



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Erik Swanson, Planning Administrator
Sarah Clark, Senior Planner/Project Manager

RE: **Public Hearing and Possible Action P21-0163 Fry's Fuel Center Conditional Use Permit**, a request from Sean Lake (Pewand Lake, PLC) for Conditional Use Permit approval for a Fry's Fuel Center, located generally at the southwest corner of Queen Creek and Signal Butte roads.

DATE: May 11, 2022


STAFF RECOMMENDATION

Staff recommends approval of P21-0163 Fry's Fuel Center Conditional Use Permit, subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to recommend approval of P21-0163 Fry's Fuel Center Conditional Use Permit, subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS

 Secure Future

SUMMARY

This proposal consists of a request for approval of a Conditional Use Permit for a Fry's Fuel Center generally located approximately 1,100 feet from the southwest corner of Signal Butte and Queen Creek roads.

HISTORY

There is no case history for the subject site.

PROJECT INFORMATION

Project Information	
Project Name	Fry's Fuel Center Conditional Use Permit
Site Location	Approximately 1,100-feet west of the southwest corner of Queen Creek and Signal Butte Roads.
Current Zoning	RU-43 (Maricopa County)
Proposed Zoning	C-2/PAD
General Plan Designation	Neighborhood
Surrounding Zoning:	
North	Queen Creek Road R1-43 – Heritage Acres R1-43 – Benjamin Franklin Charter School EMP-B – Barney Family Sports Complex
South	Existing: RU-43 (Maricopa County) Proposed: R1-5/PAD (Hudson Station)
East	Signal Butte Road C-2/PAD MDR/PAD – Aventerra Madera R1-5/PAD - Madera
West	Existing: RU-43 (Maricopa County) Proposed: MDR/PAD (Hudson Station)
Building Area	Convenience store – 1,066sf Fuel canopy – 6,880sf
Parking	
Required:	12
Provided:	16

DISCUSSION

This proposal consists of a request for approval of a Conditional Use Permit for a Fry's Fuel Center generally located 1,100 feet from the southwest corner of Signal Butte and Queen Creek roads.

The proposed fuel station is considered "In-Vehicle Service Facilities" according to Article 6.10 of the Zoning Ordinance. All "In-Vehicle Service Facilities" are subject to a Conditional Use Permit review procedure. Conditional Uses are those land uses that may be desirable in a community, but may by their nature, require special site and design considerations in order to insure that they are compatible with adjacent uses and community standards. The Planning Commission and ultimately the Town Council are charged with determining whether or not a proposed location is suitable for such uses. The purpose of the Conditional Use Permit is to have an additional tool to maintain development standards

The Fuel Station is located within a larger commercial center, where the Site Plan for said commercial center (P21-0164 Hudson Station Commercial Center Site Plan) is running concurrently with this proposed conditional use permit request. The proposed Hudson Station Commercial Center Site Plan includes the Fry's Fuel Center as well as a Fry's Marketplace and Pharmacy and a total of 198,146 square feet of commercial uses. The proposed fuel station

includes a 1,066 square foot convenience kiosk and 10 fuel pumps (20 pumps stations) covered by a 6,880 square foot canopy.

The convenience store and fuel station incorporate the same colors, materials, and architecture included in the elevations of the commercial center. Fuel canopy columns are located on the outside of the fuel pumps in an effort to screen them from the street. Gas vent piping is hidden within the canopy and will not be visible. All fuel canopy lighting is recessed into the canopy. The applicant has provided a row of trees and tall shrubs along Queen Creek Road to help screen the fuel pumps and canopy from street view. A three-foot screen wall along Queen Creek Road is provided to screen vehicles and pumping stations. According to the applicant, hours of operation will parallel the grocery store, and there are no plans for 24-hour operation of the fuel center.

PUBLIC PARTICIPATION

A Neighborhood Meeting was held on October 5, 2021 and December 7, 2021 to discuss the larger Hudson Station rezone request as well as the proposed Hudson Station Commercial Site Plan and Fry's Fuel Station CUP. There were no questions or comments regarding the proposed fuel station. Notification of the meetings were mailed to property owners within 1,200 feet of the project, as required by the Zoning Ordinance. Neighborhood meeting minutes for the meeting are included as attachments.

Staff has not received any comments or concerns from the public regarding this request.

GENERAL ANALYSIS

Conditional Use Permit Review: Conditional Use Permit review in the Zoning Ordinance sets forth the following approval criteria for evaluating a proposed Conditional Use (as outlined in Article 3.5 of the Zoning Ordinance):

1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response: *“The proposed conditional use is in compliance with all regulations of the applicable zoning district (C-2), provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards set forth in Article 6 of this Ordinance. The C-2 zone allows for vehicular fuel stations, subject to approval of a conditional use permit. The accompanying site plan application details how all Town standards are being met.”*

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type, and height of the buildings or structures and the type and extent of landscaping and screening on the site.

Response: *“The Fry's Fueling Center is being proposed concurrently with the processing of an overall site plan for the 22-acre commercial property. As such, the location, type, and height of buildings are all part of a single, integrated plan that has been designed to function effectively in every aspect. Landscaping and screening will be consistent with the rest of the center and will provide for a quality, cohesive design.”*

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response: *“The Fuel Center is equipped with special piping and safety measurements to help monitor the fuel. The tanks system itself is also equipped with sensory equipment to help detect any potential leaks. The tanks are placed at the north side of the facility to allow for enough space and access drive for the refueling trucks. This location helps to minimize any conflicts between the refueling trucks and pedestrian activity from the convenience store and dispensaries.”*

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response: *“The Facility itself is designed to handle incoming traffic without negative vehicle circulation. The current orientation of the facility is buffered between two (2) drive aisles at the northwest corner of the commercial center. Appropriate landscape islands have been placed to help create a perimeter around the convenience store and the fuel dispensers. This layout helps to minimize direct access into the facility from vehicles coming directly from Queen Creek and thus reduces vehicle conflict from fueling activities and entering/exiting traffic.”*

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Response: *“The proposed use is not noxious or offensive by reason of vibration, noise, odor dust, smoke or gas. No vibration, inordinate amount of noise, odor, dust smoke or gas are created by the proposed use. All Town codes and state laws will be met.”*

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood.

Response: *“The fuel facility will follow the guidelines and measurements as described by the Maricopa County Department of Environmental Safety and Air Quality. Special CARB certification filtration systems are implemented in the overall design of the dispensary system to reduce pollution and mitigate malodors. The facility itself is set back from residential areas in accordance with Queen Creek standards.”*

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Response: *“The facility operates as a unique and beneficial ancillary use to the anchor grocery store and other commercial uses proposed within the Hudson Station Commercial Center. Retail gas stations, within large commercial centers, help serve consumers for fueling without the industrial and large commercial effects. This fuel facility is only for public consumption and retail use. No heavy duty fueling or refining is taken place at this site.”*

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response: *“As demonstrated in the application’s exhibits and narrative, a Conditional Use Permit allowing drive-through restaurant purchase/pick-up and a fuel center will not*

create operational or maintenance issues, and will not be detrimental to - or endanger - the public health, safety, morals, comfort, or general welfare.

The establishment of self-service fuel stations within close proximity of residential neighborhoods have now become a common community convenience due to improvements in vapor recovery methods and their operational affiliation with grocery chains, who now recognize the benefits of cross-merchandising groceries and gasoline. These merchants provide security, good pricing and a standardized level of maintenance that both attracts and keeps customers. They provide an added level of customer comfort and convenience, provide no moral disadvantage, and do not create issues of public health, safety or general welfare not acceptable to nearby residents.

Drive-through pick-up and points of purchase for pharmacies, groceries, and restaurants provide an added level of service for neighborhood users in exchange for minimal operational and maintenance costs that are borne by the business proprietors in exchange for increased sale through an added level of service. They provide a much-needed service for residents with limited physical mobility or poor health, and add to the comfort and general welfare of residents who feel more capable of fulfilling grocery, pharmacy and dining needs. They provide no moral disadvantage.”

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response: *“These uses requested by the proposed Conditional Use Permit will create several benefits to the public interest and welfare – both for those residents already living nearby, and those who will move into the community that is being created by this project. In this location, the addition of a mixed-use planned area development offering employment, residential and commercial uses, all anchored by the establishment of a local commercial core, will add the benefits of: 1. Shortening trip times; 2. Decreasing fuel consumption and fuel spending; 3. Decreasing harmful auto emissions through decreased auto use; 4. Increasing shopping and restaurant options, and; 5. Provide new a grocery store and fitness center that will serve to promote healthy lifestyle options. There is no evidence that individual interests would be adversely affected by the establishment of the proposed use.”*

General Plan Review: The General Plan designation for this property is Neighborhood. The request is in conformance with the property’s General Plan Land Use designation.

Zoning Review: The subject property is currently zoned RU-43 (Maricopa County). Upon annexation, the RU-43 property will be given the equivalent Town zoning designation of R1-43. The applicant is proposing to rezone the larger 95 acre property from R1-43 to R1-18, R1-9, R1-7, R1-5, MDR, and C-2 with a PAD Overlay. If the rezoning request is approved, the proposed fuel station and associated convenience store is permitted within the C-2 district with the approval of a Conditional Use Permit.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project’s potential

impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project. The Town of Queen Creek will be the potable water and waste water service provider for the property.

Parking: The site meets the parking requirements for the proposed uses, providing 16 parking spaces where 12 parking spaces are required. A shared parking agreement and cross access agreement will be applied to the commercial center.

Building Elevations Review: The proposed building elevations are in compliance with the Town Zoning Ordinance and Design Standards. Building materials include a mixture of integrally-colored raked face, smooth face, and split face CMU block, fiber cement lap siding, and standing seam metal, consistent with the design, color, and materials used in the larger commercial center where the fuel station is located.

Signage: Proposed signage will be reviewed and approved as part of separate building permit submittals. Any deviations from the Zoning Ordinance will require a Comprehensive Sign Plan approved and presented before the Planning Commission at a future date.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case, the Hudson Station PAD, and all the provisions of the Zoning Ordinance applicable to this case.
2. The approval of the Conditional Use Permit (P21-0163) is subject to the approval of the annexation (P21-0053) and the Hudson Station PAD Rezone (P21-0054) and Hudson Station Commercial Site Plan (P21-0164).
3. Mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened and painted to match the main color of the building or to blend in with adjacent landscaping.
4. All roof mounted equipment shall be fully screened by the roof parapet.
5. Gasoline tank vent piping shall be screened from arterial streets and public view.

ATTACHMENTS

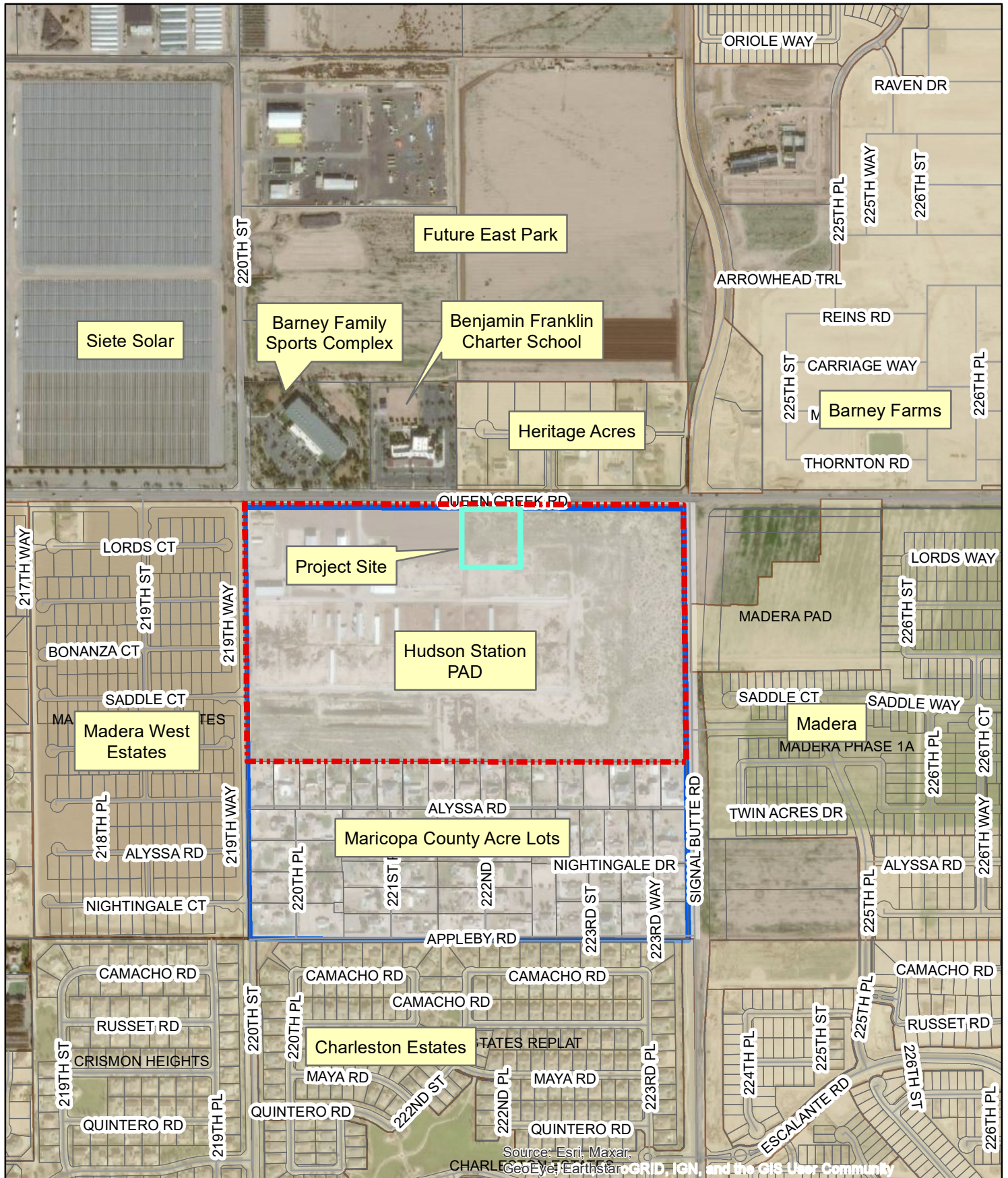
1. Aerial
2. General Plan Exhibit
3. Existing Zoning Exhibit
4. Proposed Zoning Exhibit
5. Site Plan
6. Elevations
7. Landscape Plan
8. Project Narrative

Project Name: Fry's Fuel Station Conditional Use Permit

Case Number: P21-0163



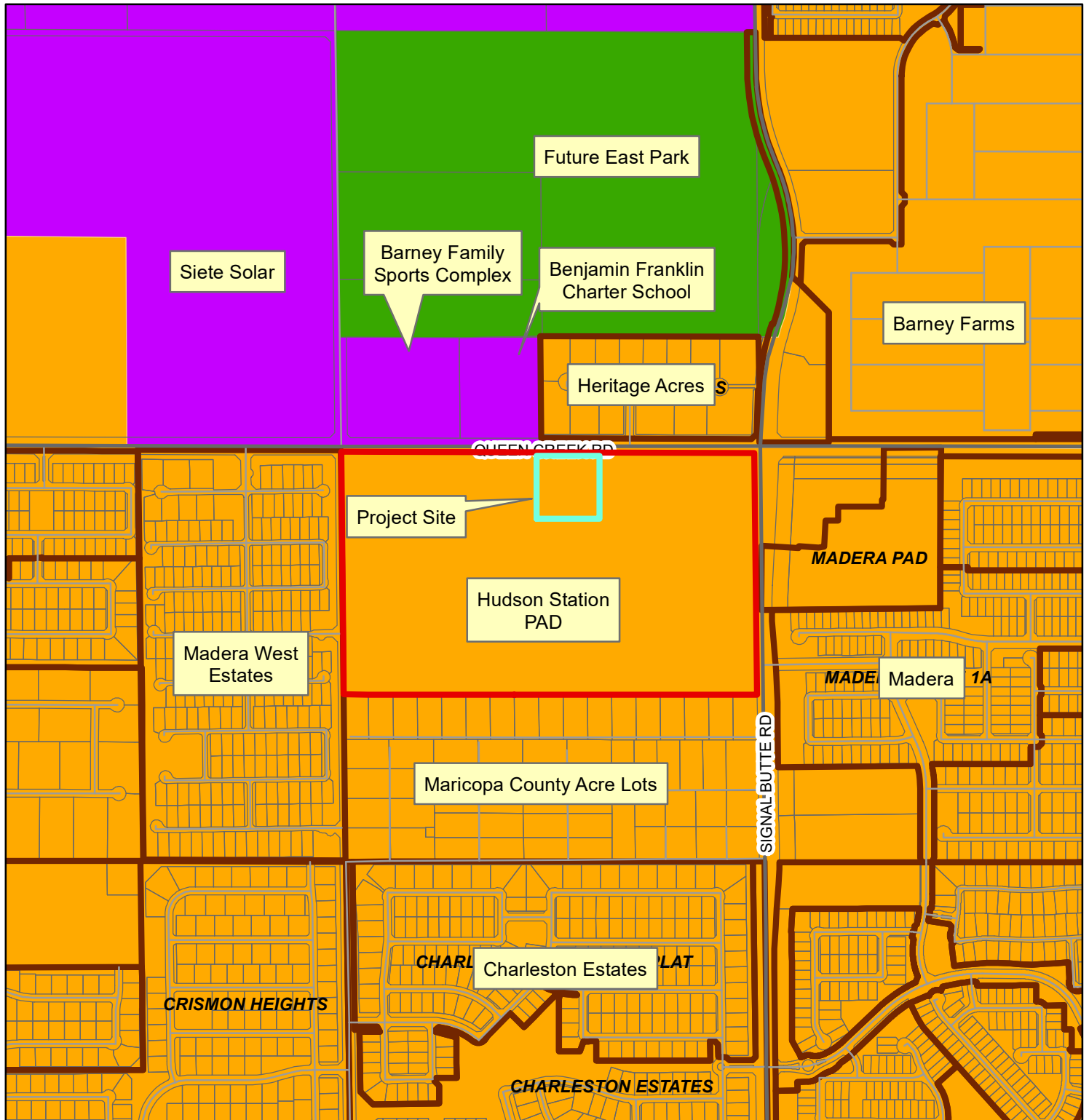
Hearing Date: May 11, 2022 (Planning Commission) June 1, 2022 (Town Council)



Project Name: Fry's Fuel Station Conditional Use Permit General Plan Exhibit

Case Number: P21-0163

Hearing Date: May 11, 2022 (Planning Commission) June 1, 2022 (Town Council)



