TAMMY L  
711 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

SPEERS GRAHAM E & VARIYAN  
422 HIDDEN VALLEY GROVE N...  
CALGARY, AB

HAJDA MITCHELL J & JOAN E T...  
21814 S 186TH WAY  
QUEEN CREEK, AZ 85142

JAMBOR BRIAN T & CATHERINE...  
40918 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

FKH SFR PROPCO H LP  
1850 PARKWAY PL SE STE 900  
MARIETTA, GA 30067

WILCOX JAMES & KATHERINE  
701 W PRESS RD  
SAN TAN VALLEY, AZ 85140

DIAZ MARINA  
40919 N HEARN ST  
SAN TAN VALLEY, AZ 85140

HERNDON GARRETT NICHOLA...  
798 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

SCIMECA SALVATORE A  
715 W PRESS RD  
SAN TAN VALLEY, AZ 85140

MANNING JARED  
712 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

HOLT ROSSANA  
812 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

WEEKES TYSON & HEATHER  
729 W PRESS RD  
SAN TAN VALLEY, AZ 85140

HAGGERTY JOSHUA STEPHEN ...  
700 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

STAPLEY STEVEN JAMES  
826 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

CHAVEZ ASPEN RYEN  
MAIL RETURN  
,

BLANKENSHIP MARILYNN J TR...  
1465 W DOVE TREE AVE  
SAN TAN VALLEY, AZ 85140

VOZEL CHARLES J JR & GRAC...  
844 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

TORRES ENRIQUE M & YADIRA ...  
757 W PRESS RD  
SAN TAN VALLEY, AZ 85140

FRIEDEL JEFFREY & TERRY  
668 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

VANCE TROY & KRISTIN  
40934 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

JENSON NATHAN & ASHLEY  
771 W PRESS RD  
SAN TAN VALLEY, AZ 85140

NEILLY NADINE L  
728 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

GOMEZ DOMINADOR C & MARI...  
40948 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

HENRY LUCAS D  
785 W PRESS RD  
SAN TAN VALLEY, AZ 85140

WEATHERLY DEVAUNTE MAURI...  
742 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

MALLONEE GERALD E  
669 W PRESS RD  
SAN TAN VALLEY, AZ 85140

TURABIAN MICHAEL B & CARO...  
MAIL RETURN  
,

NUNEZ PEDRO & LOPEZ MARIS...  
756 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

MARINARO DANIEL JOSEPH & ...  
153 HILLPINE RD  
BUFFALO, NY 14227

FELICIANO JOSE A & SYLVIA R  
813 W PRESS RD  
SAN TAN VALLEY, AZ 85140

HOOKE CHERYL L  
770 W HARVEST RD  
SAN TAN VALLEY, AZ 85140

TRULSON CURTIS & LESLEY  
PO BOX 116  
ROSS, ND 58776

THOMASON ROBERTA MARIE  
827 W PRESS RD  
SAN TAN VALLEY, AZ 85140

RYAN AUSTIN BEAU & CORAL A...  
845 W PRESS RD  
SAN TAN VALLEY, AZ 85140

MCKIBBON RONNIE D LIV TRU...  
790 W PRESS RD  
SAN TAN VALLEY, AZ 85140

HOLMES ROD A & THERESA L  
715 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

ONDEJKO MICHAEL & MELODY ...  
40978 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

GOULD HOWARD N & SHERYL ...  
20438 E SUNSET CT  
QUEEN CREEK, AZ 85142

MATUSHINEC SARAH A  
735 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

CLARKE RICK L & CLARA  
660 W PRESS RD  
SAN TAN VALLEY, AZ 85140

HELD MEGAN M  
818 W PRESS RD  
SAN TAN VALLEY, AZ 85140

LIBUIT ANTHONY & STEPHANIE...  
757 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LONG ALLISON  
674 W PRESS RD  
SAN TAN VALLEY, AZ 85140

