



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director
Erik Swanson, Planning Administrator

FROM: Laney Corey, Planning Intern

RE: Discussion and Possible Action on P21-0191 Acero Harvest Site Plan, a request from Brian Anderson of BMA Architecture for Site Plan approval of a 204-unit multi-family development on a 12.58 acre site, located at the southeast corner of Riggs and Gary roads.

DATE: April 13, 2022

STAFF RECOMMENDATION

Staff recommends approval of P21-0191 Acero Harvest Site Plan, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P21-0191 Acero Harvest Site Plan, subject to the Conditions of Approval included in this report.

SUMMARY

This proposal consists of a request for Site Plan approval to facilitate the development of a 204-unit multi-family development on a 12.58 acre site, located at the southeast corner of Riggs and Gary roads.

HISTORY

Nov. 2, 2016: The Town annexed the property from Pinal County on Nov. 2, 2016 (Ordinance 618-16) and applied the equivalent zoning district Rural Estate District (R1-43 1 du/ac).

Aug. 12, 2020: The property from was rezoned from R1-43 (Rural Estate) to High Density Residential (HDR) for a multi-family development (Ord. 738-20).

PROJECT INFORMATION

Project Name	Acero Harvest Site Plan (P21-0191)
Site Location	SEC of Riggs and Gary roads
Current Zoning	HDR (High Density Residential)
General Plan Designation	Neighborhood
Surrounding Zoning Designations	
North:	C-2 – Schnepf Farms Agritainment District (Vacant Land) Riggs Road
South:	R1-5/PAD – Harvest at Queen Creek (Vacant Land)
East:	Union Pacific Rail Road The Parks Subdivision - Pinal County
West:	C-2 Harvest Station Commercial Gary Road
Net Acreage	12.58 acres
Unit Count	204 units
Net Density	16.21 du/ac (up to 25 du/ac allowed)
Building Area (Total)	238,860 SF
Building Height	40 feet (up to 40 feet allowed)
Lot Coverage	22.61% (up to 60% allowed)
Landscape/Open Space Area	
Required:	20% (2.52 acres)
Provided:	44.6% (5.61 acres)
Parking	
Required:	369 spaces
Provided:	383 spaces

DISCUSSION

This proposal consists of a request for Site Plan approval to facilitate the development of a 204-unit multi-family apartment development on a 12.58 acre site, located at the southeast corner of Riggs and Gary Roads. To the north opposite Riggs Road, is the Schnepf Farms Agritainment District. While the property is currently vacant with the exception of cell towers, it was rezoned in 2019 for continued operations and the future development of Schnepf Farms. No further plans have been submitted for this site. To the east of the subject site is the Union Pacific Rail Road which borders the existing subdivision 'The Parks', located in Pinal County. The land immediately west of the subject property is also currently undeveloped, however is a part of the Harvest Station Commercial Center. To the south and southwest across Gary Road is the Harvest at Queen Creek subdivision, which is currently under construction.

The overall Harvest Station PAD was originally approved by the Town Council on September 2, 2020 with a conceptual site plan that generally outlined the proposed subject site for multi-family residential development and intended to complement and connect with the Harvest Station Commercial development to the west. Since the PAD's approval in 2020, development of the proposed multi-family portion is intended to proceed the commercial portion of Harvest Station. Both the preliminary plat and site plan for the commercial center were approved in conjunction with the PAD rezone in 2020, however permits have yet to be submitted.

The applicant is proposing a total of 204-units across approximately 5.48 acres of combined building area, yielding a net density of 16.21 du/ac. The livable building types consist of three-story structures, for a total of five (5) unique building designs and floor plans. Several garages, the clubhouse, and amenities are at the single-story level. All structures are 40' or below, consistent with the zoning ordinance maximum building height requirements. The unit breakdown is a mix of 90 one-bedroom units, 102 two-bedroom units, and 12 three-bedroom units. For a total count of the structures on-site, there is one (1) garage building, ten (10) multi-story livable buildings, and one (1) clubhouse on-site.

Access will be provided from two (2) points, both located along Gary Road. The main entrance will include a two-way, left turn median addition to fully complete the associated improvements. The second access point is located further south and is planned for egress only. Determined by the specified unit count, there are 386 parking spaces provided in a blend of uncovered, covered, and garage spaces; 369 parking spaces are required. The additional 17 spaces are included to support guest parking and mitigate the potential for any overflow.

The proposed development includes a 30' landscape buffer along both Riggs and Gary Roads. In combination with Gary Road, which is approximately 100' wide, there is well over 130' feet between the property lines of this project and future Harvest at Queen Creek residents. Additionally, the Parks subdivision to the east is separated by the Union Pacific Railroad and existing open space to provide approximately 826' between the two developments.

The architecture was developed using design features that complement and provide continuity with the proposed Harvest Station commercial development as well as additional agrarian elements to remain consistent with the South Specific Area Plan. The applicant has included five (5) apartment building types, one (1) clubhouse building type, and one (1) garage building type. The theme is agrarian style that emulates materials used within the adjacent commercial development and pulls elements from other nearby agrarian developments, such as Schnepf Farms and the Olive Mill. Building facades are coordinated with the patios and balconies to add variety and visual depth to the elevation. The design utilizes a well-balanced variation of materials and building massing, as well as enclosed green screen staircases enhance the quality of the overall architectural design, while also creating a diverse range of building types to cut down on monotony and redundant forms.

The Zoning Ordinance requires multi-family residential developments to provide a minimum of 20% common open space, with 30% of the total considered as active open space. The applicant is proposing a total of 44.6% (5.61 acres) common open space, with 16.6% (.93 acres) considered as active open space. In particular, the layout of landscaping and amenity features are configured to achieve a spread of open space across the development for greater accessibility and enjoyment by residents. With regards to buffers, a contiguous thirty (30') foot landscaping buffer with a dominant mixture of Red Push Pistache and Live Oak trees spans the entire northern and southeastern boundaries in a staggered double row located inside a 30' buffer. Additionally, the northwestern corner of the site features lush, ornamental landscaping, tying in with the northeastern corner of the adjacent commercial development. The overall landscape palette utilizes the same trees and shrubs as those found in the buffer, and is planned to complement existing landscape in the surrounding commercial areas on the west side of Gary Road. A wall plan has been put forth with a six (6') foot decorative theme wall made of stucco, brick veneer, and a concrete cap shown around the southwestern perimeters to help screen some of the parking areas and reduce the risk of vehicle headlights shining beyond the site limits. Decorative columns are located every 150' in compliance with Zoning Ordinance requirements. On the east side, open

iron fencing is proposed with gates at numerous points to allow residents to access the multi-use trail, which is to be utilized as active open space.

In terms of internal amenities, the main clubhouse area near the entrance features a resort style pool, spa, and fitness center with decorative elements, in addition to an outdoor fire pit and kitchen with several seating areas. Additionally, elements such as a dog park, tot lot, and playground have been incorporated into the design of the site. All of these elements work in harmony to create open space that is both visually pleasing and functionally activated.

Given that the subject site is already zoned and that the request is for site plan and building architecture approval only, a neighborhood meeting was not required.

ANALYSIS

General Plan Review: The current General Plan designation for this property is Neighborhood. The request is in conformance with the property's General Plan Land Use designation, and satisfies the minimum density requirement of 20 du/ac per the 2018 General Plan.

Zoning Review: This property is zoned HDR/PAD (High-Density Residential with a Planned Area Development Overlay), as a part of the Harvest Station PAD. The proposed multi-family residential use is permitted under the HDR/PAD zoning designation, and complies all stipulations included in Ordinance 738-20.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Engineering, Utilities, and Transportation Review: This project has been reviewed by the Engineering, Utilities, and Transportation divisions. Conditions of Approval have been added to address each division's applicable requirements for this project.

Building Elevation Review: The proposed building elevations are in compliance with the Town Zoning Ordinance, Design Standards, South Specific Area Plan, and Harvest Station PAD. Within the PAD, architecture was intended to complement and carry elements present in the design of the adjacent Harvest Station commercial development. This site contains five (5) different livable building types, all of which slightly vary from one another to achieve an agrarian look that fits within the overall vision and architectural theme depicted. The building materials incorporate the following elements from an agrarian palette:

- Stucco with various paint color blockings and trim
- Decorative metal railings, gates, panels and accents.
- Deep overhangs
- Brick veneer at various columns and heights

With the massing and forms, decorative elements, and material selection demonstrated on the proposed elevations, there is a theme that satisfies Town standards and the PAD's intent, while also creating a usable example for the next adjacent uses to tie into and continue.

