Requesting Department:

Development Services



TO: Planning and Zoning Commission

- THRU: Brett Burningham, Development Services Director
- FROM: Erik Swanson, Planning Administrator Steven Ester, Planner II
- RE: Discussion and Possible Action on P22-0074 Rittenhouse Commons 1 Residential Design Review. Greg Davis, of iPlan Consulting, is requesting approval of three (3) new standard plans with three (3) elevations each to be constructed on 81 lots in the Rittenhouse Commons 1 subdivision, located at the northwest corner of Rittenhouse and Germann roads.

DATE: July 27, 2022

STAFF RECOMMENDATION

Staff recommends approval of P22-0074 Rittenhouse Commons 1 Residential Design Review, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P22-0074 Rittenhouse Commons 1 Residential Design Review, subject to the Conditions of Approval included in this report.

SUMMARY

Greg Davis, of iPlan Consulting, is requesting approval of three (3) new standard plans with three (3) elevations each to be constructed on 81 lots in the Rittenhouse Commons 1 subdivision, located at the northwest corner of Rittenhouse and Germann roads. All of the lots are zoned MDR/PAD (Medium Density Residential). The proposed plans consist of 31', 32', and 41' wide product on 42' x 50' and 51' x 60' lots. Floor plans range in size from approximately 1,700 square feet (total livable) to 2,420 square feet (total livable).

HISTORY

December 1, 2021: The Town Council approved Ordinance 777-21, P21-0121 and P21-0122 Rittenhouse Commons 1 PAD Rezone and Preliminary Plat.

DISCUSSION

Subdivision Information						
Project Name Rittenhouse Commons 1 Residential Design Review						
Site Location NWC of Rittenhouse & Germann roads						
Current Zoning MDR/PAD (Medium Density Residential)						
General Plan Neighborhood (0-20 du/ac)						
Total Lots/Units 81 lots						
Minimum Lot Width	42 feet					
Minimum Lot Depth 50 feet						
Minimum Lot Area	2,100 square feet					

Each plan offers a minimum of three (3) elevation styles including Western Cottage, Western Regional Farmhouse, and Territorial themes with eight (8) color schemes that incorporate four-sided architectural treatments including but not limited to varying roof lines, stucco finishes, multiple paint schemes, trimmed windows, window shutters, decorative panel siding, decorative corbel features, and stone veneer. The product is predetermined on lots throughout the community to ensure there is a different combination of color schemes and elevation styles from cluster to cluster. All three (3) of the standard plans are 2-story models catered to the cluster-pack lot layout. The proposed home designs complement surrounding neighborhoods both in character and in quality.

Plan	Square Footage	Stories
Plan 1710	1,710 square feet	2
Plan 1800	1,800 square feet	2
Plan 2420	2,420 square feet	2

ANALYSIS

Standard Plans Design Review for New Standard Plans:

The proposed standard plans all comply with *Town of Queen Creek Zoning Ordinance and Design Standards*, subsection *DS.4 Single-Family Residential Standards*. While no deviations to the Design Standards are proposed with this project, it should be noted there are three (3) standard plans provided, whereas typically four (4) minimum are called for. This is primarily due to the design of the cluster-pack lot orientation, having three (3) lots on each side of the private access drives between the product. The standard plans presented contain a variety of quality materials, and are consistent with approved plans in the surrounding area.

Lot Fit Analysis:

Staff has reviewed the lot fit analysis for the three (3) new standard plans. Staff has determined there is an adequate number of plans for the subdivision, and will approve building permits subject to the lot fit analysis provided.

CONDITIONS OF APPROVAL

- 1. This project shall be developed in accordance with the plans and exhibits attached to this case, Ordinance 777-21 of the Rittenhouse Commons 1 PAD, and all the provisions of the zoning ordinance applicable to this case.
- 2. The same floor plan and building elevation shall not be utilized across from, or adjacent to each other.
- 3. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, shall be screened and designed to appear as an integral part of the building.
- 4. A fair disclosure agreement and/or covenant should be provided to lessee's or buyers stating the following: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals. The mix of aviation activities and types of aircraft expected to be located and operate at the Airport now and in the future include: scheduled and unscheduled commercial charters, commercial air carriers, and commercial air cargo operations, all of which are expected to use large commercial aircraft. General aviation activity includes using corporate and executive jets, helicopters, and propeller aircraft. Aviation flight training school includes using training aircraft and frequency of use of such aircraft may change over time depending on market and technology changes." Any public reports filed with the Arizona Department of Real Estate shall include the previously referenced disclosure statement.
- 5. Lessees shall be given fair disclosure of the nearby railroad and its associated conditions.

ATTACHMENTS

- 1. Aerial Exhibit
- 2. Rittenhouse Commons 1 RDR Submittal

Case Numbers: P22-0074

Hearing Date: July 27, 2022





Rittenhouse & Germann

Project Narrative

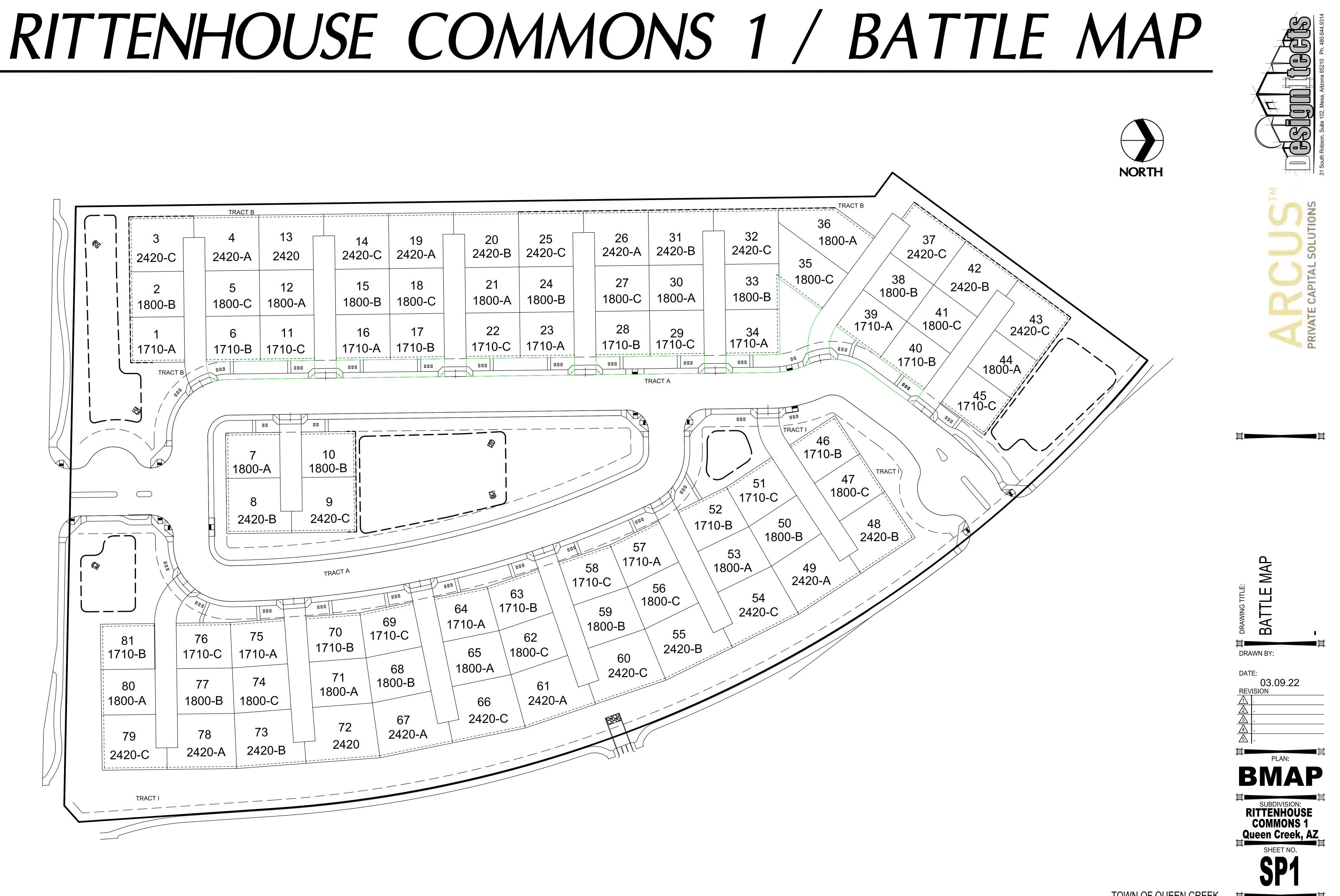
Arcus Capital has designed a total of 81 auto-court lots for their development located east of the northeast corner of Rittenhouse Road and Germann Road.

The proposed product offers (3) distinctly different architectural styles for each of the three plans providing (9) uniquely styled architectural expressions. Plan 1 has 1710 square feet of livable area and designed to be plotted on the street facing lot only. Plan 2 has 1800 square feet and designed to be plotted on the center lot only, and Plan 3 has 2420 square feet and designed to be plotted on the end lot only. The architectural styles consist of Western Cottage, Western Regional Farmhouse and Territorial Ranch. A variety of exterior materials speak to vertical and shake siding, brick veneer, composite shutters, concrete roof tile, gable end knee braces, exposed wood posts, 4-sided window mullions, and cantilevered wall elements for external massing thereby creating varied roof lines. Builder will provide a minimum of 7 exterior color schemes.

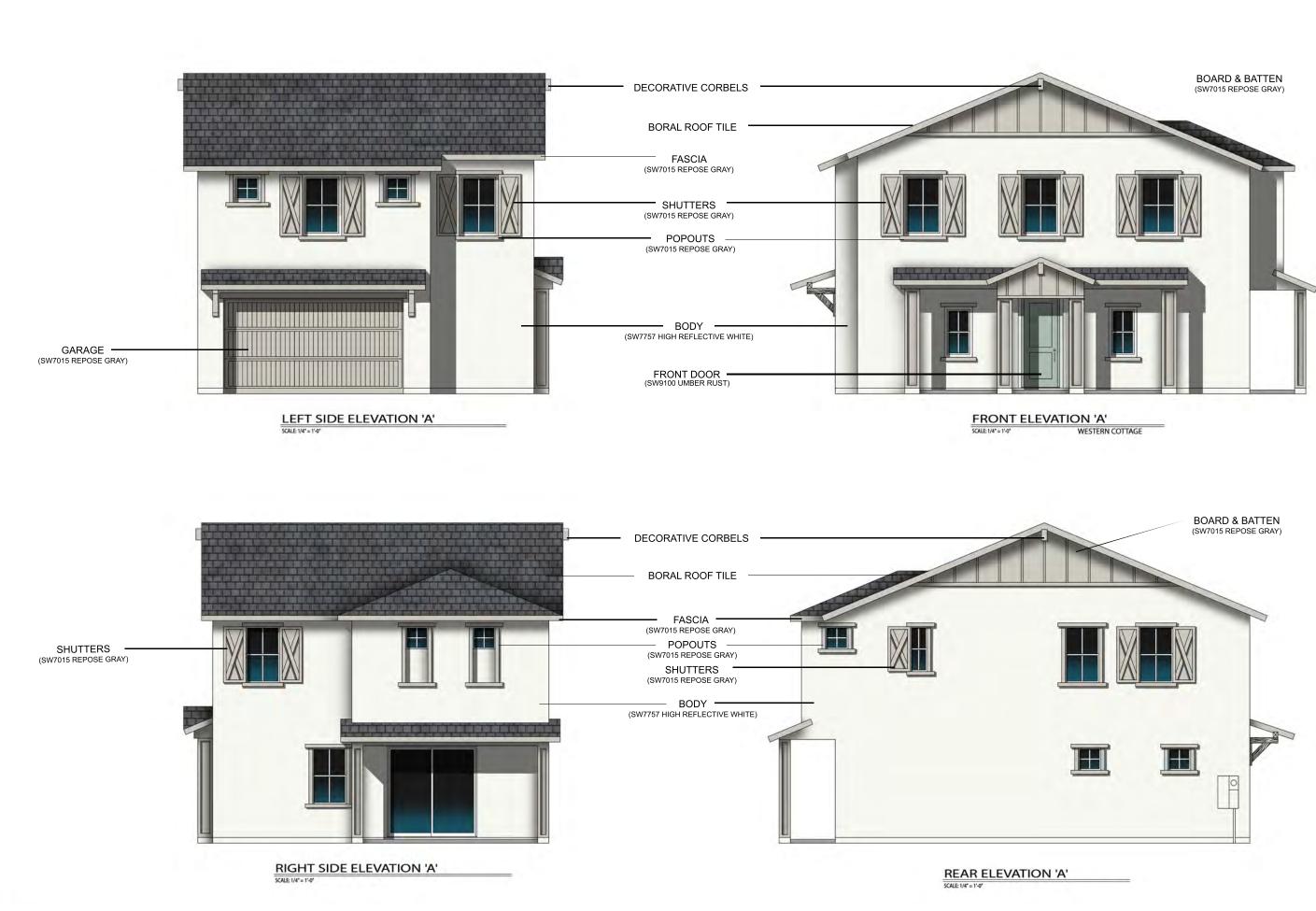
Arcus Capital looks forward to continuing our relationship with the Town of Queen Creek and sharing our ongoing visions and success.

Rittenhouse Commons 1	Plan 1 Plan 1710		Plan 2 Plan 1800			Plan 2 Plan 2420			
Square Ftg, - Livable		1,1710 sq. ft.			1,800 sq. ft.		2,420 sq. ft.		
Square Ftg Non-Livable	Garage = 413	Porch = 22	Patio = 43	Garage = 428	Porch = 79	Patio = 43	Garage = 416	Porch = 28	Patio = 68
Room Count		3 Bed, 2.5 Bath		-	3 Bed, 2.5 Bath		-	4 Bed, 3.5 Bath	
Builder Elevations A B C		Α	В	C	A	В	C		
Marketing Name	larketing Name TBD			TBD			TBD		
Architectural Style Western Regional Territorial Cottage Farmhouse Ranch		Western Cottage	Regional Farmhouse	Territorial Ranch	Western Cottage	Regional Farmhouse	Territorial Ranch		
Building Footprint Width	ilding Footprint Width 31'-4"		32'-0"			41'-0"			
Building Footprint Depth	40'-0"	40'-0"	40'-0"	40'-0"	40'-0"	40'-0"	49'-6"	49'-6"	49'-6"
Front Setback	5'-0"	5'-0"	5'-0"	Alley facing	Alley facing	Alley facing	Alley facing	Alley facing	Alley facing
Side Setback	Setback 4'-0" to livable / 2'-0" to garage		3'-0" to livable / 2'-0" to garage			3'-0" to livable / 2'-0" to garage			
Interior Side Setback	ior Side Setback 5'-0"		5'-0"			5'-0"			
Rear Yard Setback	r Yard Setback 8'-0" to livable / 5'-0" to patio		8'-0" to livable / 5'-0" to patio			8'-0" to livable / 5'-0" to patio			
One or Two Story	or Two Story 2-Story		2'-Story			2'-Story			
orner Architecture Yes		Center lot only			End lot only				
ear Massing Yes		Yes			Yes				
arage Configuration 2-Car		2-Car			2-Car				
Front Porch + Courtyard	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Non-Stucco Dominant Elev.	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
Color Schemes	Neutral	Neutral	Neutral	Neutral	Neutral	Neutral	Neutral	Neutral	Neutral
Roof Slope	5:12	6:12	4:12	5:12	5:12	5:12	4:12	5:12	5:12
Roof Materials	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete	Flat Concrete
Stucco Finishes	Med. Sand	Med. Sand	Med. Sand	Med. Sand	Med. Sand	Med. Sand	Med. Sand	Med. Sand	Med. Sand





TOWN OF QUEEN CREEK





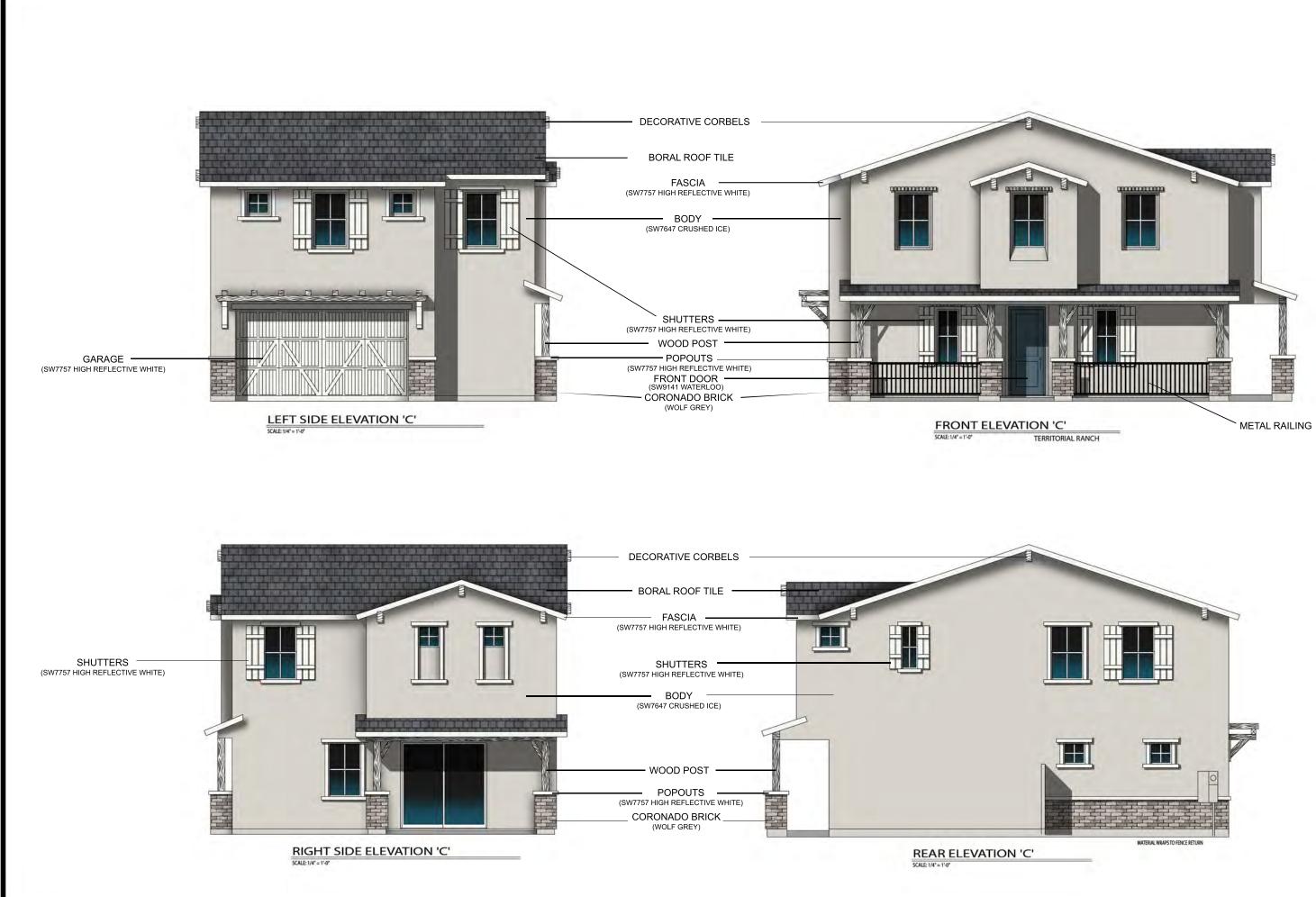
PRIVATE CAPITAL SOLUTIONS

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RITTENHOUSE COMMONS

PLAN 1710





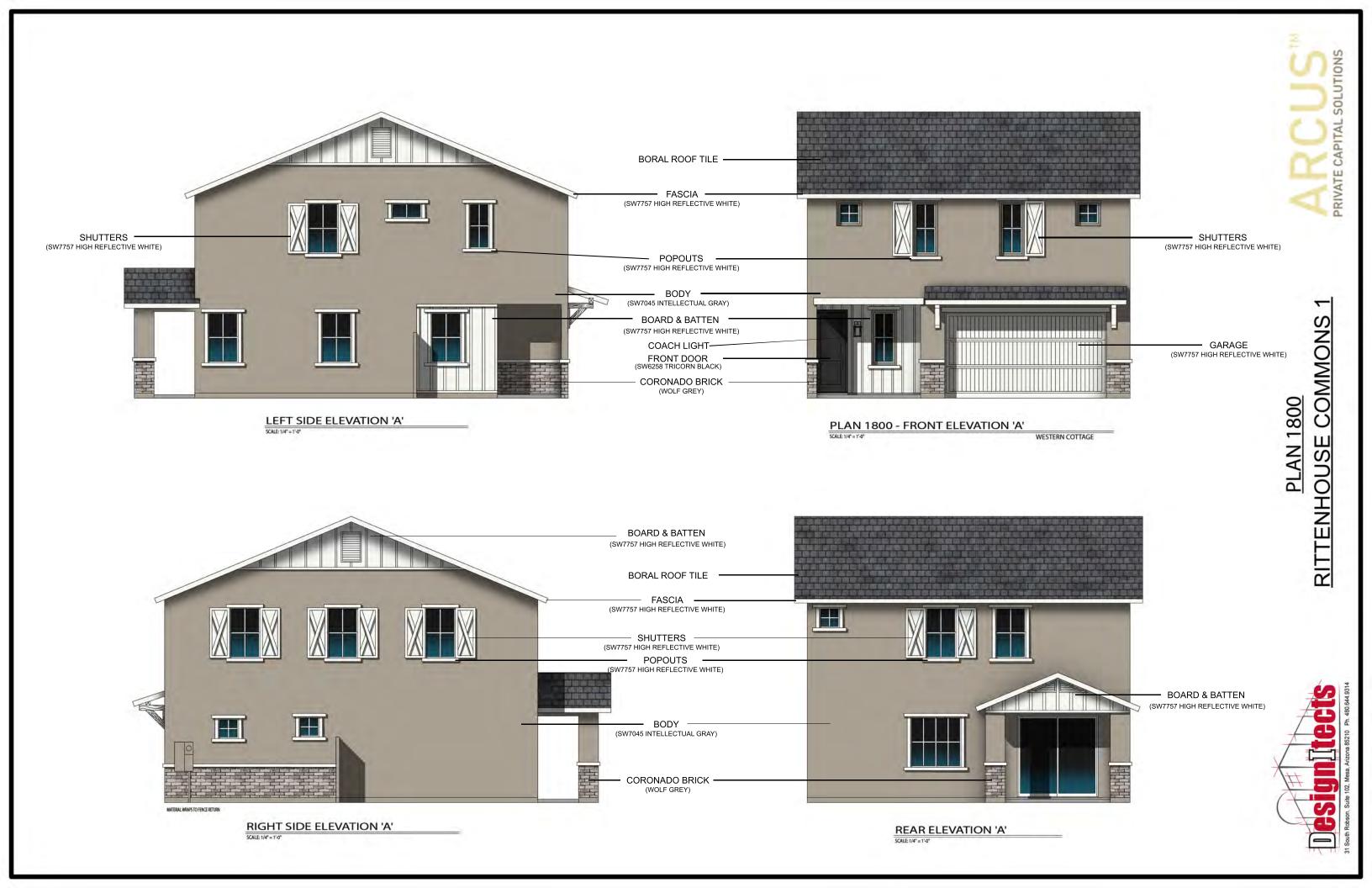


PRIVATE CAPITAL SOLUTIONS

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RITTENHOUSE COMMONS

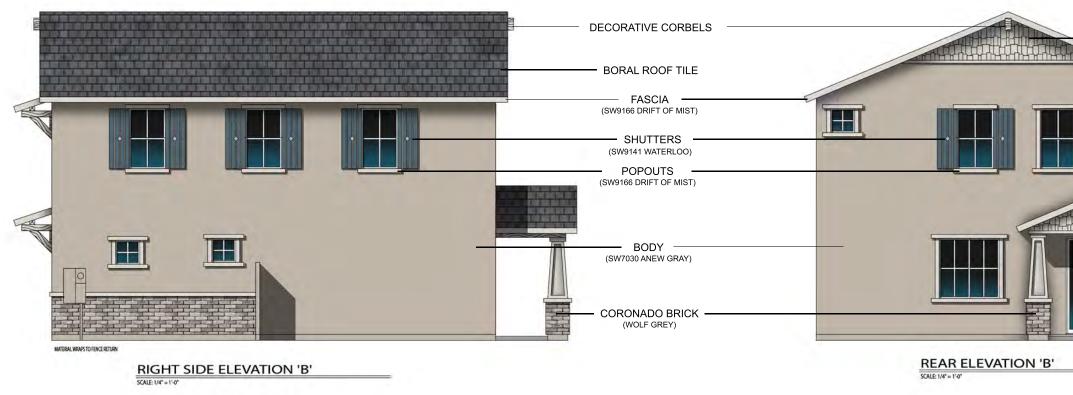
PLAN 1710

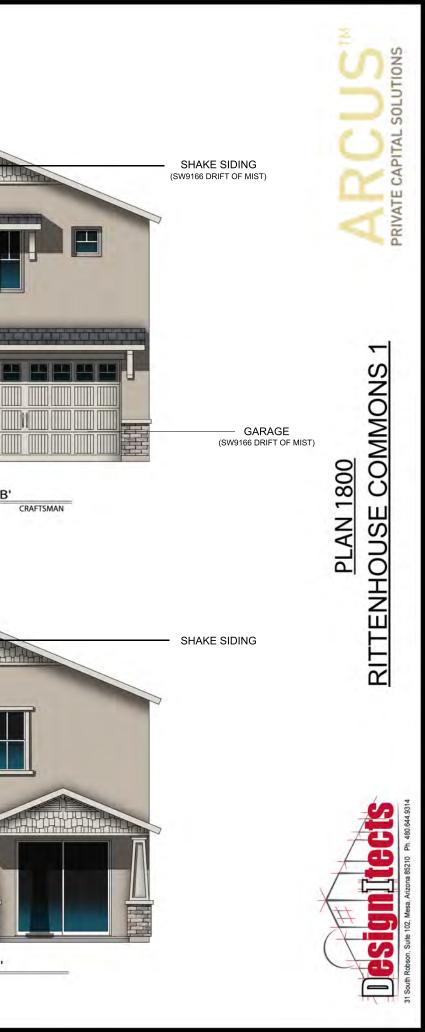


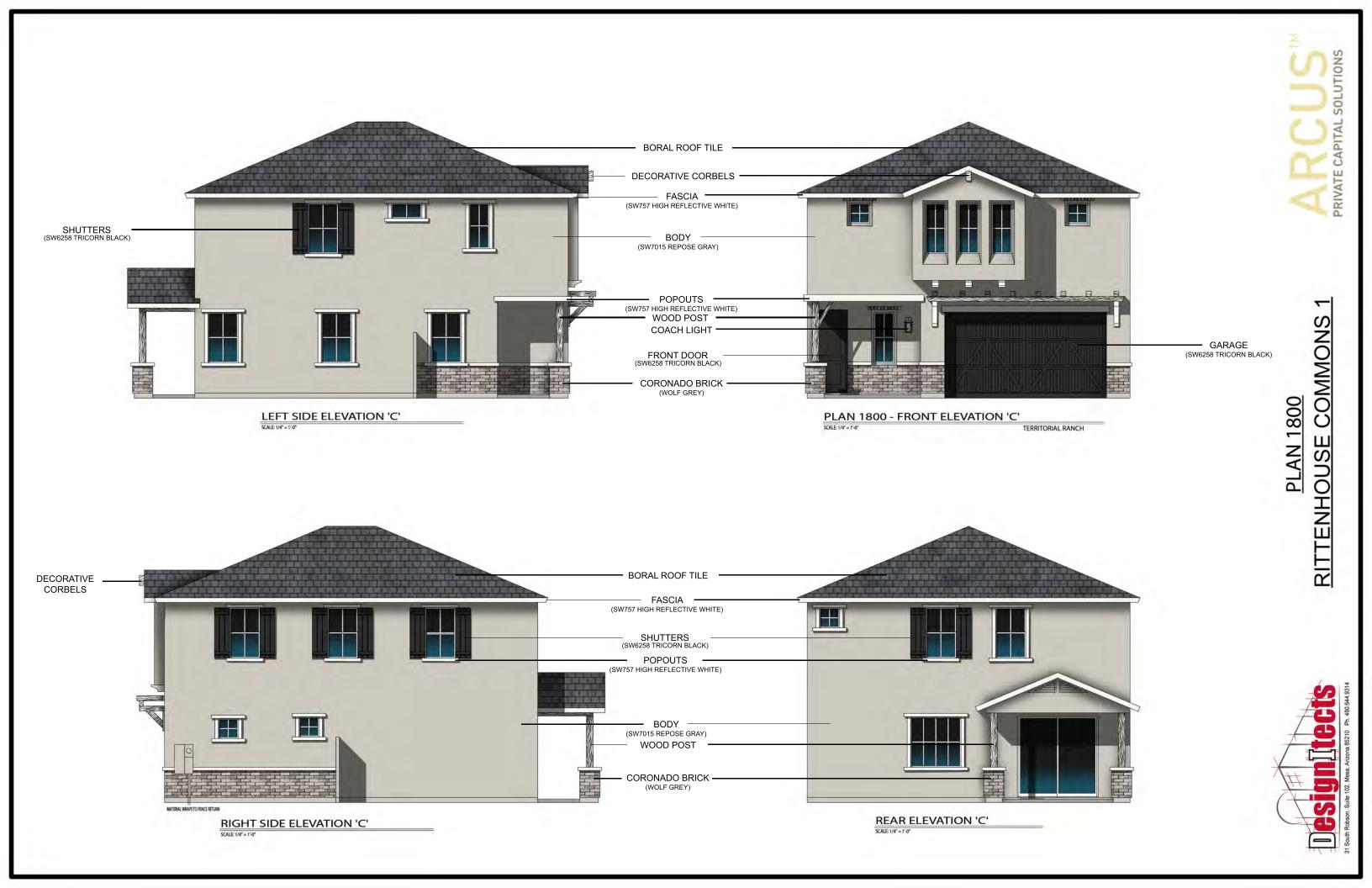


SCALE: 1/4" = 1'-0"

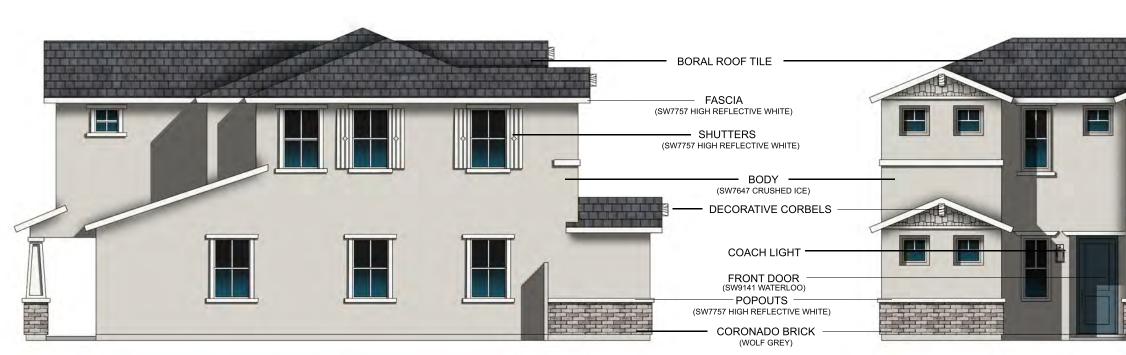
FRONT ELEVATION 'B'





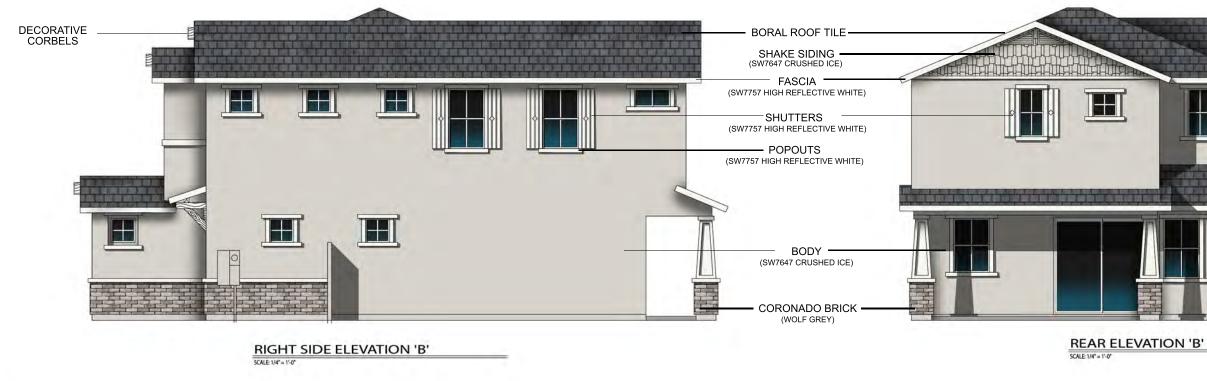




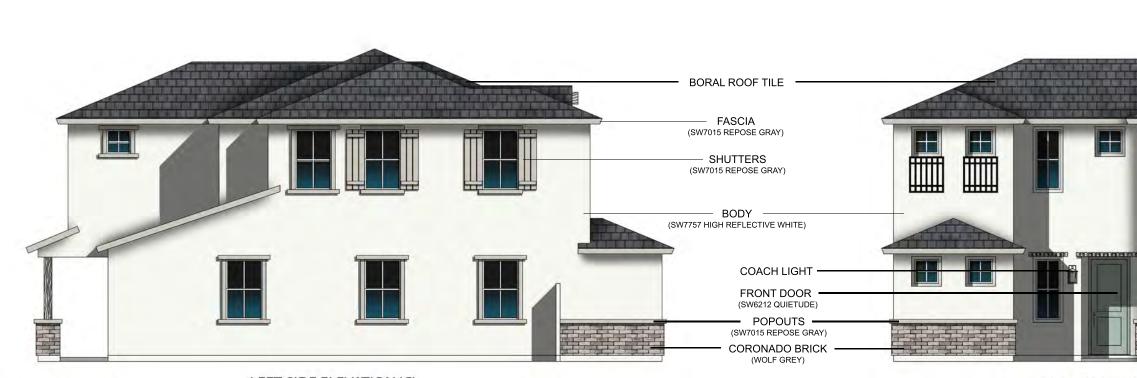


LEFT SIDE ELEVATION 'B' SCALE: 1/4" = 1'-0'