MARTINEZ DELLA J & EDWARD  
22337 E CAMACHO RD  
QUEEN CREEK, AZ 85142

HARRIS JEFFREY M  
779 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

PARCHOMCHUK GLENN & MARI...  
4570 WOODGREEN COURT  
WEST VANCOUVER, BC

HATCH MICHAEL L & SUSAN W  
852 W PRESS RD  
SAN TAN VALLEY, AZ 85140

FUEZESY STEPHEN E & MARY ...  
799 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

WATKINS BLAIR JOHN & KASSI...  
720 W PRESS RD  
SAN TAN VALLEY, AZ 85140

LAGUNA JUSTIN H & JESSICA ...  
605 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

GUZMAN PETER M & ROBERTA ...  
821 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

GRESKO BRIAN W & SHELIA J  
734 W PRESS RD  
SAN TAN VALLEY, AZ 85140

SLAUGHTER RONALD  
41028 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

NOTCH STEPHEN E & TRACI LY...  
845 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

CARMONA RAY & PAMELA S TR...  
748 W PRESS RD  
SAN TAN VALLEY, AZ 85140

POWLISON ROBERT D & BONNI...  
625 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

JOHNSTON JON T & DEBRA D  
41050 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

GORDON HALEY JEAN  
762 W PRESS RD  
SAN TAN VALLEY, AZ 85140

GLOVER DANIEL M & REBECCA  
645 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

KRAFT THOMAS & AMY  
502 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

IH6 PROPERTY PHOENIX LP  
1121 W WARNER RD STE 110  
TEMPE, AZ 85284

NIEMTSCHK KYLE & FRAWLEY ...  
693 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

ALVAREZ SHAUN & ANTHONY  
526 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

RICHARDSON CHRISTOPHER S...  
552 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LEBLANC DAVID R & JANET  
678 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

SCHAAL NICOLE C  
848 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

EVANS RONALD LEWIS & AUDR...  
576 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

GOODMAN SAMUEL A & CHERI ...  
41090 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

HOFFMAN BRADLEY & CHRISTI...  
503 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

ALICEA JAVIER & RAMONA H  
41078 N SALIX DR  
SAN TAN VALLEY, AZ 85140

POWELL C RENE  
MAIL RETURN  
,

FRANK JACOB & SHANNON  
523 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

DUFFEY DOUG R JR & ASHLEY ...  
598 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

FRANCO FRANK E  
736 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

VERCIO MICHAEL S & MAGDAL...  
543 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

RISIUS WILLIAM H & RADEMAK...  
41070 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

HILLARD CHRISTOPHER & LAU...  
758 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

PEGRAM SCARLETT R  
340 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

ANDERSON GREGORY & KATH...  
618 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

WORKMAN LANCE A & ALLISO...  
780 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

WOOD JAMES E & MARCIA J T...  
563 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

VIGIL KRISTINA & MITCHELL  
41092 N SALIX DR  
SAN TAN VALLEY, AZ 85140

BENNETT RAYMOND  
800 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

NUNN RHONDA K  
41120 N SALIX DR  
SAN TAN VALLEY, AZ 85140

ARELLANO ALVIN & ANNETTE  
638 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

HOWISON RALPH A & LINDA K ...  
822 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

DULISSE CHARLES ANTHONY ...  
583 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

LOTITO JAMES & JANICE  
658 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

RUBY JEANINE M  
716 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

MANUS JOHN H & EILEEN M TR...  
41110 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

BRADFORD DONALD W & JOAN...  
354 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LINDSEY BRANDON M & SARA ...  
696 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

HENDRON CRYSTAL & TERRY  
421 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

HOLMES DARRELL D & MICHEL...  
603 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

EICHELIS JANIS I & LYNDA LEE ...  
MAIL RETURN  
,

SHAWE DAVID ROBERT & PATR...  
41150 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

KELLY STEPHEN & PENNY  
MAIL RETURN  
,

BOHANNON KENNETH JR & BRI...  
759 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BERRY ANDREA R & TRAVIS L  
383 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

RIOS SARAH IVANNA  
41134 N SALIX DR  
SAN TAN VALLEY, AZ 85140

GIEHM DEREK D & JACKIE M  
781 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

ANDERSON LOIS FAYE & ROBE...  
573 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