Landscaping and Open Space Review: As previously detailed in the discussion section, the applicant is proposing a total of 44.6% (5.61 acres) common open space, where 20% minimum (2.52 acres) is required. Of the total open space provided, 16.6% (.92 acres) of the area is considered active open space, where 30% minimum (.76 acres) is required. This is largely due to the site's incorporation of a multi-use trail and well-balanced amenity features throughout the community. Full landscape plans will be reviewed at the building permit stage to verify exact locations, quantities, and species in accordance with this application.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. This project shall be developed in accordance with all Conditions of Approval outlined in Ordinance 738-20, P20-0079 Harvest Station PAD Rezone.
3. Mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened and painted to match the main colors of the buildings or to blend in with adjacent landscaping.
4. All signage shall be approved under future, separate building permit submittals.
5. The applicant shall ensure the proposed multi-family residential development will actively participate in the Crime Free Housing program, including Crime Prevention through Management.
6. For all remaining offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or bond, to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount will be determined by an engineer's estimate during the Final Plat review. Construction assurance shall be deposited with the Town prior to any permits being issued.

ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Exhibit
4. Site Plan
5. Landscape Plan
6. Wall Plan
7. Elevations and Floor Plans
8. Amenity Details
9. Project Narrative
10. Ordinance 738-20

Project Name: Acero Harvest Aerial Exhibit

Case Number: P21-0191

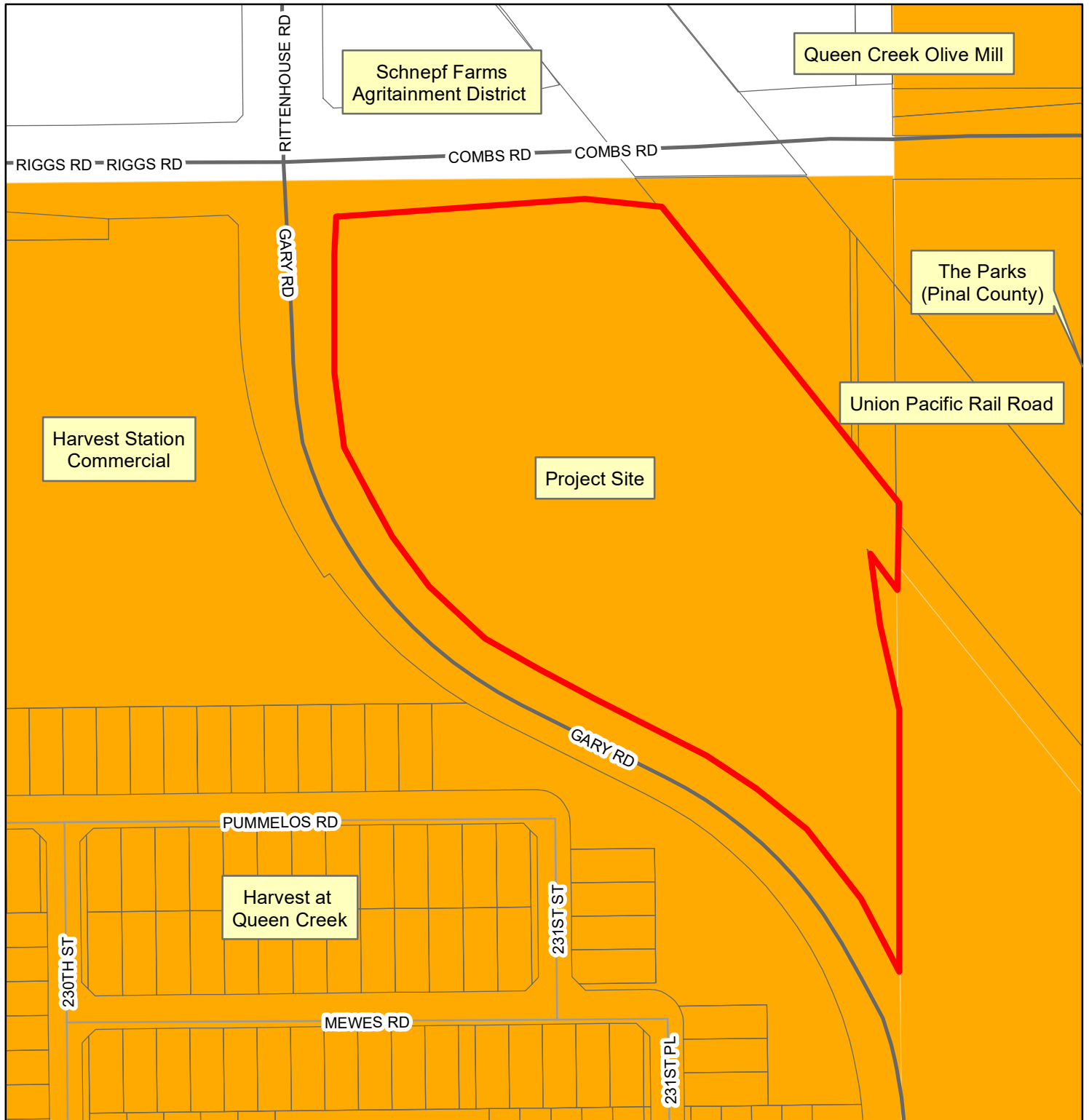
Hearing Date: April 13, 2022 (Planning Commission)



Project Name: Acero Harvest General Plan Exhibit

Case Numbers: P21-0191

Hearing Date: April 13, 2022 (Planning Commission)



General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |


























Project Name: Acero Harvest Zoning Map Exhibit

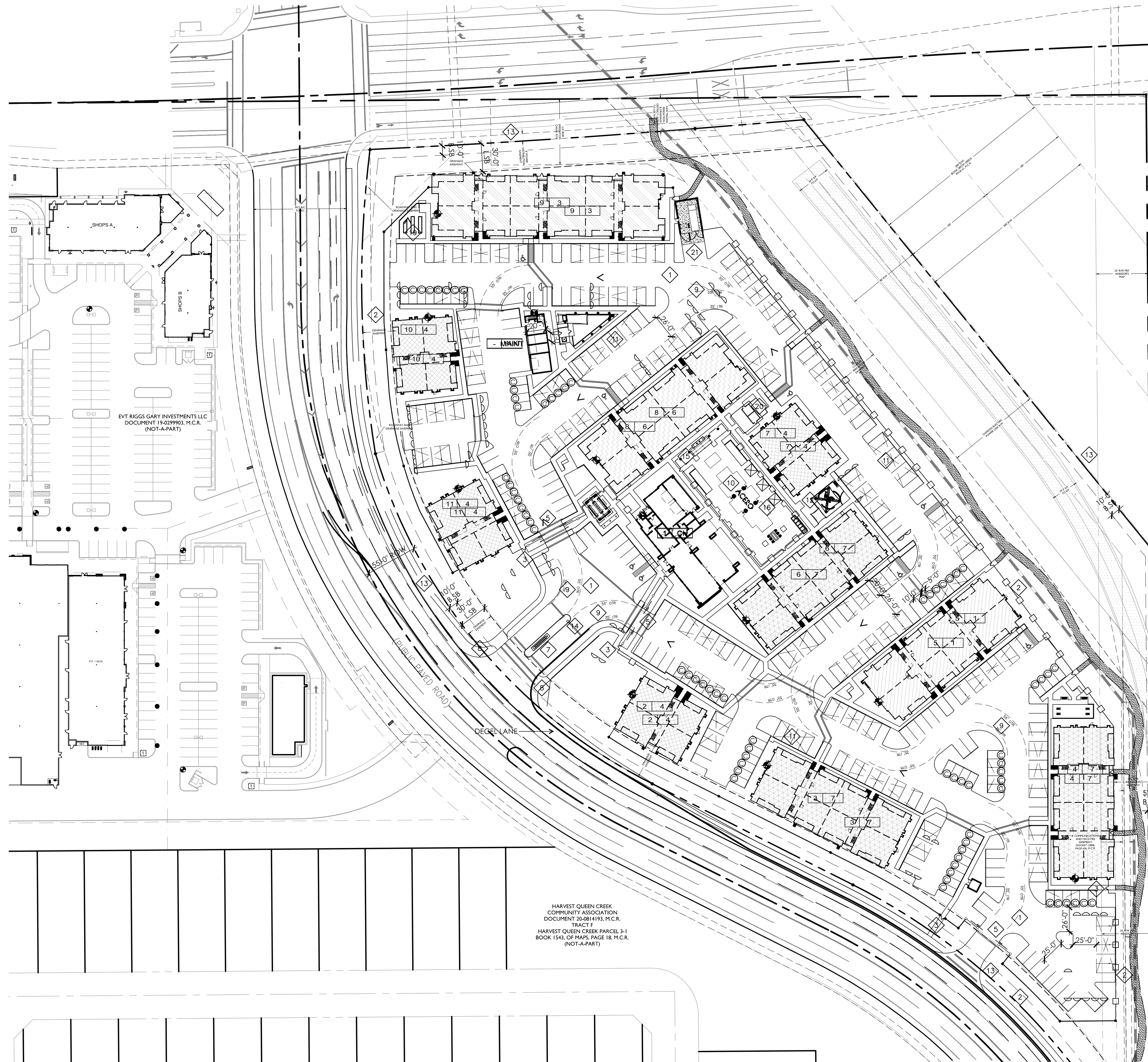
Case Numbers: P21-0191

Hearing Date: April 13, 2022 (Planning Commission)



Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use



PRELIMINARY SITE PLAN
SCALE: 1" = 60'-0"

SITE KEY NOTES

- 1 ASPHALT PAVING OVER A.B.C. PER SOIL REPORT
- 2 6" DECORATIVE VIEW FENCE.
- 3 4'-0" WIDE SELF-CLOSING PEDESTRIAN GATE, FULLY ADA COMPLIANT FOR APPROACH, SWING, AND SPRING ACTION.
- 4 NOT USED
- 5 DOUBLE PANEL AUTOMATIC ROLLING GATE COMPLYING WITH QUEEN CREEK FIRE PREVENTION ACCESS GATES REQUIREMENTS FOR AUTOMATIC GATES.
- 6 NOT USED
- 7 MONUMENT SIGN BY OTHERS. ALL SIGNAGE UNDER SEPARATE PERMIT TO BE COORDINATED BY CONTRACTOR. SEE LANDSCAPE FOR DESIGN INTENT
- 8 NEW PEDESTRIAN WALKWAY
- 9 FIRE TRUCK TURNING RADIUS TYP WHERE SHOWN
- 10 POOL AREA. POOL UNDER SEPARATE PERMIT.
- 11 TYPICAL PARKING SPACE 10x20'
- 12 CHILDREN PLAY AREA.
- 13 PROPERTY LINE
- 14 KEYPAD ACCESS CONTROLLER AND KNOX EMERGENCY ACCESS OVERRIDE PER GILBERT FIRE PREVENTION DIVISION REGULATIONS FOR AUTOMATIC GATES.
- 15 GAS BBQ AT AMENITY AREAS.
- 16 PRE-FABRICATED RAMADA STRUCTURE UNDER SEPARATE PERMIT
- 17 NOT USED
- 18 COVERED PARKING STRUCTURE WHERE INDICATED
- 19 AMENITY AREA.
- 20 POOL EQUIPMENT ENCLOSURE. COORDINATE WITH POOL CONTRACTOR FOR EXACT SIZE. ENCLOSURE SHALL MEET LOCAL JURISDICTION POOL BARRIER ORDINANCE.
- 21 TRASH COMPACTOR / RECYCLE

LEGEND:

- 1 CH BUILDING NUMBER
- BUILDING TYPE
- COMPACT PARKING SPACE
- ⬆ FIRE RISER NFPA 13R
- ⬆ FIRE RISER NFPA 13
- ▨ BUILDING TYPE 1-3 STORY (12-A1, 12-C1)
- ▨ BUILDING TYPE 3-3 STORY (6-A1, 12-A2, 12-B1, 6-B2)
- ▨ BUILDING TYPE 4-3 STORY (6-A1, 6-B1)
- ▨ BUILDING TYPE 6-3 STORY (12-B1, 12-B2)
- ▨ BUILDING TYPE 7-3 STORY (12-A2, 12-B2)

PROJECT DATA

OWNER: IDM APARTMENTS PHOENIX
6720 N SCOTTSDALE RD, SUITE 200
SCOTTSDALE, AZ 85253
ATTN: NATE FRANKE

ARCHITECT: BMA ARCHITECTURE
2915 E BASELINE RD, SUITE 120
GILBERT, AZ 85234
ATTN: BRIAN M ANDERSEN, AIA

SITE DATA
ADDRESS: SEC E RIGGS RD & S GARY RD
QUEEN CREEK, AZ
APN NUMBER: 304-94-985A
SITE AREA (GROSS): 12.58 ACRES (547,984 S.F.)

DENSITY: 204 DU / 12.58 = 16.21 DU/AC
CURRENT ZONING: HDR - HIGH DENSITY RESIDENTIAL
PROPOSED ZONING: HDR - HIGH DENSITY RESIDENTIAL
PROPOSED USE: MULTIFAMILY - APARTMENTS

BUILDING HEIGHT ALLOWED: 40'-0" MAX
PROVIDED: 1,2 & 3 STORIES (40' MAX)
LOT COVERAGE: PROVIDED: 238,860 / 1,056,118 = 22.61%

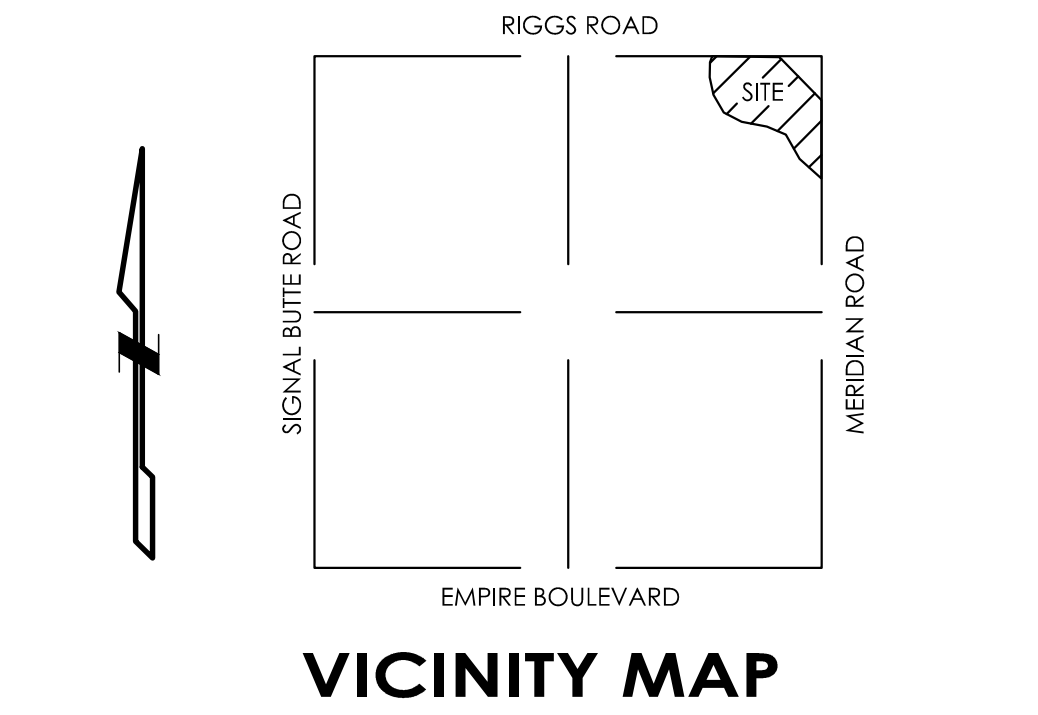
GROSS UNIT MIX UNIT TYPE	# OF UNITS	% OF UNITS
A1 - 1 BEDROOM	42 UNITS	20 %
A2 - 1 BEDROOM	48 UNITS	28 %
B1 - 2 BEDROOM	48 UNITS	17 %
B2 - 2 BEDROOM	54 UNITS	26 %
C1 - 3 BEDROOM	12 UNITS	6 %
TOTAL	204 UNITS	100 %

GROSS PARKING
REQUIRED:
1 BEDROOM UNITS 90 x 1.5 = 135 P.S.
2 BEDROOM UNITS 102 x 2.0 = 204 P.S.
3 BEDROOM UNITS 12 x 2.5 = 30 P.S.
REQUIRED TOTAL: 369 P.S.

PROVIDED:
UNASSIGNED PARKING STALL = 156 P.S.
ASSIGNED CARPORT STALL = 204 P.S.
LEASED CARPORT STALL = 20 P.S.
UNASSIGNED GARAGE = 3 P.S.
PROVIDED TOTAL: (1.88:1) 383 P.S.

ACCESSIBLE PARKING:
REQUIRED: 8 P.S.
PROVIDED: 9 P.S.

GROSS BICYCLE SPACES
REQUIRED:
1 BEDROOM UNITS 90 x .2 = 18 P.S.
2 BEDROOM UNITS 102 x .5 = 51 P.S.
3 BEDROOM UNITS 12 x .75 = 9 P.S.
REQUIRED TOTAL: 78 P.S.