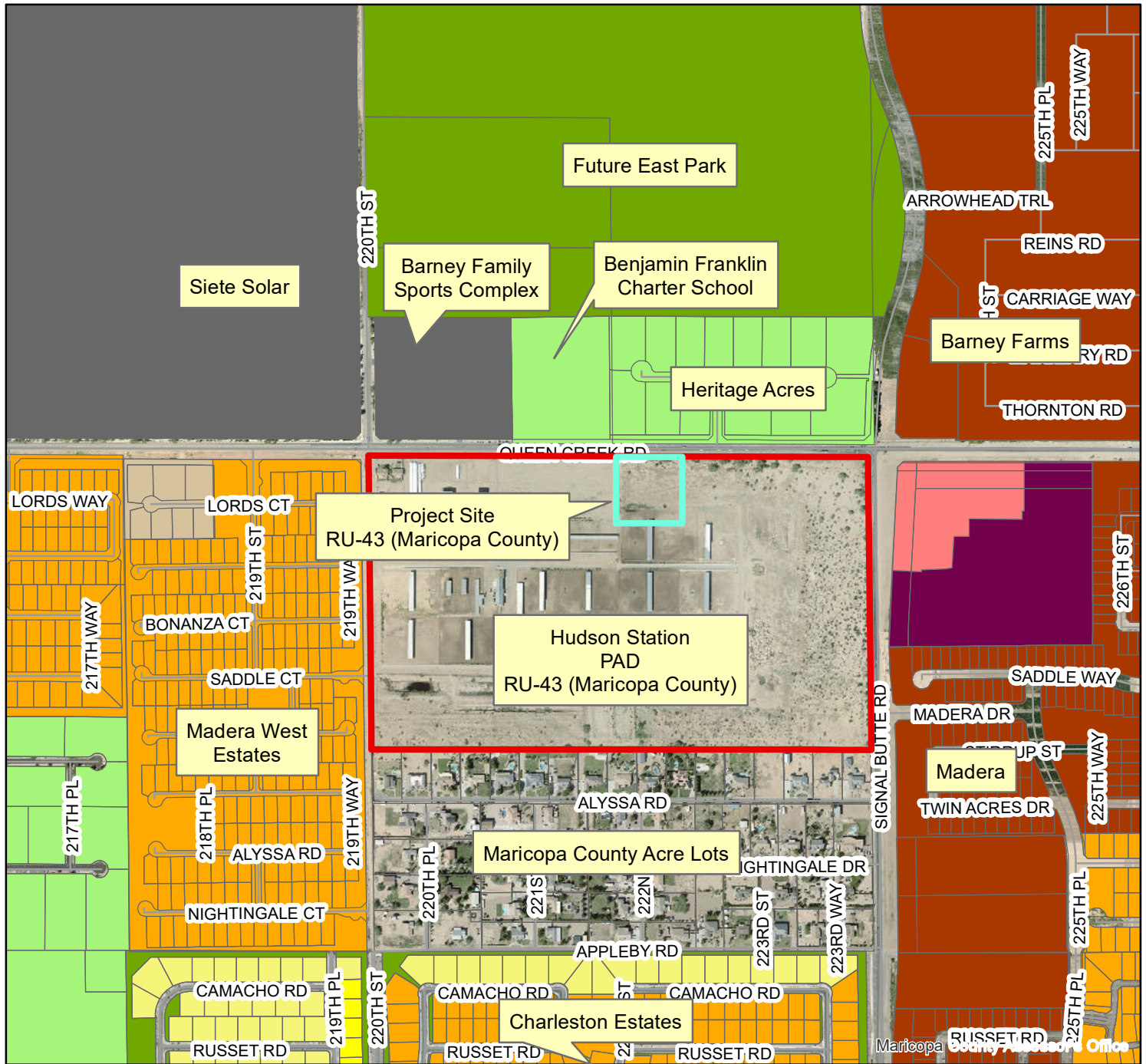
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |



























Project Name: Fry's Fuel Station Conditional Use Permit Existing Zoning Exhibit

Case Number: P21-0163

Hearing Date: May 11, 2022 (Planning Commission) June 1, 2022 (Town Council)



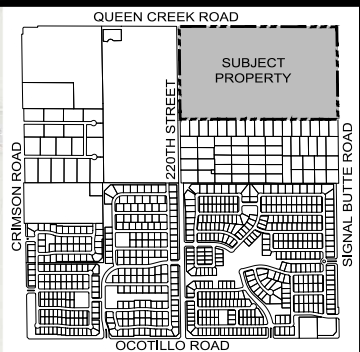
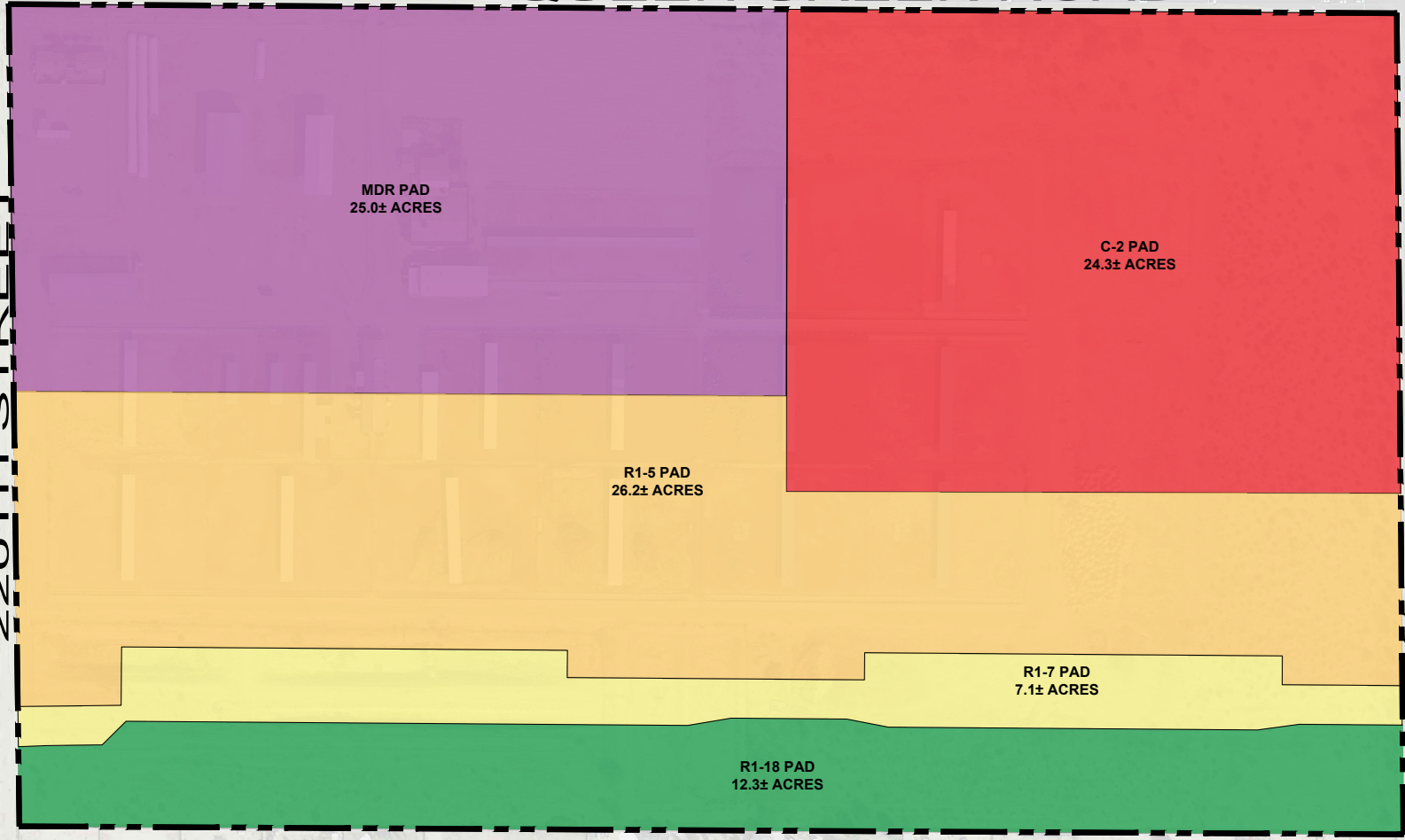
Zoning Districts

 C-1 - Commercial	 RC - Recreation/Conservation	 R1-7 - Residential	 R1-43 - Residential
 C-2 - Commercial	 PQP - Public/Quasi-Public	 R1-8 - Residential	 R1-54 - Residential
 C-3 - Commercial	 HDR	 R1-9 - Residential	 R1-190 - Residential
 MU	 MDR - Residential	 R1-12 - Residential	 PCD - Planned Community
 TC - Commercial	 R1-4 - Residential	 R1-15 - Residential	 AT - Agritainment
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-18 - Residential	
 EMP B - General Industrial	 R1-6 - Residential	 R1-35 - Residential	

220TH STREET

QUEEN CREEK ROAD

SIGNAL BUTTE ROAD



LOCATION MAP

PROJECT TEAM

PROPERTY OWNER LANGLEY PROPERTIES 2738 E GUADALUPE ROAD GILBERT, AZ 85234	ATTORNEY FEW & LAKE, P.L.C. 1744 S VAL VISTA DRIVE SUITE 217 MESA, AZ 85204
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DEVELOPER BARCLAY GROUP 2415 E CAMELBACK ROAD SUITE 900 PHOENIX, ARIZONA 85016	DEVELOPER HANCOCK COMMUNITIES LLC. 4040 E CAMELBACK ROAD SUITE 215 PHOENIX, AZ 85018
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PLANNER/ENGINEER
THE WLB GROUP
4444 E BROADWAY BLVD
TUCSON, AZ 85711

PROJECT DATA

APN: 304-64-007G
LOCATION: 22101 E QUEEN CREEK RD
QUEEN CREEK, AZ 85142

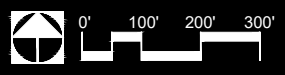
GENERAL PLAN: NEIGHBORHOOD
EXISTING ZONING: RU-43

PROPOSED ZONING:
PARCEL 1: C-2 PAD
PARCEL 2: RESIDENTIAL PAD
PARCEL 3: RESIDENTIAL PAD



HUDSON STATION ZONING PLAN

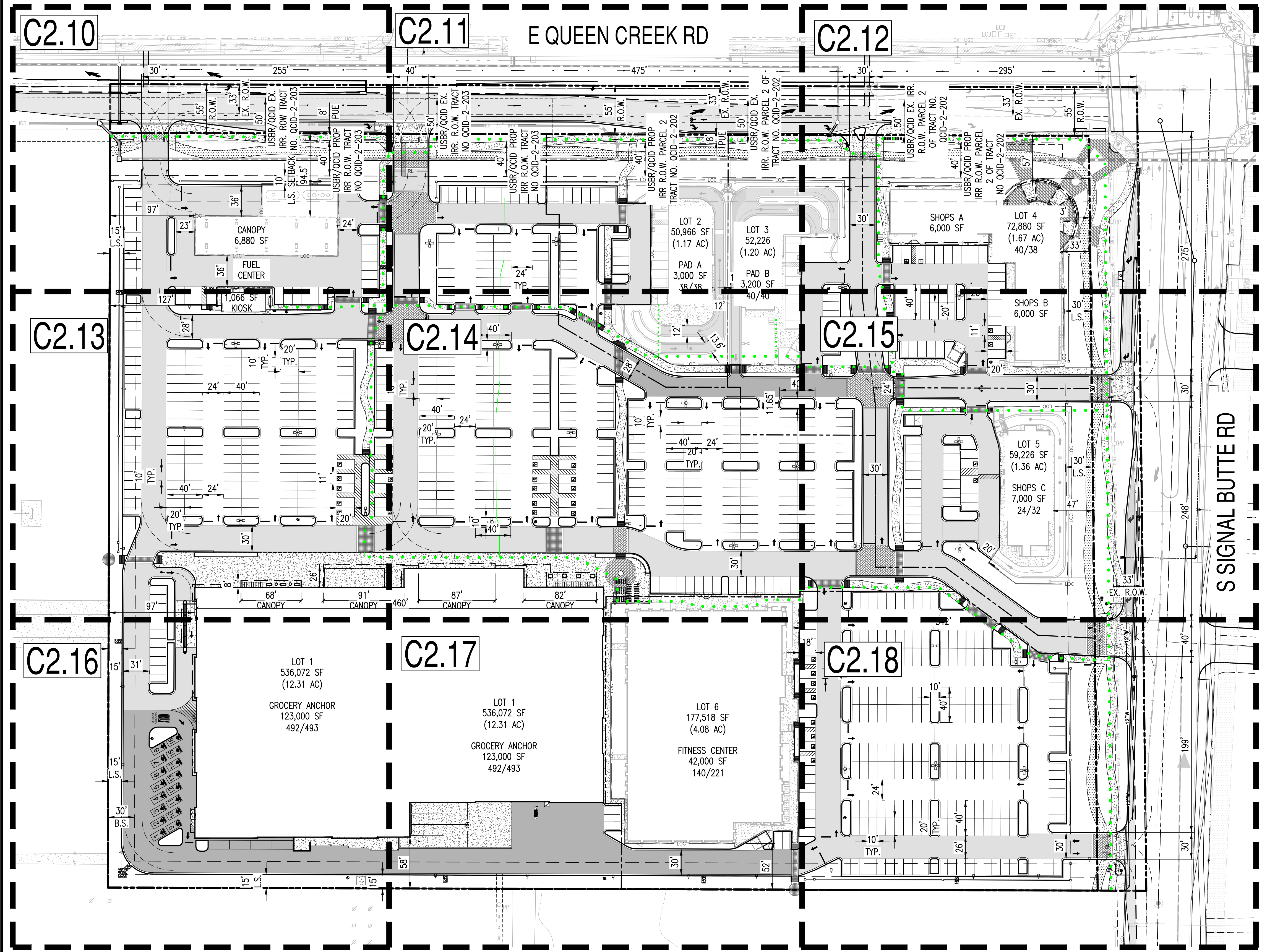
4.1.2022
WLB No. 119033-A-001



HUDSON STATION - FRYS 656

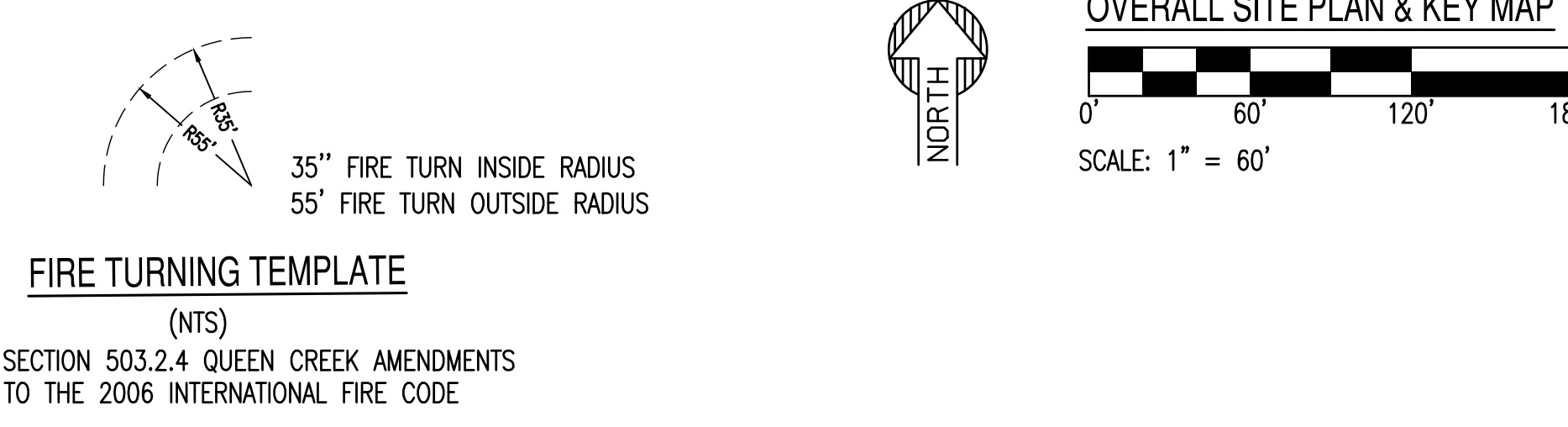
OVERALL SITE PLAN

22101 E QUEEN CREEK RD, QUEEN CREEK, ARIZONA



PROPOSED LEGEND:

	PROPERTY LINE		STAMPED COLORED CONCRETE
	ACCESSIBLE PATH		CONCRETE
	PAVERS AT PEDESTRIAN CROSSING		HEAVY DUTY ASPHALT PAVEMENT
	PAVEMENT STRIPING		LIGHT DUTY ASPHALT PAVEMENT



DEVELOPMENT SUMMARY TABLE:

PROJECT ADDRESS: SIGNAL BUTTE & QUEEN CREEK SOUTH WEST CORNER
LEGAL DESCRIPTION: EAST 1/2 SECTION 10, T12N, R10E, S04E, MARICOPA COUNTY, ARIZONA
COUNTY ISLAND (NOT CURRENTLY IN CCI)
PROJECT DESCRIPTION: SITE PLAN DEVELOPMENT PROPOSAL
DEVELOPMENT INFORMATION: APN: 304-64-0076 (portion of)

EXISTING ZONING:	RU-43 (MARICOPA)
PROPOSED ZONING:	C-2 PAD
ADJACENT ZONING:	NORTH: RU-43 (QUEEN CREEK) EAST: C2/MDR (QUEEN CREEK) SOUTH: RU-43/MDR PAD (MARICOPA) WEST: RU-43/MDR PAD (MARICOPA)

PROPOSED USE: NEIGHBORHOOD COMMERCIAL SHOPS, PADS
CONSTRUCTION TYPE: BUILDING: VB
OCCUPANCY: M

EXISTING PARCEL SIZE:	3,997,162 SF	91.76 AC
PROPOSED PARCEL SIZE:	1,059,652 SF	24.33 AC
NET PARCEL SIZE:	948,891 SF	21.78 AC

BUILDING AREA SUMMARY:

LOT 1 FRY'S GROCER (ANCHOR)	123,000 SF
LOT 1 FUEL CENTER CANOPY	6,880 SF
LOT 1 FUEL CENTER KIOSK	1,066 SF
LOT 2 PAD A	3,000 SF
LOT 2 PAD B	3,200 SF
LOT 4 SHOPS A	6,000 SF
LOT 4 SHOPS B	6,000 SF
LOT 5 SHOPS C	7,000 SF
LOT 6 FITNESS CENTER	42,000 SF
BUILDING TOTAL AREA:	198,146 SF

LOT COVERAGE:

MAX BUILDING COVERAGE	60% MAX
TOTAL OPEN SPACE	15%
PROPOSED BUILDING COVERAGE	21%
MIN LANDSCAPE AREA	20%
PROPOSED LANDSCAPE AREA	22%

1,000 SF

BUILDING HEIGHT: MAX BUILDING HEIGHT: 48'

SETBACKS: BUILDING: REQUIRED PROVIDED

LARGE RETAIL:

FRONT (N):	0'
SIDE (W):	0'
REAR (S):	15'

LANDSCAPE:

NORTH:	QUEEN CREEK	30'	10'	(+ MCR 40')
EAST:	SIGNAL BUTTE	30'	30'	
SOUTH:	RESIDENTIAL	30'	30'	INCL. 15' ON RES. SIDE
WEST:	RESIDENTIAL	30'	30'	INCL. 15' ON RES. SIDE

PARKING REVIEW:

TOTAL PARKING REQUIRED	774
TOTAL PARKING PROVIDED	862

LOT #1 / GROCERY:

