

Requesting Department:
Development Services



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

**FROM: Erik Swanson, Planning Administrator
Steven Ester, Planner II**

RE: Discussion and Possible Action on P22-0074 Rittenhouse Commons 1 Residential Design Review. Greg Davis, of iPlan Consulting, is requesting approval of three (3) new standard plans with three (3) elevations each to be constructed on 81 lots in the Rittenhouse Commons 1 subdivision, located at the northwest corner of Rittenhouse and Germann roads.

DATE: July 27, 2022

STAFF RECOMMENDATION

Staff recommends approval of P22-0074 Rittenhouse Commons 1 Residential Design Review, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P22-0074 Rittenhouse Commons 1 Residential Design Review, subject to the Conditions of Approval included in this report.

SUMMARY

Greg Davis, of iPlan Consulting, is requesting approval of three (3) new standard plans with three (3) elevations each to be constructed on 81 lots in the Rittenhouse Commons 1 subdivision, located at the northwest corner of Rittenhouse and Germann roads. All of the lots are zoned MDR/PAD (Medium Density Residential). The proposed plans consist of 31', 32', and 41' wide product on 42' x 50' and 51' x 60' lots. Floor plans range in size from approximately 1,700 square feet (total livable) to 2,420 square feet (total livable).

HISTORY

December 1, 2021: The Town Council approved Ordinance 777-21, P21-0121 and P21-0122 Rittenhouse Commons 1 PAD Rezone and Preliminary Plat.

DISCUSSION

Subdivision Information	
Project Name	Rittenhouse Commons 1 Residential Design Review
Site Location	NWC of Rittenhouse & Germann roads
Current Zoning	MDR/PAD (Medium Density Residential)
General Plan	Neighborhood (0-20 du/ac)
Total Lots/Units	81 lots
Minimum Lot Width	42 feet
Minimum Lot Depth	50 feet
Minimum Lot Area	2,100 square feet

Each plan offers a minimum of three (3) elevation styles including Western Cottage, Western Regional Farmhouse, and Territorial themes with eight (8) color schemes that incorporate four-sided architectural treatments including but not limited to varying roof lines, stucco finishes, multiple paint schemes, trimmed windows, window shutters, decorative panel siding, decorative corbel features, and stone veneer. The product is predetermined on lots throughout the community to ensure there is a different combination of color schemes and elevation styles from cluster to cluster. All three (3) of the standard plans are 2-story models catered to the cluster-pack lot layout. The proposed home designs complement surrounding neighborhoods both in character and in quality.

Plan	Square Footage	Stories
Plan 1710	1,710 square feet	2
Plan 1800	1,800 square feet	2
Plan 2420	2,420 square feet	2

ANALYSIS

Standard Plans Design Review for New Standard Plans:

The proposed standard plans all comply with *Town of Queen Creek Zoning Ordinance and Design Standards*, subsection *DS.4 Single-Family Residential Standards*. While no deviations to the Design Standards are proposed with this project, it should be noted there are three (3) standard plans provided, whereas typically four (4) minimum are called for. This is primarily due to the design of the cluster-pack lot orientation, having three (3) lots on each side of the private access drives between the product. The standard plans

presented contain a variety of quality materials, and are consistent with approved plans in the surrounding area.

Lot Fit Analysis:

Staff has reviewed the lot fit analysis for the three (3) new standard plans. Staff has determined there is an adequate number of plans for the subdivision, and will approve building permits subject to the lot fit analysis provided.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case, Ordinance 777-21 of the Rittenhouse Commons 1 PAD, and all the provisions of the zoning ordinance applicable to this case.
2. The same floor plan and building elevation shall not be utilized across from, or adjacent to each other.
3. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, shall be screened and designed to appear as an integral part of the building.
4. A fair disclosure agreement and/or covenant should be provided to lessee's or buyers stating the following: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals. The mix of aviation activities and types of aircraft expected to be located and operate at the Airport now and in the future include: scheduled and unscheduled commercial charters, commercial air carriers, and commercial air cargo operations, all of which are expected to use large commercial aircraft. General aviation activity includes using corporate and executive jets, helicopters, and propeller aircraft. Aviation flight training school includes using training aircraft. Military activity includes using high performance military jets. The size of aircraft and frequency of use of such aircraft may change over time depending on market and technology changes." Any public reports filed with the Arizona Department of Real Estate shall include the previously referenced disclosure statement.
5. Lessees shall be given fair disclosure of the nearby railroad and its associated conditions.

ATTACHMENTS

1. Aerial Exhibit
2. Rittenhouse Commons 1 RDR Submittal

Project Name: Rittenhouse Commons 1 RDR Aerial Exhibit

Case Numbers: P22-0074

Hearing Date: July 27, 2022





Rittenhouse & Germann

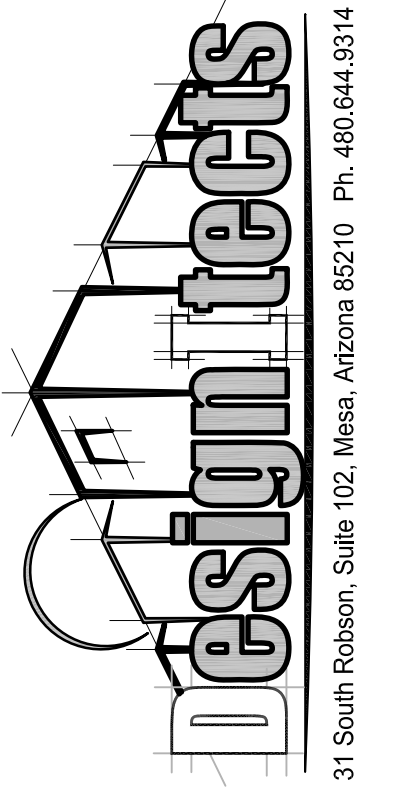
Project Narrative

Arcus Capital has designed a total of 81 auto-court lots for their development located east of the northeast corner of Rittenhouse Road and Germann Road.

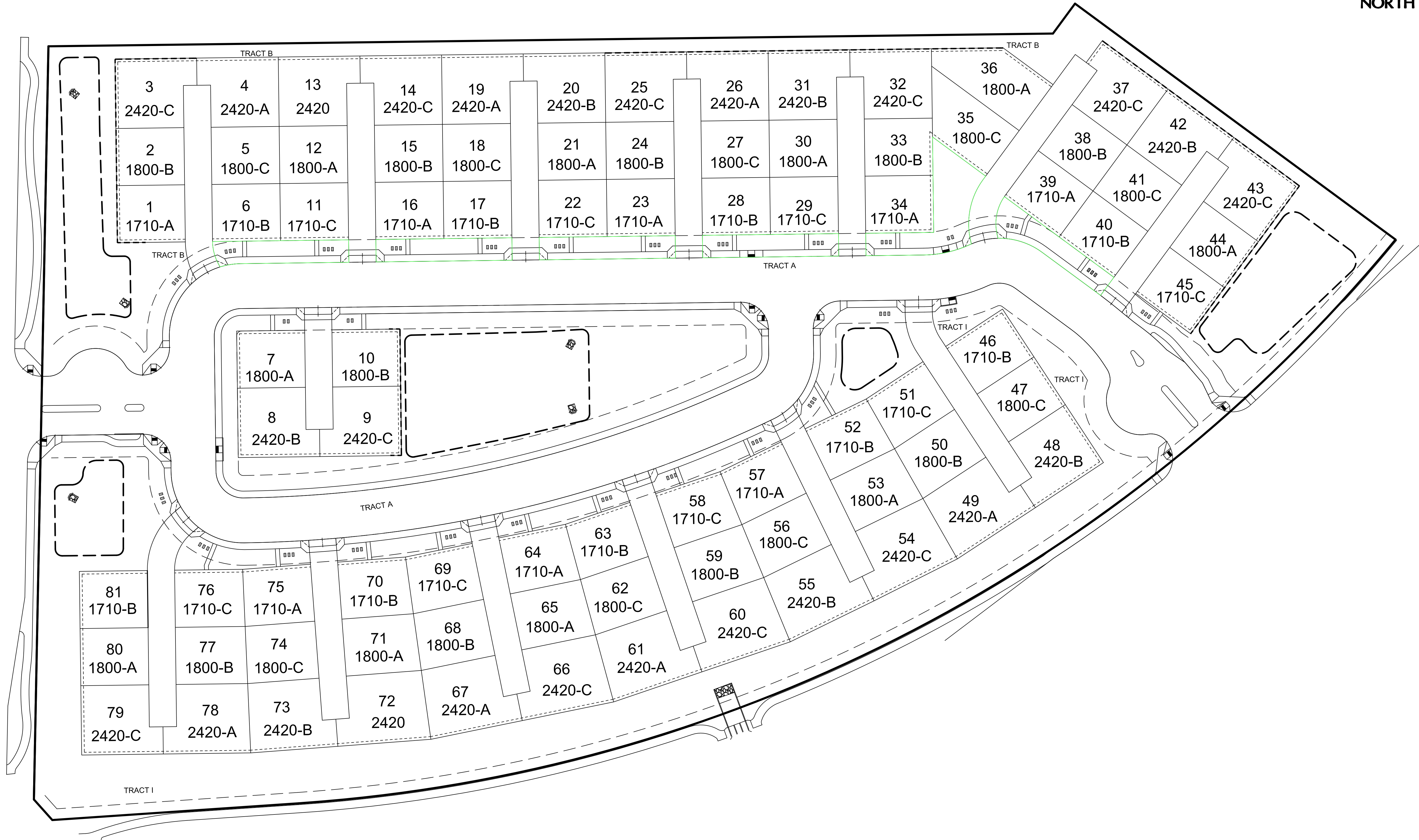
The proposed product offers (3) distinctly different architectural styles for each of the three plans providing (9) uniquely styled architectural expressions. Plan 1 has 1710 square feet of livable area and designed to be plotted on the street facing lot only. Plan 2 has 1800 square feet and designed to be plotted on the center lot only, and Plan 3 has 2420 square feet and designed to be plotted on the end lot only. The architectural styles consist of Western Cottage, Western Regional Farmhouse and Territorial Ranch. A variety of exterior materials speak to vertical and shake siding, brick veneer, composite shutters, concrete roof tile, gable end knee braces, exposed wood posts, 4-sided window mullions, and cantilevered wall elements for external massing thereby creating varied roof lines. Builder will provide a minimum of 7 exterior color schemes.

Arcus Capital looks forward to continuing our relationship with the Town of Queen Creek and sharing our ongoing visions and success.

RITTENHOUSE COMMONS 1 / BATTLE MAP



ARCUS™
PRIVATE CAPITAL SOLUTIONS



DRAWING TITLE:
BATTLE MAP

DRAWN BY:

DATE: 03.09.22
REVISION

REVISION	DATE
1	
2	
3	
4	

PLAN:

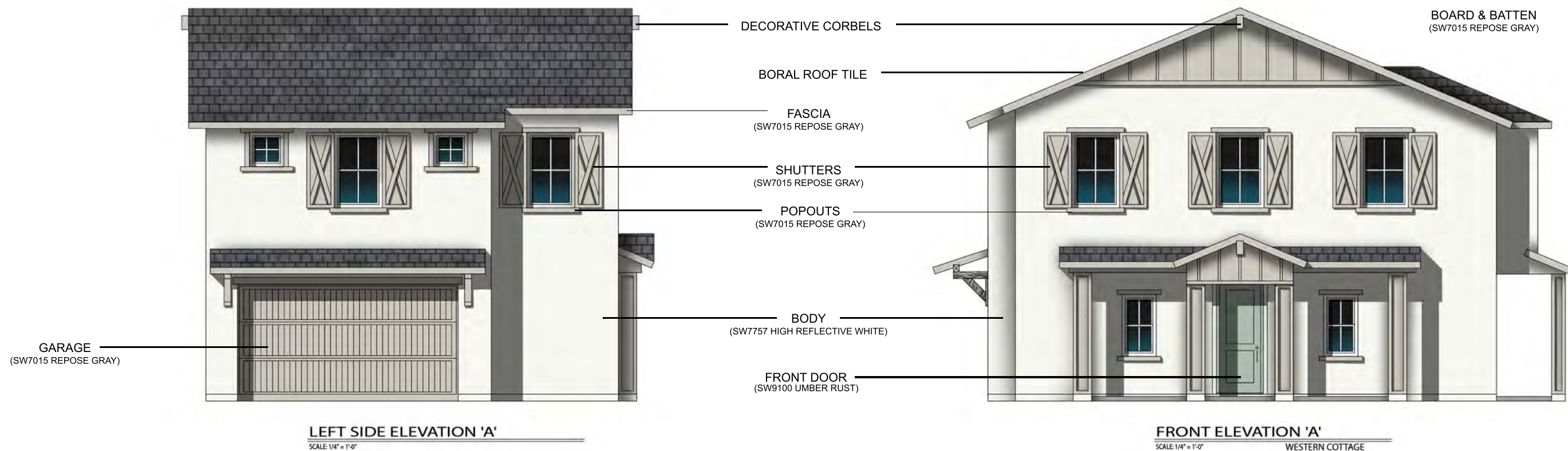
BMAP

SUBDIVISION:
**RITTENHOUSE
COMMONS 1
Queen Creek, AZ**

SHEET NO.

SP1





LEFT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0" WESTERN COTTAGE



RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

GARAGE
(SW6258 TRICORN BLACK)

BORAL ROOF TILE

DECORATIVE CORBELS

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

SHUTTERS
(SW6258 TRICORN BLACK)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

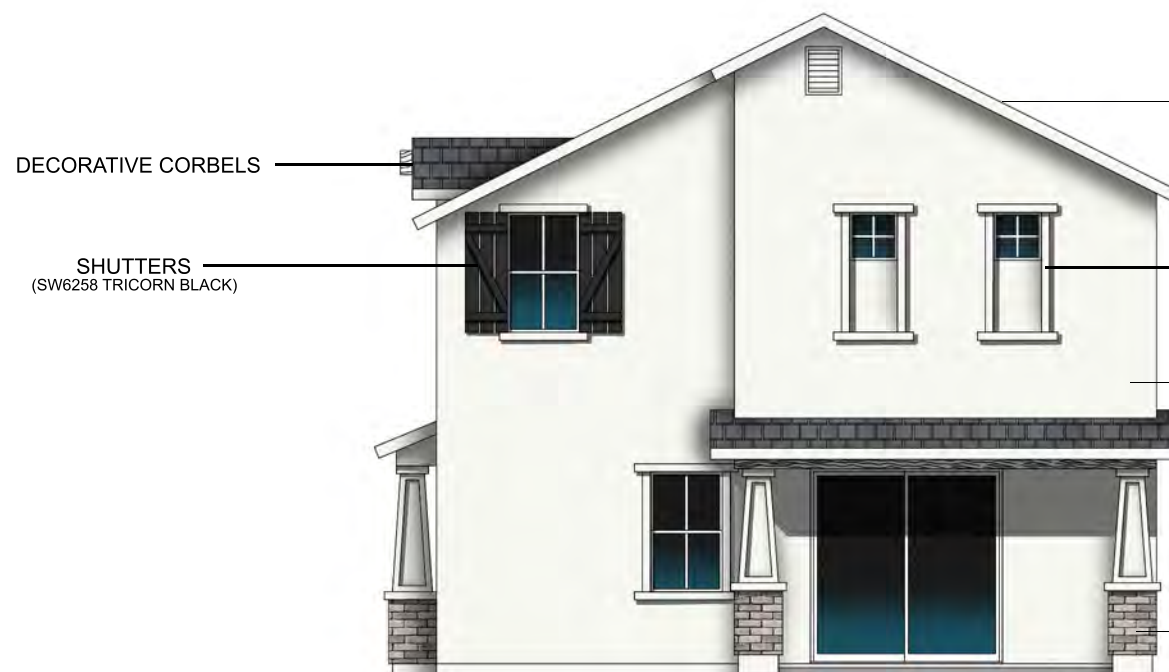
BODY
(SW7757 HIGH REFLECTIVE WHITE)

SHUTTERS
(SW6258 TRICORN BLACK)

FRONT DOOR
(SW6258 TRICORN BLACK)
CORONADO BRICK
(WOLF GREY)



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0"
WESTERN REGIONAL FARMHOUSE



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

DECORATIVE CORBELS

SHUTTERS
(SW6258 TRICORN BLACK)

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7757 HIGH REFLECTIVE WHITE)

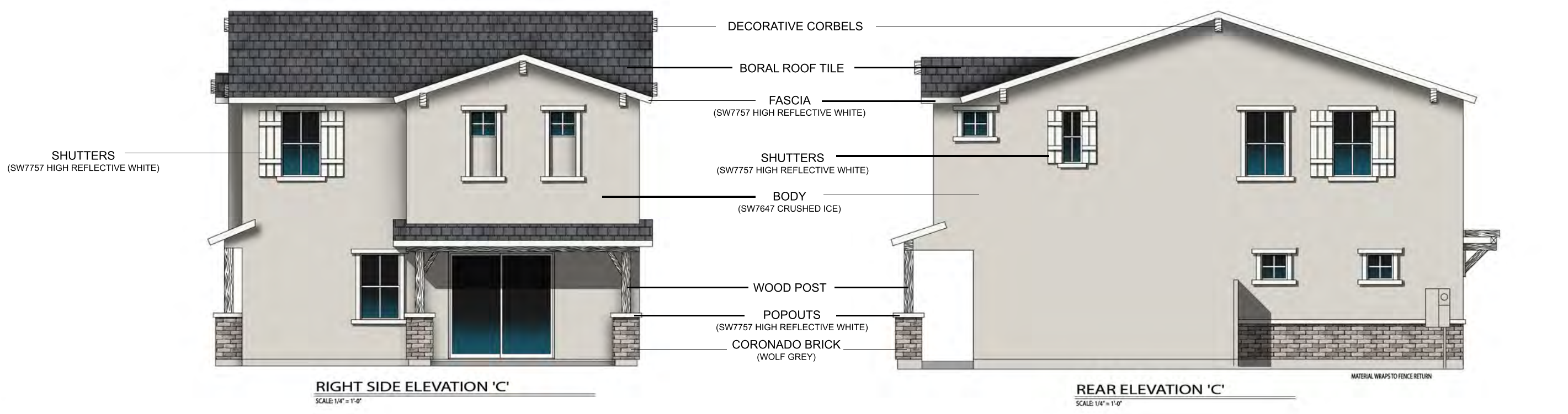
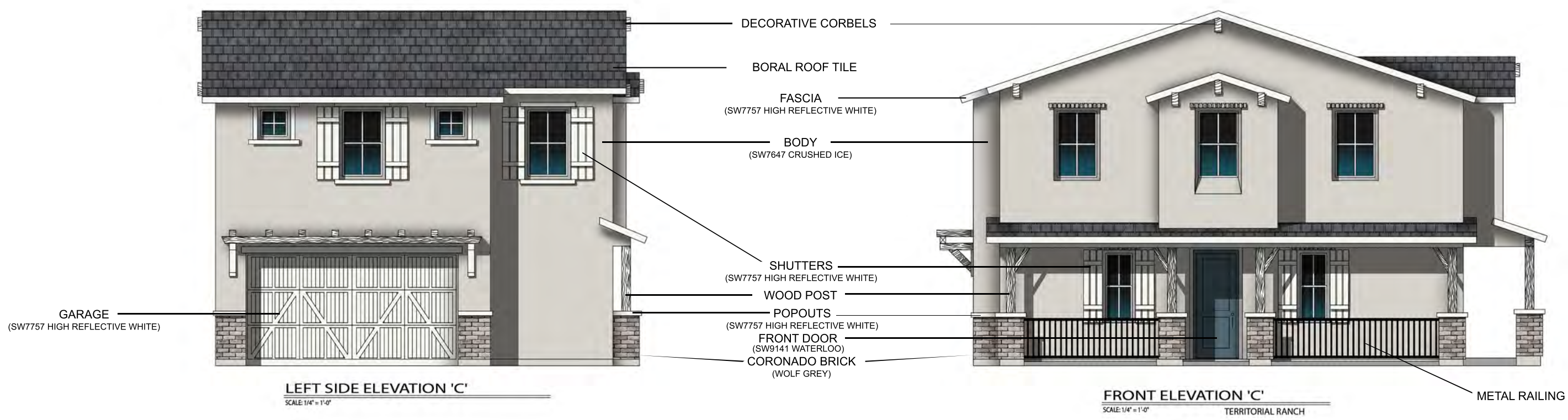
CORONADO BRICK
(WOLF GREY)



REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"

SHUTTERS
(SW6258 TRICORN BLACK)

MATERIAL WRAPS TO FENCE RETURN





LEFT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"



PLAN 1800 - FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0" **WESTERN COTTAGE**

SHUTTERS
(SW7757 HIGH REFLECTIVE WHITE)

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7045 INTELLECTUAL GRAY)

BOARD & BATTEN
(SW7757 HIGH REFLECTIVE WHITE)

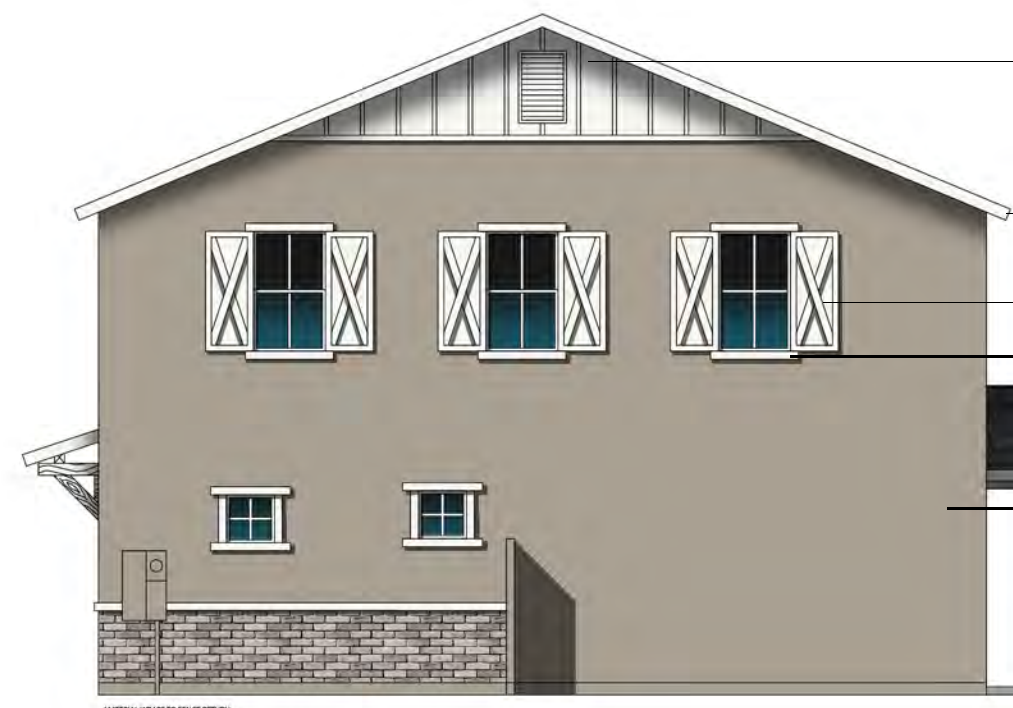
COACH LIGHT

FRONT DOOR
(SW6258 TRICORN BLACK)

CORONADO BRICK
(WOLF GREY)

SHUTTERS
(SW7757 HIGH REFLECTIVE WHITE)

GARAGE
(SW7757 HIGH REFLECTIVE WHITE)



RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

MATERIAL WRAPS TO FENCE RETURN

BOARD & BATTEN
(SW7757 HIGH REFLECTIVE WHITE)

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

SHUTTERS
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7045 INTELLECTUAL GRAY)

CORONADO BRICK
(WOLF GREY)



REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"

BOARD & BATTEN
(SW7757 HIGH REFLECTIVE WHITE)



LEFT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0" CRAFTSMAN

SHUTTERS
(SW9141 WATERLOO)

DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA
(SW9166 DRIFT OF MIST)

BODY
(SW7030 ANEW GRAY)

SHUTTERS
(SW9141 WATERLOO)

COACH LIGHT

FRONT DOOR
(SW9141 WATERLOO)

POPOUTS
(SW9166 DRIFT OF MIST)

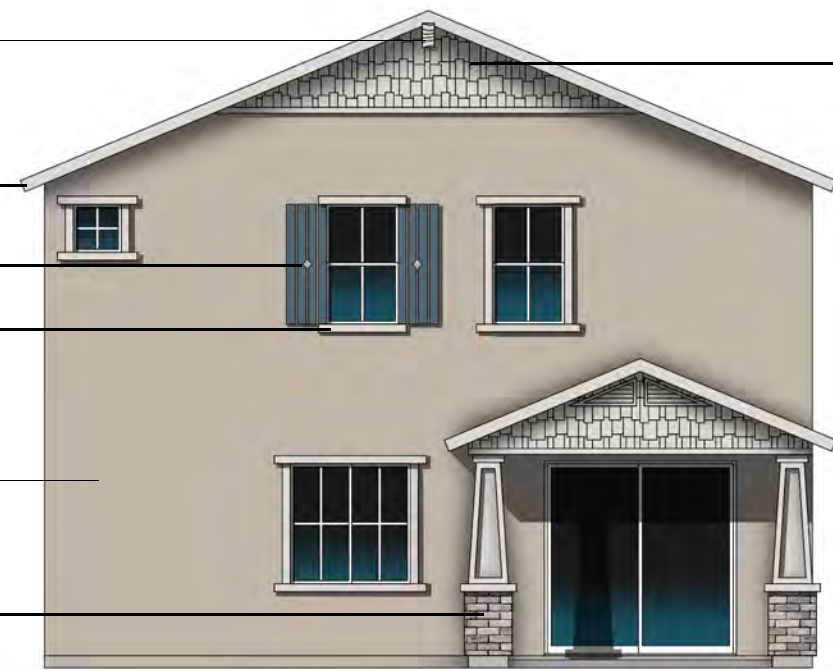
CORONADO BRICK
(WOLF GREY)

SHAKE SIDING
(SW9166 DRIFT OF MIST)

GARAGE
(SW9166 DRIFT OF MIST)



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"



REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"

DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA
(SW9166 DRIFT OF MIST)

SHUTTERS
(SW9141 WATERLOO)

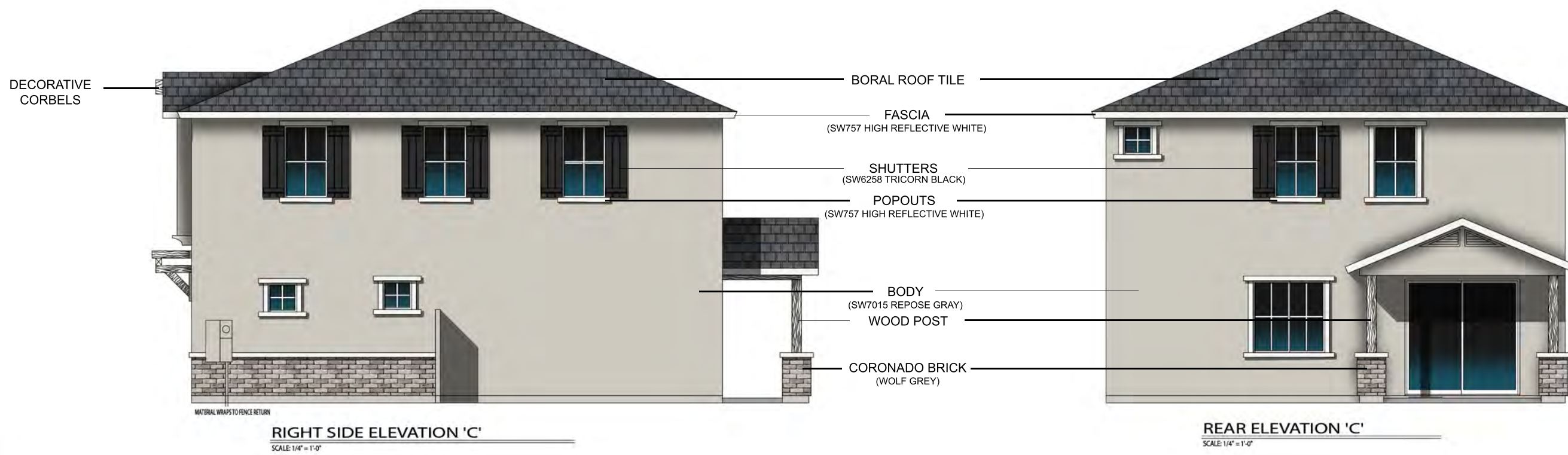
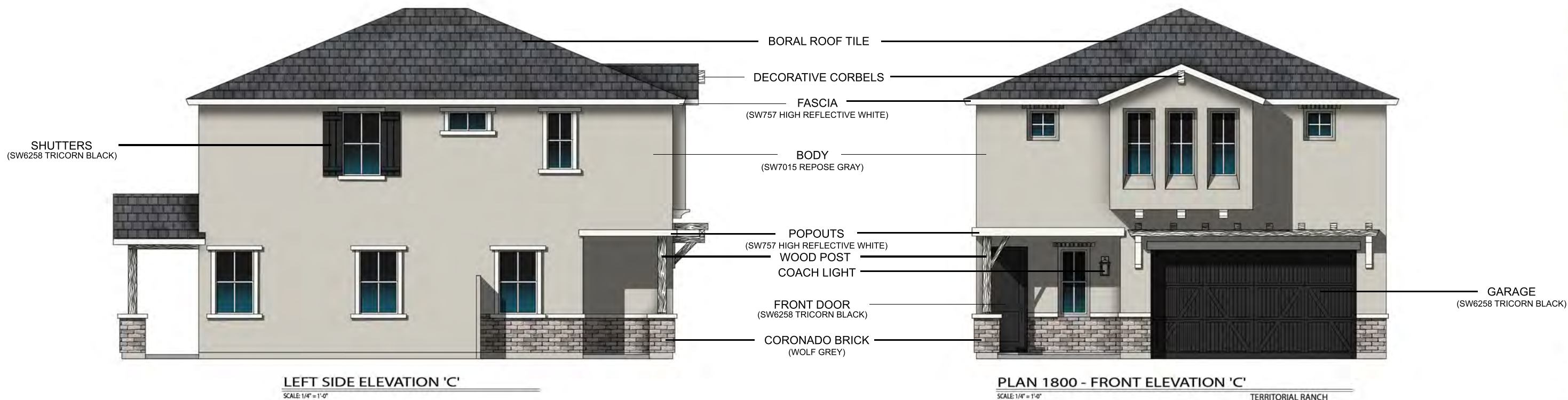
POPOUTS
(SW9166 DRIFT OF MIST)

BODY
(SW7030 ANEW GRAY)

CORONADO BRICK
(WOLF GREY)

SHAKE SIDING

MATERIAL WRAPS TO FENCE RETURN





CORONADO BRICK
(WOLF GREY)

LEFT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

- BORAL ROOF TILE
- FASCIA
(SW7757 HIGH REFLECTIVE WHITE)
- SHUTTERS
(SW6258 TRICORN BLACK)
- POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)
- BOARD & BATTEN
COACH LIGHT
- BODY
(SW7757 HIGH REFLECTIVE WHITE)
- FRONT DOOR
(SW6258 TRICORN BLACK)



SHUTTERS
(SW6258 TRICORN BLACK)

CORONADO BRICK
(WOLF GREY)

GARAGE
(SW6258 TRICORN BLACK)

FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0"
WESTERN COTTAGE



BOARD & BATTEN

RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

- BORAL ROOF TILE
- FASCIA
(SW7757 HIGH REFLECTIVE WHITE)
- SHUTTERS
(SW6258 TRICORN BLACK)
- POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)
- BODY
(SW7757 HIGH REFLECTIVE WHITE)
- CORONADO BRICK
(WOLF GREY)



REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

- BORAL ROOF TILE
- FASCIA (SW7757 HIGH REFLECTIVE WHITE)
- SHUTTERS (SW7757 HIGH REFLECTIVE WHITE)
- BODY (SW7647 CRUSHED ICE)
- DECORATIVE CORBELS
- COACH LIGHT
- FRONT DOOR (SW9141 WATERLOO)
- POPOUTS (SW7757 HIGH REFLECTIVE WHITE)
- CORONADO BRICK (WOLF GREY)



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0" CRAFTSMAN

- SHAKE SIDING (SW7647 CRUSHED ICE)
- SHUTTERS (SW7757 HIGH REFLECTIVE WHITE)
- GARAGE (SW7757 HIGH REFLECTIVE WHITE)



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

- BORAL ROOF TILE
- SHAKE SIDING (SW7647 CRUSHED ICE)
- FASCIA (SW7757 HIGH REFLECTIVE WHITE)
- SHUTTERS (SW7757 HIGH REFLECTIVE WHITE)
- POPOUTS (SW7757 HIGH REFLECTIVE WHITE)
- BODY (SW7647 CRUSHED ICE)
- CORONADO BRICK (WOLF GREY)



REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"

DECORATIVE CORBELS



LEFT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"

- BORAL ROOF TILE
- FASCIA (SW7015 REPOSE GRAY)
- SHUTTERS (SW7015 REPOSE GRAY)
- BODY (SW7757 HIGH REFLECTIVE WHITE)
- COACH LIGHT
- FRONT DOOR (SW6212 QUIETUDE)
- POPOUTS (SW7015 REPOSE GRAY)
- CORONADO BRICK (WOLF GREY)



FRONT ELEVATION 'C'
SCALE: 1/4" = 1'-0"
TERRITORIAL RANCH

- DECORATIVE CORBELS
- SHUTTERS (SW7015 REPOSE GRAY)
- GARAGE (SW7015 REPOSE GRAY)



RIGHT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"

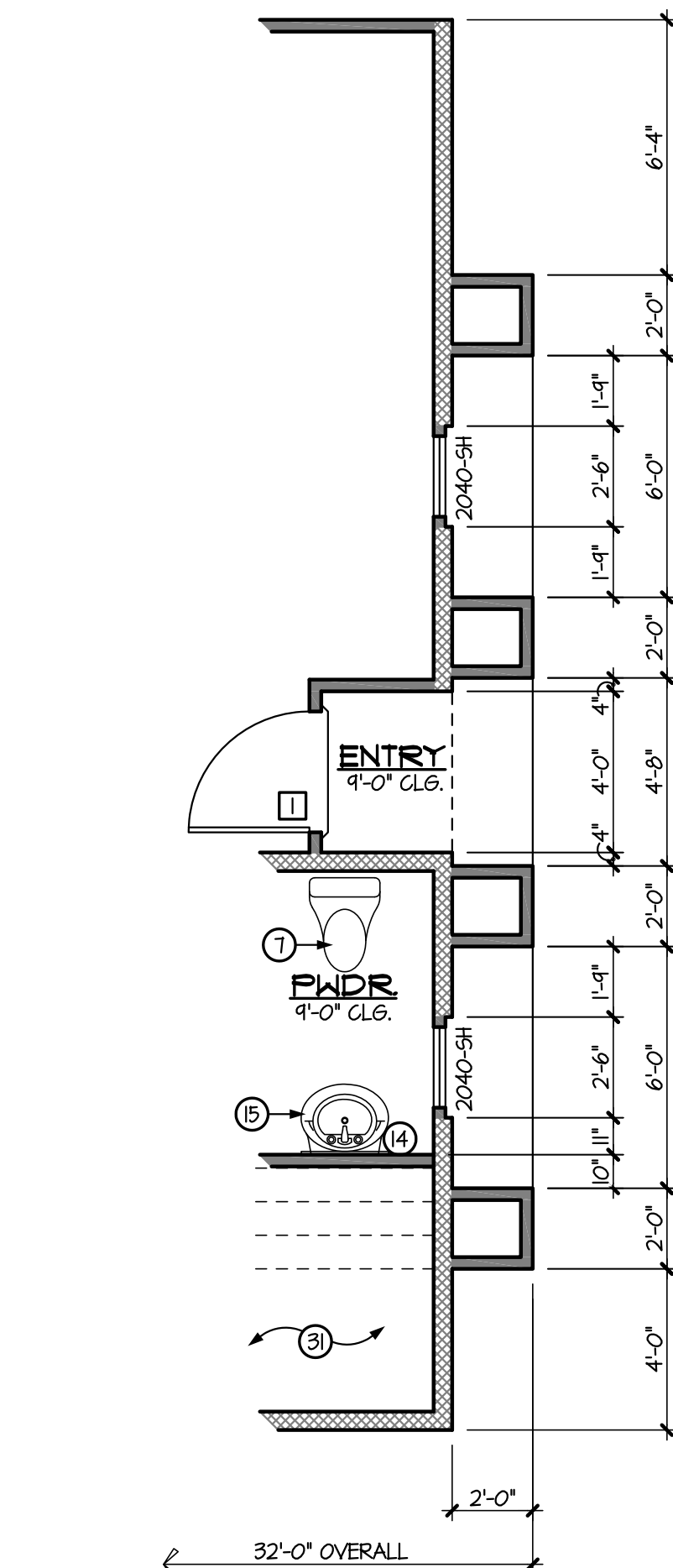
- BORAL ROOF TILE
- FASCIA (SW7015 REPOSE GRAY)
- SHUTTERS (SW7015 REPOSE GRAY)
- POPOUTS (SW7015 REPOSE GRAY)
- BODY (SW7757 HIGH REFLECTIVE WHITE)
- CORONADO BRICK (WOLF GREY)



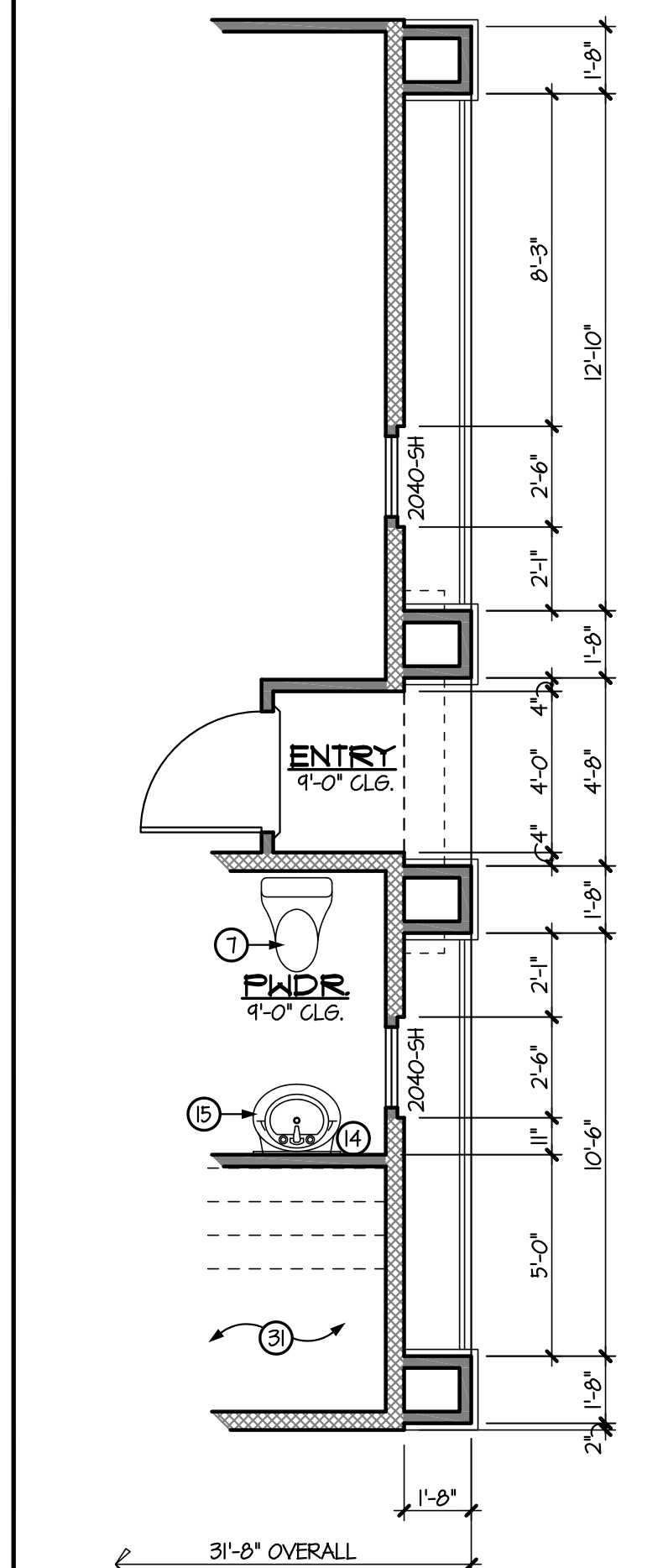
REAR ELEVATION 'C'
SCALE: 1/4" = 1'-0"

DECORATIVE CORBELS

MATERIAL WRAPS TO FENCE RETURN



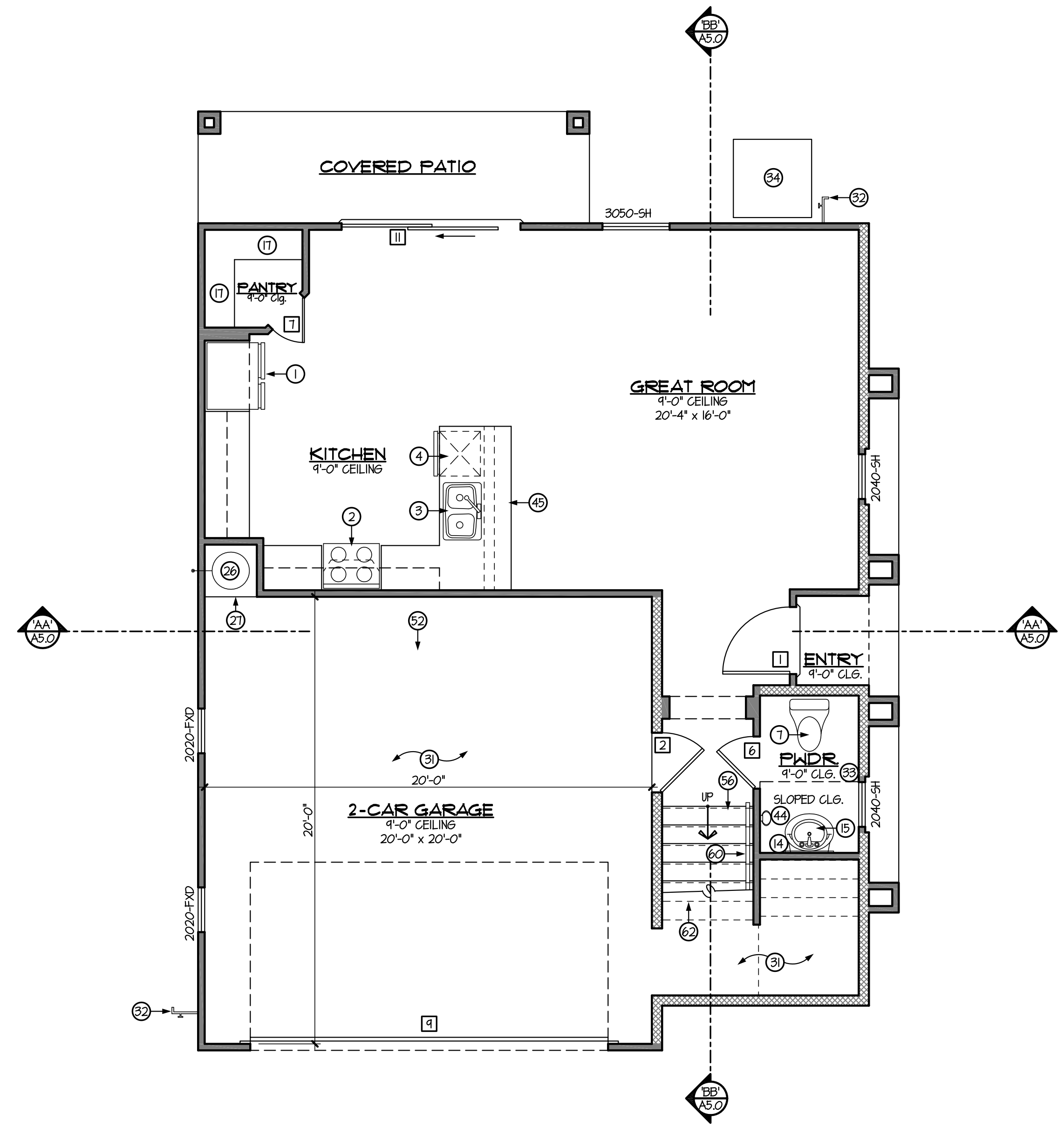
PARTIAL 1ST FLOOR PLAN - ELEV. 'B'
SCALE: 1/4" = 1'-0"



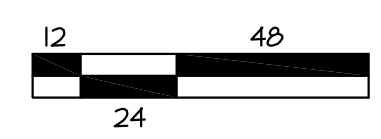
PARTIAL 1ST FLOOR PLAN - ELEV. 'C'
SCALE: 1/4" = 1'-0"

- 5% PATIO AREA REQUIRED = 85 SF
- PATIO AREA PROVIDED = 87 SF

SQUARE FOOTAGE TABLE 1710	
1st FLR. LIV:	666
2nd FLR. LIV:	1,044
GARAGE:	413
PATIO:	87
ENTRY:	22
TOTAL UNDER ROOF:	2,198
1st FLR. FOOTPRINT:	1,188
LOT AREA	2,100
LOT COV. %	56 %



KEYNOTED FIRST FLOOR PLAN 'A'
SCALE: 1/4" = 1'-0"