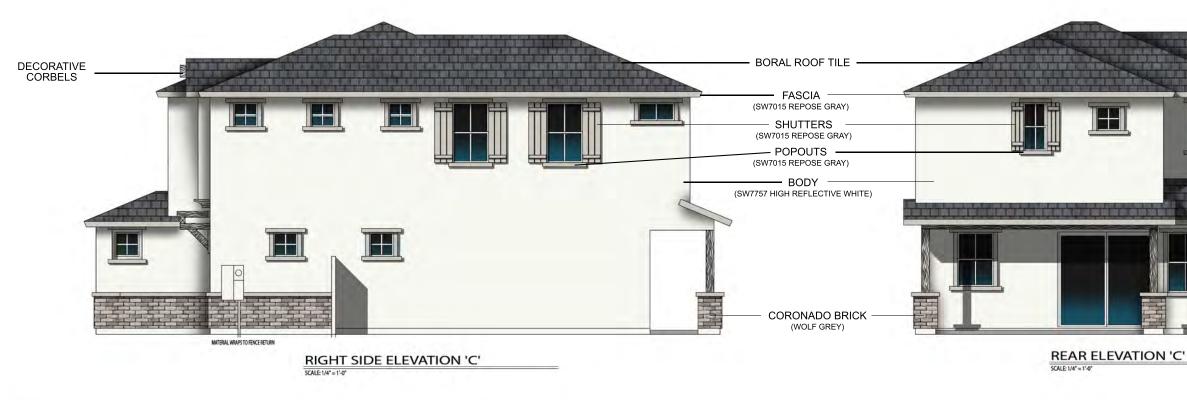
FRONT ELEVATION 'B' SCALE 1/4"= 1'-0"

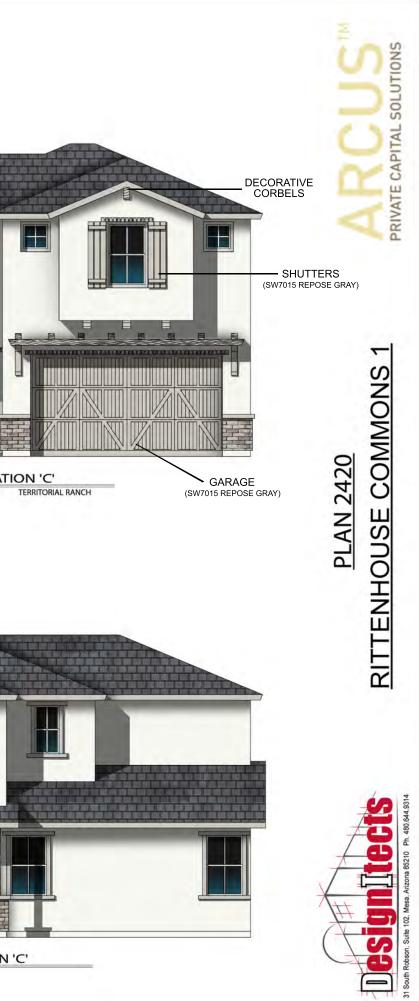


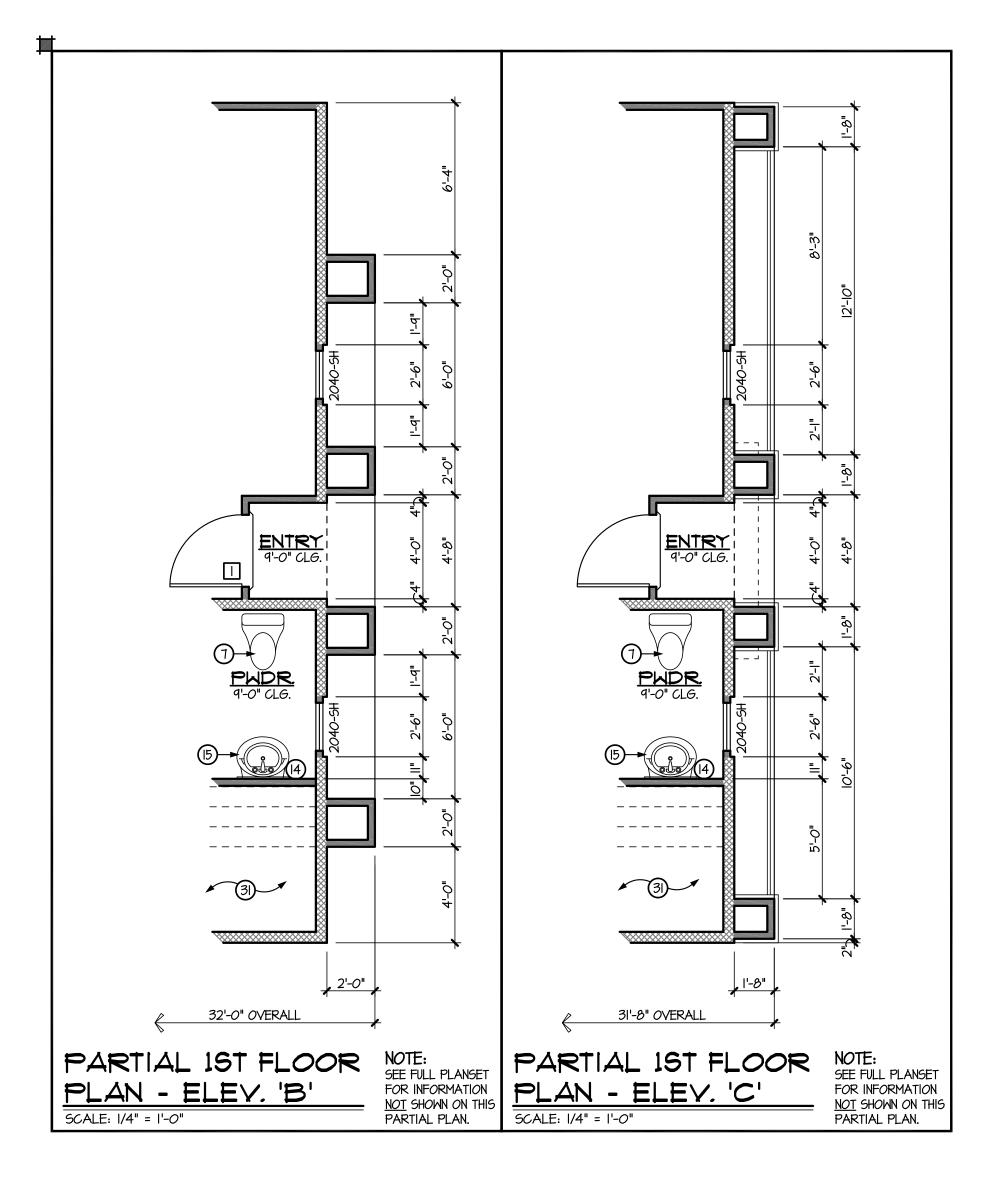




LEFT SIDE ELEVATION 'C' SCALE 1/4*=1*0* FRONT ELEVATION 'C' SCALE 1/4"= 1'-0" TERRITORIA





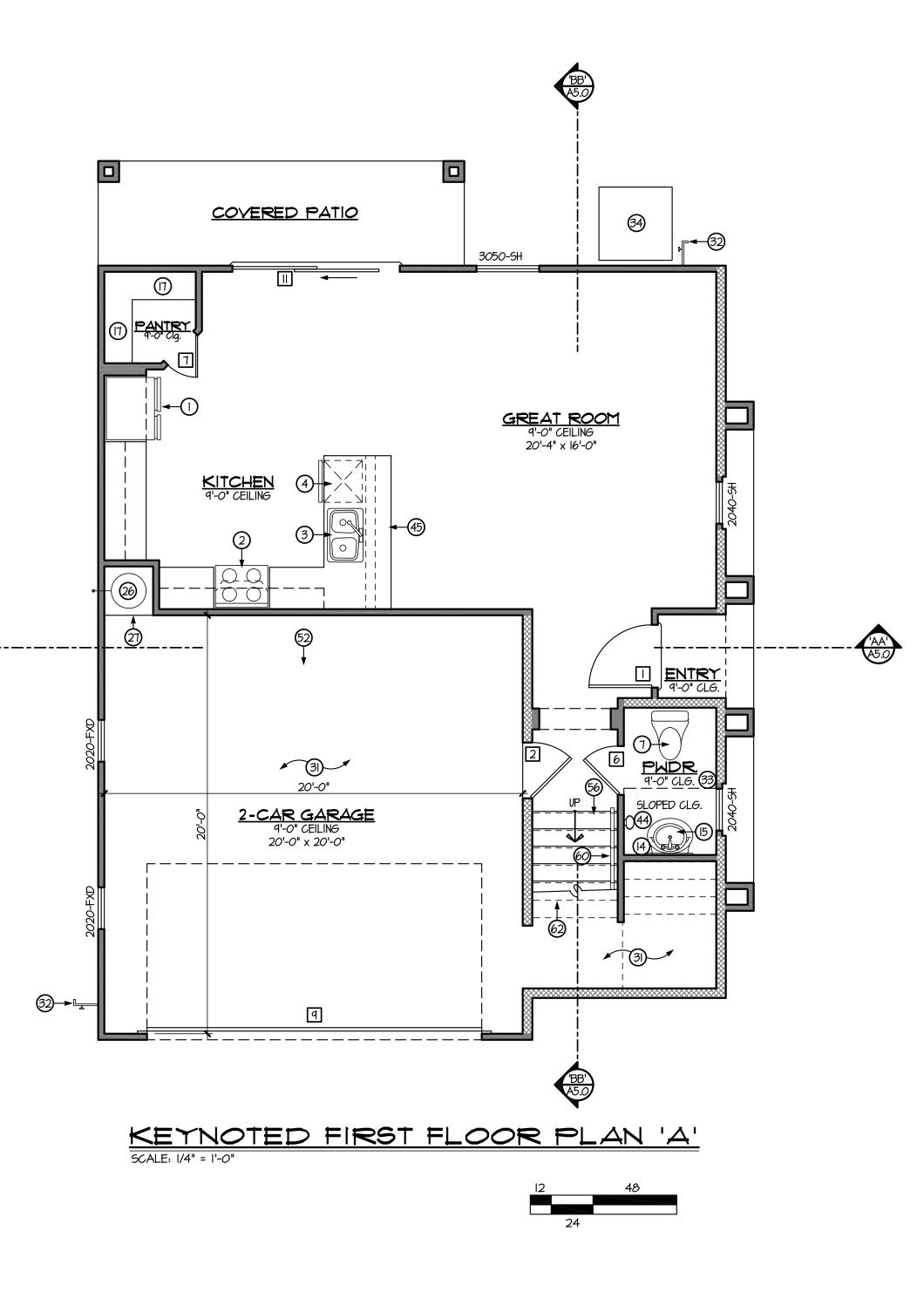


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- 5% PATIO AREA REQUIRED = 85 SF - PATIO AREA PROVIDED = 87 SF

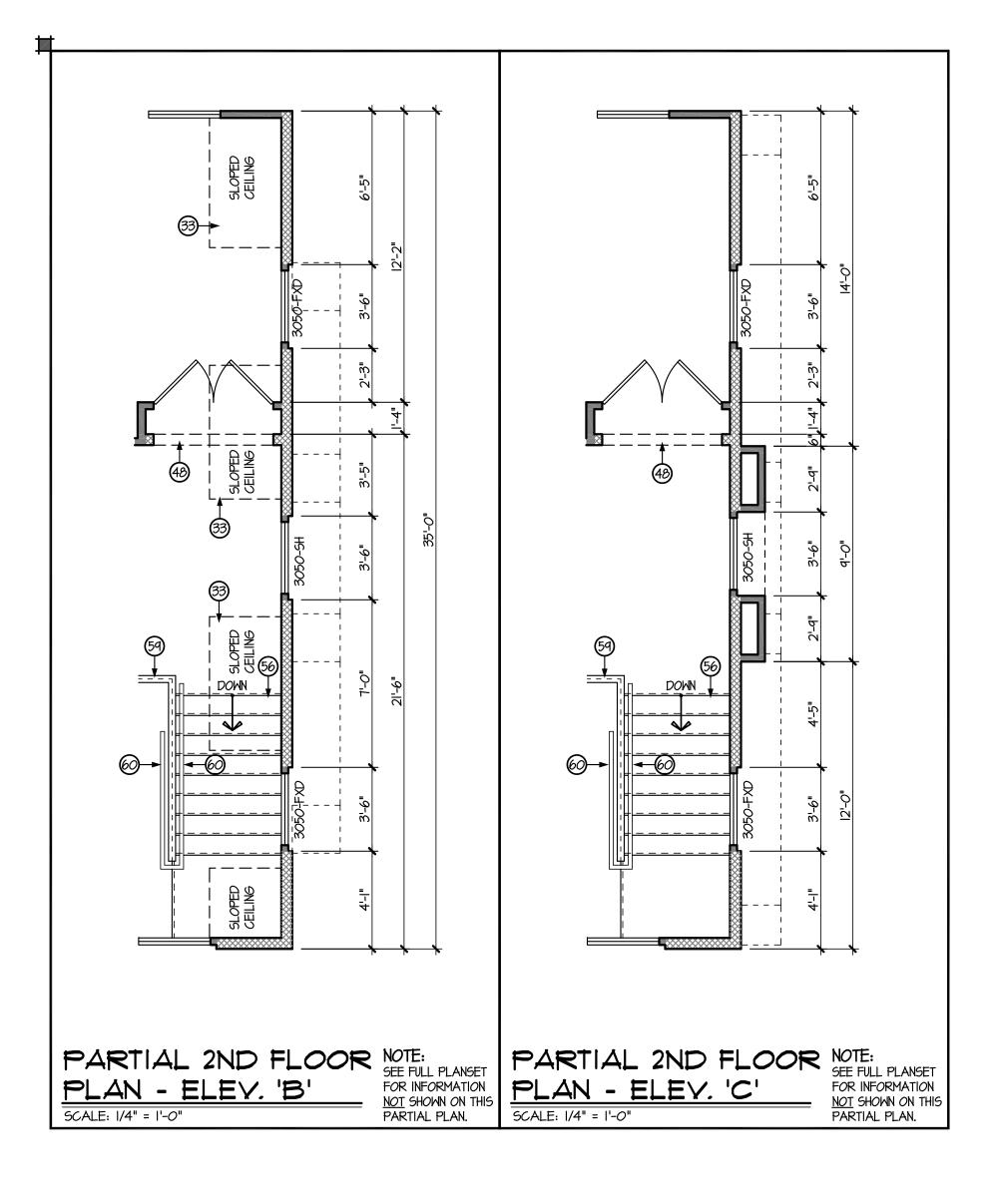
'AA' A5.0

SQUARE FOOTAGE TAB	LE 1710
1st FLR. LIV:	666 ⊄
2nd FLR. LIV:	1,044 ⊄
GARAGE:	413 ⊄
PATIO:	87 ⊄
ENTRY:	22 ⊄
TOTAL UNDER ROOF:	2,198 ⊄
1st FLR. FOOTPRINT:	1,188 ⊄
LOT AREA	2,100 ⊄
LOT COV. %	56 %

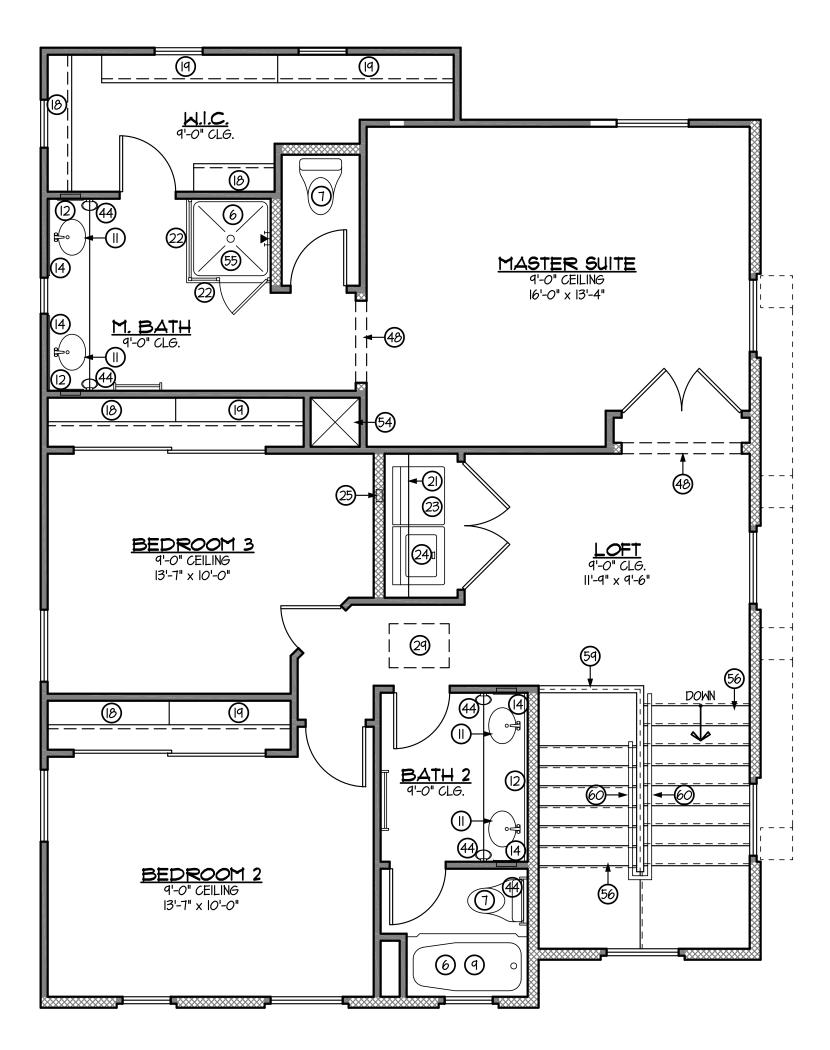


Гг						GENERAL INFORMATION	
					I. IN	ISULATION:	
	B	SIZE 3'-0" x 8'-0'	FUNCTION SWING	NOTES	1	R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN	.644.
2	A	2'-8" x 6'-8"	SWING		 	R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	Ph. 480.644.9314
3	B C	2'-8" x 6'-8" 2'-8" x 6'-8"	SWING SWING			ROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) ISULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
4	с С	2'-8" x 6'-8" 2'-6" x 6'-8"	SWING			OR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION IR & VENTILATION AIR PER I.R.C. SECTION 62407 &	South Robson, Suite 102, Mesa, Arizona 85210
6	C	2'-4" x 6'-8"	SWING		M 1	IANUFACTURERS RECOMMENDED CLEARANCES.	
7 8	ک -	2'-0" x 6'-8" 8'-0" x 8'-0"	SWING O.H. METAL SECT.			ROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH EILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	ssa, A
ि		8-0" x 8-0" 16'-0" x 8'-0"	O.H. METAL SECT.		5. A	LL ITEMS SHOWN W/ DASHED LINES ARE OPTIONAL - U.N.O.	
	D	6'-0" x 8'-0'	5.G.D.			IAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR O BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS	
 2	D C	8'-0" x 8'-0' 4'-0" x 6'-8"	S.G.D. BI-PASS			INDOWS I.R.C. SECTON R310.1	v,
I3	с С	6'-0" x 6'-8"	BI-PASS			HEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. TYP. BOARD THICKNESS SHALL BE INCREASED FROM $3/8$ "	
14	6	8'-0" x 6'-8"	BI-PASS		5	0 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO /8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT	South
15 16	B, D, E B, D, E	3'-0" x 6'-8" 3'-0" x 6'-8"	SWING (SNGL. DR.) SWING (DBL. DR.)		-	iyp. Board Shall be used - ESR #1338.	
	C	2'-4" x 6'-8"	SWING	DOUBLE DOORS	1 -	= 2x4 MALL	<u> </u>
<u>(</u>)	C	2'-6" x 6'-8"	SWING	DOUBLE DOORS			5 0
19 20	د د	2'-8" x 6'-8" 2'-0" x 6'-8"	SWING (DBL. DR.) SWING) KEYNOTES description	Z
A = 1			I W/SELFCLOSER, 9 & SWEEP - I.R.C. SE	SELF LATCHING,	N0. (1)	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	Ē
	GOLID CORE		<pre>\$ SMEEP - I.R.C. SE D = TEMPERED 6</pre>		$\overline{2}$	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE -	
	HOLLOW CO				3	HOOD EXHAUST @ +77" - OPTIONAL GAS DOUBLE SINK W/ DISPOSAL	So
∑0. [A]	D MECHANICA		tion (con	N1./	$\underbrace{\check{4}}$	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P2717	
(FE)			R PAN W/ FIBERGLA		5	PANTRY - FACE FRAMED PANTRY CABINET	
6	STAIRS PE	R I.R.C. SEC. R) RAIN - TEMP. GLAS 311.7.4 - RISE = 7 1/2 RUN-10")		6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - I.R.C. SEC. R102.42	CAP
5	GUARDRAI		RUN=10") 'SPINDLES @ 4" O.C WALL BELOW @ +4"		1	WATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	C C
6	HANDRAIL		38" MAX. INSTALL		8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND	TE
69	OPT. SPIND	LES @ 4" O.C. w/			9	60"x30" TUB/SHOWER COMBO. W/ ROD FOR SHOWER CURTAIN	RIVAT
69			MAX - I.R.C. R311.7.			60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK SINK - OPTIONAL IF SHOWN WITH DASHED LINES	R
6]		ONY WALL @ +3				RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL	
62		WALL BELOW S				IF SHOWN WITH DASHED LINES MARBLE PONY WALL @ +20" OR PER PLAN - HOLD	
	IF SHOWN 1	w/ DASHED LINE	TOOP - SLOPE I/4" I S. DELETE W/ OPT.	COVERED PATIO		SHOWER GLASS TO TUB SIDE OF WALL 48" HIGH MIRROR IN MASTER BATHROOM & ALL	
64	OPTIONAL	GAS TANKLES	5 WATER HEATER L	OCATION		SECONDARY BATHROOMS - U.N.O. ON PLAN PEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL	
					(15) (6)	BASE CABINET(S) W/ SINK AND MIRROR STOP AND DROP - SEE ELEVATION ON SHEET AI.O	
						5 - SHELVES EQUALLY SPACED, UNLESS	
					18	OTHERWISE SHOWN/NOTED ON PLAN. I ROD, I SHELF	Z
					(19)	2 RODS, 2 SHELVES	PLAN
					Ø	FACE FRAMED LINEN	d
					21	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS	Ω
					22	TEMPERED GLASS	Ш
					23	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER	
					24)	ELECTRIC DRYER - OPTIONAL GAS	Ž
					25	4"\$ DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. 62439.5, 62439.5.1 & 62439.5.4	
					26	ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH	KEYNOI
					27	28" SQUARE PLATFORM @ +18" A.F.F. 2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE	
					28	+12" A.F.F. & ONE 12" BELOW CLG. W/ GAS WATER HEATER 22x30 ATTIC SCUTTLE W/ INSULATION & WEATHERSTRIPPING -	Ō
					(29) (29)	PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R&OT.I/NIIO2.2.4 4" TIRE STOP	OOR
					8 0 31	5/8" TYPE 'X' GYPSUM BOARD 0/ WALLS & CEILING PER	
					(31) (32)	CITY REQUIREMENTS - I.R.C. TABLE 702.3.5 HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN	□ □ □ □ □ □ □ □ □ □ □
					(32) (33)	W/ DASHED LINES LINE OF CEILING CHANGE - MAY VARY PER ELEVATION	S S
					34	AND/OR OPTIONAL VAULTED CEILINGS A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN W DASHED LINES VERIEX LOC ON PLOT PLAN	FIRS.
					35	SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN. OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX,) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN	
					33	OPTIONAL COUNTERTOP W/ BASE & UPPER CABINETS	DRAWN BY:
					T	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND	SHR
					38	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN	DATE:
					39	OPTIONAL GAS STUB-OUT @ +16" A.F.F TYPICAL	01.12.22
					40	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND	
					(4)	LINE OF FIRST FLOOR/SECOND FLOOR	$\frac{\Delta}{\Delta}$.
					42	3"¢ STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F. FLAT SOFFIT - TOP @ +84"	$\frac{\underline{23}}{\underline{4}}$.
					43	FLAT SOFFIT - TOP @ +84" TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN	$\overline{\underline{\mathbb{A}}}$.
					44	OPTIONAL IF SHOWN WITH DASHED LINES ISLAND COUNTERTOP W/ 24" DEEP BASE CABINETS	PLAN:
					(45) (7)	W/ 12" OVERHANG MARBLE PONY WALL @ +42" OR PER PLAN	
					46	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN	1710
					(47) (48)	WITH DASHED LINES FLAT SOFFIT - TOP @ +96"	
					49 (49)	MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) -	SUBDIVISION:
						COMPLY W/ I.R.C. SEC. R703.7 60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO	
					51	+12" ABOVE TUB DECK 3/4"\$ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE	COMMONS 1 Queen Creek, AZ
					52	SLOPE I/4" PER LINEAL FOOT @ EXTERIOR SLABS	
					63	SLOPE I/8" PER LINEAL FOOT @ GARAGE SLAB	SHEET NO.
					<u> </u>	-	

TOWN OF QUEEN CREEK



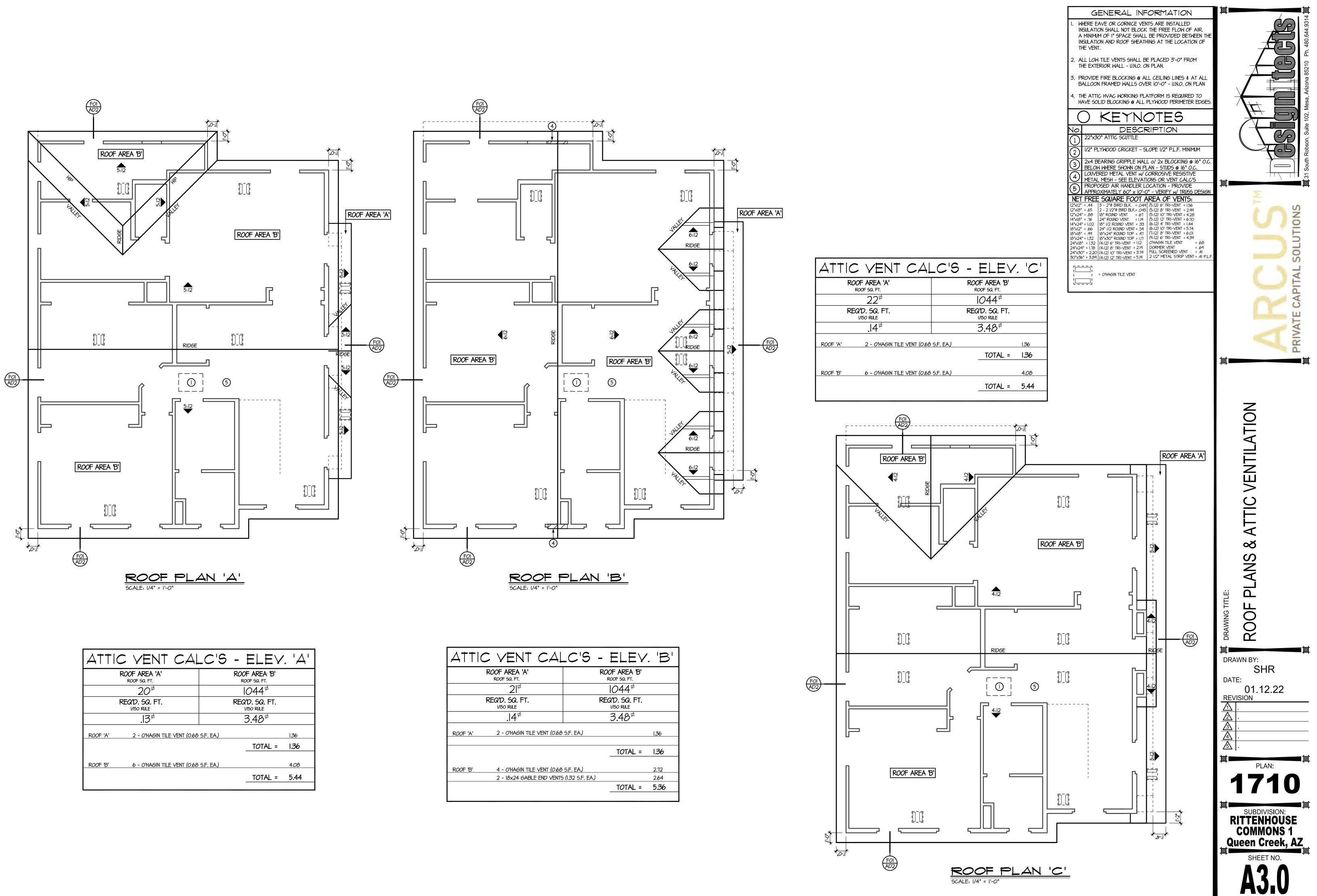
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KEYNOTED SECOND FLOOR PLAN 'A'

DOOR SCHEDULE	GENERAL INFORMATION	
NO. TYPE SIZE FUNCTION NOTES	I. INSULATION:	3314
$\begin{array}{c c c c c c c c c c c c c c c c c c c $	R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	0.644
2 A 2'-8" × 6'-8" SWING 2 B 21-8" × 6'-8" SWING	2. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL)	Ph. 480.644.9314
3 B 2'-∂" × 6'-∂" SWING 4 C 2'-∂" × 6'-∂" SWING	INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
5 C 2'-6" x 6'-8" SWING	3. FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION 62407 &	South Robson, Suite 102, Mesa, Arizona 85210
6 C 2'-4" x 6'-8" SWING	MANUFACTURERS RECOMMENDED CLEARANCES.	Arizon
T C 2'-O" x 6'-8" SWING B - 8'-O" x 8'-0" O.H. METAL SECT.	4. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	
9 - 16'-0" x 8'-0" O.H. METAL SECT.	5. ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - U.N.O.	
D 6'-O" × 8'-O' S.G.D. III D 8'-O" × 8'-O' S.G.D.	6. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS	Suite
I2 C 4'-O" x 6'-8" BI-PASS	WINDOWS I.R.C. SECTON R310.1	
I3 C 6'-O" x 6'-8" BI-PASS I4 C 8'-O" x 6'-8" BI-PASS	 WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" TO I/2" THICK FOR 16" O.C. FRAMING AND FROM I/2" TO 	
IF C D = 0 × 0 = 0 D = 1 × ASS I5 B, D, E 3'-O" × 6'-8" SWING (SNGL. DR.) OPT. 8'-O" HIGH	5/8" THICK FOR 24" O.C. FRAMING OR I/2" SAG RESISTANT GYP. BOARD SHALL BE USED - ESR #1338.	31 South
I6 B, D, E 3'-O" × 6'-8" SWING (DBL. DR.) OPT. 8'-O" HIGH	= 2x4 WALL	
\square C $2'-4" \times 6'-8"$ SWINGDOUBLE DOORS \square C $2'-6" \times 6'-8"$ SWINGDOUBLE DOORS	= 2x6 WALL	N I
III C 2'-8" x 6'-8" SWING (DBL. DR.) BALL CATCH	O KEYNOTES	NS
$20 \qquad C \qquad 2'-O'' \times 6'-8'' SWING$ $A = MIN. OF \mid 3/8'' SOLID CORE W/ SELF CLOSER, SELF LATCHING,$	NO. DESCRIPTION REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	9 9 9
 a = MIN. OF 1578 SOLID CORE W SELF CLOSER, SELF LATCHING, b TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R302.5.1 b = SOLID CORE c = TEMPERED GLASS 	\bigcirc	5
B = SOLID CORED = TEMPERED GLASSC = HOLLOW COREE = I-LITE DOOR	2 ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE - HOOD EXHAUST @ +71" - OPTIONAL GAS 3 DOUBLE SINK W/ DISPOSAL	
NO. DESCRIPTION (CONT.)	DISHWASHER - PROVIDE APPROVED AIR GAP PER	
54	I.R.C. P2717 PANTRY - FACE FRAMED PANTRY CABINET	A A
MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND STAIRS PER I.R.C. SEC. R311.7.4 - RISE = 7 1/2" RUN = 10"	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - I.R.C. SEC. R102.42	API
GUARDRAIL @ +36" MIN. W/ SPINDLES @ 4" O.C	MATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	O O
INSTALL o/ 4" WIDE PONY WALL BELOW @ +4" - I.R.C. R312.3 HANDRAIL @ +34" MIN. TO 38" MAX. INSTALLED o/ 4" WIDE PONY WALL @ +36" MIN I.R.C. R311.7.7	B PRE-FAB 34" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	ATE
OPT. SPINDLES @ 4" O.C. W/ GUARDRAIL @ +36" MIN INSTALL 0/ 4" WIDE PONY WALL @ +4" - I.R.C. R312.1	60"x30" TUB/SHOWER COMBO. w/ ROD FOR SHOWER CURTAIN 60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE	PRIVA
60 HANDRAIL - +34" TO +38" MAX - I.R.C. R311.7.7		PR
61 4" WIDE PONY WALL @ +36" CLOSURE WALL BELOW STAIRS	RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL	I
62	MARBLE PONY WALL @ +20" OR PER PLAN - HOLD	
IF SHOWN W/ DASHED LINES. DELETE W/ OPT. COVERED PATIO	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - U.N.O. ON PLAN	
OPTIONAL GAS TANKLESS WATER HEATER LOCATION	DEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) W/ SINK AND MIRROR	
	STOP AND DROP - SEE ELEVATION ON SHEET AI.O	Z
	5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWNNOTED ON PLAN.	LAN
	(18)	
	2 RODS, 2 SHELVES Image: Second state FACE FRAMED LINEN	
	21 STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS	
	22 TEMPERED GLASS	Õ
	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER	KEYNO
	24 ELECTRIC DRYER - OPTIONAL GAS	ĹЩ
	25 4"\$ DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-O" PER I.R.C. SEC. 62439.5, 62439.5.1 & 62439.5.4	
	ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH 28" SQUARE PLATFORM @ +18" A.F.F.	FLOOR
		ŏ
	 2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE +12" A.F.F. & ONE 12" BELOW CLG. W/ GAS WATER HEATER 22x30 ATTIC SCUTTLE W/ INSULATION & WEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R&07.1/NII02.2.4 	
	PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R807.1/NII02.2.4 4" TIRE STOP	
	31 5/8" TYPE 'X' GYPSUM BOARD 0/ WALLS & CEILING PER CITY REQUIREMENTS - I.R.C. TABLE 702.3.5	
	32 HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN W/ DASHED LINES	
	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION AND/OR OPTIONAL VAULTED CEILINGS	
	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN. OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4"	N N
	P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN	
	PRE-FAB 42" × 60" SHOWER PAN W/ FIBERGLASS OR	DRAWN BY: SHR
	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER	DATE:
	OPTIONAL GAS STUB-OUT @ +16" A.F.F TYPICAL	01.12.22 REVISION
	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND	
	41 LINE OF FIRST FLOOR/SECOND FLOOR	
	 3"¢ STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F. FLAT SOFFIT - TOP @ +84" 	$\underline{\underline{A}}$.
		<u>A</u> .
	OPTIONAL IF SHOWN WITH DASHED LINES	PLAN:
	45 ISLAND COUNTERTOP W/ 24" DEEP BASE CABINETS W/ 12" OVERHANG MARBLE PONY WALL @ +42" OR PER PLAN	
	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES	1710
	48 FLAT SOFFIT - TOP @ +96"	II IIII IIII IIII
	MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) - COMPLY W/ I.R.C. SEC. RT03.1	SUBDIVISION: RITTENHOUSE
	60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO +12" ABOVE TUB DECK	COMMONS 1
	51 3/4"¢ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE SLOPE I/4" PER LINEAL FOOT @ EXTERIOR SLABS	Queen Creek, AZ
	52	SHEET NO.
	53 SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB	