LOT AREA:	536,072 SF	12.31 AC
BUILDING #1 USE:	RETAIL MAJOR ANCHOR > 10,000	
BUILDING #1 AREA:	123,000 SF	250 PER SF
REQUIRED PARKING:	492	
PROPOSED PARKING:	493	
PROPOSED STANDARD:	4.01	PER 1000
REQUIRED ADA PARKING:	9	
PROPOSED ADA PARKING:	20	
REQUIRED BICYCLE SPACES:	50	1 PER 10 PARKING SPACES, 4 MIN.
PROPOSED BICYCLE SPACES:	50	

LOT #1 / FUEL CENTER:

BUILDING USE:	FUEL CENTER	
LOT AREA:	INCLUDED SF	AC
CANOPY:	6,880	
KIOSK:	1,066	
BUILDING AREA:	7,946 SF	
REQUIRED PARKING:	16	INCLUDED WITH ANCHOR
PROPOSED PARKING:	1	
REQUIRED ADA PARKING:	1	
REQUIRED BICYCLE SPACES:	0	N/A
PROPOSED BICYCLE SPACES:	0	

LOT #2 / PAD A:

BUILDING USE:	RESTAURANT	
LOT AREA:	50,966 SF	1.17 AC
BUILDING AREA:	1,500 SF	50 PER SF
PREP:	1,500 SF	200 PER SF
BUILDING AREA TOTAL:	3,000	
REQUIRED PARKING:	38	
PROPOSED PARKING:	13	PER 1000
RATIO:	3.33	PER 1000
REQUIRED ADA PARKING:	2	
PROPOSED ADA PARKING:	2	
REQUIRED BICYCLE SPACES:	2	1 PER 20 PARKING SPACES
PROPOSED BICYCLE SPACES:	2	

LOT #3 / PAD B:

BUILDING USE:	RESTAURANT	
LOT AREA:	52,226 SF	1.20 AC
BUILDING AREA:	1,600 SF	50 PER SF
PREP:	1,600 SF	200 PER SF
BUILDING AREA TOTAL:	3,200	
REQUIRED PARKING:	40	
PROPOSED PARKING:	13	PER 1000
RATIO:	3.33	PER 1000
REQUIRED ADA PARKING:	2	
PROPOSED ADA PARKING:	2	
REQUIRED BICYCLE SPACES:	2	1 PER 20 PARKING SPACES
PROPOSED BICYCLE SPACES:	2	

LOT #4 / SHOPS A AND B:

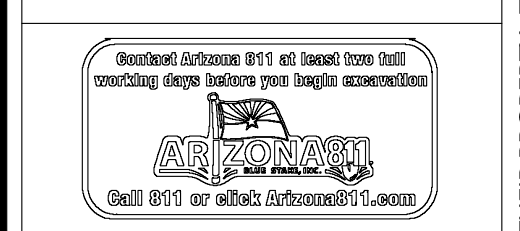
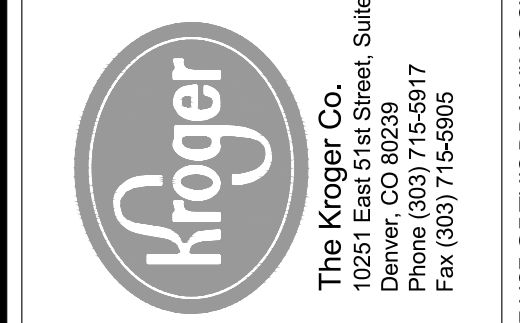
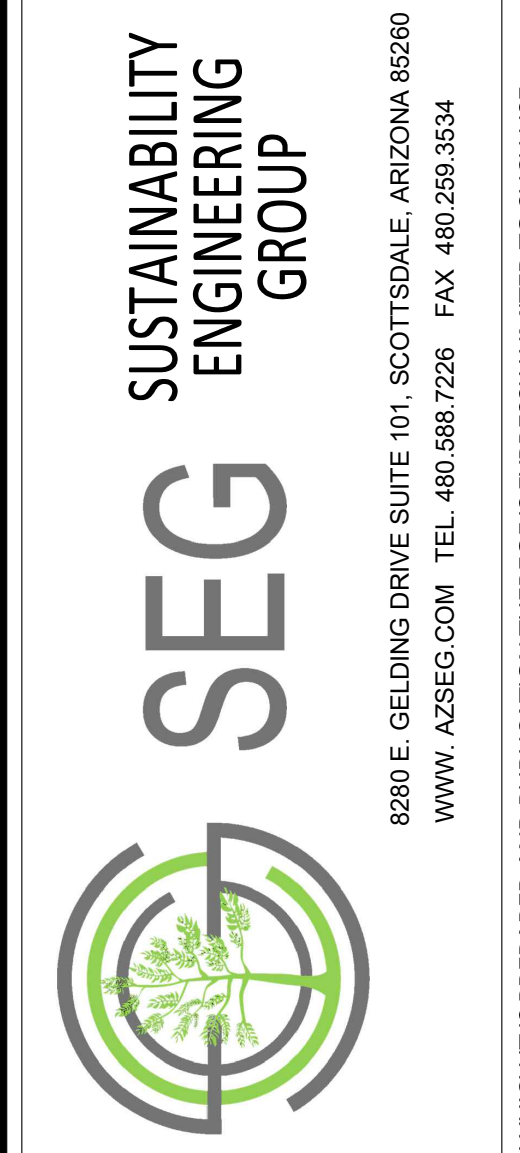
BUILDING USE:	SHOPS	
LOT AREA:	72,880 SF	1.67 AC
BUILDING AREA:	6,000 SF	300 PER SF
REQUIRED PARKING:	20	
PROPOSED PARKING:	18	
RATIO:	3.00	PER 1000
REQUIRED ADA PARKING:	2	
PROPOSED ADA PARKING:	2	
REQUIRED BICYCLE SPACES:	1	1 PER 20 PARKING SPACES
PROPOSED BICYCLE SPACES:	1	

LOT #5 / SHOPS C:

BUILDING USE:	SHOPS	
LOT AREA:	72,880 SF	1.67 AC
BUILDING AREA:	6,000 SF	300 PER SF
REQUIRED PARKING:	20	
PROPOSED PARKING:	18	
RATIO:	3.00	PER 1000
REQUIRED ADA PARKING:	2	
PROPOSED ADA PARKING:	2	
REQUIRED BICYCLE SPACES:	1	1 PER 20 PARKING SPACES
PROPOSED BICYCLE SPACES:	1	

LOT #6 / FITNESS CENTER:

BUILDING USE:	FITNESS CENTER	
LOT AREA:	177,518 SF	4.08 AC
BUILDING AREA:	42,000 SF	300 PER SF
REQUIRED PARKING:	140	
PROPOSED PARKING:	221	
RATIO:	5.26	PER 1000
REQUIRED ADA PARKING:	6	
PROPOSED ADA PARKING:	8	
REQUIRED BICYCLE SPACES:	23	1 PER 10 PARKING SPACES, 4 MIN.
PROPOSED BICYCLE SPACES:	23	



PROJECT: HUDSON STATION FRY'S 656

LOCATION: 22101 E QUEEN CREEK RD, QUEEN CREEK, AZ 85142

DRAWN:	EG	08/02/2021
DESIGNED:	SC	08/02/2021
FINAL DC:	AF	
PROJ. MGR:	AF	

DATE: TBD

ISSUED FOR: PERMIT

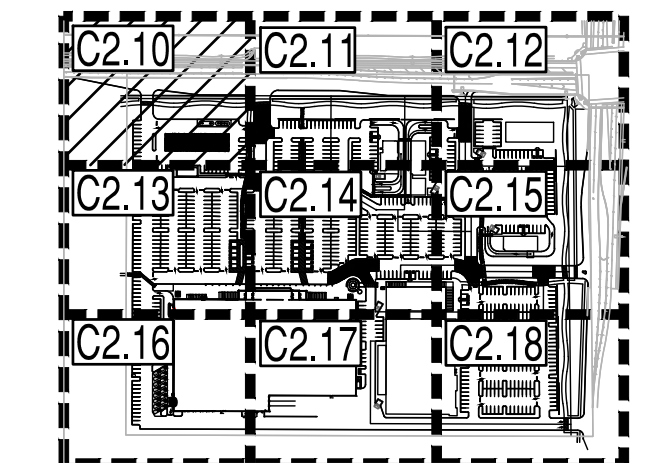
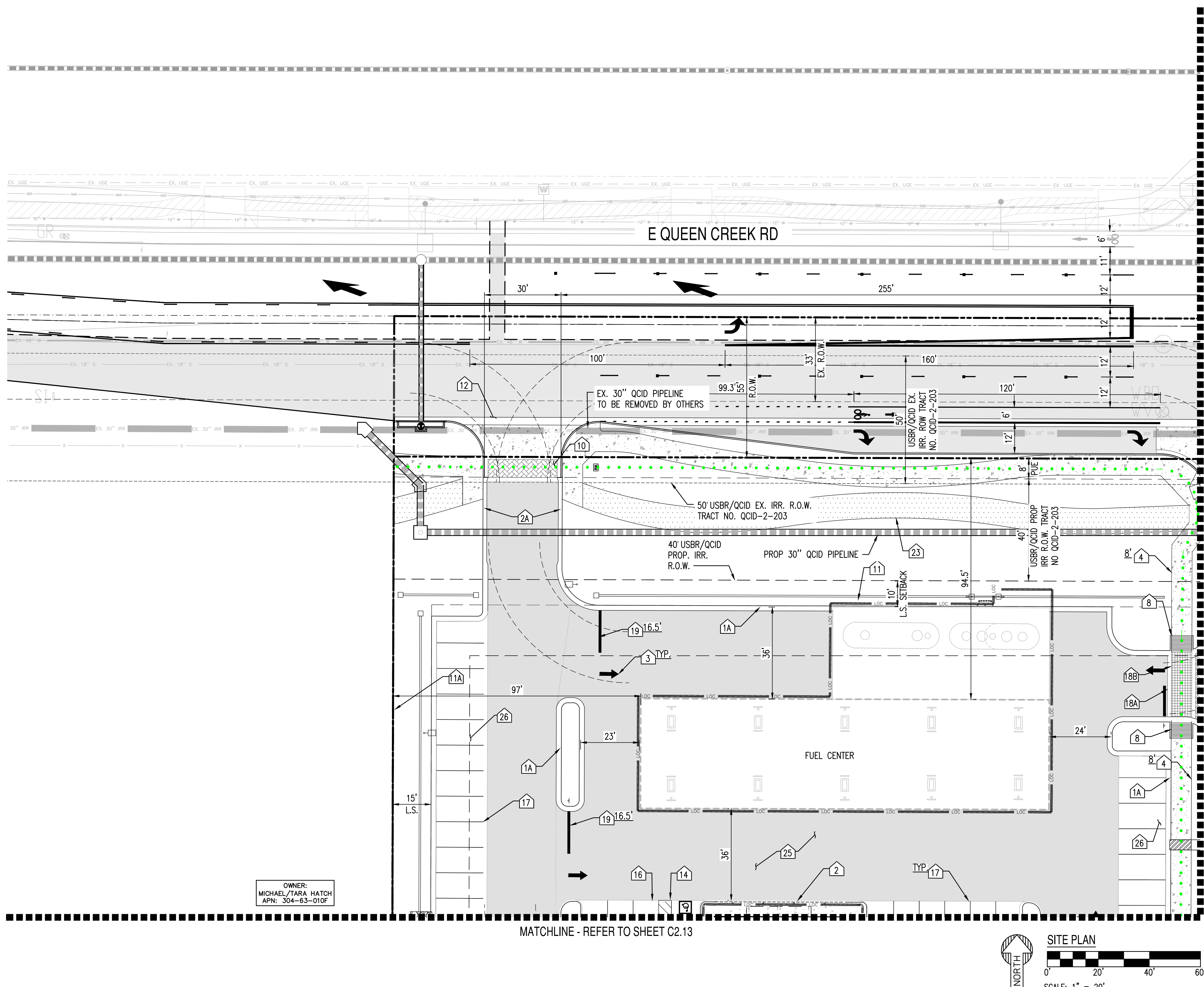
REVISION NO.: _____ **DATE:** _____

JOB NO.: 200620

SHEET TITLE: PRELIMINARY OVERALL SITE PLAN

PAGE NO.: 2 **SHEET NO.:** C2.00

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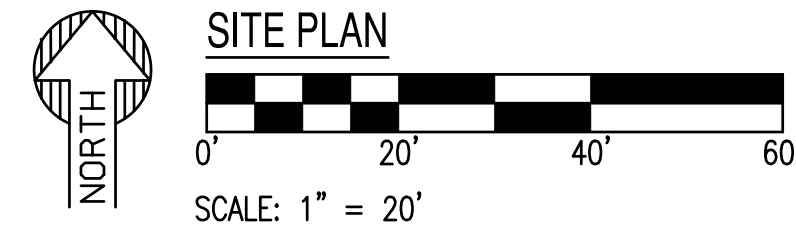


PRELIMINARY SITE PLAN KEY NOTES:

- 1A CONSTRUCT CURB AND GUTTER PER GRADING PLANS
 - 1B CONSTRUCT 6" VERTICAL CURB PER GRADING PLANS.
 - 2 CONSTRUCT FLUSH CURB PER GRADING AND DRAINAGE PLANS.
 - 2B CONSTRUCT ROLLED CURB PER GRADING PLANS.
 - 3 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 4/C2.20.
 - 4 CONSTRUCT CONCRETE SIDEWALK, PER MAG STD. DET. 230, WIDTH PER PLAN.
 - 5 INSTALL BICYCLE PARKING, 2'X6" (4 SPACES) PER DET. #/C2.20.
 - 6 PROPOSED MONUMENT SIGN LOCATION. SIGNAGE AND SIGNAGE LOCATION BY SEPARATE PERMIT.
 - 7 CONSTRUCT TRASH ENCLOSURE DET. 3/C2.21. REFER TO C.O.M. STD. DET. M-62.02.01
 - 8 CONSTRUCT ACCESSIBLE RAMP PER GRADING PLANS.
 - 9 CONSTRUCT ISLAND OPENING PER CIVIL PLANS.
 - 10 PROVIDE HERRINGBONE STAMPED COLORED CONCRETE AT INTERSECTIONS. REFER TO LANDSCAPE PLANS.
 - 11 CONSTRUCT 3' PARKING SCREEN WALL PER DET. 2/C2.20. LENGTH PER PLAN.
 - 11A INSTALL STOP SIGN PER DET. 2/C2.20. TYPE 1 UNLESS NOTED OTHERWISE.
 - 12 INSTALL SYMBOL OF ACCESSIBILITY PER DET. 1/C2.20.
 - 13 PROVIDE 5' WIDE ADA AISLE. 4" WIDE YELLOW PAINT STRIPING, 2' O.C. @ 45°.
 - 14 PROVIDE 4" WIDE WHITE PAINTED STRIPE, TYP.
 - 15 CONSTRUCT 18" CONCRETE HEADER AT PEDESTRIAN CROSSING. REFER TO LANDSCAPE PLANS FOR HARDSCAPE SCHEDULE.
 - 16 CONSTRUCT 12" SQUARE STAMPED CONCRETE AT PEDESTRIAN CROSSING. REFER TO LANDSCAPE PLANS FOR HARDSCAPE SCHEDULE.
 - 17 PROVIDE 18" WHITE PAINTED STOP BAR, LENGTH PER PLAN.
 - 18A INSTALL PLANTERS AROUND BUILDING. REFER TO LANDSCAPE PLANS.
 - 18B INSTALL ACCESSIBLE PARKING SIGN PER DET. 3/C2.20. (TYP. #).
 - 19 INSTALL 12" CONC. BOLLARD AT FRONT OF ANCHOR GROCERY STORE BUILDING PER KROGER STD. DET. ASD-161.
 - 20 PROVIDE 10' WIDE MULTI-PURPOSE TRAIL. DECOMPOSED GRANITE COVER PER LANDSCAPE PLANS.
 - 21 CONSTRUCT HEAVY DUTY ASPHALT PAVEMENT PER GRADING AND DRAINAGE PLANS.
 - 22 CONSTRUCT LIGHT DUTY ASPHALT PAVEMENT PER GRADING AND DRAINAGE PLANS.
 - 23 INSTALL STEEL BOLLARDS PER DET 1/C2.21.
 - 24 INSTALL LIGHT POLE PER ELECTRICAL PLANS.
 - 25 PROVIDE DIRECTIONAL ARROW PER ADOT STD. DRAWING M-10.
 - 26 INSTALL WHEEL STOP PER DET. 3/C2.20, (TYP. 8).
 - 27 PROVIDE 2 FT CAR OVERHANG.
- PROPOSED FIRE HYDRANT PER CIVIL PLANS.