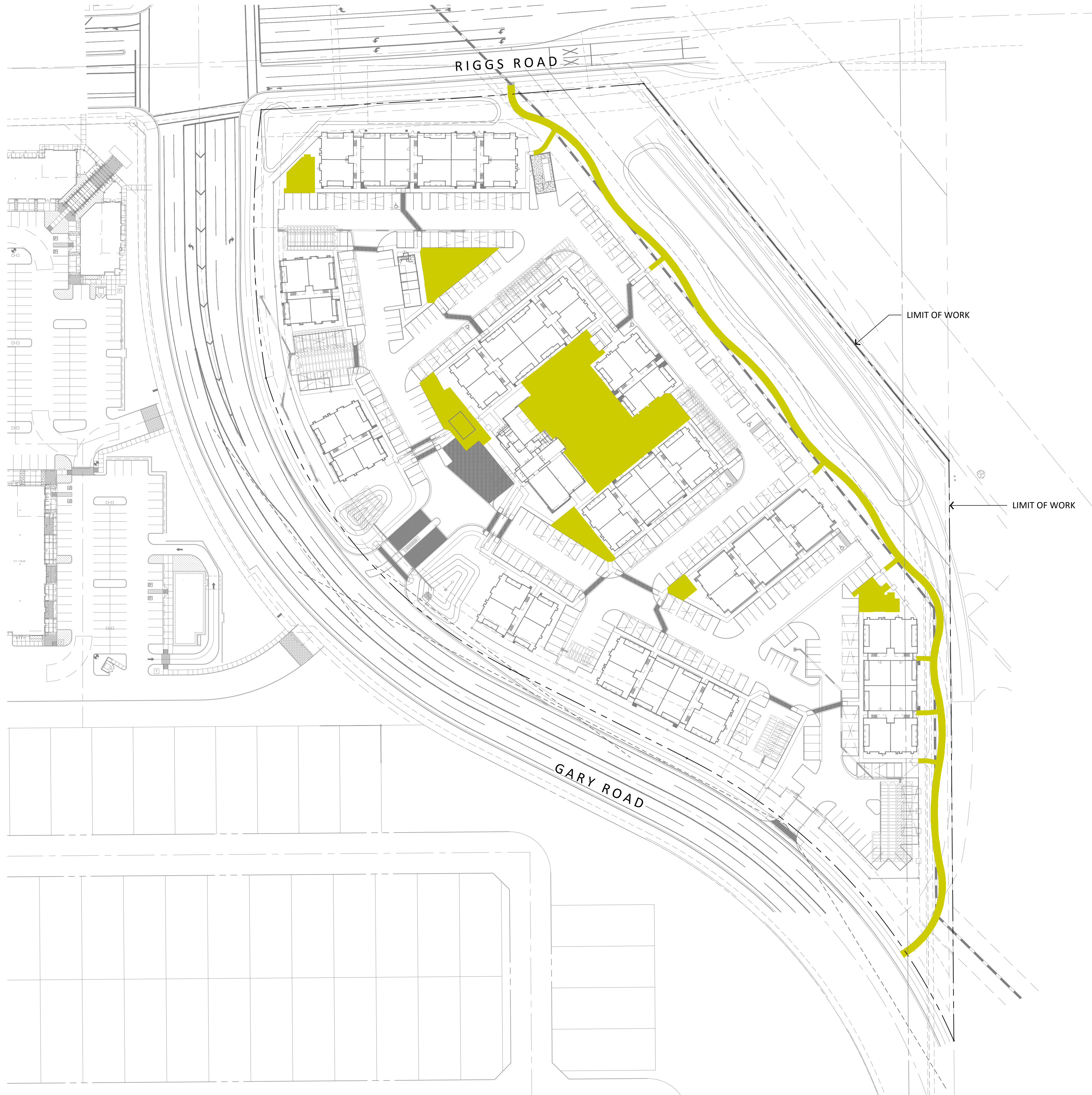


HARVEST QUEEN CREEK
COMMUNITY ASSOCIATION
DOCUMENT 20-0814193, M.C.R.
TRACT F
HARVEST QUEEN CREEK PARCEL 3-1
BOOK 1543, OF MAPS, PAGE 18, M.C.R.
(NOT-A-PART)



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: **PRELIMINARY SITE PLAN**
dwg no: **SD1.00**
date: 3-16-2022
job no: 2021.14 log no:



OPEN SPACE		
	REQUIRED	PROVIDED
NET ACREAGE	-	12.58 ac.
OPEN SPACE	2.52 ac. (20%)	5.61 ac. (44.6%)
ACTIVE OPEN SPACE	.76 ac (30% of Open Space)	.93 ac. (16.6%)

anderson

815 N 1st Ave
Phoenix, AZ 85003
602 682 6070

Client:

IDM Companies

6720 N. Scottsdale Rd. Ste. 200
Scottsdale, AZ 85253
602 725 1351

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Acero Harvest Station
Site Plan
SEC Riggs Road Gary Road
Queen Creek AZ
Open Space Plan



- revisions
- 1
 - 2
 - 3
 - 4

- issued for
- design dev.
 - city submittal
 - bid package
 - construction

date issued 02.10.2022

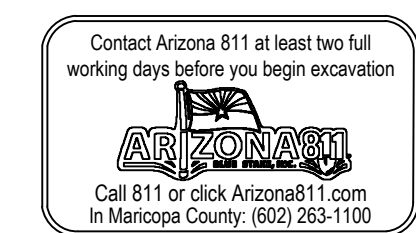
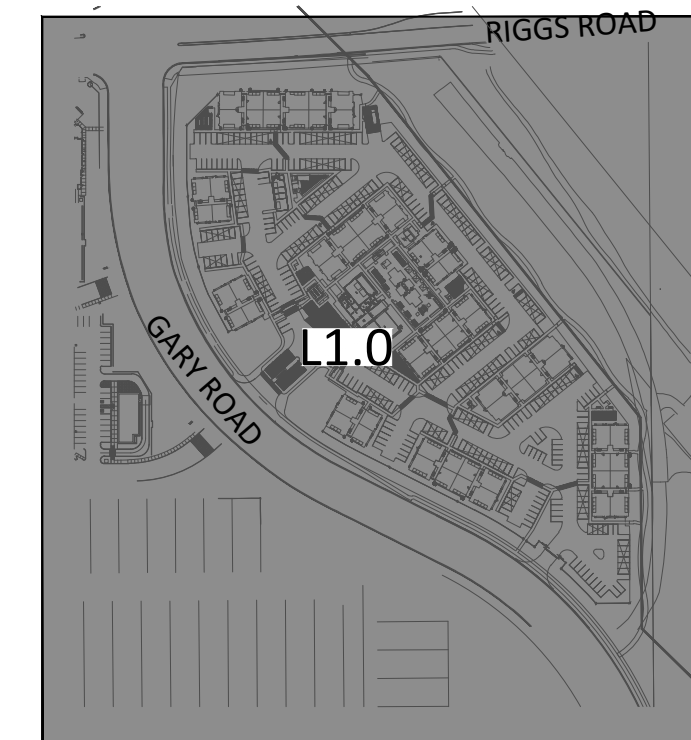
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drawn by jc, ic