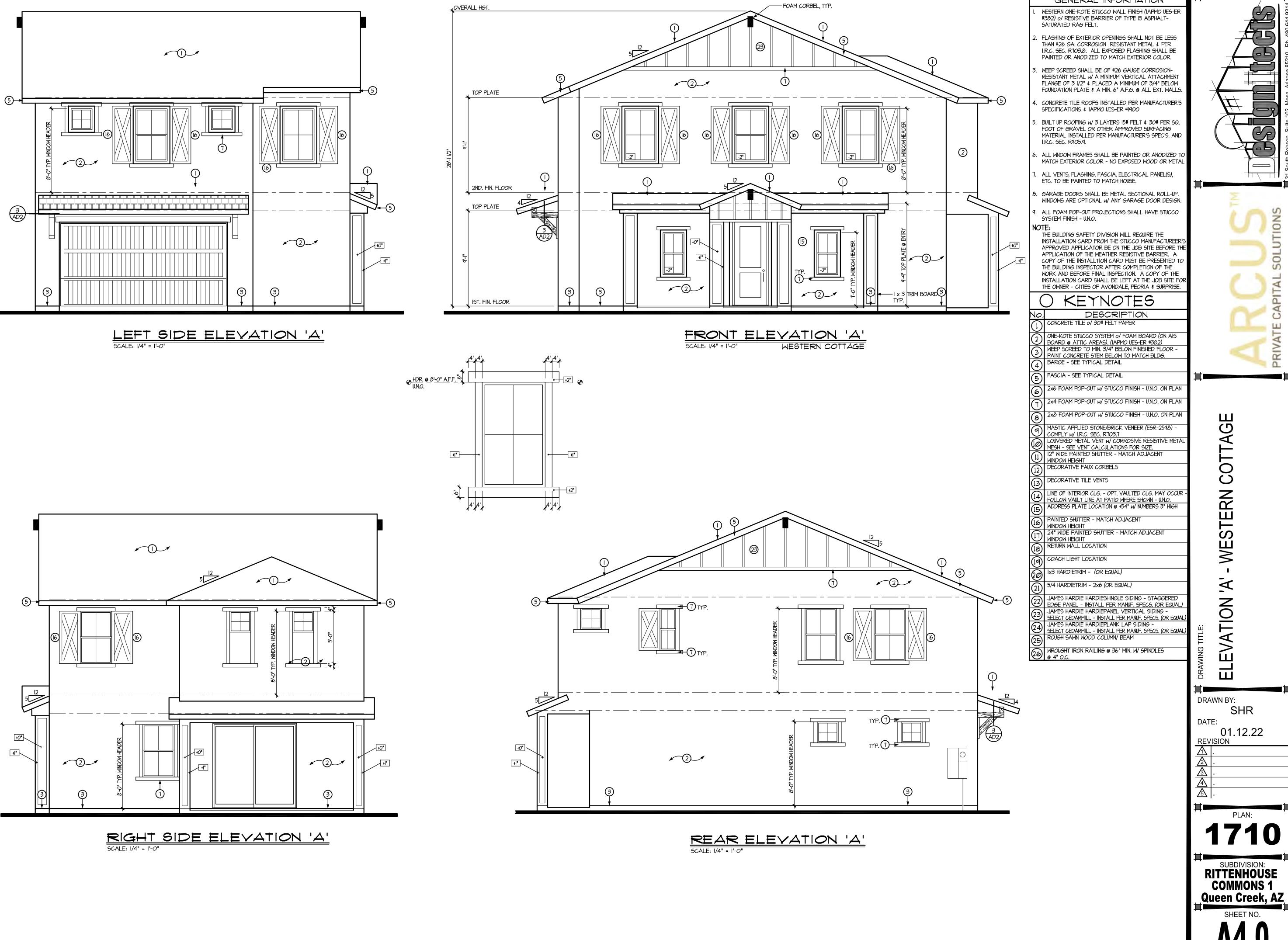
TOWN OF QUEEN CREEK

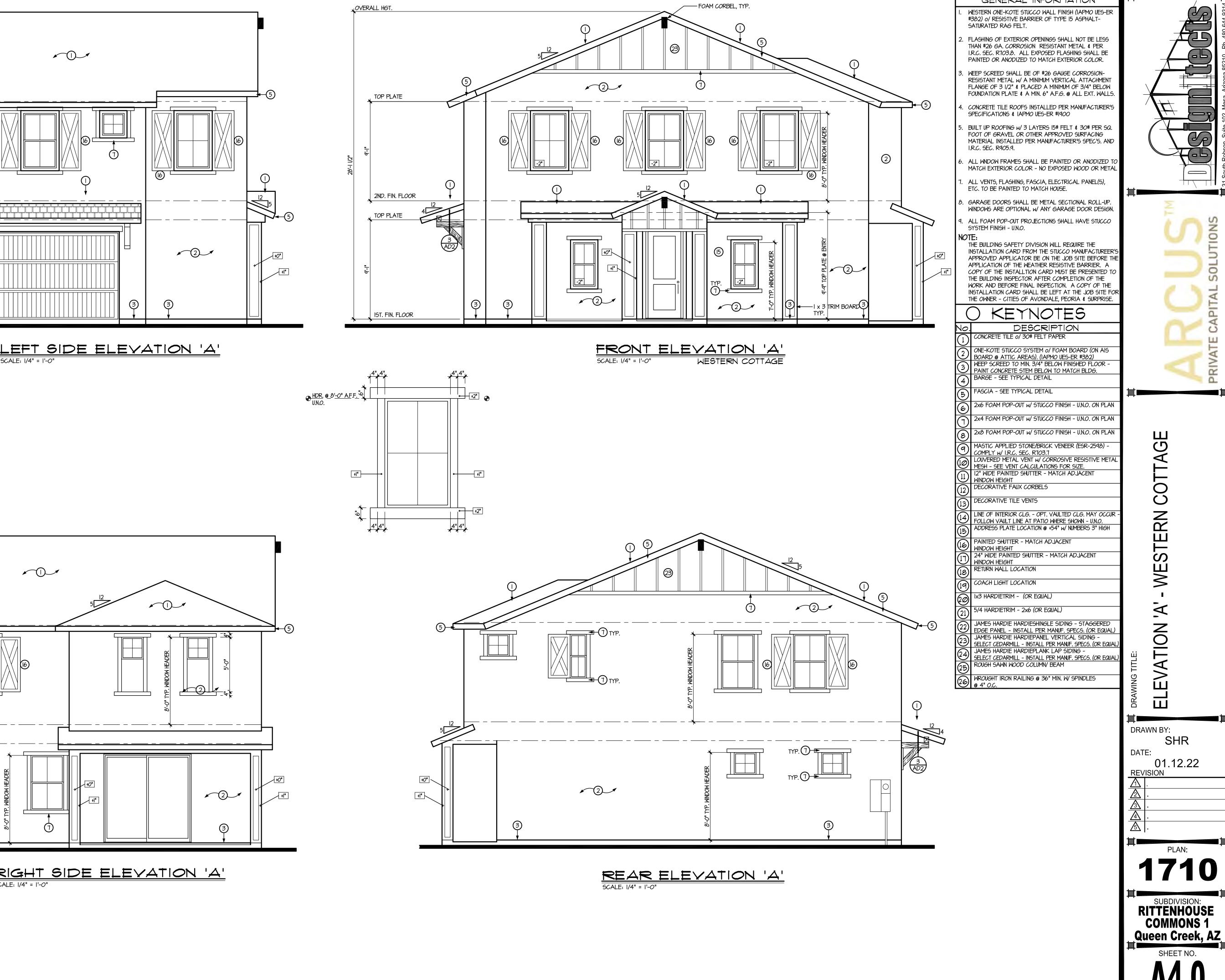


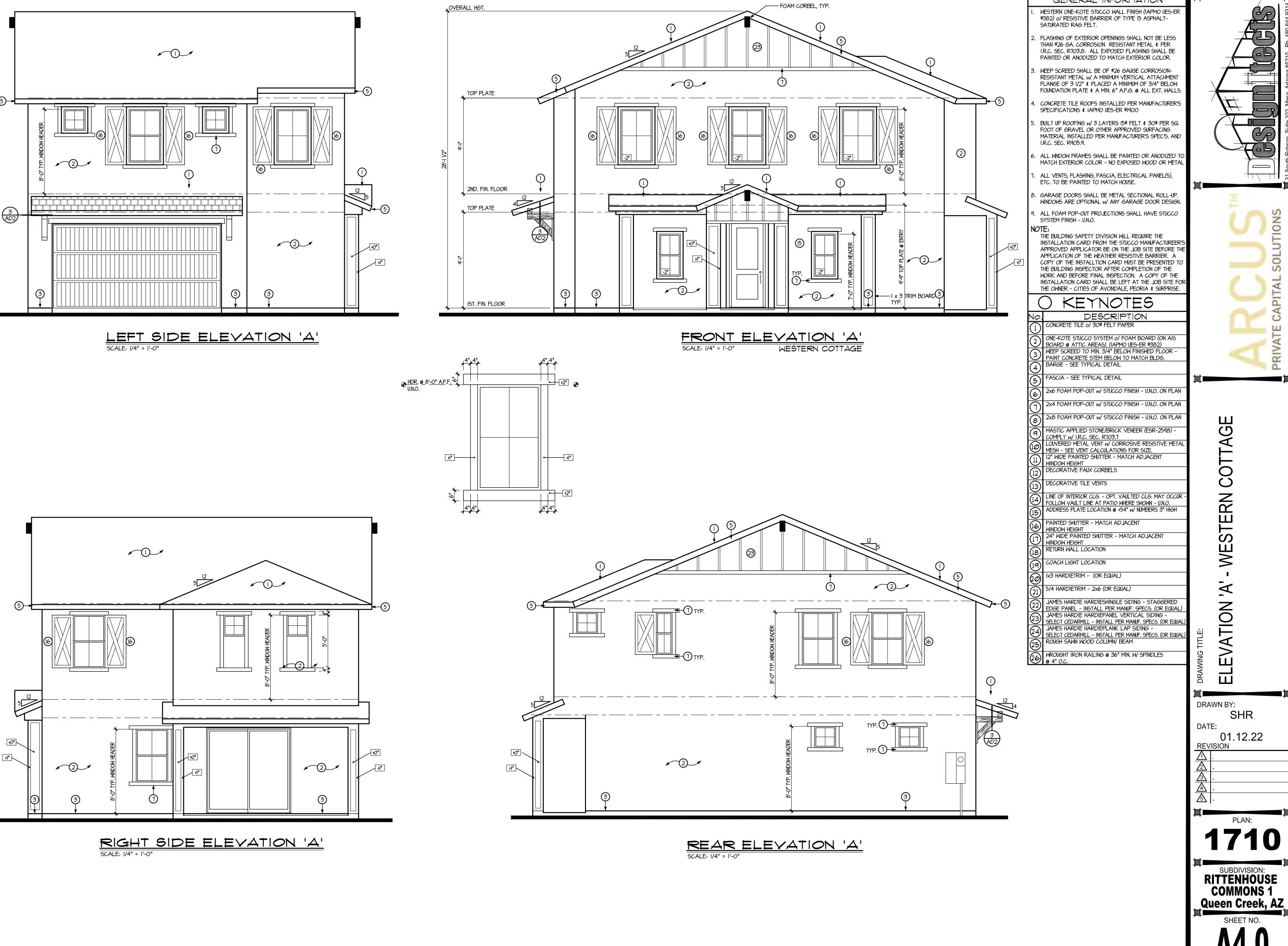
ROOF AREA 'A'ROOF AREA 'B' ROOF 50. FT. $20^{1/2}$ $ 044^{1/2}$ REQ'D. SQ. FT. $ 044^{1/2}$ REQ'D. SQ. FT. $ 13^{1/2}$.13^{1/2} $3.48^{1/2}$ ROOF 'A' $2 - 0'HAGIN TILE VENT (0.68 S.F. EA.)$ I.36	ATTIC VENT CAL	LC'S - ELEV. 'A'
REQ'D. SQ. FT. REQ'D. SQ. FT. 1/150 RULE 1/150 RULE .13 rd 3.48 rd ROOF 'A' 2 - 0'HAGIN TILE VENT (0.68 S.F. EA.)		
1/150 RULE 1/150 RULE .13 rd 3.48 rd ROOF 'A' 2 - 0'HAGIN TILE VENT (0.68 S.F. EA.) 1.36	20 [¢]	I <i>O</i> 44 [⊄]
ROOF 'A' 2 - O'HAGIN TILE VENT (0.68 S.F. EA.) I.36		
	.l3 [⊄]	3.48⊄
TOTAL = 1.36	<u>ROOF 'A' 2 - O'HAGIN TILE VENT (0.68</u>	3 S.F. EA.) 1.36
		TOTAL = 1.36
ROOF 'B' 6 - O'HAGIN TILE VENT (0.68 S.F. EA.) 4.08	ROOF 'B' 6 - O'HAGIN TILE VENT (0.68	3 S.F. EA.) 4.08
TOTAL = 5.44		TOTAL = 5.44

	1044
REQ'D. SQ. FT.	REQ'D. SQ. FT.
I/I50 RULE	I/I50 RULE
	3.48⊄
ROOF 'A' 2 - O'HAGIN TILE VENT (0.68	S.F. EA.) 1.36
ROOF 'B' 4 - O'HAGIN TILE VENT (0.68	S.F. EA.) 2.72
2 - 18x24 GABLE END VENTS	6 (1.32 S.F. EA.) 2.64

TOWN OF QUEEN CREEK



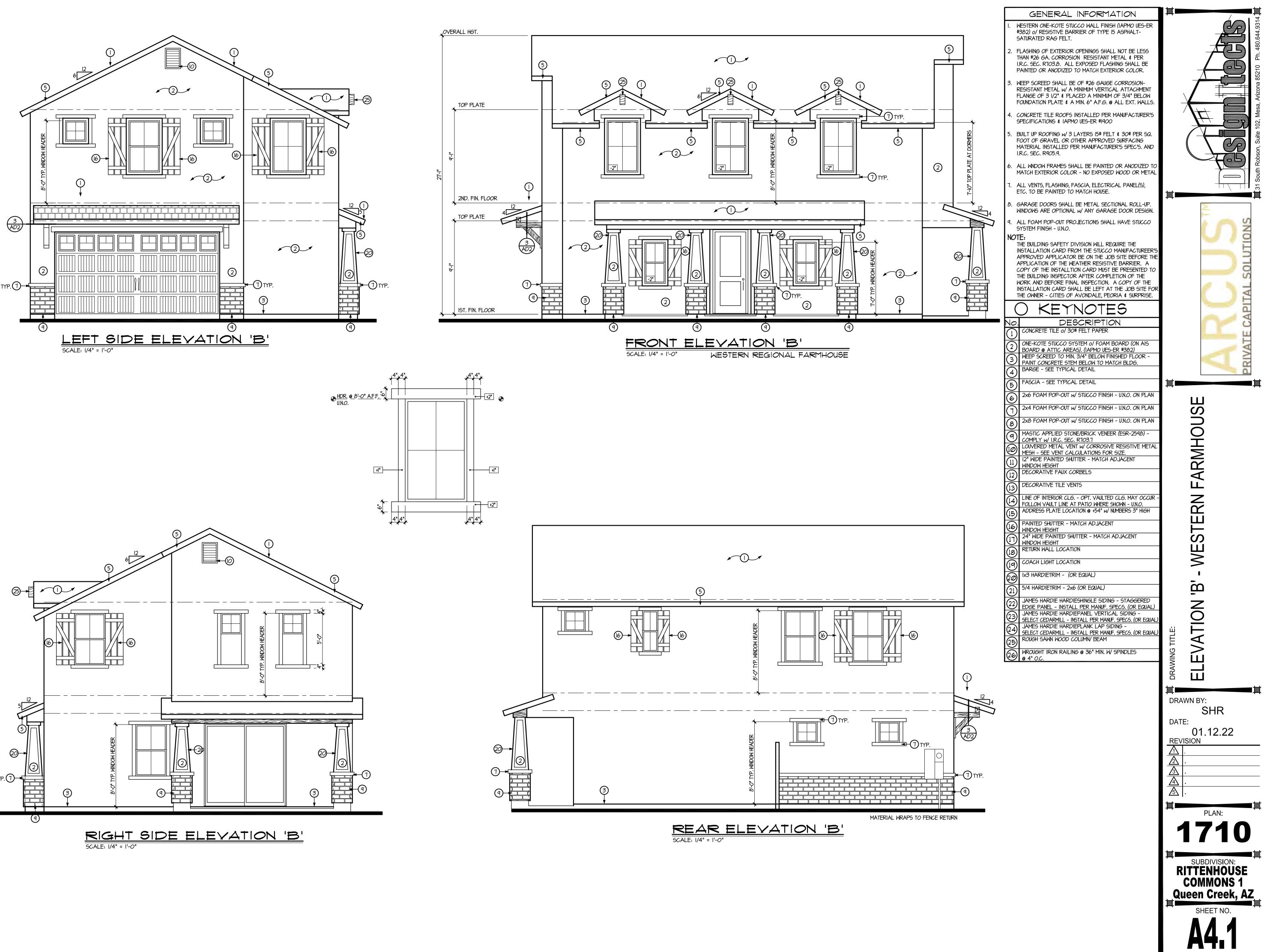


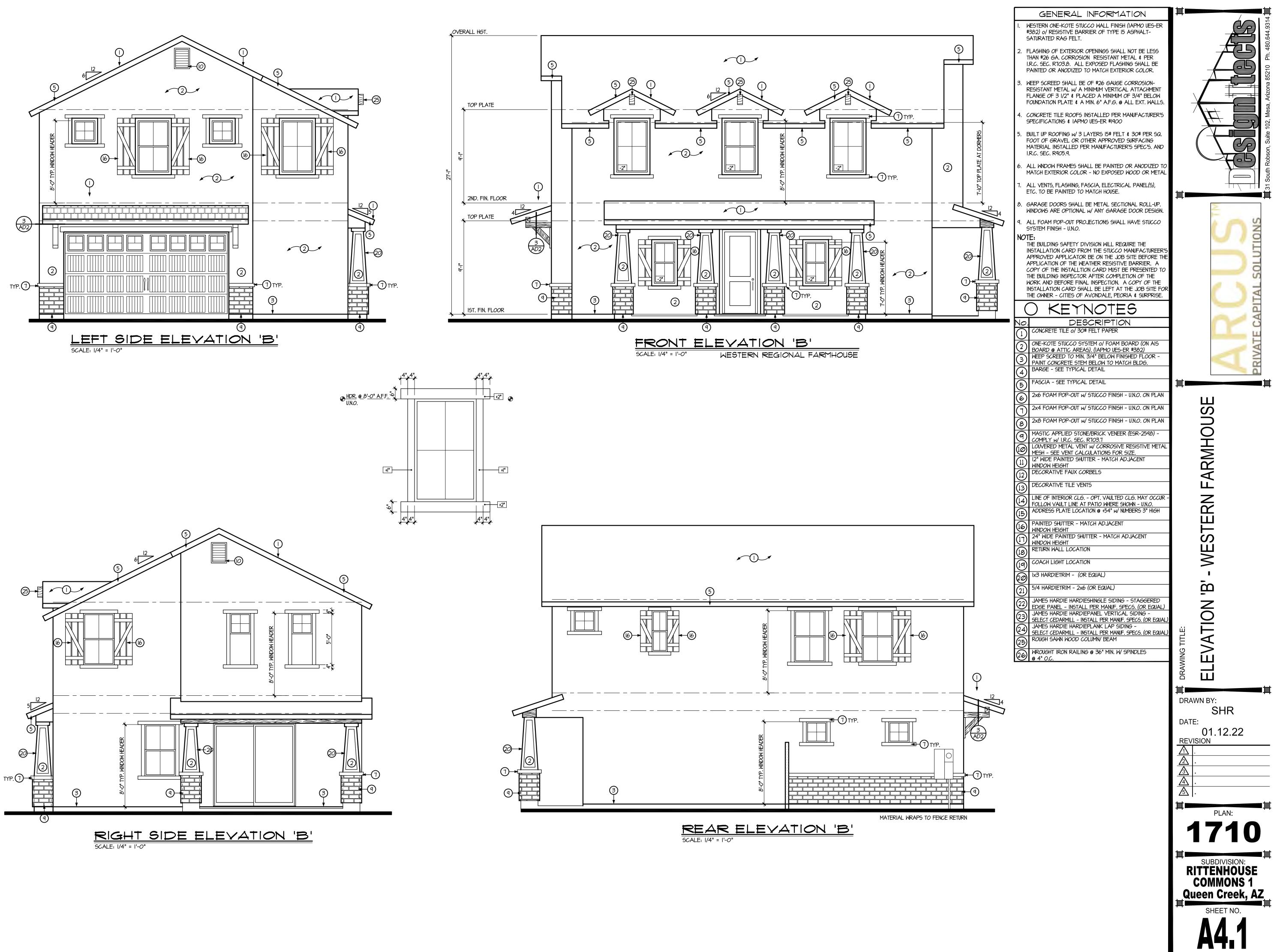


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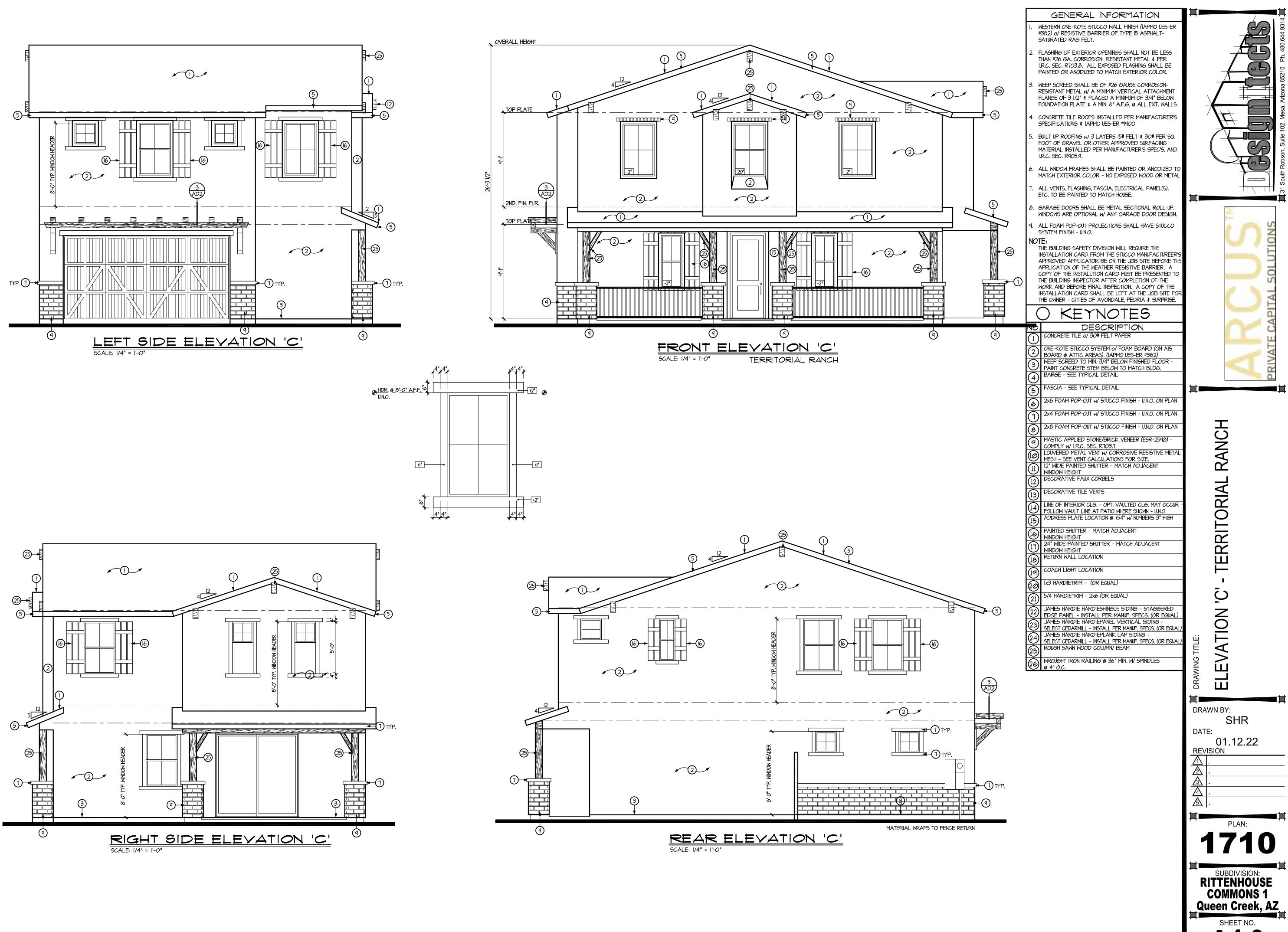
GENERAL INFORMATION