MATCHLINE - REFER TO SHEET C2.11

MATCHLINE - REFER TO SHEET C2.13



PROPOSED LEGEND:

- | | | | | | | | |
|--|---------------|--|-------------------------------|--|-----------------------------|--|--|
| | CURB & GUTTER | | SITE WALL | | STAMPED COLORED CONCRETE | | SITE LIGHTING POLE (SEE ELECTRICAL DWGS) |
| | VERTICAL CURB | | ACCESSIBLE PATH | | CONCRETE | | POSTED SIGNAGE |
| | PROPERTY LINE | | PAVERS AT PEDESTRIAN CROSSING | | HEAVY DUTY ASPHALT PAVEMENT | | FIRE HYDRANT |
| | CANOPY | | PAVEMENT STRIPING | | LIGHT DUTY ASPHALT PAVEMENT | | |

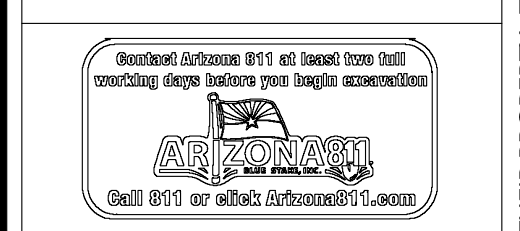
OWNER:
MICHAEL/TARA HATCH
APN: 304-63-010F

SUSTAINABILITY ENGINEERING GROUP
SEG
8280 E. GELDING DRIVE SUITE 101, SCOTTSDALE, ARIZONA 85260
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PROJECT: HUDSON STATION FRY'S 656
LOCATION: 22101 E QUEEN CREEK RD, QUEEN CREEK, AZ 85142

DRAWN: EG 08/02/2021
DESIGNED: LA 08/02/2021
FINAL QC: AF
PROJ. MGR.: AF

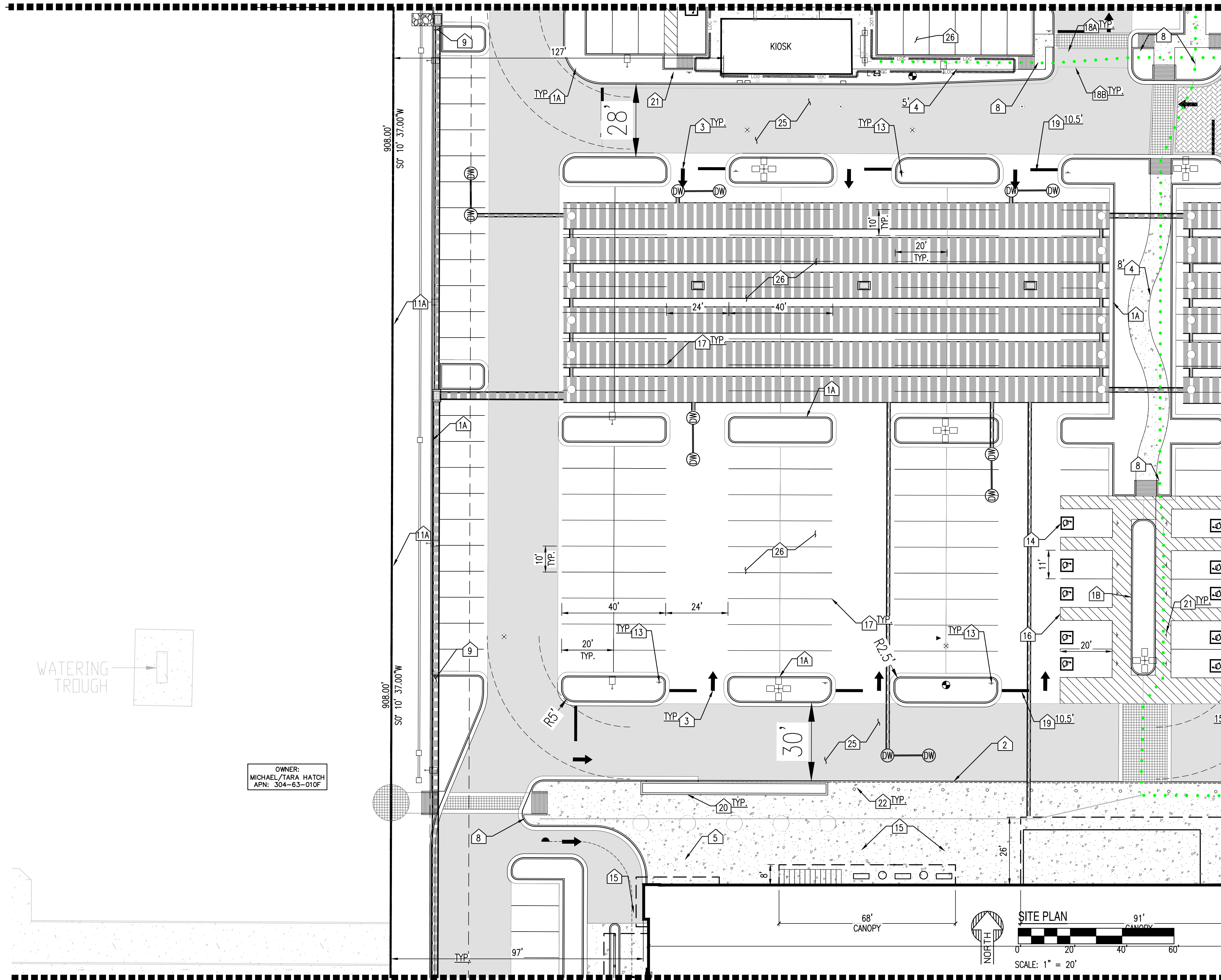
DATE: TBD
ISSUED FOR: PERMIT

REVISION NO.	DATE

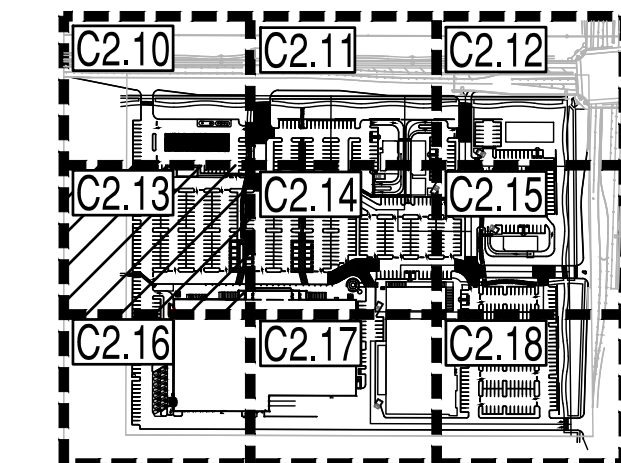
JOB NO.: 200620
SHEET TITLE: **SITE PLAN**
PAGE NO.: 3
SHEET NO.: **C2.10**

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MATCHLINE - REFER TO SHEET C2.10



MATCHLINE - REFER TO SHEET C2.16



KEY MAP
N.T.S.
NORTH

PRELIMINARY SITE PLAN KEY NOTES:

- 1A CONSTRUCT CURB AND GUTTER PER GRADING PLANS
 - 1B CONSTRUCT 6" VERTICAL CURB PER GRADING PLANS.
 - 2 CONSTRUCT FLUSH CURB PER GRADING AND DRAINAGE PLANS.
 - 2B CONSTRUCT ROLLED CURB PER GRADING PLANS.
 - 3 PROVIDE DIRECTIONAL LANE PAVEMENT MARKINGS PER DET. 4/C2.20.
 - 4 CONSTRUCT CONCRETE SIDEWALK, PER MAG STD. DET. 230, WIDTH PER PLAN.
 - 5 INSTALL BICYCLE PARKING, 2'x6' (4 SPACES) PER DET. #/C2.20.
 - 6 PROPOSED MONUMENT SIGN LOCATION. SIGNAGE AND SIGNAGE LOCATION BY SEPARATE PERMIT.
 - 7 CONSTRUCT TRASH ENCLOSURE DET. 3/C2.21. REFER TO C.O.M. STD. DET. M-62.02.01
 - 8 CONSTRUCT ACCESSIBLE RAMP PER GRADING PLANS.
 - 9 CONSTRUCT ISLAND OPENING PER CIVIL PLANS.
 - 10 PROVIDE HERRINGBONE STAMPED COLORED CONCRETE AT INTERSECTIONS. REFER TO LANDSCAPE PLANS.
 - 11 CONSTRUCT 3' PARKING SCREEN WALL PER DET. 2/C2.20. LENGTH PER PLAN.
 - 11A INSTALL STOP SIGN PER DET. 2/C2.20. TYPE 1 UNLESS NOTED OTHERWISE.
 - 12 INSTALL SYMBOL OF ACCESSIBILITY PER DET. 1/C2.20.
 - 13 PROVIDE 5' WIDE ADA AISLE. 4" WIDE YELLOW PAINT STRIPING, 2' O.C. @ 45'.
 - 14 PROVIDE 4" WIDE WHITE PAINTED STRIPE, TYP.
 - 15 CONSTRUCT 18" CONCRETE HEADER AT PEDESTRIAN CROSSING. REFER TO LANDSCAPE PLANS FOR HARDSCAPE SCHEDULE.
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 - 27 PROVIDE 2 FT CAR OVERHANG.
- PROPOSED FIRE HYDRANT PER CIVIL PLANS.

PROPOSED LEGEND:

	CURB & GUTTER		SITE WALL		STAMPED COLORED CONCRETE		SITE LIGHTING POLE (SEE ELECTRICAL DWGS)
	VERTICAL CURB		ACCESSIBLE PATH		CONCRETE		POSTED SIGNAGE
	PROPERTY LINE		PAVERS AT PEDESTRIAN CROSSING		HEAVY DUTY ASPHALT PAVEMENT		FIRE HYDRANT
	CANOPY		PAVEMENT STRIPING		LIGHT DUTY ASPHALT PAVEMENT		

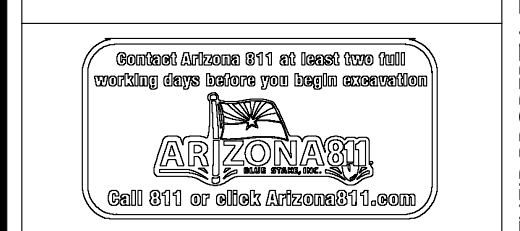
OWNER:
MICHAEL/TARA HATCH
APN: 304-63-010F

SUSTAINABILITY
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PROJECT
HUDSON STATION
FRY'S 656

LOCATION
22101 E QUEEN CREEK
RD, QUEEN CREEK, AZ
85142

DRAWN	EG	08/02/2021
DESIGNED	LA	08/02/2021
OC	SC	
FINAL DC	AF	
PROJ. MGR.	AF	
DATE:	TBD	
ISSUED FOR:	PERMIT	

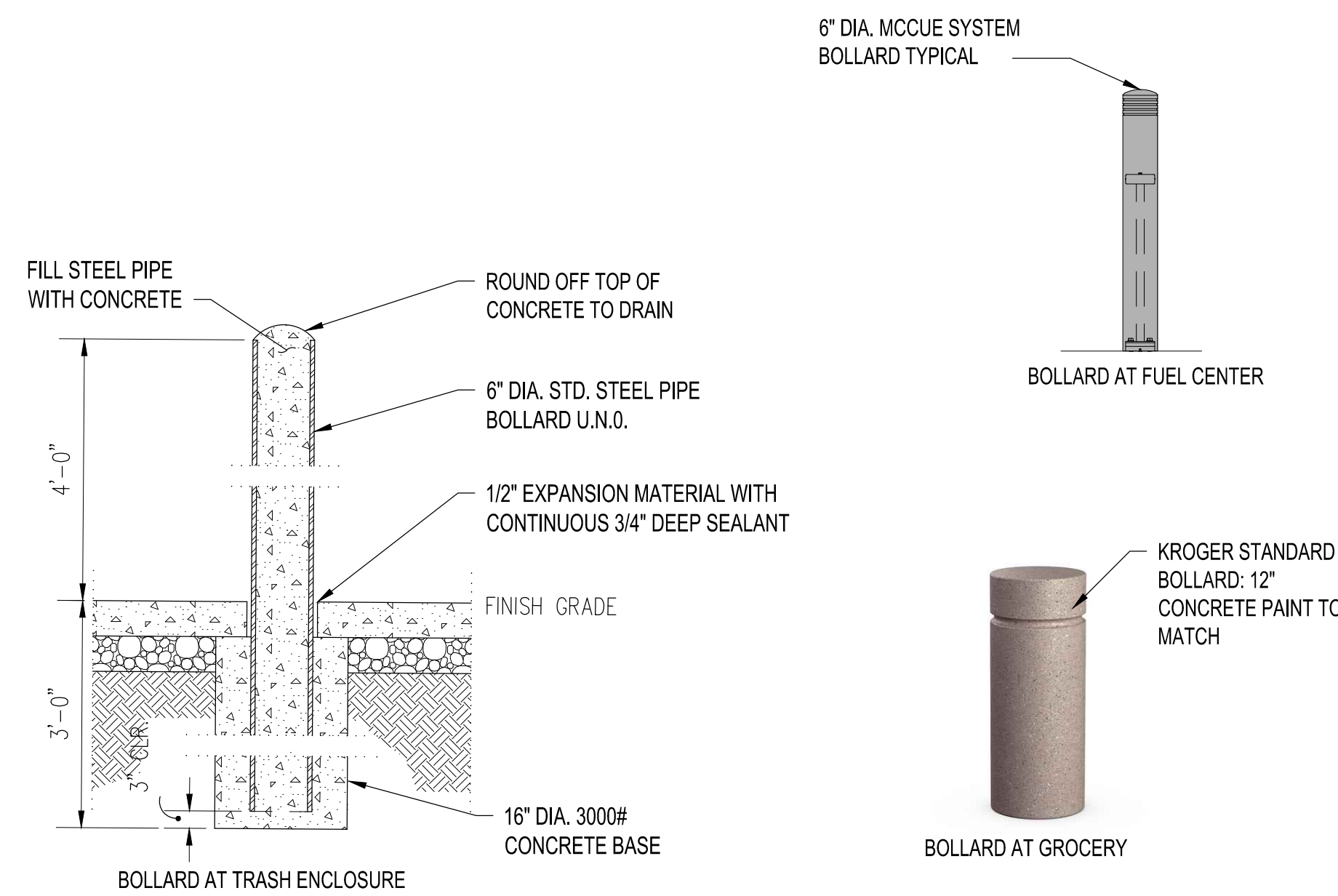
REVISION NO.:	DATE:
JOB NO.:	200620
SHEET TITLE:	

SITE PLAN

PAGE NO.: 6
SHEET NO.: C2.13

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LOCATION: Z:\SHARED\PROJECTS\BARCLAY\FRYS 656 - QUEEN CREEK - HUDSON STATION SWC QUEEN CREEK & SIGNAL BUTTE - 200620\11 CAD (SEG)\11.2 ENTITLEMENT-PLANNING\200620-C2.21.DWGSAVED BY: BOB-HANSEN DATE: 4/13/2022

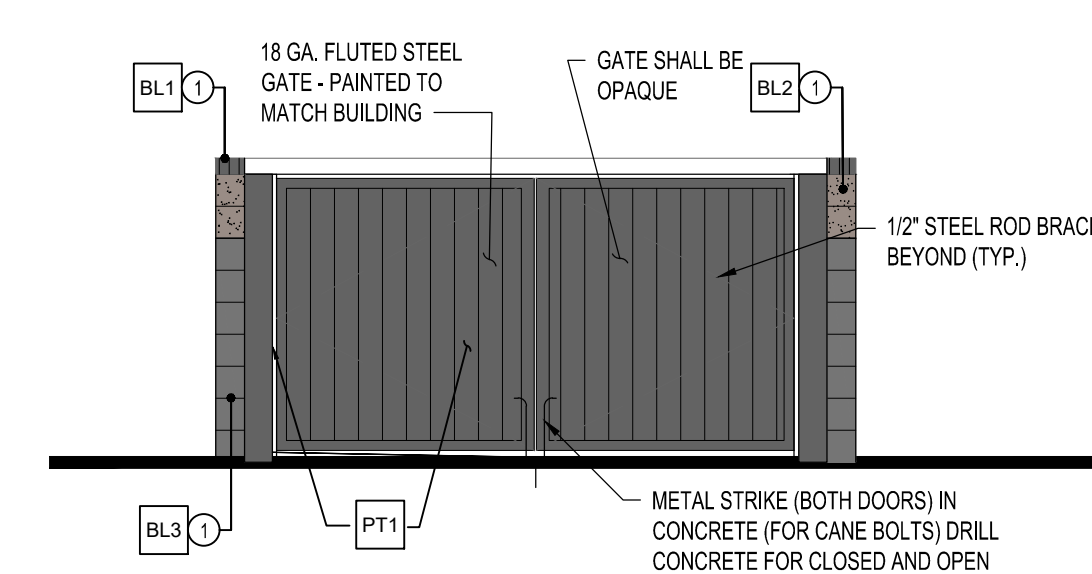
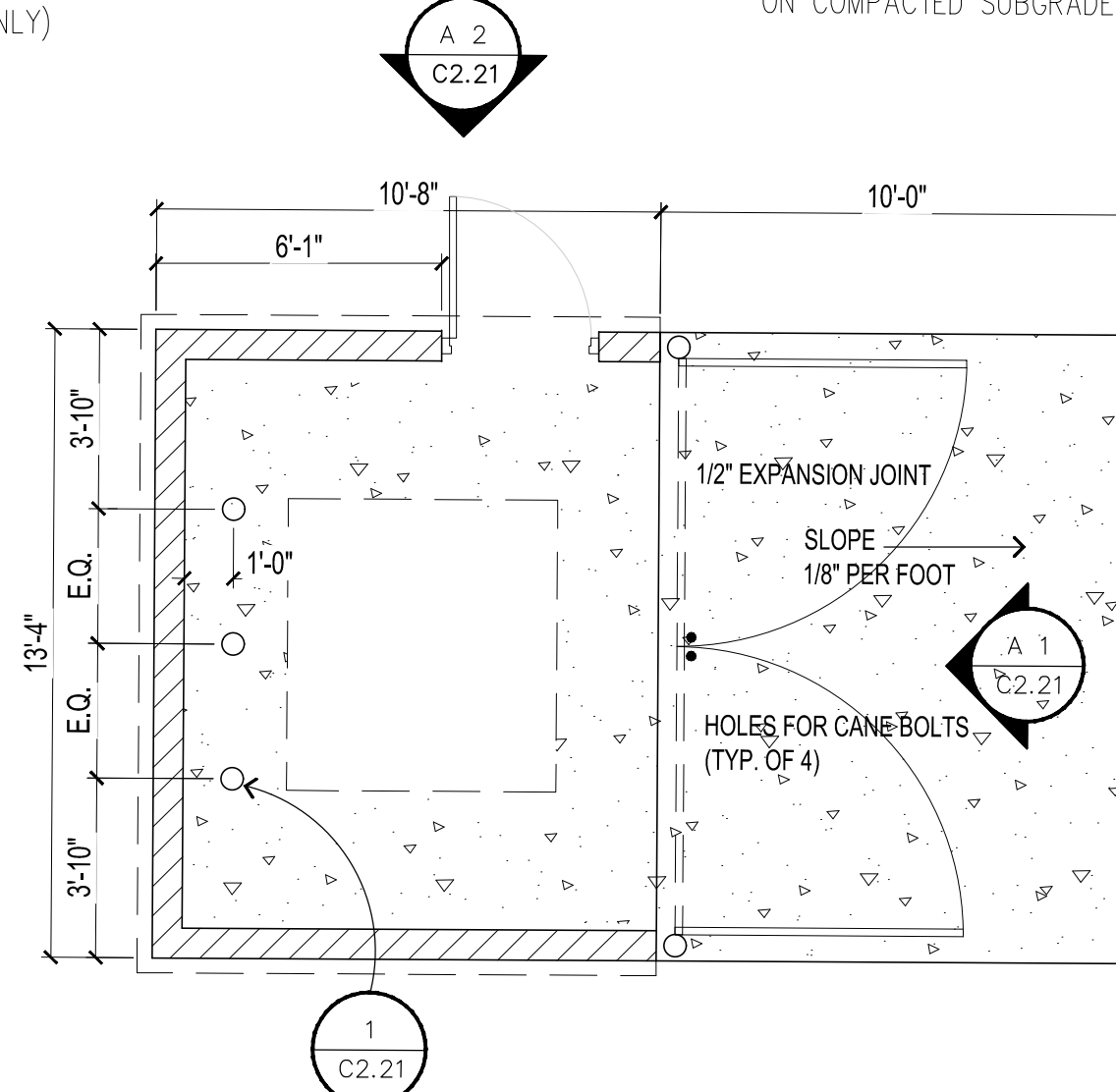


SITE BOLLARDS
N.T.S.