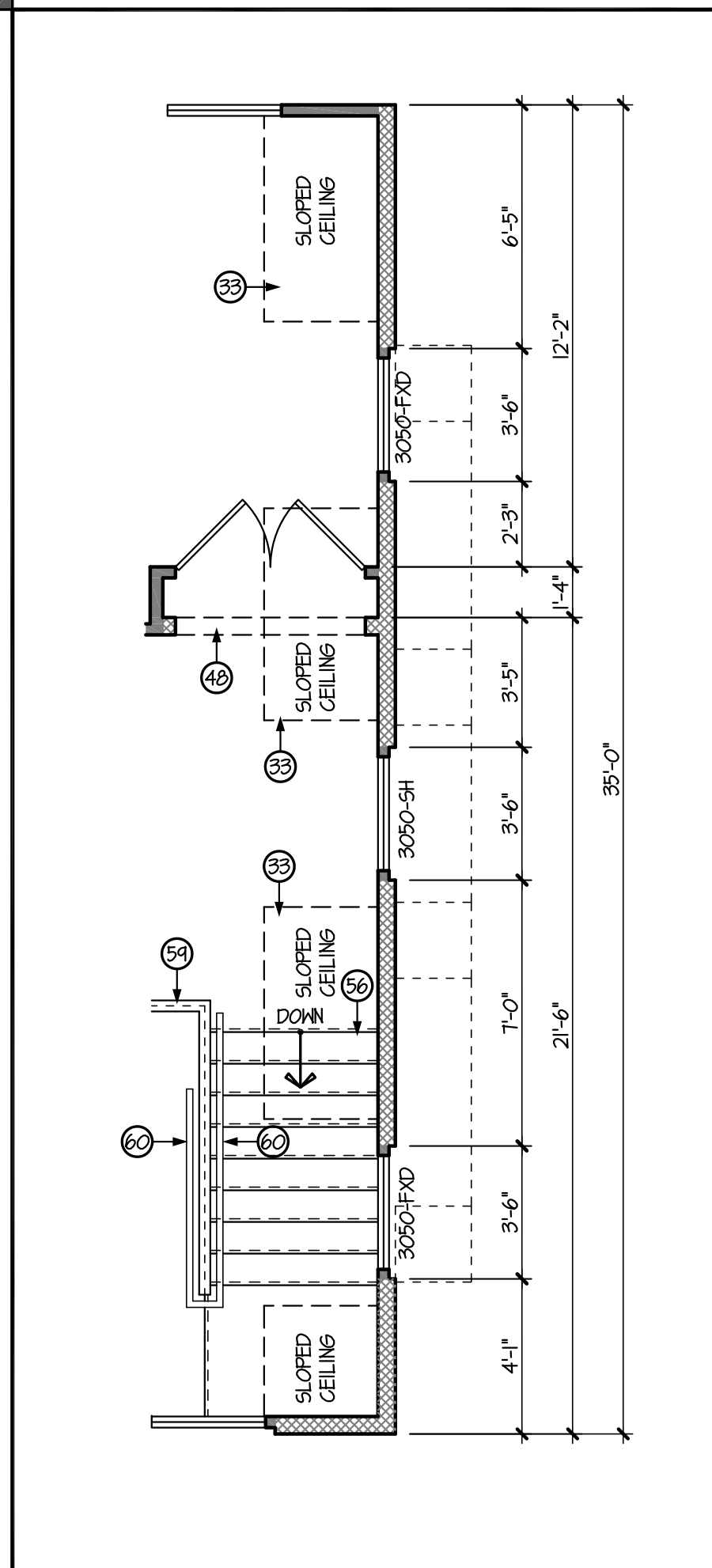


DOOR SCHEDULE				
No.	TYPE	SIZE	FUNCTION	NOTES
1	B	3'-0" x 8'-0"	SWING	
2	A	2'-8" x 6'-8"	SWING	
3	B	2'-8" x 6'-8"	SWING	
4	C	2'-8" x 6'-8"	SWING	
5	C	2'-6" x 6'-8"	SWING	
6	C	2'-4" x 6'-8"	SWING	
7	C	2'-0" x 6'-8"	SWING	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.	
10	D	6'-0" x 8'-0"	S.D.D.	
11	D	8'-0" x 8'-0"	S.D.D.	
12	C	4'-0" x 6'-8"	BI-PASS	
13	C	6'-0" x 6'-8"	BI-PASS	
14	C	8'-0" x 6'-8"	BI-PASS	
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH
16	B, D, E	3'-0" x 6'-8"	SWING (DBL. DR.)	OPT. 8'-0" HIGH
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS
19	C	2'-8" x 6'-8"	SWING (DBL. DR.)	BALL CATCH
20	C	2'-0" x 6'-8"	SWING	

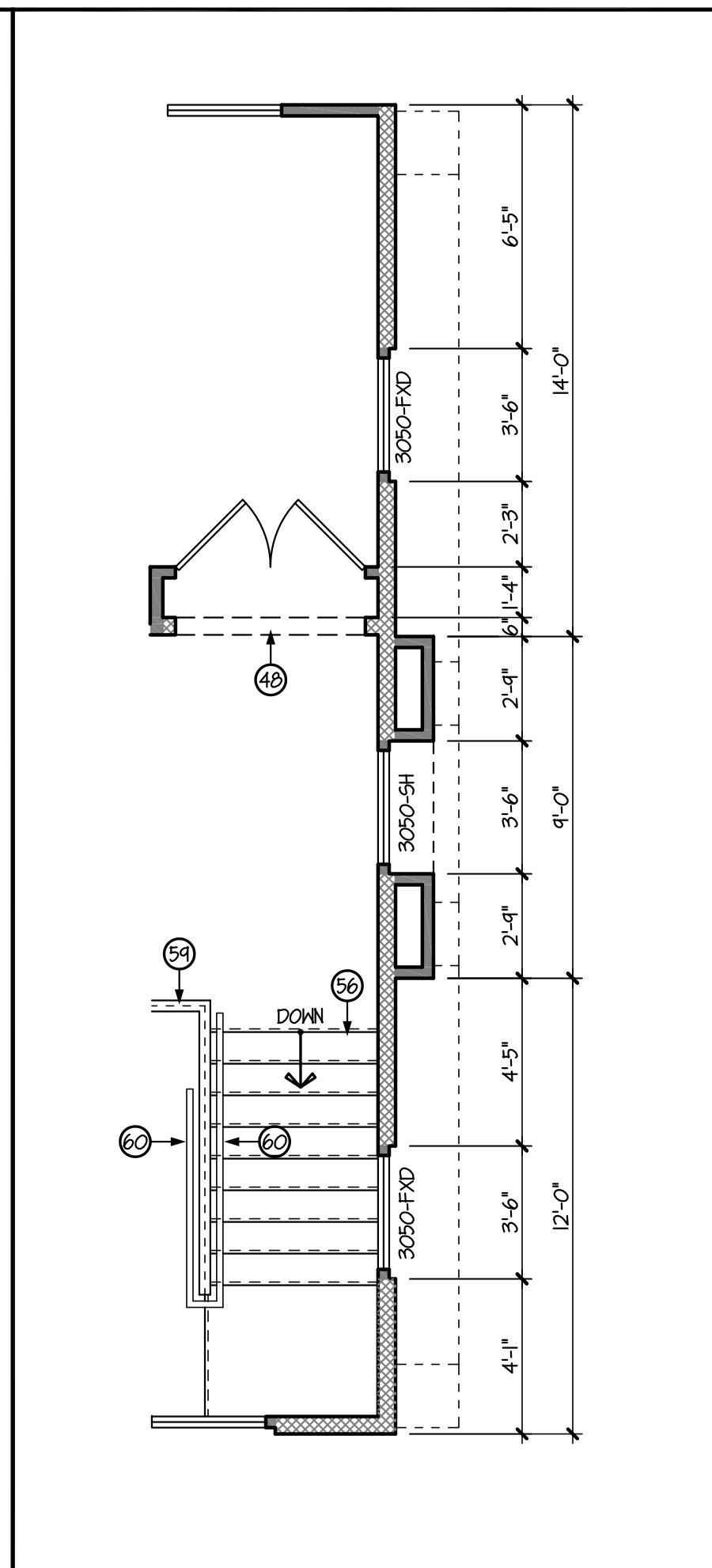
GENERAL INFORMATION	
1.	INSULATION: R-30 BLOW-IN @ ATTIC - UNO. ON PLAN R-15 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-14 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
2.	PROVIDE R-13 BATT. (2x4 WALL) OR R-14 BATT. (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
3.	FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 & MANUFACTURERS RECOMMENDED CLEARANCES.
4.	PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPECS.
5.	ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - UNO.
6.	MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS. - I.R.C. SECTION R301.
7.	WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #330.

KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-FLING FOR ICE MAKER
2	ELECTRIC RANGE & OVEN w/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS
3	DOUBLE SINK w/ DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
5	PANTRY - FACE FRAMED PANTRY CABINET
6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER w/ TILE MARBLE OR EQ. TO +12" ADV. DRAIN. - I.R.C. SEC. R302.2
7	WATER CLOSET PROVIDE A MIN. 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R301
8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
9	60"x30" TUB/SHOWER COMBO. w/ ROD FOR SHOWER CURTAIN
10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
11	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
12	RECESSED MEDICINE CABINET - HDR. @ +16" - OPTIONAL IF SHOWN WITH DASHED LINES
13	MARBLE PONY WALL @ +20" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL
14	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
15	PEDESTAL SINK w/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINETS) w/ SINK AND MIRROR STOP AND DROP - SEE ELEVATION ON SHEET A/D
16	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWN/NOTED ON PLAN
17	1 ROD, 1 SHELF
18	2 RODS, 2 SHELVES
19	FACE FRAMED LINEN
20	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS
21	TEMPERED GLASS
22	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER
23	ELECTRIC DRYER - OPTIONAL GAS
24	4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2434.5, G2434.5.1 & G2434.5.4
25	ELEC. WATER HEATER w/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER W/H
26	28" SQUARE PLATFORM @ +18" A.F.F.
27	2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE 12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER
28	22x30 ATTIC SCUTTLE w/ INSULATION & WEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR. - I.R.C. R801.1.1/2.2.4
29	4" TIRE STOP
30	5/8" TYPE 'X' GYPSUM BOARD @ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
31	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES
32	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILING
33	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.
34	OPT. DOOR w/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN
35	OPTIONAL COUNTERTOP w/ BASE & UPPER CABINETS
36	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
37	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN
38	OPTIONAL GAS STUB-OUT @ +18" A.F.F. - TYPICAL
39	GARDEN TUB/SHOWER w/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
40	LINE OF FIRST FLOOR/SECOND FLOOR
41	3" STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F.
42	FLAT SOFFIT - TOP @ +84"
43	TONE BAR @ +54" OR TONE RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES
44	ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS w/ 12" OVERHANG
45	MARBLE PONY WALL @ +42" OR PER PLAN
46	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES
47	FLAT SOFFIT - TOP @ +16"
48	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
49	60" x 42" DROP-IN GARDEN TUB w/ MARBLE TO +12" ABOVE TUB DECK
50	3/4" CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE
51	SLOPE 1/8" PER LINEAL FOOT @ EXTERIOR SLABS
52	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB

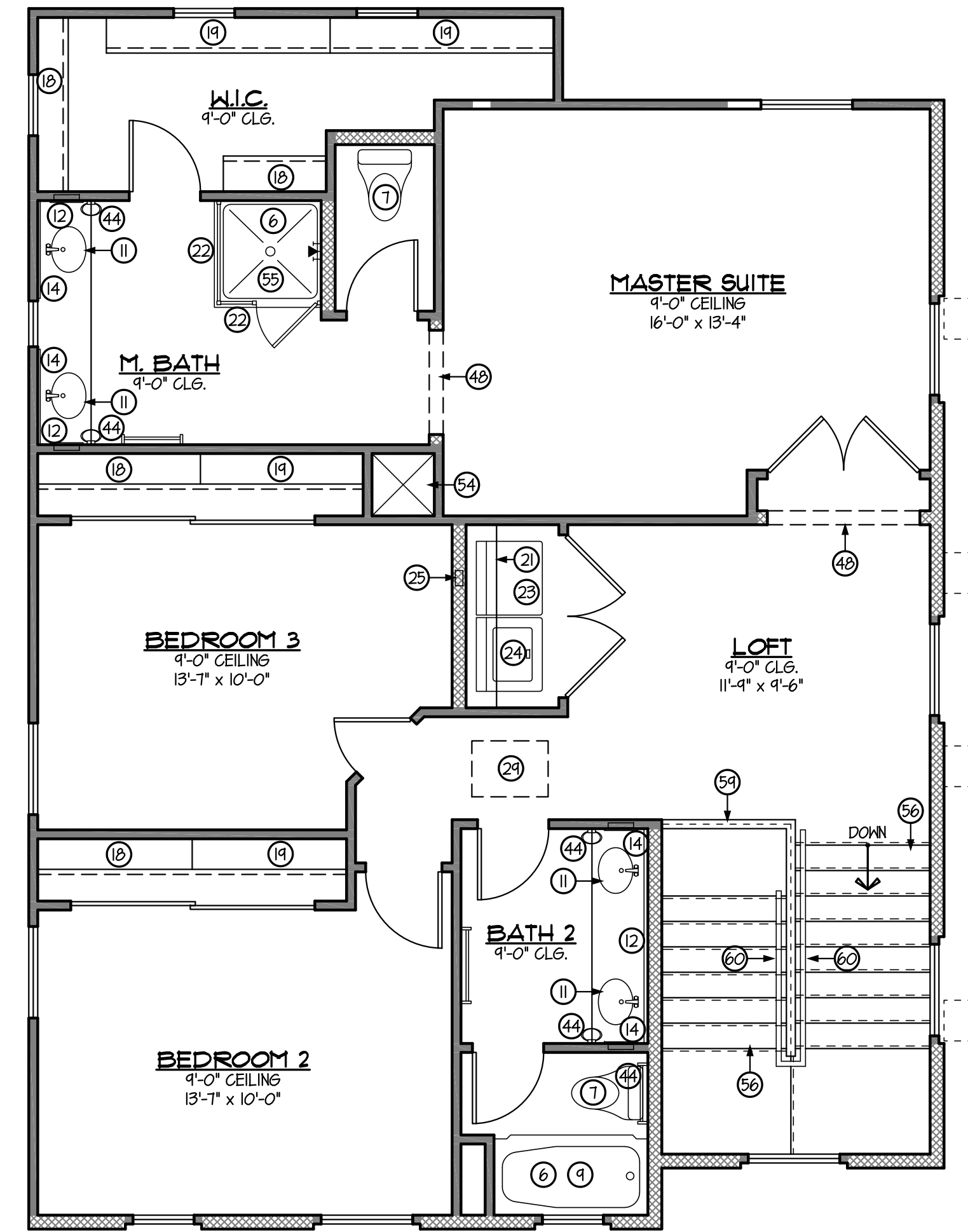
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1710
 SUBDIVISION:
RITTENHOUSE COMMONS 1
Queen Creek, AZ
 SHEET NO.
A1.0
 TOWN OF QUEEN CREEK



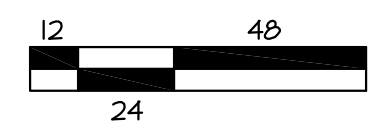
PARTIAL 2ND FLOOR PLAN - ELEV. 'B'
SCALE: 1/4" = 1'-0"



PARTIAL 2ND FLOOR PLAN - ELEV. 'C'
SCALE: 1/4" = 1'-0"



KEYNOTED SECOND FLOOR PLAN 'A'
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE				
No.	TYPE	SIZE	FUNCTION	NOTES
1	B	3'-0" x 8'-0"	SWING	
2	A	2'-8" x 6'-8"	SWING	
3	B	2'-8" x 6'-8"	SWING	
4	C	2'-8" x 6'-8"	SWING	
5	C	2'-6" x 6'-8"	SWING	
6	C	2'-4" x 6'-8"	SWING	
7	C	2'-0" x 6'-8"	SWING	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.	
10	D	6'-0" x 8'-0"	S.D.D.	
11	D	8'-0" x 8'-0"	S.D.D.	
12	C	4'-0" x 6'-8"	BI-PASS	
13	C	6'-0" x 6'-8"	BI-PASS	
14	C	8'-0" x 6'-8"	BI-PASS	
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH
16	B, D, E	3'-0" x 6'-8"	SWING (DEBL. DR.)	OPT. 8'-0" HIGH
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS
19	C	2'-8" x 6'-8"	SWING (DEBL. DR.)	BALL CATCH
20	C	2'-0" x 6'-8"	SWING	

GENERAL INFORMATION	
1.	INSULATION: R-30 BLOW-IN @ ATTIC - UNO. ON PLAN R-15 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-14 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
2.	PROVIDE R-13 BATT. (2x4 WALL) OR R-14 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
3.	FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 & MANUFACTURERS RECOMMENDED CLEARANCES.
4.	PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPECS.
5.	ALL ITEMS SHOWN W/ DASHED LINES ARE OPTIONAL - UNO.
6.	MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS. - I.R.C. SECTION R310.1
7.	WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #330.

KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
2	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS DOUBLE SINK W/ DISPOSAL
3	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
4	PANTRY - FACE FRAMED PANTRY CABINET
5	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE MARBLE OR EQ. TO +12" ABV. DRAIN. I.R.C. SEC. R102.2
6	WATER CLOSET PROVIDE A (MIN) 1" ON EACH SIDE @ 21" (MIN) CLEAR IN FRONT - I.R.C. SEC. R307.1
7	PRE-FAB 34" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN. TEMP. GLASS SURROUND 60"x30" TUB/SHOWER COMBO. W/ ROD FOR SHOWER CURTAIN
8	60"x42" SLIDE-IN TUB W/ MARBLE TO +12" ABOVE TUB DECK
9	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
10	4" WIDE PONY WALL @ +36"
11	CLOSURE WALL BELOW STAIRS
12	42" SQUARE CONCRETE STOOP - SLOPE 1/4" P.L.F. MAX. - OPT. IF SHOWN W/ DASHED LINES. DELETE W/ OPT. COVERED PATIO
13	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
14	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
15	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
16	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
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51	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
52	OPTIONAL GAS TANKLESS WATER HEATER LOCATION
53	OPTIONAL GAS TANKLESS WATER HEATER LOCATION

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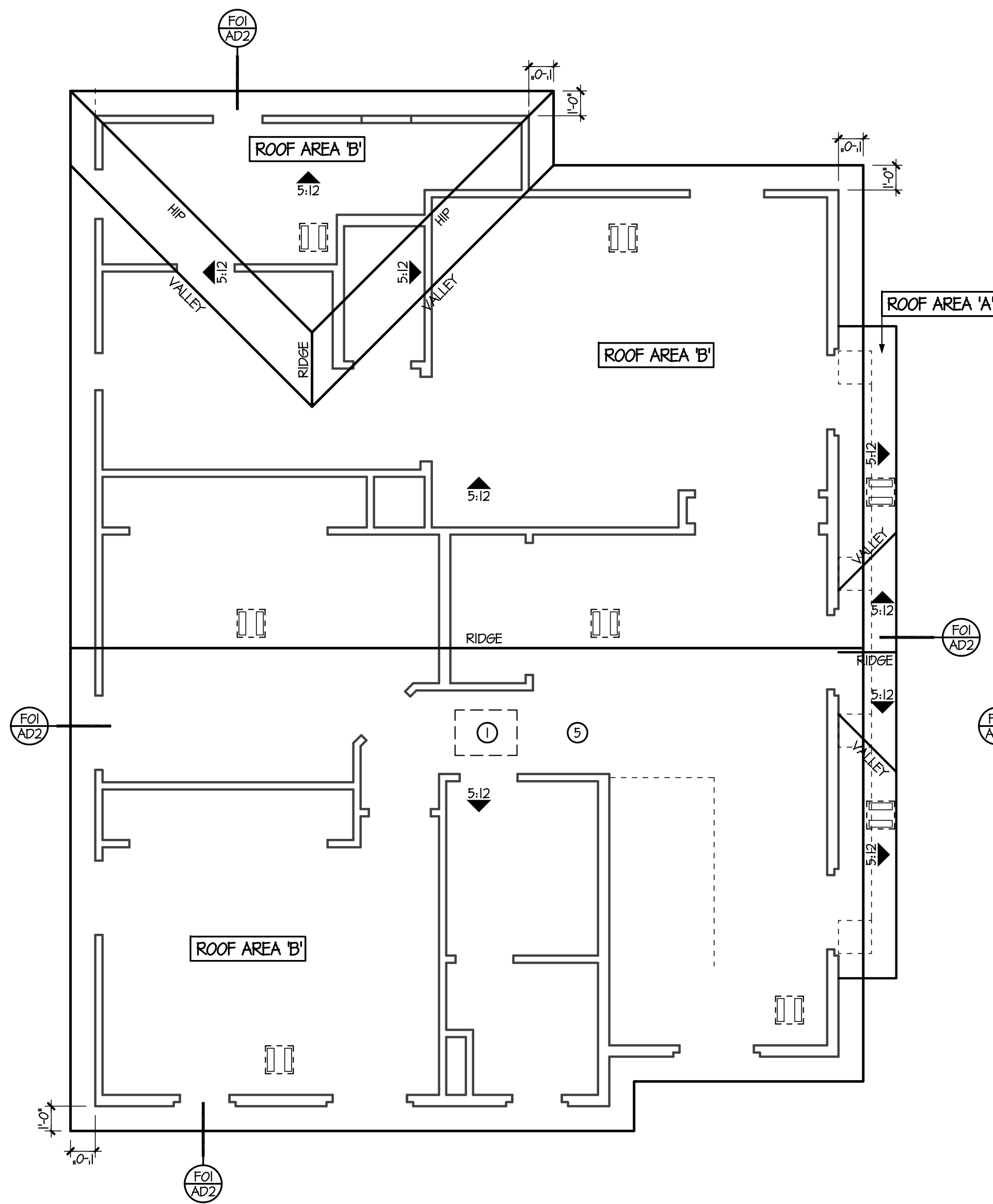
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SECOND FLOOR KEYNOTED PLAN
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DRAWN BY: SHR
 DATE: 01.12.22
 REVISION:

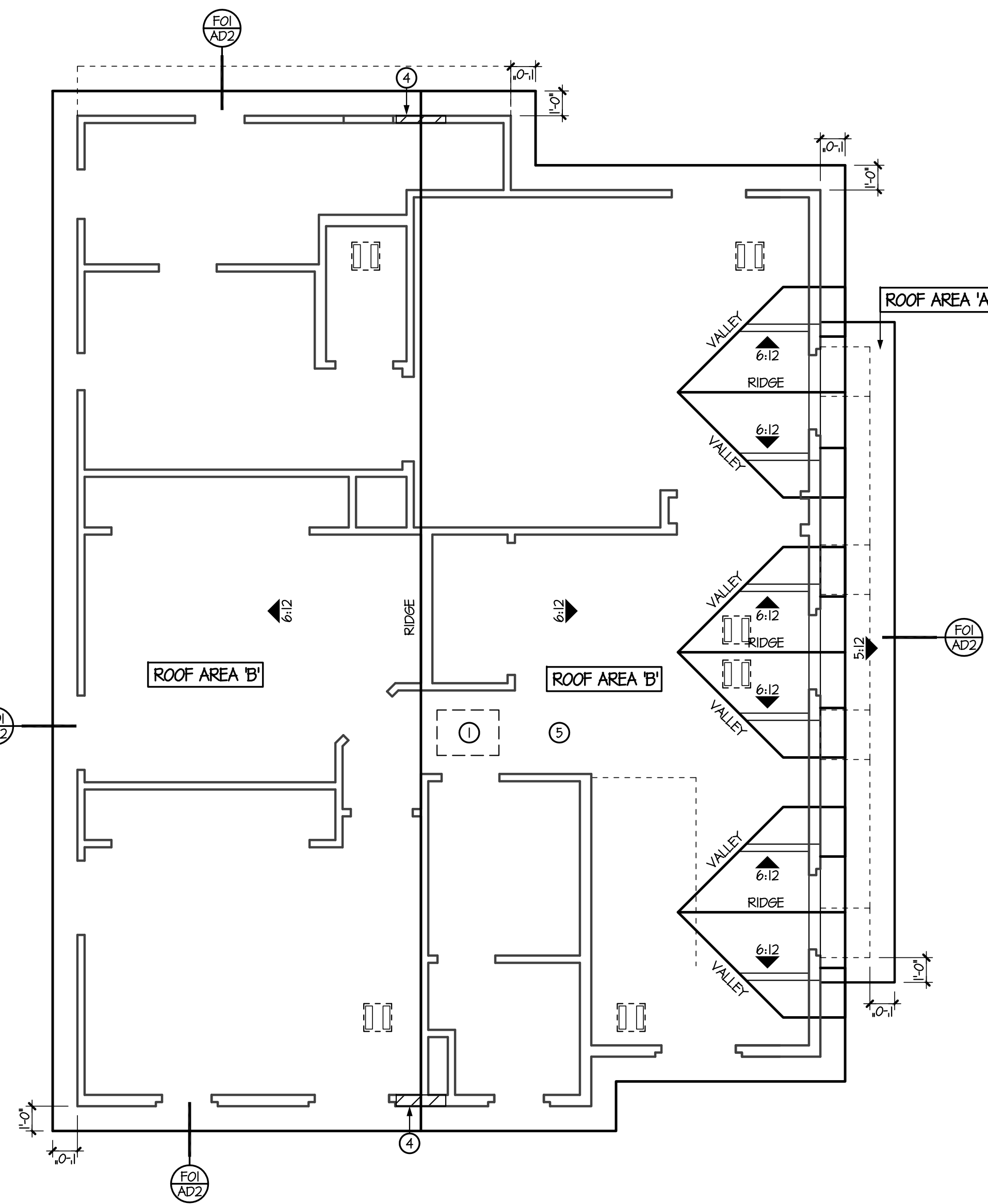
PLAN: **1710**
 SUBDIVISION: RITTENHOUSE COMMONS 1
 Queen Creek, AZ
 SHEET NO. **A1.1**

TOWN OF QUEEN CREEK



ROOF PLAN 'A'
SCALE: 1/4" = 1'-0"

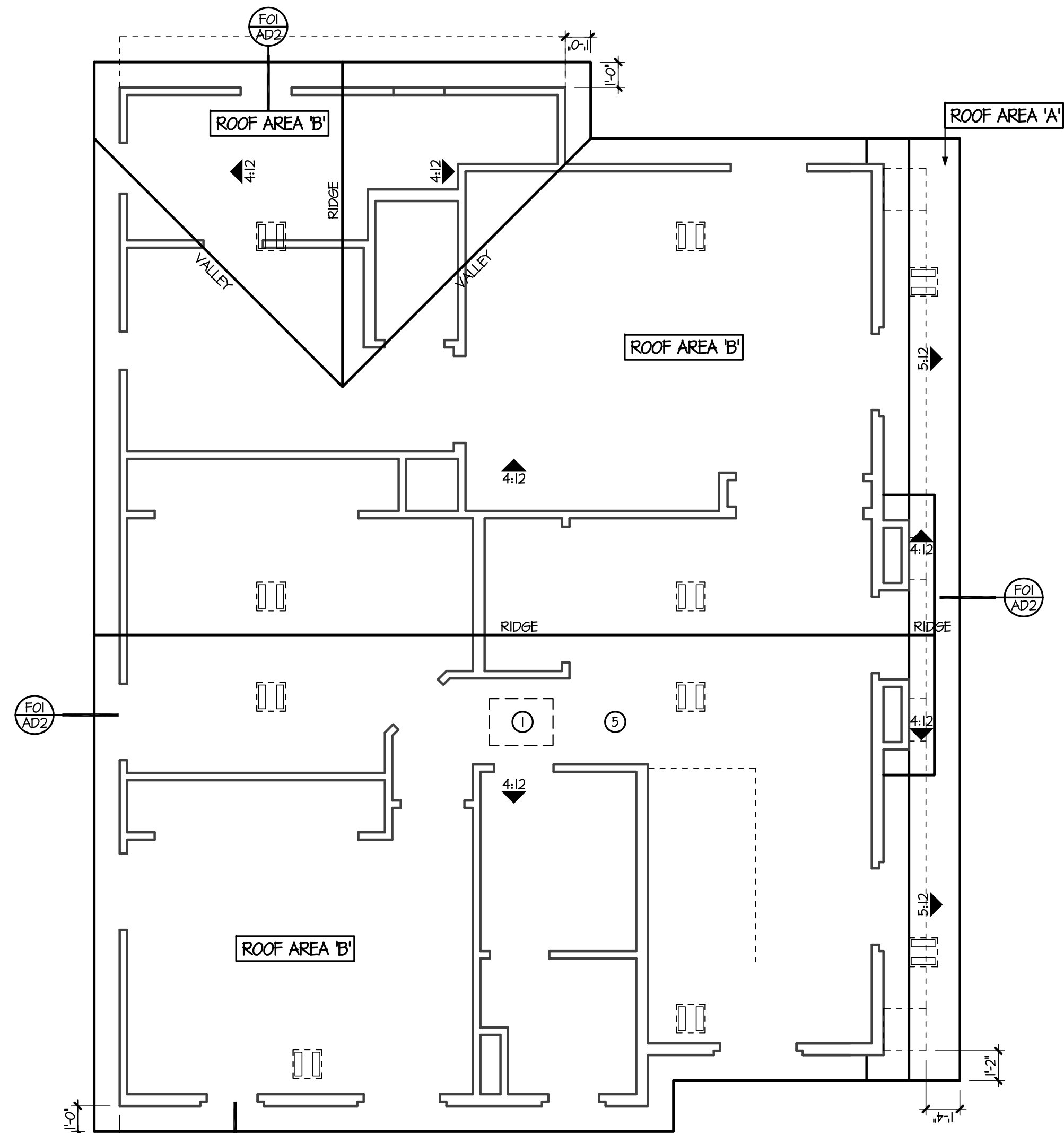
ROOF AREA 'A'	ROOF AREA 'B'	
20 ^{sq}	1044 ^{sq}	
REQ'D. SQ. FT. 1/50 RULE	REQ'D. SQ. FT. 1/50 RULE	
13 ^{sq}	3.48 ^{sq}	
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)	1.36
	TOTAL =	1.36
ROOF 'B'	6 - OHAGIN TILE VENT (0.68 SF. EA)	4.08
	TOTAL =	5.44



ROOF PLAN 'B'
SCALE: 1/4" = 1'-0"

ROOF AREA 'A'	ROOF AREA 'B'	
21 ^{sq}	1044 ^{sq}	
REQ'D. SQ. FT. 1/50 RULE	REQ'D. SQ. FT. 1/50 RULE	
14 ^{sq}	3.48 ^{sq}	
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)	1.36
	TOTAL =	1.36
ROOF 'B'	4 - OHAGIN TILE VENT (0.68 SF. EA)	2.72
	2 - 18x24 GABLE END VENTS (1.32 SF. EA)	2.64
	TOTAL =	5.36

ROOF AREA 'A'	ROOF AREA 'B'	
22 ^{sq}	1044 ^{sq}	
REQ'D. SQ. FT. 1/50 RULE	REQ'D. SQ. FT. 1/50 RULE	
14 ^{sq}	3.48 ^{sq}	
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)	1.36
	TOTAL =	1.36
ROOF 'B'	6 - OHAGIN TILE VENT (0.68 SF. EA)	4.08
	TOTAL =	5.44



ROOF PLAN 'C'
SCALE: 1/4" = 1'-0"

GENERAL INFORMATION

- WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
- ALL LOW TILE VENTS SHALL BE PLACED 3'-0" FROM THE EXTERIOR WALL - UNO. ON PLAN.
- PROVIDE FIRE BLOCKING @ ALL CEILING LINES & AT ALL BALLOON FRAMED WALLS OVER 10'-0" - UNO. ON PLAN.
- THE ATTIC HVAC WORKING PLATFORM IS REQUIRED TO HAVE SOLID BLOCKING @ ALL PLYWOOD PERIMETER EDGES.

KEYNOTES

NO	DESCRIPTION
1	22'x30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE 1/2" P.L.F. MINIMUM
3	2x4 BEARING CRIPPLE WALL w/ 2x BLOCKING @ 16" O.C. BELOW WHERE SHOWN ON PLAN - STUDS @ 16" O.C.
4	LOWESED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE ELEVATIONS OR VENT CALC'S
5	PROPOSED AIR HANDLER LOCATION - PROVIDE APPROXIMATELY 60" x 10'-0" - VERIFY w/ TRUSS DESIGN

NET FREE SQUARE FOOT AREA OF VENTS:

12x12" = 44	3 - 24" BRD BLC = 248	(5-12) 6" TRI-VENT = 156
12x18" = 65	2 - 2 1/2" BRD BLC = 245	(5-12) 8" TRI-VENT = 238
12x24" = 88	18" ROUND VENT = 61	(5-12) 12" TRI-VENT = 420
14x18" = 76	24" ROUND VENT = 119	(5-12) 12" TRI-VENT = 610
14x24" = 102	18" 1/2 ROUND VENT = 53	(6-12) 4" TRI-VENT = 144
18x12" = 66	24" 1/2 ROUND VENT = 59	(6-12) 12" TRI-VENT = 514
18x18" = 81	18x24" ROUND TOP = 87	(11-2) 8" TRI-VENT = 601
18x24" = 132	18x30" ROUND TOP = 111	(6-12) 6" TRI-VENT = 438
24x18" = 132	(4-12) 6" TRI-VENT = 112	OHAGIN TILE VENT = 68
24x24" = 176	(4-12) 8" TRI-VENT = 238	DORMER VENT = 64
24x30" = 220	(4-12) 10" TRI-VENT = 378	FULL SCREENED VENT = 41
30"x36" = 324	(4-12) 12" TRI-VENT = 528	2 1/2" METAL STRIP VENT = 41 P.L.F.

OHAGIN TILE VENT

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DRAWING TITLE:
ROOF PLANS & ATTIC VENTILATION

DRAWN BY:
SHR

DATE:
01.12.22

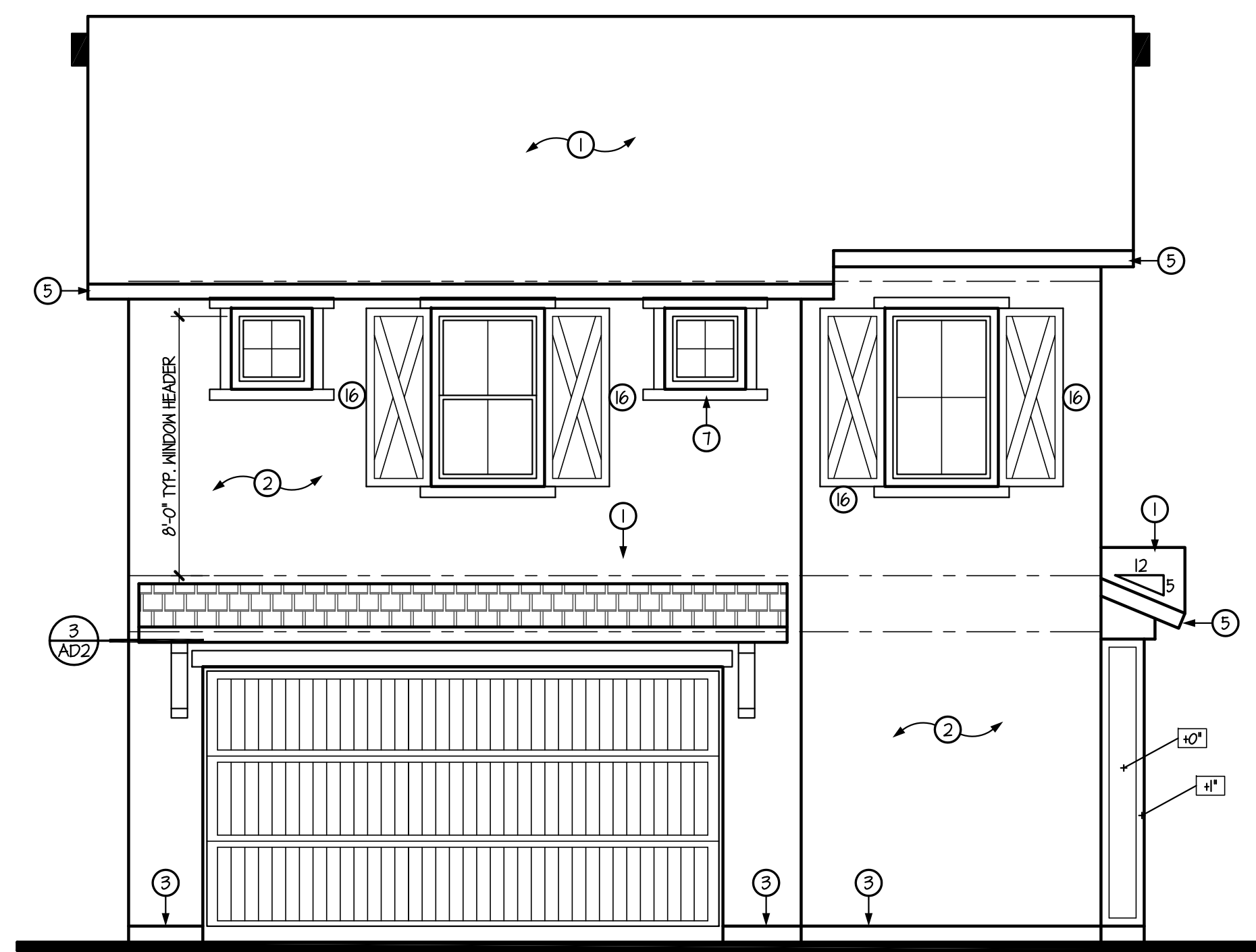
REVISION

PLAN:
1710

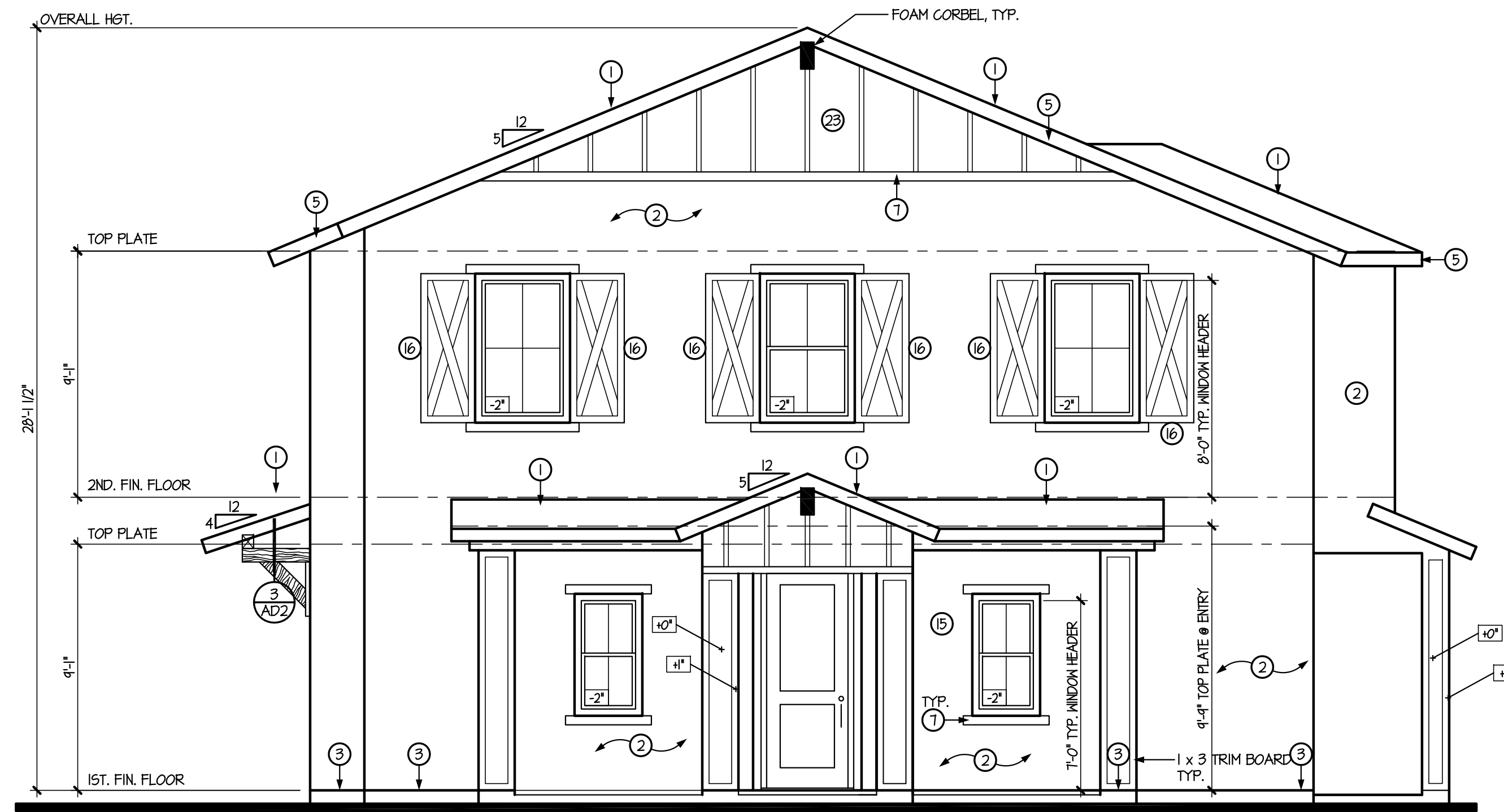
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RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A3.0

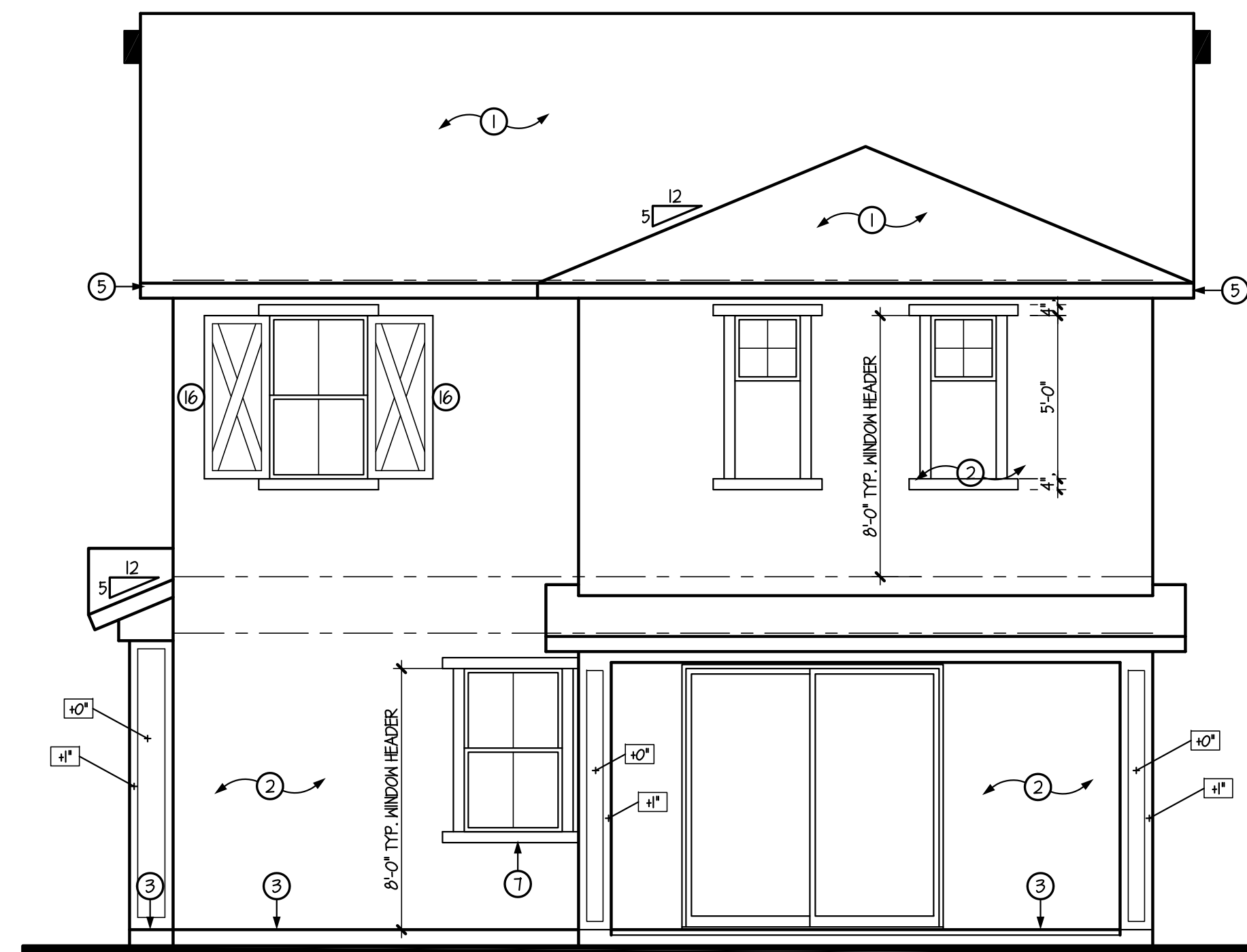
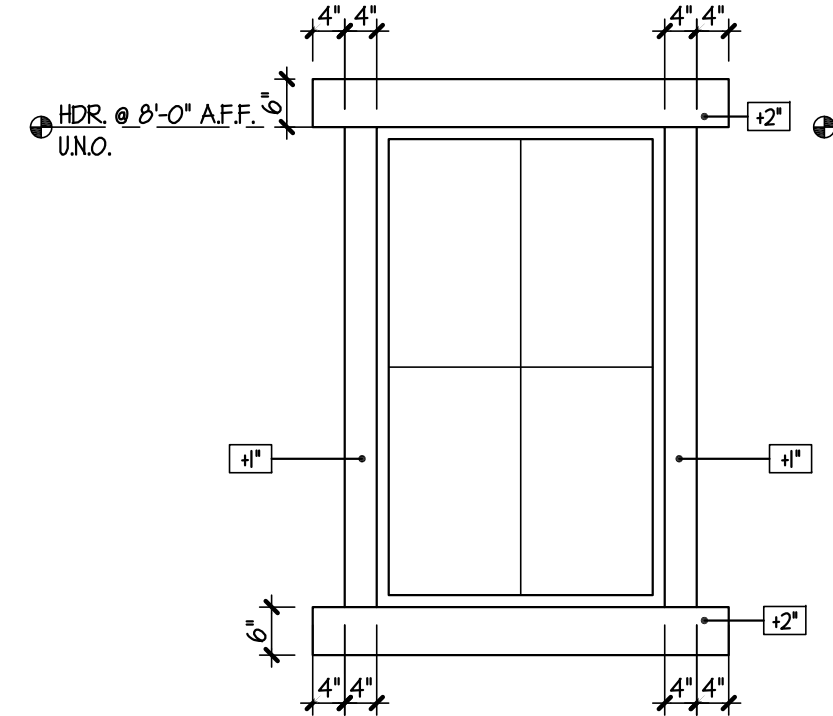
TOWN OF QUEEN CREEK



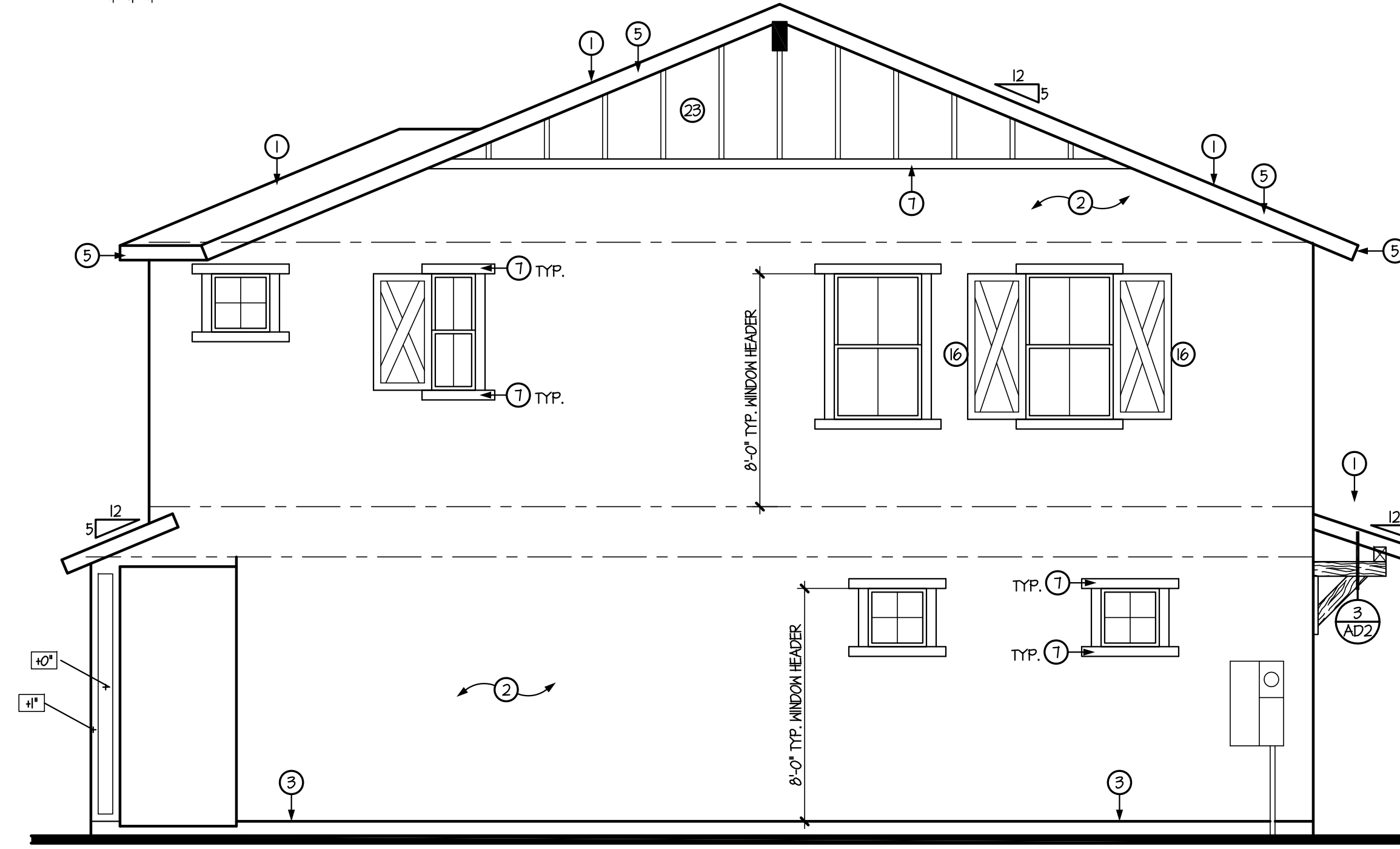
LEFT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0"
WESTERN COTTAGE



RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"



REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (APMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.9. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & APMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

NO	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (APMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	FASCIA - SEE TYPICAL DETAIL
5	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
6	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	MASTIC APPLIED STONE/BRICK VENEER (ESR-254B) - COMPLY w/ I.R.C. SEC. R103.1
9	LOUVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
10	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
11	DECORATIVE FAUX CORBELS
12	DECORATIVE TILE VENTS
13	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
14	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
15	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
16	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	RETURN WALL LOCATION
18	COACH LIGHT LOCATION
19	1x3 HARDIETRIM - (OR EQUAL)
20	5/4 HARDIETRIM - 2x6 (OR EQUAL)
21	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
22	JAMES HARDIE HARDIPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	ROUGH SAWN WOOD COLUMN/BEAM
25	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.