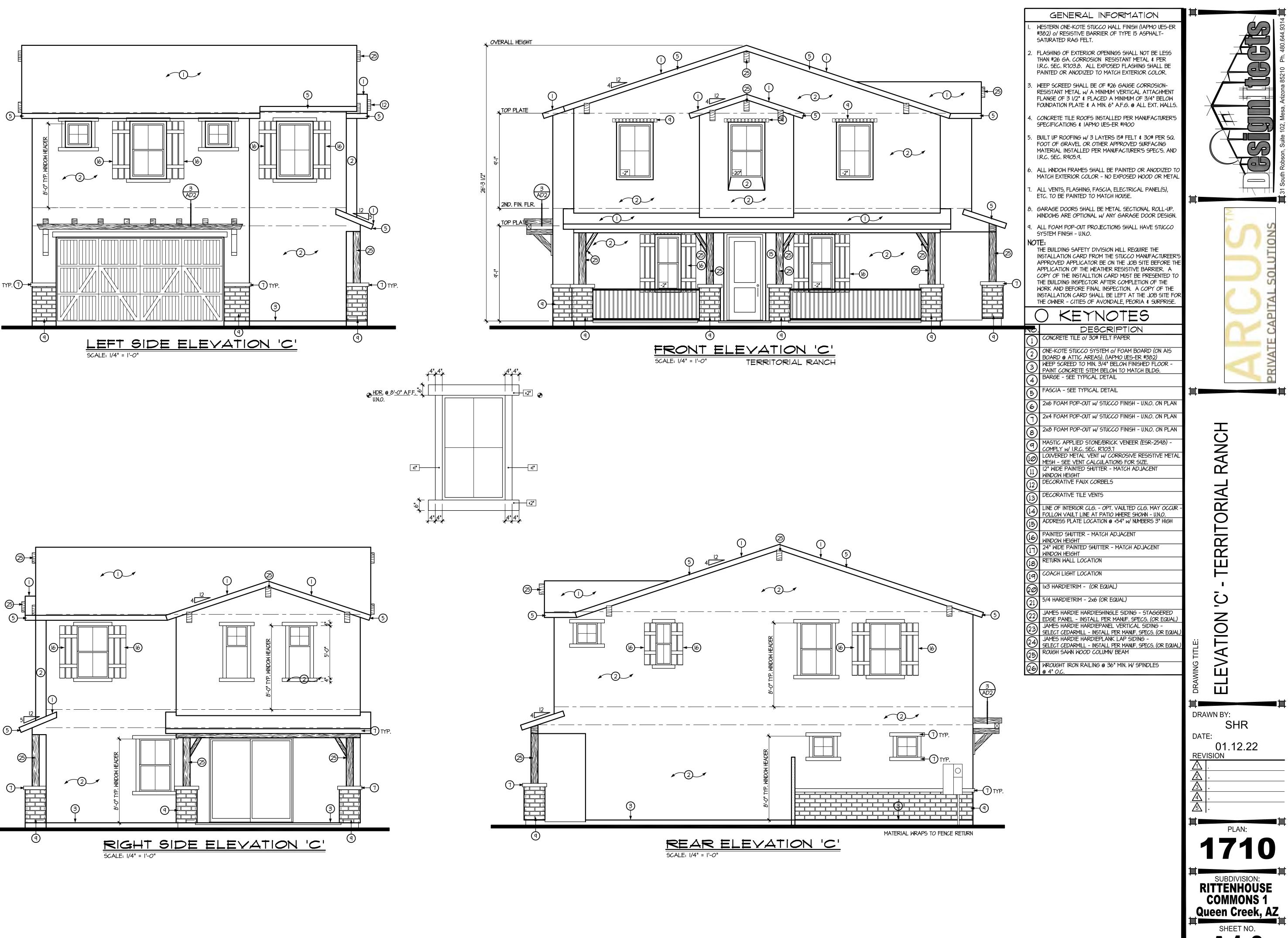
TOWN OF QUEEN CREEK



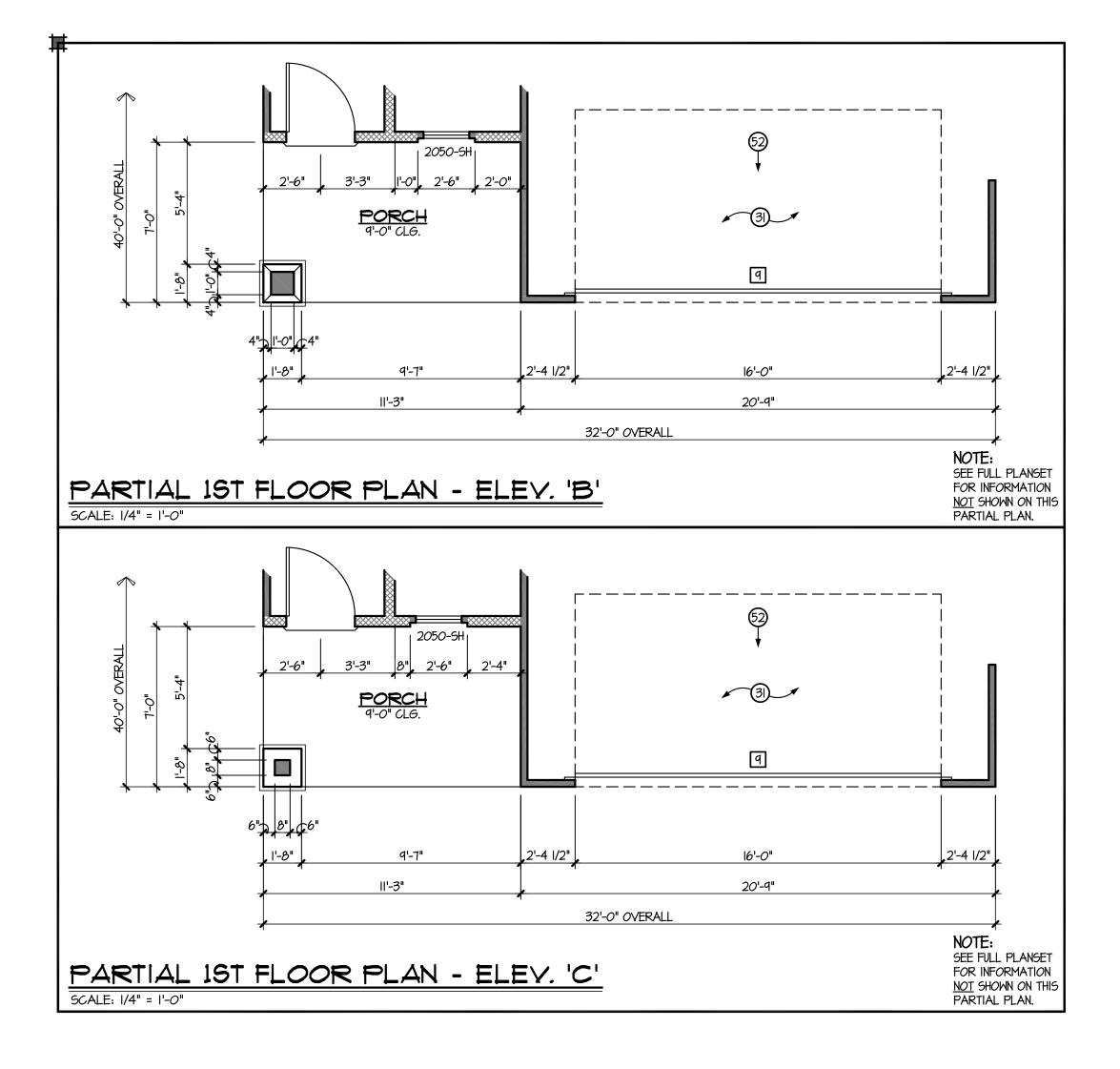


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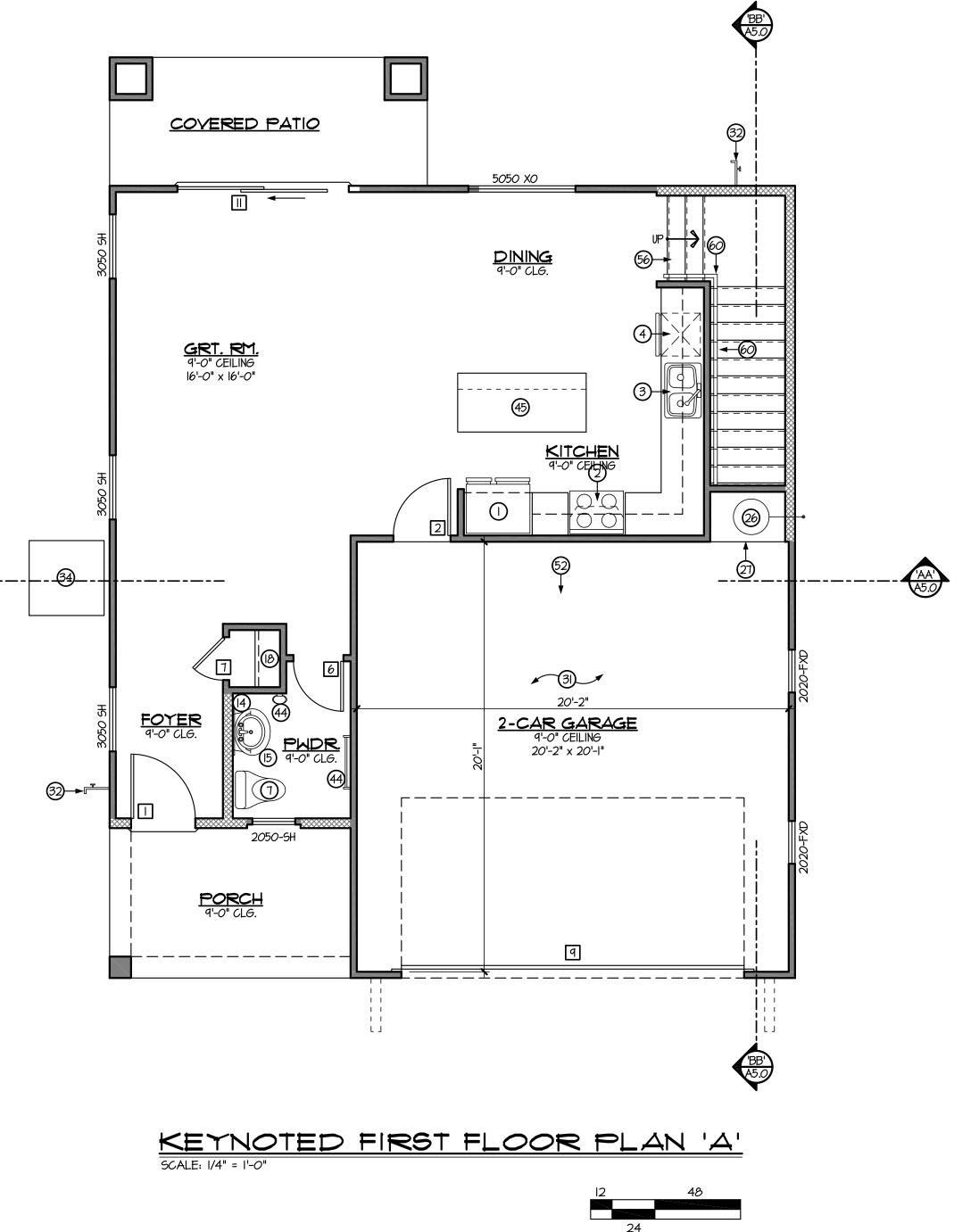
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('AA') A5.0

– 5% PATIO AREA REQUIRED = 90 SF - PATIO AREA PROVIDED = 90 SF

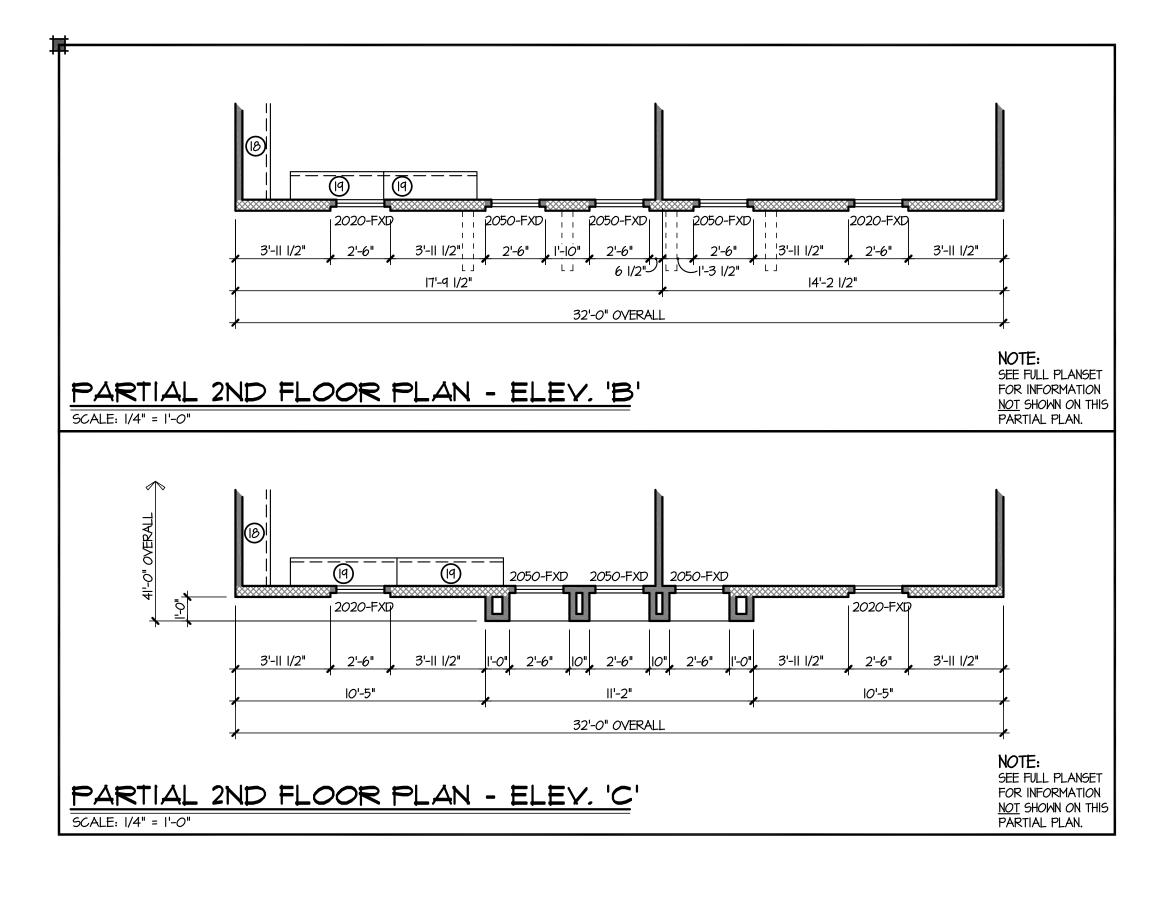
SQUARE FOOTAGE TAE	3LE 1800
1st FLR. LIV:	677 ⊄
2nd FLR. LIV:	1,123 ⊄
GARAGE:	428 ⊄
PATIO:	90 ⊄
PORCH:	79 ⊄
TOTAL UNDER ROOF:	2,350 ⊄
1st FLR. FOOTPRINT:	1,274 ⊄
LOT AREA	2,100 ⊄
LOT COV. %	60 %



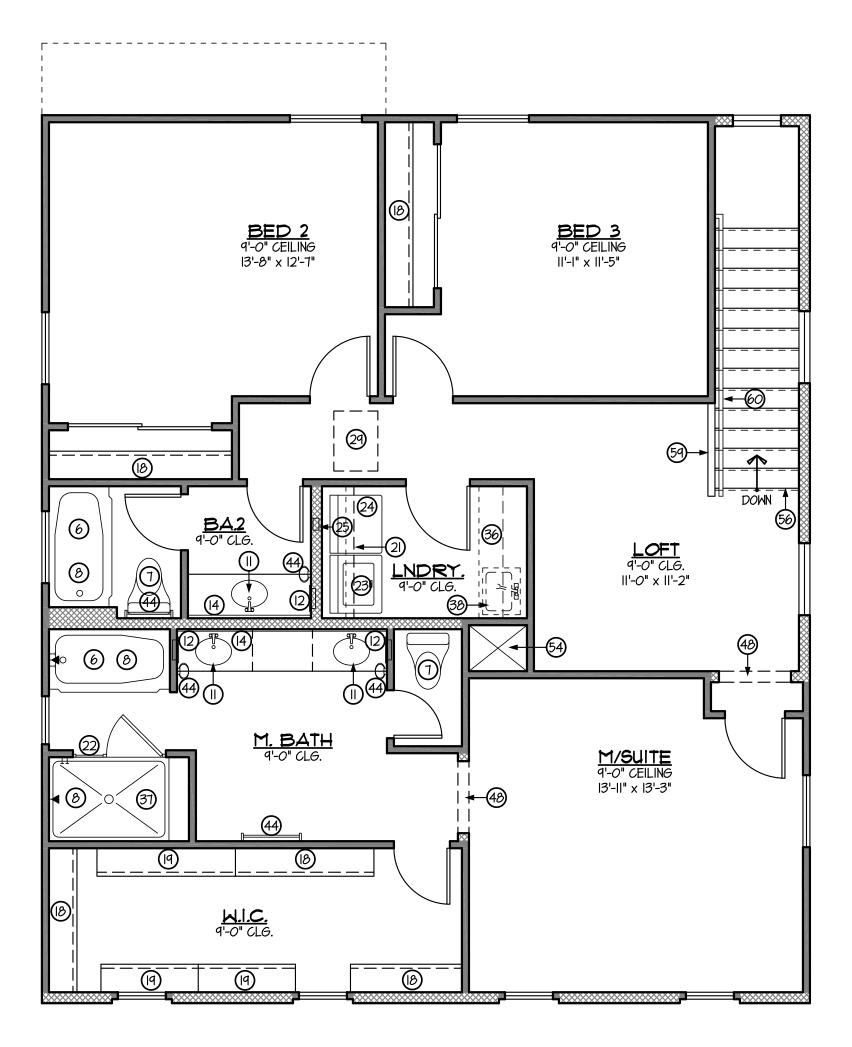
						GENERAL INFORMATION	
	·		SCHED			GENERAL INFORMATION	
		SIZE 3'-0" x 8'-0'	FUNCTION	NOTES		R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN	Ph. 480.644.9314
2	B	2'-8" x 6'-8"	SWING			R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	480.
3	В	2'-8" x 6'-8"	SWING			ROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) NGULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
4	C	2'-8" x 6'-8"	SWING			OR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION	South Robson, Suite 102, Mesa, Arizona 85210
5	0	2'-6" x 6'-8"	SWING		A	VIR & VENTILATION AIR PER I.R.C. SECTION 62407 & IANUFACTURERS RECOMMENDED CLEARANCES.	
6	د د	2'-4" x 6'-8" 2'-0" x 6'-8"	SWING			ROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH	
B	-	8'-0" x 8'-0"				EILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	Vesa Vesa
٩	-	16'-0" x 8'-0"	O.H. METAL SECT.		5. A	LL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - U.N.O.	
	D	6'-0" x 8'-0'	5.G.D.			IAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR O BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS	
 2	D 6	8'-0" x 8'-0' 4'-0" x 6'-8"				NINDOWS I.R.C. SECTON R310.1	
13	с С	6'-0" x 6'-8"				HEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM $3/8$ "	
4	C	8'-0" x 6'-8"	BI-PASS		Т	0 1/2" THICK FOR 16" O.C. FRAMING AND FROM 1/2" TO /8" THICK FOR 24" O.C. FRAMING OR 1/2" SAG RESISTANT	south
[5	B, D, E	3'-0" x 6'-8"			e	BYP. BOARD SHALL BE USED - ESR #1338.	
6 17	B, D, E	3'-0" x 6'-8" 2'-4" x 6'-8"	SWING (DBL. DR.) SWING	DOUBLE DOORS		= 2x4 WALL	
18	с С	2'-6" x 6'-8"	SWING	DOUBLE DOORS		= 2x6 WALL	
19	C	2'-8" x 6'-8"	SWING (DBL. DR.)	BALL CATCH	() KEYNOTES	6
20	C	2'-0" x 6'-8"			NO.		N N
			E W/ SELF CLOSER, 9 & SWEEP - I.R.C. SE			REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	O L
	OLID CORI OLLOW CO		D = TEMPERED G E = I-LITE DOOR		2	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE - HOOD EXHAUST @ +71" - OPTIONAL GAS	
No.			TION (CON		3	DOUBLE SINK W/ DISPOSAL	SO
54	MECHANICA				4	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P2717	AL
EE			ER PAN w/ FIBERGLA DRAIN - TEMP. GLAS		5	PANTRY - FACE FRAMED PANTRY CABINET	
	STAIRS PE		311.7.4 - RISE = 7 1/2		6	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - IRC. SEC. R102.42	CAI
5	GUARDRA	IL @ +36" MIN. w	KUN=10") / SPINDLES @ 4" O.C WALL BELOW @ +4"		1	WATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	<u>—</u> — ш
62	HANDRAIL		9 38" MAX. INSTALL		8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND	LAV
69	OPT. SPIND	LES @ 4" O.C. w/	<u>- 1.R.C. R311.1.1</u> 'GUARDRAIL @ +36" VALL @ +4" - 1.R.C. R3		9	60"x30" TUB/SHOWER COMBO. W/ ROD FOR SHOWER CURTAIN	N N
Ø			MAX - I.R.C. R311.7		0	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK	
6	4" WIDE P	ONY WALL @ +3	36"			SINK - OPTIONAL IF SHOWN WITH DASHED LINES	
62	CLOSURE	WALL BELOW S	TAIRS		12	RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL IF SHOWN WITH DASHED LINES	
63			TOOP - SLOPE 1/4" 1 ES. DELETE W/ OPT.		\sim	MARBLE PONY WALL @ +20" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL	
64			S WATER HEATER L		(4)	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - U.N.O. ON PLAN	
					(15)	PEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) W/ SINK AND MIRROR	
					(6)	STOP AND DROP - SEE ELEVATION ON SHEET ALO	
						5 - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWNNOTED ON PLAN.	7
					(18)	I ROD, I SHELF	PLAN
					(19)	2 RODS, 2 SHELVES	
					Ø	FACE FRAMED LINEN	
					(21)	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS	
					(22)	TEMPERED GLASS	
					23	WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER	Ö
					(24)	ELECTRIC DRYER - OPTIONAL GAS	Z
					(25)	4"\$ DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. 62439.5, 62439.5.1 & 62439.5.4	
					26	ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH 28" SQUARE PLATFORM @ +18" A.F.F.	
					27	20 SQUARE PLATFORM & HO AFT. 2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE	Ŕ
					28)	+12" A.F.F. & ONE 12" BELOW CLG. w/ GAS WATER HEATER	Ō
					29	22x30 ATTIC SCUTTLE W/ INSULATION & WEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R&07.I/NII02.2.4 4" TIRE STOP	OOR
					<u>80</u>	5/8" TYPE 'X' GYPSUM BOARD 0/ WALLS & CEILING PER	
					(31)	CITY REQUIREMENTS - I.R.C. TABLE 702.3.5 HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN	
					(32)	W/DASHED LINES LINE OF CEILING CHANGE - MAY VARY PER ELEVATION	
					(33) (33)	AND/OR OPTIONAL VAULTED CEILINGS A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF	
					(34) (F)	SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN. OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4"	
					(35) (6)	P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN OPTIONAL COUNTERTOP W/ BASE & UPPER CABINETS	+
					36) (36)	PRE-FAB 42" x 60" SHOWER PAN W/ FIBERGLASS OR	DRAWN BY:
					(37) (37)	MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER	SHR DATE:
					(38) (38)	UNLESS OTHERWISE SHOWN/NOTED ON PLAN OPTIONAL GAS STUB-OUT @ +16" A.F.F TYPICAL	01.12.22
					39) (1)	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE	REVISION
					1400	TO +72" ABOVE DRAIN - TEMPERED GLASS SURROUND LINE OF FIRST FLOOR/SECOND FLOOR	$\begin{array}{c c} \underline{A} & \underline{A} \\ \hline \underline{A} & \underline{A} \end{array}$
						3"¢ STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F.	Δ
					(42) (13)	FLAT SOFFIT - TOP @ +84"	<u>A</u> .
					(43) (73)	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN	
						OPTIONAL IF SHOWN WITH DASHED LINES ISLAND COUNTERTOP w/ 24" DEEP BASE CABINETS	PLAN:
					(45) (6)	W/ 12" OVERHANG MARBLE PONY WALL @ +42" OR PER PLAN	
					(46) (47)	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN	1800
					48	WITH DASHED LINES FLAT SOFFIT - TOP @ +96"	
					4 9	MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) -	
					60	COMPLY W/ I.R.C. SEC. R703.7 60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO	
					51	+12" ABOVE TUB DECK 3/4"\$ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE	COMMONS 1 Queen Creek, AZ
					52	SLOPE 1/4" PER LINEAL FOOT @ EXTERIOR SLABS	
					63	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB	SHEET NO.
							ΝΑΛ

TOWN OF QUEEN CREEK

A1.0



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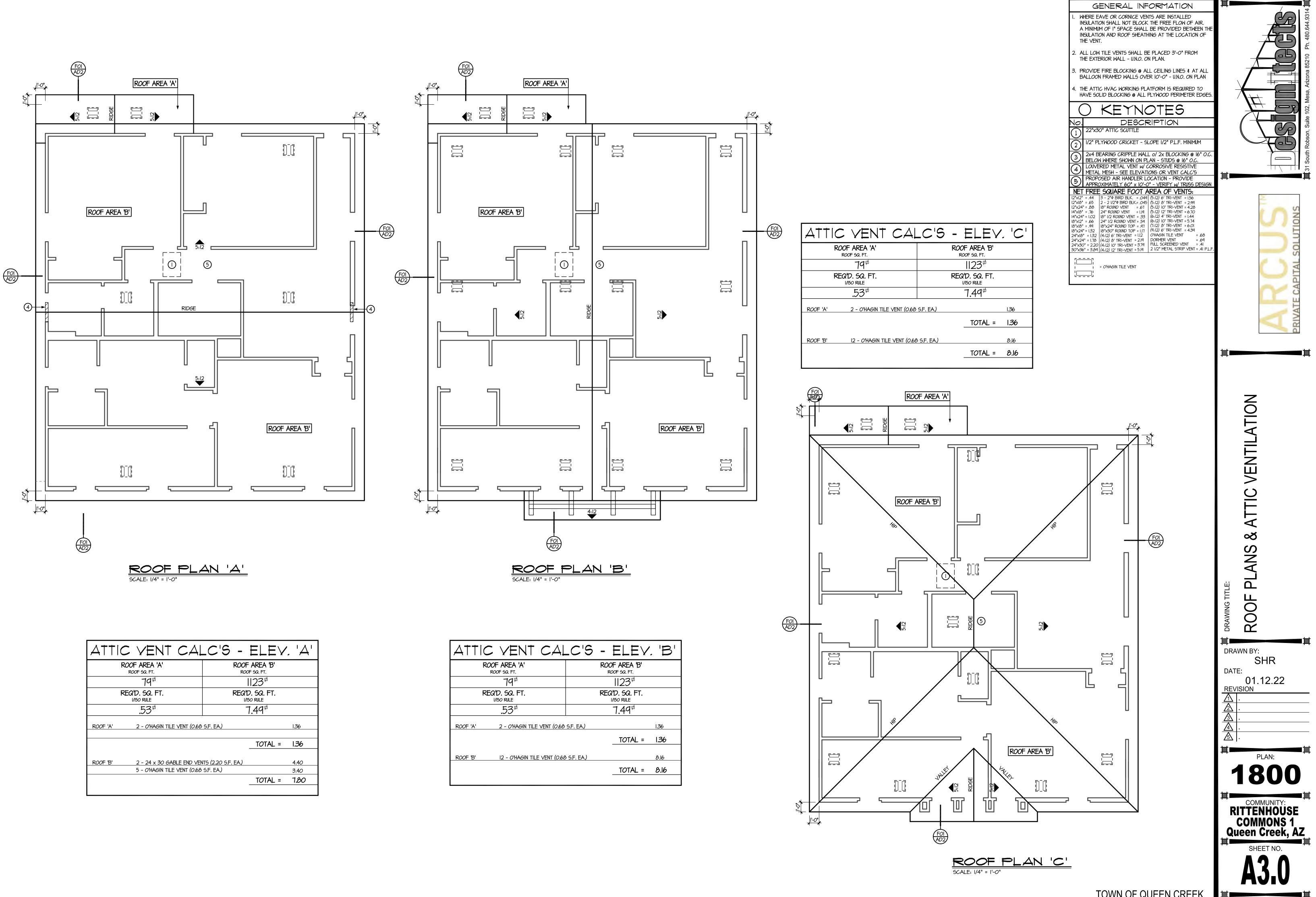


KEYNOTED SECOND FLOOR PLAN 'A' SCALE: 1/4" = 1'-0"

		DOOR	SCHED	PULE		GENERAL INFORMATION	
NO.	TYPE	SIZE	FUNCTION	NOTES	١.	INSULATION: R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN	44:00 K
	В	3'-0" x 8'-0'	SWING			R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	480.644.9314
2	A	2'-8" x 6'-8"	SWING		2	PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL)	
3	B C	2'-8" x 6'-8" 2'-8" x 6'-8"	SWING			INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
4 5	с С	2-8 x 6-8 2'-6" x 6'-8"	SWING			FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION G2407 &	
6	C	2'-4" x 6'-8"	SWING			MANUFACTURERS RECOMMENDED CLEARANCES.	Arizona
7	٥	2'-0" x 6'-8"	SWING			PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH	a, Ar
Ø	-	8'-0" x 8'-0"	O.H. METAL SECT.			CEILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	102, Messa,
ব	-	16'-0" x 8'-0"	O.H. METAL SECT.			ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - U.N.O.	
	D D	6'-0" x 8'-0' 8'-0" x 8'-0'	S.G.D. S.G.D.			MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS	Suffe
12	С С	4'-0" x 6'-8"	BI-PASS			WINDOWS I.R.C. SECTON R310.1	
ß	C	6'-0" x 6'-8"	BI-PASS			WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8"	South Robson,
14	٥	8'-0" x 6'-8"	BI-PASS			TO I/2" THICK FOR 16" O.C. FRAMING AND FROM I/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR I/2" SAG RESISTANT	south
15	B, D, E	3'-0" x 6'-8"	SWING (SNGL. DR.)			GYP. BOARD SHALL BE USED - ESR #1338.	
6	B, D, E	3'-0" x 6'-8"	SWING (DBL. DR.)			= 2x4 WALL	
7 8	ک ک	2'-4" x 6'-8" 2'-6" x 6'-8"	SWING	DOUBLE DOORS		= 2x6 WALL	
II II	с С	2'-8" x 6'-8"	SWING (DBL. DR.)			O KEYNOTES	\sim
20	C	2'-0" x 6'-8"			Nc		NS
			W/ SELF CLOSER, S			REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	9 9 9
	50LID CORE		\$ SWEEP - I.R.C. SE D = TEMPERED G		6	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE -	5
C = 	HOLLOW CO	RE	E = I-LITE DOOR		(3) (3)	HOOD EXHAUST @ +T1" - OPTIONAL GAS DOUBLE SINK w/ DISPOSAL	5
N0.			tion (com	NT.)	\vdash	DISHWASHER - PROVIDE APPROVED AIR GAP PER	S
			n n 111 /		4	I.R.C. P2717	TA
5 5	PRE-FAB 4 MARBLE TO	0 +72" ABOVE [R PAN w/ FIBERGLA RAIN - TEMP. GLAS	S SURROUND	(J	PANTRY CABINET	Id
6	STAIRS PE (MAX. RISE	R I.R.C. SEC. R: =7 3/4" - MIN.	311.7.4 - RISE = 7 1/2 RUN=10")	2" RUN = 10"	(b)	TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - I.R.C. SEC. R102.42	C
5	GUARDRAI	L @ +36" MIN. w/	'SPINDLES @ 4" O.C WALL BELOW @ +4"		[<u>]</u>	WATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	ш Ц
63	HANDRAIL		38" MAX. INSTALL		8	PRE-FAB 34" x 60" SHOWER PAN w/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	X
) F	OPT. SPIND	LES @ 4" O.C. w/			9	CURTAIN	
Ø			MAX - I.R.C. R311.1.		10	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK	
6	4" WIDE PO	ONY WALL @ +3	6"		(1]	SINK - OPTIONAL IF SHOWN WITH DASHED LINES	±
6	CLOSURE I	WALL BELOW ST	TAIRS		(12	RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL IF SHOWN WITH DASHED LINES	
	42" SQUAR	E CONCRETE S	100P - SLOPE 1/4" F	P.L.F. MAX <i>O</i> PT.	(13		
		√ DASHED LINE GAS TANKLESS	100P - SLOPE 1/4" f <u>S. DELETE w/ OPT.</u> 5 WATER HEATER LO	COVERED PATIO	(14)	48" HIGH MIRROR IN MASTER BATHROOM & ALL	
4		0,0,1,41,4200			(15	PEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL	
					(16	BASE CABINET(S) W/ SINK AND MIRROR STOP AND DROP - SEE ELEVATION ON SHEET AI.O	7
					(17	5 - SHELVES EQUALLY SPACED, UNLESS	
					\vdash	OTHERWISE SHOWN/NOTED ON PLAN.	PLAN
					(18)		<u> </u>
					(19		
					Ø	STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS	μ
					(21)		
					(22		
					23		\rightarrow
					24	ELECTRIC DRYER - OPTIONAL GAS	KEYNO
					25	4"\$\Phi DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. G2439.5, G2439.5.1 & G2439.5.4	\mathbf{X}
					26	ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH	Ŕ
					27	28" SQUARE PLATFORM @ +18" A.F.F.	Q
					28	2-14"x8" SCREENED LOUVERED METAL AIR VENTS - ONE +12" A.F.F. & ONE 12" BELOW CLG. W/ GAS WATER HEATER	LOOR
					29	22/20 ATTIC COUTTLE W/ INCHLATION & MEATHEDCTDIDDING	
					<u>e</u>		
					<u>)</u> (31	5/8" TYPE 'X' GYPSUM BOARD o/ WALLS & CEILING PER	
					32	CITY REQUIREMENTS - I.R.C. TABLE 102.3.5 HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN	
					37	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION	Č M
					2	AND/OR OPTIONAL VAULTED CEILINGS A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF	Ш Ш
						SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN. OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4"	ь S
					(35		
					36	PRE-FAB 42" x 60" SHOWER PAN w/ FIBERGLASS OR	DRAWN BY: SHR
						MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	DATE:
					(38	UNLESS OTHERWISE SHOWN/NOTED ON PLAN	01.12.22
					(39	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE	REVISION
					40	TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND	A.
					(4)		
					42		$\frac{\underline{23}}{\underline{4}}$.
					43		$\boxed{\underline{A}}$.
					44		
					45		PLAN:
					46		1800
					41	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES	IOVU
					(48	ELAT GOEELT TOR & 106"	
					49	MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) -	
					60	60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO	
					51	+12" ABOVE TUB DECK 3/4"Φ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE	COMMONS 1 Queen Creek, AZ
					(52	SLOPE 1/4" PER LINEAL FOOT @ EXTERIOR SLABS	
					K K	SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB	SHEET NO.

TOWN OF QUEEN CREEK

SLOPE I/8" PER LINEAL FOOT @ GARAGE SLAB



ATTIC VENT CAL	_C'S - ELEV. 'A'
ROOF AREA 'A'	ROOF AREA 'B'
79⊄	23⊄
REQ'D. SQ. FT. 1/150 RULE	REQ'D. SQ. FT. 1/150 RULE
.53⊄	7.49⊄
<u>ROOF 'A' 2 - O'HAGIN TILE VENT (0.68</u>	5.F. EA.) 1.36
ROOF 'B' 2 - 24 x 30 GABLE END VEN 5 - O'HAGIN TILE VENT (0.68	

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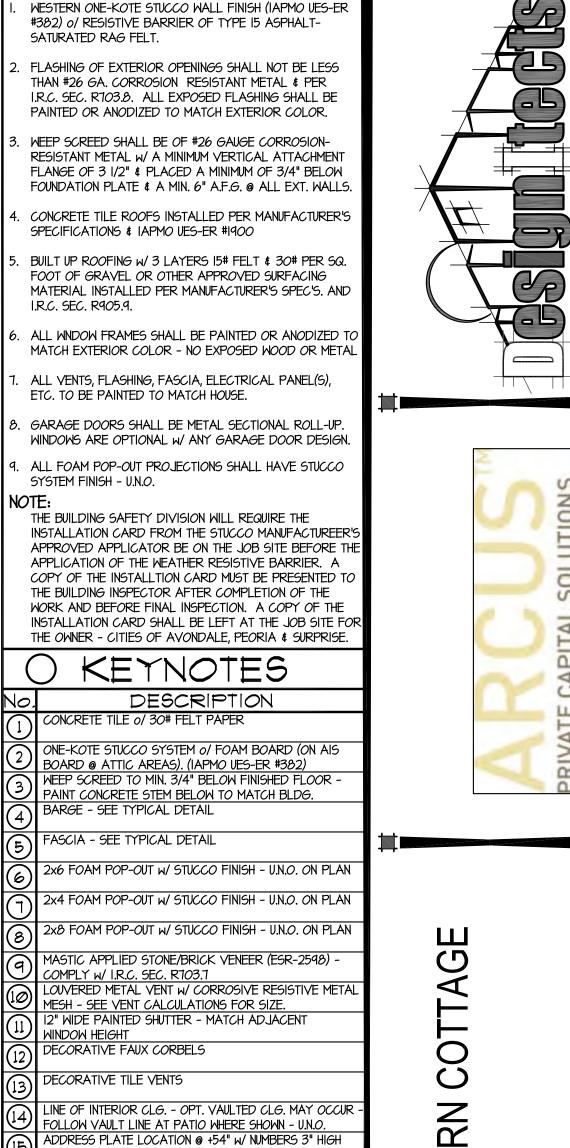
TOWN OF QUEEN CREEK





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SCALE: 1/4" = 1'-0"



GENERAL INFORMATION

SATURATED RAG FELT.

I.R.C. SEC. R905.9.

SYSTEM FINISH - U.N.O.

NOTE:

SPECIFICATIONS & IAPMO UES-ER #1900

ETC. TO BE PAINTED TO MATCH HOUSE.

CONCRETE TILE 0/ 30# FELT PAPER

FASCIA - SEE TYPICAL DETAIL

WINDOW HEIGHT

WINDOW HEIGHT

26 @ 4" O.C.