HATHAWAY FRANK A IV & KYLE...  
625 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

SHARP JUSTIN ALLEN & JILL  
801 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

CELIS CHRISTOPHER JOHN  
292 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

MENEFEE CHRISTOPHER & VIC...  
647 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

STRAUB STACY & JESSE  
823 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

FORD WYNN  
311 N RED RIVER ST  
HENRIETTA, TX 76365

SOUTHWORTH DAVID & LORR...  
407 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

WARNIX OLEN ROBERT & BEC...  
41130 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

KLEIN DONALD & LINDA  
369 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

CHWE HOYOUNG & ELIZABETH...  
316 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

GUYER FLORENCE L  
41148 N SALIX DR  
SAN TAN VALLEY, AZ 85140

ZAUNMILLER DARCI C & ANDR...  
578 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ROTH SARA ELIZABETH & JER...  
671 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

AMANEK MICHAEL & SARAH B  
395 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BOISACQ LAURA & SHAWN  
549 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

LEE AARON & JENNIFFER L  
695 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

SHANK KIMBERLY R  
304 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

MAYFIELD SEAN M & SHANNON...  
280 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

EMATA MARIA & PIETROVITCH  
717 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

MARTINEZ MELISSA ANN  
MAIL RETURN  
,

HARRIS STEVEN M  
41190 N SALIX DR  
SAN TAN VALLEY, AZ 85140

MCDONALD AARON J & JENNIF...  
PO BOX 7433  
SPRINGFIELD, OH 45501

NORELLI MICHAEL A & VIRGINI...  
794 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

FITTS JUSTIN P & LEAH  
158 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

PARKER KATHY LIVING TRUST  
355 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

THOMPSON HEIDI L  
816 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

HOERTH DEBRA A  
176 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

BARSTAD LARRY I & JOAN M  
PO BOX 218  
VELVA, ND 58790

ARMSTRONG ANDREW  
838 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

JUDGE RICHARD T & JANET M  
196 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LOPEZ DAVID M & AIMEE L  
41204 N OSCAR ST  
SAN TAN VALLEY, AZ 85140

WAGNER BRIAN & HEATHER  
264 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

METZGER EDWARD & CAROL  
234 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

KAY TRAVIS J & JESSICA C  
662 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BETTIS RANDY S & KIMBERLY S...  
41172 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

ZAFFINO JOSEPH S & ALISSA  
214 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

PRICKETT ARIC S & JENNIFER ...  
682 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

PERKINS JEFF & CAMARON  
858 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

NIELSON LAURA  
341 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BRENNAN MARY E & BENTLEY ...  
704 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

CARRUTHERS DREW ROBERT ...  
570 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

NIELSON JASON L & JENNIFER ...  
41218 N OSCAR ST  
SAN TAN VALLEY, AZ 85140

HOLMSTROM BRIAN ALLAN & L...  
726 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

MUNDT CAMERON  
250 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

KEMPTON RICK H  
556 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ROWLEY SHELDON B & NICOL...  
748 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

KARGE MICHAEL D  
118 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

STANLEY JAMES B II  
323 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

RUNYAN RUSSELL CALVIN & BA...  
770 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

SIMON AMY  
138 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

QUINN SPENCER G & JULIE F  
41232 N OSCAR ST  
SAN TAN VALLEY, AZ 85140



TOWN OF QUEEN CREEK  
22350 S ELLSWORTH RD  
QUEEN CREEK, AZ 85142

IHFC ARIZONA LLC  
10900 NE 4TH ST STE 2300  
BELLEVUE, WA 98004

KING AMANDA K  
717 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

LADEROOT DANIEL V & WENDY...  
301 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

KAMPER ALAN R  
253 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

HASKIN KENNETH & SUE LIV T...  
697 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

LAUFER PAUL & EMILY  
540 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ESTRADA CANDACE L LIV TRU...  
193 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

TUTTLE DIANNE & DANNY LEE  
735 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

CARVER JACK R & DORTHA J  
356 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

DURAN GABRIEL V & EVA M  
229 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BRET ALBAN W JR & LORI S  
413 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