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DRAWING TITLE:
ELEVATION 'A' - WESTERN COTTAGE

DRAWN BY:
 SHR

DATE:
 01.12.22

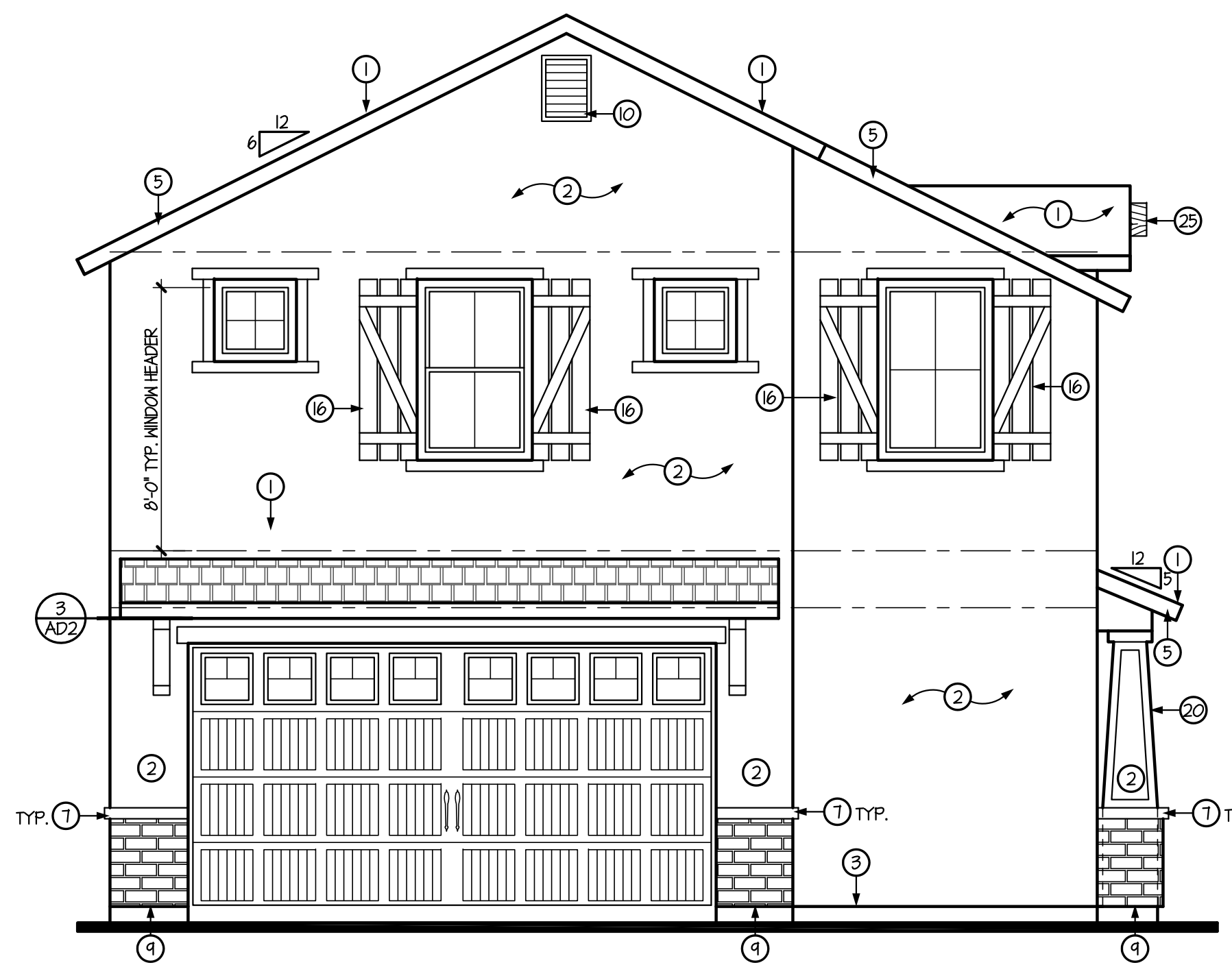
REVISION

PLAN:
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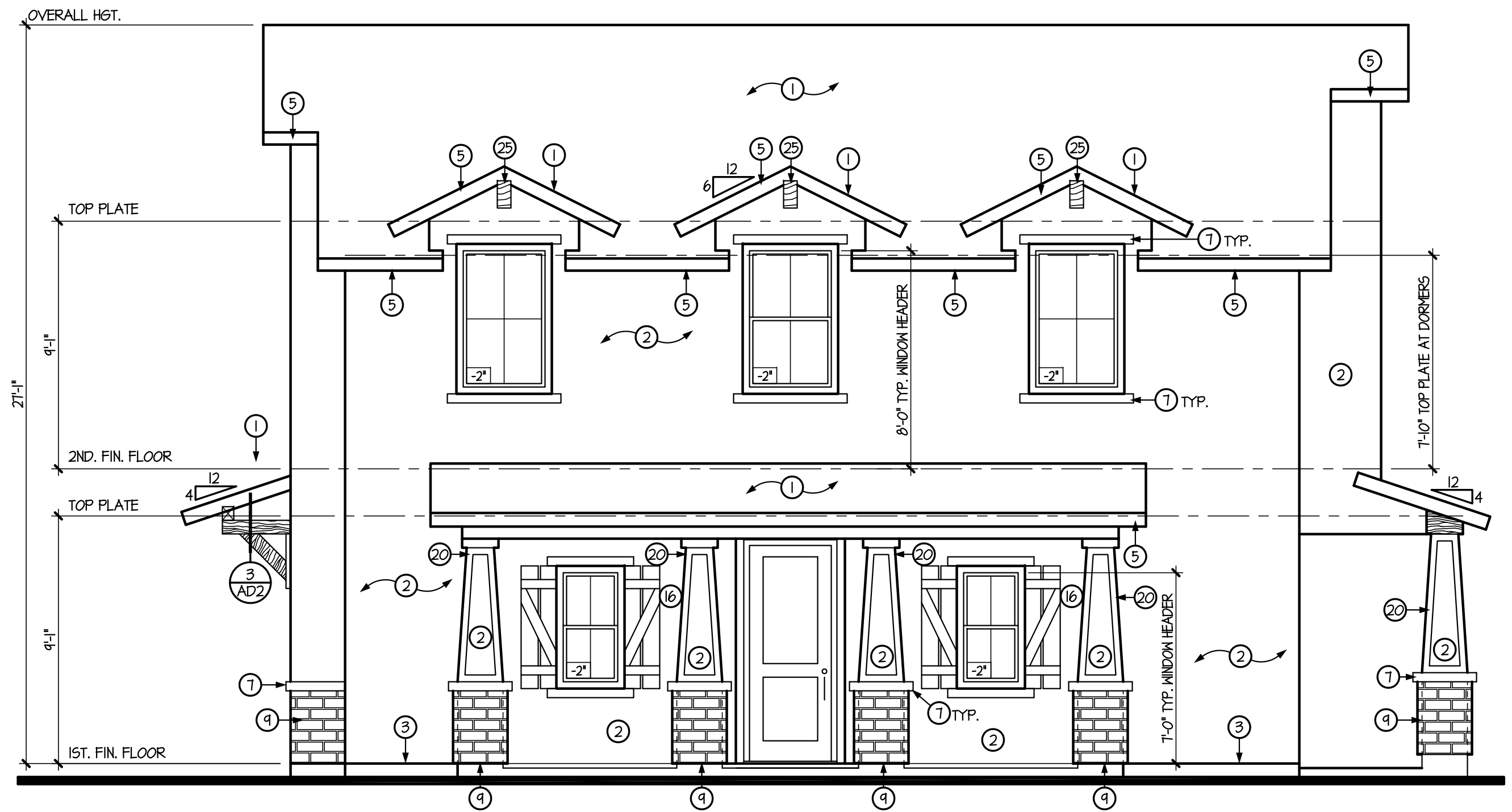
SUBDIVISION:
RITTENHOUSE COMMONS 1
 Queen Creek, AZ

SHEET NO.
A4.0

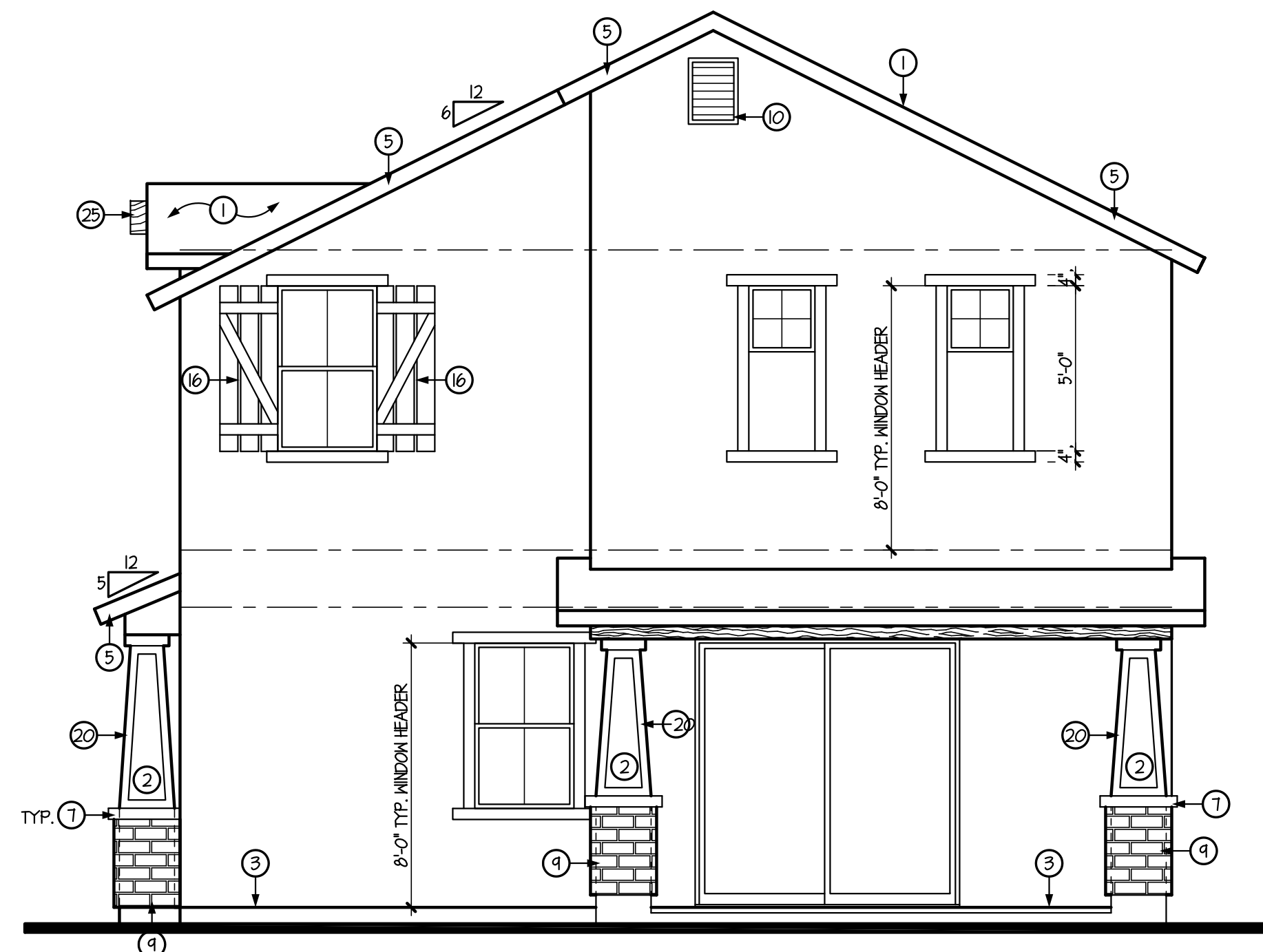
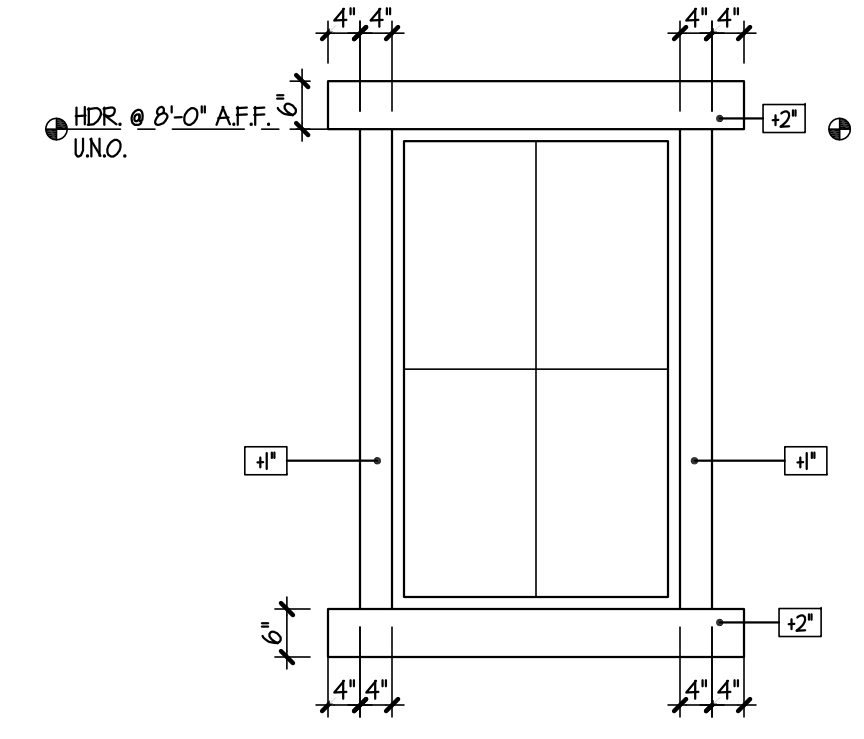
TOWN OF QUEEN CREEK



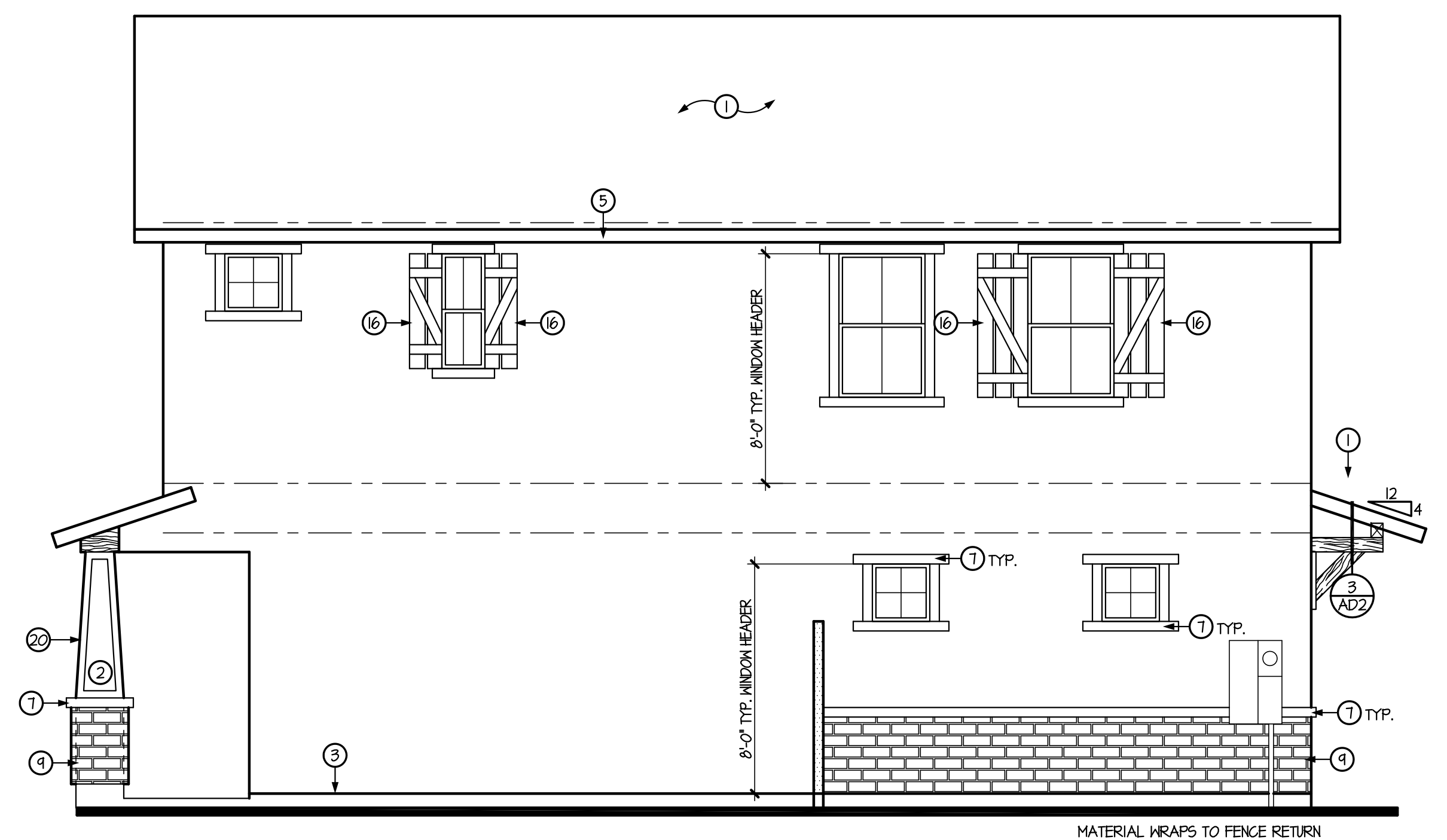
LEFT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0"
WESTERN REGIONAL FARMHOUSE



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

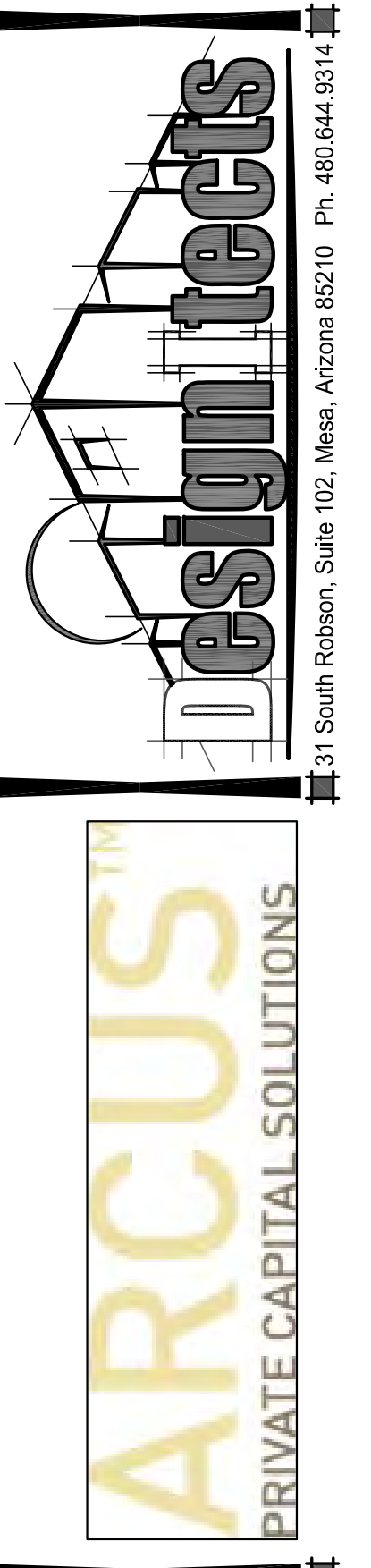


REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"
MATERIAL WRAPS TO FENCE RETURN

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #382) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.4.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHINGS, FASCIA ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

NO	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #382)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	BARGE - SEE TYPICAL DETAIL
5	FASCIA - SEE TYPICAL DETAIL
6	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
9	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
10	COVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
11	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
12	DECORATIVE FAUX CORBELS
13	DECORATIVE TILE VENTS
14	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
15	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
16	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
18	RETURN WALL LOCATION
19	COACH LIGHT LOCATION
20	1x3 HARDIETRIM - (OR EQUAL)
21	5/4 HARDIETRIM - 2x6 (OR EQUAL)
22	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
25	ROUGH SAWN WOOD COLUMN/BEAM
26	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



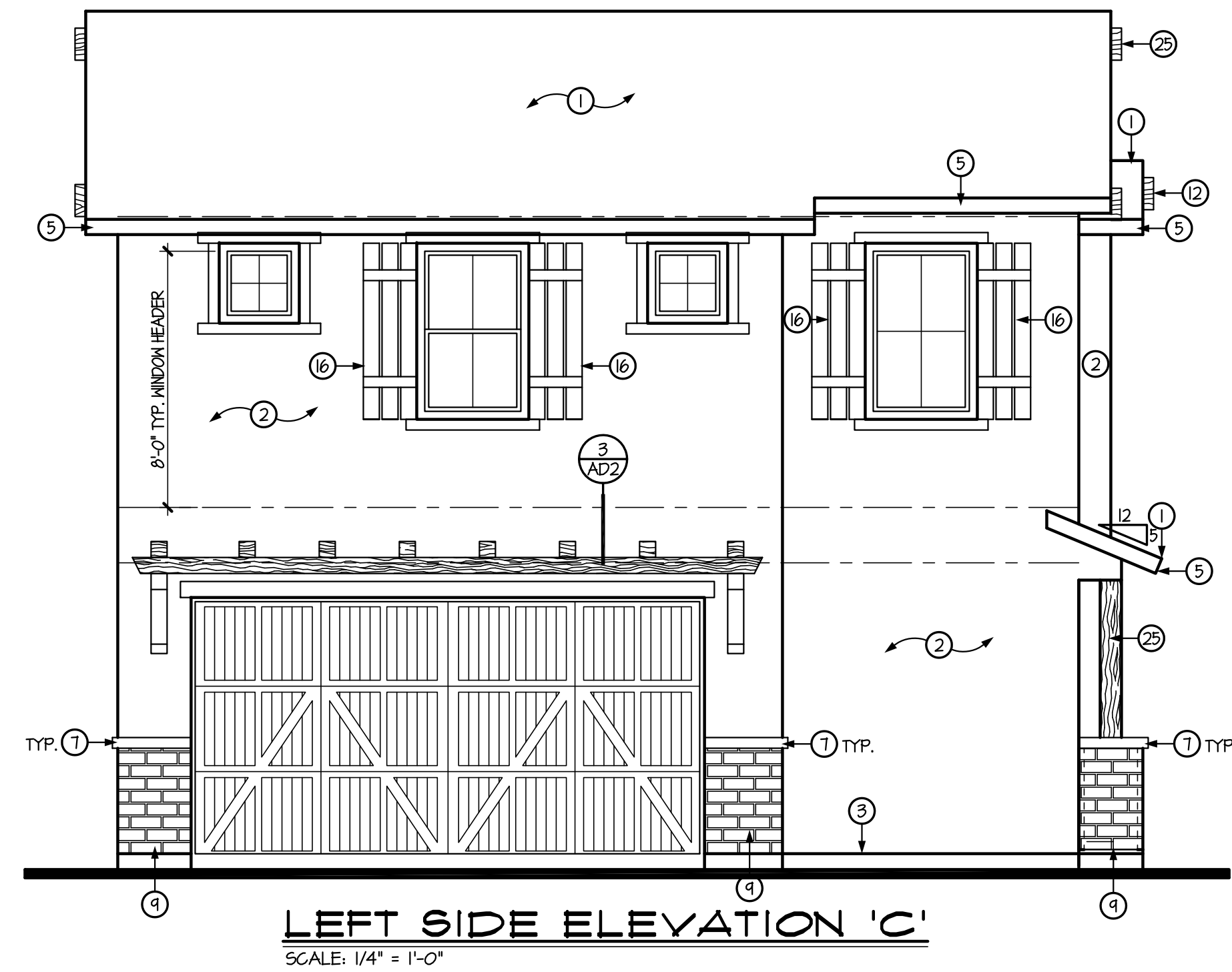
DRAWING TITLE: ELEVATION 'B' - WESTERN FARMHOUSE

DRAWN BY: SHR
DATE: 01.12.22
REVISION

PLAN: 1710
SUBDIVISION: RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO. A4.1

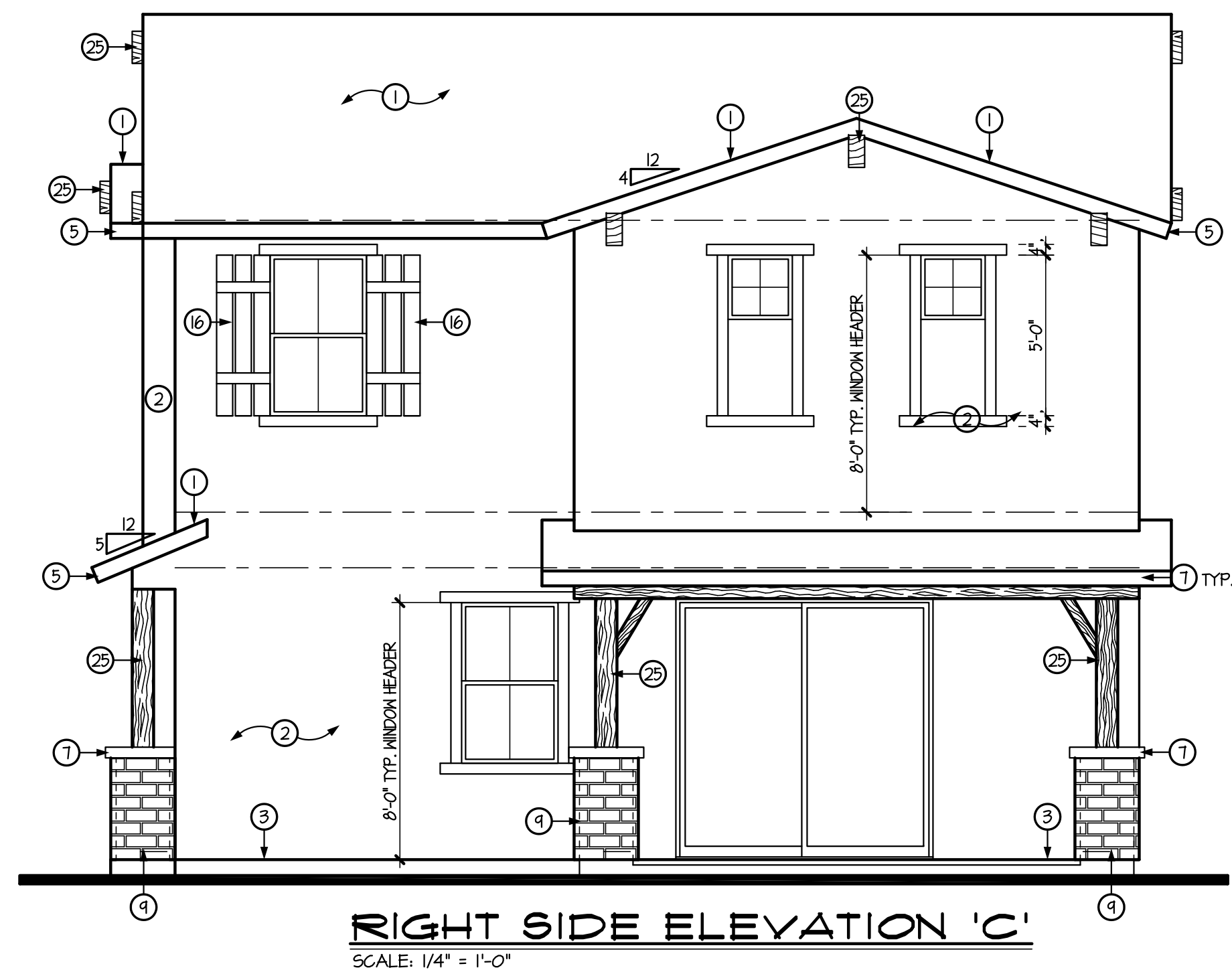
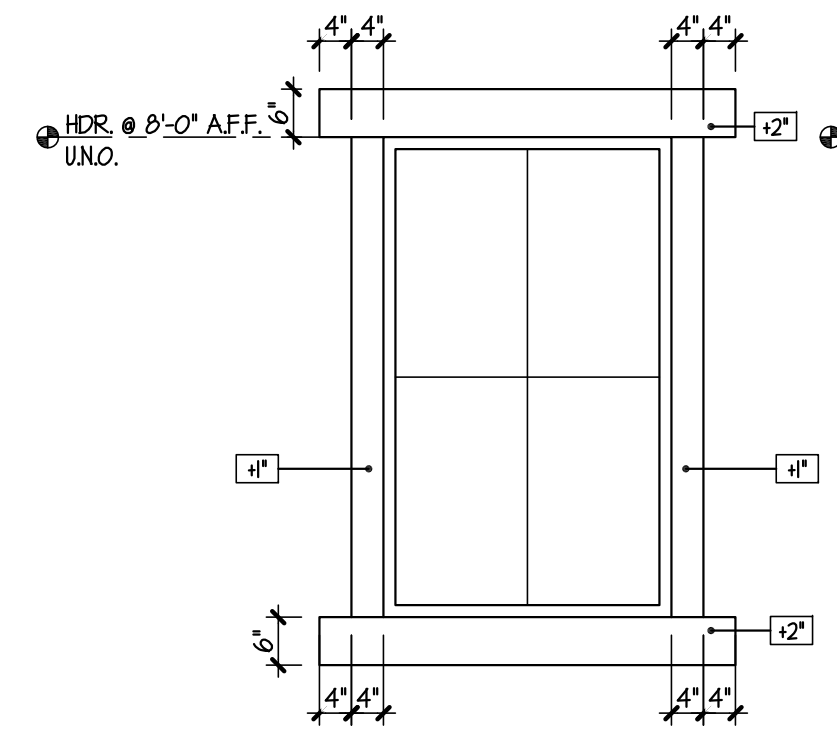
TOWN OF QUEEN CREEK



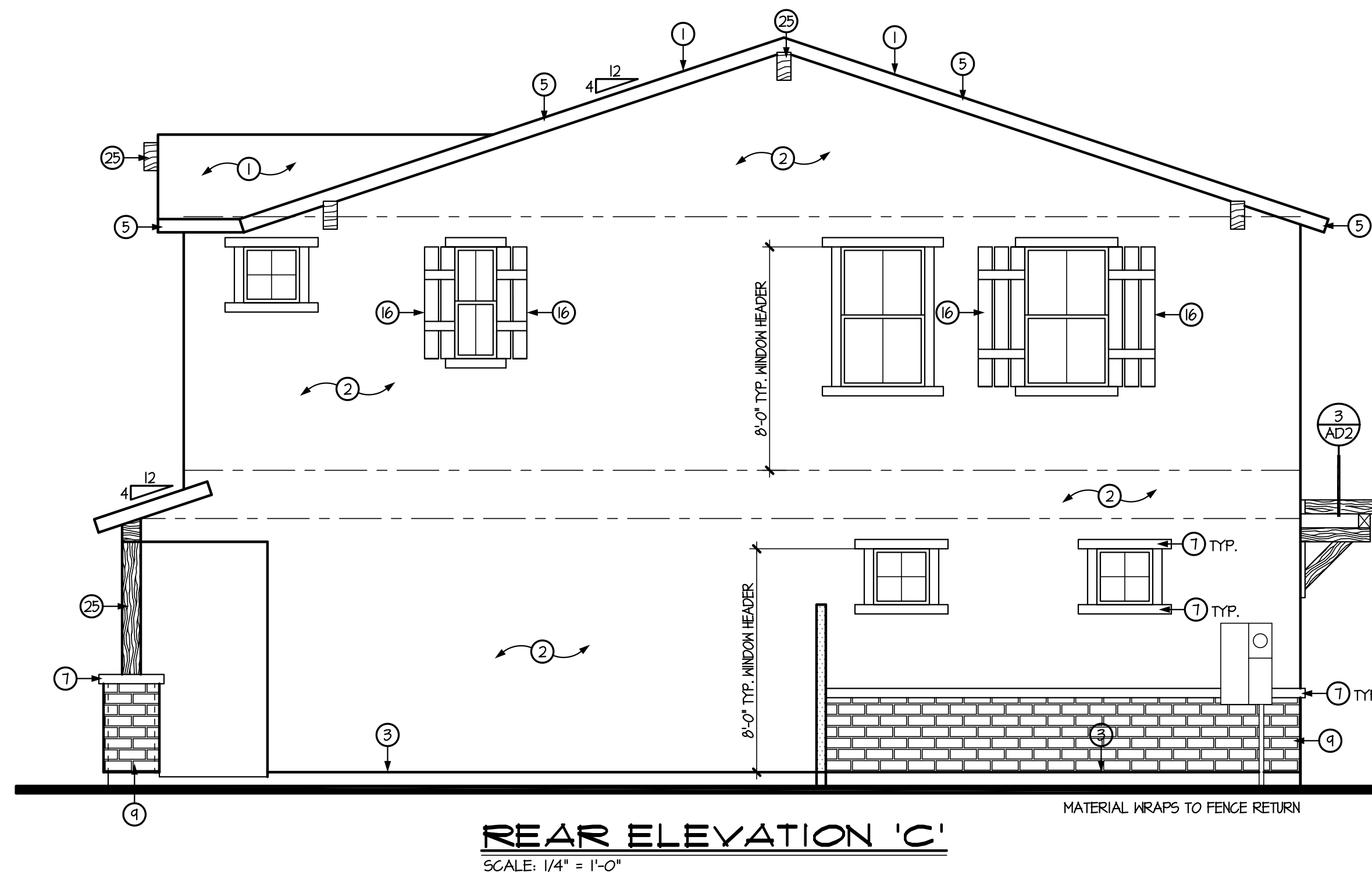
LEFT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'C'
SCALE: 1/4" = 1'-0"
TERRITORIAL RANCH



RIGHT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"



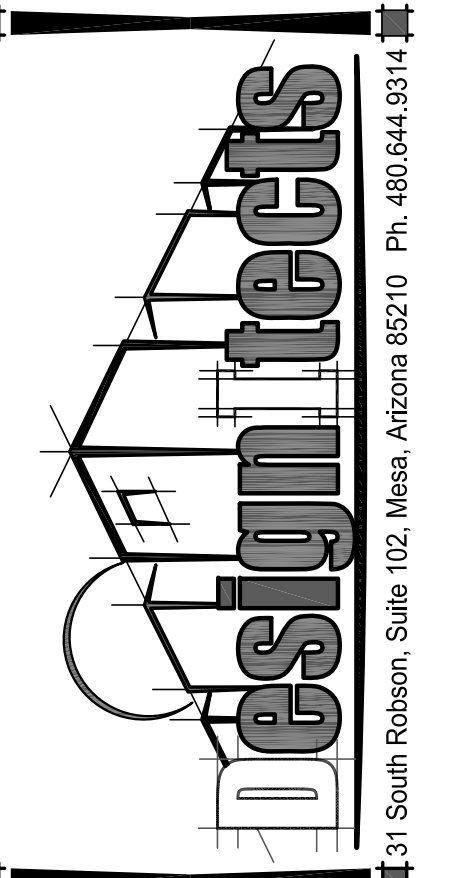
REAR ELEVATION 'C'
SCALE: 1/4" = 1'-0"
MATERIAL WRAPS TO FENCE RETURN

GENERAL INFORMATION

- WESTERN ONE-KOTE STUCCO WALL FINISH (APMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.9. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & APMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

NO.	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (APMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	FASCIA - SEE TYPICAL DETAIL
5	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
6	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	MASTIC APPLIED STONE/BRICK VENEER (ESR-254B) - COMPLY w/ I.R.C. SEC. R103.1
9	LOWERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
10	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
11	DECORATIVE FAUX CORBELS
12	DECORATIVE TILE VENTS
13	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
14	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
15	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
16	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	RETURN WALL LOCATION
18	COACH LIGHT LOCATION
19	1x3 HARDIETRIM - (OR EQUAL)
20	5/4 HARDIETRIM - 2x6 (OR EQUAL)
21	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
22	JAMES HARDIE HARDIEPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	ROUGH SAWN WOOD COLUMN BEAM
25	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



DRAWING TITLE:
ELEVATION 'C' - TERRITORIAL RANCH

DRAWN BY:
SHR

DATE:
01.12.22

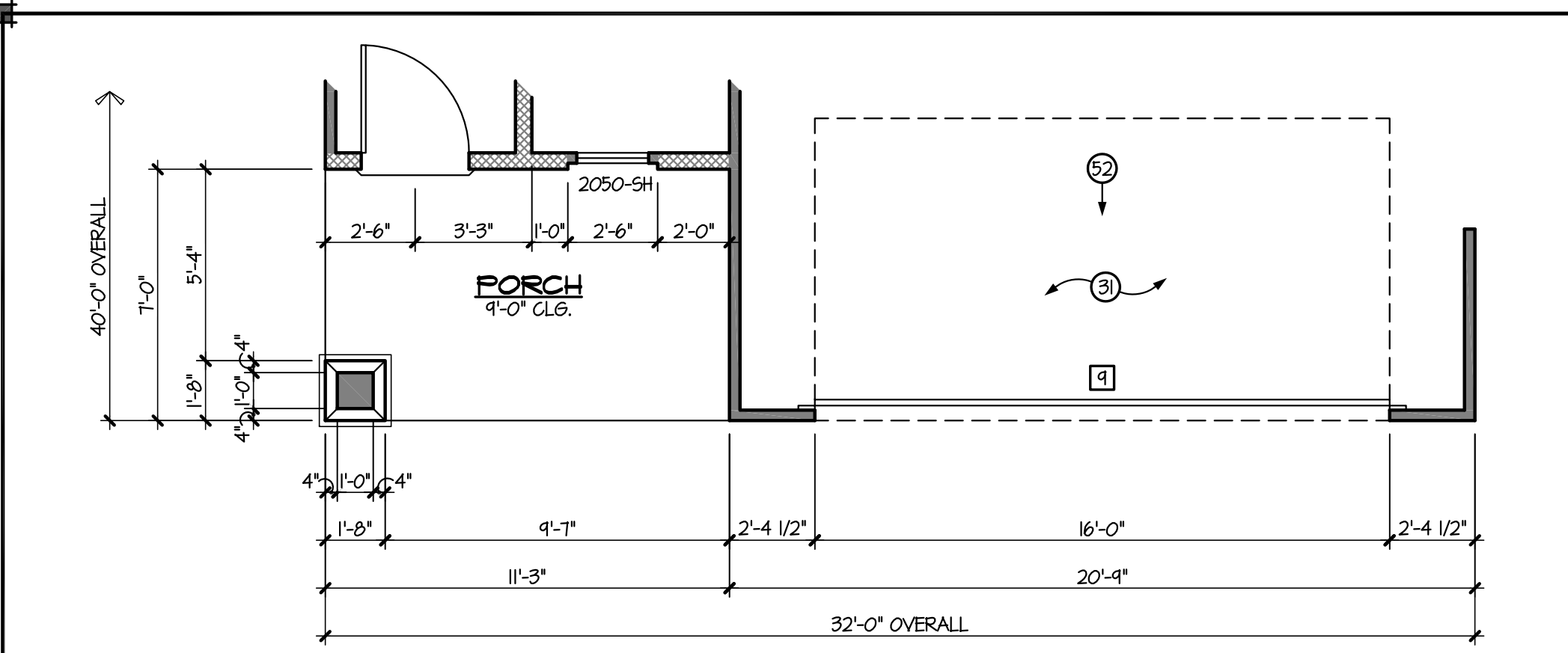
REVISION

PLAN:
1710

SUBDIVISION:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A4.2

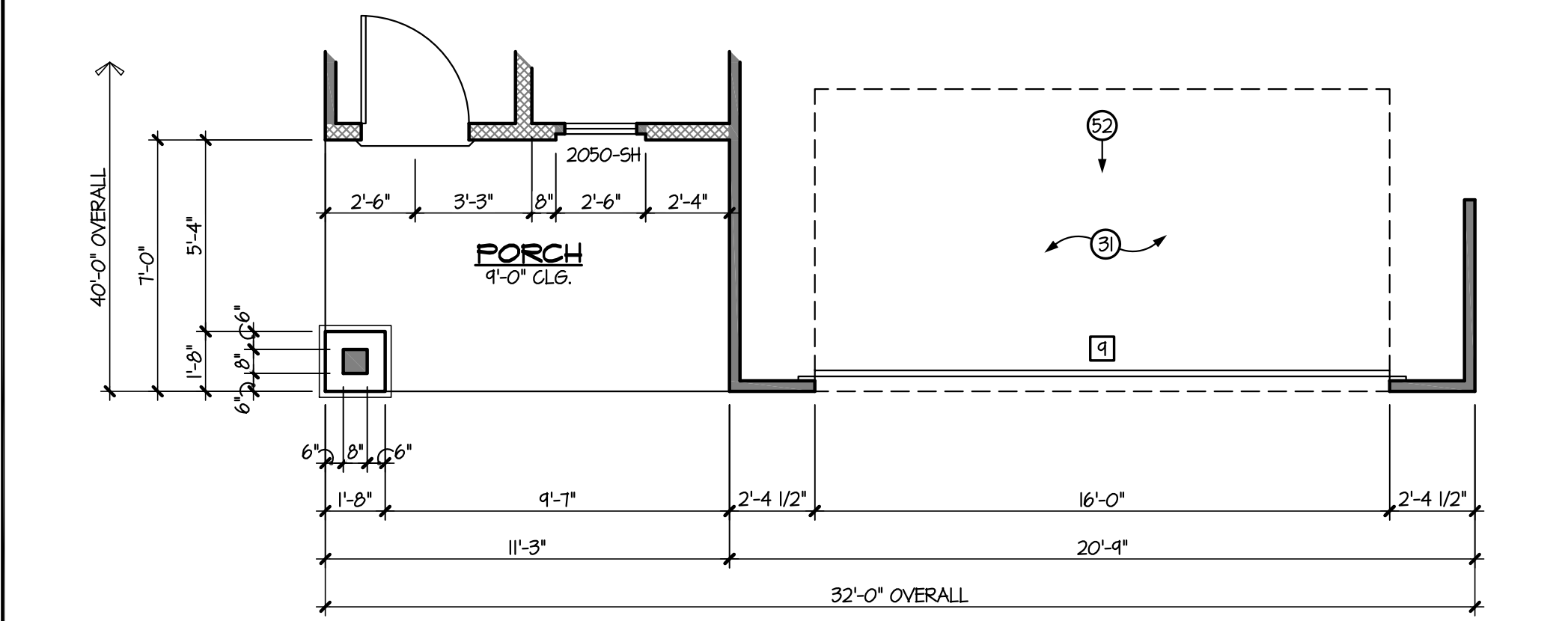
TOWN OF QUEEN CREEK



PARTIAL 1ST FLOOR PLAN - ELEV. 'B'

SCALE: 1/4" = 1'-0"

NOTE: SEE FULL PLANSET FOR INFORMATION NOT SHOWN ON THIS PARTIAL PLAN.