checked by ba

project number 178-xxx-xx

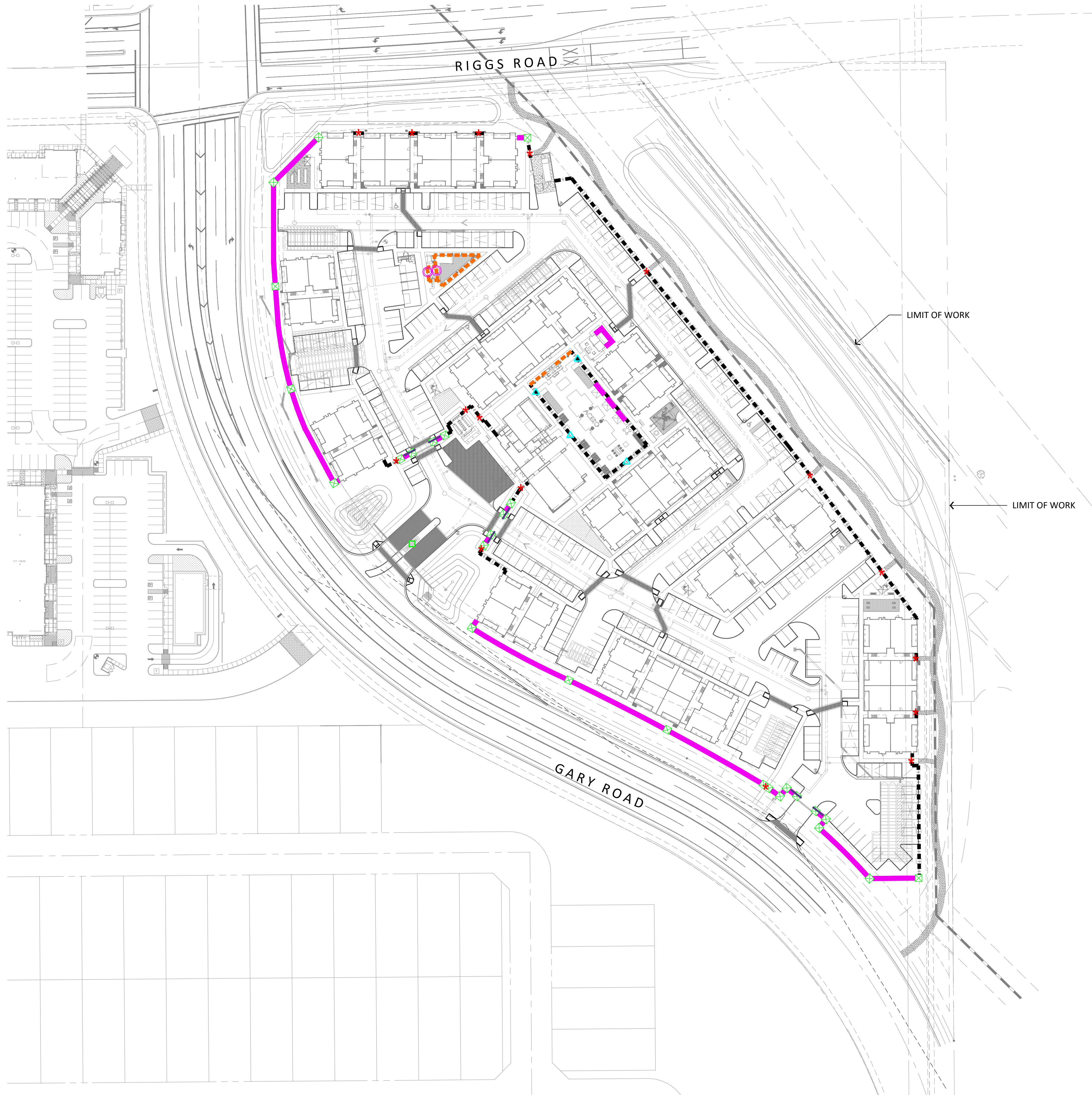
sheet number



Key Map Not To Scale

L1.0

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SYMBOL	DESCRIPTION	DETAIL	QTY.
	THEME WALL	DETAIL 1, L6.1	1,250 LF
	VIEW FENCE/POOL FENCE	DETAIL 1, L6.2	1,457 LF
	WELDED WIRE MESH FENCE	DETAIL 2, L6.2	242 LF
	PEDESTRIAN GATE	DETAIL 1, L6.2	16 EA
	POOL GATE	DETAIL 3, L6.2	4 EA
	WELDED WIRE MESH GATE	DETAIL 2, L6.2	2 EA
	ENTRY MONUMENT LOCATION MONUMENT AND SIGNAGE UNDER SEPARATE SUBMITTAL		
	VEHICULAR ACCESS GATE		3 PAIR
	ACCENT COLUMN		27 EA

GENERAL WALL NOTES

1. QUANTITIES SHOWN ARE FOR BIDDING AND PERMITTING PURPOSES ONLY, CONTRACTOR TO VERIFY.

anderson
 815 N 1st Ave
 Phoenix, AZ 85003
 602 682 6070

Client:
IDM Companies
 6720 N. Scottsdale Rd. Ste. 200
 Scottsdale, AZ 85253
 602 725 1351

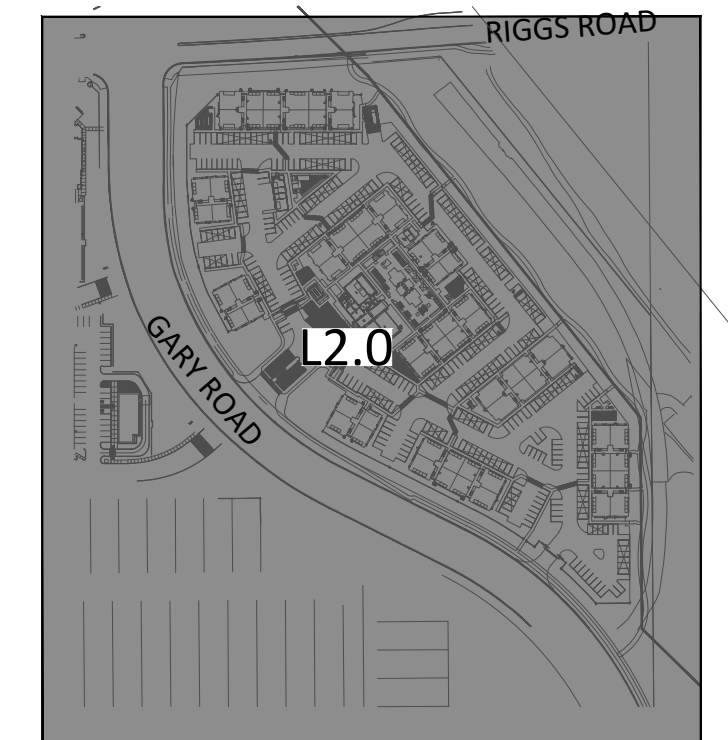
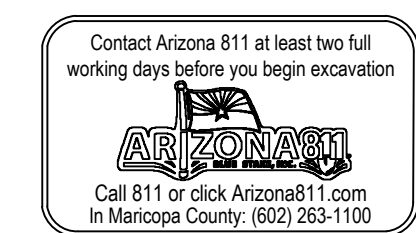
Acero Harvest Station
 Site Plan
 SEC Riggs Road
 Queen Creek, AZ
 Wall Plan



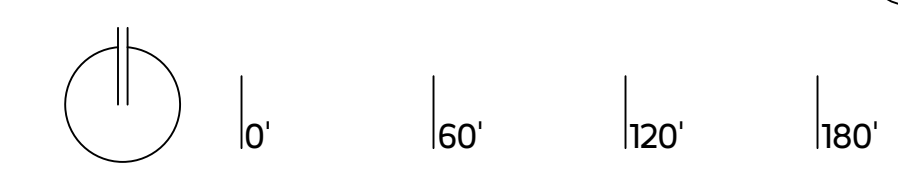
revisions	

issued for	
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city submittal	<input checked="" type="radio"/>
bid package	<input type="radio"/>
construction	<input type="radio"/>

date issued	02.10.2022
scale	1/60
drawn by	jc, ic
checked by	ba
project number	178-xxx-xx
sheet number	



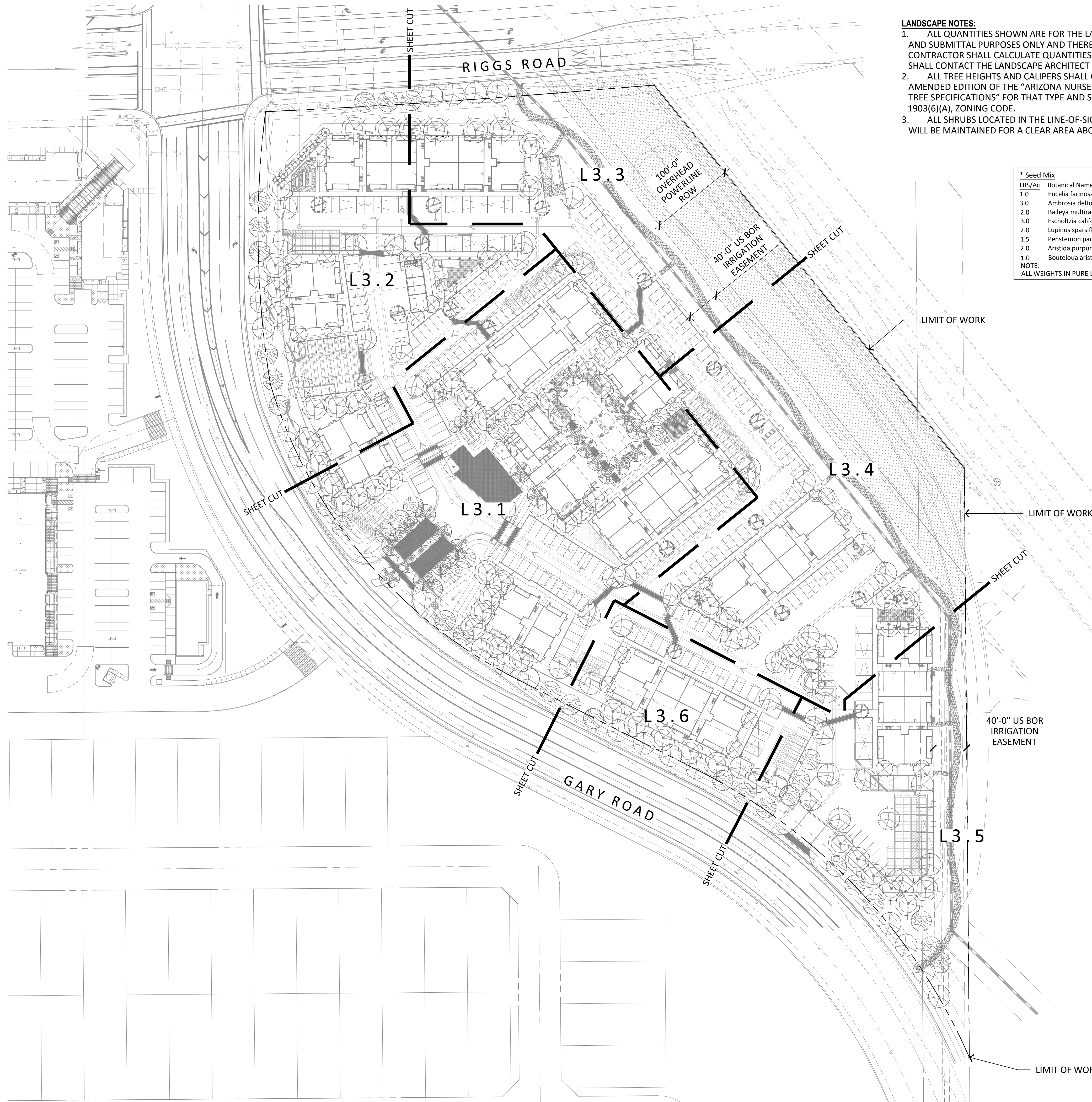
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LANDSCAPE NOTES:
 1. ALL QUANTITIES SHOWN ARE FOR THE LANDSCAPE ARCHITECT'S ESTIMATING AND SUBMITTAL PURPOSES ONLY AND THEREFORE ARE NOT GUARANTEED. THE CONTRACTOR SHALL CALCULATE QUANTITIES BASED ON THIS DRAWING SET AND SHALL CONTACT THE LANDSCAPE ARCHITECT WITH ANY DISCREPANCIES.
 2. ALL TREE HEIGHTS AND CALIPERS SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE "ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS" FOR THAT TYPE AND SIZE OF TREE. SEE SECTION 1903(6)(A), ZONING CODE.
 3. ALL SHRUBS LOCATED IN THE LINE-OF-SIGHT/SIGHT VISIBILITY TRIANGLES WILL BE MAINTAINED FOR A CLEAR AREA ABOVE 3'.