HEYDE DAVID R & KATHLEEN A...  
277 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

RICHARDS SHANANDA & STEV...  
211 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

DUBOIS MARK J & LAURIE J TR...  
MAIL RETURN  
,

LAYTON CHARLES F & ERICA L  
79 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

FLADELAND DARREL C & SYLVI...  
MAIL RETURN  
,

PETERSEN BRADLEY S & MELI...  
677 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

HODGES GREGORY ALAN & A...  
61 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

GAIDJIERGIS RISA & RANDY LI...  
20120 E RUSSET RD  
QUEEN CREEK, AZ 85142

RICE DEVLIN & LAURA  
753 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

PRINGLE STEVEN A & NICOLE ...  
119 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BATES JARED T  
344 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BROUGH GEORGE F & DENISE ...  
470 W SWEET SHRUB AVE  
QUEEN CREEK, AZ 85140

HELLING RONALD C & GLORIA ...  
139 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

PERRY JOSHUA MARK & CISNE...  
504 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

LAWLER-HOSFORD JANICE  
399 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ZISLIS MURRAY & TERESA L C...  
157 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

DESTEFANO FRANK P TRUST  
1070 GRAYHAWK DR  
ALGONQUIN, IL 60102

VANBOXTTEL JOSHUA DAVID & ...  
302 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

SCOTT JEREMY J  
657 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

COURTER DAVID R & KIMBERL...  
196 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

BEINLICH PAUL W IV  
408 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

OLIVER JOYCE LIVING TRUST  
454 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

STUART ROBERT & HELEN  
214 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

MORAGA JAMES R & SHIRLEY ...  
734 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

HABERLACK ROGER L  
383 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

CUNNINGHAM EDWARD R & JE...  
26024 MEADOWVIEW DR  
STURGEON COUNTY, AB

STEWART BRIAN D & MARCI J ...  
700 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

YAZZIE KYLE  
68 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

GREENWAY KEVIN EDWARD & ...  
9635 MAROON CIR STE 100  
ENGLEWOOD, CO 80112

THATCHER DAVID P  
394 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

OSWALD CLIFFORD C & ROBY...  
86 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

PAGE TREVOR AUSTIN  
639 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

HOUSTON KRISTI TR  
273 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

HALL ROBERT H & KARON A C...  
104 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

ELDRIDGE WILLIAM W & BAMBI...  
440 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

BELKNAP ISAAH & AMANDA L  
255 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

HODGE RODNEY E  
122 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

PERKINS TODD & LACI  
367 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

KB RESIDENTIAL PROPERTIES ...  
47921 ROYAL POINTE DR  
CANTON, MI 48187

ROQUE JASON & VALERIE  
142 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

DORMAN MICHAEL  
2564 E TEAKWOOD PL  
CHANDLER, AZ 85249

DURAN JULIO CESAR & NAVAR...  
105 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

KEEFER DAVID A & KAROLYN ...  
160 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

KANZIA MICHAEL J SR & DEBR...  
424 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

COWAN PEGGY MARIE  
4545 W HIGHWAY 24  
FLORISSANT, CO 80816

MOORE MINDY R  
178 W LEATHERWOOD AVE  
SAN TAN VALLEY, AZ 85140

CARPENTER CHARLES R & SH...  
349 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

CHIN ADELINE  
2668 S ROCKWELL ST  
GILBERT, AZ 85295

KELLY ASTON R & CAROL A  
MAIL RETURN

BLANCHARD EDWARD JAMES ...  
364 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

BLAINE ALLEN CHARLES & JUN...  
41375 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

SEYMORE GEOFF D  
179 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

NORDHUS DWAIN & LORRAIN...  
PO BOX 225  
POSTVILLE, IA 52162

STAUFFER CHARLES M  
41349 N JARNIGAN PL  
SAN TAN VALLEY, AZ 85140

DENNIS MICHAEL  
197 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

FOSKETT NGUYEN T  
41355 N ELIANA DR  
SAN TAN VALLEY, AZ 85140

SHELTON DAVID L & LESLIE  
479 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