RETURN WALL LOCATION

COACH LIGHT LOCATION

IX3 HARDIETRIM - (OR EQUAL)

/4 HARDIETRIM - 2x6 (OR EQUAL)

DECORATIVE FAUX CORBELS

DECORATIVE TILE VENTS

PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT 24" WIDE PAINTED SHUTTER - MATCH ADJACENT

JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL) JAMES HARDIE HARDIEPANEL VERTICAL SIDING -

JAMES HARDIE HARDIEPLANK LAP SIDING -SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUA ROUGH SAWN WOOD COLUMN/ BEAM

WROUGHT IRON RAILING @ 36" MIN. W/ SPINDLES



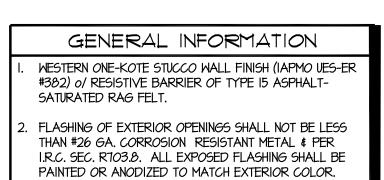
TER Ś ME A **ATION** ECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL >ĹШ Δ DRAWN BY: SHR DATE: 01.12.22 REVISION



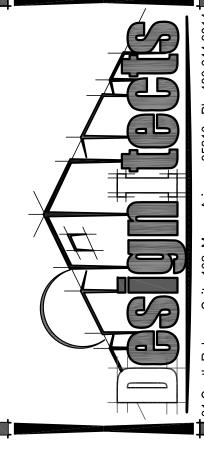




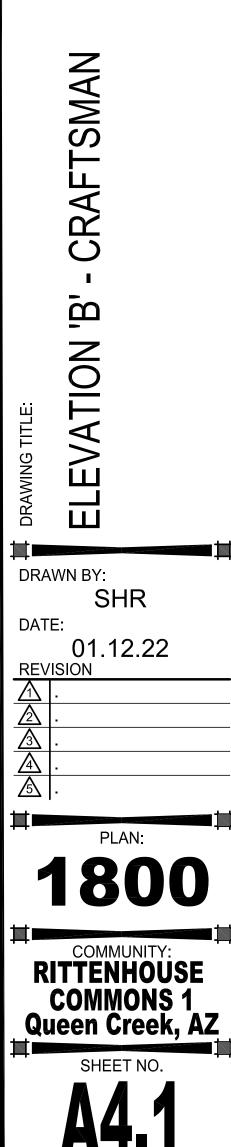
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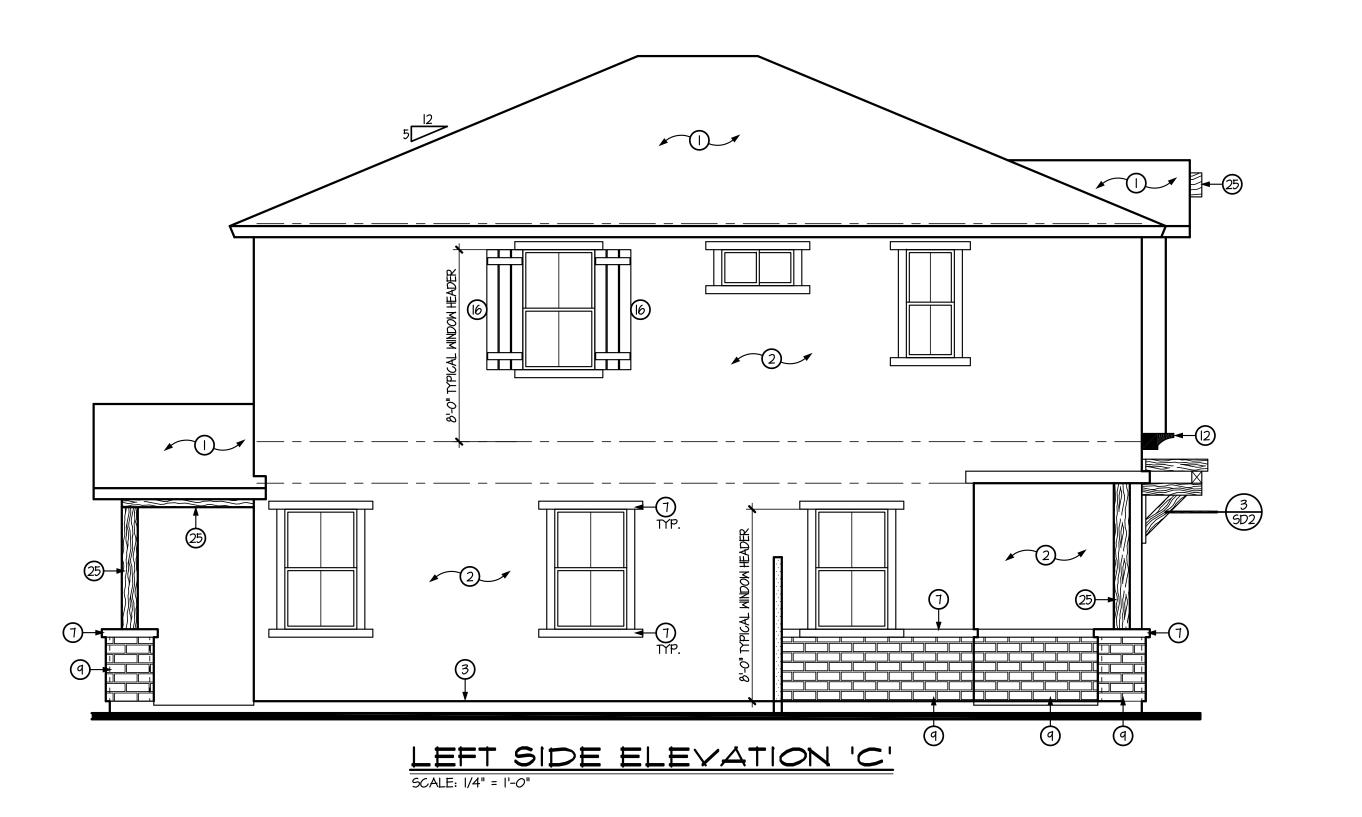


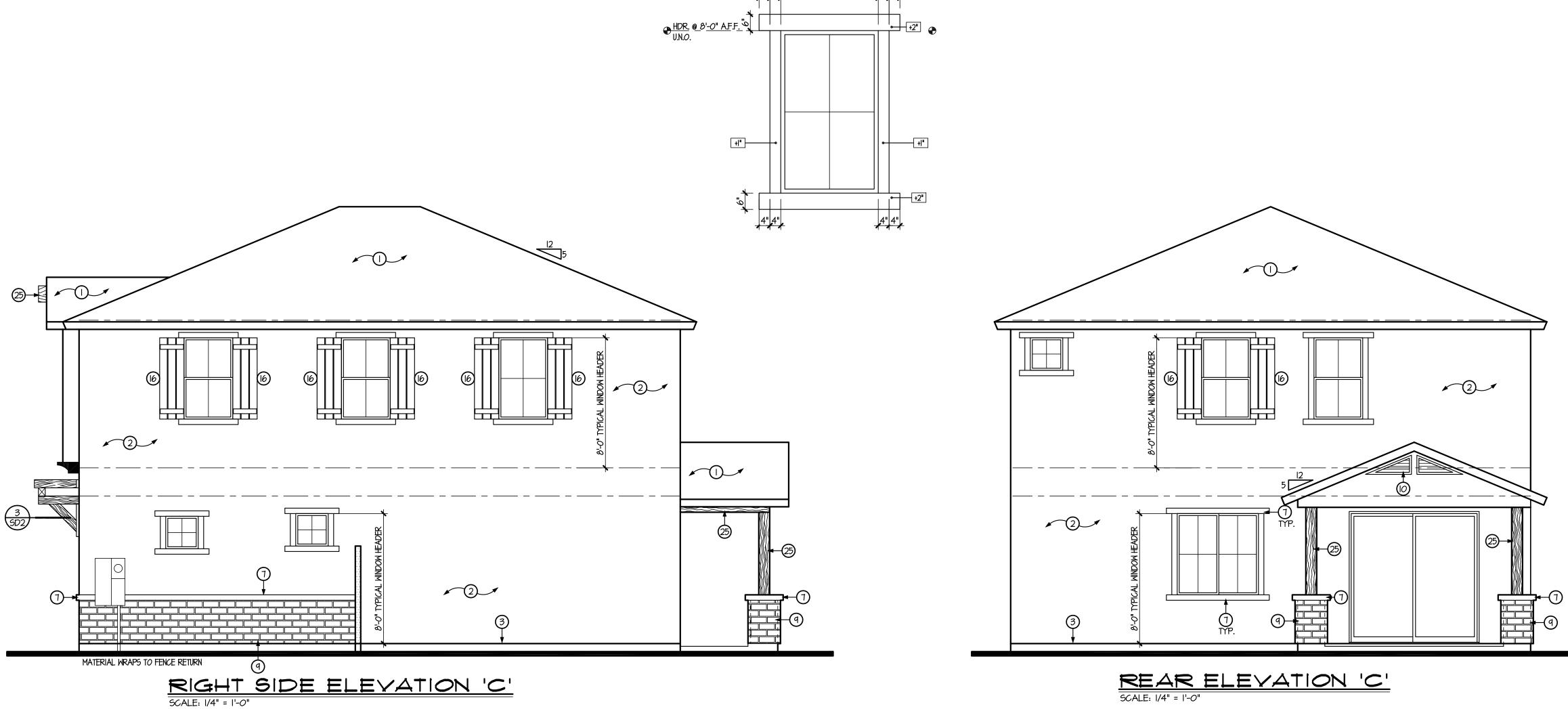
- WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL W/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS.
- CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1900
- BUILT UP ROOFING W/ 3 LAYERS 15# FELT & 30# PER SQ. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPEC'S. AND I.R.C. SEC. R905.9.
- ALL WNDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL
- ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE.
- GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL W/ ANY GARAGE DOOR DESIGN.
- ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO SYSTEM FINISH - U.N.O.
- NOTE: THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTUREER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLTION CARD MUST BE PRESENTED T THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FO THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE. KEYNOTES DESCRIPTION CONCRETE TILE 0/ 30# FELT PAPER ONE-KOTE STUCCO SYSTEM O/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #382) WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL FASCIA - SEE TYPICAL DETAIL 2x6 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN 2x4 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN 2x8 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) -COMPLY W/ I.R.C. SEC. RT03.7 LOUVERED METAL VENT W/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE. 12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT DECORATIVE FAUX CORBELS DECORATIVE TILE VENTS LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR \mathbf{y} Follow vault line at patio where shown - U.N.O. ADDRESS PLATE LOCATION @ +54" w/ NUMBERS 3" HIGH PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT 24" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT RETURN WALL LOCATION COACH LIGHT LOCATION IX3 HARDIETRIM - (OR EQUAL) 5/4 HARDIETRIM - 2x6 (OR EQUAL) JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL) JAMES HARDIE HARDIEPANEL VERTICAL SIDING -LECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL JAMES HARDIE HARDIEPLANK LAP SIDING -SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUA ROUGH SAWN WOOD COLUMN/ BEAM WROUGHT IRON RAILING @ 36" MIN. W/ SPINDLES 6 4" O.C.



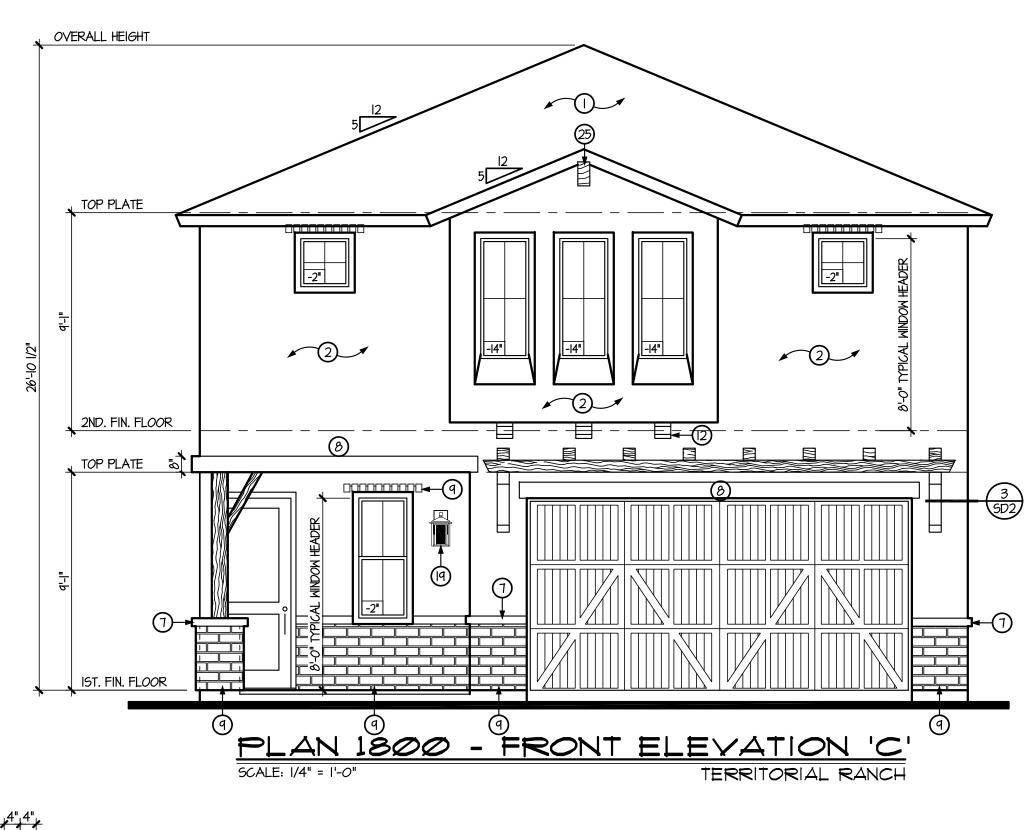


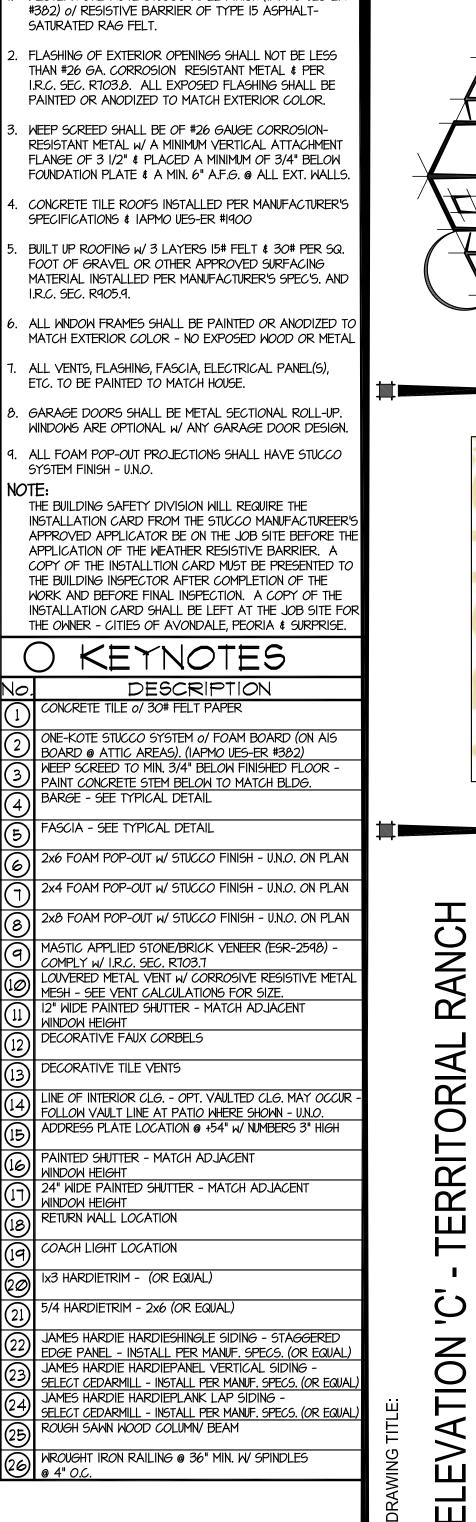






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GENERAL INFORMATION

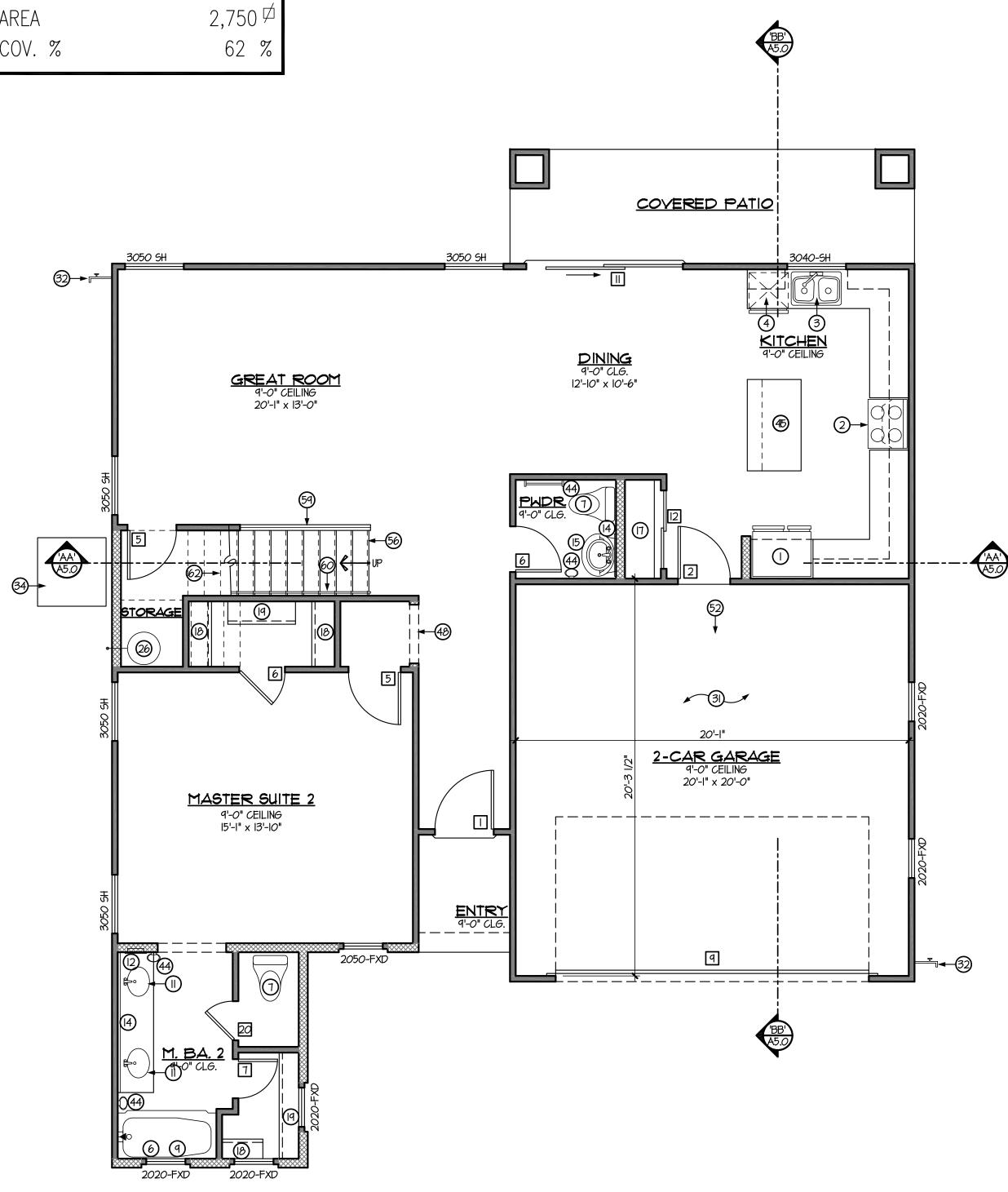
WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER

DRAWN BY: SHR DATE: 01.12.22 REVISION PLAN: 1800

C



SQUARE FOOTAGE TABLE	2420
1st FLR. LIV:	1,140 ⊄
2nd FLR. LIV:	1,280 ⊄
GARAGE:	416 ⊄
PATIO:	121⊄
ENTRY:	28 ⊄
TOTAL UNDER ROOF:	2,932 ⊄
1st FLR. FOOTPRINT:	1,705 ⊄
LOT AREA	2,750 ⊄
LOT COV. %	62 %





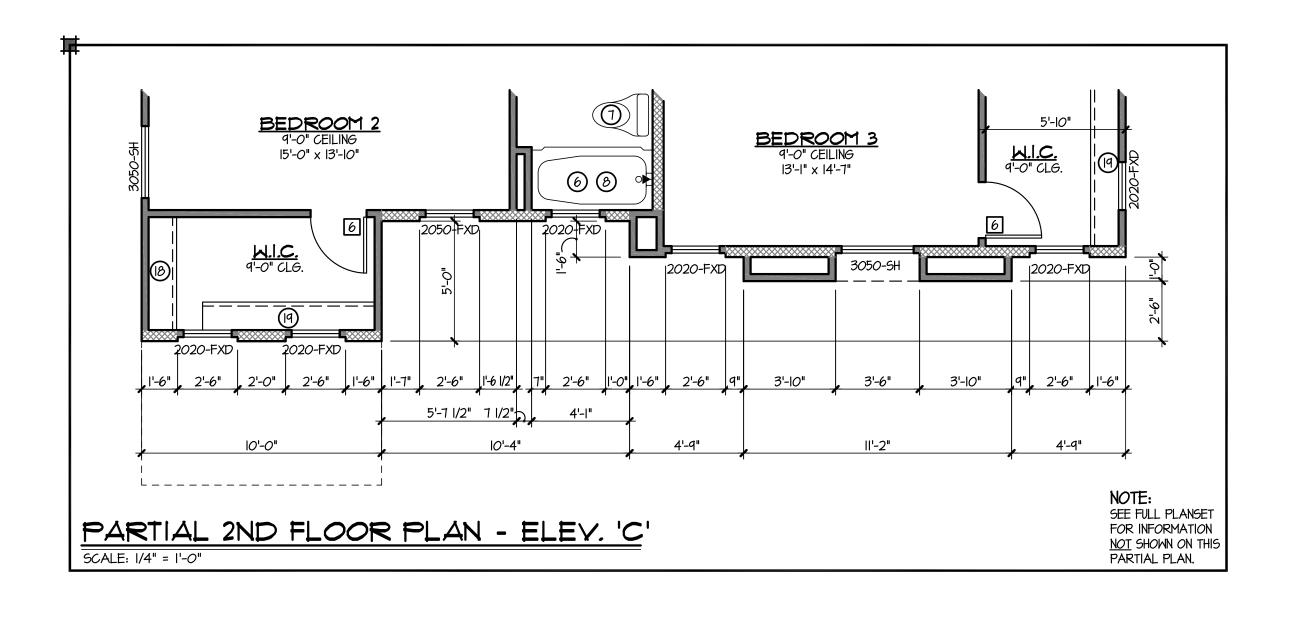
Ħ NAME: P:\ArcusCapital\RittenhouseCommons1_QC\AutoCAD\2420\2493−A10.dwg DATE: MAY 10, 2022 TIME: 0:44 AM

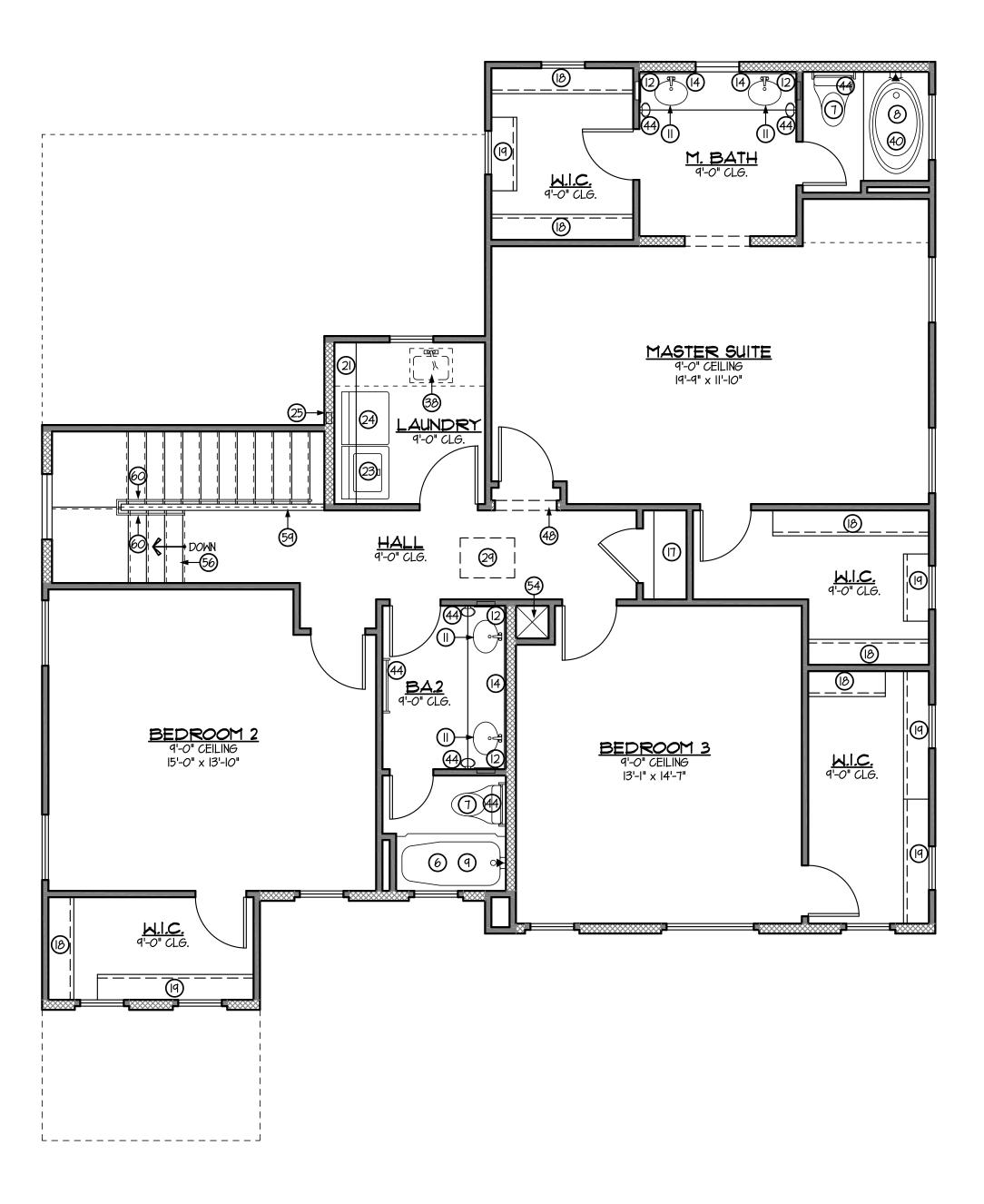


	GENERAL INFORMATION	
	I. INSULATION:	
No. TYPE SIZE FUNCTION NOTES Π B 3'-0" × 8'-0' SWING	R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN	Ph. 480.644.9314
I B 5-0 x 8-0 SMING 2 A 2'-8" x 6'-8" SWING	R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	
3 B 2'-8" x 6'-8" SWING	2. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
4 C 2'-8" x 6'-8" SWING	3. FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION	
5 C 2'-6" x 6'-8" SWING	AIR & VENTILATION AIR PER I.R.C. SECTION 62407 & MANUFACTURERS RECOMMENDED CLEARANCES.	
6 C 2'-4" × 6'-8" SWING 7 C 2'-0" × 6'-8" SWING	4. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH	Arizona
B - B'-O" × B'-O" O.H. METAL SECT.	CEILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	Jesa,
9 - 16'-0" x 8'-0" O.H. METAL SECT.	5. ALL ITEMS SHOWN w/ DASHED LINES ARE OPTIONAL - U.N.O.	Suite 102, Mesa,
Ю D 6'-O" x 8'-O' S.G.D.	6. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS	
III D 𝔅'-𝔅" x 𝔅'-𝔅' 𝔅.𝔅.D. I2 𝔅 𝔅'-𝔅" x 𝔅'-𝔅" 𝔅I-𝔅	WINDOWS I.R.C. SECTON R310.1	or e
IZ 0 4 0 × 0 0 Di 17/05 I3 C 6'-0" × 6'-8" BI-PASS	 WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" 	South Robson,
I4 C δ'-O" x 6'-δ" BI-PASS	TO I/2" THICK FOR 16" O.C. FRAMING AND FROM I/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR I/2" SAG RESISTANT	ionth
I5 B, D, E 3'-O" x 6'-8" SWING (SNGL. DR.) OPT. 8'-O" HIGH	GYP. BOARD SHALL BE USED - ESR #1338.	
IGB, D, E $3'-O'' \times 6'-\delta''$ SWING (DBL. DR.)OPT. $\delta'-O''$ HIGHITC $2'-4'' \times 6'-\delta''$ SWINGDOUBLE DOORS	= 2x4 WALL	
$\begin{array}{c c c c c c c c c c c c c c c c c c c $	= 2x6 WALL	
III C 2'-8" x 6'-8" SWING (DBL. DR.) BALL CATCH	O KEYNOTES	10
20 C 2'-O" x 6'-8" SWING	NO. DESCRIPTION	N N
 A = MIN. OF 3/8" SOLID CORE ω/ SELF CLOSER, SELF LATCHING, & TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R302.5.1 	REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	E
B = SOLID CORE D = TEMPERED GLASS C = HOLLOW COPE E = $1 + 1 + 7 = 1000$	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE - HOOD EXHAUST @ +TT" - OPTIONAL GAS	
C = HOLLOW CORE E = I-LITE DOOR NO. DESCRIPTION (CONT.)	3 DOUBLE SINK W/ DISPOSAL	SO
MECHANICAL CHASE	DISHWASHER - PROVIDE APPROVED AIR GAP PER I.R.C. P2717	AL
PRE-FAB 42" x 42" SHOWER PAN W/ FIBERGLASS OR	DANTRY - FACE FRAMED PANTRY CABINET	
STAIRS PER I.R.C. SEC. R311.7.4 - RISE = 7 1/2" RUN = 10"	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - IRC. SEC. R102.42	C
GUARDRAIL @ +36" MIN. W/ SPINDLES @ 4" O.C	MATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	
HANDRAIL @ +34" MIN. TO 38" MAX. INSTALLED o/ 4" WIDE	PRE-FAB 34" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	NA.
OPNY WALL @ +36" MIN I.R.C. R311.7.7 OPT. SPINDLES @ 4" O.C. W/ GUARDRAIL @ +36" MIN INSTALL 0/ 4" WIDE PONY WALL @ +4" - I.R.C. R312.1	60"x30" TUB/SHOWER COMBO. W/ ROD FOR SHOWER CURTAIN	PRI
HANDRAIL - +34" TO +38" MAX - I.R.C. R311.7.7	60"x42" SLIDE-IN TUB w/ MARBLE TO +12" ABOVE TUB DECK	
4" WIDE PONY WALL @ +36"	II SINK - OPTIONAL IF SHOWN WITH DASHED LINES	
CLOSURE WALL BELOW STAIRS	12 RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL IF SHOWN WITH DASHED LINES	
42" SQUARE CONCRETE STOOP - SLOPE I/4" P.L.F. MAX OPT. IF SHOWN W/ DASHED LINES. DELETE W/ OPT. COVERED PATIO	(13) MARBLE PONY WALL @ +20" OR PER PLAN - HOLD SHOWER GLASS TO TUB SIDE OF WALL	
OPTIONAL GAS TANKLESS WATER HEATER LOCATION	48" HIGH MIRROR IN MASTER BATHROOM & ALL SECONDARY BATHROOMS - U.N.O. ON PLAN	
	PEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) W/ SINK AND MIRROR	
	STOP AND DROP - SEE ELEVATION ON SHEET ALO 5 - SHELVES EQUALLY SPACED, UNLESS	
	OTHERWISE SHOWNNOTED ON PLAN.	7
		PLAN
	69	
	BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER	KEYNOT
	4" 4" 4" 4" 4 C C C C C C C C C C C C	\leq
	4"¢ DRYER VENT THROUGH ROOF - NOT TO EXCEED 35'-0" PER I.R.C. SEC. 62439.5, 62439.5.1 & 62439.5.4 ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6"	ш
	 26 ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH 28" SQUARE PLATFORM @ +18" A.F.F. 	
		OOR
	2-14 X8 SCREENED LOUVERED METAL AIR VENTS - ONE +12" A.F.F. & ONE 12" BELOW CLG. W/ GAS WATER HEATER 22X30 ATTIC SCUTTLE W/ INSULATION & WEATHERSTRIPPING -	O O
	 22X30 ATTIC SCUTTLE W INSULATION & WEATHERSTRIPPING - PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R807.I/NII02.2.4 4" TIRE STOP 	
	5/8" TYPE 'X' GYPSUM BOARD o/ WALLS & CEILING PER	i i i i i i i i i i i i i i i i i i i
	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN	
	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION	NING SS
	A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF	FIRST F
	 SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN. OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED I/4" PL.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN 	
	OPTIONAL COUNTERTOP W/ BASE & UPPER CABINETS	DRAWN BY:
	PRE-FAB 42" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	SHR
	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN	DATE:
	OPTIONAL GAS STUB-OUT @ +16" A.F.F TYPICAL	01.12.22 REVISION
	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE TO +72" ABOVE DRAIN - TEMPERED GLASS SURROUND	
	(4) LINE OF FIRST FLOOR/SECOND FLOOR	
	(42) 3"Ø STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F.	$\underline{73}$.
	43 FLAT SOFFIT - TOP @ +84"	<u>A</u> . <u>5</u> .
	TOWEL BAR @ +54" OR TOWEL RING @ +54" - PER PLAN OPTIONAL IF SHOWN WITH DASHED LINES	
	(45) ISLAND COUNTERTOP W/ 24" DEEP BASE CABINETS W/ 12" OVERHANG	PLAN:
	46 MARBLE PONY WALL @ +42" OR PER PLAN	2420
	RETURN WALL LOCATION - OPTIONAL LOCATION IF SHOWN WITH DASHED LINES	LTLV
	(4) FLAT SOFFIT - TOP @ +96"	
	MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) - COMPLY W/ I.R.C. SEC. R103.1	RITTENHOUSE
	60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO +12" ABOVE TUB DECK 3/4"\$ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE	COMMONS 1
	(51)	Queen Creek, AZ
	52	SHEET NO.
	53 SLOPE 1/8" PER LINEAL FOOT @ GARAGE SLAB	
		▖