PARTIAL 1ST FLOOR PLAN - ELEV. 'C'

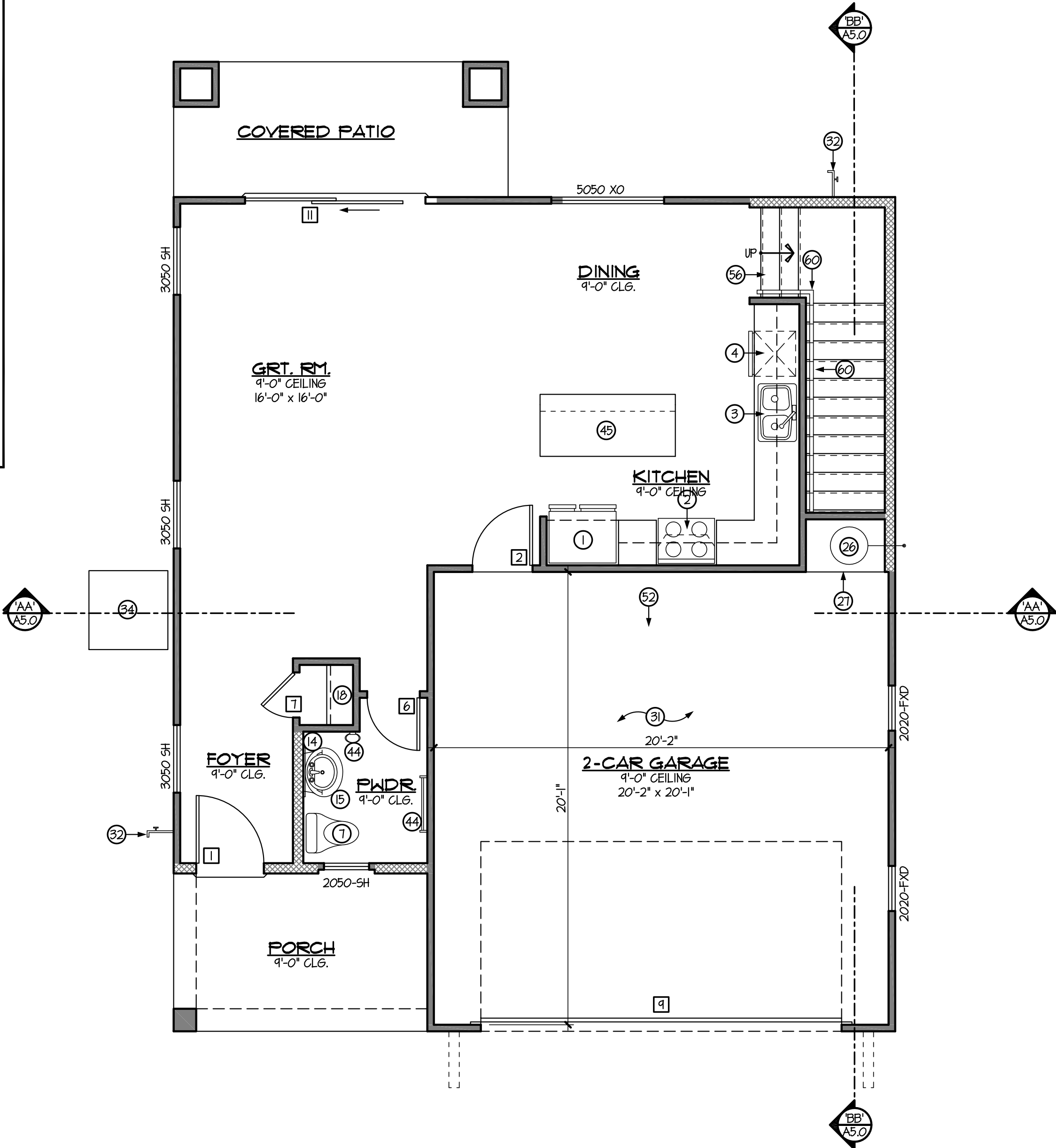
SCALE: 1/4" = 1'-0"

NOTE: SEE FULL PLANSET FOR INFORMATION NOT SHOWN ON THIS PARTIAL PLAN.

- 5% PATIO AREA REQUIRED = 90 SF
 - PATIO AREA PROVIDED = 90 SF

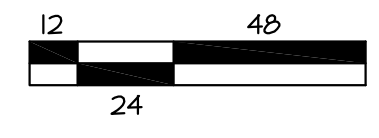
SQUARE FOOTAGE TABLE 1800

1st FLR. LIV:	677
2nd FLR. LIV:	1,123
GARAGE:	428
PATIO:	90
PORCH:	79
TOTAL UNDER ROOF: 2,350	
1st FLR. FOOTPRINT:	1,274
LOT AREA:	2,100
LOT COV. %:	60 %



KEYNOTED FIRST FLOOR PLAN 'A'

SCALE: 1/4" = 1'-0"



DOOR SCHEDULE

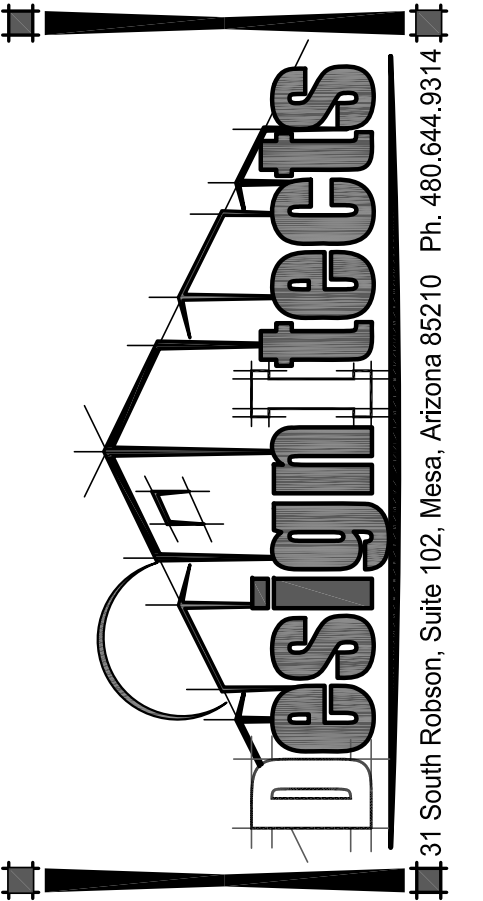
No.	TYPE	SIZE	FUNCTION	NOTES
1	B	3'-0" x 8'-0"	SWING	
2	A	2'-8" x 6'-8"	SWING	
3	B	2'-8" x 6'-8"	SWING	
4	C	2'-8" x 6'-8"	SWING	
5	C	2'-6" x 6'-8"	SWING	
6	C	2'-4" x 6'-8"	SWING	
7	C	2'-0" x 6'-8"	SWING	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.	
10	D	6'-0" x 8'-0"	S.D.D.	
11	D	8'-0" x 8'-0"	S.D.D.	
12	C	4'-0" x 6'-8"	BI-PASS	
13	C	6'-0" x 6'-8"	BI-PASS	
14	C	8'-0" x 6'-8"	BI-PASS	
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH
16	B, D, E	3'-0" x 6'-8"	SWING (DBL. DR.)	OPT. 8'-0" HIGH
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS
19	C	2'-8" x 6'-8"	SWING (DBL. DR.)	BALL CATCH
20	C	2'-0" x 6'-8"	SWING	

GENERAL INFORMATION

- INSULATION:
R-30 BLOW-IN @ ATTIC - UNO. ON PLAN
R-15 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN
R-14 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN
- PROVIDE R-13 BATT. (2x4 WALL) OR R-14 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
- FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 & MANUFACTURERS RECOMMENDED CLEARANCES.
- PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPEC'S.
- ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - UNO.
- MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS - I.R.C. SECTION R310.1
- WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #350.

KEYNOTES

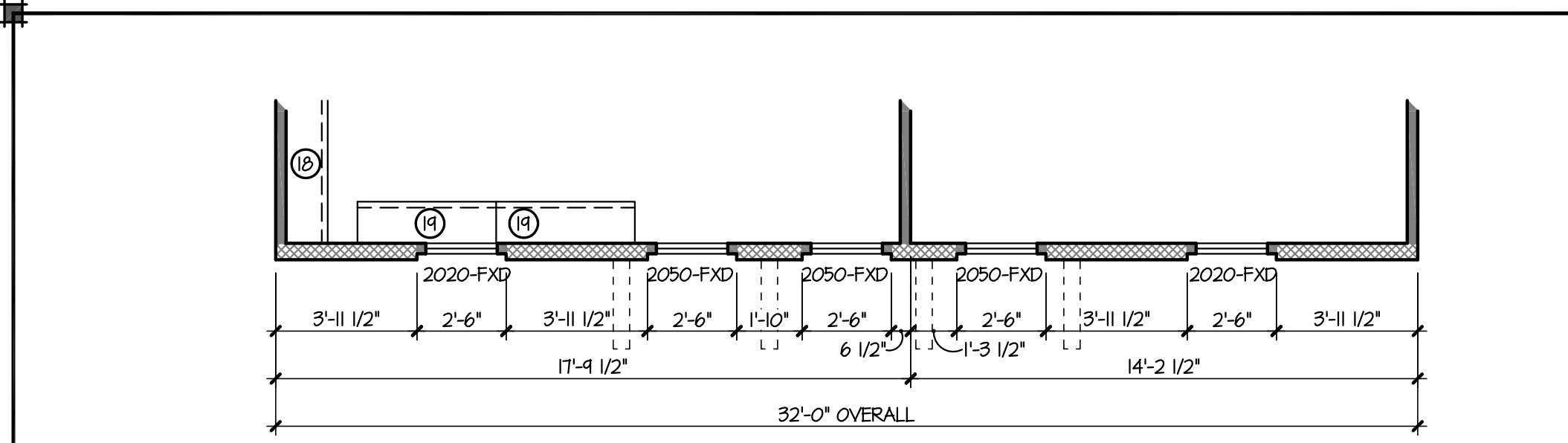
No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
2	ELECTRIC RANGE & OVEN w/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS
3	DOUBLE SINK w/ DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
5	PANTRY - FACE FRAMED PANTRY CABINET
6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER w/ TILE MARBLE OR EQ. TO +12" ABV. DRAIN - I.R.C. SEC. R102.2
7	WATER CLOSET PROVIDE A (MIN) 15" ON EACH SIDE & 21" (MIN) CLEAR IN FRONT - I.R.C. SEC. R307.1
8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
9	60"x30" TUB/SHOWER COMBO, w/ ROD FOR SHOWER CURTAIN
10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
11	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
12	RECESSED MEDICINE CABINET - HDR. @ +6" - OPTIONAL IF SHOWN WITH DASHED LINES
13	MARBLE PONY WALL @ +30" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL
14	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
15	PEDESTAL SINK w/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) w/ SINK AND MIRROR STOP AND DROP - SEE ELEVATION ON SHEET A10
16	
17	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWN/NOTED ON PLAN
18	1 ROD, 1 SHELF
19	2 RODS, 2 SHELVES
20	FACE FRAMED LINEN
21	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS
22	TEMPERED GLASS
23	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER
24	ELECTRIC DRYER - OPTIONAL GAS
25	4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2434.5, G2434.5.1 & G2434.5.4
26	ELEC. WATER HEATER w/ TEMPERATURE & PRESSURE RELIEF VALVE @ 16" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER W/H
27	28" SQUARE PLATFORM @ +18" A.F.F.
28	2-14"x8" SCREENED LOWERED METAL AIR VENTS - ONE 12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER
29	22x30 ATTIC SCUTTLE w/ INSULATION & HEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR. - I.R.C. R807.1 AND G22.2.4
30	4" TIRE STOP
31	5/8" TYPE 'X' GYPSUM BOARD @ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
32	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES
33	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILING
34	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.
35	OPT. DOOR w/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN
36	OPTIONAL COUNTERTOP w/ BASE & UPPER CABINETS
37	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
38	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN
39	OPTIONAL GAS STUB-OUT @ +18" A.F.F. - TYPICAL
40	GARDEN TUB/SHOWER w/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND
41	LINE OF FIRST FLOOR/SECOND FLOOR
42	3" STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F.
43	FLAT SOFFIT - TOP @ +84"
44	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES
45	ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS w/ 12" OVERHANG
46	MARBLE PONY WALL @ +42" OR PER PLAN
47	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES
48	FLAT SOFFIT - TOP @ +16"
49	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
50	60" X 42" DROP-IN GARDEN TUB w/ MARBLE TO +12" ABOVE TUB DECK
51	3/4" CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE
52	SLOPE 1/8" PER LINEAL FOOT @ EXTERIOR SLABS
53	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB



DRAWING TITLE:
FIRST FLOOR KEYNOTED PLAN

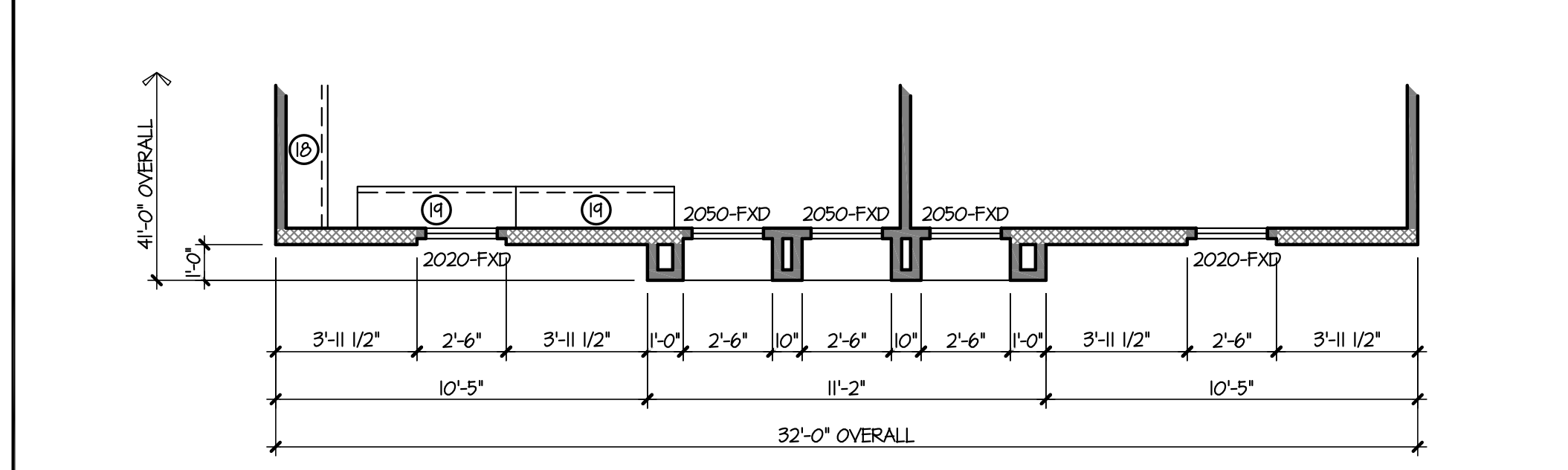
DRAWN BY:
SHR
DATE:
01.12.22
REVISION

PLAN:
1800
COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ
SHEET NO.
A1.0



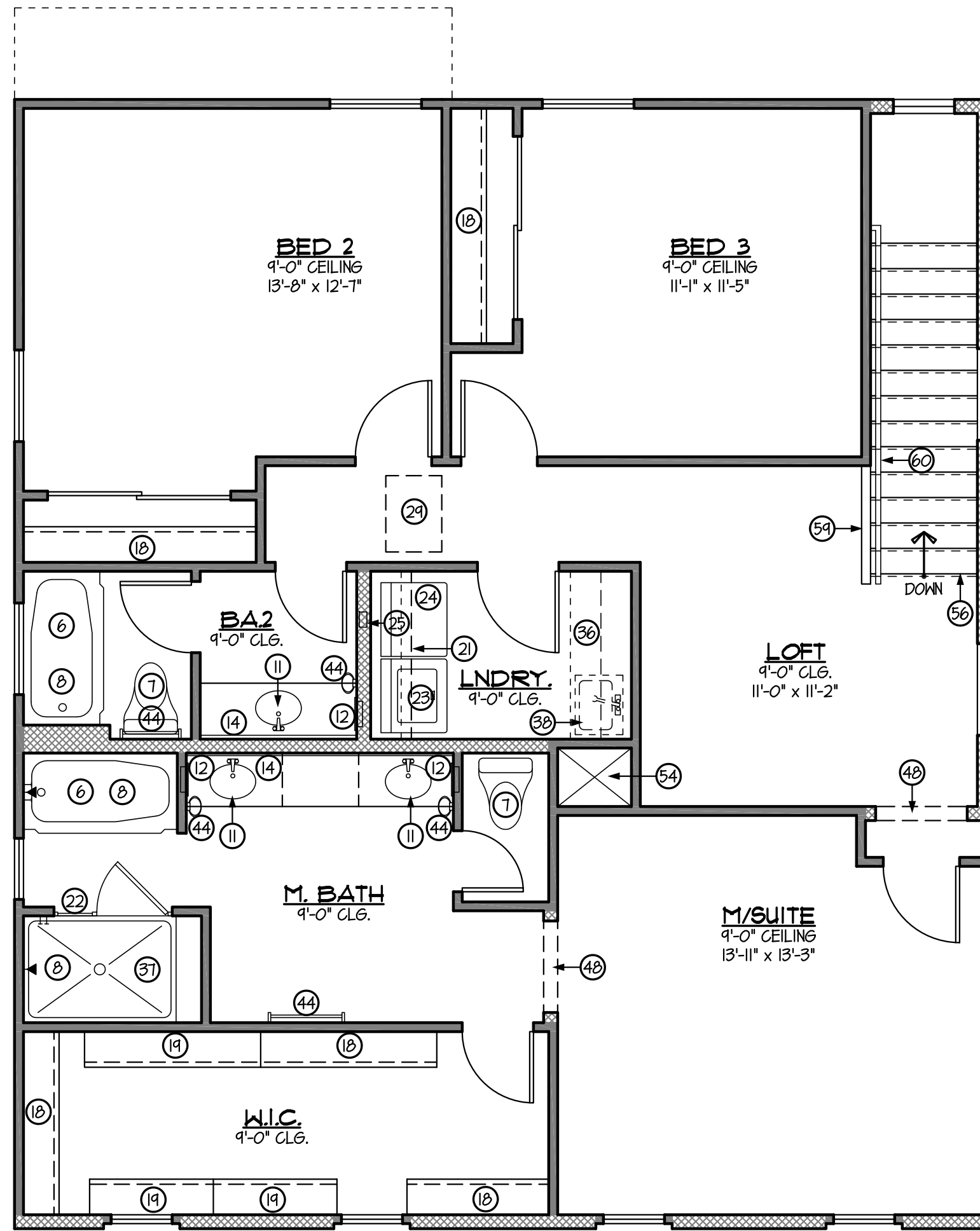
PARTIAL 2ND FLOOR PLAN - ELEV. 'B'
SCALE: 1/4" = 1'-0"

NOTE:
SEE FULL PLANSET
FOR INFORMATION
NOT SHOWN ON THIS
PARTIAL PLAN.

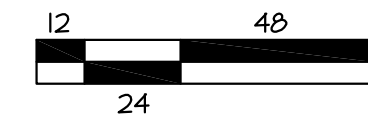


PARTIAL 2ND FLOOR PLAN - ELEV. 'C'
SCALE: 1/4" = 1'-0"

NOTE:
SEE FULL PLANSET
FOR INFORMATION
NOT SHOWN ON THIS
PARTIAL PLAN.

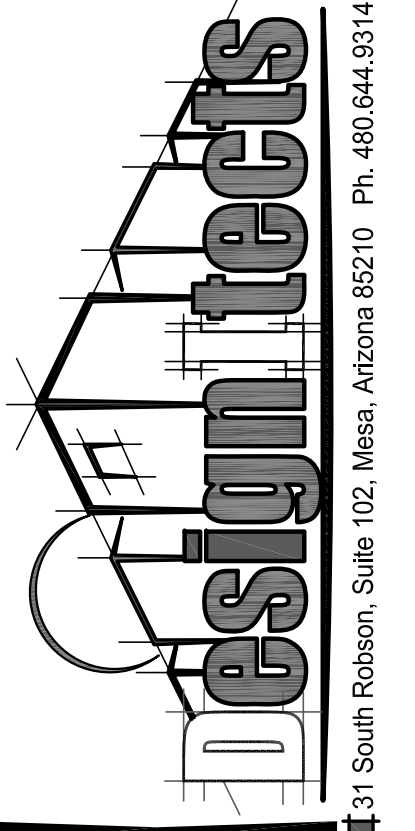


KEYNOTED SECOND FLOOR PLAN 'A'
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE					GENERAL INFORMATION	
No.	TYPE	SIZE	FUNCTION	NOTES		
1	B	3'-0" x 8'-0"	SWING		1. INSULATION: R-19 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-19 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-19 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
2	A	2'-8" x 6'-8"	SWING		2. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
3	B	2'-8" x 6'-8"	SWING		3. FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 & MANUFACTURERS RECOMMENDED CLEARANCES.	
4	C	2'-8" x 6'-8"	SWING		4. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPEC'S.	
5	C	2'-6" x 6'-8"	SWING		5. ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - UNO.	
6	C	2'-4" x 6'-8"	SWING		6. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS - I.R.C. SECTION R310.1	
7	C	2'-0" x 6'-8"	SWING		7. WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #336.	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.		= 2x4 WALL	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.		= 2x6 WALL	
10	D	6'-0" x 8'-0"	S.D.D.			
11	D	8'-0" x 8'-0"	S.D.D.			
12	C	4'-0" x 6'-8"	BI-PASS			
13	C	6'-0" x 6'-8"	BI-PASS			
14	C	8'-0" x 6'-8"	BI-PASS			
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH		
16	B, D, E	3'-0" x 6'-8"	SWING (DEBL. DR.)	OPT. 8'-0" HIGH		
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS		
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS		
19	C	2'-8" x 6'-8"	SWING (DEBL. DR.)	BALL CATCH		
20	C	2'-0" x 6'-8"	SWING			

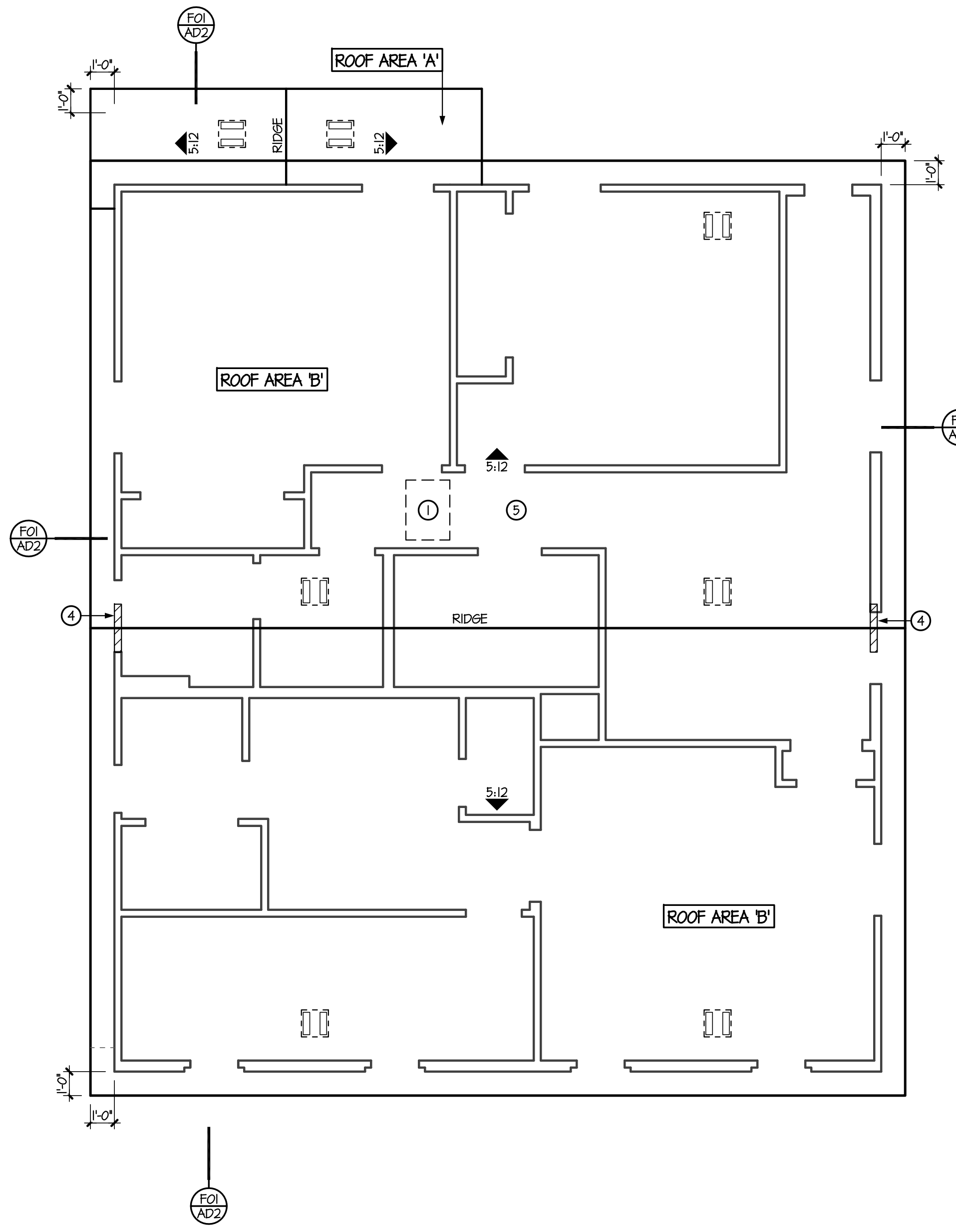
KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-FLING FOR ICE MAKER
2	ELECTRIC RANGE & OVEN w/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS
3	DOUBLE SINK w/ DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
5	PANTRY - FACE FRAMED PANTRY CABINET
6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER w/ TILE MARBLE OR EQ. TO +12" ADV. DRAIN - I.R.C. SEC. R310.2
7	WATER CLOSET PROVIDE A MIN. 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1
8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
9	60"x30" TUB/SHOWER COMBO, w/ ROD FOR SHOWER CURTAIN
10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
11	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
12	4" WIDE PONY WALL @ +36"
13	MECHANICAL CHASE
14	PRE-FAB 42" x 42" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
15	STAIRS PER I.R.C. SEC. R311.4 - RISE = 7 1/2" RUN = 10" (MAX. RISE=1 3/4" - MIN. RUN=10")
16	GUARDRAIL @ +36" MIN. w/ SPINDLES @ 4" O.C. - INSTALL @ 4" WIDE PONY WALL BELOW @ +4" - I.R.C. R312.3
17	HANDRAIL @ +34" MIN. TO 38" MAX. INSTALLED @ 4" WIDE PONY WALL @ +36" MIN. - I.R.C. R311.7
18	OPT. SPINDLES @ 4" O.C. w/ GUARDRAIL @ +36" MIN. - INSTALL @ 4" WIDE PONY WALL @ +4" - I.R.C. R312.1
19	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
20	4" WIDE PONY WALL @ +36"
21	CLOSURE WALL BELOW STAIRS
22	42" SQUARE CONCRETE STOOP - SLOPE 1/4" P.L.F. MAX. - OPT. IF SHOWN w/ DASHED LINES. DELETE w/ OPT. COVERED PATIO OPTIONAL GAS TANKLESS WATER HEATER LOCATION
23	RECESSED MEDICINE CABINET - HDR. @ +16" - OPTIONAL IF SHOWN WITH DASHED LINES
24	MARBLE PONY WALL @ +20" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL
25	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
26	PEDESTAL SINK w/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) w/ SINK AND MIRROR
27	STOP AND DROP - SEE ELEVATION ON SHEET A/D
28	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWN/NOTED ON PLAN.
29	1 ROD, 1 SHELF
30	2 RODS, 2 SHELVES
31	FACE FRAMED LINEN
32	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS
33	TEMPERED GLASS
34	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER ELECTRIC DRYER - OPTIONAL GAS
35	4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2434.5, G2434.5.1 & G2434.5.4
36	ELEC. WATER HEATER w/ TEMPERATURE & PRESSURE RELIEF VALVE @ 16" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER W/H
37	28" SQUARE PLATFORM @ +18" A.F.F.
38	2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE 12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER
39	22x30 ATTIC SCUTTLE w/ INSULATION & HEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR. - I.R.C. R802.1.1/2/2.2.4
40	4" TIRE STOP
41	5/8" TYPE 'X' GYPSUM BOARD @ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
42	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES
43	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILING
44	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.
45	OPT. DOOR w/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN OPTIONAL COUNTERTOP w/ BASE & UPPER CABINETS
46	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
47	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN
48	OPTIONAL GAS STUB-OUT @ +16" A.F.F. - TYPICAL
49	GARDEN TUB/SHOWER w/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND LINE OF FIRST FLOOR/SECOND FLOOR
50	3" STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F.
51	FLAT SOFFIT - TOP @ +84"
52	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES
53	ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS w/ 12" OVERHANG
54	MARBLE PONY WALL @ +42" OR PER PLAN
55	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES
56	FLAT SOFFIT - TOP @ +16"
57	MASTIC APPLIED STONE/BRICK VENEER (ESR-2546) - COMPLY w/ I.R.C. SEC. R103.1
58	60" x 42" DROP-IN GARDEN TUB w/ MARBLE TO +12" ABOVE TUB DECK
59	3/4" CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE
60	SLOPE 1/8" PER LINEAL FOOT @ EXTERIOR SLABS
61	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB



DRAWING TITLE:
SECOND FLOOR KEYNOTED PLAN

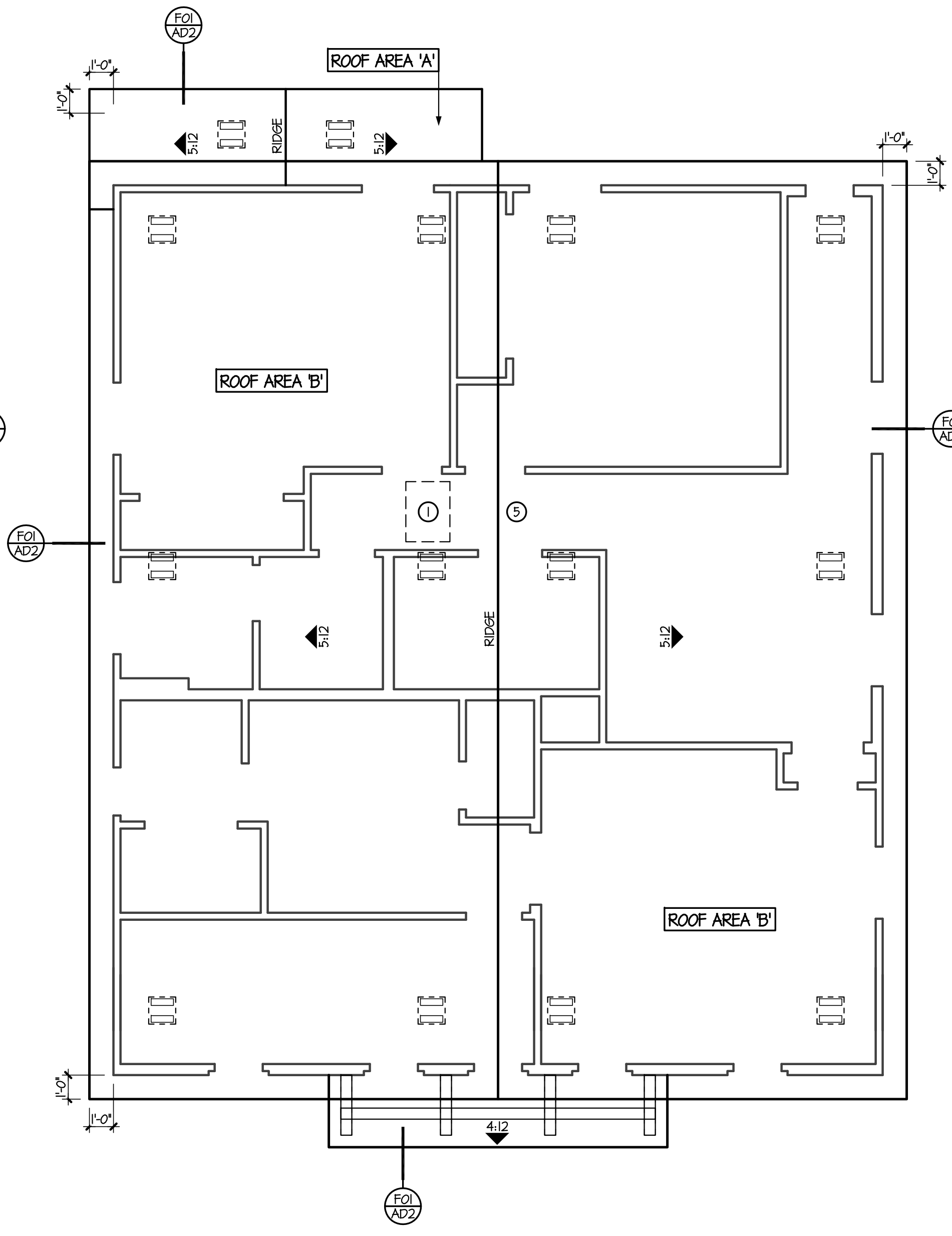
DRAWN BY:
SHR
DATE:
01.12.22
REVISION

PLAN:
1800
COMMUNITY:
**RITTENHOUSE
COMMONS 1
Queen Creek, AZ**
SHEET NO.



ROOF PLAN 'A'
SCALE: 1/4" = 1'-0"

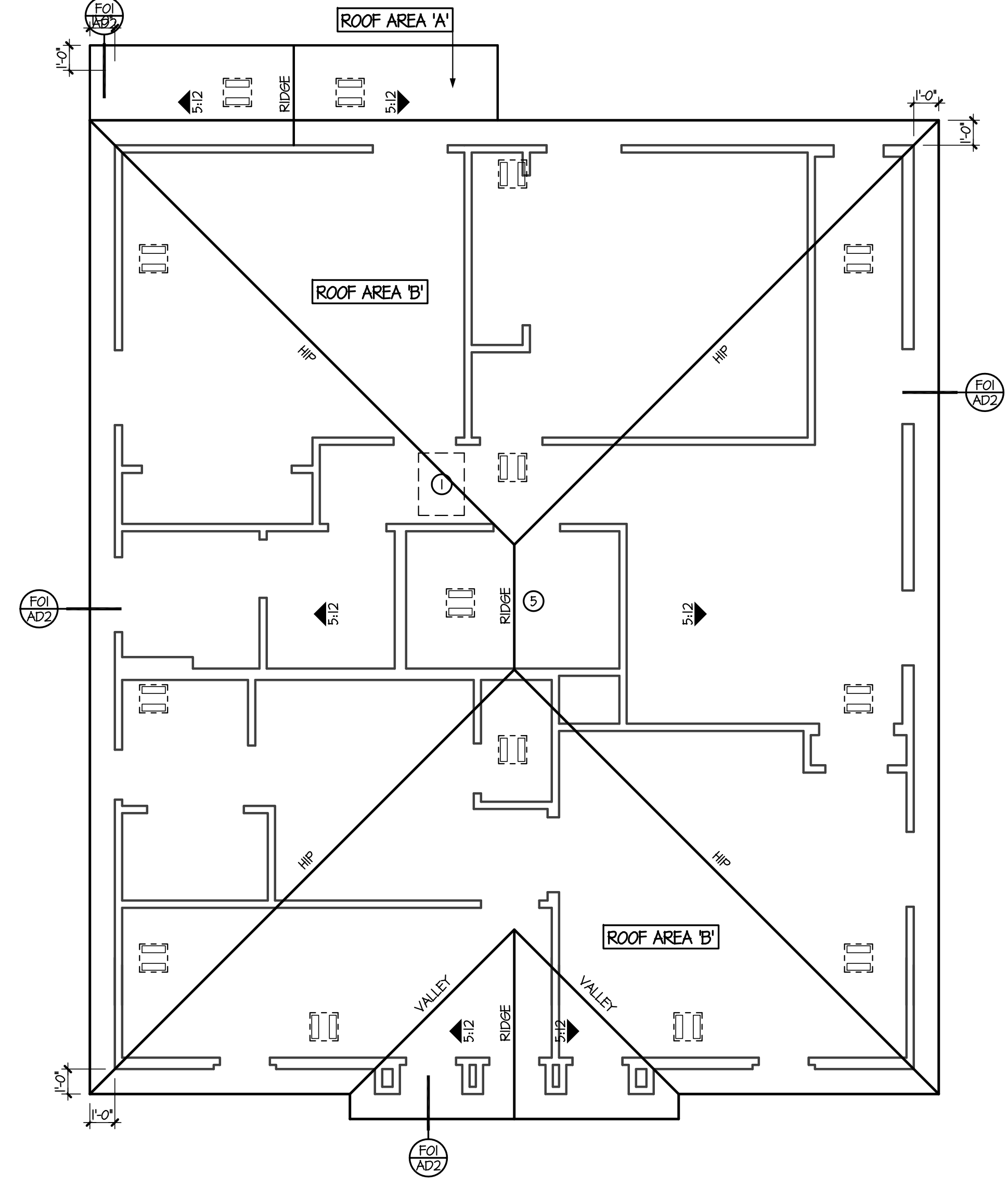
ATTIC VENT CALC'S - ELEV. 'A'	
ROOF AREA 'A'	ROOF AREA 'B'
ROOF SQ. FT. 79 ^{sq}	ROOF SQ. FT. 1123 ^{sq}
REQ'D. SQ. FT. 1/50 RULE 53 ^{sq}	REQ'D. SQ. FT. 1/50 RULE 7.49 ^{sq}
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)
	1.36
	TOTAL = 1.36
ROOF 'B'	2 - 24 x 30 GABLE END VENTS (2.20 SF. EA)
	4.40
	5 - OHAGIN TILE VENT (0.68 SF. EA)
	3.40
	TOTAL = 7.80



ROOF PLAN 'B'
SCALE: 1/4" = 1'-0"

ATTIC VENT CALC'S - ELEV. 'B'	
ROOF AREA 'A'	ROOF AREA 'B'
ROOF SQ. FT. 79 ^{sq}	ROOF SQ. FT. 1123 ^{sq}
REQ'D. SQ. FT. 1/50 RULE 53 ^{sq}	REQ'D. SQ. FT. 1/50 RULE 7.49 ^{sq}
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)
	1.36
	TOTAL = 1.36
ROOF 'B'	12 - OHAGIN TILE VENT (0.68 SF. EA)
	8.16
	TOTAL = 8.16

ATTIC VENT CALC'S - ELEV. 'C'	
ROOF AREA 'A'	ROOF AREA 'B'
ROOF SQ. FT. 79 ^{sq}	ROOF SQ. FT. 1123 ^{sq}
REQ'D. SQ. FT. 1/50 RULE 53 ^{sq}	REQ'D. SQ. FT. 1/50 RULE 7.49 ^{sq}
ROOF 'A'	2 - OHAGIN TILE VENT (0.68 SF. EA)
	1.36
	TOTAL = 1.36
ROOF 'B'	12 - OHAGIN TILE VENT (0.68 SF. EA)
	8.16
	TOTAL = 8.16



ROOF PLAN 'C'
SCALE: 1/4" = 1'-0"

GENERAL INFORMATION

- WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
- ALL LOW TILE VENTS SHALL BE PLACED 3'-0" FROM THE EXTERIOR WALL - UNO. ON PLAN.
- PROVIDE FIRE BLOCKING @ ALL CEILING LINES & AT ALL BALLOON FRAMED WALLS OVER 10'-0" - UNO. ON PLAN
- THE ATTIC HVAC WORKING PLATFORM IS REQUIRED TO HAVE SOLID BLOCKING @ ALL PLYWOOD PERIMETER EDGES.

KEYNOTES

NO	DESCRIPTION
1	22"x30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE 1/2" P.L.F. MINIMUM
3	2x4 BEARING CRIPPLE WALL / 2x BLOCKING @ 16" O.C. BELOW WHERE SHOWN ON PLAN - STUDS @ 16" O.C.
4	LOWERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE ELEVATIONS OR VENT CALC'S
5	PROPOSED AIR HANDLER LOCATION - PROVIDE APPROXIMATELY 60" x 10'-0" - VERIFY w/ TRUSS DESIGN

NET FREE SQUARE FOOT AREA OF VENTS:

12"x12" = 44	3 - 24" BRD BLK = 249	(5-12) 6" TRI-VENT = 156
12"x18" = 65	2 - 12"x BRD BLK = 245	(5-12) 8" TRI-VENT = 238
12"x24" = 89	18" ROUND VENT = 61	(5-12) 12" TRI-VENT = 420
14"x18" = 76	24" ROUND VENT = 119	(5-12) 12" TRI-VENT = 610
14"x24" = 102	18" 1/2" ROUND VENT = 53	(6-12) 4" TRI-VENT = 144
16"x12" = 66	24" 1/2" ROUND VENT = 59	(6-12) 6" TRI-VENT = 514
16"x18" = 81	18"x24" ROUND TOP = 67	(11-2) 8" TRI-VENT = 601
16"x24" = 132	18"x30" ROUND TOP = 111	(6-12) 6" TRI-VENT = 428
24"x18" = 132	(4-12) 6" TRI-VENT = 112	OHAGIN TILE VENT = 68
24"x24" = 178	(4-12) 8" TRI-VENT = 228	DORMER VENT = 64
24"x30" = 220	(4-12) 10" TRI-VENT = 378	FULL SCREENED VENT = 41
30"x36" = 324	(4-12) 12" TRI-VENT = 528	2 1/2" METAL STRIP VENT = 41 P.L.F.