* Seed Mix

LBS/Ac	Botanical Name	Common Name
1.0	Encelia farinosa	Brittle Bush
3.0	Ambrosia deltoidea	Triangle-leaf Bursage
2.0	Baileya multiradiata	Desert Marigold
3.0	Escholtzia californica sp. Mexicana	Mexican Gold Poppy
2.0	Lupinus sparsiflorus	Desert Lupine
1.5	Penstemon parryi	Parry Penstemon
2.0	Aristida purpurea	Purple Three Awn
1.0	Bouteloua aristoides	Needle Grama Grass

NOTE:
ALL WEIGHTS IN PURE LIVE SEED

PLANT MATERIALS LEGEND

Trees	Size	Quantity
Acacia aneura	24" box	18
Mulga Acacia	24" box	8
Acacia willardiana	24" box	19
Caesalpinia cacalaco 'Smoothie'	24" box	66
Fraxinus velutina 'Rio Grande'	24" box	4
Fan-Tex Ash	48" box	22
Oleaya tesota	20'	48
Ironwood	24" box	9
Phoenix dactylifera	Multi-Trunk	65
Date Palm	24" box	4
Pistacia X 'Red Push'	24" box	
Red Push Pistache	24" box	
Pistacia lentiscus	24" box	
Mastic Tree	24" box	
Quercus virginiana	24" box	
'Heritage' Oak	24" box	
Sophora secundiflora	24" box	
Texas Mountain Laurel	24" box	

Extra Large Shrubs	Size	Quantity	Cacti/ Accents	Size	Quantity
Caesalpinia pulcherrima	5 gal.	169	Agave 'Blue Glow	5 gal.	61
Red Bird of Paradise	5 gal.	108	Blue Glow Agave	5 gal.	8
Callistemon viminalis 'CV01' Slim	5 gal.	171	Agave bovicornuta	15 gal.	25
Slim Dwarf Bottlebrush	5 gal.	74	Cow's Horn	5 gal.	23
Dodonaea viscosa	5 gal.	36	Agave schidigera	1 gal.	29
Hopbush	5 gal.	196	Duango Delight Agave	24" box	10
Tecoma alata 'Orange Jubilee'	5 gal.	260	Agave sisalana	5 gal.	79
Orange Jubilee	5 gal.	126	Sisal Agave	5 gal.	35
Tecoma sp. 'Sparky	5 gal.	14	Agave weberi	8 arm.	20
Sparky	5 gal.	54	Weber's Agave	4' min.	27
Tecoma x 'Bells of Fire'	5 gal.	192	Bouteloua gracilis	3 gal.	303
Bells of Fire	5 gal.	43	Blond Ambition	3 gal.	33
Large Shrubs	Size	Quantity	Mexican Grass Tree	5 gal.	151
Calliandra sp.	5 gal.	20	Dasyliroon quadrangulatum	5 gal.	26
Sierra Star Fairy Duster	5 gal.	313	Dasyliroon wheeleri	5 gal.	12
Silver Cassia	5 gal.	14	Echinocereus grusonii	3 arm.	90
Justicia californica	5 gal.	54	Golden Barrel	5 gal.	3
Red Chuparosa	5 gal.	192	Euphorbia royleana	8 arm.	5
Larrea tridentata	5 gal.	43	Churee	20 gal.	221
Creosote	5 gal.	20	Fouquieria splendens	5 gal.	12
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	313	Ocotillo	15 gal.	12
Lynn's Legacy Sage	5 gal.	681	Hesperaloe parviflora	3 gal.	303
Viguiera deltoidea	5 gal.	41	'Brakelights' Red Yucca	3 gal.	303
Goldeneye	5 gal.	33	Hesperaloe sp. Pink Parade	3 gal.	303
Medium Shrubs	Size	Quantity	Pink Parade Hesperaloe	3 gal.	303
Bougainvillea Torch Glow	5 gal.	20	Muhlenbergia capillaris	5 gal.	33
Torch Glow Bougainvillea	5 gal.	313	'Regal Mist'	5 gal.	33
Eremophila glabra spp. carnososa	5 gal.	14	Muhlenbergia rigens 'Nashville'	1 gal.	151
Winter Blaze	5 gal.	54	Purple Muhly	1 gal.	151
Eremophila hygrophana Blue Bells	5 gal.	192	Nolina microcarpa	5 gal.	26
Blue Bells	5 gal.	41	Beargrass	5 gal.	26
Ericameria larcifolia	5 gal.	313	Pachyocereus marginatus	12	
Turpentine Bush	5 gal.	33	Mexican Fence Post Cactus	3 arm.	5' min.
Leucophyllum frutescens 'compacta'	5 gal.	9	Slipper Plant	5 gal.	90
Compact Texas Sage	5 gal.	20	Stenocereus thurberi	4' Min.	3
Perovskia atriplicifolia	5 gal.	7	Organ Pipe Cactus	3 Arm.	5
Russian Sage	5 gal.	237	Yucca rostrata	20 gal.	5
Punica granatum	5 gal.	237	Beaked Yucca	5 gal.	221
Dwarf Pomegranate	5 gal.	35	Yucca rupicola	5 gal.	221
Ruellia peninsularis	5 gal.	35	Twisted Leaf Yucca	5 gal.	221
Desert Ruellia	5 gal.	35	Vines	Size	Quantity
Simmondsia Chinensis 'Vista'	5 gal.	35	Bougainvillea 'Barbara Karst'	15 gal.	12
Compact Jojoba	5 gal.	35	Bougainvillea wire to palms with fishing line	15 gal.	12
Small Shrubs	Size	Quantity	Inerts	Size	Quantity
Ambrosia deltoidea	1 gal.	247	Decomposed Granite 3/4" Screened	175,183 s.f.	
Triangle Leaf Bursage	1 gal.	129	Carmel - By Rock Pros	10,999 s.f.	
Callistemon viminalis 'Little John'	5 gal.	315	Decomposed Granite 1/4" Minus, Compacted	10,999 s.f.	
Little John Bottle Brush	5 gal.	263	Carmel - By Rock Pros	10,999 s.f.	
Myrtus communis 'compacta'	5 gal.	263	Turf - Mid-Iron Sod	1,739 s.f.	
Dwarf Myrtle	5 gal.	263	Artificial Turf	1,632 s.f.	
Olea europaea "Little Ollie"	5 gal.	355	E.P.D.M. - Play Surface	731 s.f.	
Little Ollie Dwarf Olive	5 gal.	181	Decomposed Granite 1/4" Minus	616 s.f.	
Groundcovers	Size	Quantity	Carmel - By Rock Pros	654 s.f.	
Eremophila prostrata	1 gal.	30	Cobble, Size Per Civil	654 s.f.	
Outback Sunrise Eremophila	1 gal.	158	Carmel - By Rock Pros	654 s.f.	
Lantana montevidensis	1 gal.	136	Concrete Header	6" Wide	384 l.f.
Purple Trailing Lantana	1 gal.	136	Standard Color and Finish	6" Wide	59 l.f.
Lantana sp.	1 gal.	72	Concrete Header Turndown	6" Wide	59 l.f.
'New Gold' Lantana	1 gal.	72	Concrete Turndown	54 l.f.	
Rosmarinus officinalis 'Prostratus'	1 gal.	72	Vehicular Pavers	8,444 s.f.	
Trailing Rosemary	1 gal.	72	See Details x, Sheet L6.x	8,444 s.f.	
Setcreasea pallida	1 gal.	72	SRP Easement Seed Mix	69,875 s.f.	
Purple Heart	1 gal.	72	All weight is in Pure Live Seed	69,875 s.f.	
Wedelia trilobata	1 gal.	72	* SEE SHEET L3.0 FOR SEED MIX		
Wedelia	1 gal.	72			