TOWN OF QUEEN CREEK

A1.0





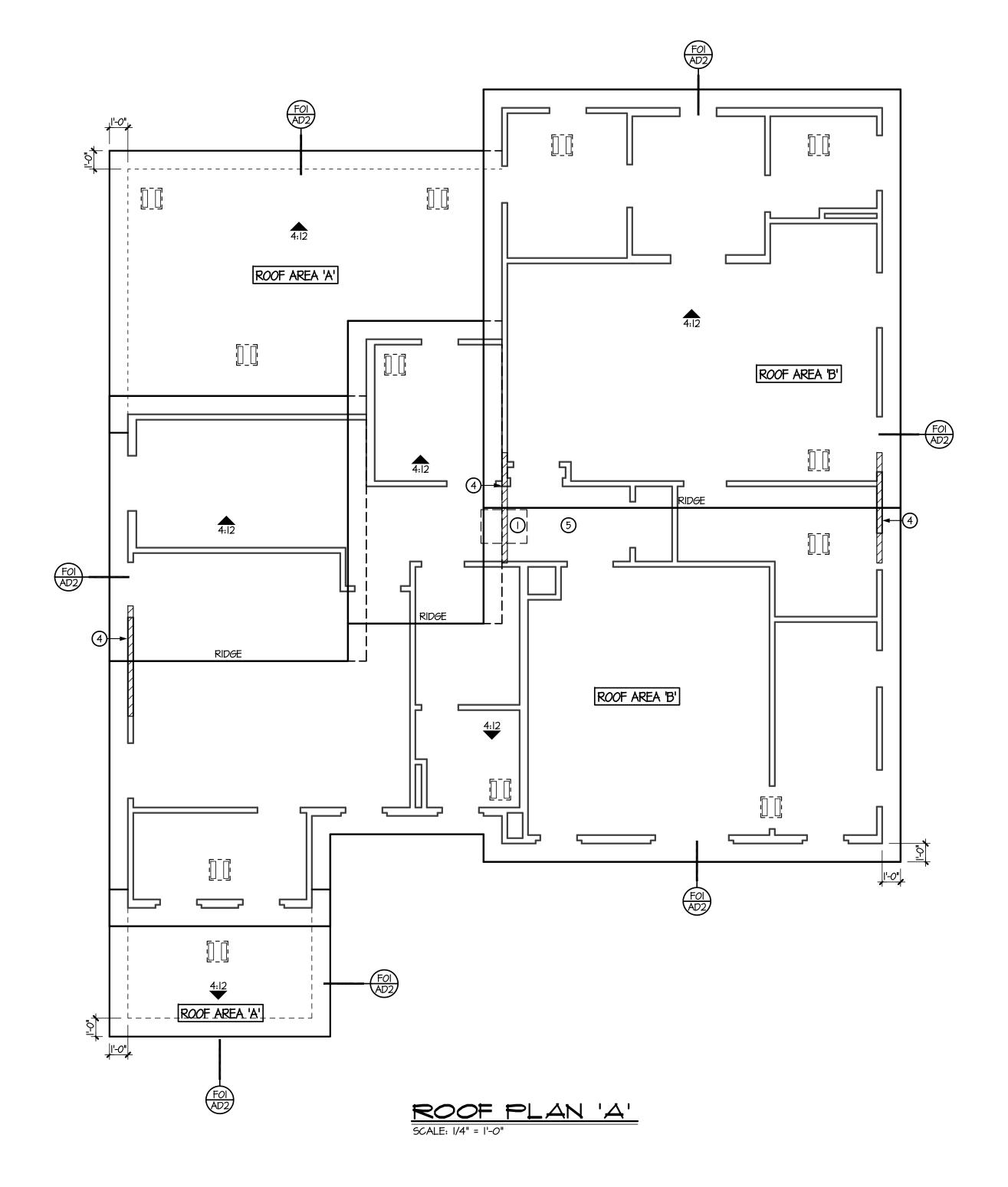
KEYNOTED SECOND FLOOR PLAN 'A', & 'B' SCALE: 1/4" = 1'-0"

	GENERAL INFORMATION	
	I. INSULATION:	
No. TYPE SIZE FUNCTION NOTES Π B 3'-0" × 8'-0' SWING	R-38 BLOWN-IN @ ATTIC - U.N.O. ON PLAN R-13 BATTS @ EXT. 2x4 WALLS - U.N.O. ON PLAN	0.644
2 A 2'-8" x 6'-8" SWING	R-19 BATTS @ EXT. 2x6 WALLS - U.N.O. ON PLAN	Ph. 480.644.9314
3 B 2'-δ" × 6'-δ" SWING 4 C 2'-δ" × 6'-δ" SWING	2. PROVIDE R-13 BATT. (2x4 WALL) OR R-19 BATT (2x6 WALL) INSULATION BETWEEN GARAGE & ALL LIVABLE SPACES.	
14 C 2-0 x 0-0 Swind 5 C 2'-6" x 6'-8" SWING	3. FOR GAS APPLIANCES & FIXTURES (IF APPLICABLE) PROVIDE COMBUSTION AIR & VENTILATION AIR PER I.R.C. SECTION 62407 &	
6 с 2'-4" x 6'-8" SWING	MANUFACTURERS RECOMMENDED CLEARANCES.	South Robson, Suite 102, Mesa, Arizona
T C 2'-O" × 6'-8" SWING B - 8'-O" × 8'-0" O.H. METAL SECT.	4. PROVIDE EXTERIOR TYPE GYP. BD. AT PATIO & PORCH CEILINGS - TAPE & TEXTURE PER PROJECT SPEC'S.	esa, A
Image: Contract of the sect of	5. ALL ITEMS SHOWN W/ DASHED LINES ARE OPTIONAL - U.N.O.	
10 D 6'-O" x δ'-O' 5.6.D.	6. MAINTAIN A MAXIMUM HEIGHT OF 44" FROM FINISH FLOOR	
III D θ'-O" x θ'-O' S.G.D. I2 C 4'-O" x θ'-θ" BI-PASS	TO BOTTOM OF SILL - IN BEDROOM & BASEMENT EGRESS WINDOWS I.R.C. SECTON R310.1	G S S S S S S S S S S S S S S S S S S S
IZ C O' × O' O' DI 17 (SS) I3 C O'-O'' × O'-O'' BI-PASS	 WHEN APPLYING WATER-BASED TEXTURE MATERIAL, THE MIN. GYP. BOARD THICKNESS SHALL BE INCREASED FROM 3/8" 	
I4 C β'-O" x 6'-δ" BI-PASS	TO I/2" THICK FOR 16" O.C. FRAMING AND FROM I/2" TO 5/8" THICK FOR 24" O.C. FRAMING OR I/2" SAG RESISTANT	South
I5 B, D, E 3'-O" x 6'-8" SWING (SNGL. DR.) OPT. 8'-O" HIGH I6 B, D, E 3'-O" x 6'-8" SWING (DBL. DR.) OPT. 8'-O" HIGH		
Image:		
[13] C 2'-6" x 6'-8" SWING DOUBLE DOORS		\geq
III C 2'-8" x 6'-8" SWING (DBL. DR.) BALL CATCH 20 C 2'-0" x 6'-8" SWING	O KEYNOTES	AS S
A = MIN. OF I 3/8" SOLID CORE W/ SELF CLOSER, SELF LATCHING,	NO. DESCRIPTION REFRIGERATOR - PRE-PLUMB FOR ICE MAKER	
& TIGHT FITTING GASKETS & SWEEP - I.R.C. SEC. R302.5.1B = SOLID CORED = TEMPERED GLASS	ELECTRIC RANGE & OVEN W/ HOOD/MICROWAVE ABOVE - HOOD EXHAUST @ +77" - OPTIONAL GAS	5
C = HOLLOW CORE E = I-LITE DOOR	C HOOD EXHAUST @ +77" - OPTIONAL GAS DOUBLE SINK W/ DISPOSAL	201
NO. DESCRIPTION (CONT.)	DISHWASHER - PROVIDE APPROVED AIR GAP PER	
	DIR.C. P2717 PANTRY - FACE FRAMED PANTRY CABINET	
MARBLE TO +12" ABOVE DRAIN - TEMP. GLASS SURROUND	CEMENT, FIBER CEMENT OR GLASS MAT GYP. BACKER W/ TILE, MARBLE OR EQ. TO +72" ABV. DRAIN - I.R.C. SEC. R102.4.2	AF
60 STAIRS PER I.R.C. SEC. R311.1.4 - RISE = 71/2" RUN = 10" (MAX. RISE=7 3/4" - MIN. RUN=10") 60 60 61 62 63 64 64 65 65 60 61 62 63 64 64 65 65 65 64 65 65 65 64 70 70 71 71 71 71 71 71 72 73 74 74 74 74 74 74 74 74 74 74 74 74 74 74 74 74 74 <tr< td=""><td>WATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1</td><td>ЦЦ Ц</td></tr<>	WATER CLOSET PROVIDE A (MIN.) 15" ON EACH SIDE & 21" (MIN.) CLEAR IN FRONT - I.R.C. SEC. R307.1	ЦЦ Ц
HANDRAIL @ +34" MIN. TO 38" MAX. INSTALLED o/ 4" WIDE	BRE-FAB 34" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	VAL
OPT. SPINDLES @ 4" O.C. W/ GUARDRAIL @ +36" MIN	60"x30" TUB/SHOWER COMBO. W/ ROD FOR SHOWER CURTAIN	PRIV
INSTALL 0/ 4" WIDE PONY WALL @ +4" - I.R.C. R312.1 HANDRAIL - +34" TO +38" MAX - I.R.C. R311.7.7	60"x42" SLIDE-IN TUB W/ MARBLE TO +12" ABOVE TUB DECK	
(c) 4" WIDE PONY WALL @ +36"	SINK - OPTIONAL IF SHOWN WITH DASHED LINES	
CLOSURE WALL BELOW STAIRS	RECESSED MEDICINE CABINET - HDR. @ +76" - OPTIONAL IF SHOWN WITH DASHED LINES MARBLE PONY WALL @ +20" OR PER PLAN - HOLD	
42" SQUARE CONCRETE STOOP - SLOPE 1/4" P.L.F. MAX OPT IF SHOWN W/ DASHED LINES. DELETE W/ OPT. COVERED PATIO	SHOWER GLASS TO TUB SIDE OF WALL	
OPTIONAL GAS TANKLESS WATER HEATER LOCATION	SECONDARY BATHROOMS - U.N.O. ON PLAN	
	PEDESTAL SINK W/ OVAL MIRROR ABOVE - OPTIONAL BASE CABINET(S) W/ SINK AND MIRROR STOP AND DROP - SEE ELEVATION ON SHEET ALO	
	5 - SHELVES EQUALLY SPACED, UNLESS	PLAN
	1 S - SHELVES EQUALLY SPACED, UNLESS OTHERWISE SHOWNNOTED ON PLAN. 18 I ROD, I SHELF	
	2 RODS, 2 SHELVES	
	FACE FRAMED LINEN	
	21 STD. 16" WIDE SHELF OR OPTIONAL WALL CABINETS	H H
	22 TEMPERED GLASS	Q
	3 WASHER - FLIP WASHER/DRYER LOCATION WHEN PLAN IS BUILT IN REVERSE - WASHER ALWAYS LEFT OF DRYER	KEYN
	ELECTRIC DRYER - OPTIONAL GAS	ĹЩ
	25 4" ORYER VENT THROUGH ROOF - NOT TO EXCEED 35'-O" PER I.R.C. SEC. 62439.5, 62439.5.1 & 62439.5.4	
	ELEC. WATER HEATER W/ TEMPERATURE & PRESSURE RELIEF VALVE @ +6" ABOVE FINISH GRADE. PROVIDE PAN AND OVERFLOW DRAIN UNDER WH 28" SQUARE PLATFORM @ +18" A.F.F.	FLOOR
	+12" A.F.F. & ONE 12" BELOW CLG. W/ GAS WATER HEATER	
	PROVIDE TYPE 'X' GYP. BD. @ GAR I.R.C. R&OT.I/NIIO2.2.4	
	3) 5/8" TYPE 'X' GYPSUM BOARD 0/ WALLS & CEILING PER	
	HOSE BIBB - TYPICAL - ALTERNATE LOCATION IF SHOWN	
	LINE OF CEILING CHANGE - MAY VARY PER ELEVATION	
	AND/OR OPTIONAL VAULTED CEILINGS A.C. COMPRESSOR PAD - ALTERNATE LOCATION IF SHOWN W/ DASHED LINES. VERIFY LOC. ON PLOT PLAN.	
	OPT. DOOR W/ 42" SQ. CONC. STOOP (4" THICK, SLOPED 1/4" P.L.F. MAX.) - PROVIDE ADDITIONAL TIRE STOP WHERE SHOWN	
	OPTIONAL COUNTERTOP W/ BASE & UPPER CABINETS	DRAWN BY:
	PRE-FAB 42" x 60" SHOWER PAN W/ FIBERGLASS OR MARBLE TO +72" ABOVE DRAIN - TEMP. GLASS SURROUND	SHR
	OPTIONAL LAUNDRY TUB - ALWAYS LEFT OF WASHER UNLESS OTHERWISE SHOWN/NOTED ON PLAN	DATE: 01 12 22
	OPTIONAL GAS STUB-OUT @ +16" A.F.F TYPICAL	01.12.22 REVISION
	GARDEN TUB/SHOWER W/ FIBERGLASS/MARBLE/TILE TO +12" ABOVE DRAIN - TEMPERED GLASS SURROUND	
	41 LINE OF FIRST FLOOR/SECOND FLOOR	
	 3"Ø STEEL BOLLARD - MIN. 18" EMBEDMENT & +44" A.F.F. FLAT SOFFIT - TOP @ +84" 	$\begin{array}{c c} \underline{\underline{A}} \\ \underline{A} \\ \underline{A}$
	43	$\overline{\underline{\mathbb{A}}}$.
	OPTIONAL IF SHOWN WITH DASHED LINES	PLAN:
	WARRIE RONK HALL O HOUR PER PLAN	
		2420
	WITH DASHED LINES	
	(48) MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) - COMPLY W/ I.R.C. SEC. RT03.7	COMMUNITY:
	60" X 42" DROP-IN GARDEN TUB W/ MARBLE TO	RITTENHOUSE COMMONS 1
	+12" ABOVE TUB DECK 51 3/4"Φ CONDUIT IN SLAB FOR ELECTRICAL OR R.O. LINE	Queen Creek, AZ
	52 SLOPE 1/4" PER LINEAL FOOT @ EXTERIOR SLABS	
	53 SLOPE I/8" PER LINEAL FOOT @ GARAGE SLAB	SHEET NO.

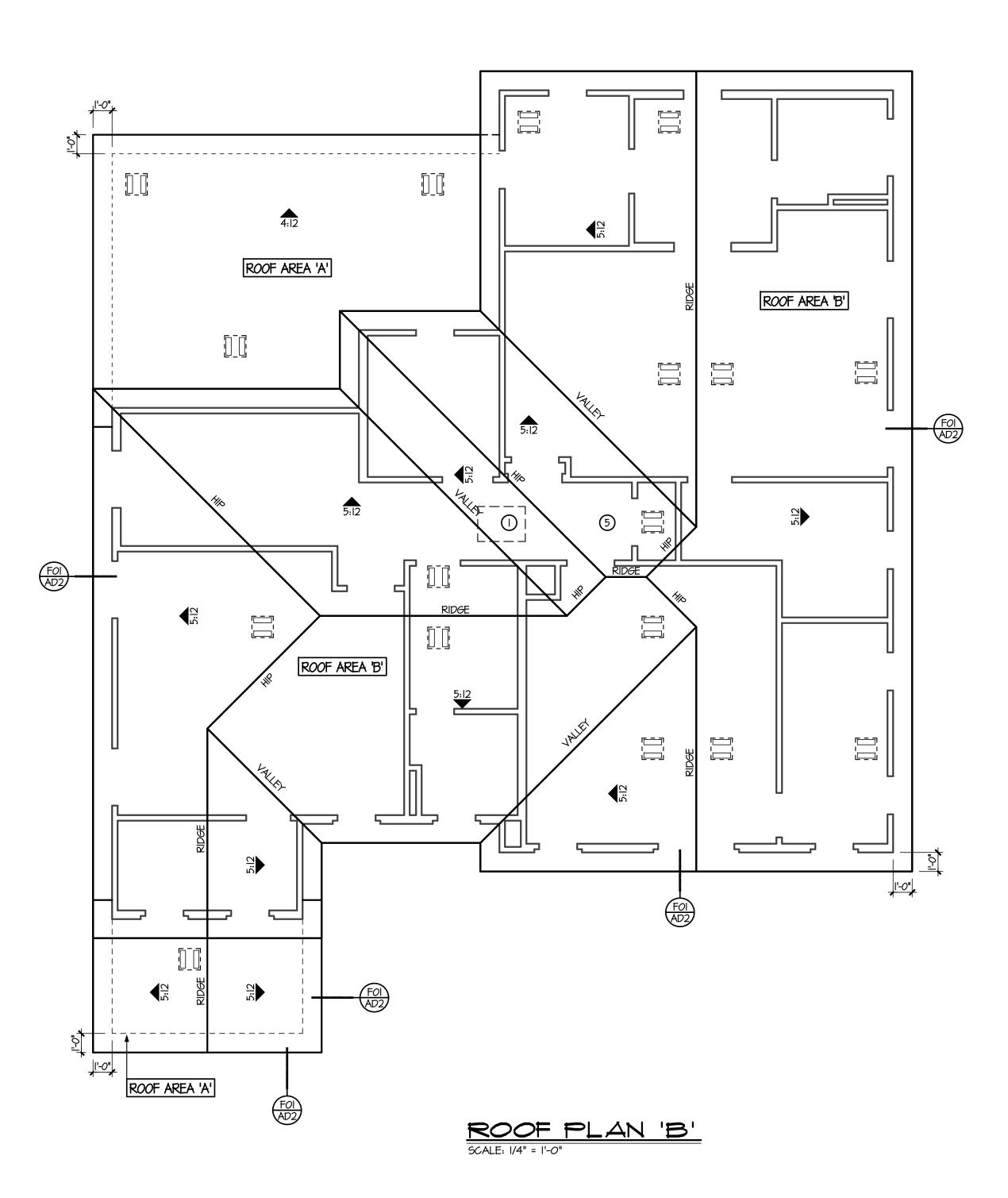
TOWN OF QUEEN CREEK

A1.1



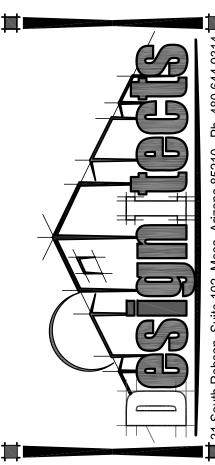


ATTIC VENT CAL	_C'S - ELEV. 'A'	
ROOF AREA 'A'ROOF AREA 'B'ROOF 50. FT.ROOF 50. FT.		
374 [≠] 1280 [≠]		
REQ'D. SQ. FT. 1/150 RULE	REQ'D. SQ. FT. 1/150 RULE	
2.49⊄	8.53⊄	
ROOF 'A' 4 - O'HAGIN TILE VENT (0.68	9.F. EA.) 2.72	
	TOTAL = 2.72	
ROOF 'B' 3 - (4:12) 6'-0" TRI-VENT (1.12		
8 - 0'HAGIN TILE VENT (0.68	5.F. EA.) 5.44 TOTAL = 8.80	

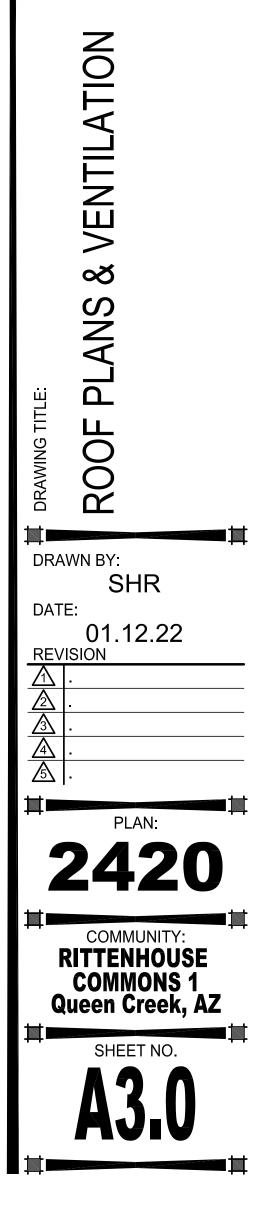


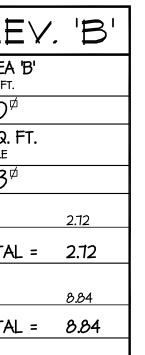
~			
ATTI	C VENT CAL	_C'S	- ELE
:	ROOF AREA 'A' ROOF 5Q. FT.		ROOF AREA ROOF SQ. FT.
	374 [⊄]		l280 [≠]
1	REQ'D. SQ. FT. 1/150 RULE		REQ'D. SQ. 1 1/150 RULE
	2.49⊄		<i>8.</i> 53 [⊄]
R <i>OO</i> F 'A'	4 - O'HAGIN TILE VENT (0.68	S.F. EA.)	
			TOTAL
R <i>00</i> F 'B'	13 - O'HAGIN TILE VENT (0.68	9 S.F. EA.)	
			TOTAL

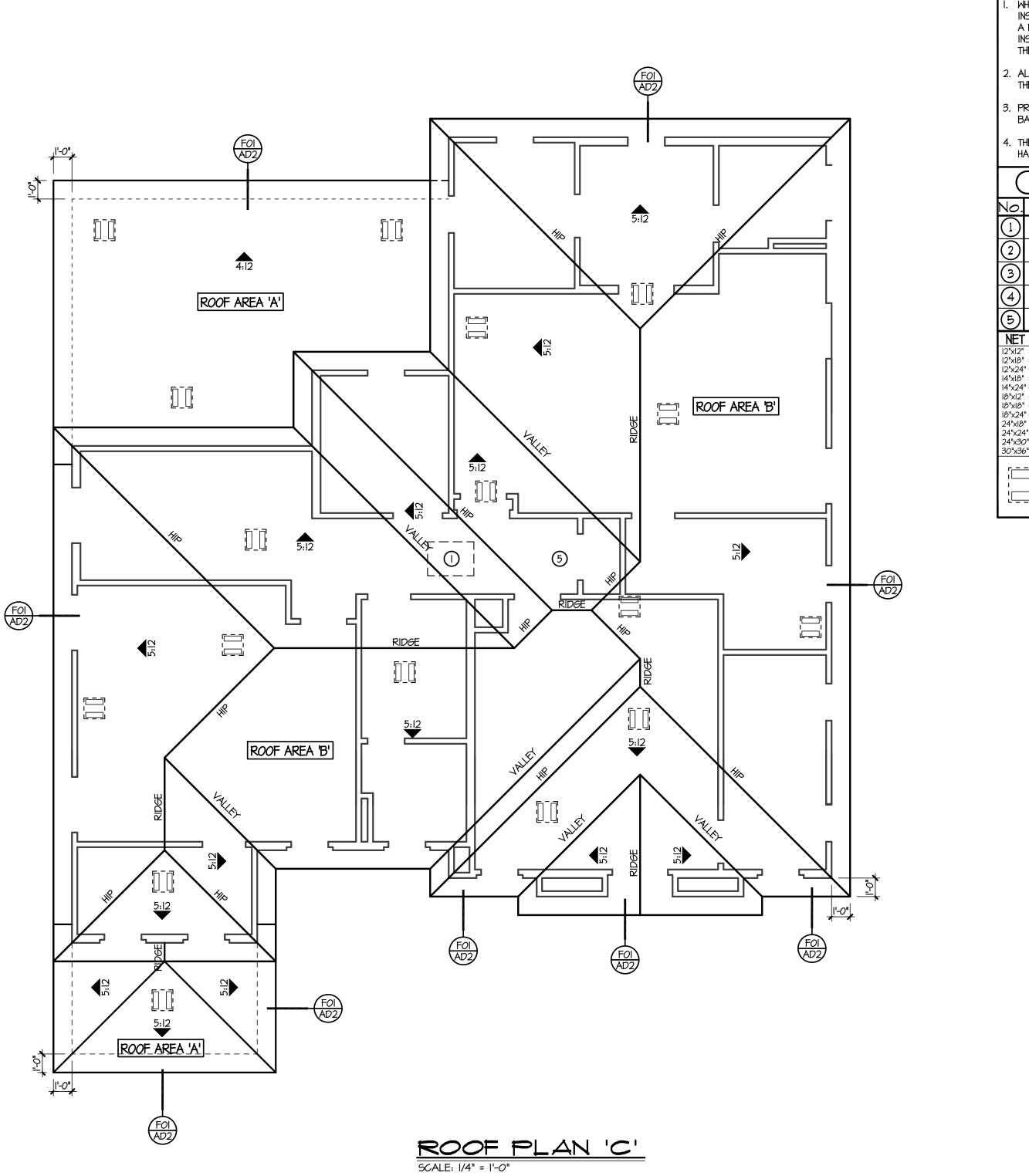




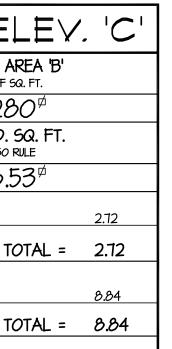




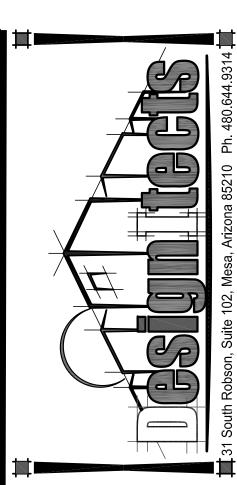




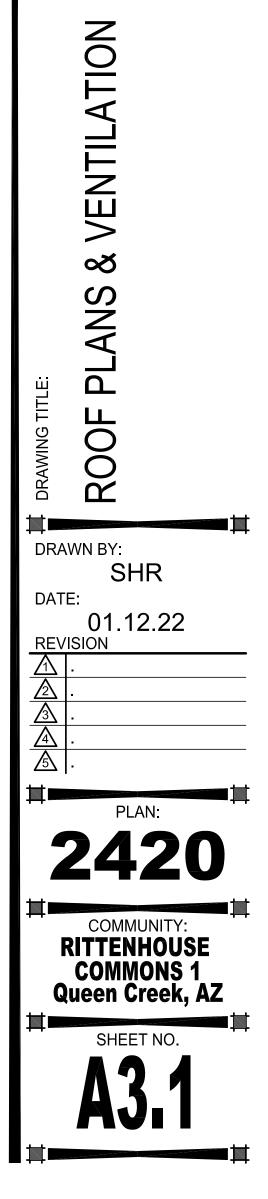
ДŤŤ	IC VENT CA	LC'S	- EL
	ROOF AREA 'A' ROOF 50. FT.		ROOF AF
	374 [⊄]		128
	REQ'D. SQ. FT. 1/150 RULE		REQ'D. 9 1/150 R
	2.49 [≠]		8.5
R <i>00</i> F 'A'	4 - O'HAGIN TILE VENT (0.60	3 S.F. EA.)	
			TC
R00F 'B'	13 - O'HAGIN TILE VENT (0.6	8 S.F. EA.)	



GENERAL INFORMATION
I. WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF I" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
2. ALL LOW TILE VENTS SHALL BE PLACED 3'-O" FROM THE EXTERIOR WALL - U.N.O. ON PLAN.
3. PROVIDE FIRE BLOCKING @ ALL CEILING LINES & AT ALL BALLOON FRAMED WALLS OVER IO'-O" - U.N.O. ON PLAN
 THE ATTIC HVAC WORKING PLATFORM IS REQUIRED TO HAVE SOLID BLOCKING @ ALL PLYWOOD PERIMETER EDGES.
O KEYNOTES
No. DESCRIPTION
22"x30" ATTIC SCUTTLE
2 1/2" PLYWOOD CRICKET - SLOPE 1/2" P.L.F. MINIMUM
3 2x4 BEARING CRIPPLE WALL 0/ 2x BLOCKING @ 16" O.C. BELOW WHERE SHOWN ON PLAN - STUDS @ 16" O.C.
LOUVERED METAL VENT W/ CORROSIVE RESISTIVE METAL MESH - SEE ELEVATIONS OR VENT CALC'S
B PROPOSED AIR HANDLER LOCATION - PROVIDE APPROXIMATELY 60" × 10'-0" - VERIFY W/ TRUSS DESIGN
NET FREE SQUARE FOOT AREA OF VENTS:
12"x12" = .44 3 - 2"\$ BIRD BLK. = .049 (5:12) 6' TRI-VENT = 1.56
12"x18" = .65 2 - 2 1/2"\$ BIRD BLK.= .045 (5:12) 8' TRI-VENT = 2.99
12"x24" = .88 18" ROUND VENT = .67 (5:12) 10' TRI-VENT = 4.28 14"x18" = .76 24" ROUND VENT = 1,19 (5:12) 12' TRI-VENT = 6.70
14"x24" = 1.02 18" 1/2 ROUND VENT = .33 (6:12) 4' TRI-VENT = 1.44
18"x12" = .66 24" 1/2 ROUND VENT = .59 (6:12) 10' TRI-VENT = 5.74 18"x18" = .99 18"x24" ROUND TOP = .97 (7:12) 8' TRI-VENT = 6.01
18"x24" = 1.32 18"x30" ROUND TOP = 1.17 (9:12) 6' TRI-VENT = 4.39
24"x18" = I.32 (4:12) 6' TRI-VENT = I.12 O'HAGIN TILE VENT = .68 24"x24" = I.78 (4:12) 8' TRI-VENT = 2.19 DORMER VENT = .69
24"x30" = 2.20 (4:12) 10' TRI-VENT = 3.79 FULL SCREENED VENT = .41 30"x36" = 3.89 (4:12) 12' TRI-VENT = 5.19 2 1/2" METAL STRIP VENT = .41 PL.F











SCALE: 1/4" = 1'-0"

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REAR ELEVATION 'A'

FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN #26 GA. CORROSION RESISTANT METAL & PER I.R.C. SEC. RTO3.8. ALL EXPOSED FLASHING SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR. WEEP SCREED SHALL BE OF #26 GAUGE CORROSION-RESISTANT METAL W/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" & PLACED A MINIMUM OF 3/4" BELOW FOUNDATION PLATE & A MIN. 6" A.F.G. @ ALL EXT. WALLS. CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S SPECIFICATIONS & IAPMO UES-ER #1900 BUILT UP ROOFING w/ 3 LAYERS 15# FELT & 30# PER SQ. FOOT OF GRAVEL OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S SPEC'S. AND ALL WNDOW FRAMES SHALL BE PAINTED OR ANODIZED TO MATCH EXTERIOR COLOR - NO EXPOSED WOOD OR METAL ALL VENTS, FLASHING, FASCIA, ELECTRICAL PANEL(S), ETC. TO BE PAINTED TO MATCH HOUSE. GARAGE DOORS SHALL BE METAL SECTIONAL ROLL-UP. WINDOWS ARE OPTIONAL W/ ANY GARAGE DOOR DESIGN. ALL FOAM POP-OUT PROJECTIONS SHALL HAVE STUCCO C THE BUILDING SAFETY DIVISION WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTUREER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER RESISTIVE BARRIER. A COPY OF THE INSTALLTION CARD MUST BE PRESENTED T THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR TA THE OWNER - CITIES OF AVONDALE, PEORIA & SURPRISE. KEYNOTES DESCRIPTION CONCRETE TILE 0/ 30# FELT PAPER ONE-KOTE STUCCO SYSTEM O/ FOAM BOARD (ON AIS BOARD @ ATTIC AREAS). (IAPMO UES-ER #382) WEEP SCREED TO MIN. 3/4" BELOW FINISHED FLOOR PAINT CONCRETE STEM BELOW TO MATCH BLDG. BARGE - SEE TYPICAL DETAIL FASCIA - SEE TYPICAL DETAIL 2x6 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN 2x4 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN 2x8 FOAM POP-OUT W/ STUCCO FINISH - U.N.O. ON PLAN Ш C MASTIC APPLIED STONE/BRICK VENEER (ESR-2598) -COMPLY W/ I.R.C. SEC. R703.7 LOUVERED METAL VENT W/ CORROSIVE RESISTIVE METAL MESH - SEE VENT CALCULATIONS FOR SIZE. 12" WIDE PAINTED SHUTTER - MATCH ADJACENT WINDOW HEIGHT DECORATIVE FAUX CORBELS \mathbf{O} \bigcirc Z LINE OF INTERIOR CLG. - OPT. VAULTED CLG. MAY OCCUR FOLLOW VAULT LINE AT PATIO WHERE SHOWN - U.N.O. R ADDRESS PLATE LOCATION @ +54" W/ NUMBERS 3" HIGH Щ PAINTED SHUTTER - MATCH ADJACENT 24" WIDE PAINTED SHUTTER - MATCH ADJACENT Ś ME IX3 HARDIETRIM - (OR EQUAL) A 5/4 HARDIETRIM - 2x6 (OR EQUAL) JAMES HARDIE HARDIESHINGLE SIDING - STAGGERED EDGE PANEL - INSTALL PER MANUF. SPECS. (OR EQUAL) **ATION** AMES HARDIE HARDIEPANEL VERTICAL SIDING -ELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUAL JAMES HARDIE HARDIEPLANK LAP SIDING -SELECT CEDARMILL - INSTALL PER MANUF. SPECS. (OR EQUA ROUGH SAWN WOOD COLUMN/ BEAM >WROUGHT IRON RAILING @ 36" MIN. W/ SPINDLES ĹШ Δ DRAWN BY: SHR DATE: 01.12.22 REVISION PLAN: 2420 COMMUNITY: RITTENHOUSE

COMMONS 1 Queen Creek, AZ

SHEET NO.