KARUGA JOYCE & KARICHO PE...  
215 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

NIELSEN MATTHEW R & MARG...  
41331 N JARNIGAN PL  
SAN TAN VALLEY, AZ 85140

DELGADILLO TORIBIO JR  
290 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ORTIZ DANIEL & MARILYN  
233 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

DORRIS WILLARD L & KIMBERL...  
622 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

DUKART BRETT & MONICA  
BOX 66  
LAMPMAN, SK

AMOAH ENOCH  
668 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

KRUCK DANA LYN & DONALD F...  
348 W SWEET SHRUB AVE  
QUEEN CREEK, AZ 85140

BENESH JAMES M  
258 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

CASTELLANO JESSE & FORKE...  
766 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

HILDEBRAND HOWARD R & LO...  
431 PETERS AVE  
WINKLER, MB

HAREN PAULA M  
170 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

PINK ERNEST E  
41311 N JARNIGAN PL  
SAN TAN VALLEY, AZ 85140

COON BARBARA TRS  
595 W DRAGON TREE AVE  
SAN TAN VALLEY, AZ 85140

TAYLOR PAMELA MORRIS & DA...  
242 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

CHAMBERS KEVIN L & JACQUE...  
378 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

ANDREWS CATHY ELLEN & DA...  
308 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

BEIRNE CHRISTOPHER E  
188 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

PEARSON GARY G II & SUSAN ...  
640 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

MCBROOM STEPHEN E & JOAN...  
41372 N BRACEWELL ST  
SAN TAN VALLEY, AZ 85140

JOHNSON STEVEN & EMILIE LI...  
206 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

PUTZ JUSTIN & ASHLEY  
224 W SWEET SHRUB AVE  
SAN TAN VALLEY, AZ 85140

YEOW VICKY  
323 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

BOWERS KELLY J  
207 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

BARNEY GAIL A & PAMELA JOY ...  
21843 E QUEEN CREEK RD  
QUEEN CREEK, AZ 85142

DENEGO MYLES M & MELISSA  
311 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

BARKHURST DANNY L  
225 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

JACOBS GEORGE W & BREND...  
439 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

MARTIN GUY A & JULIE A  
299 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

ZAUGG CUTTER & GRAYCEE  
40905 N HEARN ST  
SAN TAN VALLEY, AZ 85140

STRICKER RANDY J & MARILYN...  
421 W BASSWOOD AVE  
SAN TAN VALLEY, AZ 85140

LYONS KENNETH C & JACQUE ...  
285 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

SHAW BOBBY F & BORETHA L  
40947 N HEARN ST  
SAN TAN VALLEY, AZ 85140

RONDINELLI JOHN V & KAREN ...  
140 TINER AVE  
DORCHESTER, ON

REYNOLDS LUCAS  
117 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

HERRERA JESSICA  
40963 N HEARN ST  
SAN TAN VALLEY, AZ 85140

CIRCLE K STORES INC  
PO BOX 52085  
PHOENIX, AZ 85072

CHAVEZ JAVIER J  
251 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

RADER TIMOTHY  
640 W PRESS RD  
QUEEN CREEK, AZ 85140

CBDG IRONWOOD LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

TOWN OF QUEEN CREEK  
22350 S ELLSWORTH RD  
QUEEN CREEK, AZ 85142

COLAPIETRO MICHAEL J & VIC...  
523 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LORAGO LLC  
2220 COBBLER CT NW  
SALEM, OR 97304

TEUTSCH DAVE & TAMMY  
135 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LOAR SHERWIN V & TYLENE  
419 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

AGUIRRE JUAN E  
347 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

ALLEN CHARLES K & MICHELL...  
171 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

TERPAY CHRIS & AMANDA  
543 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

SCHNEIDER BRIAN  
335 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

NEUMEIER PAUL JOSEPH & DE...  
189 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

PENLEY BERNARD E & TERESA...  
565 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

FERRIS JOSEPH M II  
401 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

OCTOTILLO & IRONWOOD LLC  
7500 E MCDONALD DR STE 100...  
SCOTTSDALE, AZ 85250

SWEET RANDALL L & JULIE L LI...  
387 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