OHAGIN TILE VENT

Designitects

ARCUS™
PRIVATE CAPITAL SOLUTIONS

131 South Robison, Suite 102, Mesa, Arizona 85210 Ph. 480.644.9314

DRAWING TITLE:
ROOF PLANS & ATTIC VENTILATION

DRAWN BY:
SHR

DATE:
01.12.22

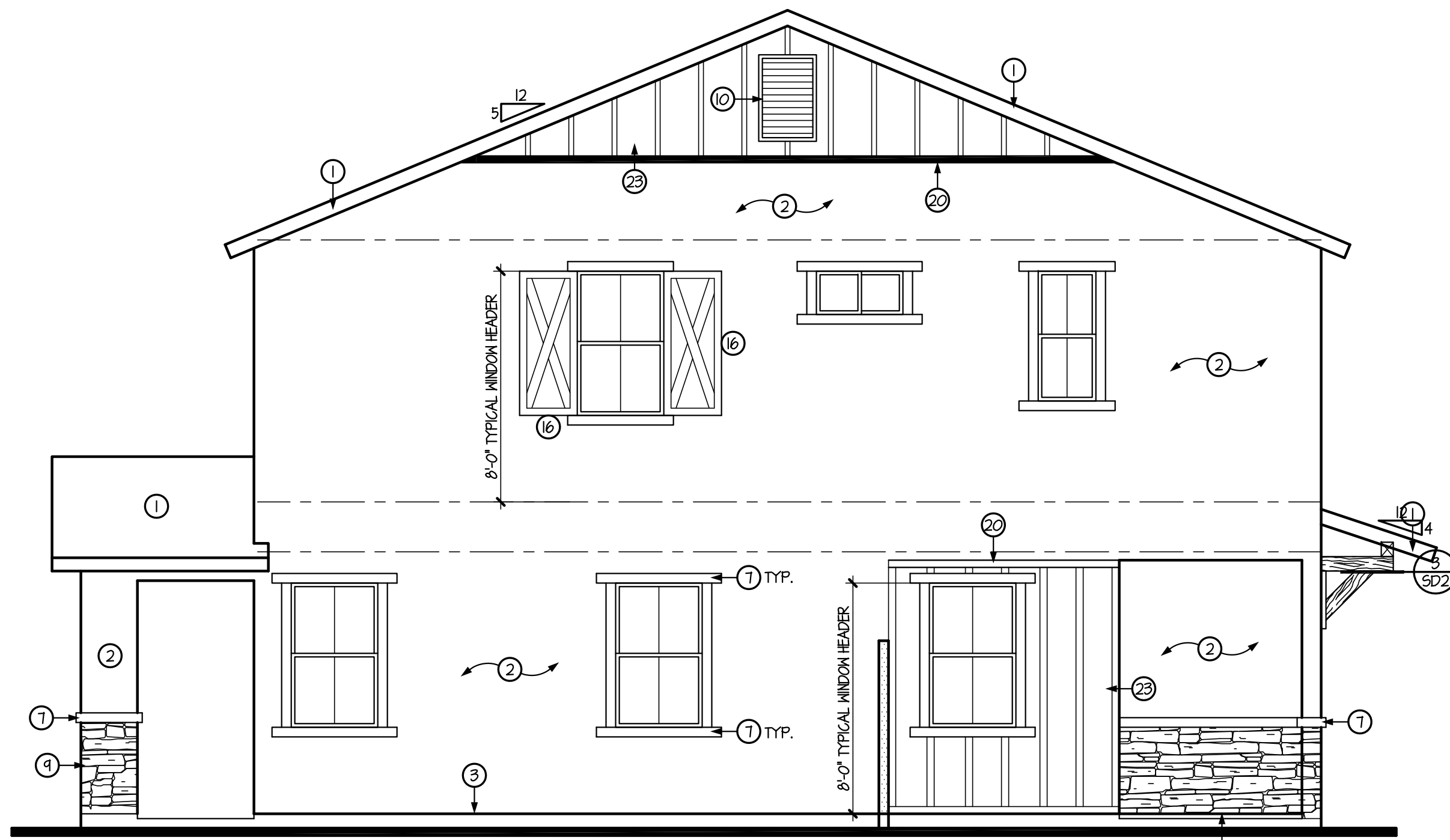
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PLAN:
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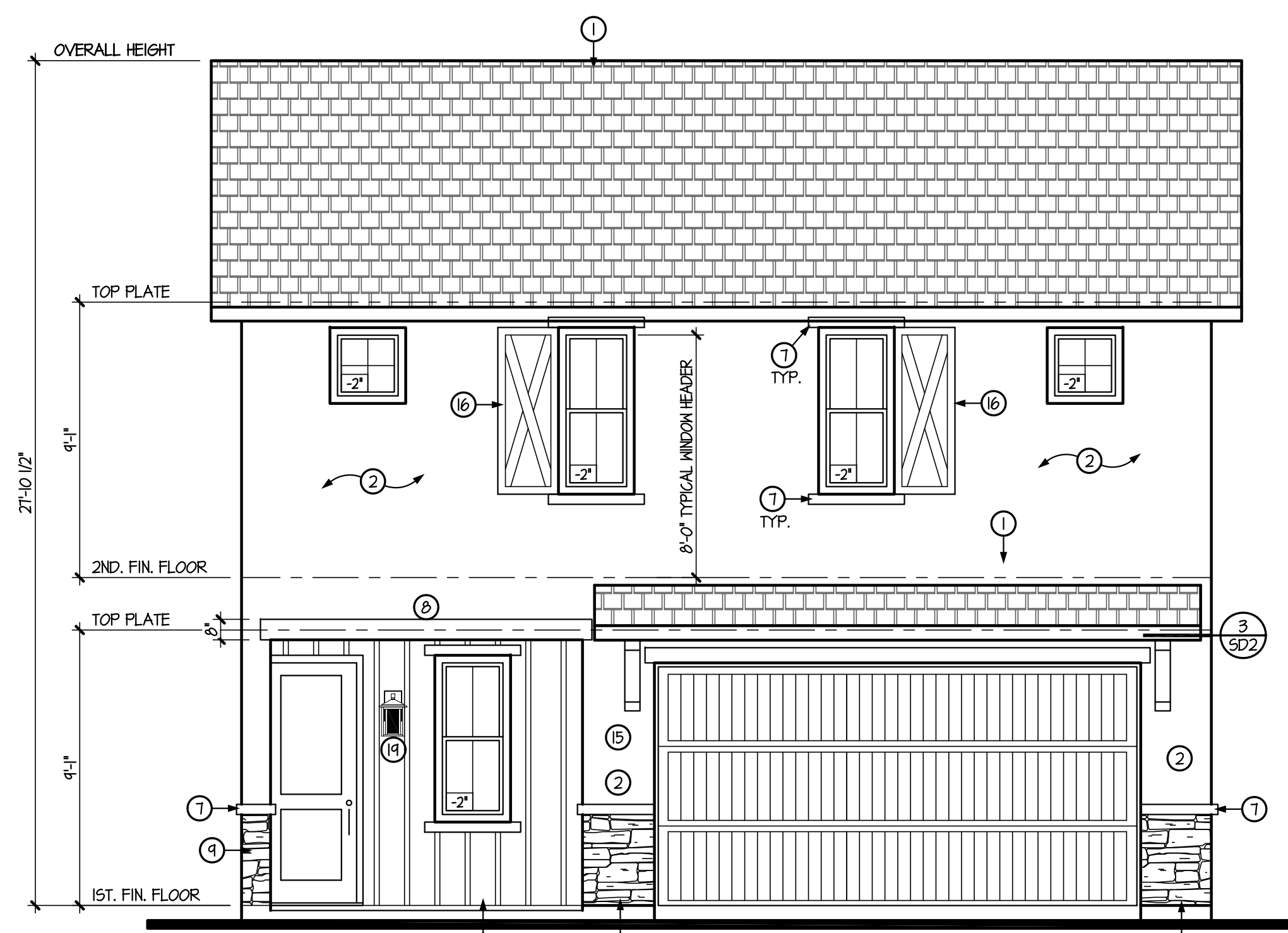
COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.

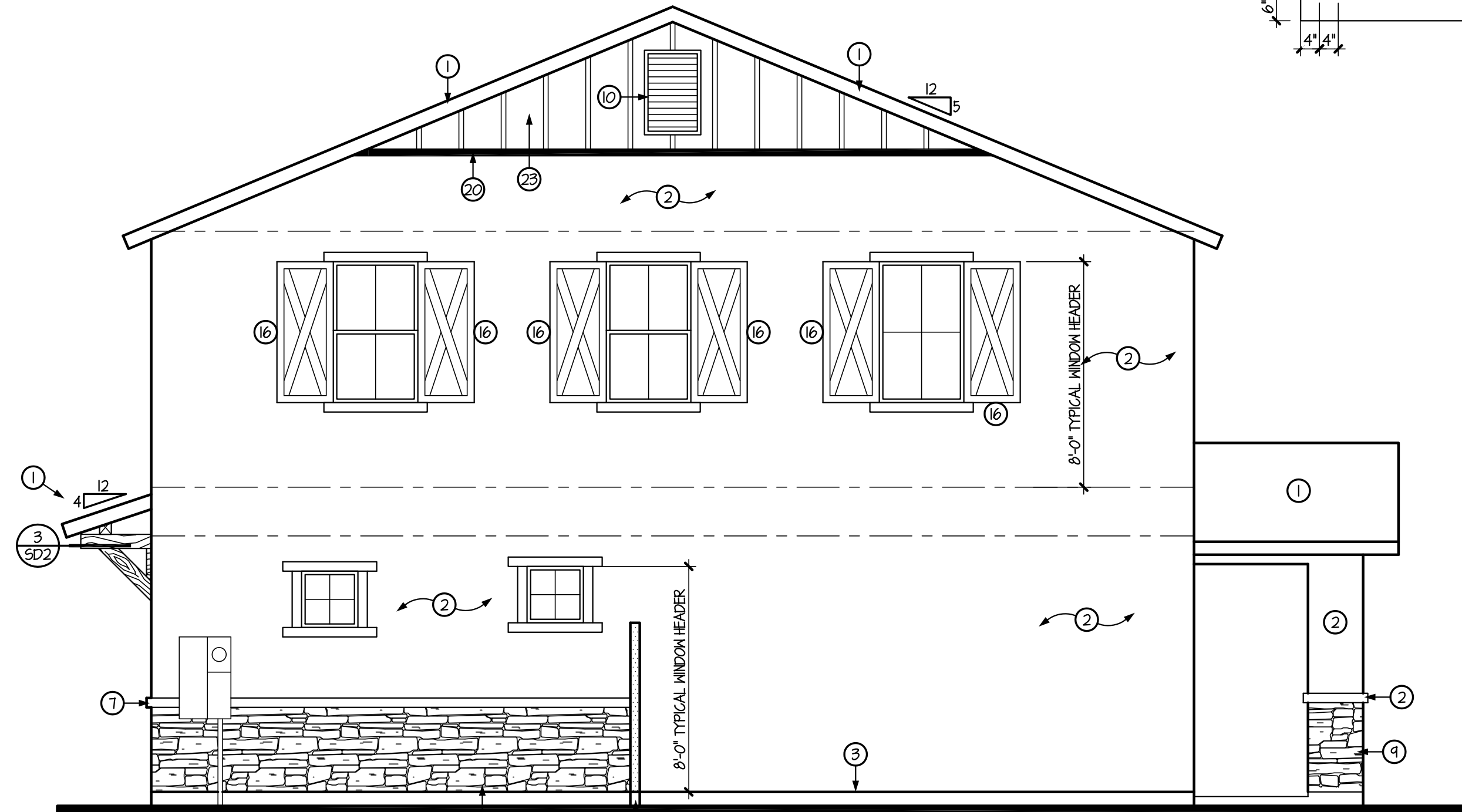
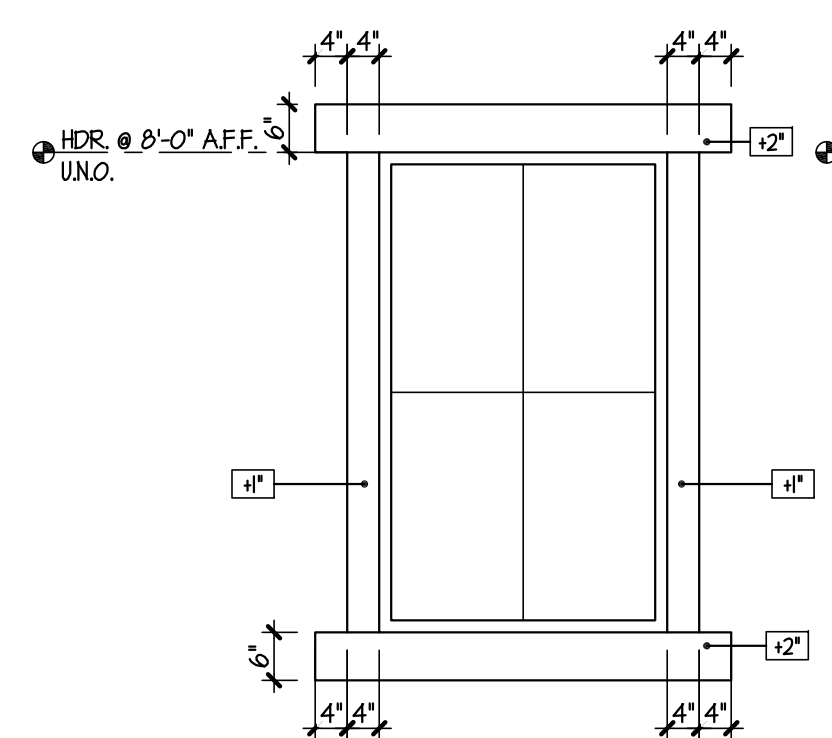
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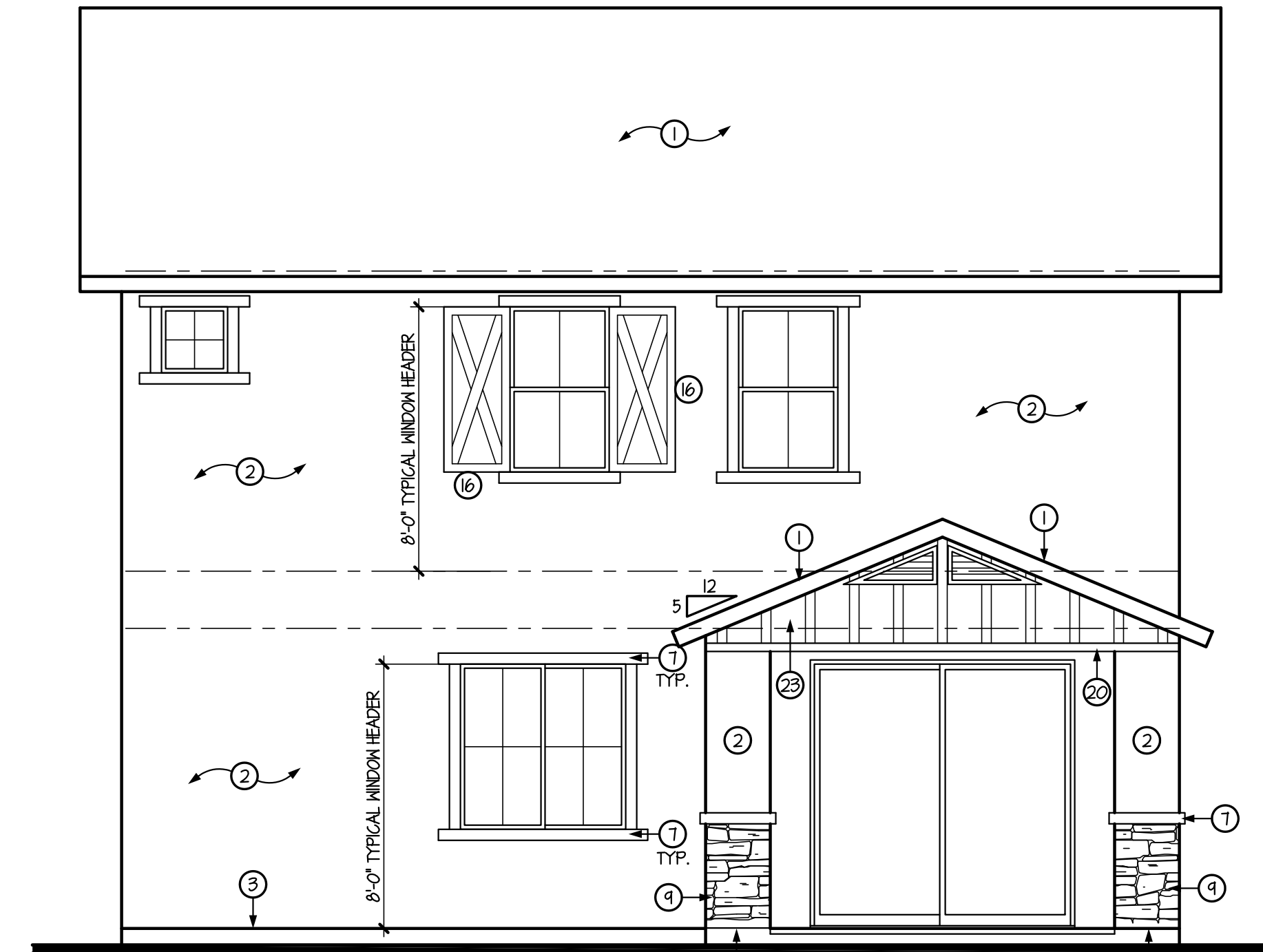
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SCALE: 1/4" = 1'-0"



PLAN 1800 - FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0"
WESTERN COTTAGE



RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

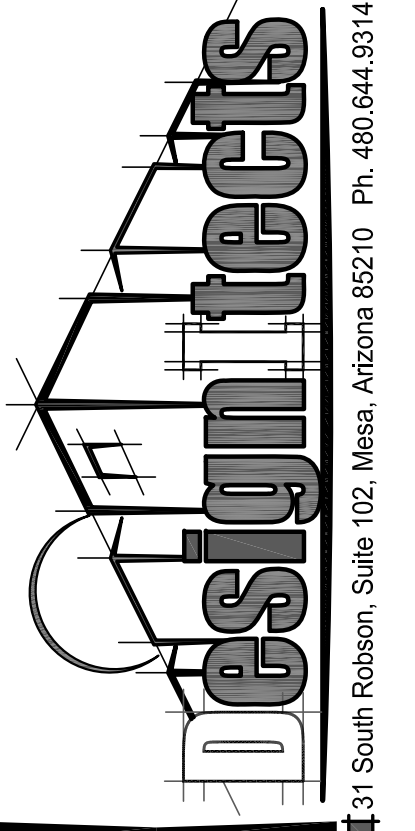


REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.9. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

No.	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	FASCIA - SEE TYPICAL DETAIL
5	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
6	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
9	LOUVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
10	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
11	DECORATIVE FAUX CORBELS
12	DECORATIVE TILE VENTS
13	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
14	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
15	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
16	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	RETURN WALL LOCATION
18	COACH LIGHT LOCATION
19	1x3 HARDIETRIM - (OR EQUAL)
20	5/4 HARDIETRIM - 2x6 (OR EQUAL)
21	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
22	JAMES HARDIE HARDIEPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	ROUGH SAWN WOOD COLUMN/BEAM
25	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



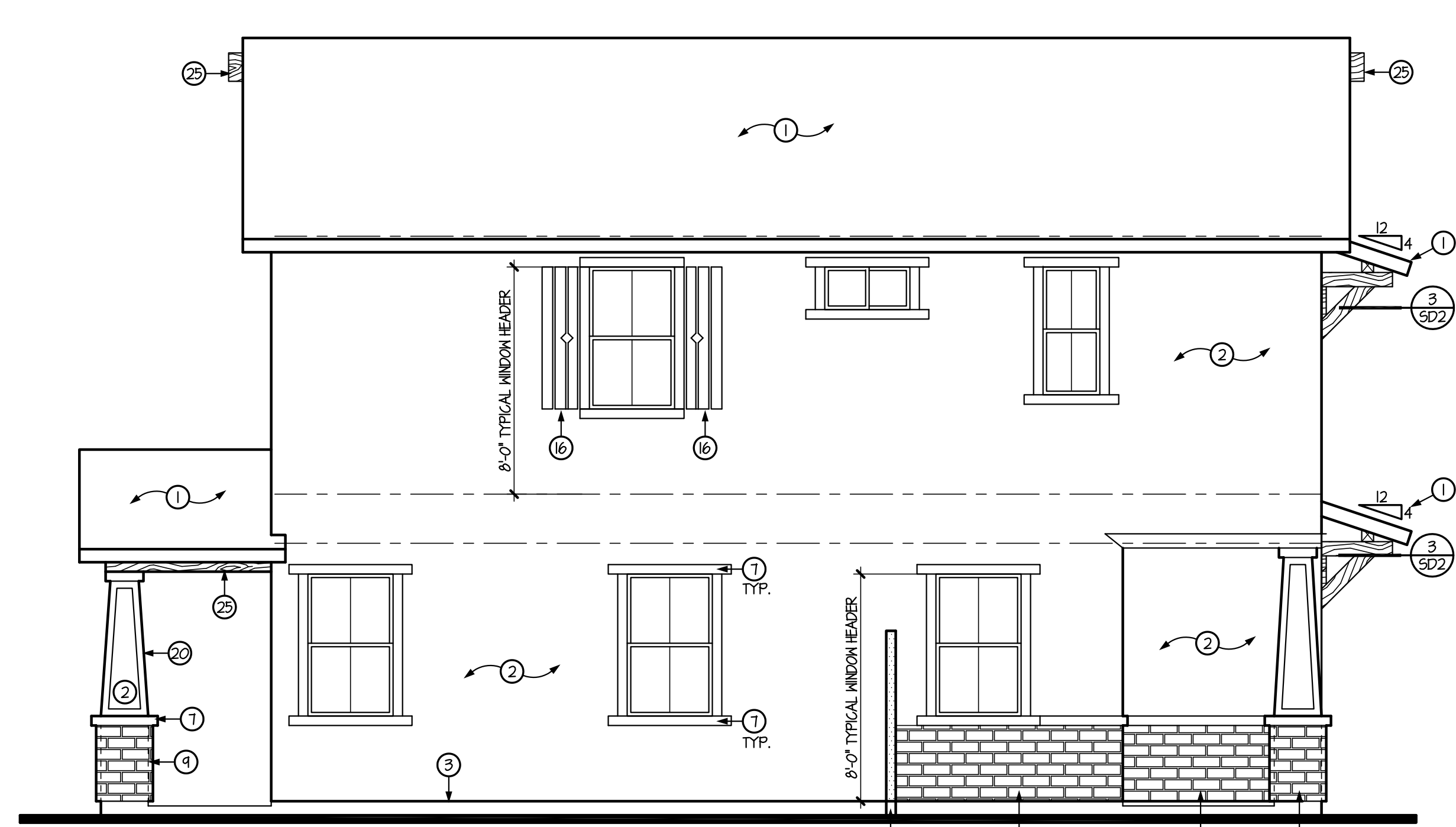
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DRAWN BY:
SHR
DATE:
01.12.22
REVISION

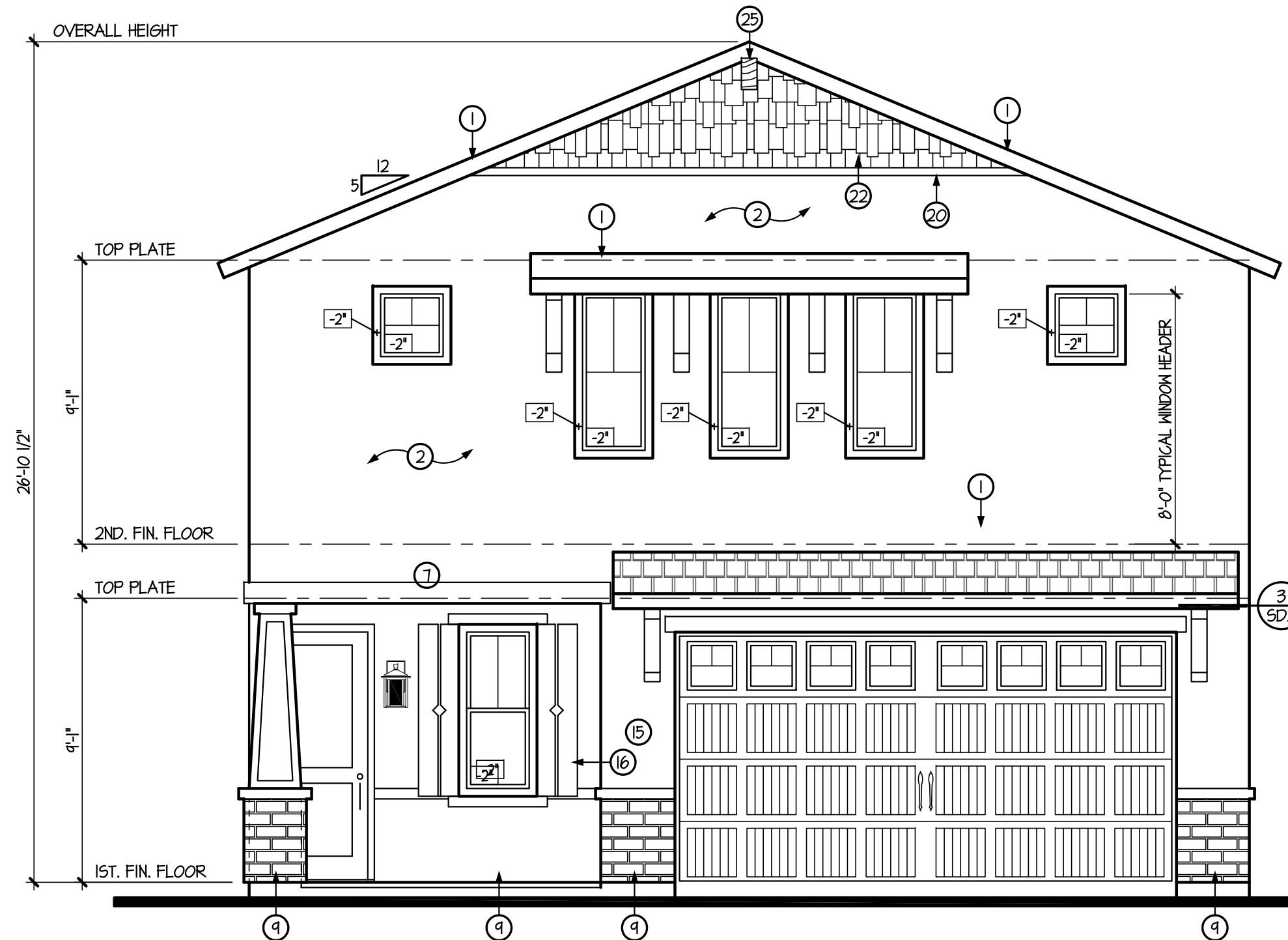
PLAN:
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COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
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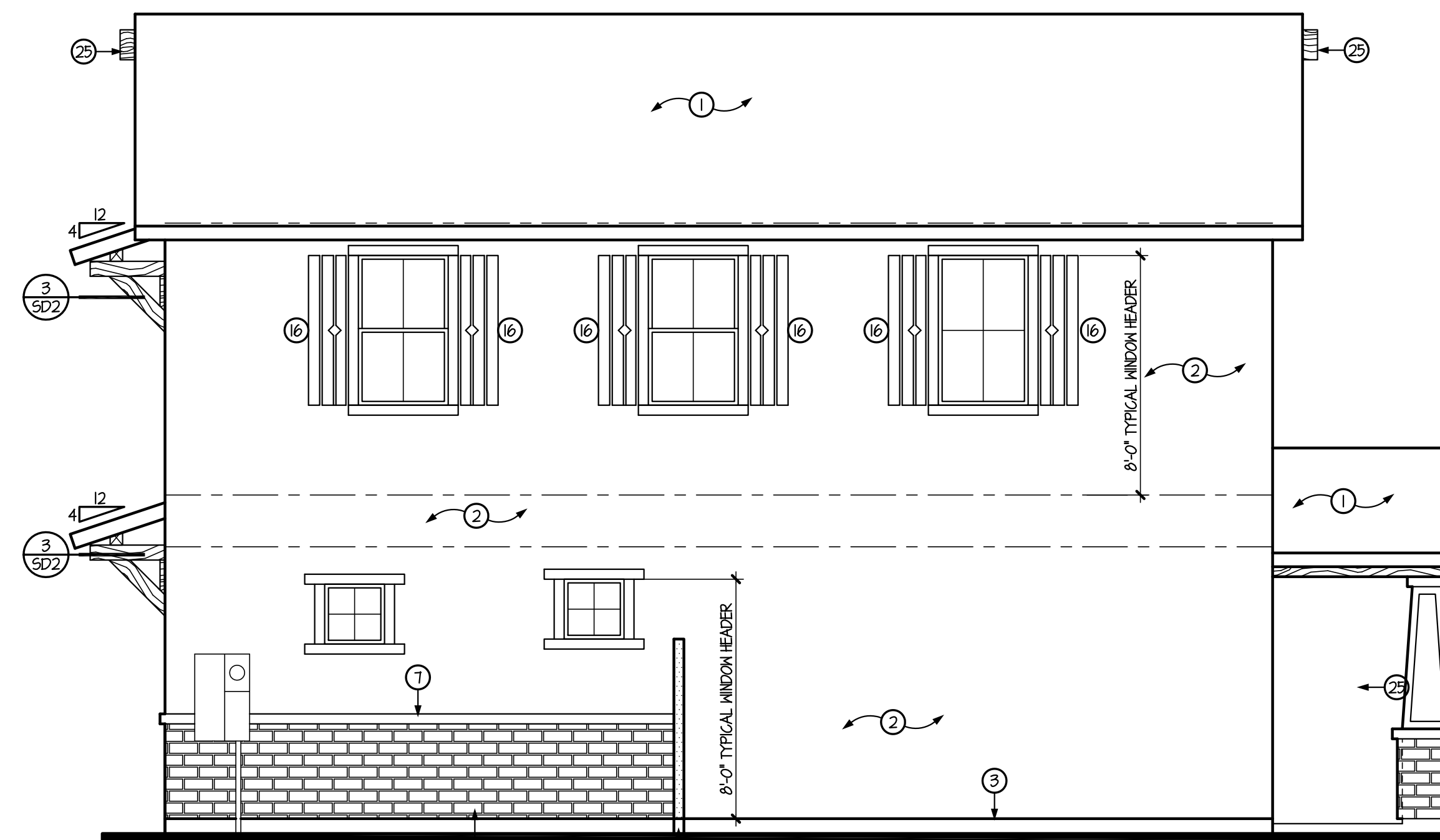
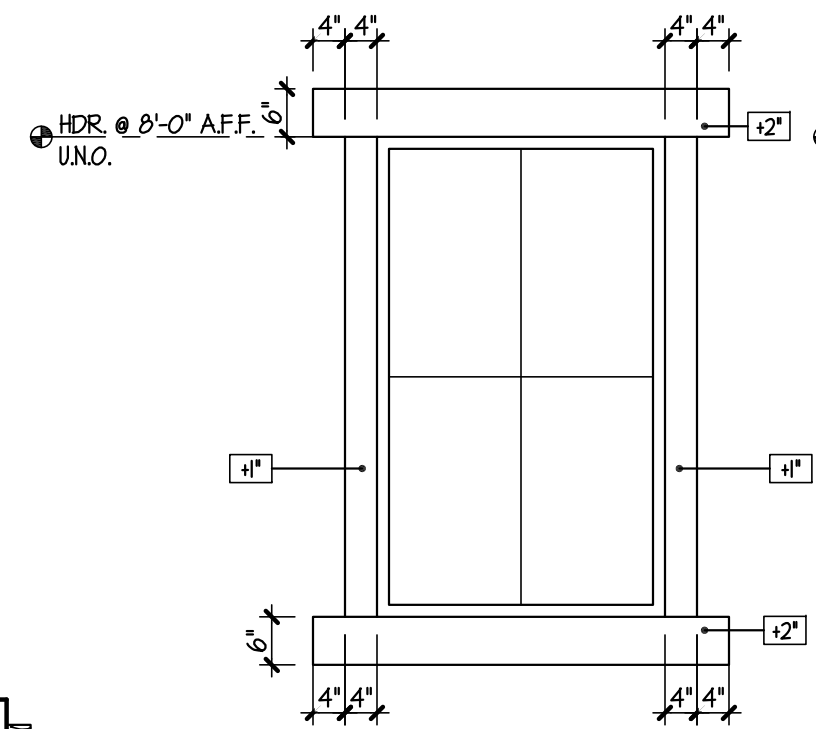
TOWN OF QUEEN CREEK



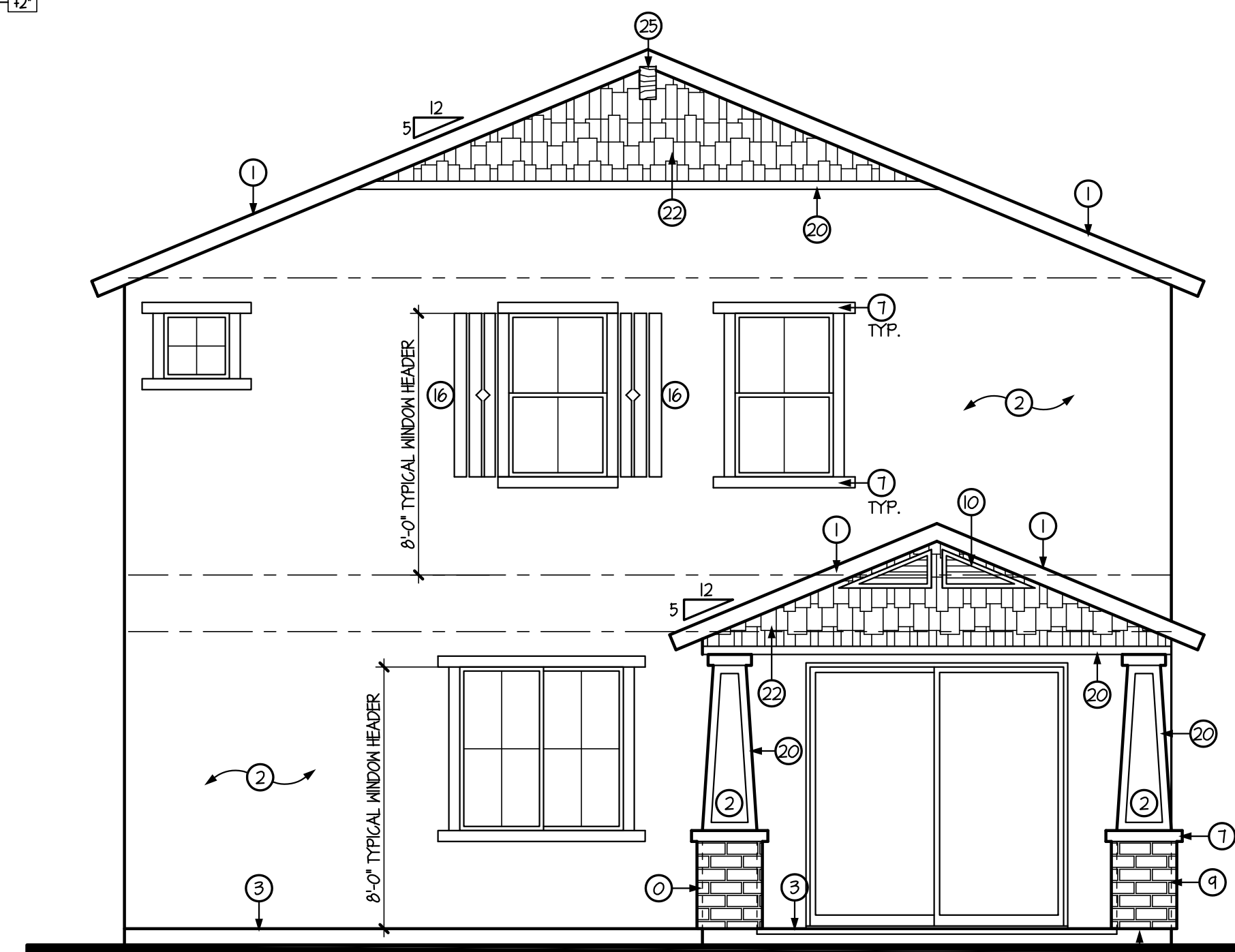
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SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0"
CRAFTSMAN



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"



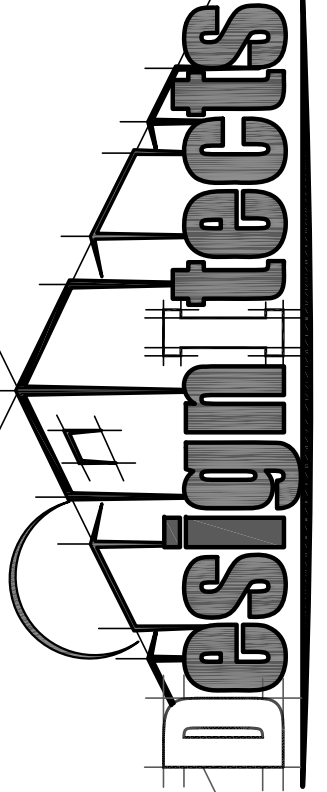
REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"

GENERAL INFORMATION

- WESTERN ONE-KOTE STUCCO WALL FINISH (APMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & APMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

NO	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (APMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	BARGE - SEE TYPICAL DETAIL
5	FASCIA - SEE TYPICAL DETAIL
6	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
9	MASTIC APPLIED STONE/BRICK VENEER (ESR-254B) - COMPLY w/ I.R.C. SEC. R103.1
10	COVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
11	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
12	DECORATIVE FAUX CORBELS
13	DECORATIVE TILE VENTS
14	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
15	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
16	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
18	RETURN WALL LOCATION
19	COACH LIGHT LOCATION
20	1x3 HARDIETRIM - (OR EQUAL)
21	5/4 HARDIETRIM - 2x6 (OR EQUAL)
22	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
25	ROUGH SAWN WOOD COLUMN/BEAM
26	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



ELEVATION 'B' - CRAFTSMAN

DRAWING TITLE:

DRAWN BY:
SHR

DATE:
01.12.22

REVISION

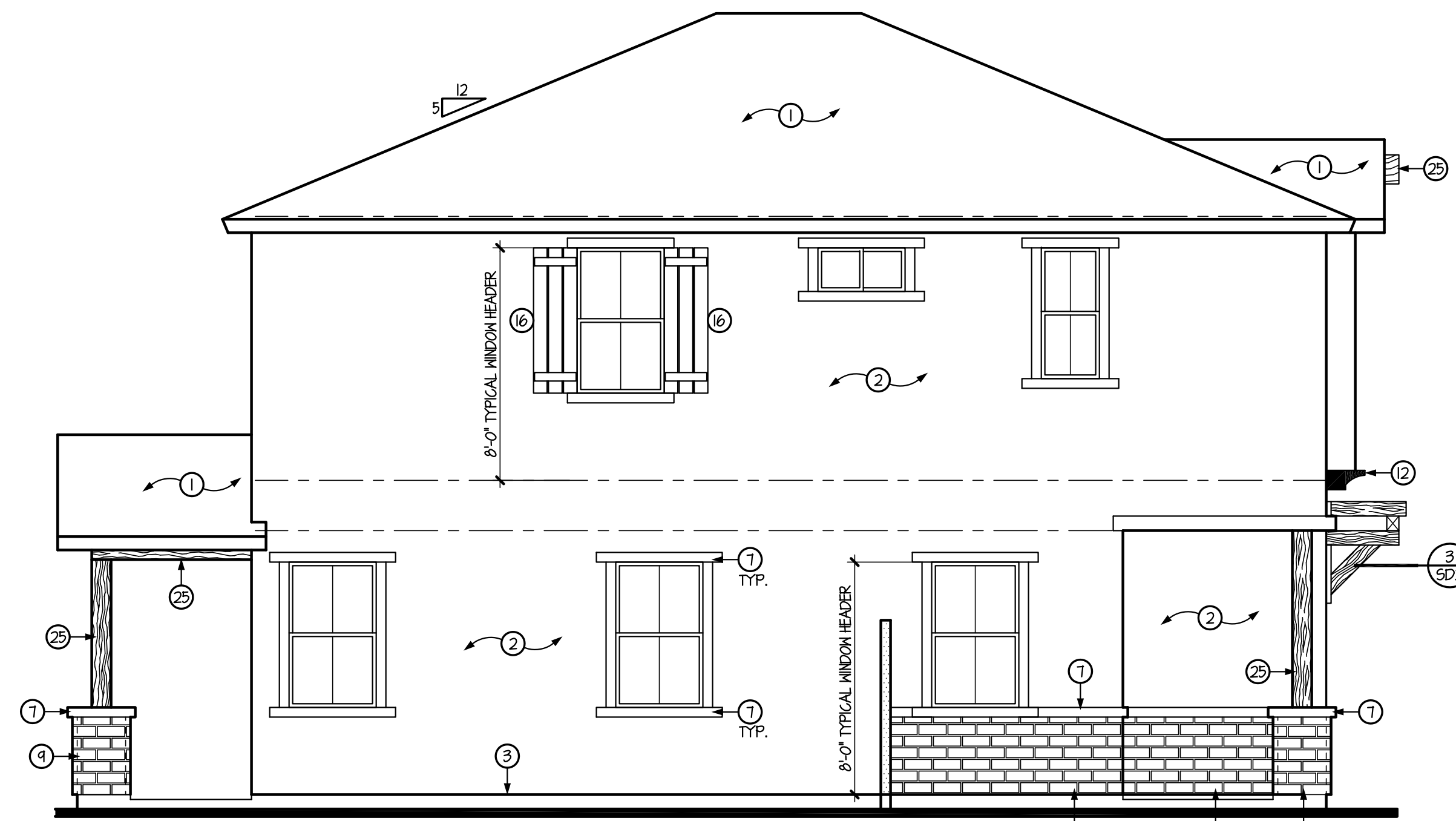
1	
2	
3	
4	

PLAN:
1800

COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A4.1

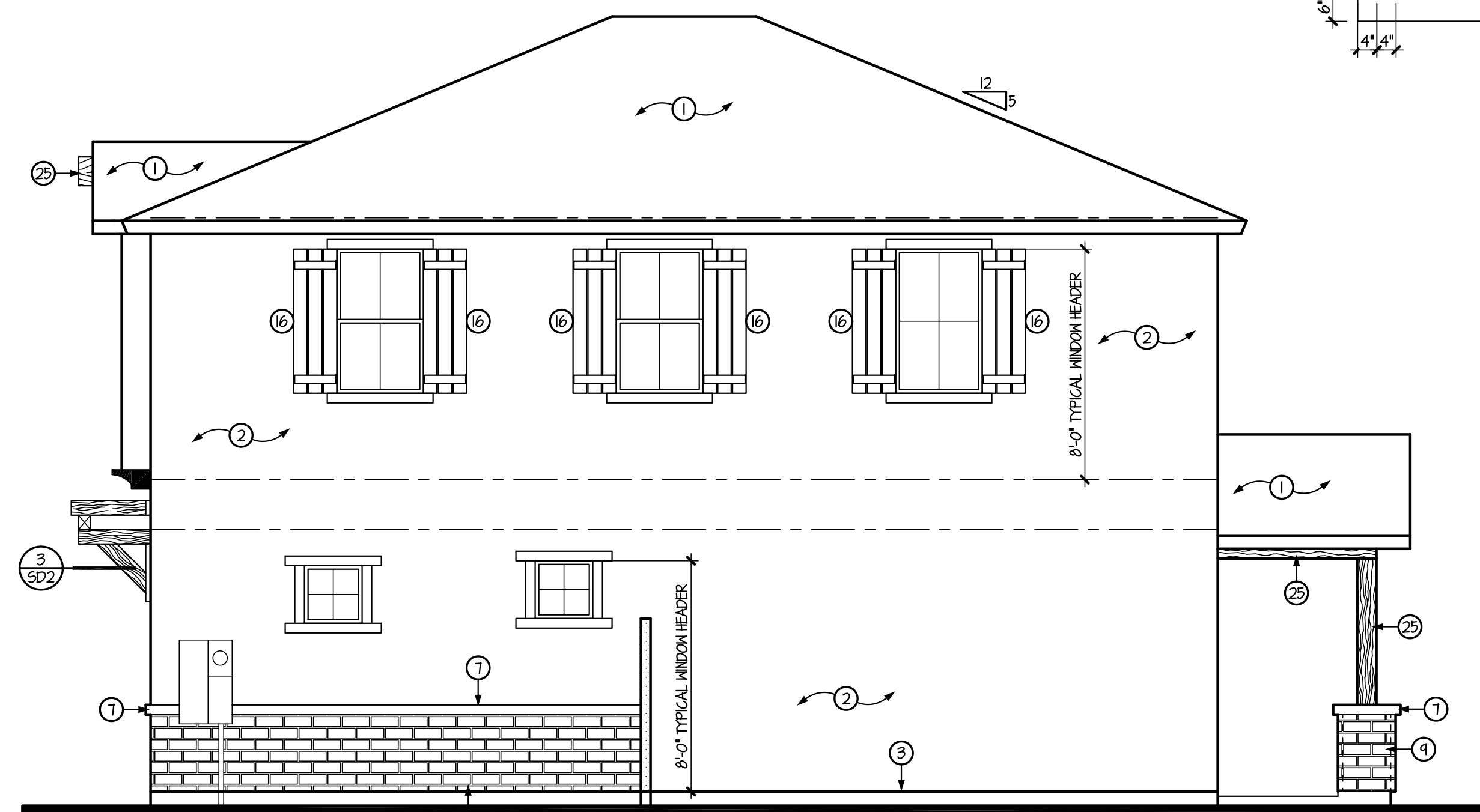
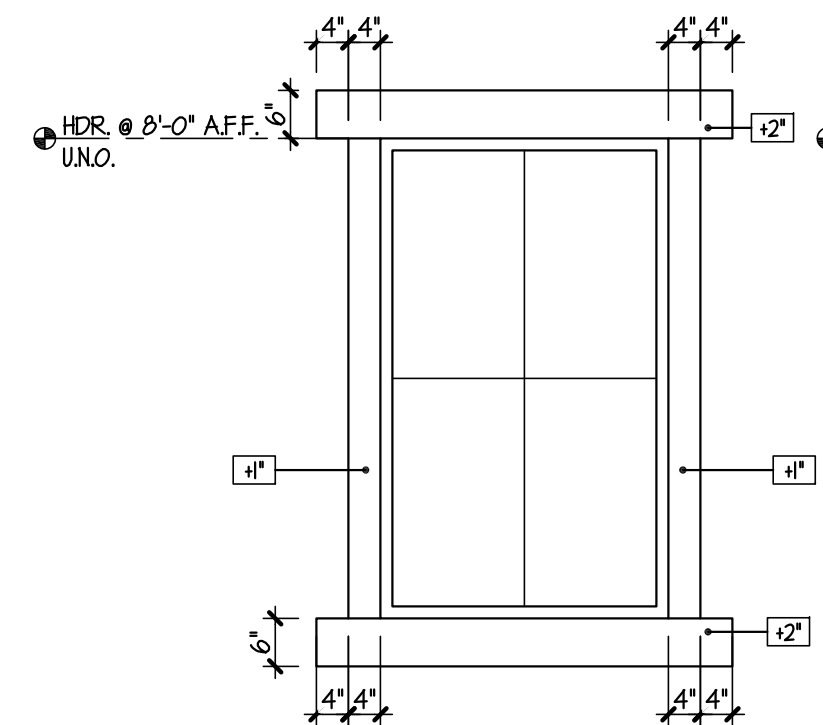
TOWN OF QUEEN CREEK



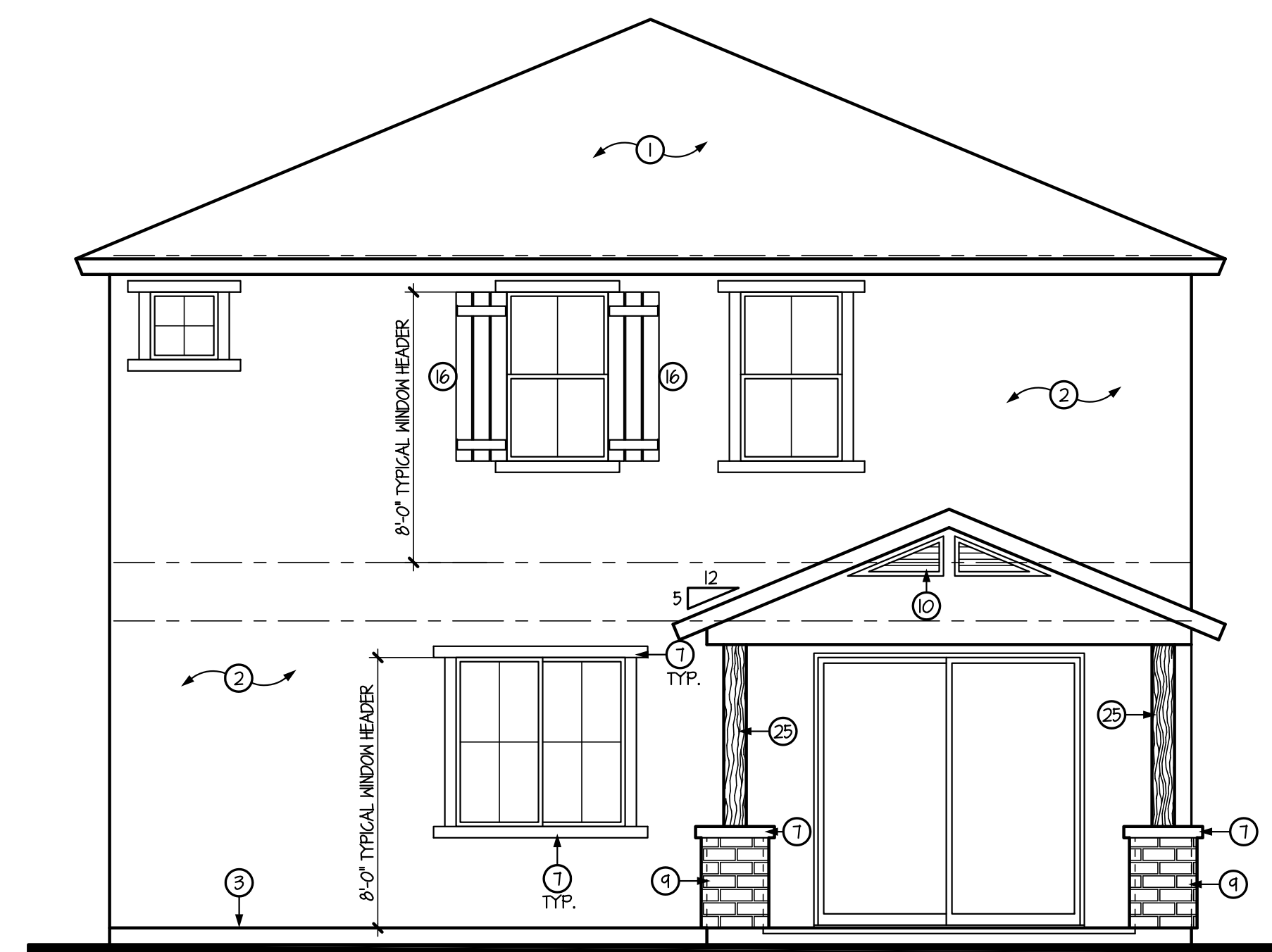
LEFT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"



PLAN 1800 - FRONT ELEVATION 'C'
SCALE: 1/4" = 1'-0"
TERRITORIAL RANCH



RIGHT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"



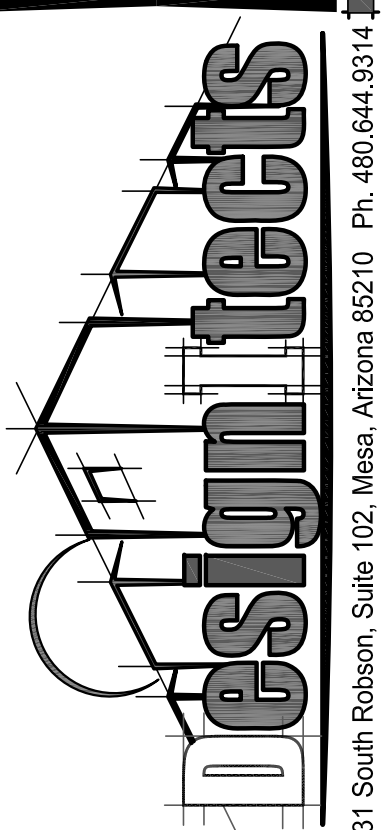
REAR ELEVATION 'C'
SCALE: 1/4" = 1'-0"

GENERAL INFORMATION

- WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #382) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
- FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
- KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
- CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1400
- BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
- ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
- ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
- GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
- ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.