GENERAL INFORMATION

WESTERN ONE-KOTE STUCCO WALL FINISH (IAPMO UES-ER #382) O/ RESISTIVE BARRIER OF TYPE 15 ASPHALT-

SATURATED RAG FELT.

I.R.C. SEC. R905.9.

SYSTEM FINISH - U.N.O.

DECORATIVE TILE VENTS

WINDOW HEIGHT

WINDOW HEIGHT

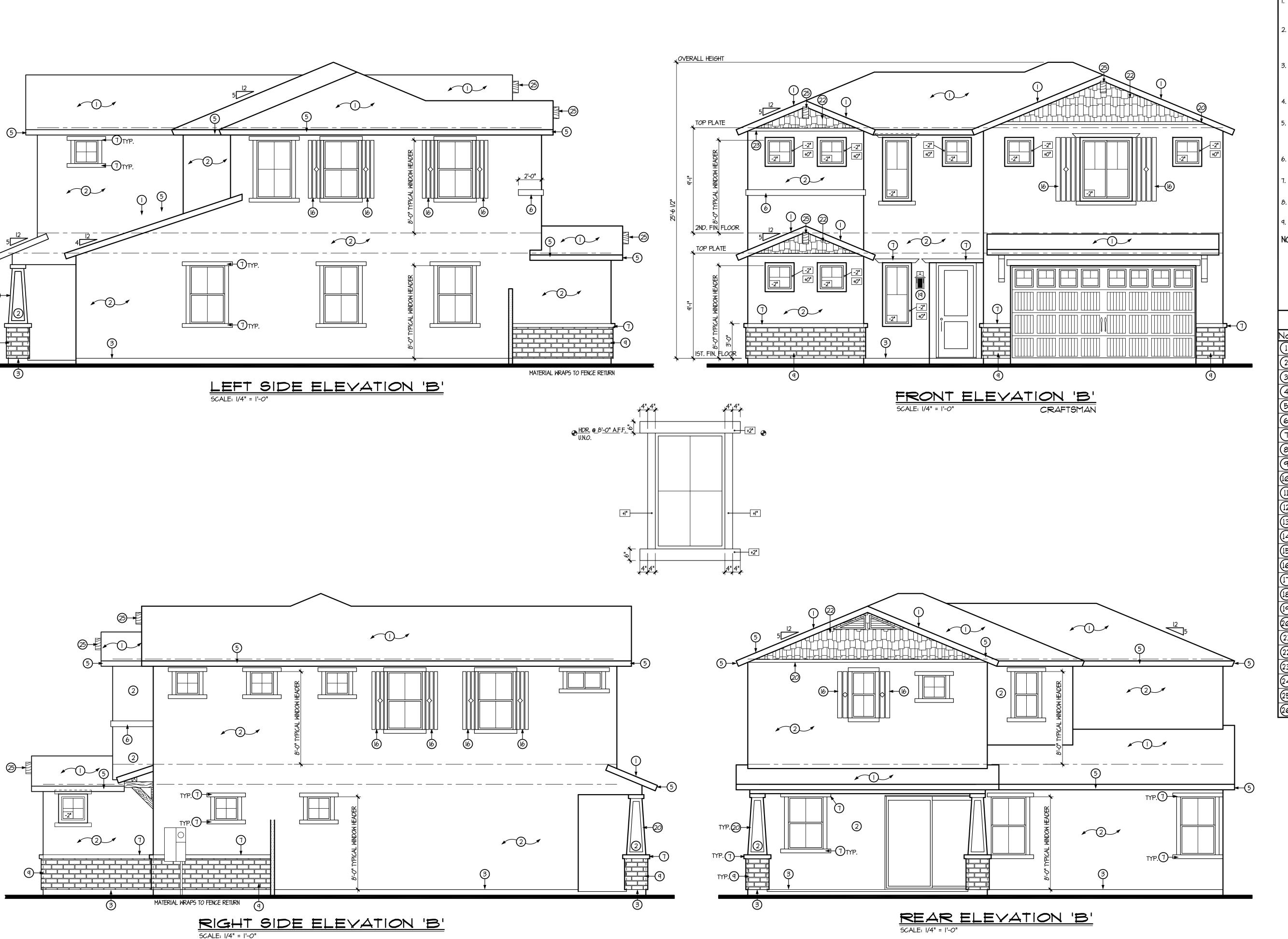
26 @ 4" O.C.

RETURN WALL LOCATION

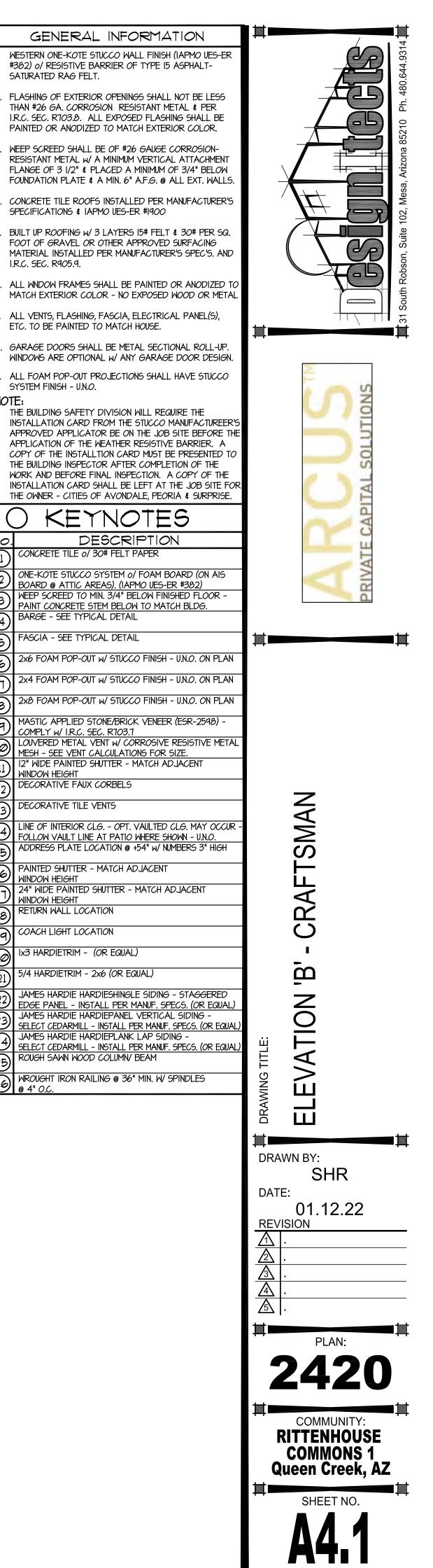
COACH LIGHT LOCATION

NOTE:



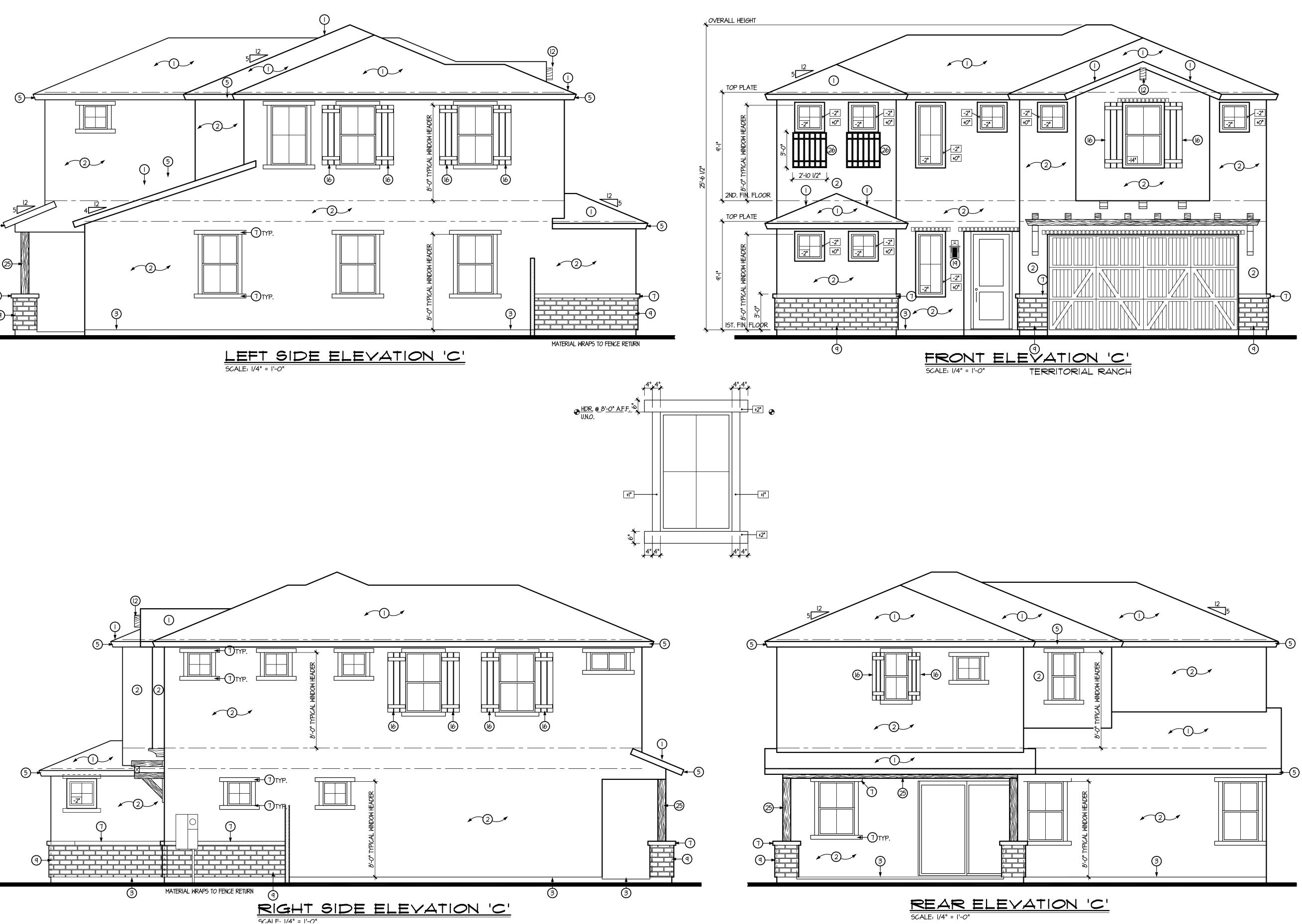


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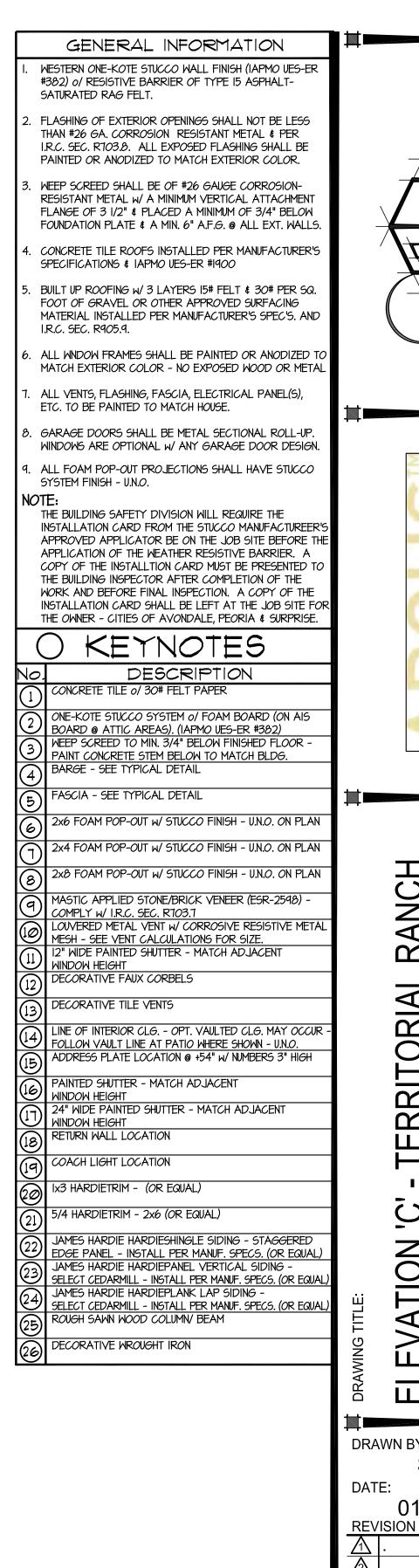


WINDOW HEIGHT



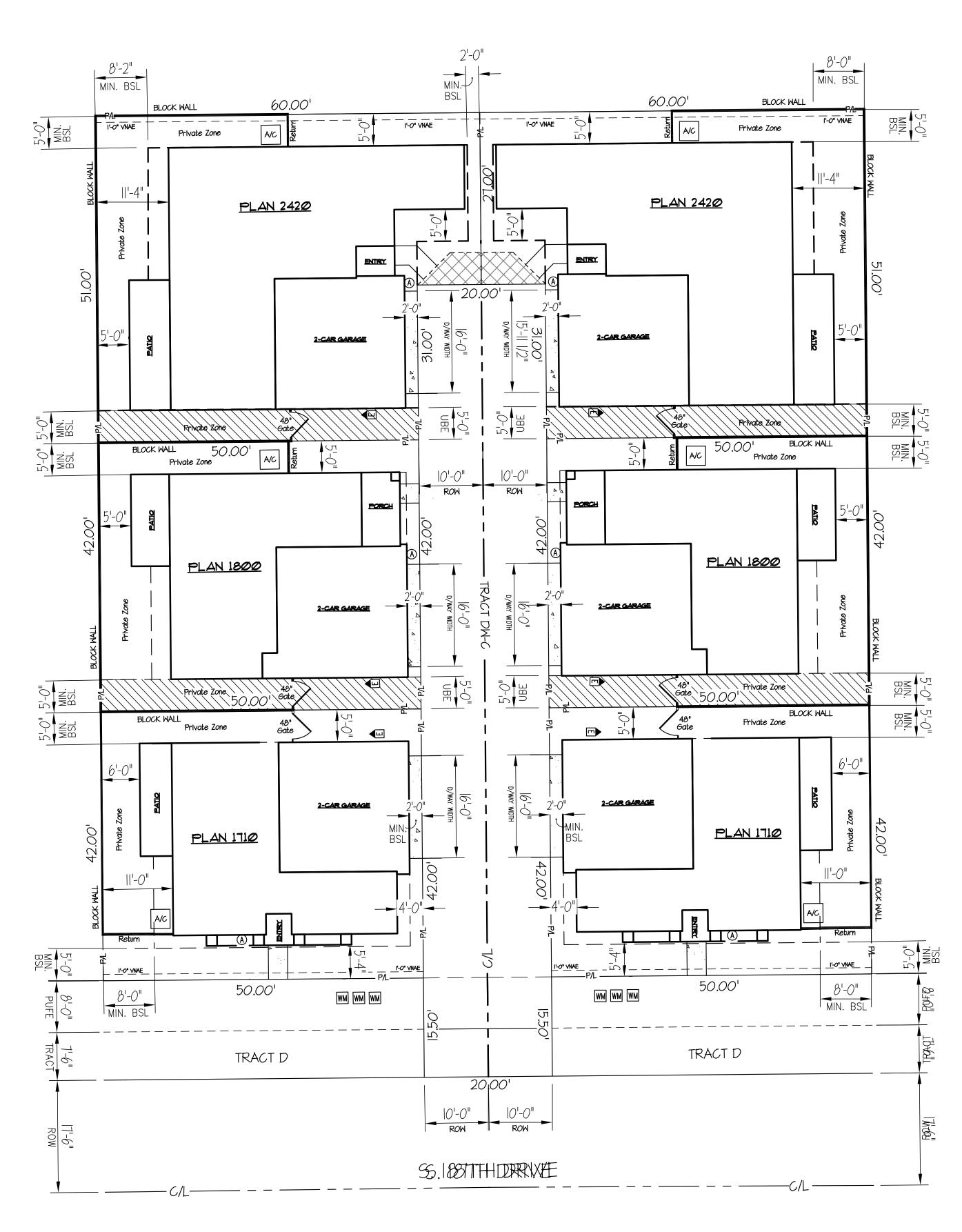


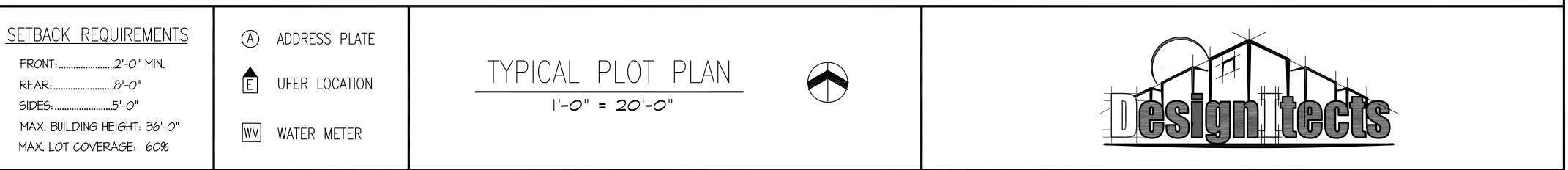
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– PATIO AREA PROVIDED = 121 SF	SF	SQUARE FOOTAG	L TADLL 2420
		1st FLR. LIV: 2nd FLR. LIV: GARAGE:	1,140 ⊄ 1,280 ⊄ 416 ⊄
LOT AREA:	2,830 🖄	PATIO: ENTRY:	121⊄ 28⊄
	1,834 ⊄ 5 % 87 ⊄ 1,747 ⊄	TOTAL UNDER ROO 1st FLR. FOOTPRI LOT AREA LOT COV. %	
 - 5% PATIO AREA REQUIRED = 90 - PATIO AREA PROVIDED = 90 SF LOT AREA: GROSS BLDG. ENVELOPE: MIN. USABLE OPEN SPACE %: MIN. USABLE OPEN SPACE S.F.: NET BUILDING ENVELOPE: (Excluding Patio and Porches) 		SQUARE FOOTAGE 1st FLR. LIV: 2nd FLR. LIV: GARAGE: PATIO: PORCH: TOTAL UNDER ROC 1st FLR. FOOTPRIN LOT AREA LOT COV. %	677 ⊄ 1,123 ⊄ 428 ⊄ 90 ⊄ 79 ⊄
– 5% PATIO AREA REQUIRED = 85 S	SF	SQUARE FOOTAGE	TABLE 1710
 PATIO AREA PROVIDED = 87 SF LOT AREA: 	2,100 ⊄	1st FLR. LIV: 2nd FLR. LIV: GARAGE: PATIO: ENTRY:	666 ⊄ 1,044 ⊄ 413 ⊄ 87 ⊄ 22 ⊄
GROSS BLDG. ENVELOPE: MIN. USABLE OPEN SPACE %: MIN. USABLE OPEN SPACE S.F.: NET BUILDING ENVELOPE: (Including Patio and Porches)	1,280 ⊄ 5 % 64 ⊄ 1,216 ⊄	TOTAL UNDER ROO 1st FLR. FOOTPRIN LOT AREA LOT COV. %	F: 2,198 ⊄





SQUARE FOOTAGE TABLE	2420
1st FLR. LIV:	1,140 ⊄
2nd FLR. LIV:	1,280 ⊄
GARAGE:	416 ⊄
PATIO:	121⊄
ENTRY:	28 ⊄
TOTAL UNDER ROOF:	2,932 ⊄
1st FLR. FOOTPRINT:	1,705 ⊄
LOT AREA	2,830 ⊄
LOT COV. %	60 %

_	5% P	ATIO	AREA	REQUI	RED	=	121	SF
_	PATIO	ARE	A PRO	OVIDED	=	121	SF	

LOT AREA:	2,830 🖾
GROSS BLDG. ENVELOPE:	1,834 🗹
MIN USABLE OPEN SPACE %	5 %
MIN. USABLE OPEN SPACE S.F.:	87 🗹
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,747 🖄

SQUARE FOOTAGE TAE	3LE 1800
1st FLR. LIV:	677 ⊄
2nd FLR. LIV:	1,123 ⊄
GARAGE:	428 ⊄
PATIO:	90 ⊄
PORCH:	79 ⊄
TOTAL UNDER ROOF:	2,350 ⊄
1st FLR. FOOTPRINT:	1,274 ⊄
LOT AREA	2,100 ⊄
LOT COV. %	60 %

- 5% PATIO AREA REQUIRED = 90 SF - PATIO AREA PROVIDED = 90 SF

LOT AREA:	2,100 ⊄ 1,280 ⊄
GROSS BLDG. ENVELOPE:	1,280 🖄
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64 🗹
NET BUILDING ENVELOPE: (Excluding Patio and Porches)	1,216 🗹

SQUARE FOOTAGE TABL	E 1710
1st FLR. LIV:	666 ⊄
2nd FLR. LIV:	1,044 ⊄
GARAGE:	413 ⊄
PATIO:	87 ⊄
ENTRY:	22 ⊄
TOTAL UNDER ROOF:	2,198 ⊄
1st FLR. FOOTPRINT:	1,188 ⊄
LOT AREA	2,100 ⊄
LOT COV. %	56 %

– 5% PATIO AREA REQUIRED = 85 SF – PATIO AREA PROVIDED = 87 SF

LOT AREA:	2,100 🗹
GROSS BLDG. ENVELOPE:	, 1,280 ⊄
MIN. USABLE OPEN SPACE %:	5 %
MIN. USABLE OPEN SPACE S.F.:	64 🖾
NET BUILDING ENVELOPE: (Including Patio and Porches)	1,216 🗹

NOTE: ALL ON-LOT FENCING FACING A PUBLIC STREET SHOULD BE DESIGNED TO MATCH THE STANDARD PLAN'S PRIMARY COLORS OR THAT OF THE SUBDIVISION THEME WALL.

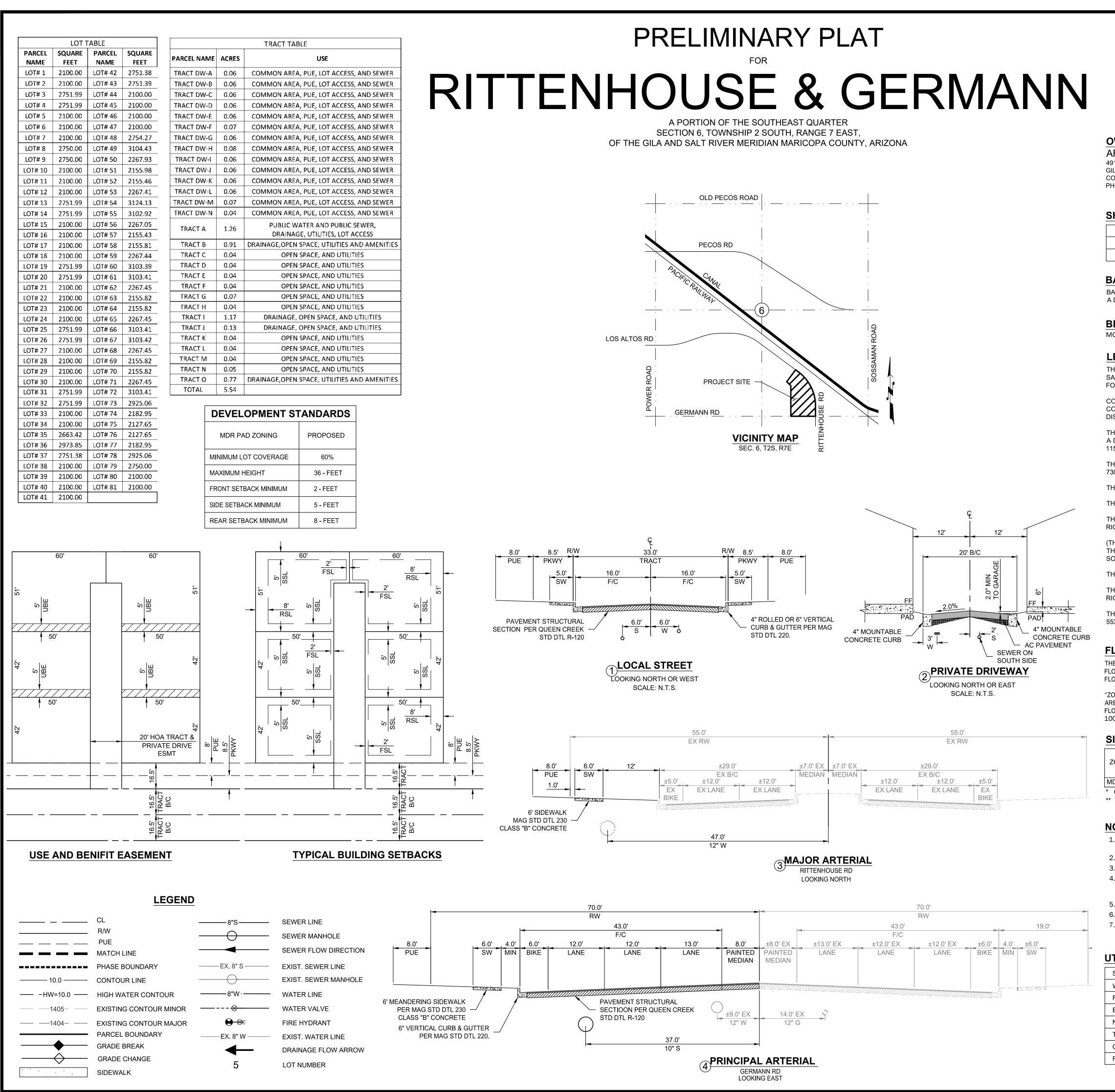
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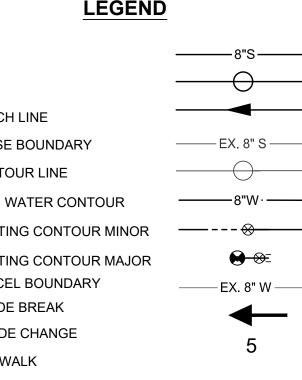
TDACT		
TRAUT	LABLE	

		TRACT TABLE
PARCEL NAME	ACRES	USE
TRACT DW-A	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-B	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-C	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-D	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-E	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-F	0.07	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-G	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-H	0.08	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-I	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-J	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-K	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-L	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-M	0.07	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-N	0.04	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT A	1.26	PUBLIC WATER AND PUBLIC SEWER, DRAINAGE, UTILITIES, LOT ACCESS
TRACT B	0.91	DRAINAGE, OPEN SPACE, UTILITIES AND AMENITIES
TRACT C	0.04	OPEN SPACE, AND UTILITIES
TRACT D	0.04	OPEN SPACE, AND UTILITIES
TRACT E	0.04	OPEN SPACE, AND UTILITIES
TRACT F	0.04	OPEN SPACE, AND UTILITIES
TRACT G	0.07	OPEN SPACE, AND UTILITIES
TRACT H	0.04	OPEN SPACE, AND UTILITIES
TRACT I	1.17	DRAINAGE, OPEN SPACE, AND UTILITIES
TRACT J	0.13	DRAINAGE, OPEN SPACE, AND UTILITIES
TRACT K	0.04	OPEN SPACE, AND UTILITIES
TRACT L	0.04	OPEN SPACE, AND UTILITIES
TRACT M	0.04	OPEN SPACE, AND UTILITIES
TRACT N	0.05	OPEN SPACE, AND UTILITIES
TRACT O	0.77	DRAINAGE, OPEN SPACE, UTILITIES AND AMENITIES
TOTAL	5.54	

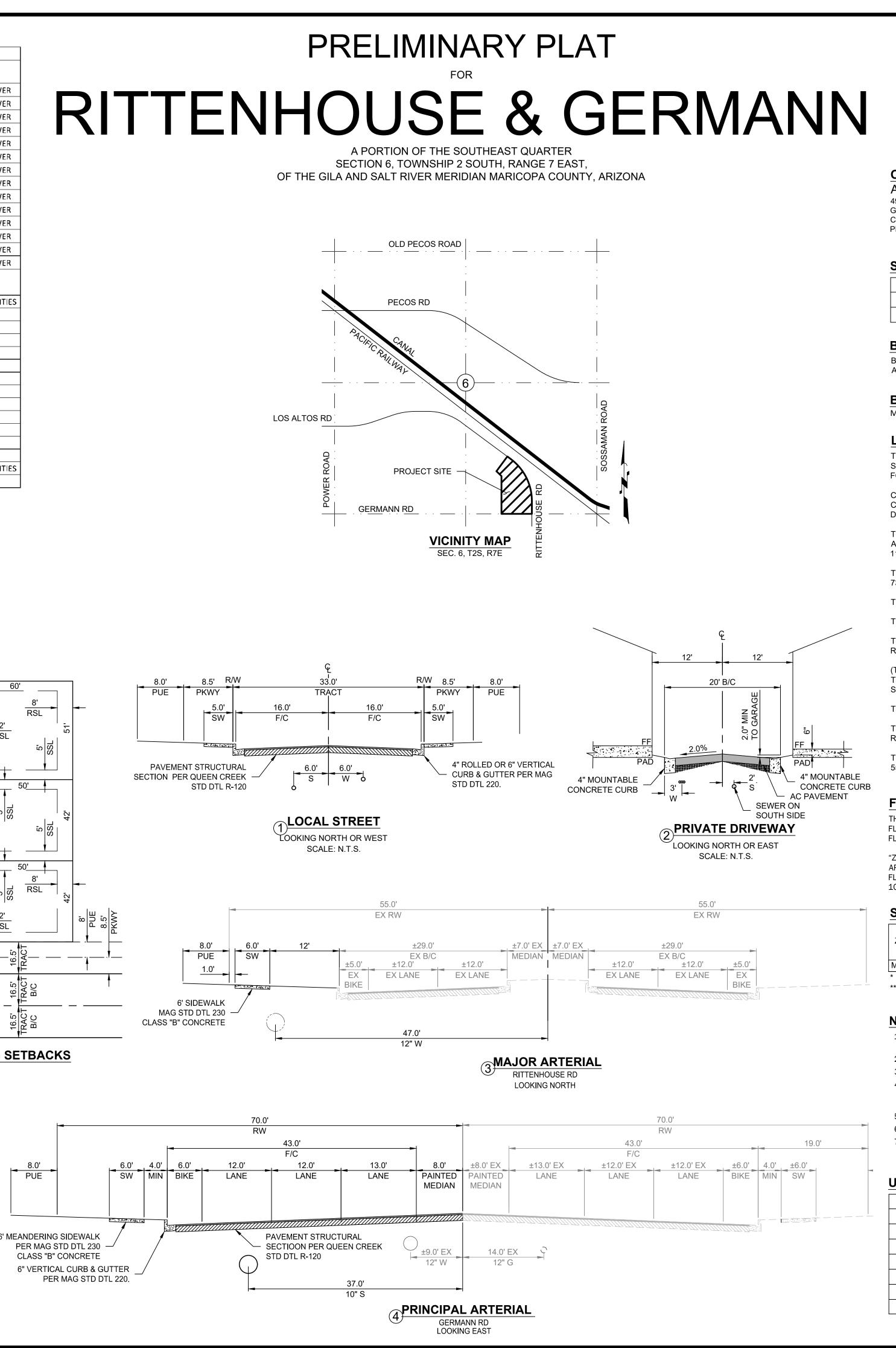
LOT TABLE						
PARCEL NAME	SQUARE FEET	PARCEL NAME	SQUARE FEET			
LOT# 1	2100.00	LOT# 42	2751.38			
LOT# 2	2100.00	LOT# 43	2751.39			
LOT# 3	2751.99	LOT# 44	2100.00			
LOT# 4	2751.99	LOT# 45	2100.00			
LOT# 5	2100.00	LOT# 46	2100.00			
LOT# 6	2100.00	LOT# 47	2100.00			
LOT# 7	2100.00	LOT# 48	2754.27			
LOT# 8	2750.00	LOT# 49	3104.43			
LOT# 9	2750.00	LOT# 50	2267.93			
LOT# 10	2100.00	LOT# 51	2155.98			
LOT# 11	2100.00	LOT# 52	2155.46			
LOT# 12	2100.00	LOT# 53	2267.41			
LOT# 13	2751.99	LOT# 54	3124.13			
LOT# 14	2751.99	LOT# 55	3102.92			
LOT# 15	2100.00	LOT# 56	2267.05			
LOT# 16	2100.00	LOT# 57	2155.43			
LOT# 17	2100.00	LOT# 58	2155.81			
LOT# 18	2100.00	LOT# 59	2267.44			
LOT# 19	2751.99	LOT# 60	3103.39			
LOT# 20	2751.99	LOT# 61	3103.41			
LOT# 21	2100.00	LOT# 62	2267.45			
LOT# 22	2100.00	LOT# 63	2155.82			
LOT# 23	2100.00	LOT# 64	2155.82			
LOT# 24	2100.00	LOT# 65	2267.45			
LOT# 25	2751.99	LOT# 66	3103.41			
LOT# 26	2751.99	LOT# 67	3103.42			
LOT# 27	2100.00	LOT# 68	2267.45			
LOT# 28	2100.00	LOT# 69	2155.82			
LOT# 29	2100.00	LOT# 70	2155.82			
LOT# 30	2100.00	LOT# 71	2267.45			
LOT# 31	2751.99	LOT# 72	3103.41			
LOT# 32	2751.99	LOT# 73	2925.06			
LOT# 33	2100.00	LOT# 74	2182.95			
LOT# 34	2100.00	LOT# 75	2127.65			
LOT# 35	2663.42	LOT# 76	2127.65			
LOT# 36	2973.85	LOT# 77	2182.95			
LOT# 37	2751.38	LOT# 78	2925.06			
LOT# 38	2100.00	LOT# 79	2750.00			
LOT# 39	2100.00	LOT# 80	2100.00			
LOT# 40	2100.00	LOT# 81	2100.00			

L	5.54	
	DEVELOPMENT S	TANDARDS
	MDR PAD ZONING	PROPOSED
	MINIMUM LOT COVERAGE	60%
	MAXIMUM HEIGHT	36 - FEET
	FRONT SETBACK MINIMUM	2 - FEET
	SIDE SETBACK MINIMUM	5 - FEET
	REAR SETBACK MINIMUM	8 - FEET





SEWER LINE
SEWER MANHOLE
SEWER FLOW DIRECTION
EXIST. SEWER LINE
EXIST. SEWER MANHOLE
WATER LINE
WATER VALVE
FIRE HYDRANT
EXIST. WATER LINE
DRAINAGE FLOW ARROW
LOT NUMBER



OWNER

ARCUS CAPITAL 4915 E. BASELINE ROAD, #150 GILBERT, ARIZONA 85234 CONTACT: DENNY BARNEY PHONE: (480) 305-7070

PLANNER

IPAN CONSULTING 3317 S. HIGLEY ROAD, #114-622 GILBERT, ARIZONA 85212 CONTACT: GREG DAVIS PHONE: (480) 227-9850 GREG@IPLANCONSULTING.COM

ENGINEER

ATWELL 4700 E. SOUTHERN AVE MESA, ARIZONA 85208 CONTACT: MICHAEL J. PARK, PE PHONE: (480) 218-8831 MIKEPARK@ATWELL-GROUP.COM

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1
DETAIL SHEET	2

BASIS OF BEARING

BASIS OF BEARING IS ALONG THE SOUTH LINE OF THE SOUTHEAST OF SECTION 6, T.2S., R.7E. BEING S88°53'42"E WITH A DISTANCE OF 2637.80 FEET.