CBDG IRONWOOD II LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

OCTOTILLO & IRONWOOD PAR...  
7500 E MCDONALD DR STE 100...  
SCOTTSDALE, AZ 85250

DARGA CHRIS & SAGUN STEP...  
40933 N HEARN ST  
SAN TAN VALLEY, AZ 85140

CBDG IRONWOOD II LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

REALTY INCOME PROPERTIES...  
11995 EL CAMINO REAL  
SAN DIEGO, CA 92130

BISHOP THOMAS R & LISA J RE...  
441 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

HYLAND MICHELE C TR  
1078 CAROLYN AVE  
SAN JOSE, CA 95125

ZACARIAS JUAN  
461 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LOAR SHANE M & LAURA L  
585 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

BORBOA RHONDA  
343 E YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

LEAVELL JOSEPH D & REBEKA...  
481 W YELLOW WOOD AVE  
SAN TAN VALLEY, AZ 85140

IRONWOOD COMMERCIAL LLC  
20701 N SCOTTSDALE RD APT ...  
SCOTTSDALE, AZ 85255

TAYLOR RANCH COMMUNITY A...  
450 N DOBSON RD STE 101  
MESA, AZ 85201

MOOSE MONTY LEE & CAROLY...  
517 CONVERSE AVE  
CLAREMONT, CA 91711

KS CULVER'S REAL ESTATE LL...  
4155 WINSLOW RD  
MARION, IA 52302

STR FUND XX LC  
3600 BIRCH ST STE 130  
NEWPORT BEACH, CA 92660

CBDG IRONWOOD LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

MCQUOWN ETHAN  
MAIL RETURN

DERUITER DAVID & DIANA  
220 SUNFLOWER ST  
CASPER, WY 82604

PINAL COUNTY  
PO BOX 827  
FLORENCE, AZ 85132

STORMY PROPERTY HOLDING...  
6710 N SCOTTSDALE RD STE 2...  
SCOTTSDALE, AZ 85253

LAYTON-O'REILLY LLC  
PO BOX 9167  
SPRINGFIELD, MO 65801

OCTOTILLO & IRONWOOD PAR...  
7500 E MCDONALD DR STE 100...  
SCOTTSDALE, AZ 85250

CBDG IRONWOOD II LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

CBDG IRONWOOD II LLC  
4455 E CAMELBACK RD STE D-...  
PHOENIX, AZ 85018

Evelyn Rosciszewski  
1090 W Sycamore Rd  
Queen Creek, AZ 85140

IRONWOOD AND OCOTILLO LL...  
2350 S GILBERT RD  
CHANDLER, AZ 85286

IRONWOOD CROSSING HOA  
8360 E VIA DE VENTURA STE L-...  
SCOTTSDALE, AZ 85258

SS QUEEN CREEK LLC  
6766 E BEVERLY LN  
SCOTTSDALE, AZ 85254

Patti and Gerry Herrera  
1038 W Layland Ave  
Queen Creek, AZ 85140

C Anders  
1390 W Joshua Tree Ave  
Queen Creek, AZ 85140

Judy Gaines  
1091 W Sycamore Rd.  
Queen Creek, AZ 85140

CARULLI WALTER & JANET  
153 W YELLOW WOOD AVE SAN  
TAN VALLEY, AZ 85140

Kel Kaercher  
174 W Hackberry Ave  
Queen Creek, AZ 85140

CBDG IRONWOOD II LLC  
PO BOX 800729  
DALLAS, TX 75380

Monty & Carolyn Moose  
503 W Yellow Wood Ave  
Queen Creek, AZ 85140

Randy & Julie Sweet  
387 W Yellow Wood Ave  
Queen Creek, AZ 85140

WAG AZ LLC  
4685 MACARTHUR CT STE 375  
NEWPORT BEACH, CA 92660

SIMONCRE RUBICON II LLC 6900  
E 2ND ST  
SCOTTSDALE, AZ 85251

SIMONCRE RUBICON II LLC 6900  
E 2ND ST  
SCOTTSDALE, AZ 85251