KEYNOTES

NO.	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM OF FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #382)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	FASCIA - SEE TYPICAL DETAIL
5	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
6	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
9	COVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
10	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
11	DECORATIVE FAUX CORBELS
12	DECORATIVE TILE VENTS
13	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
14	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
15	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
16	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	RETURN WALL LOCATION
18	COACH LIGHT LOCATION
19	1x3 HARDIETRIM - (OR EQUAL)
20	5/4 HARDIETRIM - 2x6 (OR EQUAL)
21	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
22	JAMES HARDIE HARDIEPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	ROUGH SAWN WOOD COLUMN/BEAM
25	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



ELEVATION 'C' - TERRITORIAL RANCH

DRAWING TITLE:

DRAWN BY:
SHR

DATE:
01.12.22

REVISION

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2	
3	
4	

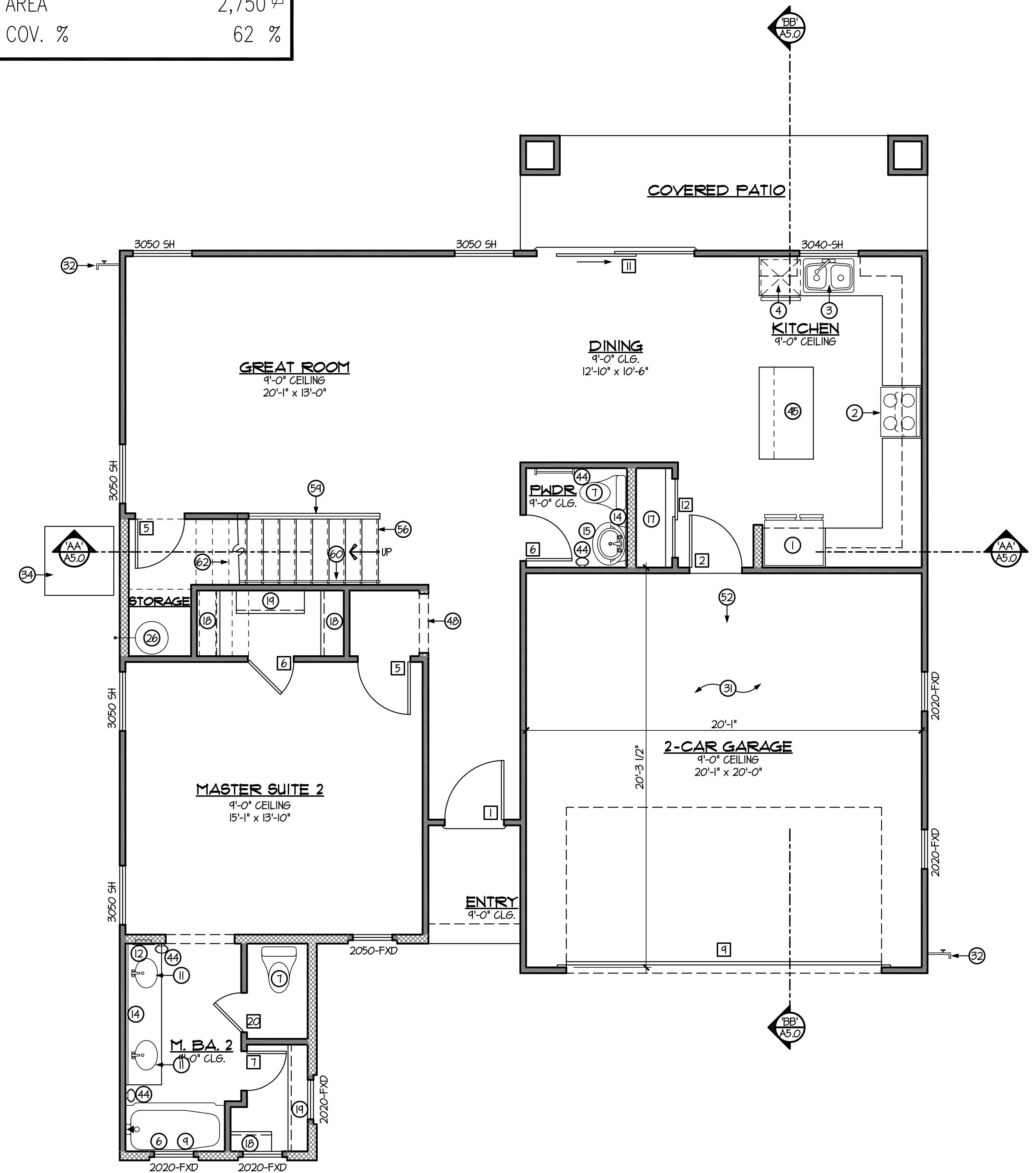
PLAN:
1800
COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A4.2

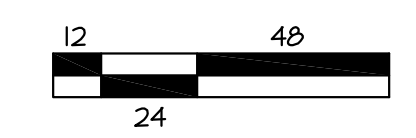
TOWN OF QUEEN CREEK

SQUARE FOOTAGE TABLE 2420	
1st FLR. LIV:	1,140
2nd FLR. LIV:	1,280
GARAGE:	416
PATIO:	121
ENTRY:	28
<hr/>	
TOTAL UNDER ROOF:	2,932
1st FLR. FOOTPRINT:	1,705
LOT AREA	2,750
LOT COV. %	62 %

- 5% PATIO AREA REQUIRED = 121 SF
 - PATIO AREA PROVIDED = 121 SF



KEYNOTED FIRST FLOOR PLAN 'A', 'B' & 'C'
 SCALE: 1/4" = 1'-0"

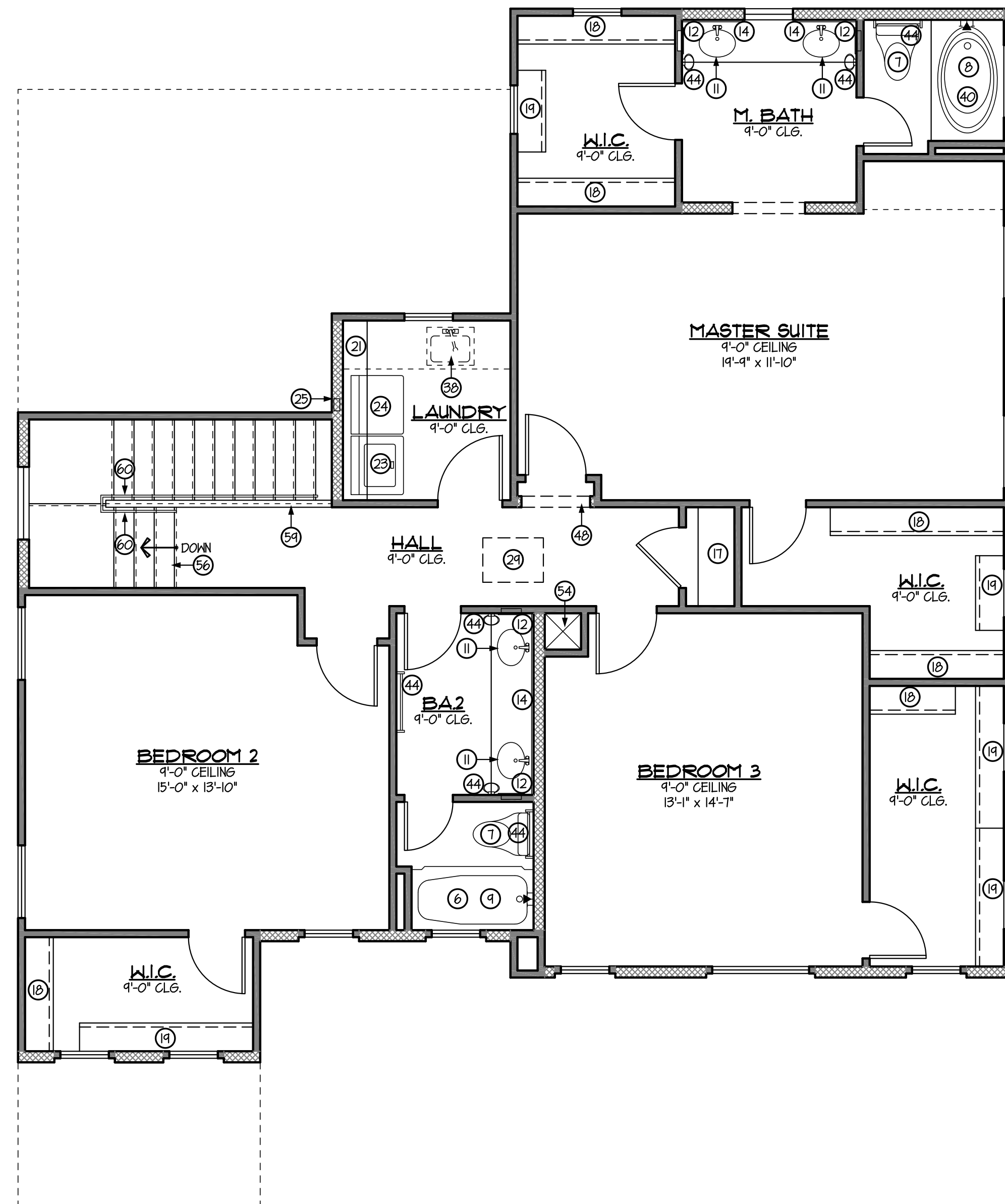
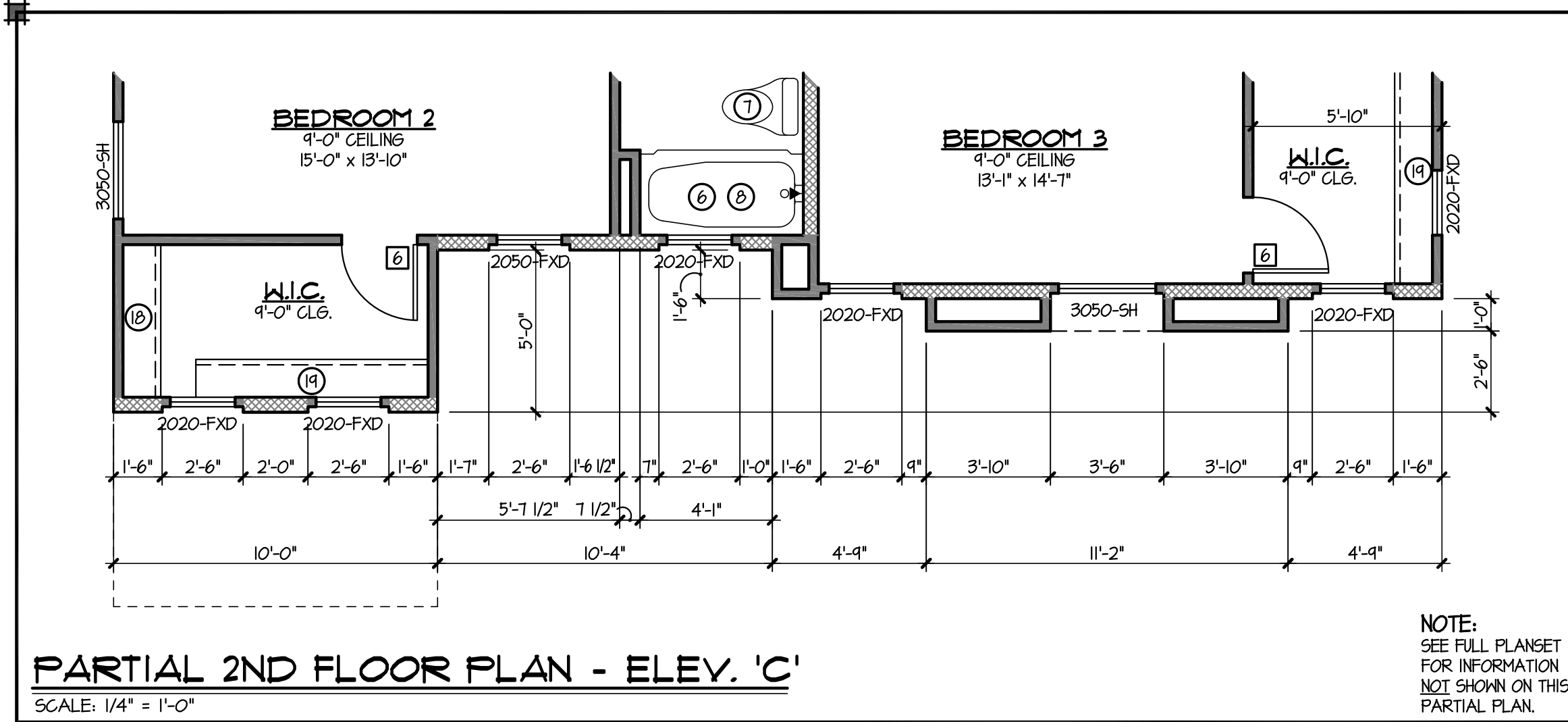


DOOR SCHEDULE				
No.	TYPE	SIZE	FUNCTION	NOTES
1	B	3'-0" x 8'-0"	SWING	
2	A	2'-8" x 6'-8"	SWING	
3	B	2'-8" x 6'-8"	SWING	
4	C	2'-8" x 6'-8"	SWING	
5	C	2'-6" x 6'-8"	SWING	
6	C	2'-4" x 6'-8"	SWING	
7	C	2'-0" x 6'-8"	SWING	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.	
10	D	6'-0" x 8'-0"	S.D.D.	
11	D	8'-0" x 8'-0"	S.D.D.	
12	C	4'-0" x 6'-8"	BI-PASS	
13	C	6'-0" x 6'-8"	BI-PASS	
14	C	8'-0" x 6'-8"	BI-PASS	
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH
16	B, D, E	3'-0" x 6'-8"	SWING (DBL. DR.)	OPT. 8'-0" HIGH
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS
19	C	2'-8" x 6'-8"	SWING (DBL. DR.)	BALL CATCH
20	C	2'-0" x 6'-8"	SWING	

GENERAL INFORMATION	
1.	INSULATION: R-30 BLOWN-IN @ ATTIC - UNO. ON PLAN R-19 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-19 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
2.	PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.
3.	FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION 624.01 & MANUFACTURERS RECOMMENDED CLEARANCES.
4.	PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPECS.
5.	ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - UNO.
6.	MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS. - I.R.C. SECTION R310.1
7.	WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #330.

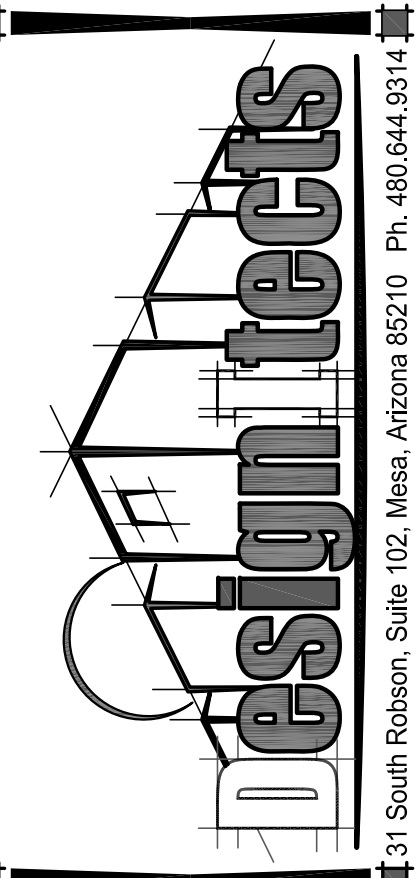
KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER
2	ELECTRIC RANGE & OVEN w/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS
3	DOUBLE SINK w/ DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
5	PANTRY - FACE FRAMED PANTRY CABINET
6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER w/ TILE MARBLE OR EQ. TO +12" ABV. DRAIN. - I.R.C. SEC. R310.2
7	WATER CLOSET PROVIDE A MIN. 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R301
8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
9	60"x30" TUB/SHOWER COMBO, w/ ROD FOR SHOWER CURTAIN
10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
11	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
12	RECESSED MEDICINE CABINET - HDR. @ +6" - OPTIONAL IF SHOWN WITH DASHED LINES
13	MARBLE PONY WALL @ +20" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL
14	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
15	PEDESTAL SINK w/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) w/ SINK AND MIRROR
16	STOP AND DROP - SEE ELEVATION ON SHEET A/D
17	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWN/NOTED ON PLAN
18	1 ROD, 1 SHELF
19	2 RODS, 2 SHELVES
20	FACE FRAMED LINEN
21	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS
22	TEMPERED GLASS
23	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER
24	ELECTRIC DRYER - OPTIONAL GAS
25	4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2434.5, G2434.5.1 & G2434.5.4
26	ELEC. WATER HEATER w/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH
27	28" SQUARE PLATFORM @ +18" A.F.F.
28	2-14"x8" SCREENED LOWERED METAL AIR VENTS - ONE +12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER
29	22x30 ATTIC SCUTTLE w/ INSULATION & HEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR. - I.R.C. R801.1.1/2.2.4
30	4" TIRE STOP
31	5/8" TYPE 'X' GYPSUM BOARD @ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
32	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES
33	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILING
34	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.
35	OPT. DOOR w/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN
36	OPTIONAL COUNTERTOP w/ BASE & UPPER CABINETS
37	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
38	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN
39	OPTIONAL GAS STUB-OUT @ +18" A.F.F. - TYPICAL
40	GARDEN TUB/SHOWER w/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
41	LINE OF FIRST FLOOR/SECOND FLOOR
42	3"Ø STEEL BOLLARD - MIN. 18" EMBEDMENT @ +44" A.F.F.
43	FLAT SOFFIT - TOP @ +84"
44	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES
45	ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS w/ 12" OVERHANG
46	MARBLE PONY WALL @ +42" OR PER PLAN
47	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES
48	FLAT SOFFIT - TOP @ +136"
49	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
50	60" x 42" DROP-IN GARDEN TUB w/ MARBLE TO +12" ABOVE TUB DECK
51	3/4"Ø CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE
52	SLOPE 1/8" PER LINEAL FOOT @ EXTERIOR SLABS
53	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB

DESIGN TECTS
 ARCUS™ PRIVATE CAPITAL SOLUTIONS
 DRAWING TITLE: FIRST FLOOR KEYNOTED PLAN
 DRAWN BY: SHR
 DATE: 01.12.22
 REVISION:
 PLAN: 2420
 COMMUNITY: RITTENHOUSE COMMONS 1 Queen Creek, AZ
 SHEET NO. A1.0
 TOWN OF QUEEN CREEK



DOOR SCHEDULE					GENERAL INFORMATION	
No.	TYPE	SIZE	FUNCTION	NOTES		
1	B	3'-0" x 8'-0"	SWING		1. INSULATION: R-30 BLOW-IN @ ATTIC - UNO. ON PLAN R-19 BATT @ EXT. 2x4 WALLS - UNO. ON PLAN R-19 BATT @ EXT. 2x6 WALLS - UNO. ON PLAN	
2	A	2'-8" x 6'-8"	SWING		2. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
3	B	2'-8" x 6'-8"	SWING		3. FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 & MANUFACTURERS RECOMMENDED CLEARANCES.	
4	C	2'-8" x 6'-8"	SWING		4. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILING - TAPE & TEXTURE PER PROJECT SPECS.	
5	C	2'-6" x 6'-8"	SWING		5. ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - UNO.	
6	C	2'-4" x 6'-8"	SWING		6. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS - I.R.C. SECTION R3101	
7	C	2'-0" x 6'-8"	SWING		7. WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #330.	
8	-	8'-0" x 8'-0"	O.H. METAL SECT.		= 2x4 WALL	
9	-	16'-0" x 8'-0"	O.H. METAL SECT.		= 2x6 WALL	
10	D	6'-0" x 8'-0"	S.D.D.			
11	D	8'-0" x 8'-0"	S.D.D.			
12	C	4'-0" x 6'-8"	BI-PASS			
13	C	6'-0" x 6'-8"	BI-PASS			
14	C	8'-0" x 6'-8"	BI-PASS			
15	B, D, E	3'-0" x 6'-8"	SWING (SINGL. DR.)	OPT. 8'-0" HIGH		
16	B, D, E	3'-0" x 6'-8"	SWING (DEBL. DR.)	OPT. 8'-0" HIGH		
17	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS		
18	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS		
19	C	2'-8" x 6'-8"	SWING (DEBL. DR.)	BALL CATCH		
20	C	2'-0" x 6'-8"	SWING			

KEYNOTES	
No.	DESCRIPTION
1	REFRIGERATOR - PRE-FLING FOR ICE MAKER
2	ELECTRIC RANGE & OVEN w/ HOOD/MICROWAVE ABOVE HOOD EXHAUST @ +1" - OPTIONAL GAS
3	DOUBLE SINK w/ DISPOSAL
4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P211
5	PANTRY - FACE FRAMED PANTRY CABINET
6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER w/ TILE MARBLE OR EQ. TO +12" ABV. DRAIN - I.R.C. SEC. R3101.2
7	WATER CLOSET PROVIDE A MIN. 15" ON EACH SIDE @ 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R3071
8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
9	60"x30" TUB/SHOWER COMBO. w/ ROD FOR SHOWER CURTAIN
10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK
11	SINK - OPTIONAL IF SHOWN WITH DASHED LINES
12	4" WIDE PONY WALL @ +36"
13	RECESSED MEDICINE CABINET - HDR. @ +16" - OPTIONAL IF SHOWN WITH DASHED LINES
14	MARBLE PONY WALL @ +30" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL
15	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - UNO. ON PLAN
16	PEDESTAL SINK w/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) w/ SINK AND MIRROR
17	STOP AND DROP - SEE ELEVATION ON SHEET A/D
18	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWN/NOTED ON PLAN
19	1 ROD, 1 SHELF
20	2 RODS, 2 SHELVES
21	FACE FRAMED LINEN
22	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS
23	TEMPERED GLASS
24	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER
25	ELECTRIC DRYER - OPTIONAL GAS
26	4" DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2431.5, G2431.5.1 & G2431.5.4
27	ELEC. WATER HEATER w/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH
28	28" SQUARE PLATFORM @ +18" A.F.F.
29	2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE 12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER
30	22x30 ATTIC SCUTTLE w/ INSULATION & HEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR. - I.R.C. R807.1 AND G22.4
31	4" TIRE STOP
32	5/8" TYPE 'X' GYPSUM BOARD @ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 102.3.5
33	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES
34	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILING
35	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN w/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.
36	OPT. DOOR w/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN
37	OPTIONAL COUNTERTOP w/ BASE & UPPER CABINETS
38	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND
39	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN
40	OPTIONAL GAS STUB-OUT @ +16" A.F.F. - TYPICAL
41	GARDEN TUB/SHOWER w/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND
42	LINE OF FIRST FLOOR/SECOND FLOOR
43	3" STEEL BOLLARD - MIN. 18" EMBEDMENT @ +44" A.F.F.
44	FLAT SOFFIT - TOP @ +84"
45	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES
46	ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS w/ 12" OVERHANG
47	MARBLE PONY WALL @ +42" OR PER PLAN
48	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES
49	FLAT SOFFIT - TOP @ +16"
50	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
51	60" x 42" DROP-IN GARDEN TUB w/ MARBLE TO +12" ABOVE TUB DECK
52	3/4" CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE
53	SLOPE 1/8" PER LINEAL FOOT @ EXTERIOR SLABS
54	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB



DRAWING TITLE:
SECOND FLOOR KEYNOTED PLAN

DRAWN BY:
SHR

DATE:
01.12.22

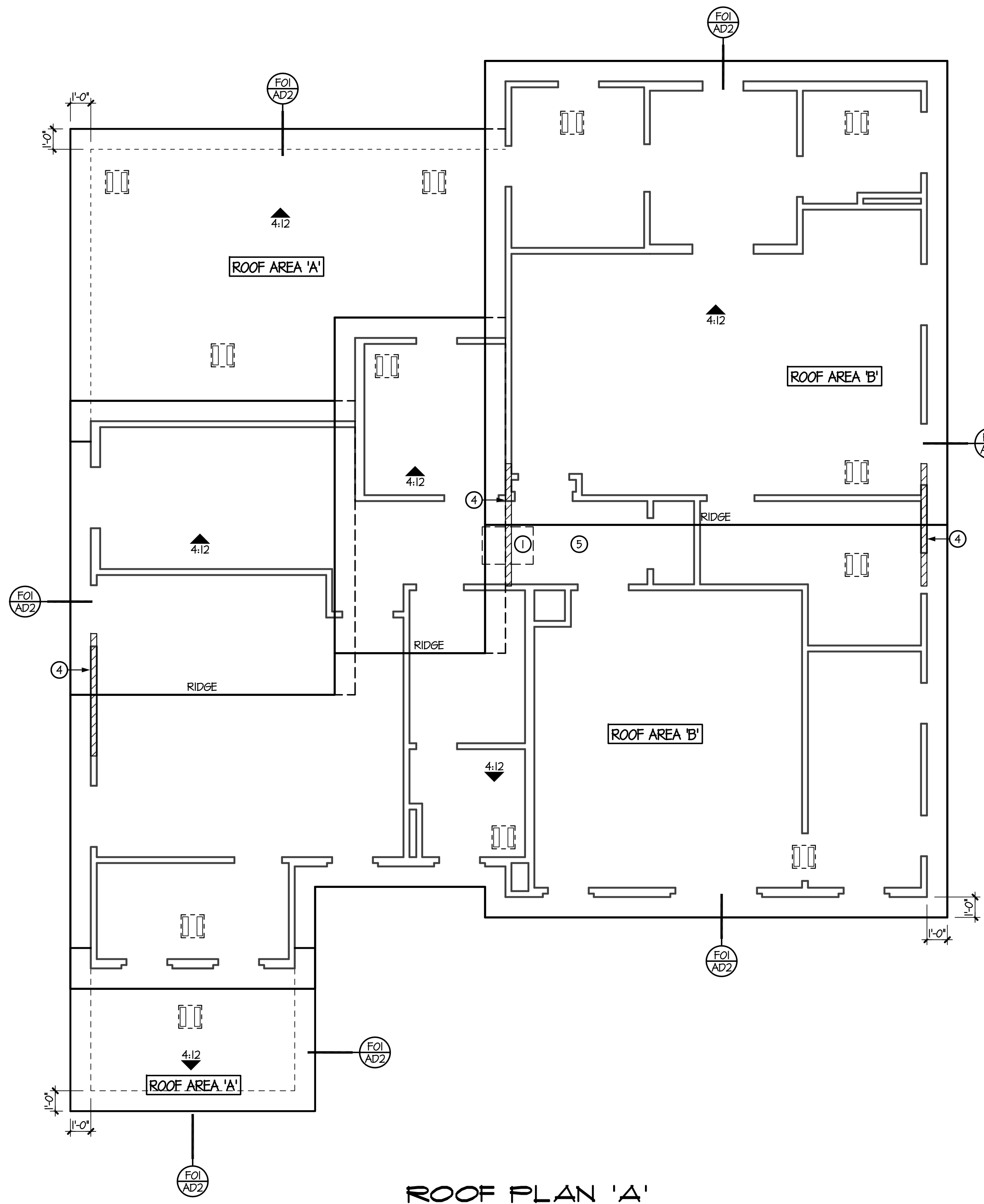
REVISION

PLAN:
2420

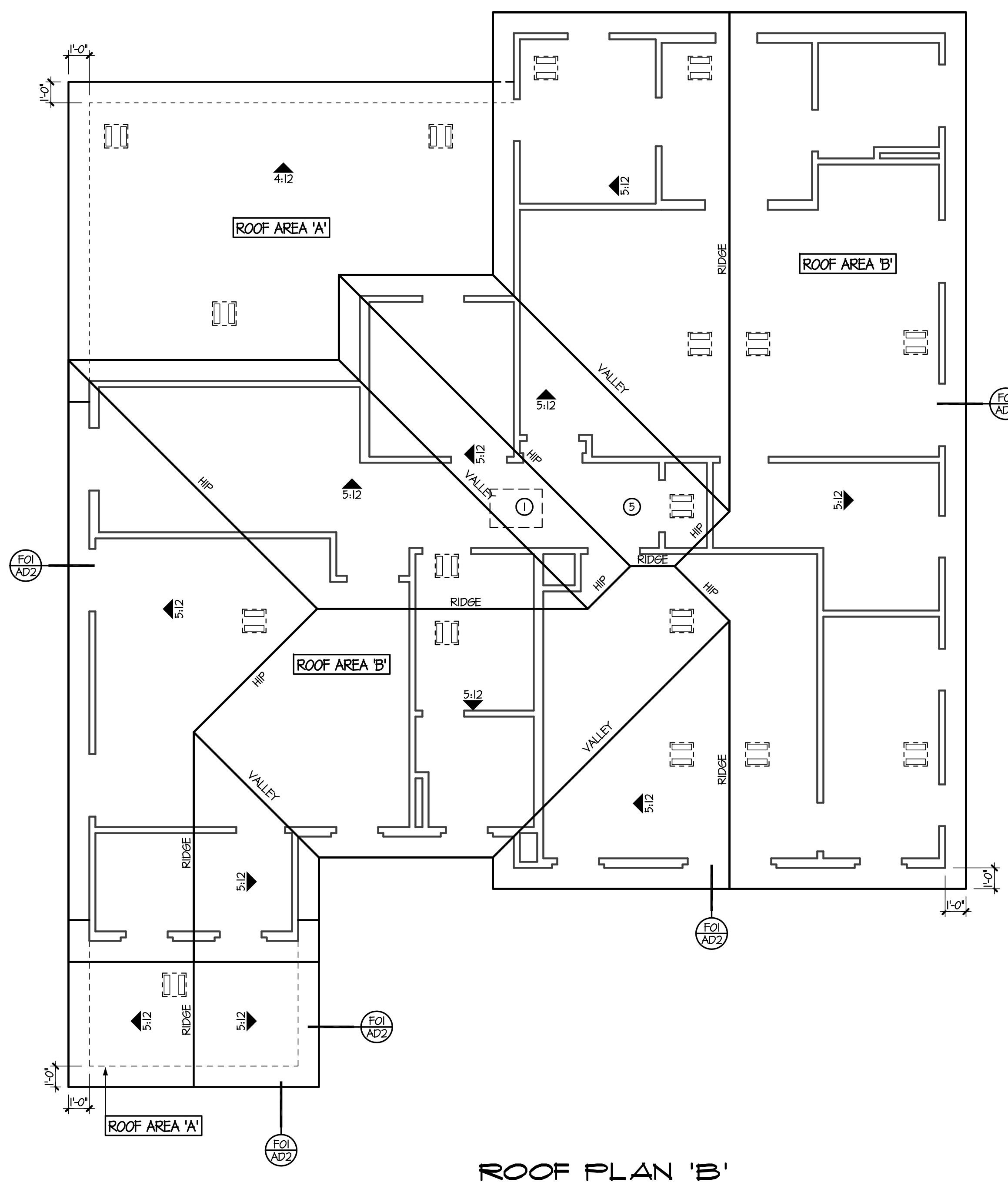
COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A1.1

TOWN OF QUEEN CREEK



ROOF PLAN 'A'
SCALE: 1/4" = 1'-0"



ROOF PLAN 'B'
SCALE: 1/4" = 1'-0"

ATTIC VENT CALC'S - ELEV. 'A'			
ROOF AREA 'A'	ROOF SQ. FT.	ROOF AREA 'B'	ROOF SQ. FT.
	374 ^{sq}		1280 ^{sq}
REQ'D. SQ. FT. 1/50 RULE	2.49 ^{sq}	REQ'D. SQ. FT. 1/50 RULE	8.53 ^{sq}
ROOF 'A'	4 - 0'HAGIN TILE VENT (0.68 SF. EA)		2.72
		TOTAL =	2.72
ROOF 'B'	3 - (4:12) 6"-0" TRI-VENT (1.12 SF. EA)		3.36
	8 - 0'HAGIN TILE VENT (0.68 SF. EA)		5.44
		TOTAL =	8.80

ATTIC VENT CALC'S - ELEV. 'B'			
ROOF AREA 'A'	ROOF SQ. FT.	ROOF AREA 'B'	ROOF SQ. FT.
	374 ^{sq}		1280 ^{sq}
REQ'D. SQ. FT. 1/50 RULE	2.49 ^{sq}	REQ'D. SQ. FT. 1/50 RULE	8.53 ^{sq}
ROOF 'A'	4 - 0'HAGIN TILE VENT (0.68 SF. EA)		2.72
		TOTAL =	2.72
ROOF 'B'	13 - 0'HAGIN TILE VENT (0.68 SF. EA)		8.84
		TOTAL =	8.84

GENERAL INFORMATION

- WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
- ALL LOW TILE VENTS SHALL BE PLACED 3'-0" FROM THE EXTERIOR WALL - UNO. ON PLAN.
- PROVIDE FIRE BLOCKING @ ALL CEILING LINES & AT ALL BALLOON FRAMED WALLS OVER 10'-0" - UNO. ON PLAN.
- THE ATTIC HVAC WORKING PLATFORM IS REQUIRED TO HAVE SOLID BLOCKING @ ALL PLYWOOD PERIMETER EDGES.

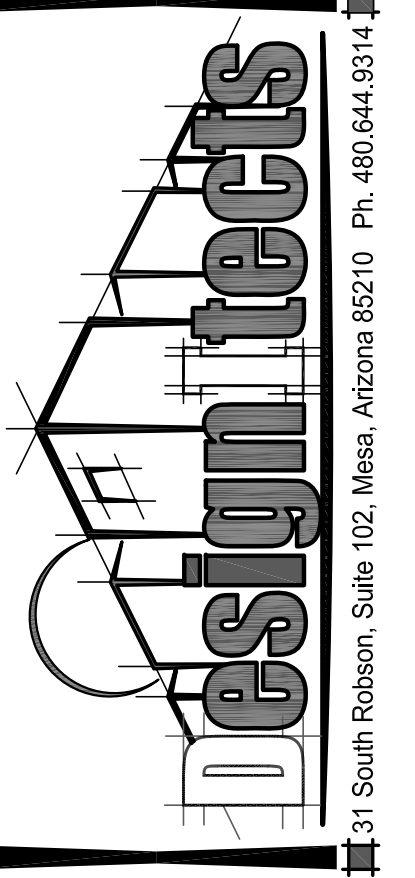
KEYNOTES

NO	DESCRIPTION
1	22"x30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE 1/2" P.L.F. MINIMUM
3	2x4 BEARING CRIPPLE WALL / 2x BLOCKING @ 16" O.C. BELOW WHERE SHOWN ON PLAN - STUDS @ 16" O.C.
4	LOWEDED METAL VENT W/ CORROSIVE RESISTIVE METAL MESH - SEE ELEVATIONS OR VENT CALC'S
5	PROPOSED AIR HANDLER LOCATION - PROVIDE APPROXIMATELY 60" x 10'-0" - VERIFY W/ TRUSS DESIGN

NET FREE SQUARE FOOT AREA OF VENTS:

12"x12" = 44	3 - 2'x6 BRD BLC = 248	5'-12" 6" TRI-VENT = 156
12"x8" = 65	2 - 2 1/2" BRD BLC = 245	5'-12" 8" TRI-VENT = 238
12"x24" = 88	18" ROUND VENT = 61	5'-12" 12" TRI-VENT = 428
14"x8" = 76	24" ROUND VENT = 118	5'-12" 12" TRI-VENT = 610
14"x24" = 102	18" 1/2" ROUND VENT = 53	6'-12" 4" TRI-VENT = 144
18"x2" = 66	24" 1/2" ROUND VENT = 59	6'-12" 6" TRI-VENT = 514
18"x8" = 81	18"x24" ROUND TOP = 87	7'-12" 8" TRI-VENT = 601
18"x24" = 132	18"x30" ROUND TOP = 111	8'-12" 6" TRI-VENT = 438
24"x8" = 132	4'-12" 6" TRI-VENT = 112	0'HAGIN TILE VENT = 68
24"x24" = 178	4'-12" 8" TRI-VENT = 218	DORMER VENT = 64
24"x30" = 220	4'-12" 10" TRI-VENT = 318	FULL SCREENED VENT = 41
30"x36" = 324	4'-12" 12" TRI-VENT = 518	2 1/2" METAL STRIP VENT = 41 P.L.F.

○ = 0'HAGIN TILE VENT

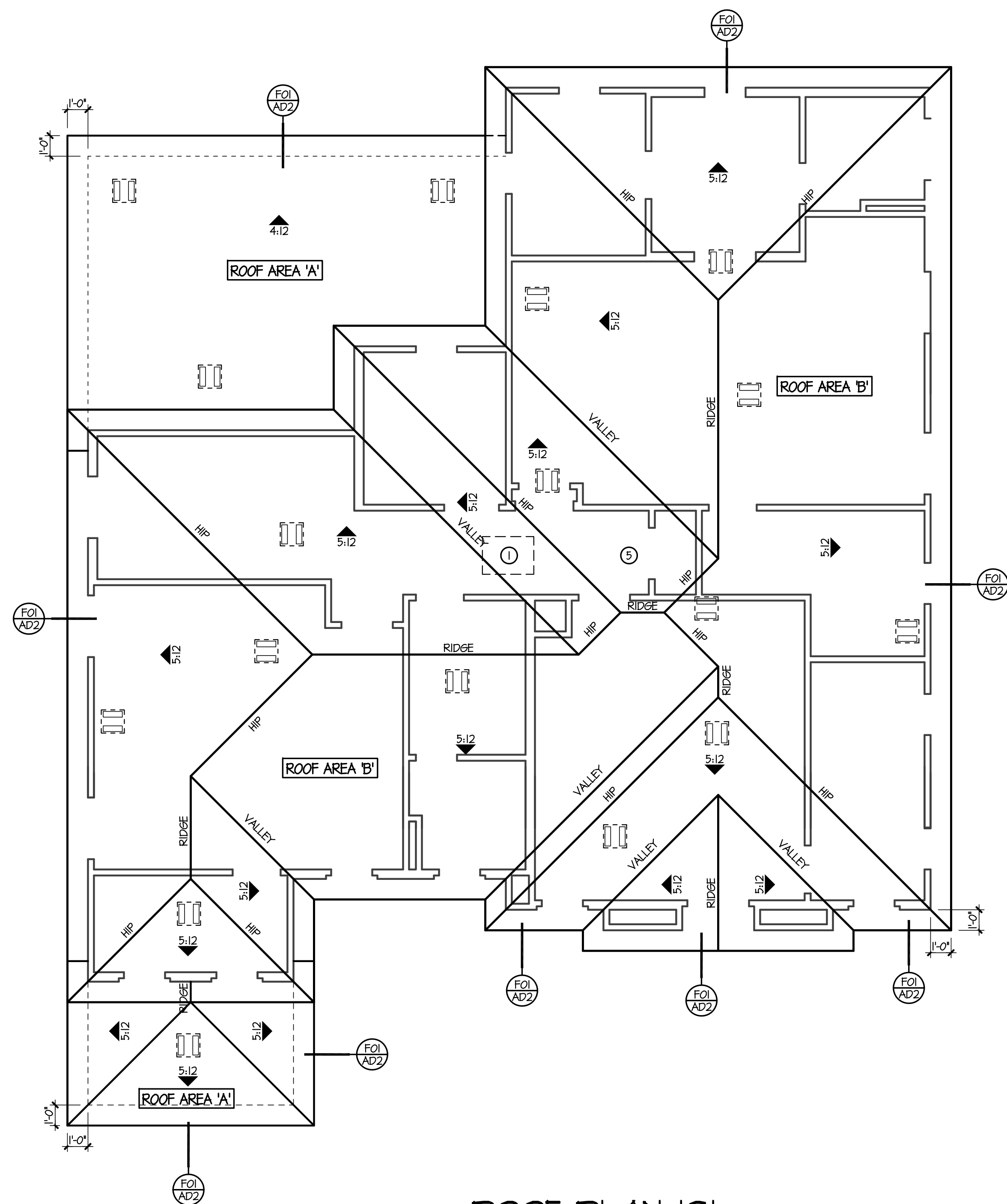


ROOF PLANS & VENTILATION

DRAWING TITLE:
DRAWN BY:
SHR
DATE:
01.12.22

REVISION
PLAN:
2420
COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A3.0



ROOF PLAN 'C'
SCALE: 1/4" = 1'-0"

ATTIC VENT CALC'S - ELEV. 'C'		
ROOF AREA 'A'	ROOF AREA 'B'	
ROOF SQ. FT.	ROOF SQ. FT.	
374 ^{sq}	1280 ^{sq}	
REQ'D. SQ. FT. 1/50 RULE	REQ'D. SQ. FT. 1/50 RULE	
2.49 ^{sq}	8.53 ^{sq}	
ROOF 'A'	4 - OHAGIN TILE VENT (0.68 SF. EA.)	2.72
	TOTAL =	2.72
ROOF 'B'	13 - OHAGIN TILE VENT (0.68 SF. EA.)	8.84
	TOTAL =	8.84

GENERAL INFORMATION

- WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
- ALL LOW TILE VENTS SHALL BE PLACED 3'-0" FROM THE EXTERIOR WALL - UNO. ON PLAN.
- PROVIDE FIRE BLOCKING @ ALL CEILING LINES & AT ALL BALLOON FRAMED WALLS OVER 10'-0" - UNO. ON PLAN
- THE ATTIC HVAC WORKING PLATFORM IS REQUIRED TO HAVE SOLID BLOCKING @ ALL PLYWOOD PERIMETER EDGES.