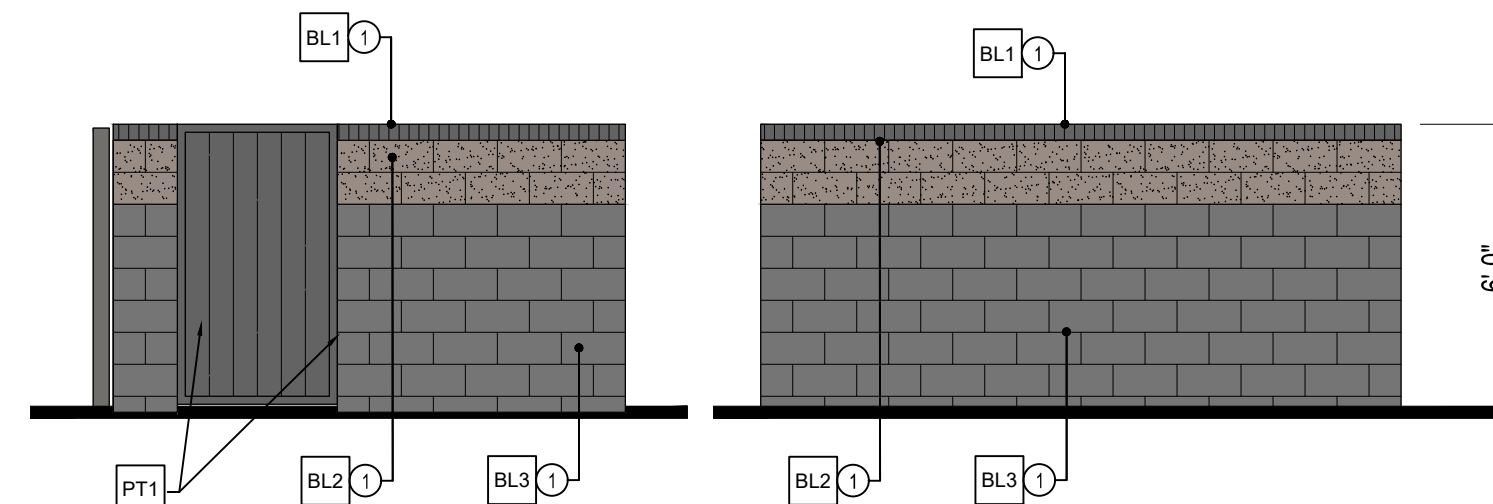


1

CONCRETE FILL BOLLARD - SEE DETAIL
DUMPSTER BY OTHERS (SHOWN FOR REFERENCE ONLY)



A 1 FRONT ELEVATION



A 2 SIDE and REAR ELEVATION

KEYED NOTES:

- 1. CMU BLOCK; RE: COLOR/FINISH LEGEND
- 2. NOT USED

COLOR/FINISH LEGEND:

- BL1 DECORATIVE, INTEGRALLY COLORED CAST BRICK - RAKED FACE COLOR: QUIK BRIK- PLATINUM 4" TALL UNITS
- BL2 DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE COLOR: GABCO, COCO MW + BLACK, 8" TALL UNITS
- BL3 DECORATIVE, INTEGRALLY COLORED CMU - SMOOTH FACE COLOR: GABCO, CHARCOAL, 4" TALL UNITS
- PT1 PAINT COLOR: SHERWIN WILLIAMS SW7018 'DOVETAIL'

**PRELIMINARY
NOT FOR
CONSTRUCTION**

**SUSTAINABILITY
ENGINEERING
GROUP**

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PROJECT
HUDSON STATION
FRY'S 656
LOCATION
22101 E QUEEN CREEK
RD, QUEEN CREEK, AZ
85142

DRAWN AH 02/16/2022
DESIGNED LA 02/16/2022
QC SC 02/16/2022
FINAL QC JS 02/16/2022
PROJ. MGR. AF 02/16/2022

DATE: 3/28/2022

ISSUED FOR: IRRIGATION 3RD SUBMITTAL

REVISION NO.: **DATE:**

JOB NO.: 200620

SHEET TITLE:

SITE PLAN DETAILS

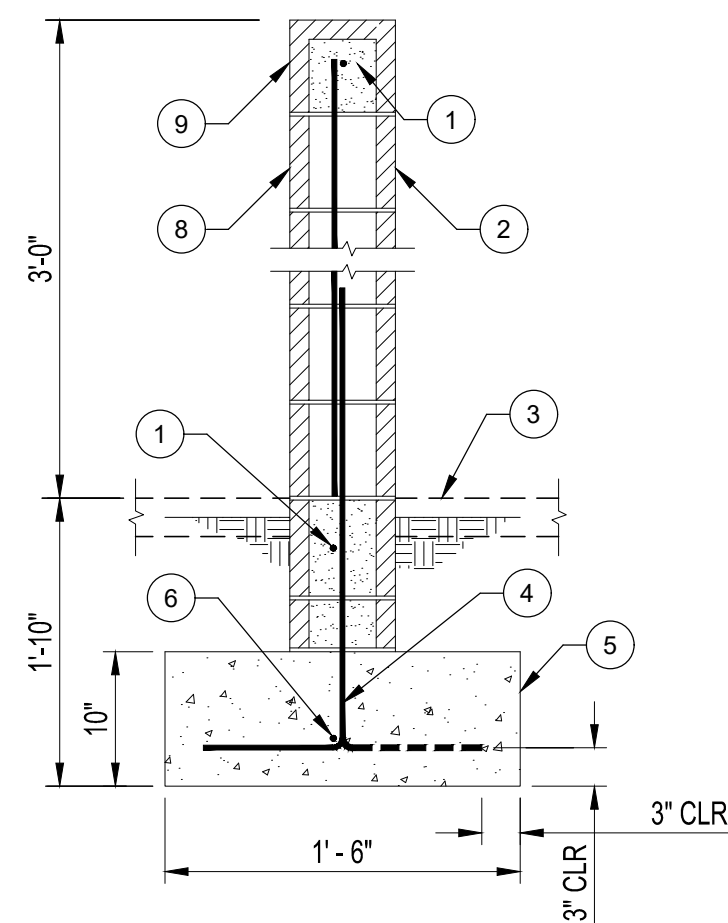
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SHEET NO.: C2.21

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KEY NOTES:

1. 1#4 IN CONTINUOUS 8" DEEP GROUTED BOND BEAM
2. 8" MASONRY WALL WITH #4 VERTICALS AT 48" O.C.
3. FINISHED GRADE OR CONCRETE SLAB WHERE OCCURS
4. DOWELS TO MATCH AND LAP VERTICAL WALL REINFORCING - ALTERNATE BENDS
5. CONCRETE FOOTING
6. 1#5 CONTINUOUS
7. 2" SMOOTH CAP BLOCK
8. PROVIDE STUCCO FINISH, PAINT TO MATCH STORE. (BOTH SIDES)
9. 8"x8"x16" SPLIT-FACE CMU ACCENT BAND
10. VERTICAL CONTROL JOINT - 20' O.C. MAX



3' MASONRY SCREEN WALL AND FOOTING
N.T.S.



2

TRASH ENCLOSURE
1/4" = 1'-0"



3



BIKE RACK:
VICTOR STANLEY
PERENNE COLLECTION
FREESIA, BLACK
BFRE-161

SITE BENCH:
VICTOR STANLEY 6'
PERENNE COLLECTION
FREESIA, BLACK
FRE-23

TRASH RECEPTACLE:
QCP 30"x38"
SEDONA ADOBE TAUPE
QR-SD3038W-A26

PLANTER:
QCP 48"x30"
SEDONA ADOBE TAUPE
QR-SD4830P

**SITE ELEMENTS: BICYCLE RACK, BENCH,
TRASH RECEPTACLE AND PLANTER**
N.T.S.

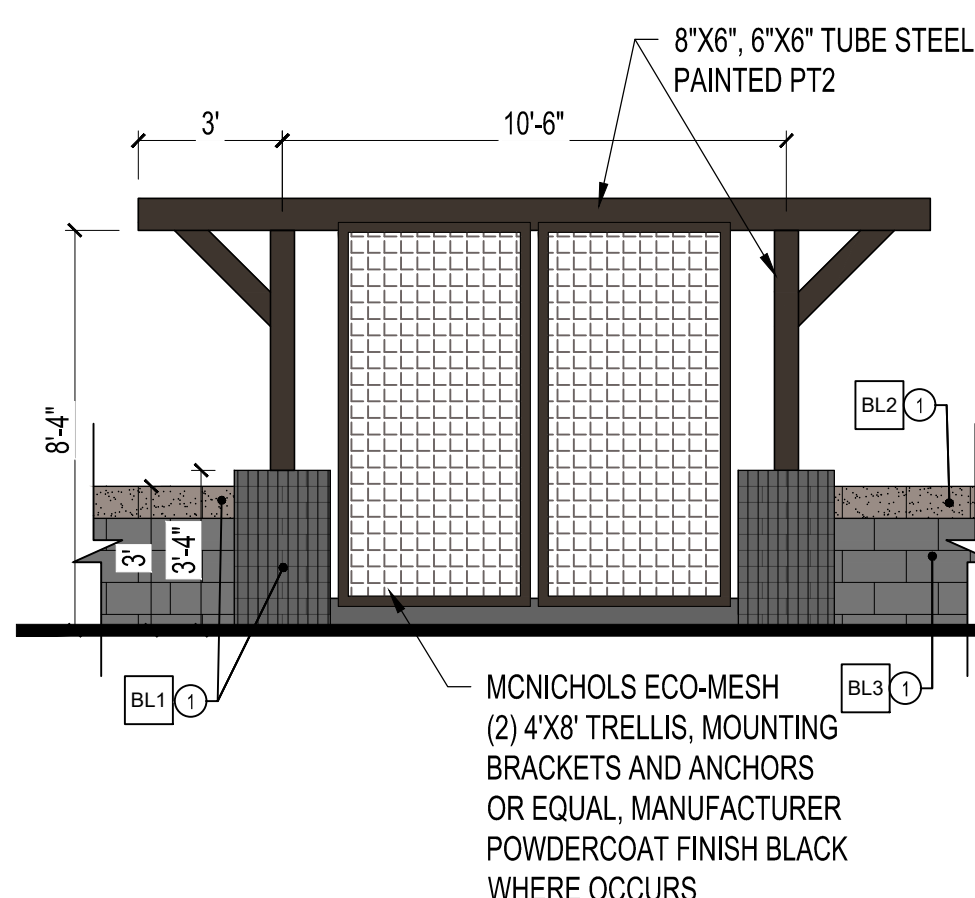


4

8'-0" SCREEN WALL AT PERIMETER PEDESTRIAN NODES
ELEVATION DETAIL
1/4" = 1'-0"



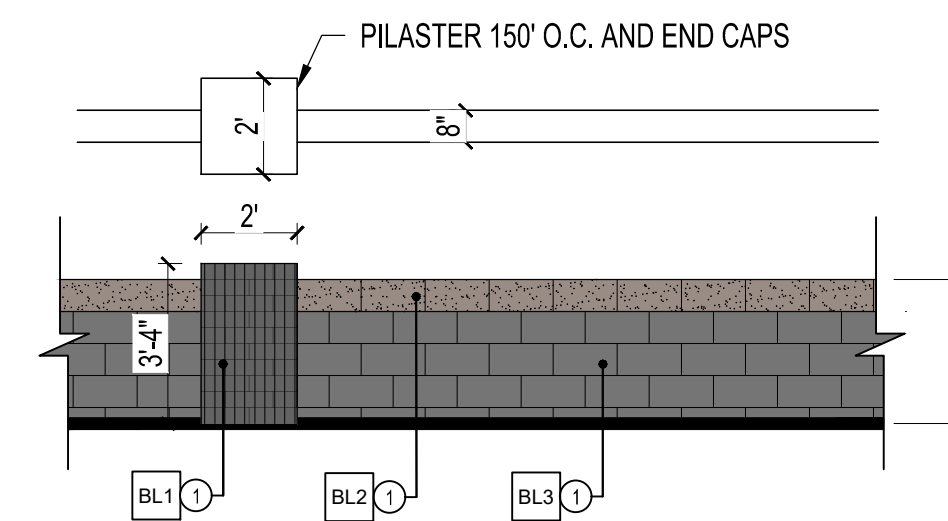
5



TYPICAL SCREEN WALL
ELEVATION DETAIL
1/4" = 1'-0"



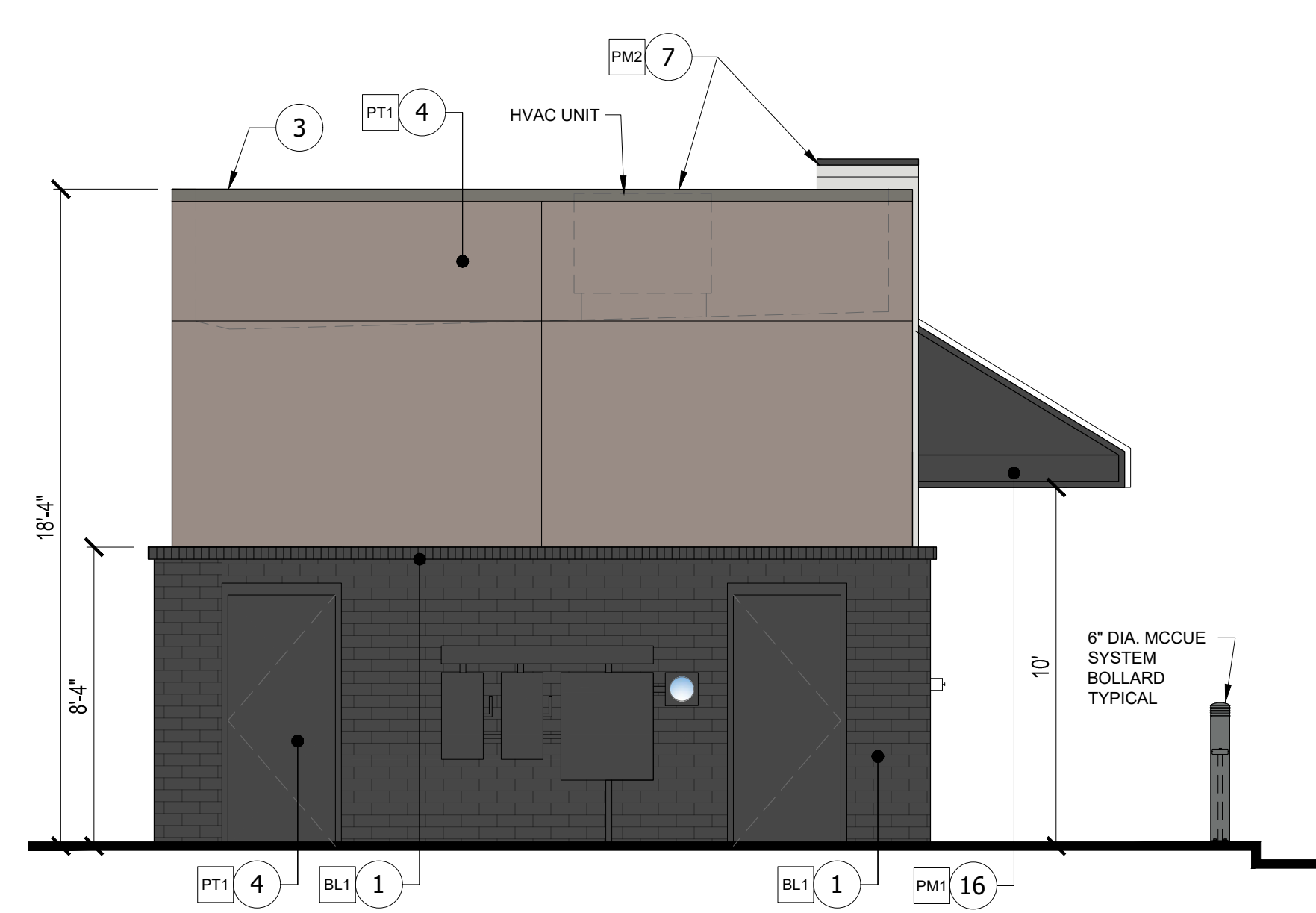
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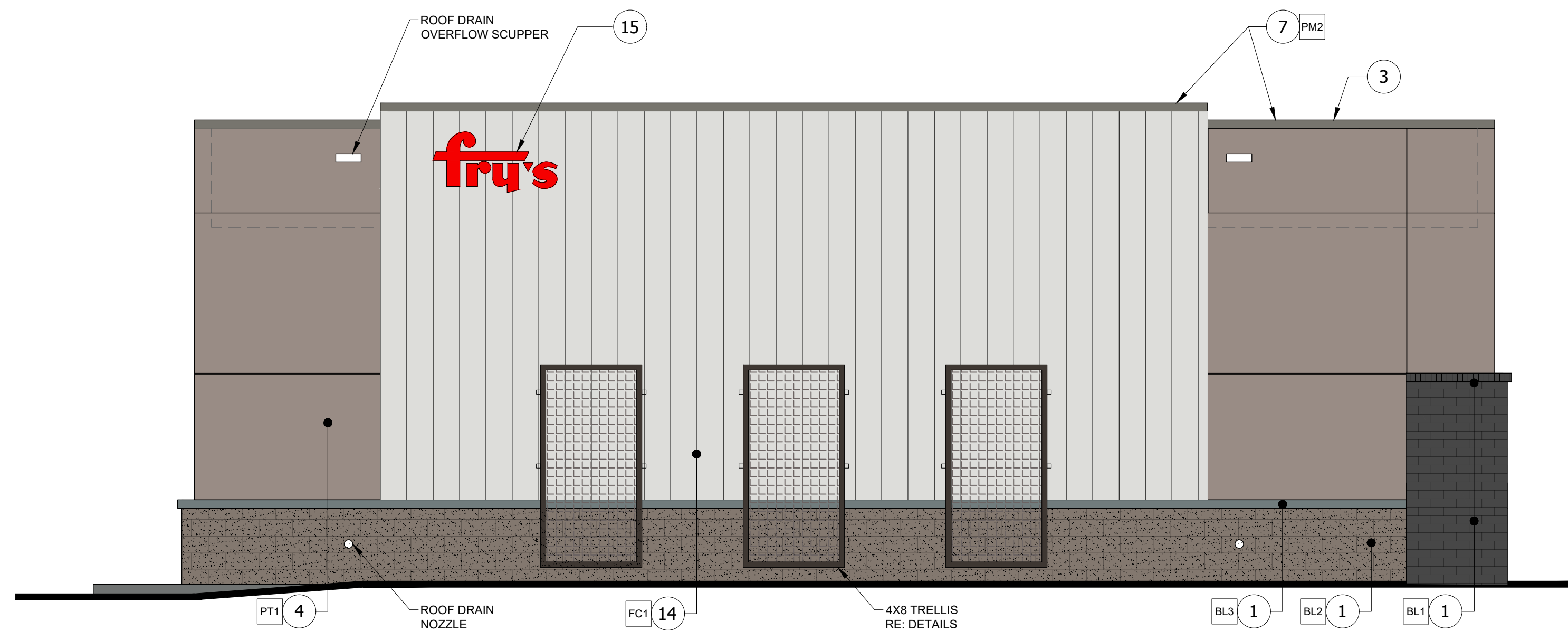
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 DATE: 3/4/2022
 SAVED BY: BOB-HANSEN