Acero Harvest Station
 Site Plan
 SEC Riggs Road
 Gary Road
 Queen Creek, AZ
 Overall Planting Plan



revisions

△	
△	
△	
△	

issued for
 design dev. ○
 city submittal ●
 bid package ○
 construction ○

date issued 02.10.2022

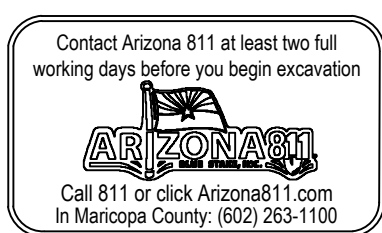
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checked by ba

project number 170-xxx-xx

sheet number



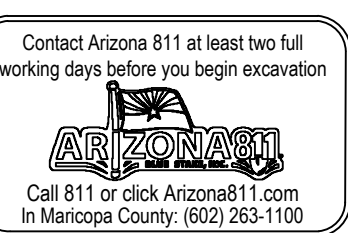
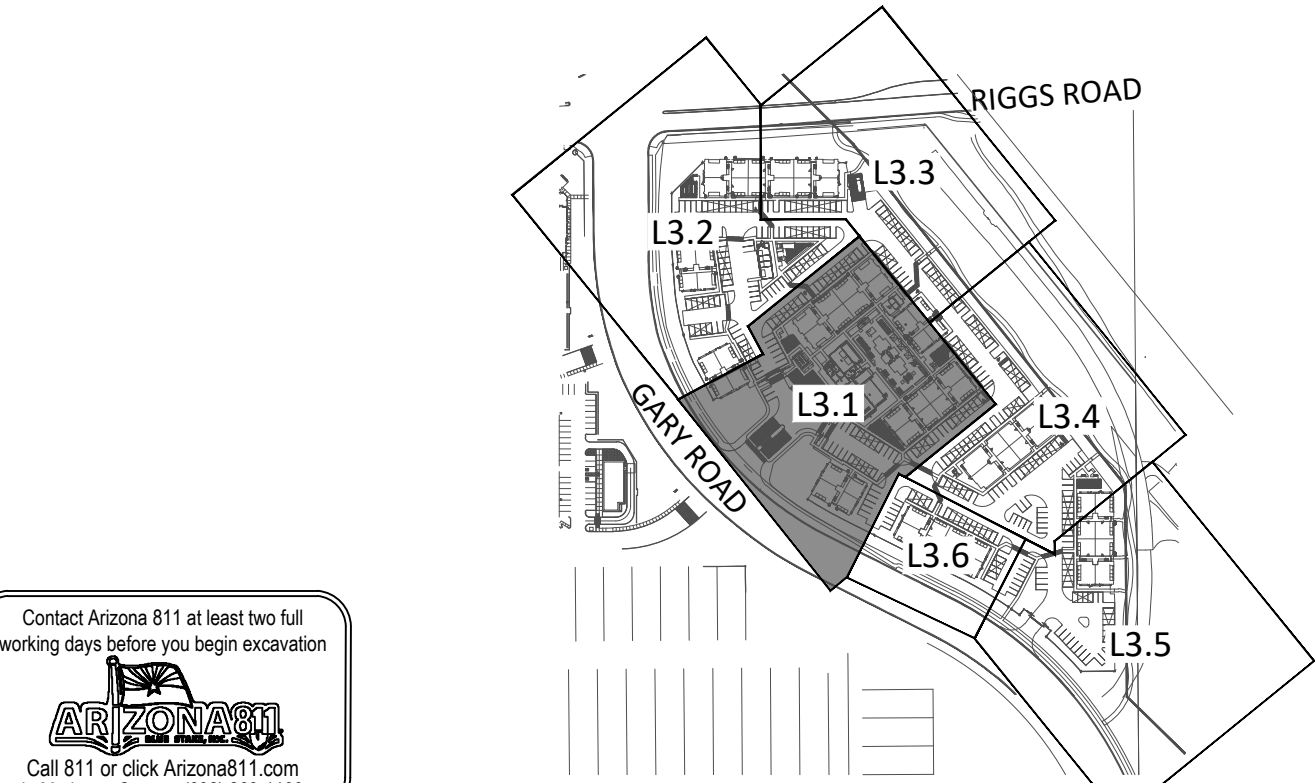
Key Map Not To Scale

PLANT MATERIALS LEGEND

Trees	Size	Quantity
Acacia aneura	24" box	18
Mulga Acacia		
Acacia willardiana	24" box	8
Palo Blanco		
Caesalpinia cacalaco 'Smoothie'	24" box	19
Thornless Cascalote		
Fraxinus velutina 'Rio Grande'	24" box	66
Fan-Tex Ash		
Oleaya tesota	48" box	4
Ironwood		
Phoenix dactylifera	20'	22
Date Palm		
Pistacia X 'Red Push'	24" box	48
Red Push Pistache		
Pistacia lentiscus	36" box	9
Mastic Tree	Multi-Trunk	
Quercus virginiana	24" box	65
'Heritage' Oak		
Sophora secundiflora	24" box	4
Texas Mountain Laurel		