KEYNOTES

No	DESCRIPTION
1	22"x30" ATTIC SCUTTLE
2	1/2" PLYWOOD CRICKET - SLOPE 1/2" P.L.F. MINIMUM
3	2x4 BEARING CRIPPLE WALL / 2x BLOCKING @ 16" O.C. BELOW WHERE SHOWN ON PLAN - STUDS @ 16" O.C.
4	LOWEDED METAL VENT W/ CORROSIVE RESISTIVE METAL MESH - SEE ELEVATIONS OR VENT CALC'S
5	PROPOSED AIR HANDLER LOCATION - PROVIDE APPROXIMATELY 60" x 10'-0" - VERIFY W/ TRUSS DESIGN

NET FREE SQUARE FOOT AREA OF VENTS:

12"x12" = 44	3 - 2" BRD BLK = 249	(5:12) 6" TRI-VENT = 156
12"x8" = 65	2 - 2 1/2" BRD BLK = 245	(5:12) 8" TRI-VENT = 298
12"x24" = 68		(5:12) 12" TRI-VENT = 428
14"x8" = 76	24" ROUND VENT = 188	(5:12) 12" TRI-VENT = 610
14"x24" = 102	18" 1/2 ROUND VENT = 53	(6:12) 4" TRI-VENT = 144
16"x12" = 66	24" 1/2 ROUND VENT = 59	(6:12) 6" TRI-VENT = 514
16"x8" = 81	18"x24" ROUND TOP = 87	(7:12) 8" TRI-VENT = 601
18"x24" = 132	18"x30" ROUND TOP = 111	(8:12) 6" TRI-VENT = 458
24"x8" = 132	(4:12) 6" TRI-VENT = 112	OHAGIN TILE VENT = 68
24"x24" = 178	(4:12) 8" TRI-VENT = 238	DORMER VENT = 64
24"x30" = 220	(4:12) 10" TRI-VENT = 338	FULL SCREENED VENT = 41
30"x36" = 324	(4:12) 12" TRI-VENT = 538	2 1/2" METAL STRIP VENT = 41 P.L.F.

OHAGIN TILE VENT

Designitects
 131 South Robson, Suite 102, Mesa, Arizona 85210 Ph. 480.644.9314

ARCUS™
 PRIVATE CAPITAL SOLUTIONS

DRAWING TITLE:
ROOF PLANS & VENTILATION

DRAWN BY:
 SHR

DATE:
 01.12.22

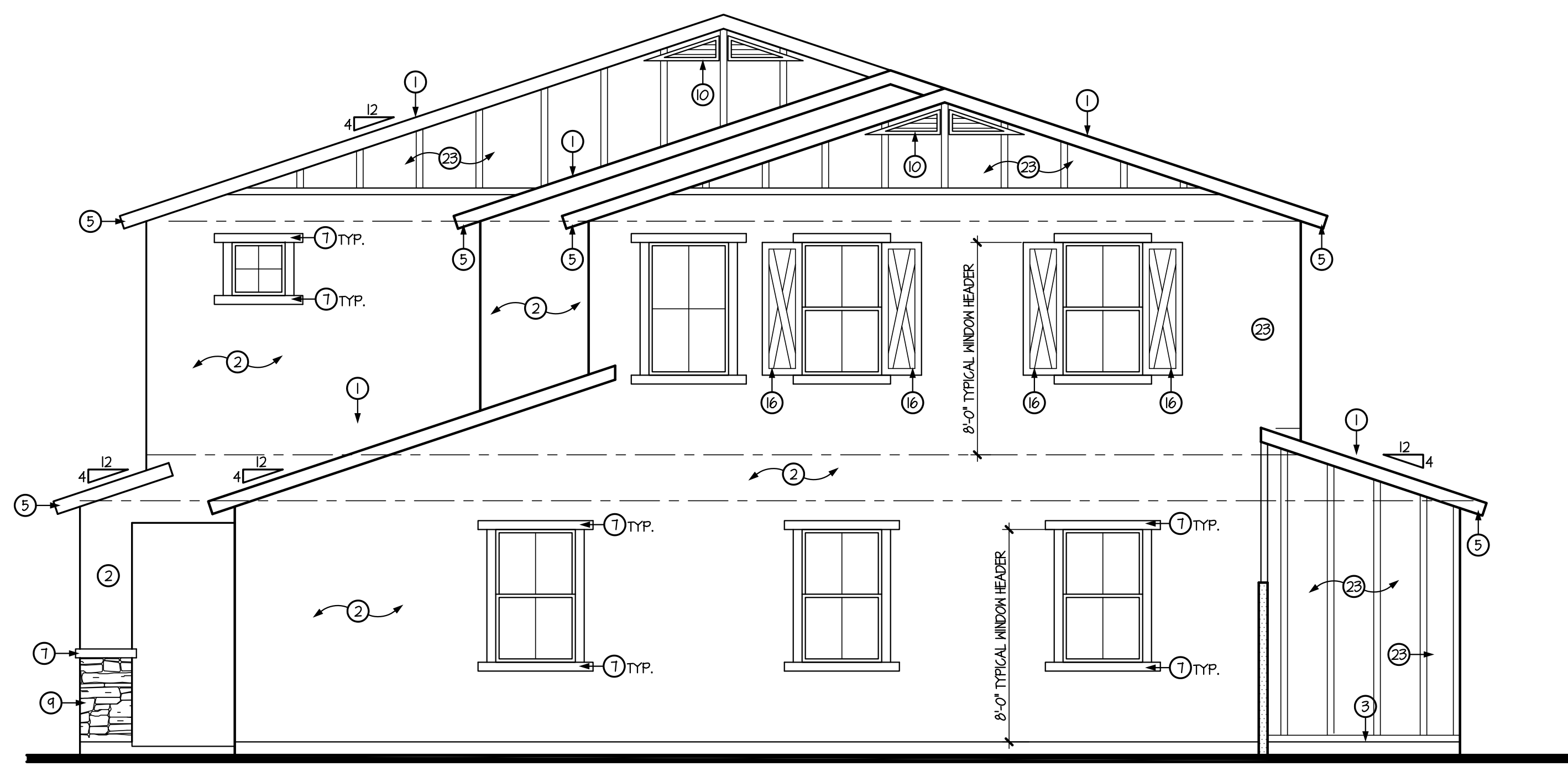
REVISION
 .
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PLAN:
2420

COMMUNITY:
RITTENHOUSE COMMONS 1
 Queen Creek, AZ

SHEET NO.
A3.1

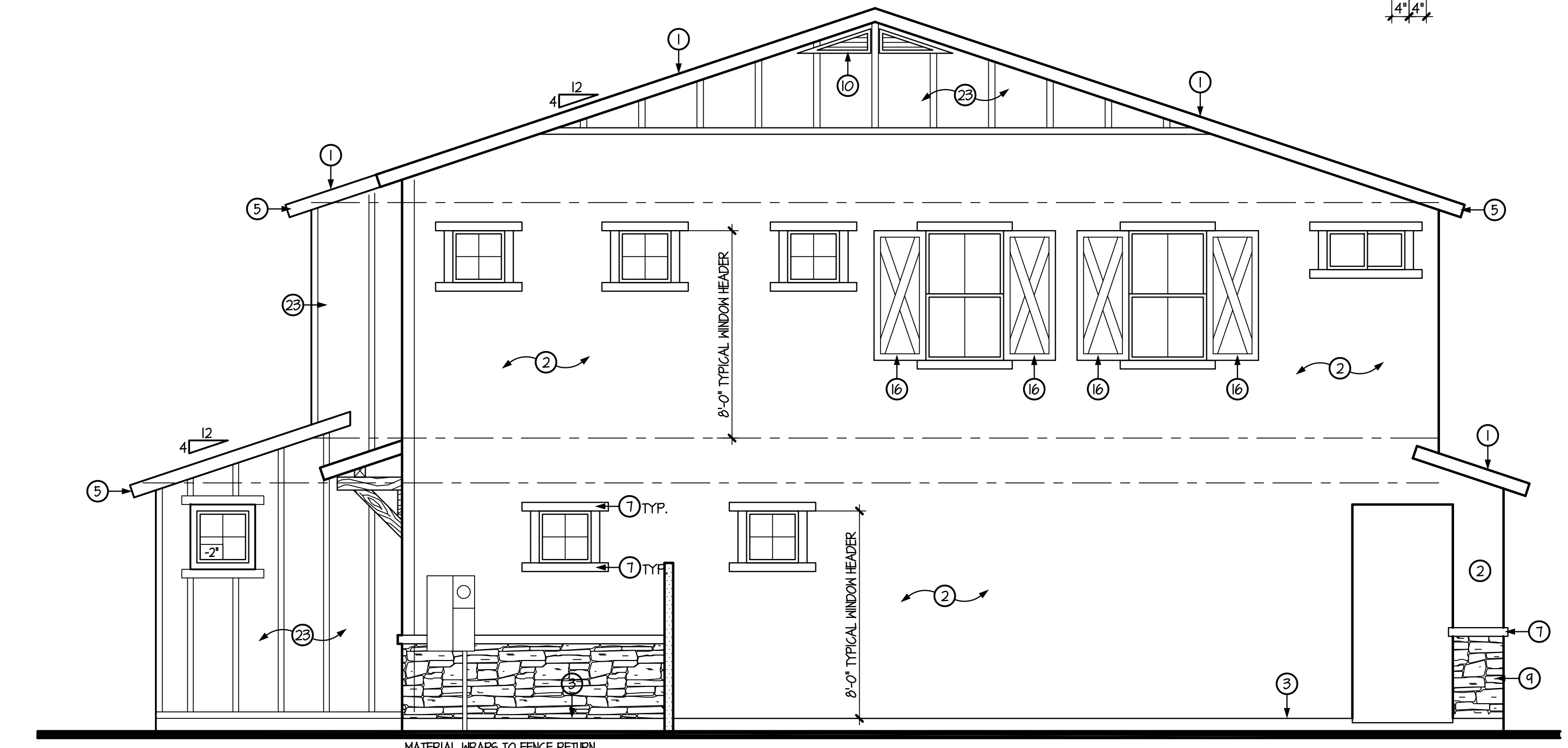
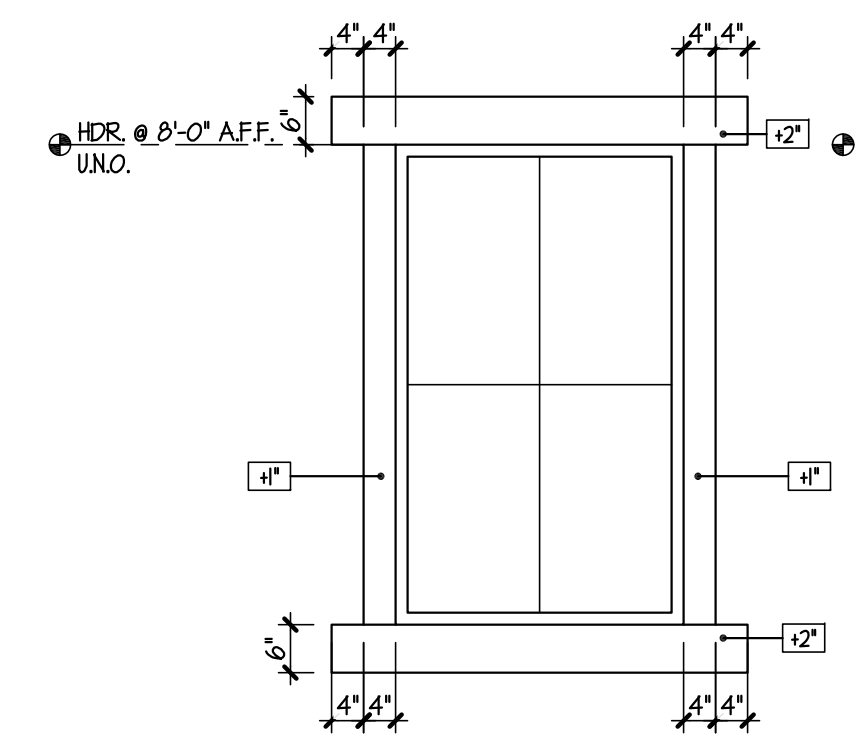
TOWN OF QUEEN CREEK



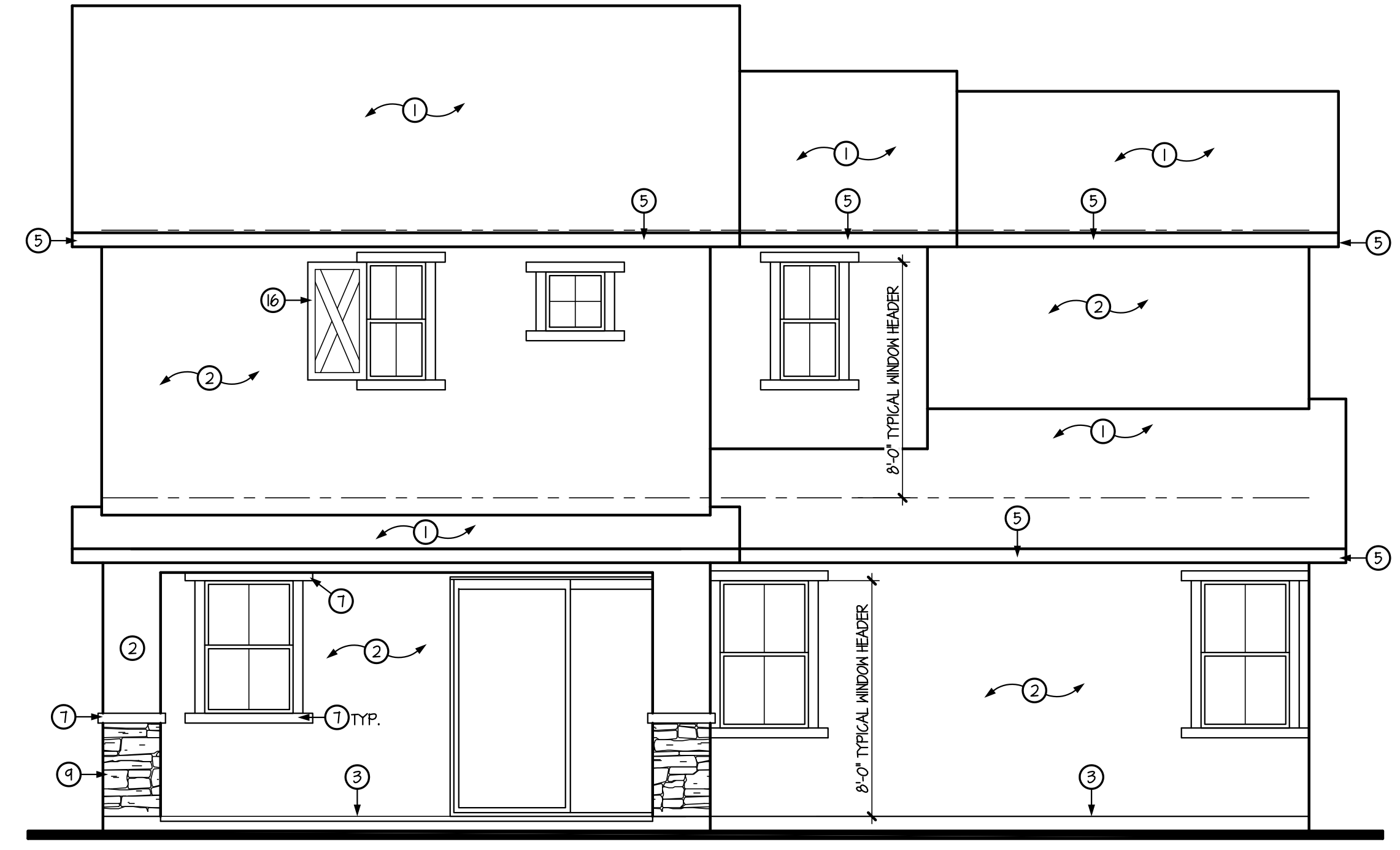
LEFT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'A'
SCALE: 1/4" = 1'-0"
WESTERN COTTAGE



RIGHT SIDE ELEVATION 'A'
SCALE: 1/4" = 1'-0"

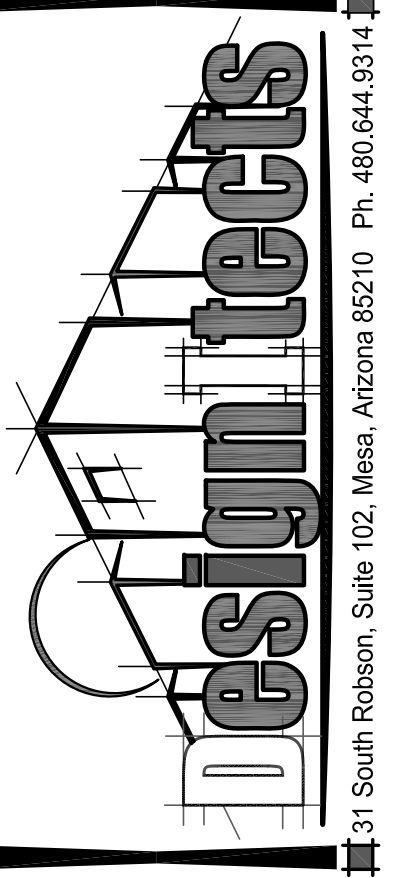


REAR ELEVATION 'A'
SCALE: 1/4" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL 4 PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" 4 PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE 4 A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS 4 IAPMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT 4 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R405.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA 4 SURPRISE.

KEYNOTES

NO	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	BARGE - SEE TYPICAL DETAIL
5	FASCIA - SEE TYPICAL DETAIL
6	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
9	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
10	LOUVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
11	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
12	DECORATIVE FAUX CORBELS
13	DECORATIVE TILE VENTS
14	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
15	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
16	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
18	RETURN WALL LOCATION
19	COACH LIGHT LOCATION
20	1x3 HARDIETRIM - (OR EQUAL)
21	5/4 HARDIETRIM - 2x6 (OR EQUAL)
22	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
25	ROUGH SAWN WOOD COLUMN/BEAM
26	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



DRAWING TITLE:
ELEVATION 'A' - WESTERN COTTAGE

DRAWN BY:
SHR

DATE:
01.12.22

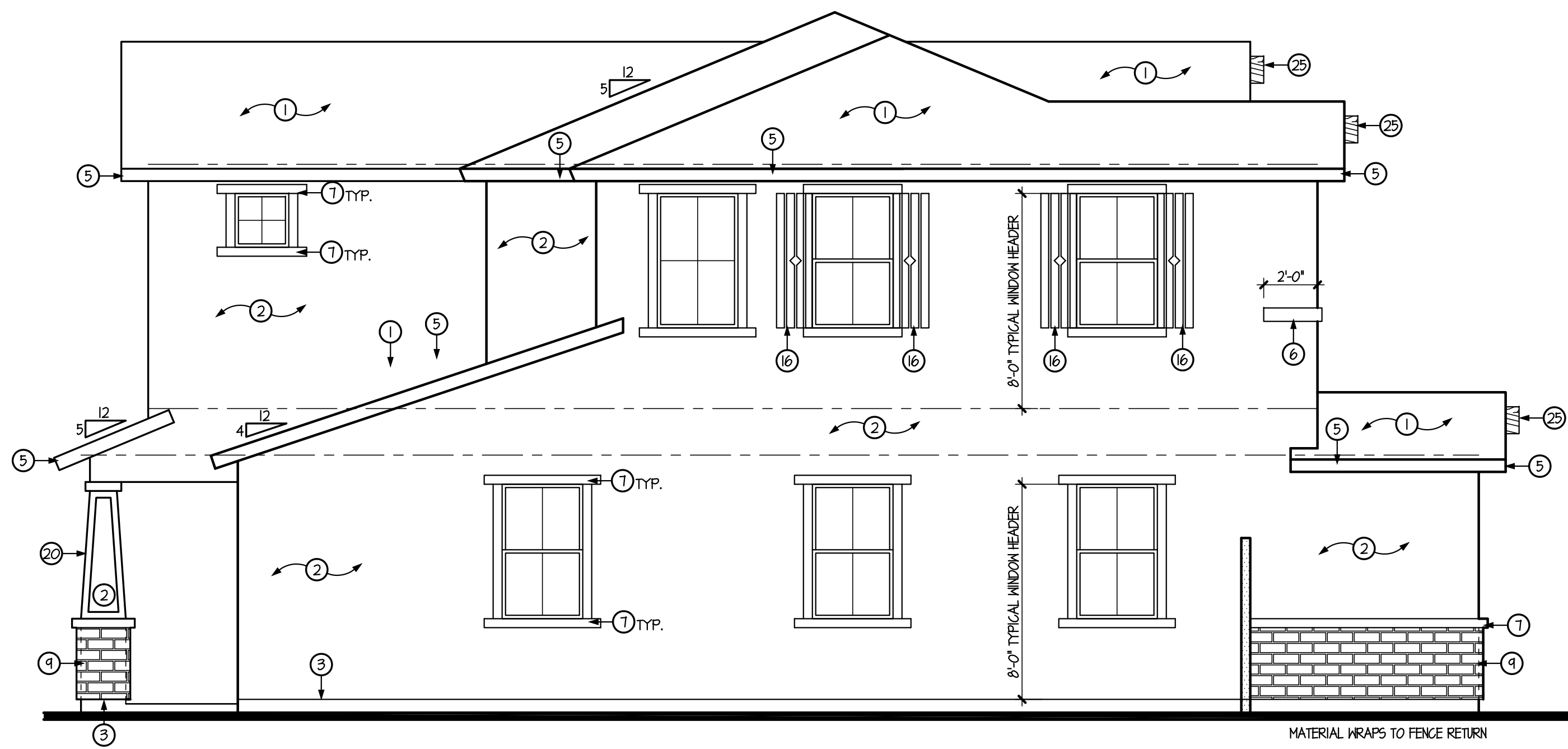
REVISION

PLAN:
2420

COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A4.0

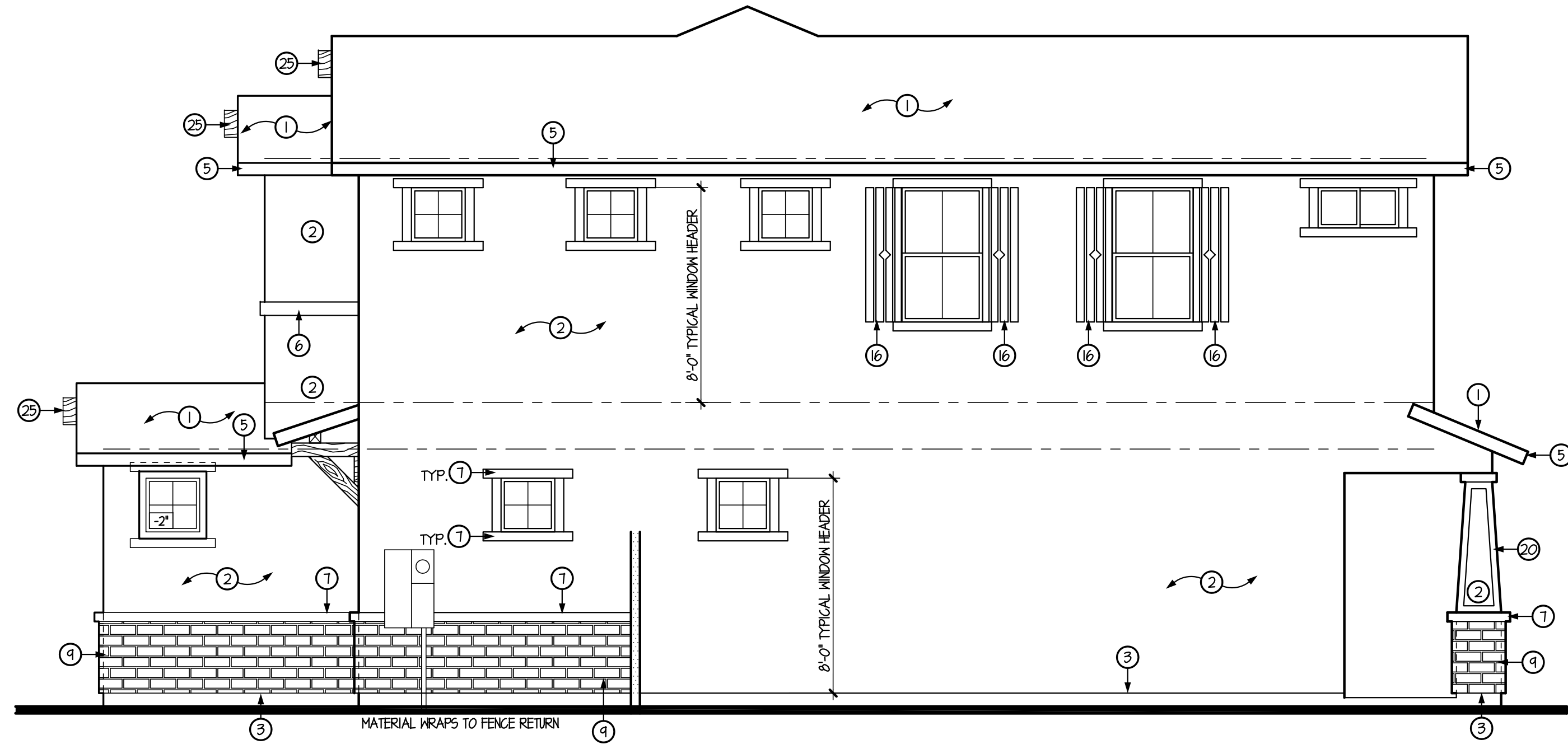
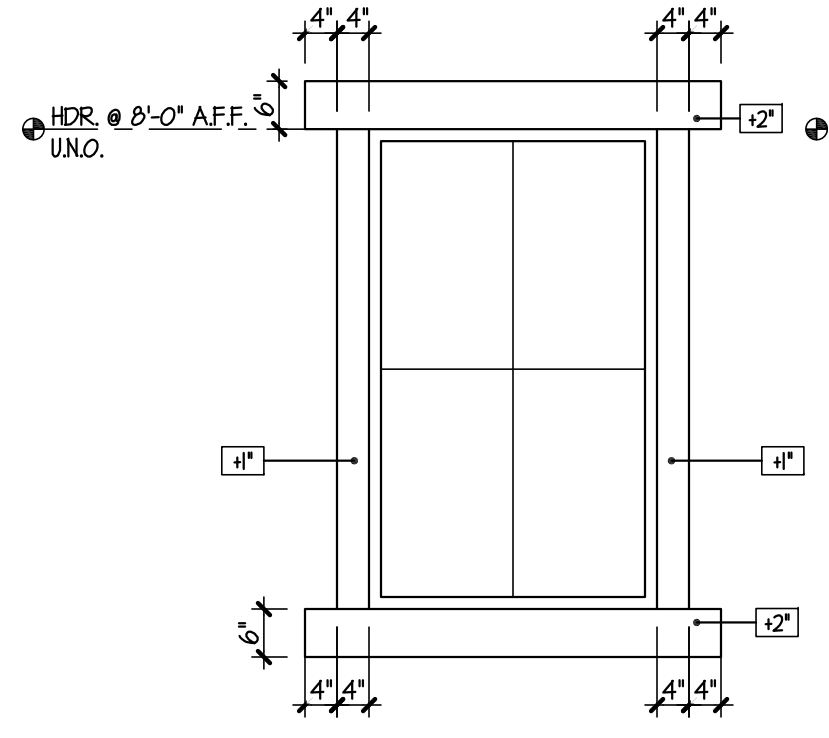
TOWN OF QUEEN CREEK



LEFT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'B'
SCALE: 1/4" = 1'-0"
CRAFTSMAN



RIGHT SIDE ELEVATION 'B'
SCALE: 1/4" = 1'-0"

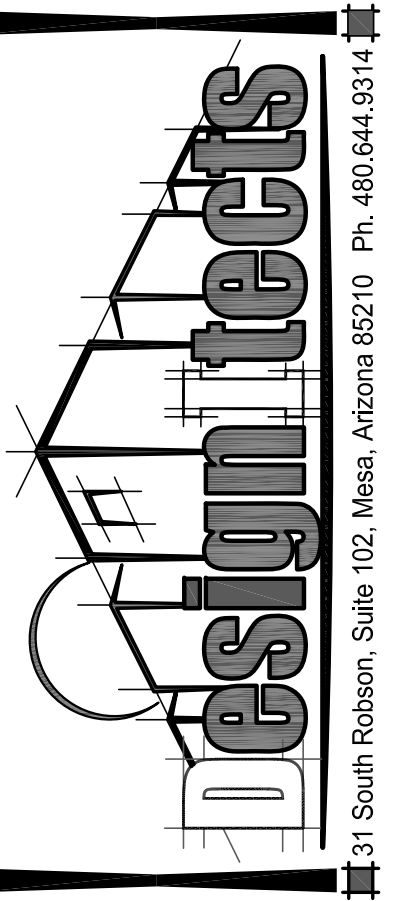


REAR ELEVATION 'B'
SCALE: 1/4" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1000
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R105.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

No.	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM OF FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	FASCIA - SEE TYPICAL DETAIL
5	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
6	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
7	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO. ON PLAN
8	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
9	LOUVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
10	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
11	DECORATIVE FAUX CORBELS
12	DECORATIVE TILE VENTS
13	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
14	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
15	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
16	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	RETURN WALL LOCATION
18	COACH LIGHT LOCATION
19	1x3 HARDIETRIM - (OR EQUAL)
20	5/4 HARDIETRIM - 2x6 (OR EQUAL)
21	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
22	JAMES HARDIE HARDIEPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	ROUGH SAWN WOOD COLUMN/BEAM
25	WROUGHT IRON RAILING @ 36" MIN. w/ SPINDLES @ 4" O.C.



DRAWING TITLE:
ELEVATION 'B' - CRAFTSMAN

DRAWN BY:
SHR

DATE:
01.12.22

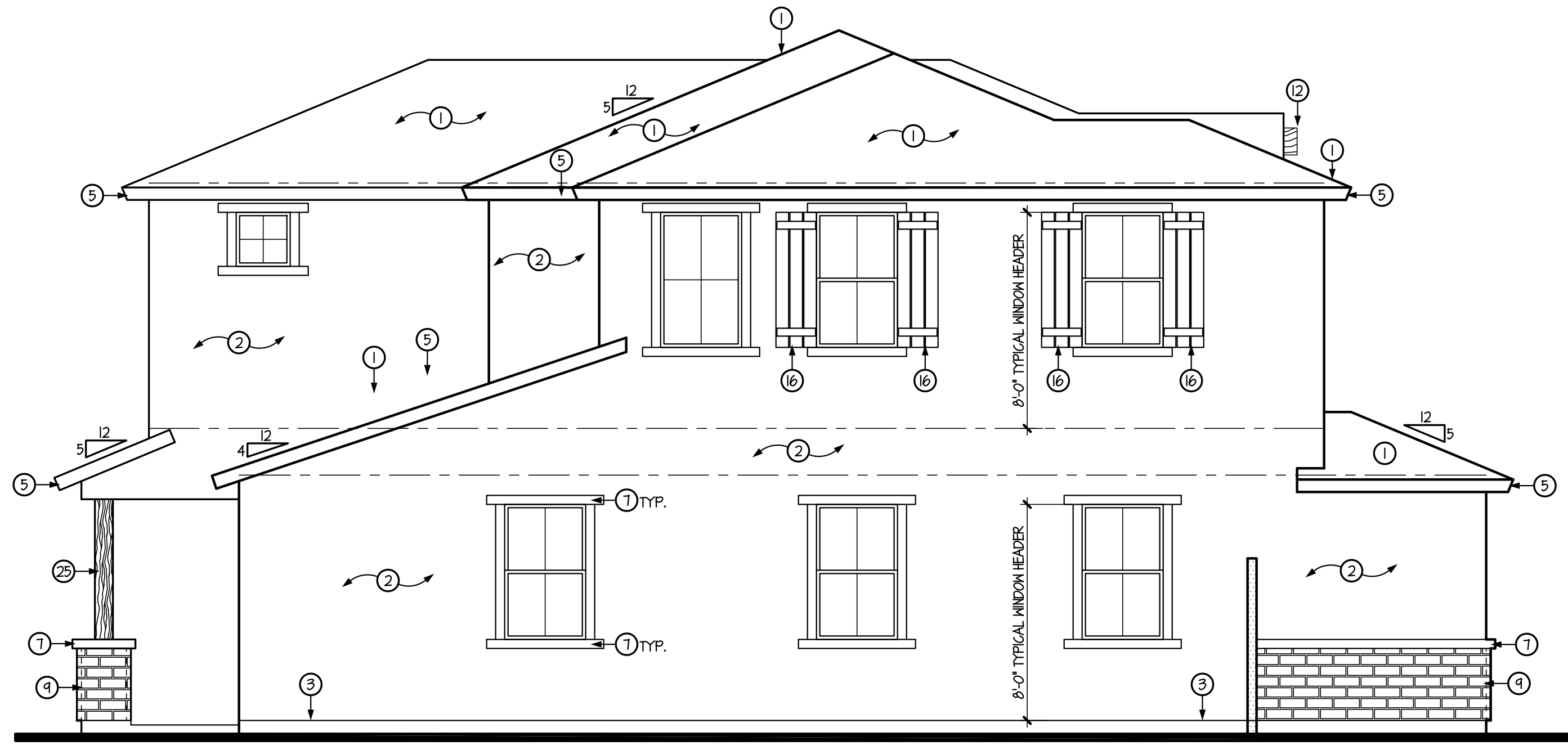
REVISION

PLAN:
2420

COMMUNITY:
RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO.
A4.1

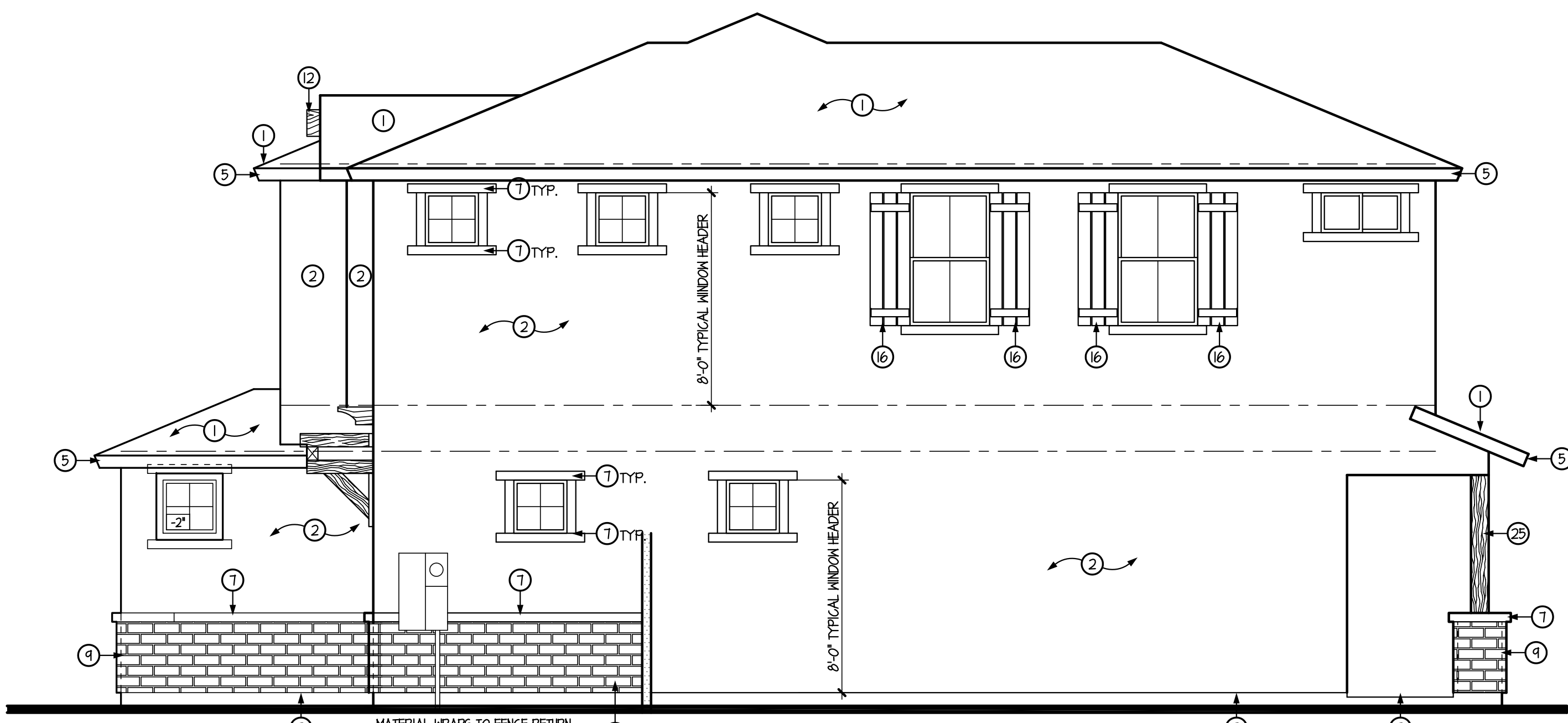
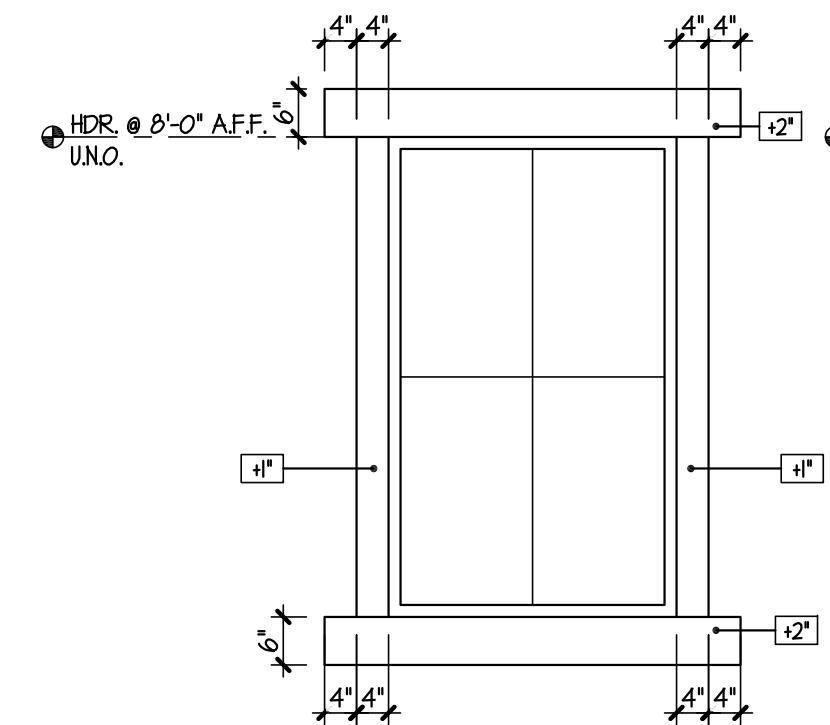
TOWN OF QUEEN CREEK



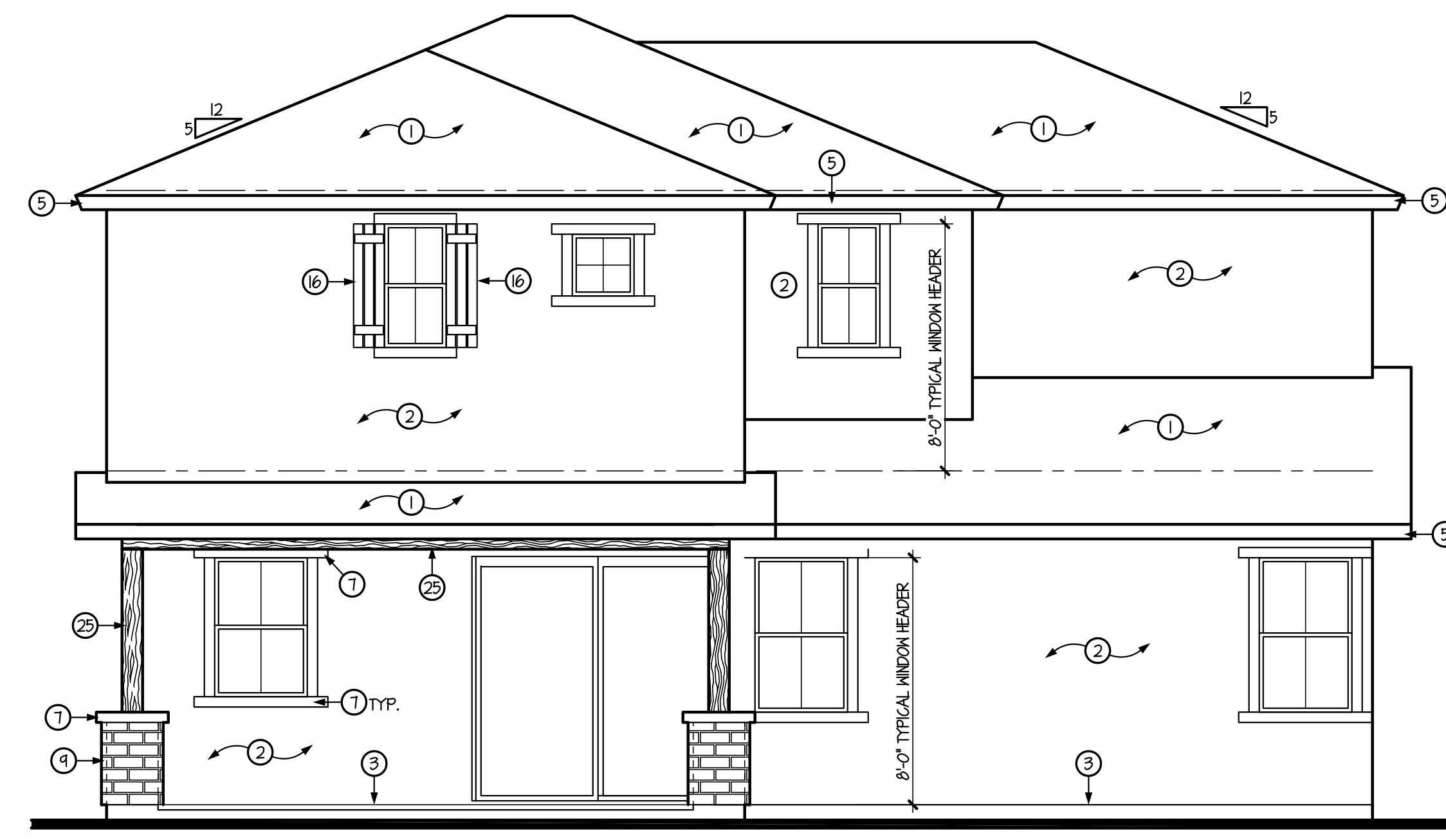
LEFT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'C'
SCALE: 1/4" = 1'-0"
TERRITORIAL RANCH



RIGHT SIDE ELEVATION 'C'
SCALE: 1/4" = 1'-0"

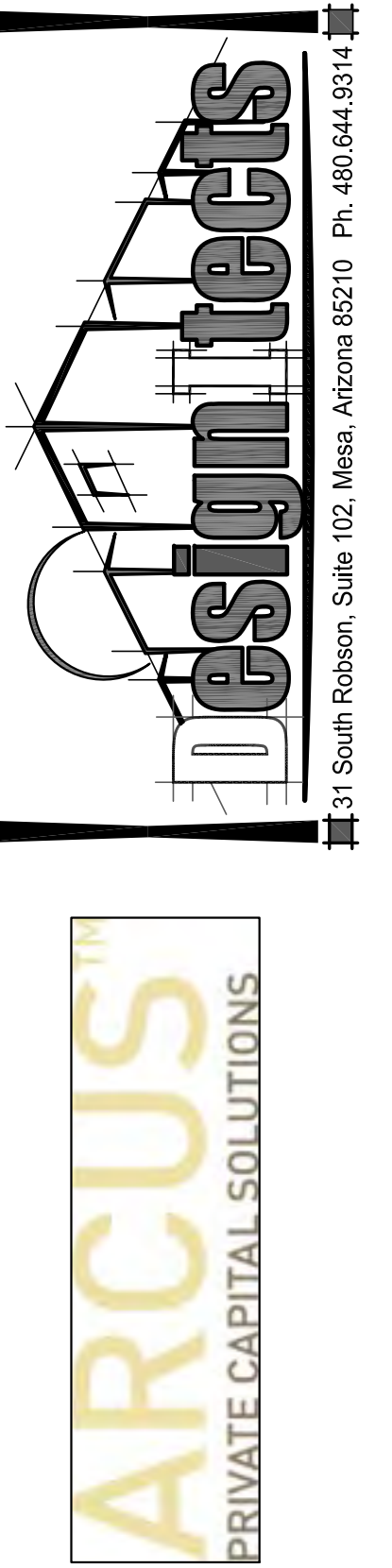


REAR ELEVATION 'C'
SCALE: 1/4" = 1'-0"

- GENERAL INFORMATION**
- WESTERN ONE-KOTE STUCCO WALL FINISH (APMO UES-ER #302) w/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-SATURATED RAG FELT.
 - FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. R103.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR.
 - KEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL w/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & APMO UES-ER #1400
 - BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER 50. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPECS. AND I.R.C. SEC. R105.9.
 - ALL WINDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL.
 - ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
 - GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL w/ ANY GARAGE DOOR DESIGN.
 - ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - UNO.
- NOTE:**
THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE.