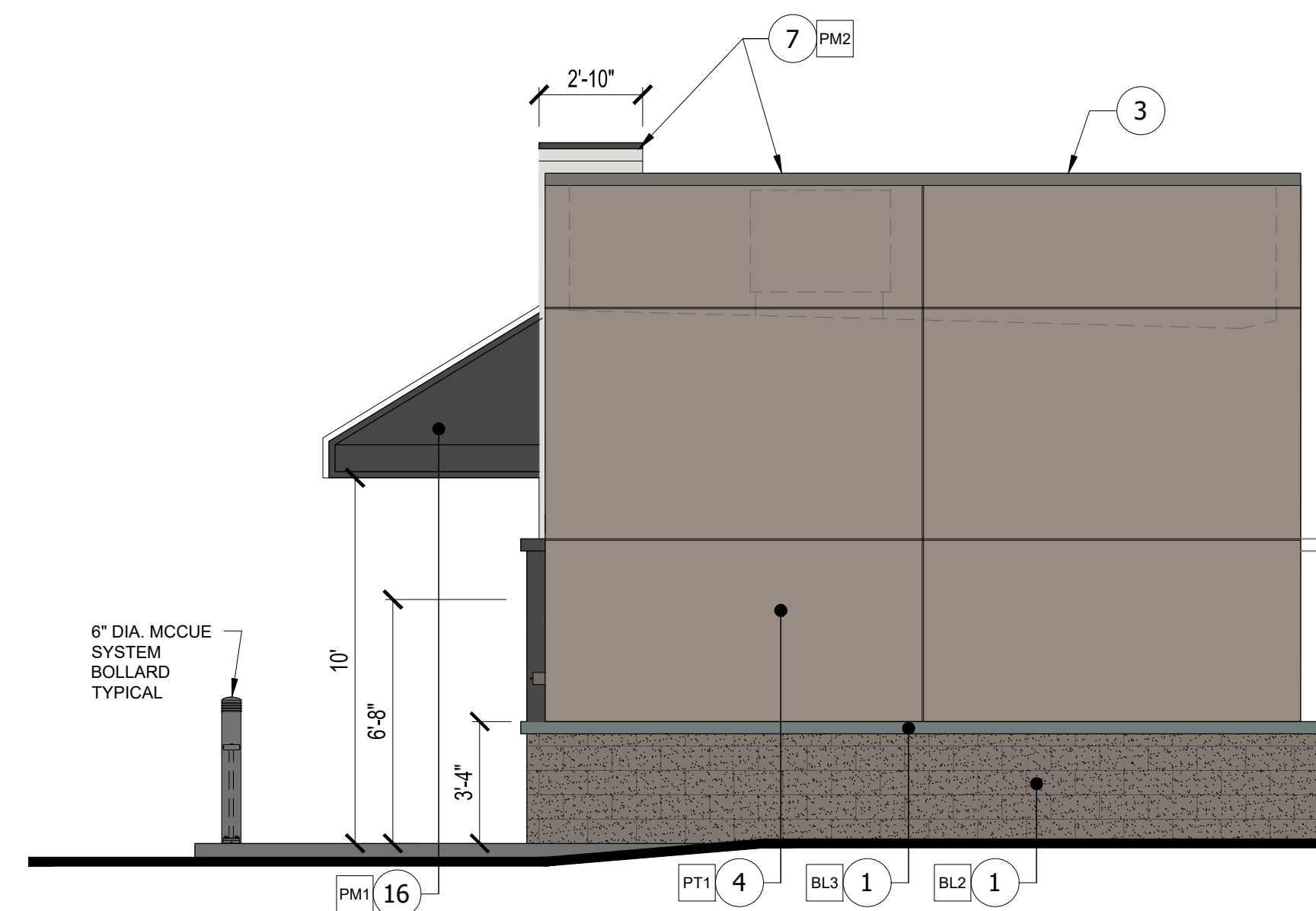
1 FRONT (NORTH) ELEVATION
 SCALE: 1/4"=1'-0"



2 LEFT (EAST) ELEVATION
 SCALE: 1/4"=1'-0"



3 REAR (SOUTH) ELEVATION
 SCALE: 1/4"=1'-0"



4 RIGHT (WEST) ELEVATION
 SCALE: 1/4"=1'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL SUBMIT: FIBER-CEMENT BOARD, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS
- B. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
- C. PROVIDE ALL CMU BLOCK WITH INTEGRAL SEALER OR FIELD APPLY PER MANUFACTURER SPECIFICATIONS

KEYED NOTES:

1. CMU BLOCK; RE: COLOR/FINISH LEGEND
2. EMERGENCY STOP SWITCH.
3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
4. EIFS, SMOOTH, INTEGRAL COLOR
5. OVERFLOW SCUPPER, PAINT TO MATCH ADJACENT MATERIAL.
6. NOT USED.
7. METAL PARAPET CAP, RE: COLOR/FINISH SCHEDULE.
8. DARK BRONZE ANODIZED ALUMINUM STOREFRONT
9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL, IN ACCORDANCE WITH TOWN OF QUEEN CREEK REQUIREMENTS.
10. PROVIDE 4" MIN. NO SMOKING SIGNAGE PER TOWN OF QUEEN CREEK AND STATE REQUIREMENTS.
11. FIRE RISER ROOM ACCESS, ALARM, KNOX BOX.
12. 6" DIAMETER BOLLARD, RE: 6/A2.1
13. SES ROOM ACCESS.
14. HARDIE PLANK VERTICAL SIDING, 48"x120", COMBINE WITH HARDIE TRIM, RE: COLOR/FINISH LEGEND.
15. INTERNALLY ILLUMINATED CHANNEL LETTERS (SUPPLIED BY OWNER, INSTALLED BY OWNERS/VENDOR)
16. STEEL CANOPY MATCH FRY'S GROCERY STORE RE: COLOR/FINISH SCHEDULE
17. STORAGE ROOM, ROOF ACCESS

COLOR/FINISH LEGEND:

PM1	PREFINISHED METAL, COLOR: WESTERN STATES METAL, BLACK ZINC MATTE
PM2	PREFINISHED METAL, COLOR: WESTERN STATES METAL, MATTE PATINA
SS1	STANDING SEAM/ VERTICAL BATTEN METAL COLOR: WESTERN STATES METAL, BLACK ZINC MATTE
BL1	DECORATIVE, INTEGRALLY COLORED CAST BRICK - COLOR: QUIK BRIK- PLATINUM 4" TALL UNITS, RAKED-FACE
BL2	DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE COLOR: CABCO, COCO MW + BLACK, 8" TALL UNITS
BL3	DECORATIVE, INTEGRALLY COLORED CMU - SMOOTH FACE COLOR: CABCO, CHARCOAL, 4" TALL UNITS
PT1	EXTERIOR INSULATION FINISH SYSTEM, SMOOTH, INTEGRAL COLOR: SHERWIN WILLIAMS SW7018 'DOVETAIL'
PT2	PAINT COLOR, MATCH PM2: SHERWIN WILLIAMS SW9565 'FORGED STEEL'
FC1	FIBER CEMENT BOARD AND BATTEN SIDING COLOR: SW6001 'GRAYISH'

BUILDING ELEVATION NOTES:

1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS.
4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, TO OR GREATER IN HEIGHT OF THE MECHANICAL EQUIPMENT.
5. SIGNS REQUIRE SEPARATE PERMIT.

SUSTAINABILITY
 ENGINEERING
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PROJECT HUDSON STATION FRY'S 656	LOCATION 22101 E QUEEN CREEK RD, QUEEN CREEK, AZ 85142
DRAWN EG	08/02/2021
DESIGNED LA	08/02/2021
QC SC	3/4/2022
FINAL QC AF	3/4/2022
PROJ. MGR. AF	3/4/2022

DATE: 3/4/2022
 ISSUED FOR:
 SITE PLAN APPROVAL

REVISION NO.:	DATE:

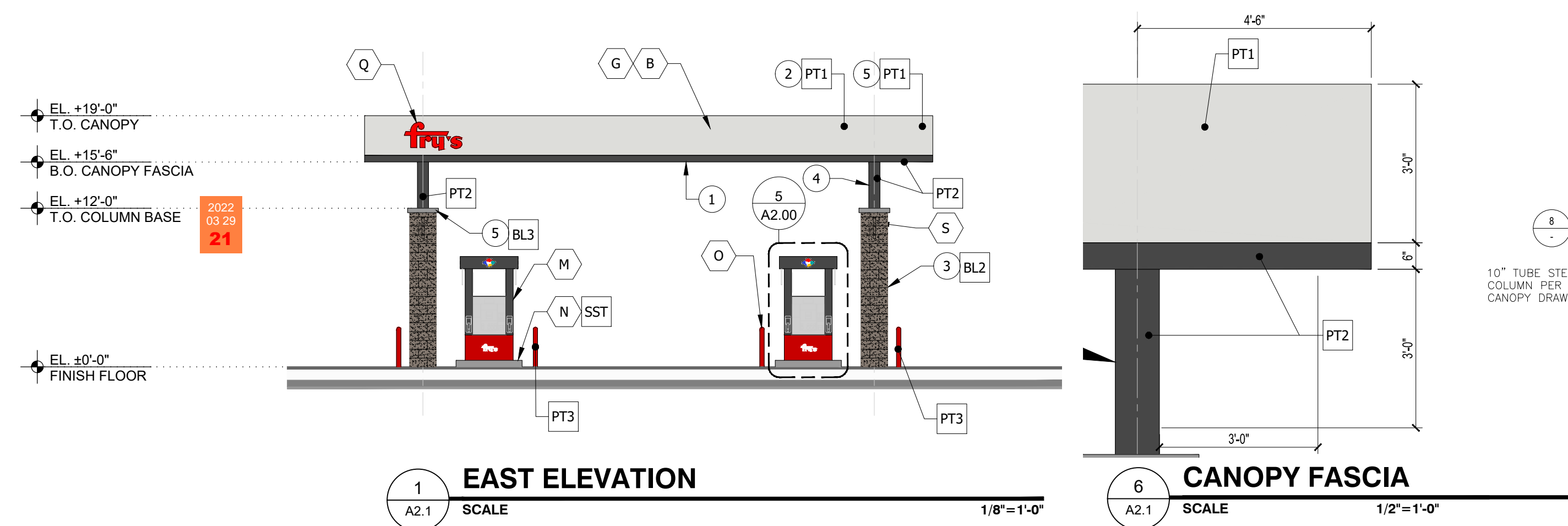
JOB NO.: 200620

SHEET TITLE:
**EXTERIOR KIOSK
 ELEVATIONS
 (COLOR)**

PAGE NO.: 10 OF 40
 SHEET NO.: **A2.1**

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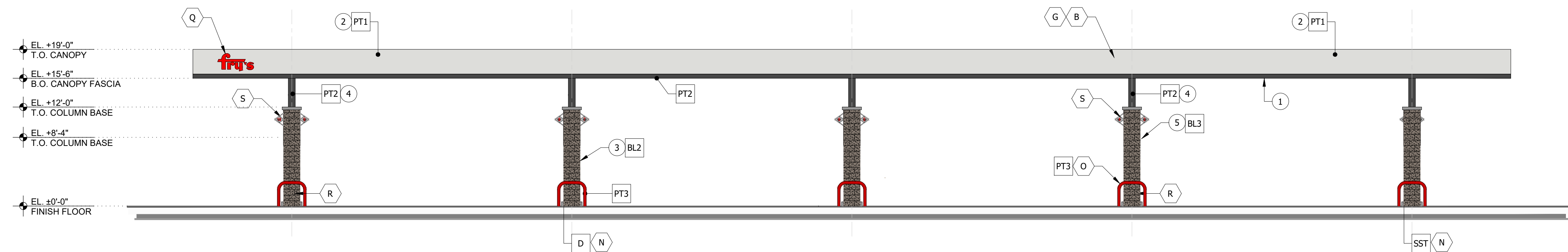
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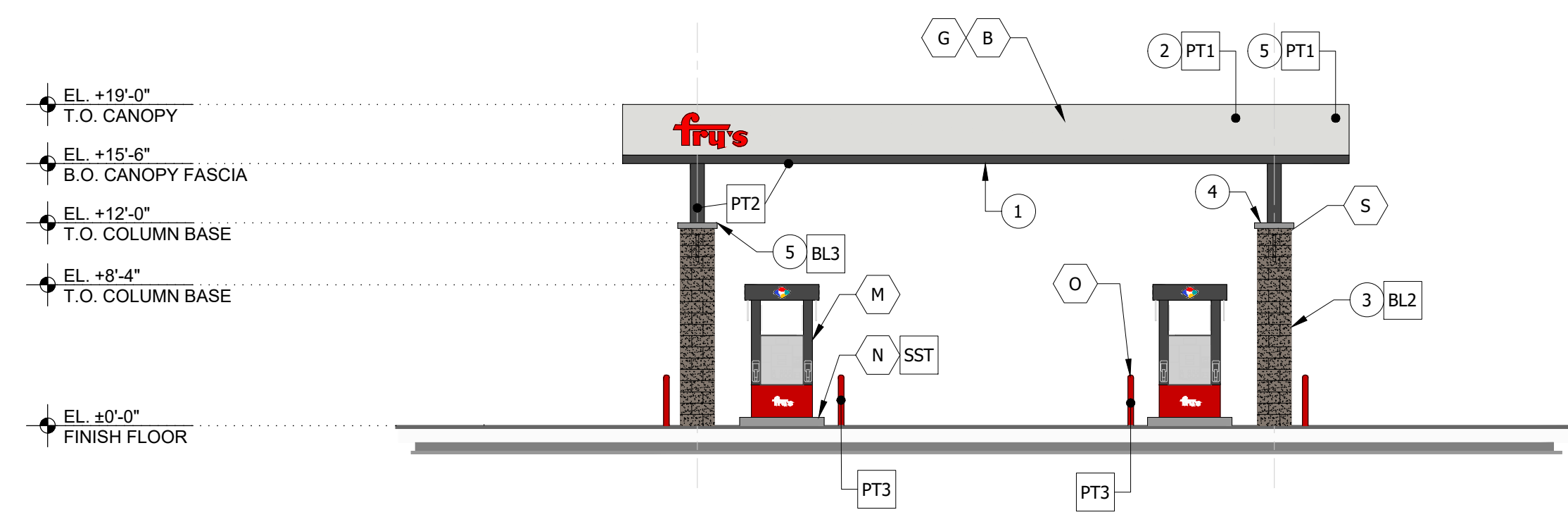
1 EAST ELEVATION
SCALE 1/8"=1'-0"

6 CANOPY FASCIA
SCALE 1/2"=1'-0"

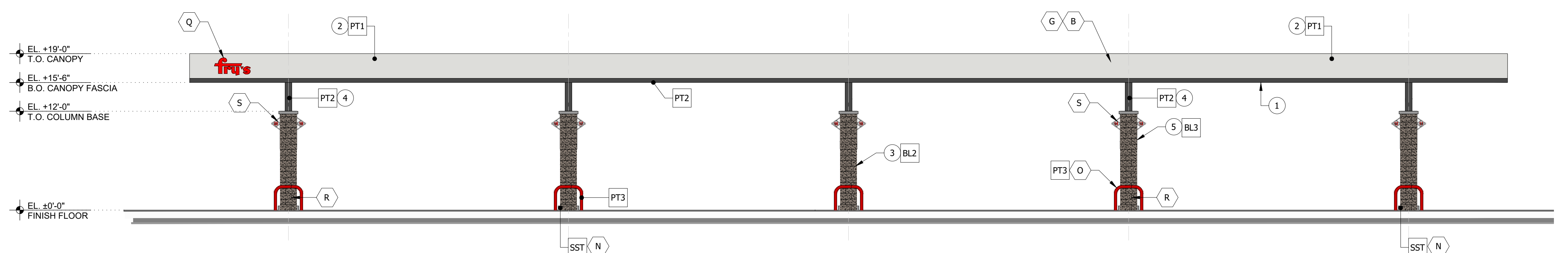
7 CANOPY COLUMN BASE
SCALE 1/8"=1'-0"



2 NORTH ELEVATION
SCALE 1/8"=1'-0"

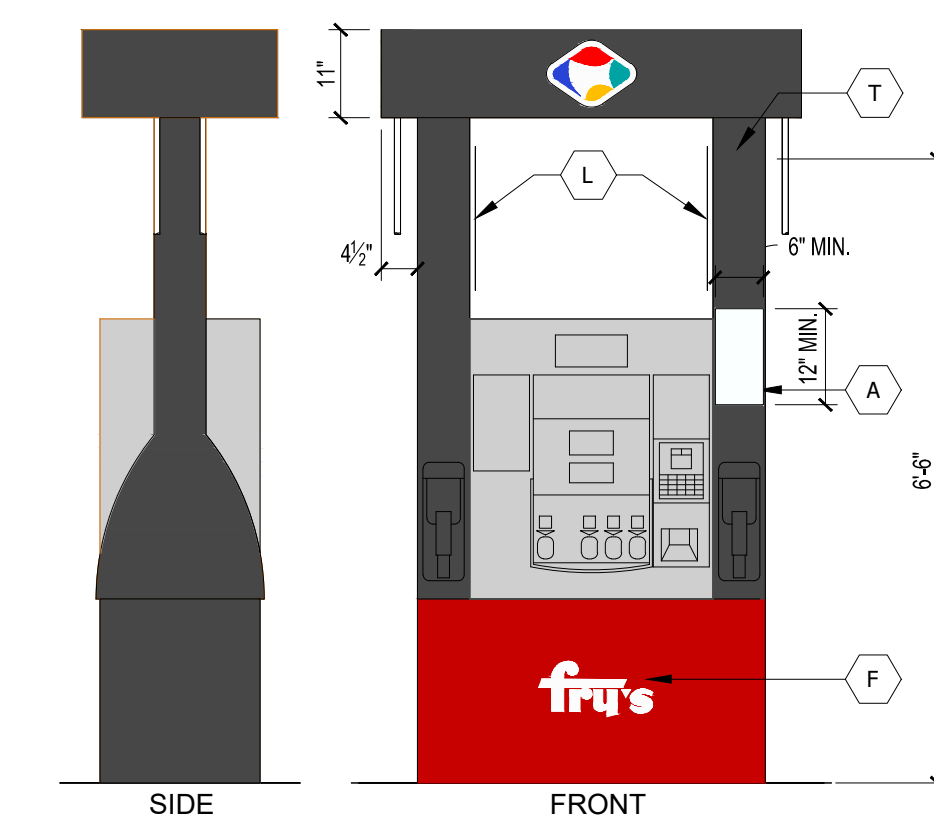


3 WEST ELEVATION
SCALE 1/8"=1'-0"



4 SOUTH ELEVATION
SCALE 1/8"=1'-0"

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED - NOT USED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA - NOT USED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS				GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS (12ga STAINLESS STEEL)	GRADE 304	RIVERSIDE STEEL		OWNER	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - INTERNAL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER				OWNER	GENERAL CONTRACTOR



5 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"

- GENERAL NOTES:**
- CONTRACTOR SHALL SUBMIT MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
 - PREMANUFACTURED CANOPY AND KIOSK PROVIDED BY OTHERS.
 - ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.
 - FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

- KEYED NOTES:**
- CANOPY LIGHTS SHALL BE FLUSH OR RECESSED.
 - ACM PANEL FIELD PAINTED
 - 4X8X16 SPLIT FACE BLOCK; RE: COLOR/FINISH SCHEDULE.
 - 10X10 SQUARE CANOPY COLUMN.
 - 4X4X16 SMOOTH FACE BLOCK; RE: COLOR/FINISH SCHEDULE.