BENCHMARK

MONUMENT IN HANDHOLE LOCATED AT THE INTERSECTION OF GERMANN RD. AND 188TH STEET. GDACS ELEVATION IS 1344.04

LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 6 (ALUMINIUM CAP) FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 6 (BRASS CAP IN HANDHOLE) BEARS SOUTH 88 DEGREES 53 MINUTES 42 SECONDS EAST A DISTANCE OF 2637.78 FEET;

THENCE NORTH 00 DEGREES 43 MINUTES 40 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 70.04 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GERMANN ROAD AS SHOWN IN BOOK 1154 OF MAPS, PAGE 43 AND IN BOOK 1198 OF MAPS, PAGE 19, RECORDS OF SAID COUNTY;

THENCE SOUTH 88 DEGREES 53 MINUTES 42 SECONDS EAST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 730.45 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 43 MINUTES 41 SECONDS WEST A DISTANCE OF 738.22 FEET;

THENCE NORTH 53 DEGREES 37 MINUTES 36 SECONDS WEST ALONG SAID EAST LINE A DISTANCE OF 27.34 FEET;

THENCE NORTH 36 DEGREES 22 MINUTES 06 SECONDS EAST A DISTANCE OF 292.50 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF RITTENHOUSE ROAD PER DOCUMENT NO. 2010-0339175;

(THE FOLLOWING THREE CALLS RUN ALONG SAID SOUTH RIGHT-OF-WAY LINE) THENCE ALONG AN ARC 931.92 FEET TO THE RIGHT, HAVING A RADIUS OF 1145.00 FEET, THE CHORD OF WHICH IS SOUTH 27 DEGREES 12 MINUTES 03 SECONDS EAST FOR A DISTANCE OF 906.41 FEET;

THENCE SOUTH 03 DEGREES 53 MINUTES 16 SECONDS EAST A DISTANCE OF 181.31 FEET;

THENCE SOUTH 48 DEGREES 09 MINUTES 41 SECONDS WEST A DISTANCE OF 20.25 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GERMANN ROAD AS SHOWN IN BOOK 1198 OF MAPS, PAGE 19, RECORDS OF SAID COUNTY;

THENCE NORTH 88 DEGREES 53 MINUTES 42 SECONDS WEST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 553.65 FEET TO THE POINT OF BEGINNING.

FLOODPLAIN DESIGNATION

THE SITE IS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) NO. 04013C2770L REVISED ON OCTOBER 16, 2013. THE PROJECT SITE IS LOCATED IN FLOOD HAZARD ZONE "X". THE ZONES ARE DEFINED AS FOLLOWS:

"ZONE X IS THE FLOOD INSURANCE RATE ZONE THAT CORRESPONDS TO THE AREAS OUTSIDE THE 100-YEAR FLOODPLAINS, AREAS OF 100-YEAR SHEET FLOW FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN ONE FOOT, AREAS OF 100-YEAR STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREAS ARE LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED FROM THE 100-YEAR FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE."

SITE DATA

ZONING	GROSS ACRES	NET ACRES*	OPEN SPACE **	% OPEN SPACE	NO. LOTS	NET DU/AC	MINIMUM LOT SIZE SHOWN	MAXIMUM LOT SIZE SHOWN	AVERAGE LOT SIZE
MDR PAD	12.47 AC	10.00 AC	3.41 AC	34.1%	81	8.1	2,100 SF	3,124 SF	2,399 SF
GROSS AREA LESS ARTERIAL (RITTENHOUSE RD AND GERMANN RD) RIGHT OF WAY									

** TOTAL TRACT LESS PRIVATE ROADS AND PRIVATE DRIVEWAYS

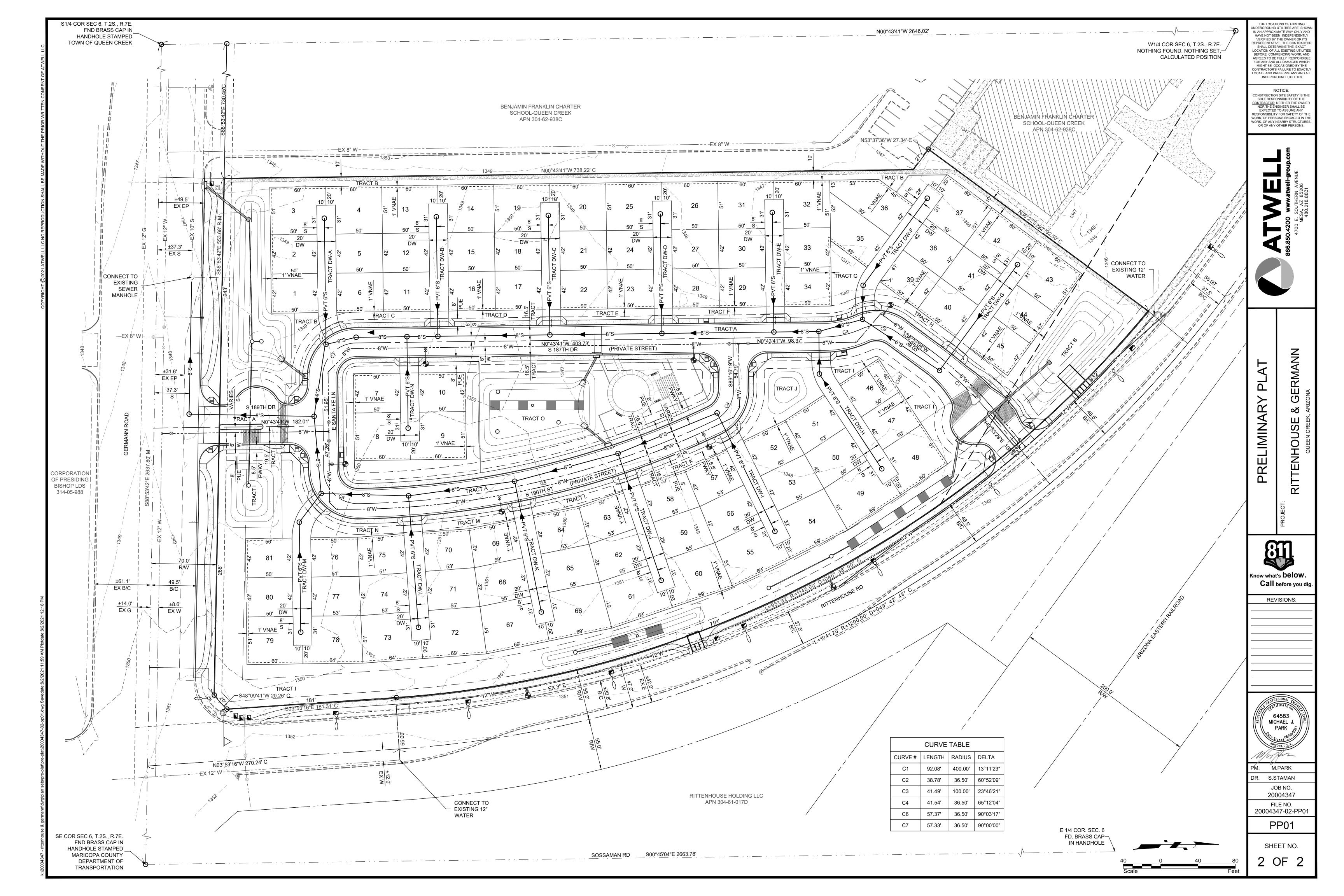
NOTES

- 1. A HOMEOWNERS ASSOCIATION WILL BE FORMED FOR OWNERSHIP AND MAINTENANCE OF ALL TRACTS AND COMMON AREAS; AND MAINTENANCE OF RIGHT-OF-WAY LANDSCAPING.
- 2. ALL LOCAL STREETS ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- 3. ALL OFF SITES RIGHT OF WAY HAVE BEEN PREVIOUSLY DEDICATED.
- 4. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE TOWN AND THE CERTIFICATION OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE UTILITY LINE UNDERGROUNDING REQUIREMENTS HAS BEEN SATISFIED.
- 5. THIS SUBDIVISION SHALL COMPLY WITH THE ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS. 6. THE SUBDIVISION IS WITHIN AN AIRPORT IMPACT OVERLAY DISTRICT.
- 7. A 1' VEHICULAR NON-ACCESS EASEMENT (VNAE) WILL BE PROVIDED ON ALL PORTIONS OF SIDES AND BACKS OF LOTS ADJACENT TO TRACTS AND RIGHTS-OF-WAYS, EXCEPT THROUGH PUBLIC UTILITY EASEMENTS (PUE).

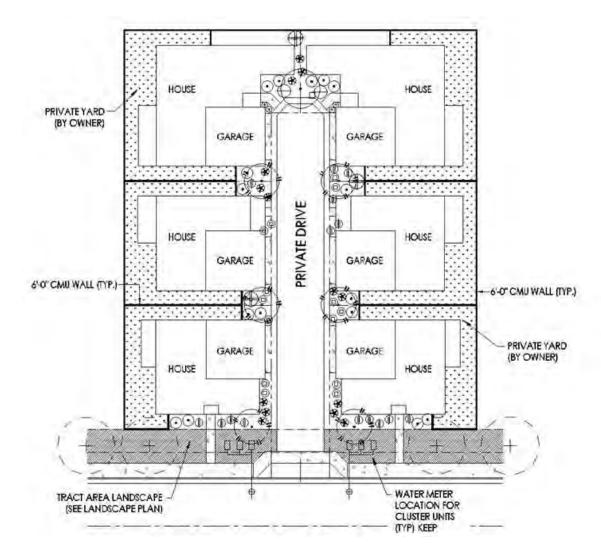
UTILITY PROVIDERS

SEWER	TOWN OF QUEEN CREEK UTILITY DEPARTMENT
WATER	TOWN OF QUEEN CREEK UTILITY DEPARTMENT
FIRE	TOWN OF QUEEN CREEK
ELECTRIC	SRP
NATURAL GAS	CITY OF MESA
TELEPHONE	CENTURYLINK
CABLE	COX COMMUNICATIONS
REFUSE COLLECTION	PRIVATE CONTRACT

UNDERGROUND L IN AN APPROXIM HAVE NOT BEE VERIFIED BY T REPRESENTATIVI SHALL DETER LOCATION OF AL BEFORE COMM AGREES TO BE F FOR ANY AND A MIGHT BE OC CONTRACTOR'S I LOCATE AND PRE UNDERGRO NOC CONSTRUCTION SOLE RESPOI CONTRACTOR: N NOR THE ENC EXPECTED T RESPONSIBILITY WORK, OF PERSC	INS OF EXISTING TITLITES ARE SHOWN IATE WAY ONLY AND N INDEPENDENTLY HE OWNER OR ITS E. THE CONTRACTOR MINE THE EXACT L EXISTING UTILITIES ENCING WORK, AND FULLY RESPONSIBLE LL DAMAGES WHICH CASIONED BY THE FAILURE TO EXACTLY ISERVE ANY AND ALL OUND UTILITIES. DITICE: SITE SAFETY IS THE SITE SAFETY IS THE SITE SAFETY IS THE SITES AFETY OF THE EITHER THE OWNER SINEER SHALL BE O ASSUME ANY FOR SAFETY OF THE INS ENGAGED IN THE EARBY STRUCTURES, THER PERSONS.
ATWELL	866.850.4200 www.atwell-group.com 4700 E. SOUTHERN AVENUE MESA, AZ 85206 480.218.8831
COVER SHEET	PROJECT: RITTENHOUSE & GERMANN QUEEN CREEK, ARIZONA
	s below. efore you dig.
PM. M.I	ARK
JO 200 FIL 2000434 C SHE	TAMAN B NO. 04347 E NO. 7-01-CS01 SO1 ET NO. DF 2



Landscape Typical Plot Plan:



	TREES	SEE / NOTES
)	ACACIA WILLARDIANA PAUD BLANCO	WATCHED
3	THEVETIA PERUVIANA VELLOW OLEANDER TREE	24' BOX MULT- TRUNK MATCHES
	SHRUBS	
Ð	GAESALPINA PULOHERINMA RED BRD OF PARADISE	5 GAL
Ф	BREMOPHILA MACULATA. VALENTINE BUSH	8 GAL
0	LEUCOPHYLUMILANGMANIAE BID BRAVD BAGE	1 GAL
	OLEA EUROPALA MONTRA LITTLE OLLE DWARF OLIVE	OAL
	ACCENTS + CACT	_
8	MUHLEVASERGIA CAPILLARS REGAL MS DEEF GRASS (ALT, RED FUCCA)	5 GAL
	GROUNDCOVER	
Э	EREMONINUA GLABRA MIGNEW GO GOLD BAU BLEM	ADI DA
	LANTANA NEW GOLD NEW GOLD LANTANA	I GAL
	# JERT MATERIALS	_
só.	PANTED DELERT COLOR	I MANS
	CLUSTER UNIT IRRIGATION	NOTES
	UPON COMPLETION OF GLUSTER UN TO INSTALL IRRIGATION LATERALS TO TRACT AREA STUD-OUTS AS DHOWN RUANS, CONTRACTOR STO MATCH- LEEVING, EMITTER AND FLUER CAP ENDWIN ON RIRIGATION RUAN SCHE	COUNECT WITH CHIRRIGATION ALLIPVC LINERAL SPECE CATIONS AL

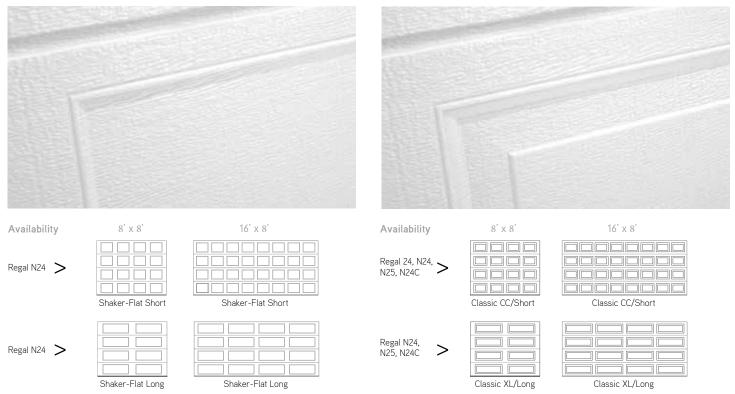
TRADITIONAL

Regal

Steel | Thickness: 2"

MODEL PATTERNS AND LAYOUTS

Shaker-Flat



Classic





Classic Short, 9' x 7', Brown, windows with Cascade Short Inserts

< Cover: Shaker-Flat Long, 16' x 8', Dark Walnut, windows with Richmond Long Inserts



Shaker-Flat Short, 9' x 8', White, windows with Stockton Short Inserts

COLORS

Standard



CONSTRUCTION

Single-layer: steel OR Double-layer: steel + insulation

- 3 options of outside layer: steel, heavy duty steel or commercial grade steel for high durability
- 2 2" tongue-and-groove meeting rail to provide a weathertight seal between sections, and rails are hemmed the entire length of the section for added strength and safety
- 3 20-gauge galvanized end and center stiles to increase strength and durability
- 4 Polystyrene vinyl-backed insulation available as an option

VINDLOAD Option

Wind load reinforcement available as an option for the 24 and N24.

8' high door layouts construction

Depending on the construction chosen. the number of sections varies for an 8' door.

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L-1

Regal 24 / N24 / N25

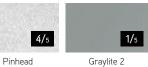




Regal N24C







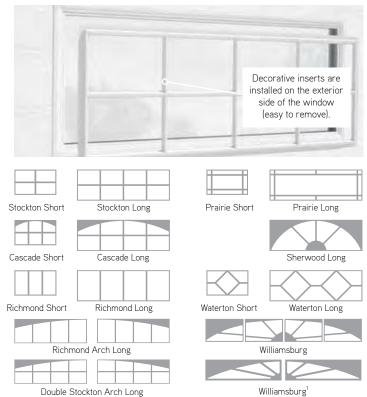
0/5 Clear

Privacy Level: X/5

Regal 24, N24, N25 = 20" x 13" and 41" x 16"

Regal N24C = 21" x 13" and 40" x 13". Clear glass available only.

Decorative inserts¹



¹ To know what size decorative inserts are available for each door design and construction, visit garaga.com/designcentre.

SIZES

Standard widths from 8' to 20' for the 24 and N24; 8' to 18' for the N24C and N25, in 1" increments. Heights from 6'6" to 8', in 3" increments. See your garage door dealer for more details on oversized doors available.

WARRANTY

Door: 15 years (limited) Bolted Hardware: 1 year Weatherstripping: 1 year

IN-GARAGE DELIVERY READY with a reliable Garaga garage door!

Find out the must-haves and the steps to get started. Keep your online deliveries safe, visit garaga.com/ingaragedelivery or scan the QR code.





LiftMaster



CONTEMPORARY

Regal

16' x 8'

Flush

MODEL PATTERNS AND LAYOUTS

Flush



Availability

Regal 24, N24 >



Farmhouse



Left-side Harmony

Outer Harmony

Available for Flush, Shaker-Flat Long and Classic Short designs. Visit garaga.com/windowlayouts to see all the available options or scan the QR code.

Right-side Harmony



Flush, 10' x 8' and 16' x 8', White, window layout: Left-side Harmony



CARRIAGE HOUSE STYLE INLAY LAYOUTS

Flat base

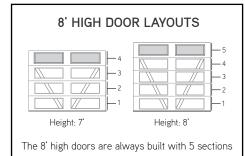
8' x 8'	16' x 8'
X Layout	X Layout
A Layout	A Layout
	A Layout
V Layout	V Layout

Plank base

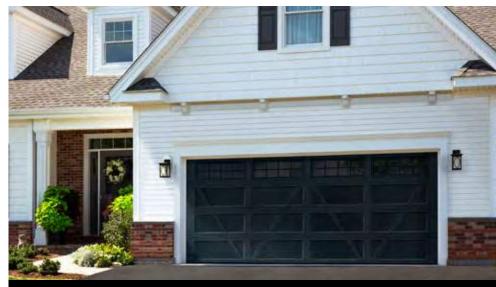
V Layout

8' x 8'	16' x 8'
X Layout	X Layout
A Layout	A Layout

	2/11111		7/111111
	V Lá	ayout	







V Layout, Flat base, 16' x 7', Black Ice, windows with Stockton Long Inserts

STEEL | THICKNESS: 2"

Find the design you love among the ten sensational ones available.

TYPES OF GLASS (41" x 16")²

COLORS¹

Privacy Level: X/5 Standard 4/5 4/5 White Satin Pinhead Sandstone Sahara 1/5 0/5 Clear Graylite 2 Almond Brown Terrastone ² Double-pane glass available for the Vantage construction. Premium **Decorative inserts** Cherry Dark Walnut Black Ice ¹ Same colors are available for the inlays. **DECORATIVE HARDWARE** Decorative inserts are installed on the exterior Handmade wrought iron texture side of the window (easy to remove). Lis Door knockers Double Stockton Arch Long Prairie Long Stockton Long Slightly bumpy texture Richmond Arch Long Sherwood Long Cascade Long Richmond Long Waterton Long Standard Cottage WARRANTY

Vantage

Door sections: limited lifetime

Windows: 10 years against seal defects 1 year for thermal break

Weatherstripping: 1 year

Bolted Hardware: 1 year

Regal

Door: 15 years (limited)

Weatherstripping: 1 year

Bolted Hardware: 1 year

Standard widths, in 1" increments: from 8' to 20' for Vantage and Regal N24 constructions; from 8' to 18' for Regal N25 construction. See your garage door dealer for more details on oversized doors available.

SIZES

CONSTRUCTIONS

CONSTRUCTION SUMMARY

VANTAGE										
Triple-layer: steel + insulation + steel										
	26-gauge pre-painted galvanized steel for high durability									
2	2" tongue and groove meeting rail to provide a weather-tight seal between sections, and rails are hemmed the entire length of the section for added strength and safety									
	Polystyrene insulation pressure bonded between two layers of steel for energy efficiency									
4	20-gauge white baked-on paint finish end stiles for a nice clean look									
	Full length reinforcing plates to solidly attach hinges and struts									



WINDLOAD The Garaga Wind Load Option is only available for specific regions. Talk to your local garage door dealer for more information.

IMPORTANT - Exterior face: light woodgrain finish. Interior face: stucco finish. Door interior: regardless of the color chosen, the inside is always White (door, window frames and inserts).

REGAL N24 & REGAL N25

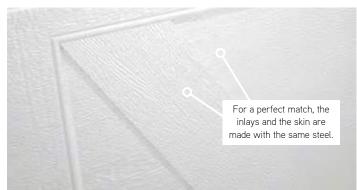
Single-layer: steel OR Double-layer: steel + insulation



- 1 2 options of outside layer: heavy duty steel or steel for high durability
- 2 2" tongue and groove meeting rail to provide a weather-tight seal between sections, and rails are hemmed the entire length of the section for added strength and safety
- 3 20-gauge galvanized end and center stiles to increase strength and durability
- 4 Polystyrene vinyl-backed insulation available as an option

	VANTAGE	REGAL N25							
CONSTRUCTION	Triple-layer	Single-layer o	r Double-layer						
OUTSIDE LAYER	Steel	Heavy duty steel	Steel						
INSULATION	Polystyrene	Non-insulated polystyrene insul	with optional vinyl-backed ation						
THICKNESS	2"	2"							
	INLAY LAYOUTS								
Flat Base	•	•							
Plank Base	•	•	•						
	COLORS								
White	•	•	•						
Sandstone	•	•	•						
Sahara	•	•	•						
Almond	•	•	•						
Brown	•	•							
Terrastone	•	•							
Black Ice	•	•							
Cherry	•	•							
Dark Walnut	•	•							
WIND LOAD	Optional	Optional	N/A						
DOUBLE-PANE GLASS	Optional	N/A	N/A						

STEEL INLAYS



Lift Master Quiet and reliable garage door openers PREMIUM CONTRACTOR SERIES **SERIES**[®]



Consult garaga.com/res-openers or scan the QR code to view all available openers and accessories.

ELITE SERIES[®]

The Garaga Wind Load Option is only available

for specific regions. Talk to your local garage

door dealer for more information.



- Ultra quiet
- Belt or chain drive
- ¾ HP, AC or DC power
- Integrated camera for some models



• Ultra quiet

Jackshaft

• DC power



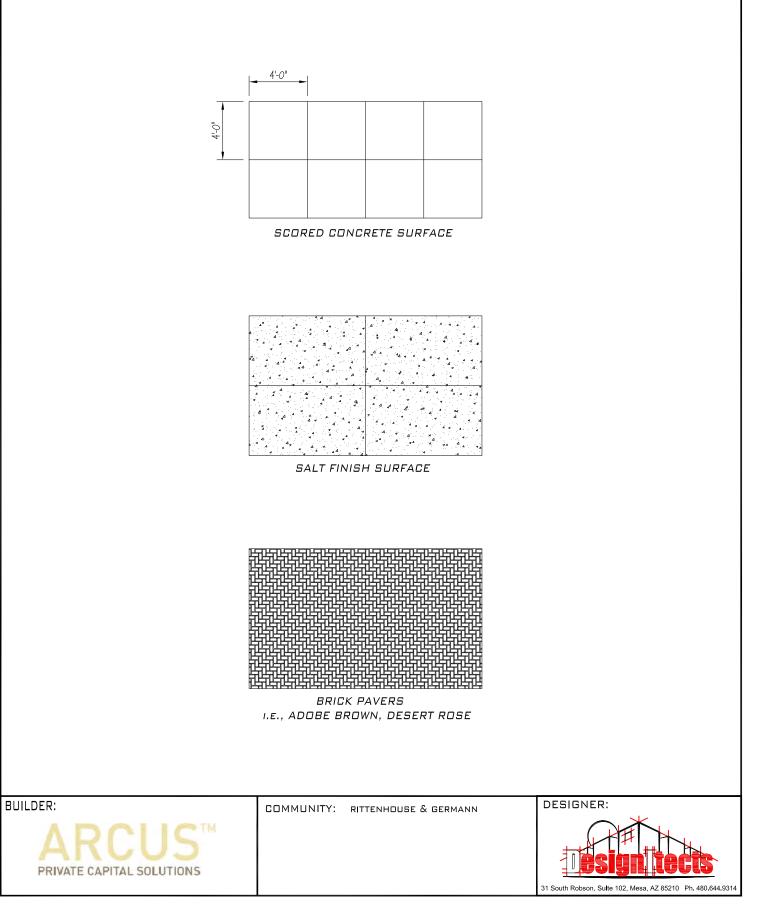
• Quiet Belt or chain drive • 1/2 HP, AC or DC power



• Belt or chain drive

• 1/2 HP, AC or DC power

DRIVEWAY MATERIALS AND OPTIONS



							OT FIT AN										
	Front : 2'-0 Rear: 8'-0						Plan Dimensions Legend Plan 1710 31'-4" x 40'-0" Y = Plan fits Plan 1800 = 32'-0" x 40'-0" N = Plan does not fit Plan 2420 = 41'-0" x 49'-6" N										
							Lot Coverage Plan 1710 Plan 1800 Plan 2420	= 56% = 60%	ges_								
												6/17/2022					
					Lot Infor	mation							Plan Series				
Lot #	Lot Sq. Ftg.	Staggered Front Setback	Front Center End	Lot Coverge	Sewer Location	Street Light	Elect. Transformer	Water Meter	Electrical	ADA Ramp	D/Way Handing	Plan 1710	Plan 1800	Plan 2420			
1	2,100 2,100	N/A N/A	Front Center	56% 60.70%	Centered Centered						Rear Load Rear Load	Y	Y Y	Y Y			
3	2,830	N/A	End	60%	Centered						Rear Load	Y	Y	Y			
4	2,830 2,100	N/A N/A	End	60%	Centered						Rear Load	Y	Y	Y			
5	2,100	N/A N/A	Center Front	60.70% 56%	Centered Centered						Rear Load Rear Load	Y	Y Y	Y			
7	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y			
8	2,830 2,830	N/A N/A	End End	60% 60%	Centered Centered						Rear Load Rear Load	Y	Y Y	Y			
9 10	2,830	N/A N/A	Front	56%	Centered						Rear Load	Y	Y	Y			
11	2,100	N/A	Front	56%	Centered						Rear Load	Y	Y	Y			
12	2,100 2,830	N/A N/A	Center End	60.70% 60%	Centered Centered						Rear Load Auto Court	Y Y	Y Y	Y Y			
14	2,830	N/A	End	60%	Centered	-			-		Auto Court	Y	Y	Y			
15	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y			
16 17	2,100 2,100	N/A N/A	Front Front	56% 56%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
18	2,100	N/A	Center	60.70%	Centered						Auto Court	Y	Y	Y			
19] 20	2,830 2,830	N/A N/A	End End	60%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y Y			
20	2,000	N/A	Center	60.70%	Centered						Auto Court Auto Court	Y	Y	Y			
22	2,100	N/A N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
23 24	2,100 2,100	N/A N/A	Front Center	56% 60.70%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y			
25	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y			
26 27	2,830 2,100	N/A N/A	End Center	60% 60.70%	Centered Centered						Auto Court Auto Court	Y	Y	Y Y			
28	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
29	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
30 31	2,100 2,830	N/A N/A	Center End	60.70% 60%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
32	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y			
33 34	2,100 2,100	N/A N/A	Center Front	60.70% 56%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y Y			
35	2,663	N/A	Front	44.60%	Centered						Auto Court	Y	Y	Y			
36	2,973	N/A	Center	42.80%	Centered						Auto Court	Y	Y	Y			
37	2,830 2,100	N/A N/A	End Center	60% 60.70%	Centered Centered						Auto Court Auto Court	Y	Y	Y Y			
39	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
40 41	2,100 2,100	N/A N/A	Front Center	56% 60.70%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y			
41	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y			
43	2,830	N/A	End	60%	Centered						Auto Court	Y	Y	Y			
44 45	2,100 2,100	N/A N/A	Center Front	60.70% 56%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
46	2,100	N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
47 48	2,100 2,830	N/A N/A	Center End	60.70% 60%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y Y			
48	3,104	N/A	End End	55.00%	Centered						Auto Court Auto Court	Y	Y	Y			
50	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y			
51 52	2,155 2,267	N/A N/A	Front Front	55% 52%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y			
53	3,124	N/A	Center	41%	Centered						Auto Court	Y	Y	Y			
54 55	3,124 3,102	N/A N/A	End End	55% 55%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
56	2,267	N/A	Center	55%	Centered				_		Auto Court	Y	Y	Y	_		
57	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y			
58 59	2,155 2,267	N/A N/A	Front Center	55% 56%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
60	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y			
61 62	3,103 2,267	N/A N/A	End Center	55% 56%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y			
63	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y			
64	2,155	N/A	Front	55%	Centered						Auto Court	Y	Y	Y			
65 66	2,267 3,103	N/A N/A	Center End	56% 55%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y			
67	3,103	N/A	End	55%	Centered						Auto Court	Y	Y	Y			
68 69	2,267 2,155	N/A N/A	Center Front	56% 55%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
70	2,155	N/A N/A	Front	55%	Centered						Auto Court Auto Court	Y	Y Y	Y			
71	2,267	N/A	Center	56%	Centered						Auto Court	Y	Y	Y			
72 73	3,103 2,925	N/A N/A	End End	55% 58%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
73	2,923	N/A	Center	58%	Centered						Auto Court	Y	Y	Y			
75	2,127	N/A	Front	56%	Centered						Auto Court	Y	Y	Y			
76 77	2,127 2,182	N/A N/A	Front Center	56% 58%	Centered Centered						Auto Court Auto Court	Y Y	Y Y	Y Y			
78	2,925	N/A	End	58%	Centered						Auto Court	Y	Y	Y			
79 80	2,830 2,100	N/A N/A	End Center	60%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y Y			
80 81	2,100	N/A N/A	Center Front	60% 56%	Centered Centered						Auto Court Auto Court	Y	Y Y	Y Y			
										•				•			

										Ri	tten	hous	e Cor	nmoi	ns Or	ne									////20	22
			3	A Elevations		1 ,	-		Calcons		10	111	B Elevations			15		Cabaara	17	10	19	C Elevations	21	22		1 01
cheme		2	3	4	0	6		8	Scheme	9	10	- 11	12	13	14	15	16	Scheme	17	18	19	20	21	22	23	24
Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake	Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake	Wood Trim	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW917 Shiitak
Board and Batton	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Board and Batton	SW7015 Repose Grey	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW7757 High Reflective White	SW9166 Drift of Mist	SW7532 Urban Putty	SW9173 Shiitake	Shingles	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW750 Stone Lion
Main Body	SW7757 High Reflective White	\$W7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	SW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion	Main Body	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	sW7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion	Main Body	SW7757 High Reflective White	SW7757 High Reflective White	SW7647 Crushed Ice	SW7045 Intellectual Grey	sw7015 Repose Grey	SW7030 Anew Grey	SW7548 Portico	SW7507 Stone Lion
Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake	Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake	Garage Door	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9166 Drift of Mist	SW6152 Superior Bronze	SW9173 Shiitake
hutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo	Shutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo	Shutters	SW7015 Repose Grey	SW6258 Tricorn Black	SW7757 High Reflective White	SW7757 High Reflective White	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW910 El Carame
Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo	Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW9106 El Caramelo	Front Door	SW6212 Quietude	SW6258 Tricorn Black	SW9141 Waterloo	SW6258 Tricorn Black	SW6258 Tricorn Black	SW9141 Waterloo	SW7591 Red Barn	SW910 El Carame
																		Coronado Stone	Wire Cut, Wolf Grey	Wire Cut, Wolf Grey	Wire Cut, Wolf Grey	Sand Mold, Savannah Grey		Wire Cut, Wolf Grey	Wire Cut, Cotton wood	Specia Used, Eagle Buff

7/7/2022