KEYNOTES

No.	DESCRIPTION
1	CONCRETE TILE w/ 30# FELT PAPER
2	ONE-KOTE STUCCO SYSTEM w/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS), (APMO UES-ER #302)
3	KEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR - PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL
4	BARGE - SEE TYPICAL DETAIL
5	FASCIA - SEE TYPICAL DETAIL
6	2x6 FOAM POP-OUT w/ STUCCO FINISH - UNO, ON PLAN
7	2x4 FOAM POP-OUT w/ STUCCO FINISH - UNO, ON PLAN
8	2x2 FOAM POP-OUT w/ STUCCO FINISH - UNO, ON PLAN
9	MASTIC APPLIED STONE/BRICK VENEER (ESR-2548) - COMPLY w/ I.R.C. SEC. R103.1
10	LOUVERED METAL VENT w/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE
11	12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
12	DECORATIVE FAUX CORBELS
13	DECORATIVE TILE VENTS
14	LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR - FOLLOW VAULT LINE AT PATIO WHERE SHOWN - UNO.
15	ADDRESS PLATE LOCATION @ 54" w/ NUMBERS 3" HIGH
16	PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
17	24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT
18	RETURN WALL LOCATION
19	COACH LIGHT LOCATION
20	1x3 HARDIETRIM - (OR EQUAL)
21	5/4 HARDIETRIM - 2x6 (OR EQUAL)
22	JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL)
23	JAMES HARDIE HARDIPANEL VERTICAL SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
24	JAMES HARDIE HARDIEPLANK LAP SIDING - SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL)
25	ROUGH SAWN WOOD COLUMN/BEAM
26	DECORATIVE WROUGHT IRON



DRAWING TITLE: ELEVATION 'C' - TERRITORIAL RANCH

DRAWN BY: SHR
DATE: 01.12.22
REVISION

PLAN: 2420
COMMUNITY: RITTENHOUSE COMMONS 1
Queen Creek, AZ

SHEET NO. A4.2

TOWN OF QUEEN CREEK

- 5% PATIO AREA REQUIRED = 121 SF
 - PATIO AREA PROVIDED = 121 SF

LOT AREA:	2,830
GROSS BLDG. ENVELOPE:	1,834
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	87
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,747

- 5% PATIO AREA REQUIRED = 90 SF
 - PATIO AREA PROVIDED = 90 SF

LOT AREA:	2,100
GROSS BLDG. ENVELOPE:	1,280
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64
NET BUILDING ENVELOPE: (Excluding Patio and Porches)	1,216

- 5% PATIO AREA REQUIRED = 85 SF
 - PATIO AREA PROVIDED = 87 SF

LOT AREA:	2,100
GROSS BLDG. ENVELOPE:	1,280
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,216

SQUARE FOOTAGE TABLE 2420	
1st FLR. LIV:	1,140
2nd FLR. LIV:	1,280
GARAGE:	416
PATIO:	121
ENTRY:	28
TOTAL UNDER ROOF: 2,932	
1st FLR. FOOTPRINT:	1,705
LOT AREA:	2,830
LOT COV. %:	60 %

SQUARE FOOTAGE TABLE 1800	
1st FLR. LIV:	677
2nd FLR. LIV:	1,123
GARAGE:	428
PATIO:	90
PORCH:	79
TOTAL UNDER ROOF: 2,350	
1st FLR. FOOTPRINT:	1,274
LOT AREA:	2,100
LOT COV. %:	60 %

SQUARE FOOTAGE TABLE 1710	
1st FLR. LIV:	666
2nd FLR. LIV:	1,044
GARAGE:	413
PATIO:	87
ENTRY:	22
TOTAL UNDER ROOF: 2,198	
1st FLR. FOOTPRINT:	1,188
LOT AREA:	2,100
LOT COV. %:	56 %

SQUARE FOOTAGE TABLE 2420	
1st FLR. LIV:	1,140
2nd FLR. LIV:	1,280
GARAGE:	416
PATIO:	121
ENTRY:	28
TOTAL UNDER ROOF: 2,932	
1st FLR. FOOTPRINT:	1,705
LOT AREA:	2,830
LOT COV. %:	60 %

SQUARE FOOTAGE TABLE 1800	
1st FLR. LIV:	677
2nd FLR. LIV:	1,123
GARAGE:	428
PATIO:	90
PORCH:	79
TOTAL UNDER ROOF: 2,350	
1st FLR. FOOTPRINT:	1,274
LOT AREA:	2,100
LOT COV. %:	60 %

SQUARE FOOTAGE TABLE 1710	
1st FLR. LIV:	666
2nd FLR. LIV:	1,044
GARAGE:	413
PATIO:	87
ENTRY:	22
TOTAL UNDER ROOF: 2,198	
1st FLR. FOOTPRINT:	1,188
LOT AREA:	2,100
LOT COV. %:	56 %

- 5% PATIO AREA REQUIRED = 121 SF
 - PATIO AREA PROVIDED = 121 SF

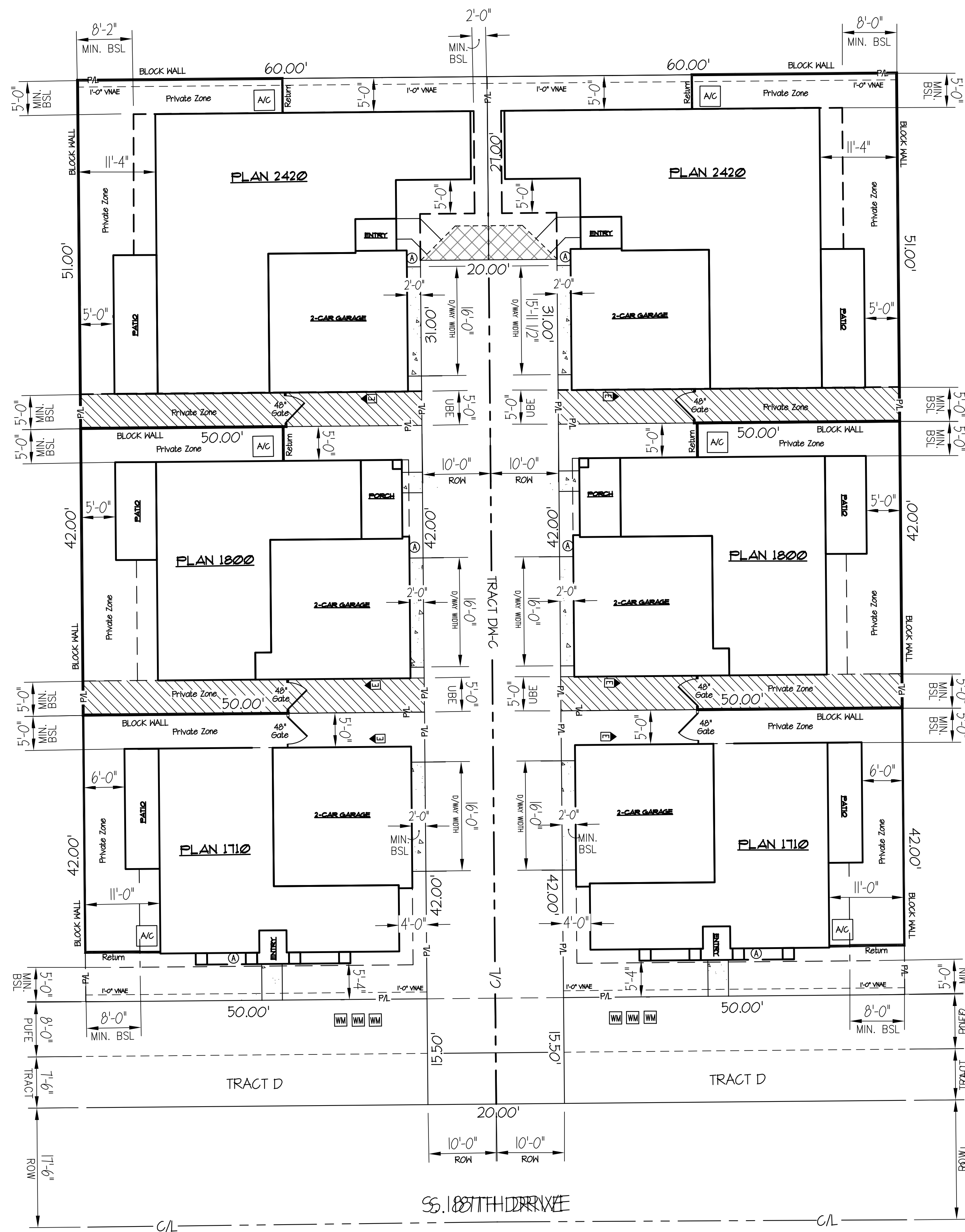
LOT AREA:	2,830
GROSS BLDG. ENVELOPE:	1,834
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	87
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,747

- 5% PATIO AREA REQUIRED = 90 SF
 - PATIO AREA PROVIDED = 90 SF

LOT AREA:	2,100
GROSS BLDG. ENVELOPE:	1,280
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64
NET BUILDING ENVELOPE: (Excluding Patio and Porches)	1,216

- 5% PATIO AREA REQUIRED = 85 SF
 - PATIO AREA PROVIDED = 87 SF

LOT AREA:	2,100
GROSS BLDG. ENVELOPE:	1,280
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,216



NOTE:
 ALL ON-LOT FENCING FACING A PUBLIC STREET SHOULD BE DESIGNED TO MATCH THE STANDARD PLAN'S PRIMARY COLORS OR THAT OF THE SUBDIVISION THEME WALL.



COMMUNITY: RITTENHOUSE & GERMANN
 LOT NUMBER: LOTS 17 - 22
 DATE DRAWN: 06/17/22

SETBACK REQUIREMENTS
 FRONT:2'-0" MIN.
 REAR:8'-0"
 SIDES:5'-0"
 MAX. BUILDING HEIGHT: 36'-0"
 MAX. LOT COVERAGE: 60%

- (A) ADDRESS PLATE
- (E) UTILITY LOCATION
- (WM) WATER METER

TYPICAL PLOT PLAN
 1'-0" = 20'-0"



S1/4 COR SEC 6, T.2S., R.7E.
FND BRASS CAP IN
HANDHOLE STAMPED
TOWN OF QUEEN CREEK

N00°43'41"W 2646.02'

W1/4 COR SEC 6, T.2S., R.7E.
NOTHING FOUND, NOTHING SET,
CALCULATED POSITION

BENJAMIN FRANKLIN CHARTER
SCHOOL-QUEEN CREEK
APN 304-62-938C

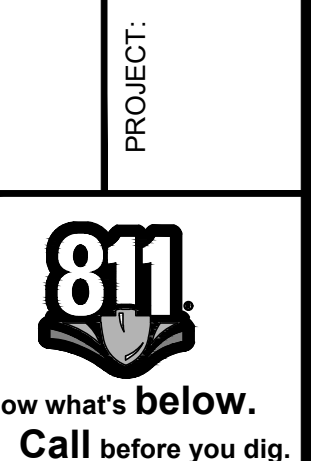
BENJAMIN FRANKLIN CHARTER
SCHOOL-QUEEN CREEK
APN 304-62-938C

THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN
IN AN APPROXIMATE WAY ONLY AND
HAVE NOT BEEN INDEPENDENTLY
VERIFIED BY THE OWNER OR ITS
REPRESENTATIVE. THE CONTRACTOR
SHALL DETERMINE THE EXACT
LOCATION OF ALL EXISTING UTILITIES
BEFORE COMMENCING WORK AND
AGREES TO BE FULLY RESPONSIBLE
FOR ANY AND ALL DAMAGES WHICH
MIGHT BE OCCASIONED BY THE
CONTRACTOR'S FAILURE TO EXACTLY
LOCATE AND PRESERVE ANY AND ALL
UNDERGROUND UTILITIES.

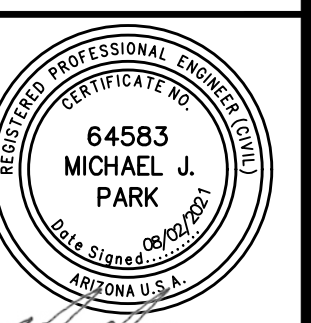
NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR. NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF THE
WORK, OR PERSONS ENGAGED IN THE
WORK, OR ANY NEARBY STRUCTURES,
OR OF ANY OTHER PERSONS.



PRELIMINARY PLAT
RITTENHOUSE & GERMANN
QUEEN CREEK, ARIZONA



REVISIONS:



PM. M.PARK
DR. S.STAMAN
JOB NO.
20004347
FILE NO.
20004347-02-PP01

PP01

SHEET NO.
2 OF 2

L:\2004\347 - rittenhouse & germann\chgs\plm\atw\pre-proj\atw\2004\347-02-pp01.dwg, Savedate: 8/22/2021 11:59 AM, Plotdate: 8/22/2021 12:16 PM, Copyright © 2021 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

CORPORATION OF PRESIDING
BISHOP LDS
314-05-988

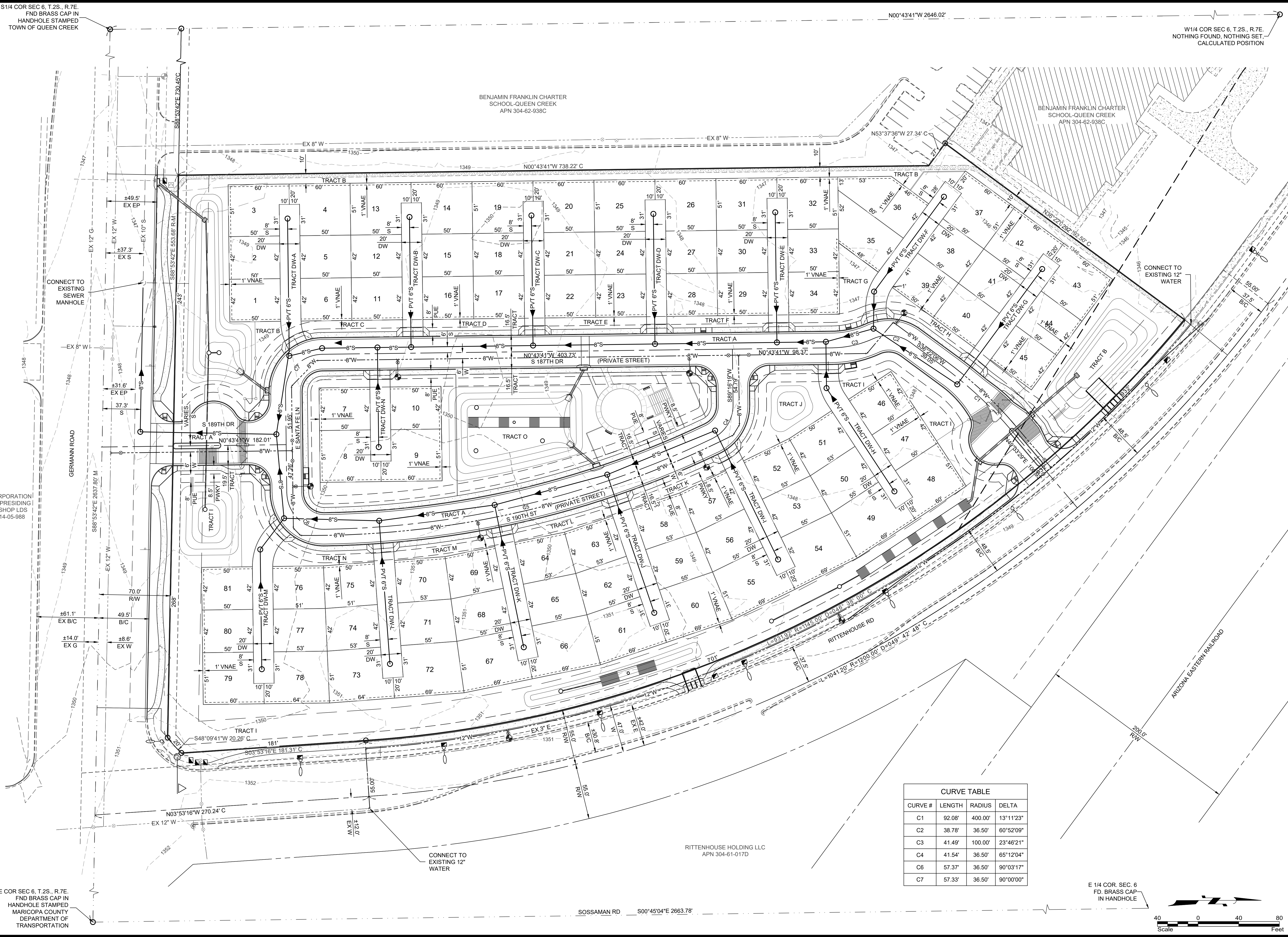
SE COR SEC 6, T.2S., R.7E.
FND BRASS CAP IN
HANDHOLE STAMPED
MARICOPA COUNTY
DEPARTMENT OF
TRANSPORTATION

SOSSAMAN RD S00°45'04"E 2663.78'

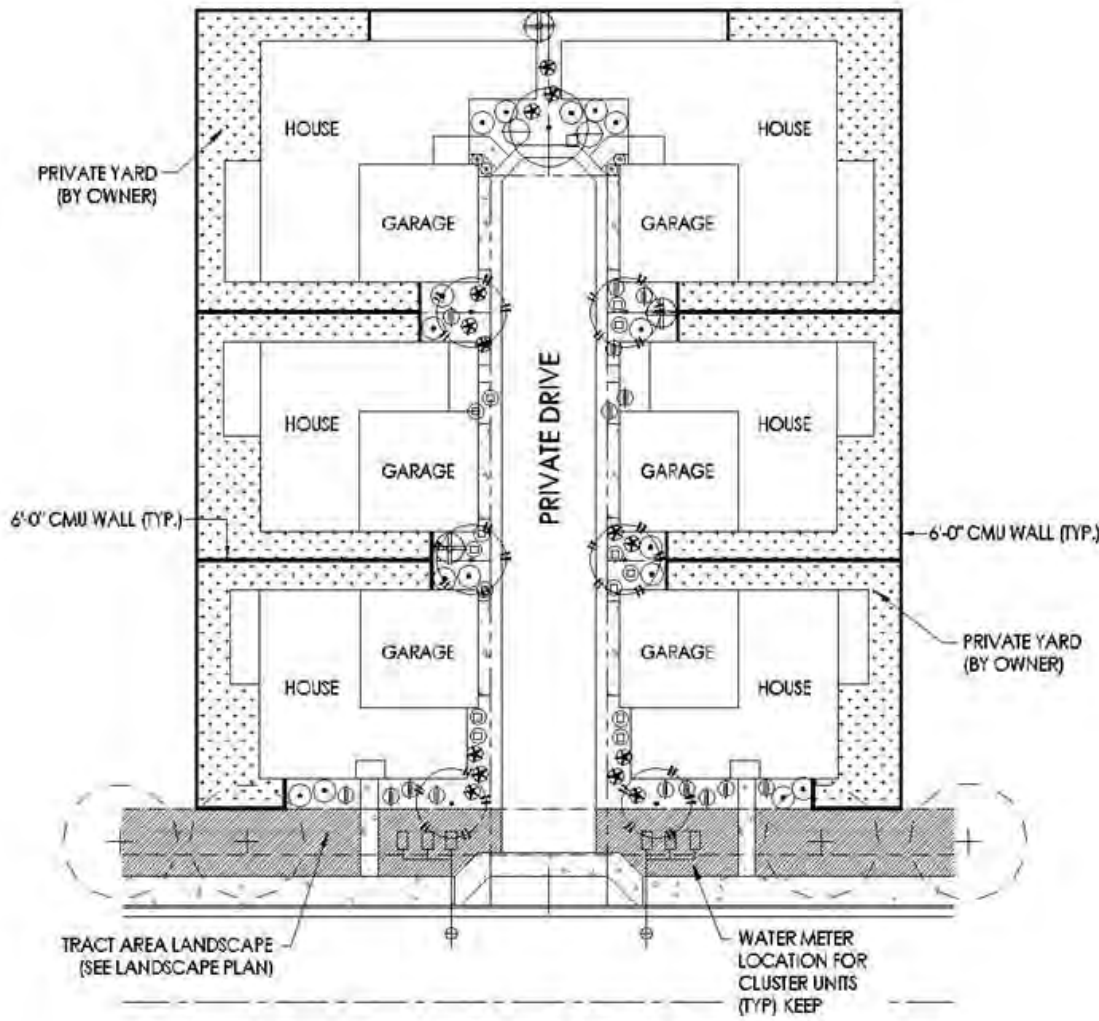
RITTENHOUSE HOLDING LLC
APN 304-61-017D

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	92.08'	400.00'	13°11'23"
C2	38.78'	36.50'	60°52'09"
C3	41.49'	100.00'	23°46'21"
C4	41.54'	36.50'	65°12'04"
C6	57.37'	36.50'	90°03'17"
C7	57.33'	36.50'	90°00'00"

E 1/4 COR. SEC. 6
FD. BRASS CAP
IN HANDHOLE



Landscape Typical Plot Plan:



PLANT SCHEDULE

TREES	SIZE / NOTES
ACACIA WILLARDIANA PAUL BLANCO	24" BOX, LOW BREAK, MATCHED
THEVETIA PERUVIANA YELLOW OLEANDER TREE	24" BOX, MULT- TRUNK, MATCHED
SHRUBS	
CASALPINA FULCHERIANA RED BIRD OF PARADISE	5 GAL
BRENDELPHIA MACULATA VALENTINE BUSH	5 GAL
LEUCOPHYLLUM LANGSHANIAE BIO BRAVO SAGE	5 GAL
OLEA EUROPAEA MONTRA LITTLE OLIVE DWARF OLIVE	1 GAL
ACCENTS + CACTI	
MALHIBERGIA CAPILLARIS REGAL MET DEER GRASS (ALT. RED YUCCA)	5 GAL
GROUNDCOVER	
BRENDELPHIA GLABRA MIDNEW GOLD GOLD BUN BUSH	1 GAL
LANTANA NEW GOLD NEW GOLD LANTANA	1 GAL
HIRT MATERIALS	
DECOMPOSED GRANITE PAINTED DESERT COLOR	2 MM/UG

CLUSTER UNIT IRRIGATION NOTES

UPON COMPLETION OF CLUSTER UNIT CONTRACTOR IS TO INSTALL IRRIGATION LATERALS TO CONNECT WITH TRACT AREA STUB-OUTS AS SHOWN ON IRRIGATION PLANS. CONTRACTOR IS TO MATCH ALL PVC LATERAL SLEEVING, EMITTER AND FLUSH CAP SPECIFICATIONS AS SHOWN ON IRRIGATION PLAN SCHEDULE.

TRADITIONAL

Regal

Steel | Thickness: 2"
Non-insulated with optional polystyrene vinyl-backed insulation

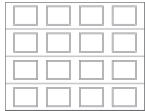
MODEL PATTERNS AND LAYOUTS

Shaker-Flat



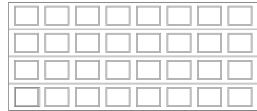
Availability

8' x 8'



Shaker-Flat Short

16' x 8'



Shaker-Flat Short

Regal N24 >

Regal N24 >



Shaker-Flat Long



Shaker-Flat Long

Classic



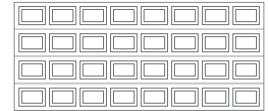
Availability

8' x 8'



Classic CC/Short

16' x 8'



Classic CC/Short

Regal 24, N24, N25, N24C >

Regal N24, N25, N24C >



Classic XL/Long



Classic XL/Long

Western Cottage



Classic Short, 9' x 7', Brown, windows with Cascade Short Inserts

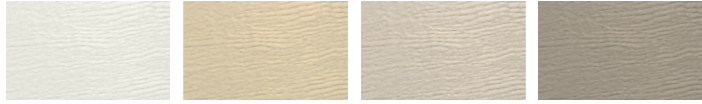


Shaker-Flat Short, 9' x 8', White, windows with Stockton Short Inserts

< Cover: Shaker-Flat Long, 16' x 8', Dark Walnut, windows with Richmond Long Inserts

COLORS

Standard



Ice White / White

Almond

Sahara

Claystone / Sandstone



Moka Brown / Brown

Terrastone

Premium



Black Ice

Cherry

Dark Walnut

CONSTRUCTION

Single-layer: steel OR Double-layer: steel + insulation

1 3 options of outside layer: steel, heavy duty steel or commercial grade steel for high durability

2 2" tongue-and-groove meeting rail to provide a weathertight seal between sections, and rails are hemmed the entire length of the section for added strength and safety

3 20-gauge galvanized end and center stiles to increase strength and durability

4 Polystyrene vinyl-backed insulation available as an option



Interior view
24 / N24 / N25



Wind load reinforcement available as an option for the 24 and N24.

8' high door layouts construction

Depending on the construction chosen, the number of sections varies for an 8' door.



Regal 24 / N24 / N25

Regal N24C

WINDOWS

Types of Glass

Privacy Level: **X/s**



Satin

Pinhead

Graylite 2

Clear

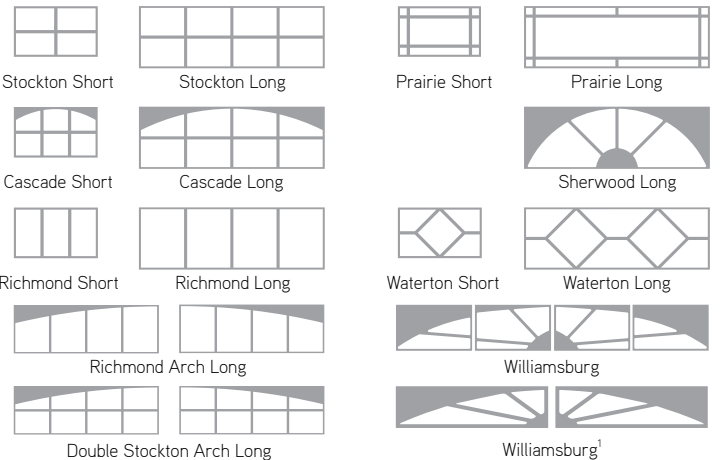
Regal 24, N24, N25 = 20" x 13" and 41" x 16"

Regal N24C = 21" x 13" and 40" x 13". Clear glass available only.

Decorative inserts¹



Decorative inserts are installed on the exterior side of the window (easy to remove).



¹ To know what size decorative inserts are available for each door design and construction, visit garaga.com/designcentre.

SIZES

Standard widths from 8' to 20' for the 24 and N24; 8' to 18' for the N24C and N25, in 1" increments. Heights from 6'6" to 8', in 3" increments. See your garage door dealer for more details on oversized doors available.

WARRANTY

Door: 15 years (limited)
Bolted Hardware: 1 year

Weatherstripping: 1 year



IN-GARAGE DELIVERY READY
with a reliable Garaga garage door!

Find out the must-haves and the steps to get started. Keep your online deliveries safe, visit garaga.com/ingaragedelivery or scan the QR code.



GARAGA® **LiftMaster** myQ®

CONTEMPORARY

Regal

Steel | Thickness: 2"
Non-insulated with optional polystyrene vinyl-backed insulation

MODEL PATTERNS AND LAYOUTS

Flush

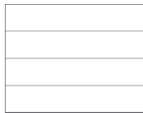


Availability

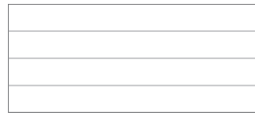
8' x 8'

16' x 8'

Regal 24, N24 >



Flush



Flush

Farmhouse

FOR A CONTEMPORARY LOOK
ADD A WINDOW LAYOUT



Window layout

Shaker-Flat Long, 9' x 7', Black Ice, window layout: Left-side Harmony



Left-side Harmony



Outer Harmony



Right-side Harmony

Available for Flush, Shaker-Flat Long and Classic Short designs.

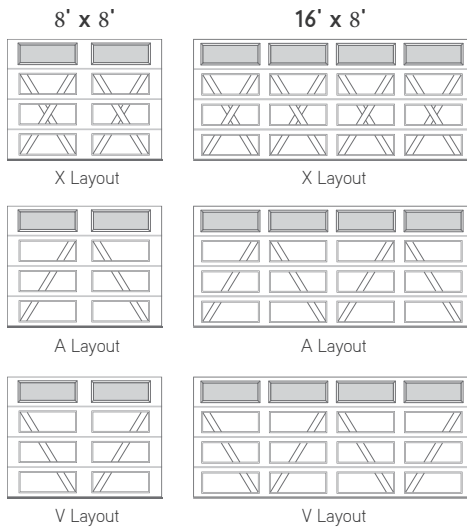
Visit garaga.com/windowlayouts to see all the available options or scan the QR code.



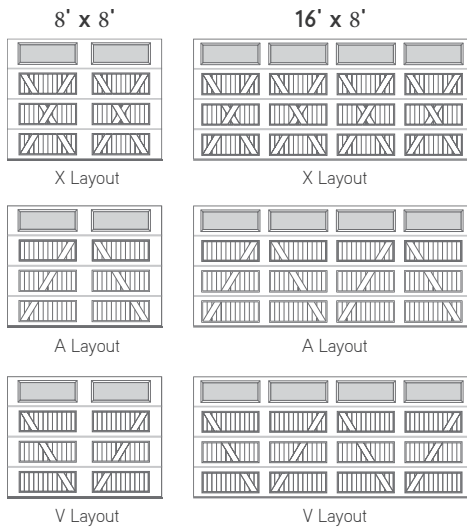
Flush, 10' x 8' and 16' x 8', White, window layout: Left-side Harmony

**CARRIAGE HOUSE STYLE
INLAY LAYOUTS**

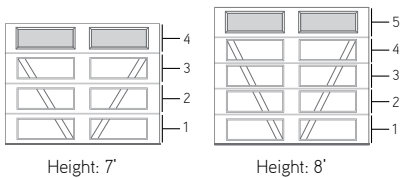
Flat base



Plank base



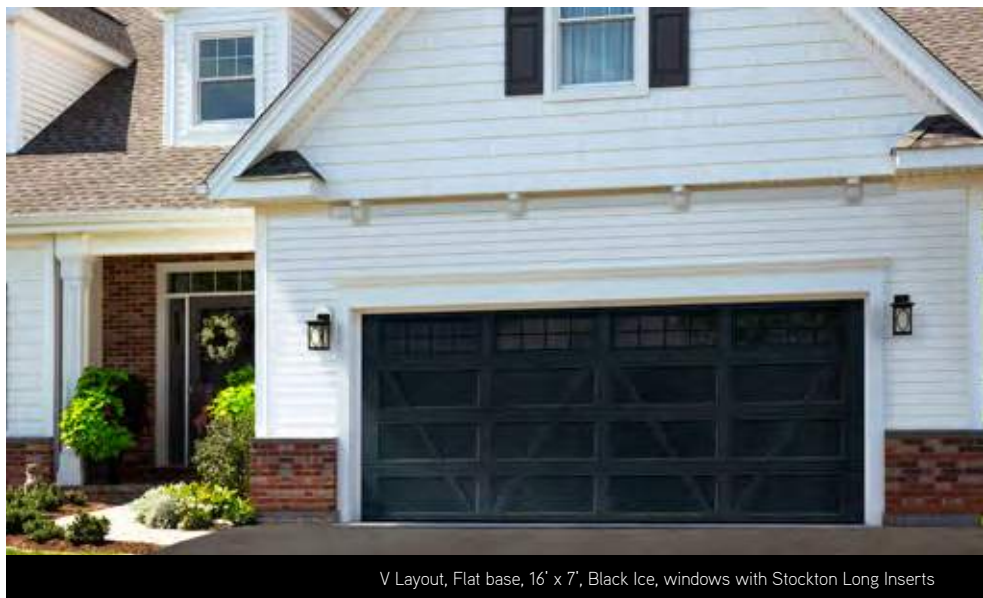
8' HIGH DOOR LAYOUTS



The 8' high doors are always built with 5 sections



A Layout, Flat base, 10' x 8', Sahara, windows with Richmond Long Inserts



V Layout, Flat base, 16' x 7', Black Ice, windows with Stockton Long Inserts

STEEL | THICKNESS: 2"

Find the design you love among the ten sensational ones available.

COLORS¹

Standard



White



Sandstone



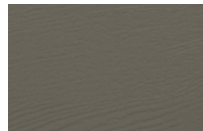
Sahara



Almond



Brown



Terrastone

Premium



Black Ice



Cherry



Dark Walnut

¹ Same colors are available for the inlays.

DECORATIVE HARDWARE

Handmade wrought iron texture

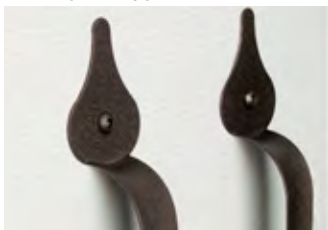


Lis



Door knockers

Slightly bumpy texture



Standard



Cottage

SIZES

Standard widths, in 1" increments: from 8' to 20' for Vantage and Regal N24 constructions; from 8' to 18' for Regal N25 construction. See your garage door dealer for more details on oversized doors available.

TYPES OF GLASS (41" x 16")²

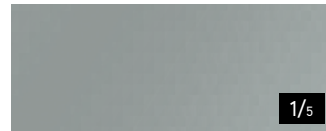
Privacy Level: **X/5**



Satin



Pinhead



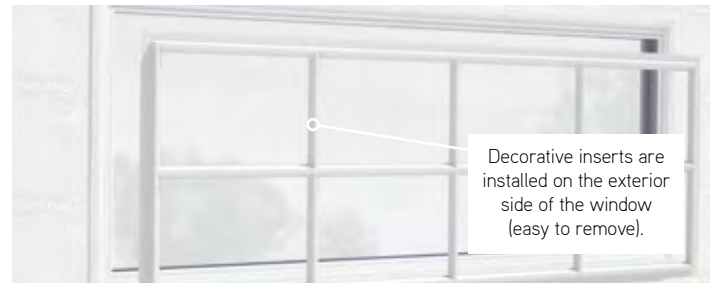
Graylite 2



Clear

² Double-pane glass available for the Vantage construction.

Decorative inserts



Stockton Long



Prairie Long



Double Stockton Arch Long



Cascade Long



Sherwood Long



Richmond Arch Long



Richmond Long



Waterton Long

WARRANTY

Vantage

Door sections: limited lifetime

Weatherstripping: 1 year

Bolted Hardware: 1 year

Windows: 10 years against seal defects

1 year for thermal break

Regal

Door: 15 years (limited)

Weatherstripping: 1 year

Bolted Hardware: 1 year

CONSTRUCTIONS

VANTAGE

Triple-layer: steel + insulation + steel



- 1** 26-gauge pre-painted galvanized steel for high durability
- 2** 2" tongue and groove meeting rail to provide a weather-tight seal between sections, and rails are hemmed the entire length of the section for added strength and safety
- 3** Polystyrene insulation pressure bonded between two layers of steel for energy efficiency
- 4** 20-gauge white baked-on paint finish end stiles for a nice clean look
- 5** Full length reinforcing plates to solidly attach hinges and struts



The Garaga Wind Load Option is only available for specific regions. Talk to your local garage door dealer for more information.

IMPORTANT - Exterior face: light woodgrain finish. Interior face: stucco finish. Door interior: regardless of the color chosen, the inside is always White (door, window frames and inserts).

REGAL N24 & REGAL N25

Single-layer: steel OR Double-layer: steel + insulation



- 1** 2 options of outside layer: heavy duty steel or steel for high durability
- 2** 2" tongue and groove meeting rail to provide a weather-tight seal between sections, and rails are hemmed the entire length of the section for added strength and safety
- 3** 20-gauge galvanized end and center stiles to increase strength and durability
- 4** Polystyrene vinyl-backed insulation available as an option

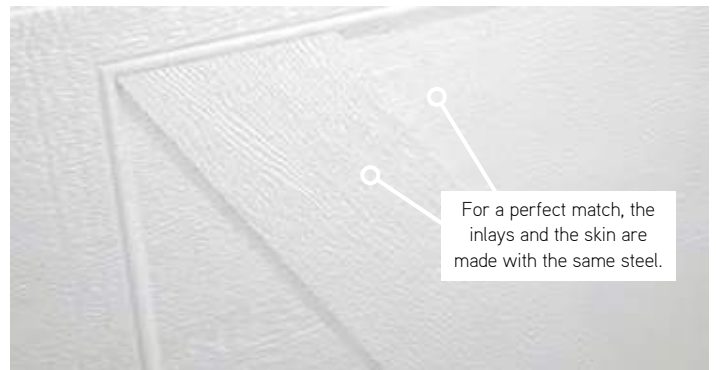


The Garaga Wind Load Option is only available for specific regions. Talk to your local garage door dealer for more information.

CONSTRUCTION SUMMARY

	VANTAGE	REGAL N24	REGAL N25
CONSTRUCTION	Triple-layer	Single-layer or Double-layer	
OUTSIDE LAYER	Steel	Heavy duty steel	Steel
INSULATION	Polystyrene	Non-insulated with optional polystyrene vinyl-backed insulation	
THICKNESS	2"	2"	
INLAY LAYOUTS			
Flat Base	•	•	
Plank Base	•	•	•
COLORS			
White	•	•	•
Sandstone	•	•	•
Sahara	•	•	•
Almond	•	•	•
Brown	•	•	
Terrastone	•	•	
Black Ice	•	•	
Cherry	•	•	
Dark Walnut	•	•	
WIND LOAD	Optional	Optional	N/A
DOUBLE-PANE GLASS	Optional	N/A	N/A

STEEL INLAYS



LiftMaster® Quiet and reliable garage door openers

ELITE SERIES®



- Ultra quiet
- Belt or chain drive
- ¾ HP, AC or DC power
- Integrated camera for some models



- Ultra quiet
- Jackshaft
- DC power

PREMIUM SERIES®



- Quiet
- Belt or chain drive
- ½ HP, AC or DC power

CONTRACTOR SERIES®

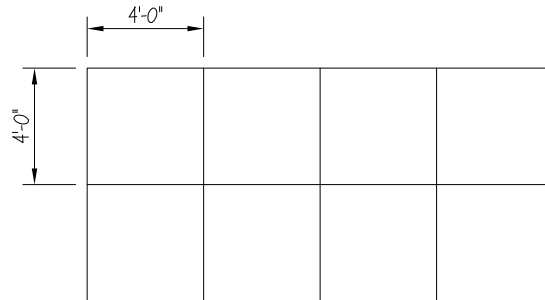


- Quiet
- Belt or chain drive
- ½ HP, AC or DC power

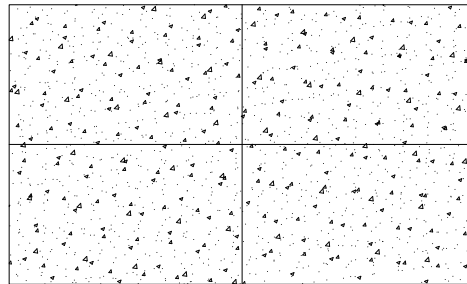


Consult garaga.com/res-openers or scan the QR code to view all available openers and accessories.

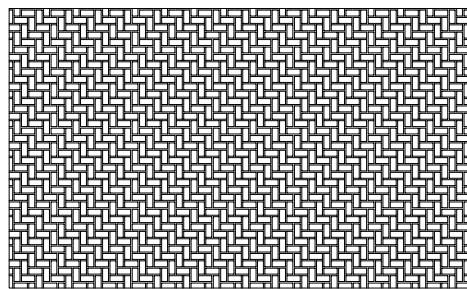
DRIVEWAY MATERIALS AND OPTIONS



SCORED CONCRETE SURFACE



SALT FINISH SURFACE



*BRICK PAVERS
I.E., ADOBE BROWN, DESERT ROSE*

BUILDER:

ARCUS™
PRIVATE CAPITAL SOLUTIONS

COMMUNITY: RITTENHOUSE & GERMANN

DESIGNER:



31 South Robson, Suite 102, Mesa, AZ 85210 Ph. 480.644.9314

**LOT FIT ANALYSIS
RITTENHOUSE COMMONS 1**

Typical Building Setbacks

Front : 2'-0"
Rear: 8'-0"
Side: 5'-0" / 5'-0" UBE

Plan Dimensions

Plan 1710 = 31'-4" x 40'-0"
Plan 1800 = 32'-0" x 40'-0"
Plan 2420 = 41'-0" x 49'-6"

Legend

Y = Plan fits
N = Plan does not fit

Lot Coverage Percentages

Plan 1710 = 56%
Plan 1800 = 60%
Plan 2420 = 60%

DATE: 6/17/2022

Lot Information											Plan Series			
Lot #	Lot Sq. Ftg.	Staggered Front Setback	Front Center End	Lot Coverage	Sewer Location	Street Light	Elect. Transformer	Water Meter	Electrical	ADA Ramp	D/Way Handing	Plan 1710	Plan 1800	Plan 2420
1	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y
2	2,100	N/A	Center	60.70%	Centered						Rear Load	Y	Y	Y
3	2,830	N/A	End	60%	Centered						Rear Load	Y	Y	Y
4	2,830	N/A	End	60%	Centered						Rear Load	Y	Y	Y
5	2,100	N/A	Center	60.70%	Centered						Rear Load	Y	Y	Y
6	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y
7	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y
8	2,830	N/A	End	60%	Centered						Rear Load	Y	Y	Y
9	2,830	N/A	End	60%	Centered						Rear Load	Y	Y	Y
10	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y
11	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y
12	2,100	N/A	Center	60.70%	Centered						Rear Load	Y	Y	Y
13	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
14	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
15	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
16	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
17	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
18	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
19]	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
20	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
21	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
22	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
23	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
24	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
25	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
26	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
27	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
28	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
29	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
30	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
31	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
32	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
33	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
34	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
35	2,863	N/A	Front	44.60%	Centered						Auto Court	Y	Y	Y
36	2,973	N/A	Center	42.80%	Centered						Auto Court	Y	Y	Y
37	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
38	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
39	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
40	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
41	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
42	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
43	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
44	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
45	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
46	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
47	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y
48	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
49	3,104	N/A	End	55.00%	Centered						Auto Court	Y	Y	Y
50	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
51	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
52	2,267	N/A	Front	52%	Centered						Auto Court	Y	Y	Y
53	3,124	N/A	Center	41%	Centered						Auto Court	Y	Y	Y
54	3,124	N/A	End	55%	Centered						Auto Court	Y	Y	Y
55	3,102	N/A	End	55%	Centered						Auto Court	Y	Y	Y
56	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
57	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
58	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
59	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
60	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y
61	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y
62	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
63	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
64	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
65	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
66	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y
67	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y
68	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
69	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
70	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y
71	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y
72	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y
73	2,925	N/A	End	58%	Centered						Auto Court	Y	Y	Y
74	2,182	N/A	Center	58%	Centered						Auto Court	Y	Y	Y
75	2,127	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
76	2,127	N/A	Front	56%	Centered						Auto Court	Y	Y	Y
77	2,182	N/A	Center	58%	Centered						Auto Court	Y	Y	Y
78	2,925	N/A	End	58%	Centered						Auto Court	Y	Y	Y
79	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y
80	2,100	N/A	Center	60%	Centered						Auto Court	Y	Y	Y
81	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y

Rittenhouse Commons One

A Elevations

B Elevations

C Elevations

Scheme	1	2	3	4	5	6	7	8
Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake
Board and Batton	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Main Body	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion
Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake
Shutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo
Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo

Scheme	9	10	11	12	13	14	15	16
Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake
Board and Batton	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake
Main Body	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion
Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake
Shutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo
Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo

Scheme	17	18	19	20	21	22	23	24
Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake
Shingles	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion
Main Body	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion
Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake
Shutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo
Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo
Coronado Stone	