- COLOR/FINISH LEGEND:**
- PT1 PAINTED ACM PANEL, COLOR: SHERWIN WILLIAMS SW6001 'GRAYISH'
 - PT2 PAINTED ACM PANEL, STEEL: SHERWIN WILLIAMS SW9565 'FORGED STEEL'
 - PT3 PAINTED STEEL, COLOR: SHERWIN WILLIAMS SW4081 'SAFETY RED'
 - BL2 DECORATIVE, INTEGRALLY COLORED CMU - SPLIT FACE COLOR: CABCO, COCO MW + BLACK, 6" TALL UNITS
 - BL3 DECORATIVE, INTEGRALLY COLORED CMU - SMOOTH FACE COLOR: CABCO, CHARCOAL, 4" TALL UNITS
 - SST STAINLESS STEEL METAL FORMS NOT PAINTED

PRELIMINARY
NOT FOR
CONSTRUCTION

SUSTAINABILITY
ENGINEERING
GROUP

SEG



Fry's Food Stores of Arizona
10101 N. 19th Ave., Suite A
Tulsa, AZ 85333
Phone: (602) 807-1984
Fax: (602) 807-1974

The Kroger Co.
10000 W. 11th Ave., Suite A
Denver, CO 80239
Phone: (303) 715-5917
Fax: (303) 715-5905



PROJECT: HUDSON STATION FRY'S 656
LOCATION: 22101 E. QUEEN CREEK RD., QUEEN CREEK, AZ 85142

DRAWN: EG 08/10/2021
DESIGNED: LA 08/10/2021
QC: SC 08/11/2021
FINAL QC: AF 08/11/2021
PROJ. MGR: AF 08/11/2021

DATE: 08/11/2021
ISSUED FOR: PERMITS

REVISION NO.	DATE

JOB NO.: 200620
SHEET TITLE: CANOPY ELEVATIONS (COLOR)

PAGE NO.: X OF 16
SHEET NO.: A2.01

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HUDSON STATION

QUEEN CREEK ROAD AND SIGNAL BUTTE ROAD

QUEEN CREEK, ARIZONA 85142

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ulmus parvifolia Chinese Elm Caliper Size: 1.0"	24" Box H 7'-9" W 3'-4"	*ADWR	121
Pistacia X 'Red Push' Red Push Pistache Caliper Size: 1.0"	24" Box H 7'-9" W 2.5'-3.5"	*ADWR	218
Acacia aneura Mulga Caliper Size: 1.0"	24" Box H 6'-7" W 2'-3"	*ADWR	68

GROUNDCOVERS	QTY
Eremophila glabra Outback Sunrise Emu	5 Gallon can full *ADWR 444
Lantana montevidensis 'Purple' Purple Trailing Lantana	5 Gallon can full *ADWR 433
Convolvulus cneorum Bush Morning Glory	5 Gallon can full *ADWR 679

SHRUBS / ACCENTS	QTY
Tecoma Stans Arizona Yellow Bells	5 Gallon *ADWR 286
Leucophyllum frutescens 'Green Cloud' Texas Sage 'Green Cloud'	5 Gallon *ADWR 121
Eremophila maculata Valentine Bush	5 Gallon *ADWR 633
Callistemon 'Little John' Little Jogn Dwarf Bottlebrush	5 Gallon *ADWR 177
Muhlenbergia rigida Purple Muhly	5 Gallon *ADWR 456
Dasyliion wheeleri Desert Spoon	5 Gallon *ADWR 241
Aloe x 'Blue Elf' Blue Elf Aloe	5 Gallon *ADWR 714
Podranea ricasoliana Pink Trumpet Vine	7 *ADWR 6

LANDSCAPE MATERIALS	QTY
Decomposed Granite. 3/4" minus, Mahogany 2" deep in planting areas per plan.	189,813 sq.ft.

HARDSCAPE MATERIALS	QTY
12" squared stamped colored concrete, Davis Color 'Dark Gray' Provide 1'-6" concrete header adjacent to asphalt	4,830 sq.ft.
6"x9" herringbone stamped concrete, Davis Colors 'San Diego Buff' Provide 1'-6" concrete header adjacent to asphalt	11,580 sq.ft.
Planter, Old Town Fiberglass - Hermosa, 36" wide and 36" height dark grey color	4
Bench, Anova - Airi, 6' surface mount, textured pewter color	6

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant
*SVT = Sight Visibility Triangle

IRRIGATION LEGEND

SYSTEM DESIGNED USING A RESIDUAL PRESSURE OF 80 PSI

SYMBOL	DESCRIPTION
	WATER METER PER AVONDALE STANDARDS, NEW IRRIGATION METER - 1.5" SIZE, REF. AVONDALE A1300 DETAIL BACKFLOW PREVENTER ASSEMBLY, FEBCO 825-Y, 1.5" SIZE PER PLAN, PROVIDE METAL ENCLOSURE.
	CONTROLLER CONTROLLER A & B = 10 STATION DIG LEIT X, PROVIDE LEMA 1600 HE SOLENOID ACTUATOR FOR EACH VALVE, STEEL POST MOUNT AND LOCKING ENCLOSURE, PROVIDE LIGHTNING AND GROUNDING PROTECTION
	GATE VALVE NIBCO MODEL# T-113, SIZE PER LINE BRONZE MATERIAL
	BALL VALVE SPEARS MODEL# TRUE UNION 2000, SIZE PER LINE SCH. 80 PVC MATERIAL
	DRIP VALVE HUNTER ICV SERIES WITH 150 MESH WYE-STRAINER SIZE PER PLAN
	FLUSH CAP SPEARS FLUSH CAP 1/2" FLUSH VALVE
	PRESSURE REG. SENNIGER 30 PSI - LOCATE IN SEPARATE BOXES MEDIUM FLOW 2-20GPM - 30 PSI (100 MESH) BOWSMITH
	EMITTER - SP 1.0 GPH (1 PER PLANT)
	EMITTER - MP BOWSMITH 1.0 GPH 6 PORT (2 PER TREE) GROUPS OF SHRUBS WITHIN 6'. EXISTING/ NEW TREES RECEIVE DEEP WATER TUBES FOR EMITTERS
	SERVICE POINT CONNECT TO EXISTING POTABLE WATER SERVICE

PIPE LEGEND	DESCRIPTION
	MAINLINE - SIZE PER PLAN PVC SCH. 40
	TREE LATERAL PVC SCH. 40 - SOLVENT WELD
	SHRUB LATERAL PVC SCH. 40 - SOLVENT WELD
	PIPE SLEEVE PVC SCH. 80 - 2 X PIPE SIZE MINIMUM
	WIRE SLEEVE PVC SCH. 80 - MINIMUM 1 1/2" SIZE

TOWN OF QUEEN CREEK GENERAL NOTES

- ALL IMPROVEMENTS SHALL CONFORM TO THE LATEST MAG STANDARDS AND SPECIFICATIONS OR THE LATEST STANDARDS AND SPECIFICATION ADOPTED BY THE TOWN.
- THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION ON THE PROJECT SITE.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED WITH THE INSPECTION AND APPROVAL OF THE TOWN PUBLIC WORKS DEPARTMENT AND WILL REQUIRE A TOWN CONSTRUCTION PERMIT. CONSTRUCTION WILL NOT BEGIN UNTIL A PERMIT HAS BEEN ISSUED. IF THE WORK IS DISCONTINUED, IT SHALL NOT RESUME UNTIL AFTER NOTIFYING THE TOWN PUBLIC WORKS DIRECTOR.
- UTILITIES MUST BE INSTALLED EITHER IN DEDICATED PUBLIC RIGHT-OF-WAYS OR IN PUBLIC UTILITY EASEMENTS DEDICATED BY THE LAND OWNER FOR SUCH USAGE AND MAINTENANCE. THE DEVELOPER/OWNER IS RESPONSIBLE FOR THE COORDINATION OF THE RELOCATION OF UTILITIES ON SITE.
- ALL UNDERGROUND UTILITY INSTALLATION IN STREETS OR PUBLIC ACCESS WAYS SHALL BE CONSTRUCTED PRIOR TO SURFACING SUCH STREET OR PUBLIC ACCESS WAY.
- THE DEVELOPER SHALL PROVIDE FOR AN ARIZONA REGISTERED ENGINEER TO BE PRESENT ON THE SITE FOR SUFFICIENT TIME TO ASSESS COMPLIANCE WITH THE PLANS AND SPECIFICATIONS FOR EACH ELEMENT OF CONSTRUCTION AND NO LESS THAN ONCE A DAY WHEN CONSTRUCTION IS IN PROGRESS.
- THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED UPON COMPLETION OF ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAYS AND PRIOR TO ANY STREET PREPARATION WORK. INTERIM AS-BUILT PLANS OF THE UTILITIES AND ALL PASSING TEST RESULTS WILL BE SUBMITTED FOR REVIEW. UPON REVIEW AND APPROVAL OF THE SUPPLIED INFORMATION, THE DEVELOPER MAY PROCEED WITH THE INSTALLATION OF STREET IMPROVEMENTS.
- THE DEVELOPER'S ENGINEER SHALL REQUEST THE TOWN PUBLIC WORKS DIRECTOR PERFORM INSPECTION OF THE SUB GRADE BASE PRIOR TO PLACEMENT OF THE OVERLAYING MATERIALS. IN ADDITION, THE TOWN PUBLIC WORKS DIRECTOR SHALL PERFORM PERIODIC INSPECTIONS THROUGHOUT THE COURSE OF CONSTRUCTION. THESE INSPECTIONS OR APPROVALS DO NOT SIGNIFY THAT THE TOWN HAS ACCEPTED ANY OF THE IMPROVEMENTS FOR MAINTENANCE.
- THE DEVELOPER'S ENGINEER SHALL SUBMIT WEEKLY PROGRESS REPORTS TO THE TOWN PUBLIC WORKS DIRECTOR THROUGHOUT THE CONSTRUCTION. THE WEEKLY PROGRESS REPORTS WILL INCLUDE THE RESULTS OF ALL TESTS TAKEN DURING THE WEEK.
- CONSTRUCTION MATERIALS TESTING SHALL BE PERFORMED AT THE DIRECTION OF THE TOWN PUBLIC WORKS DIRECTOR OR HIS REPRESENTATIVE AND AT THE EXPENSE OF THE OWNER/DEVELOPER.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING INDIVIDUAL UTILITY COMPANIES FOR UTILITY LOCATION, OR FOR CALLING BLUE STAKE TO COORDINATE UTILITY LOCATION, AT LEAST 48 HOURS PRIOR TO EXCAVATION OF ALL UNDERGROUND UTILITIES.
- THE ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL APPLICABLE UTILITY COMPANIES AND HAS SHOWN ALL EXISTING AND/OR PROPOSED UTILITY LINES AND PERTINENT INFORMATION TO THESE PLANS, AND HAS PLOTTED CORRECTLY THE EXISTING AND PROPOSED UTILITY RIGHT-OF-WAY AND/OR EASEMENT LINES ON THE PLANS.

SHEET INDEX

SHEET	TITLE
L0.1	LANDSCAPE COVER
L1.0-L1.1-L1.2-L1.3	LANDSCAPE PLAN
L2.0-L2.1-L2.2-L2.3	IRRIGATION PLAN
L3.0	LANDSCAPE DETAILS
L4.0-L4.1	IRRIGATION DETAILS
L5.0	HARDSCAPE DETAILS

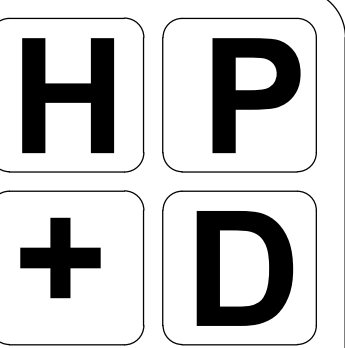
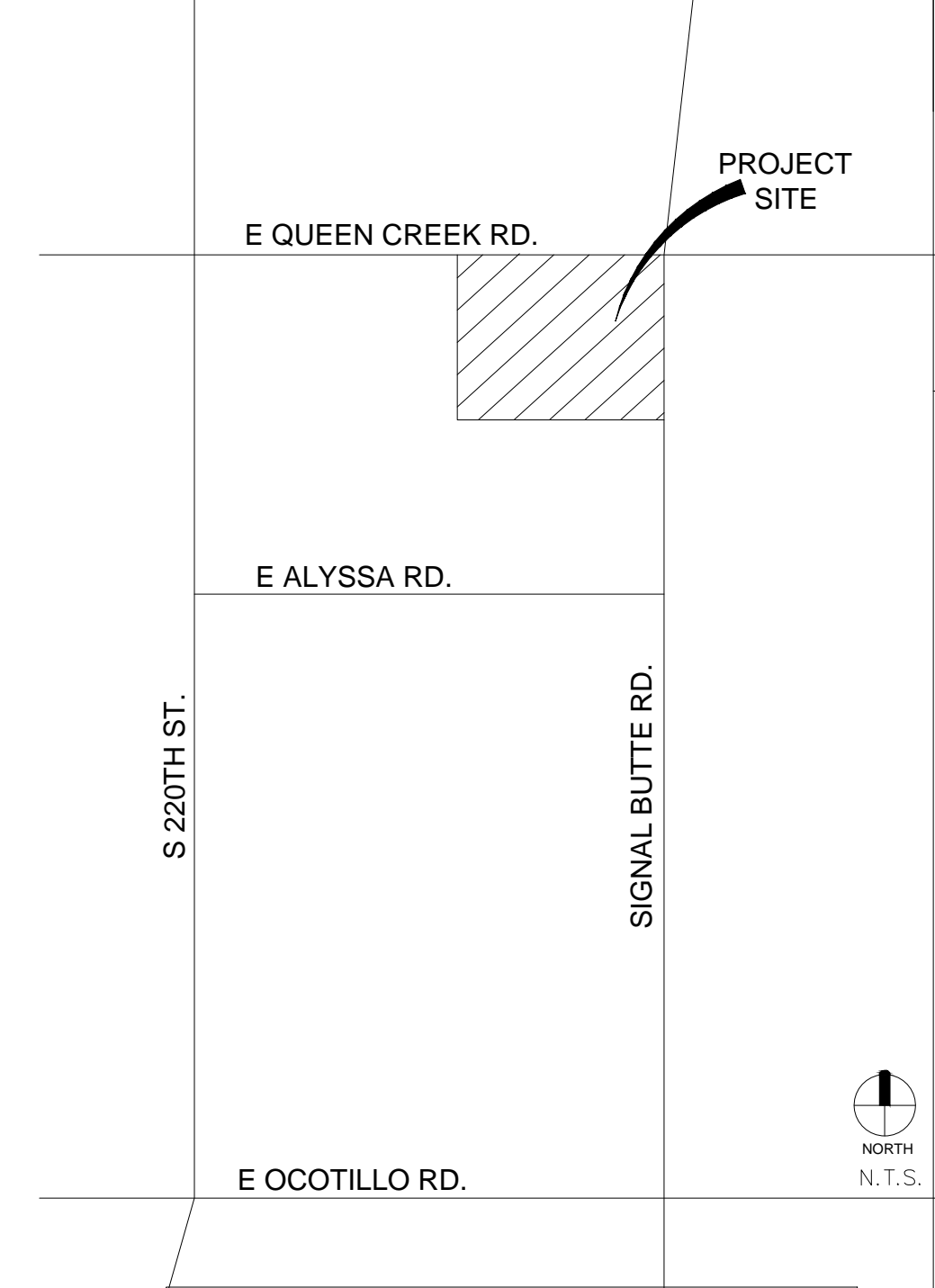
OWNER / DEVELOPER

K. HOVNANAIAH HOMES
20830 N. TATUM BLVD, SUITE 250
PHOENIX, AZ 85050
CHUCK CHISHOLM
(480) 824-4175
CCHISHOLM@KHOV.COM

LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
1921 S. ALMA SCHOOL ROAD, SUITE 204
MESA, ARIZONA 85210
JASON HARRINGTON, RLA, ASLA, ASIC, APWA
(480) 250-0116
JASON@HARRINGTONPLANNINGDESIGN.COM

VICINITY MAP



HARRINGTON
PLANNING + DESIGN

1921 S Alma School Rd, Suite 204
Mesa, Arizona 85210
Tel: 480-250-0116
www.HarringtonPlanningDesign.com

60% REVIEW



HUDSON STATION
SWC Queen Creek Rd. & Signal Butte Rd.
Queen Creek, Arizona 85242

REV.	COMMENT	DATE
Final Submittal		04.27.22
Revised Preliminary		04.04.22
Preliminary Submittal		03.02.22
ISSUE		DATE

LANDSCAPE PACKAGE

APRIL 27, 2022	
DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2021-033
CASE NO.:	P21-0072

TOWN OF QUEEN CREEK APPROVAL / SIGNATURE BLOCK

APPROVED BY TOWN ENGINEER _____ DATE _____

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY THE TOWN OF QUEEN CREEK INSPECTION SERVICES BEFORE CERTIFICATION OF OCCUPANCY IS ISSUED.

APPROVED BY PLANNING DIRECTOR _____ DATE _____

LANDSCAPE COVER

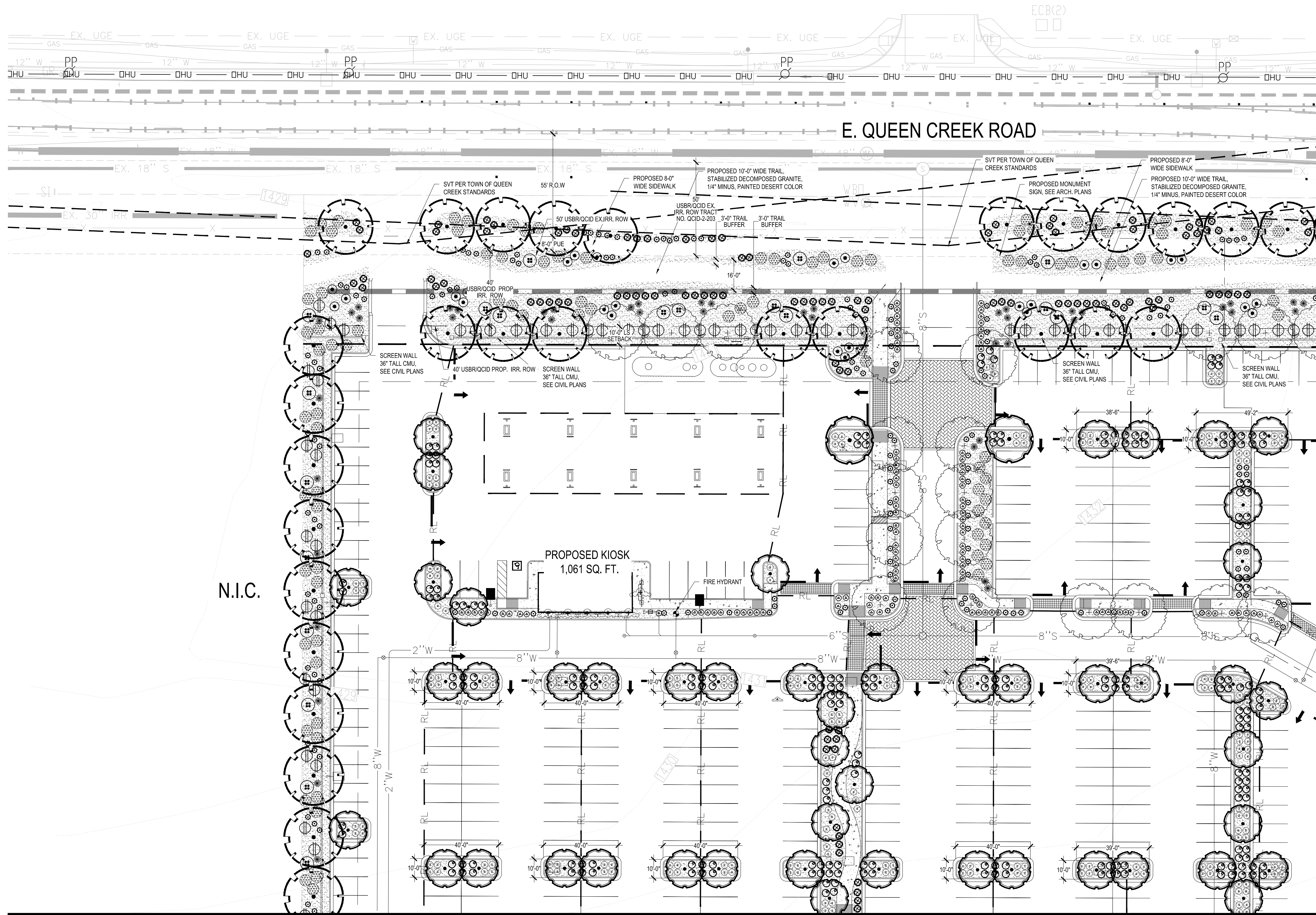
L0.1
1 of 13



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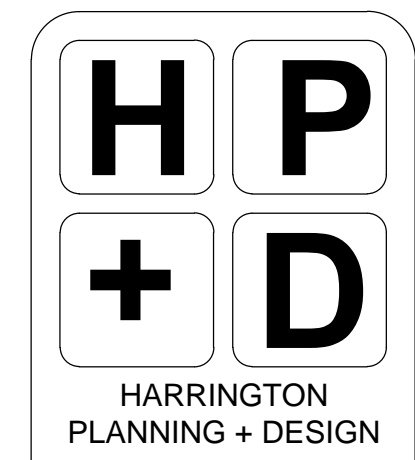
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PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Ulmus parvifolia Chinese Elm Caliper Size: 1.0"	24" Box H 7'-9" W 3'-4"	*ADWR	121
Pistacia X 'Red Push' Red Push Pistache Caliper Size: 1.0"	24" Box H 7'-9" W 2.5'-3.5"	*ADWR	218
Acacia aneura Mulga Caliper Size: 1.0"	24" Box H 6'-7" W 2'-3"	*ADWR	68
GROUNDCOVERS			QTY
Eremophila glabra Outback Sunrise Emu	5 Gallon can full	*ADWR	444
Lantana montevidensis 'Purple' Purple Trailing Lantana	5 Gallon can full	*ADWR	433
Convolvulus cneorum Bush Morning Glory	5 Gallon can full	*ADWR	679
SHRUBS / ACCENTS			QTY
Tecoma Stans Arizona Yellow Bells	5 Gallon	*ADWR	286
Leucophyllum frutescens 'Green Cloud' Texas Sage 'Green Cloud'	5 Gallon	*ADWR	121
Eremophila maculata Valentine Bush	5 Gallon	*ADWR	633
Callistemon 'Little John' Little Jogn Dwarf Bottlebrush	5 Gallon	*ADWR	177
Muhlenbergia rigida Purple Muhly	5 Gallon	*ADWR	456
Dasyliroon wheeleri Desert Spoon	5 Gallon	*ADWR	241
Aloe x 'Blue Elf' Blue Elf Aloe	5 Gallon	*ADWR	714
Podranea ricasoliana Pink Trumpet Vine	7	*ADWR	6
LANDSCAPE MATERIALS			QTY
Decomposed Granite, 3/4" minus, Mahogany 2" deep in planting areas per plan.			189,813 sq.ft.
HARDSCAPE MATERIALS			QTY
12" squared stamped colored concrete, Davis Color 'Dark Gray' Provide 1'-6" concrete header adjacent to asphalt			4,830 sq.ft.
6"x9" herringbone stamped concrete, Davis Colors 'San Diego Buff' Provide 1'-6" concrete header adjacent to asphalt			11,580 sq.ft.
Planter, Old Town Fiberglass - Hermosa, 36" wide and 36" height dark grey color			4
Bench, Anova - Airi, 6' surface mount, textured pewter color			6

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant
*SVT = Sight Visibility Triangle



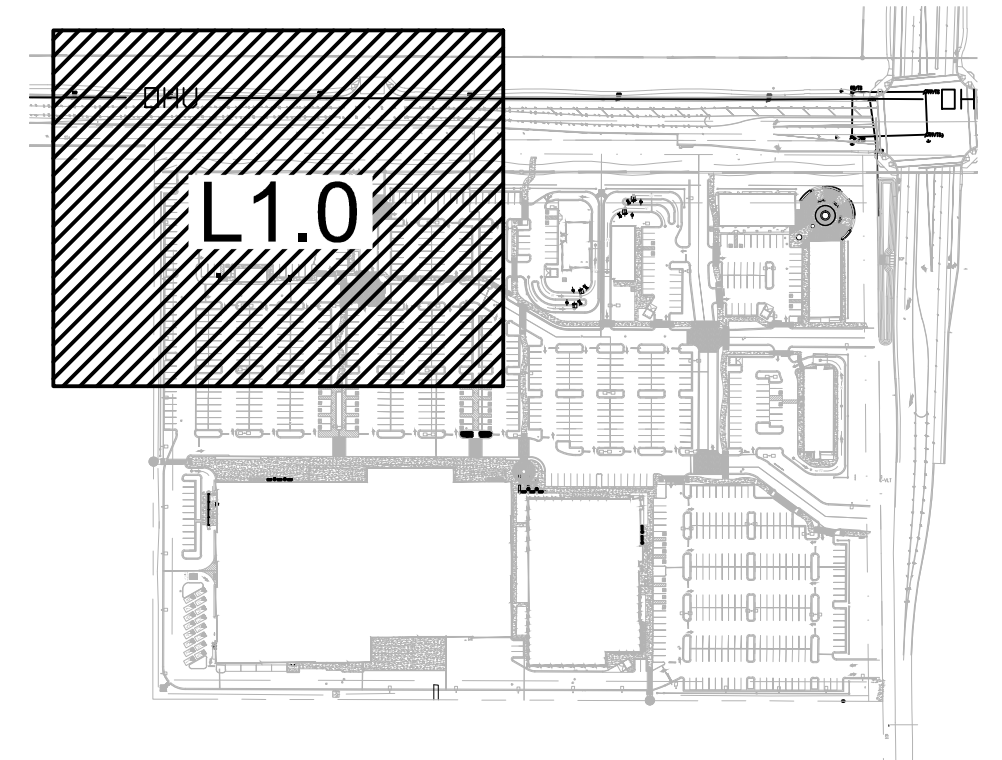
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www.HarringtonPlanningDesign.com



HUDSON STATION
SWC Queen Creek Rd. & Signal Butte Rd.
Queen Creek, Arizona 85242

MATCHLINE - SEE SHEET L1.1

KEY MAP

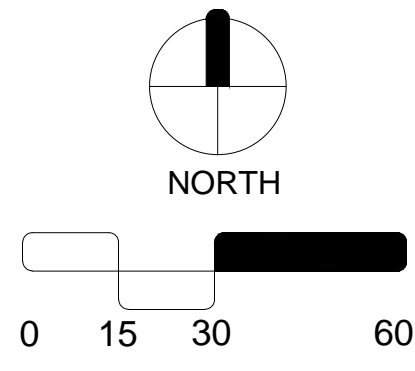


REV.	COMMENT	DATE
Final Submittal		04.27.22
Revised Preliminary		04.04.22
Preliminary Submittal		03.02.22
ISSUE		DATE

LANDSCAPE PACKAGE

APRIL 27, 2022

DRAWN BY:	TKW
CHECK BY:	JEH
PROJ. NO.:	2021-033
CASE NO.:	P21-0072



LANDSCAPE PLAN

L1.0
2 of 13

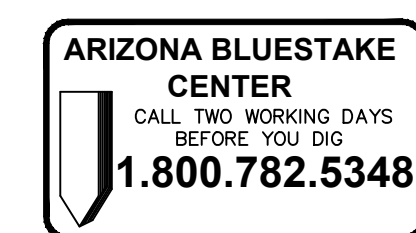
QUEEN CREEK LANDSCAPE REQUIREMENTS

REQUIREMENTS	REQUIRED	PROVIDED
STREETSCAPE TREES 1 TREE EVERY 30' MAX SPACING	1960' OF STREET FRONTAGE 65.3 TREES	65 TREES
STREETSCAPE SHRUBS A MINIMUM OF 6 SHRUBS ARE REQUIRED PER EVERY TREE	91 STREET FRONTAGE TREES 546 SHRUBS	694 SHRUBS
OPEN SPACE AREA MINIMUM 20% OPEN SPACE AREA	NET DISTURBED AREA = 948,891 SF REQ. OPEN SPACE = 189,778.2 SF	OPEN SPACE = 189,813 SF

SITE LANDSCAPE NOTES

- SHRUBS AND GROUNDCOVER PLANTED WITHIN THE SIGHT VISIBILITY TRIANGLES SHALL HAVE A MATURE HEIGHT OF NOT MORE THAN 24 INCHES. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT, AND TOTAL HEIGHT OF ANY MOUNDING.
- TREES PLANTED WITHIN SIGHT VISIBILITY TRIANGLES SHALL HAVE A CLEAR TRUNK PRUNED TO A HEIGHT OF SEVEN FEET OR GREATER UPON INSTALLATION. HEIGHT SHALL BE MEASURED FROM THE EDGE OF PAVEMENT.
- PROTECT ALL UTILITIES DURING CONSTRUCTION.
- SEE COVER FOR KEY MAP.

MATCHLINE - SEE SHEET L1.2





Hudson Station Fry's Fueling Station

Commercial Parcel C – SWC of Queen Creek Rd. & Signal Butte Rd.

Conditional Use Permit - Project Narrative

Submitted to:

Town of Queen Creek
22358 S. Ellsworth Rd.,
Queen Creek, AZ 85142

Request:

Conditional Use Permit request for a new fuel facility.

Pre-App Submittal: March 26, 2021
1st Site Plan/CUP Submittal: August 3, 2021
2nd Site Plan/CUP Submittal: December 10, 2021
3rd Site Plan/CUP Submittal: March 2, 2022



DEVELOPMENT TEAM

Owner

GM Gabrych Family Limited Partnership
22101 E. Queen Creek Rd.,
Queen Creek, AZ 85142

Developer

Barclay Group
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2015 E. Camelback Rd., Suite 900
Phoenix, AZ 85016



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Sustainability Engineering Group (SEG)
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Scottsdale, AZ 85260
Phone: (480) 237-2507
Email: ali@azseg.com



Landscape Architect

Harrington Planning and Design
Contact: Jason Harrington
1921 S. Alma School Rd., Ste. 204
Scottsdale, AZ 85251
Phone: (480) 250-0116
Email: jason@harringtonplanningdesign.com



Applicant

Pew and Lake, PLC
Contact: Sean B. Lake, D.J. Stapley
1744 S. Val Vista Dr., Suite 217
Mesa, AZ 85204
Phone: (480) 461-4670





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B. Existing Conditions and Existing Zoning.....	1
D. Site Plan Overview.....	2
E. Architecture & Design Considerations.....	3
F. Conditional Use Permit Requirements.....	3
G. Conclusion.....	4

A. Introduction

Sustainability Engineering Group (“SEG”), as Applicant, is requesting a Conditional Use Permit for a Fuel Facility at the southwest corner of Queen Creek Rd and Signal Butte Road, which is a portion of parcel # 304-64-007G (the “Project”). The fuel facility will provide a beneficial and convenient use addition to the proposed Fry’s Anchored Commercial Center. An aerial map has been provided (see **Figure 1 – Site Aerial**) to show location and contextual reference.

Figure 1 - Site Aerial



B. Existing Conditions and Existing Zoning

This CUP request is in conjunction with an annexation (P21-0053), a rezoning application (P21-0054), and a site plan application (P21-0164), that have currently been submitted and are in process with the Town of Queen Creek. The rezoning application is proposing C-2 PAD zoning following the Large Format Retail standards found in the Queen Creek Zoning Ordinance’s C-2 standards. Minor modifications have been proposed to tailor to this development and are currently in review for approval through the current case number. Currently, the Subject Property consists of mostly vacant land with some existing structures onsite. The properties surrounding the site are under the jurisdiction of the Town of Queen Creek with various uses. The following table describes the existing land uses surrounding the site:

Table A – Surrounding Zoning and Land Uses

Direction	Existing Development/Land Use	Existing Zoning
North	Single Family Residential	R1-43
East	Undeveloped	C-2 & MDR
South	Single Family Residential	RU-43
West	Agriculture/ Proposed Residential	R1-7

The arterials bordering the site are Queen Creek Road to the north and Signal Butte Road to the east. Both roadways will be subject to ROW and infrastructure improvements. Currently, the intersection of Queen Creek Road and Signal Butte Road is paved with no existing public sidewalk and temporary traffic signals in place. The Site is not in any flood zone district.

D. Site Plan Overview

As proposed, the fueling station will serve as an ancillary use to the Fry’s Grocery Store and will provide a convenient option for commercial center customers or passing motorists to refuel their vehicles. The fueling station itself will be located in the northwest corner of the Hudson Station Commercial Center, along the Queen Creek Road arterial. Design for the fuel station will consist of a 1,066 SF convenience store with 20 fueling stations (one on each side of the dispenser). The fueling area itself will be covered by a 19-foot-high canopy that will cover each fuel dispenser.

A total of seventeen (17) parking spaces will be provided, including one (1) ADA space adjacent to the kiosk. Pedestrian access to the convenience store kiosk will provide connection from the Queen Creek right-of-way and from the Fry’s Grocery Store, and will be aligned with appropriate landscape shading and 8’ wide sidewalks.

The Fuel Center will include a 1,060 square-foot walk-in food and beverage kiosk with public restrooms. Employees will utilize the trash facilities associated with the Fry’s grocery store. Hours of operation will parallel the grocery store, and there are no plans for 24-hour operation of the Fuel Center.

The site will be landscaped and screened per Queen Creek standards and will be integrated into the landscaping scheme of the rest of the commercial center. A 30’ landscape setback and a screen wall will be provided along the Queen Creek Road frontage. Site lighting will provide for a safe environment without spillage onto neighboring properties and streets. Pedestrians will be able to access the rest of the shopping center via sidewalks.

Signage will be placed on the canopy, the convenience store building, and along Queen Creek Road utilizing an electronic message board displaying fuel prices. All signage will comply with Town code and the comprehensive sign plan to be processed following the commercial center’s site plan application.

The site plan follows the most recent rezone application which proposes using base C-2 standards with PAD overlay and the Large Retail Format. Specific development guidelines, related to landscape buffering, will be implemented to show appropriate streetscape and landscape vegetation along the arterials and adjacent west side. The following standards will be required for setback and landscape buffer as described in the Table below:

Standard	C-2 PAD (with Large Retail Format)	Fuel Station
Max. Building Height:	35’	19’
Setback/Landscape Buffer:		
<i>Front (Queen Creek Road):</i>	30’	± 72’ (Incl. Multi-Use Trail)
<i>Side (West):</i>	30’	15’ ¹
Parking		
<i>Minimum Parking:</i>	8	17
<i>Max Consecutive Parking Spaces:</i>	12 Spaces	12 Spaces

NOTES

¹ Per Section 5.3.D(6)(c) – A 50% proportional share of the required landscape setback shall be installed along each property line by each development.

E. Architecture & Design Considerations

The fuel facility will follow the same patterns as the anchor grocery building and employ the same diverse material palette to help break apart the “mass” of each facade.

F. Conditional Use Permit Requirements

As proposed, the fuel facility proposes an attractive ancillary use to the neighboring areas while promoting an aesthetic design that is consistent with the main grocery store building. The Town of Queen Creek requires that a Conditional Use Permit application meets all of the Approval Criteria required in Section 3.5 of the Queen Creek Zoning Ordinance. These Criteria have been met as follows:

1. *The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located.*

The proposed conditional use is in compliance with all regulations of the applicable zoning district (C-2), provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards set forth in Article 6 of this Ordinance. The C-2 zone allows for vehicular fuel stations, subject to approval of a conditional use permit. The accompanying site plan application details how all Town standards are being met.

2. *The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located.*

The Fry’s Fueling Center is being proposed concurrently with the processing of an overall site plan for the 22-acre commercial property. As such, the location, type, and height of buildings are all part of a single, integrated plan that has been designed to function effectively in every aspect. Landscaping and screening will be consistent with the rest of the center and will provide for a quality, cohesive design.

3. *Adequate Measure Taken to Minimize Traffic Hazards and Congestion.*

The Facility itself is designed to handle incoming traffic without negative vehicle circulation. The current orientation of the facility is buffered between two (2) drive aisles at the northwest corner of the commercial center. Appropriate landscape islands have been placed to help create a perimeter around the convenience store and the fuel dispensers. This layout helps to minimize direct access into the facility from vehicles coming directly from Queen Creek and thus reduces vehicle conflict from fueling activities and entering/exiting traffic.

4. *Adequate Utilities, Access Roads, Drainage, Fire Protection.*

The Fuel Center is equipped with special piping and safety measurements to help monitor the fuel. The tanks system itself is also equipped with sensory equipment to help detect any potential leaks. The tanks are placed at the north side of the facility to allow for enough space and access drive for the refueling trucks. This location helps to minimize any conflicts between the refueling trucks and pedestrian activity from the convenience store and dispensaries.

5. *The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.*

The proposed use is not noxious or offensive by reason of vibration, noise, odor dust, smoke or gas. No vibration, inordinate amount of noise, odor, dust smoke or gas are created by the proposed use. All Town codes and state laws will be met.

6. *The Use Shall Not Be Injurious to the Use and Enjoyment of the Property.*

The fuel facility will follow the guidelines and measurements as described by the Maricopa County Department of Environmental Safety and Air Quality. Special CARB certification filtration systems are implemented in the overall design of the dispensary system to reduce pollution and mitigate malodors. The facility itself is set back from residential areas in accordance with Queen Creek standards.

7. *The Established Use Shall Not Impede Orderly Development or Improvement of Surrounding Property For Uses Permitted Within The Zoning District.*

The facility operates as a unique and beneficial ancillary use to the anchor grocery store and other commercial uses proposed within the Hudson Station Commercial Center. Retail gas stations, within large commercial centers, help serve consumers for fueling without the industrial and large commercial effects. This fuel facility is only for public consumption and retail use. No heavy duty fueling or refining is taken place at this site.

G. Conclusion

The Fueling Station proposal will bring a quality designed development to a dynamic part of the community with elements that meet or exceed Town standards. The site plan, elevations and landscape plans provide a visual distinction that show the fuel facility's unique design and service that will contribute to a balanced and viable land use solution within the Hudson Station Commercial Center and enable creative and enhanced level of commercial retail that will promote balanced diversity within the Town as well as commercial services to the nearby neighborhoods.