Extra Large Shrubs	Size	Quantity	Cacti/ Accents	Size	Quantity	
Caesalpinia pulcherrima	5 gal.	169	Agave 'Blue Glow'	5 gal.	61	
Red Bird of Paradise	5 gal.	108	Agave bovicornuta	15 gal.	8	
Callistemon viminalis 'CV01' Slim	5 gal.	171	Agave schidgera	5 gal.	25	
Slim Dwarf Bottlebrush	5 gal.	74	Duango Delight Agave	24" box	12	
Dodonea viscosa	5 gal.	36	Agave sisalana	24" box	12	
Hopbush	5 gal.	196	Sisal Agave	15 gal.	23	
Tecoma alata 'Orange Jubilee'	5 gal.	260	Agave weberi	1 gal.	29	
Orange Jubilee	5 gal.	126	Weber's Agave	5 gal.	10	
Tecoma sp. 'Sparky'	5 gal.	126	Bouteloua gracilis	5 gal.	79	
Sparky	5 gal.	14	Blond Ambition	5 gal.	35	
Tecoma x 'Bells of Fire'	5 gal.	14	Mexican Grass Tree	5 gal.	20	
Bells of Fire	5 gal.	54	Dasyliroion wheeleri	5 gal.	27	
Large Shrubs	Size	Quantity	Dasyliroion quadrangulum	5 gal.	27	
Calliandra sp.	5 gal.	260	Mexican Grass Tree	5 gal.	27	
Sierra Star Fairy Duster	5 gal.	126	Dasyliroion wheeleri	5 gal.	79	
Cassia artemesoides 'Silver'	5 gal.	126	Desert Spoon	5 gal.	35	
Silver Cassia	5 gal.	14	Echinocereus grusonii	5 gal.	35	
Justicia californica	5 gal.	14	Golden Barrel	8 arm, 4' min.	20	
Red Chuparosa	5 gal.	54	Euphorbia royleana	20		
Larrea tridentata	5 gal.	192	Churee	8 cane	min.	27
Creosote	5 gal.	43	Fouquieria splendens	8 cane	min.	27
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	43	Ocotillo	3 gal.	588	
Lynn's Legacy Sage	5 gal.	43	Hesperaloe parviflora	3 gal.	588	
Viguiera deltoidea	5 gal.	43	'Brakelights' Red Yucca	3 gal.	303	
Goldeneye	5 gal.	20	Hesperaloe sp. Pink Parade	3 gal.	303	
Medium Shrubs	Size	Quantity	Pink Parade Hesperaloe	3 gal.	303	
Bougainvillea Torch Glow	5 gal.	20	Muhlenbergia capillaris	5 gal.	33	
Torch Glow Bougainvillea	5 gal.	313	'Regal Mist'	5 gal.	33	
Eremophila glabra spp. carnososa	5 gal.	313	Muhlenbergia rigens 'Nashville'	1 gal.	151	
Winter Blaze	5 gal.	681	Purple Muhly	1 gal.	151	
Eremophila hygrophana Blue Bells	5 gal.	681	Nolina microcarpa	5 gal.	26	
Blue Bells	5 gal.	41	Beargrass	5 gal.	26	
Ericameria laricifolia	5 gal.	41	Pachyocereus marginatus	12		
Turpentine Bush	5 gal.	33	Mexican Fence Post Cactus	3 arm, 5' min.	90	
Leucophyllum frutescens 'compacta'	5 gal.	33	Pedilanthus macrocarpus	5 gal.	90	
Compact Texas Sage	5 gal.	9	Slipper Plant	4' Min.	3	
Perovskia atriplicifolia	5 gal.	9	Stenocereus thurberi	3 Arm,	20 gal.	5
Russian Sage	5 gal.	7	Organ Pipe Cactus	3 Arm,	20 gal.	5
Punica granatum	5 gal.	237	Yucca rostrata	5 gal.	221	
Dwarf Pomegranate	5 gal.	35	Beaked Yucca	15 gal.	12	
Ruellia peninsularis	5 gal.	35	Yucca rupicola	15 gal.	12	
Ruellia peninsularis	5 gal.	35	Twisted Leaf Yucca	15 gal.	12	
Simmondsia Chinensis 'Vista'	5 gal.	35	Vines	Size	Quantity	
Compact Jojoba	5 gal.	35	Bougainvillea 'Barbara Karst'	15 gal.	12	
Small Shrubs	Size	Quantity	Bougainvillea wire to palms with fishing line	15 gal.	12	
Ambrosia deltoidea	1 gal.	247	Inerts	Size	Quantity	
Triangle Leaf Bursage	1 gal.	129	Decomposed Granite 3/4" Screened	175,183 s.f.		
Callistemon viminalis 'Little John'	5 gal.	129	Carmel - By Rock Pros	10,999 s.f.		
Little John Bottle Brush	5 gal.	315	Decomposed Granite 1/4" Minus, Compacted	1,739 s.f.		
Myrtus communis 'compacta'	5 gal.	315	Carmel - By Rock Pros	1,632 s.f.		
Dwarf Myrtle	5 gal.	263	Turf - Mid-Iron Sod	731 s.f.		
Olea europaea "Little Ollie"	5 gal.	263	Artificial Turf	616 s.f.		
Little Ollie Dwarf Olive	5 gal.	158	E.P.D.M. - Play Surface	654 s.f.		
Groundcovers	Size	Quantity	Concrete Header	384 l.f.		
Eremophila prostrata	1 gal.	355	Standard Color and Finish	59 l.f.		
Outback Sunrise Eremophila	1 gal.	181	Concrete Header Turndown	54 l.f.		
Lantana montevidensis	1 gal.	181	Concrete Turndown	8,444 s.f.		
Purple Trailing Lantana	1 gal.	30	See Details x, Sheet L6.x	69,875 s.f.		
Lantana sp.	1 gal.	30	SRP Easement Seed Mix			
'New Gold' Lantana	1 gal.	158	All weight is in Pure Live Seed			
Rosmarinus officinalis 'Prostratus'	1 gal.	136	* SEE SHEET L3.0 FOR SEED MIX			
Trailing Rosemary	1 gal.	72				
Setcreasea pallida	1 gal.					
Purple Heart	1 gal.					
Wedelia trilobata	1 gal.					
Wedelia	1 gal.					

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES



Key Map Not To Scale

Acero Harvest Station
Site Plan
SEC Riggs Road
Queen Creek, AZ
Gary Road
Planting Plan



revisions

1	
2	
3	
4	

issued for

design dev.	○
city submittal	●
bid package	○
construction	○

date issued 02.10.2022

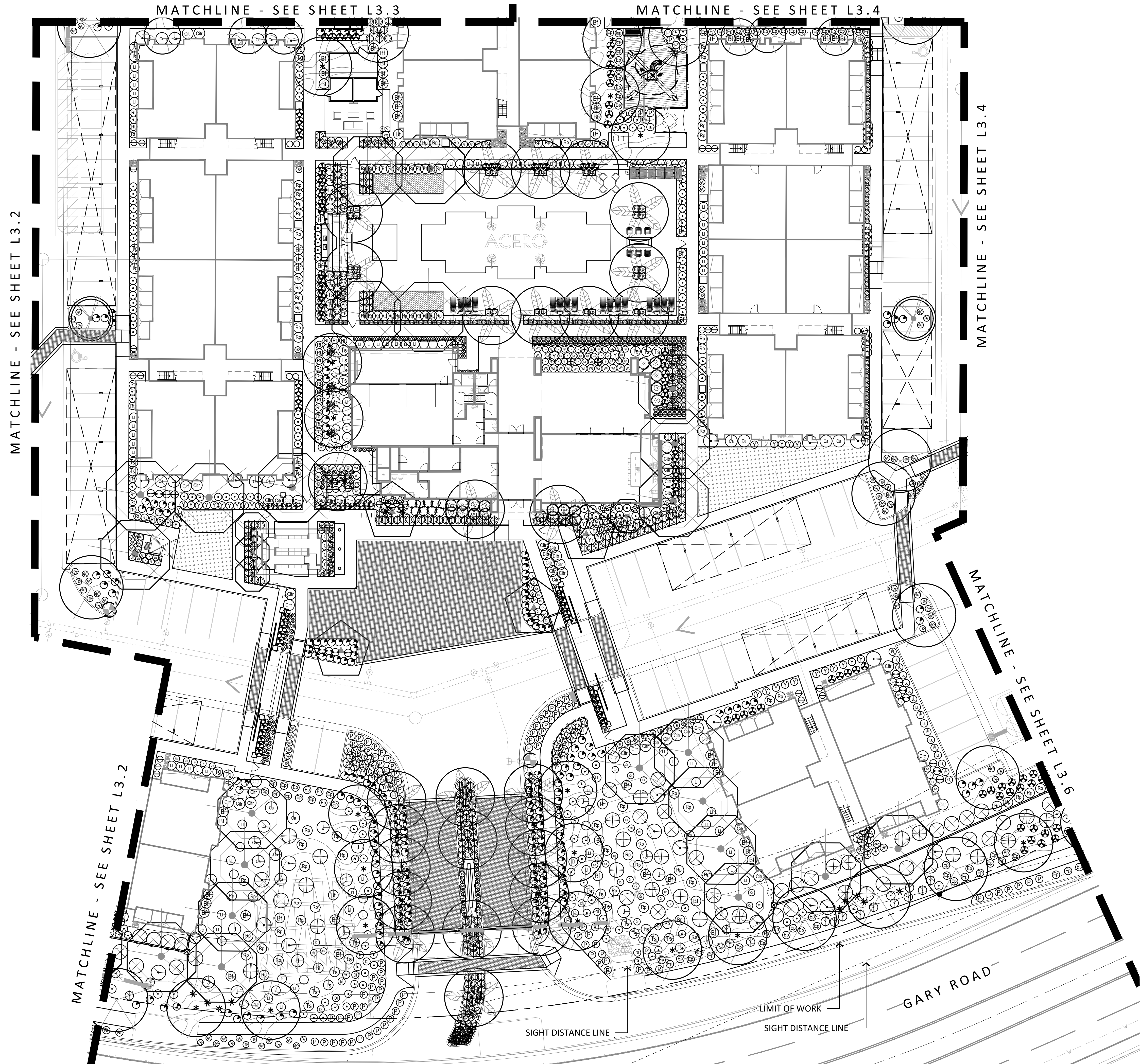
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checked by ba

project number 170-xxx-xx

sheet number





FRONT/REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT/RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE

TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE

TAG	MATERIAL	MANUFACTURER	PRODUCT NO. / COLOR / TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	VINTAGE WOOD	
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
 QUEEN CREEK, AZ

dwg name: PRELIMINARY ELEVATION
 BUILDING TYPE 1
 dwg no: SD2.11
 date: 12-09-2021
 job no: 2021.14 log no:



FRONT/REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT/RIGHT ELEVATION


SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE				
TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	VINTAGE WOOD	
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	



BMA ARCHITECTURE
2915 East Baseline Road, Suite 120 - Gilbert, AZ 85234
p. 480.659.1524 | www.BMAarchitecture.com



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
 QUEEN CREEK, AZ

dwg name: **PRELIMINARY ELEVATION
BUILDING TYPE 3**

dwg no: **SD2.31**

date: 12-09-2021

job no: 2021.14 log no:



FRONT/REAR ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE				
TAG	MATERIAL	MANUFACTURER	PRODUCT NO. / COLOR / TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	VINTAGE WOOD	
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	



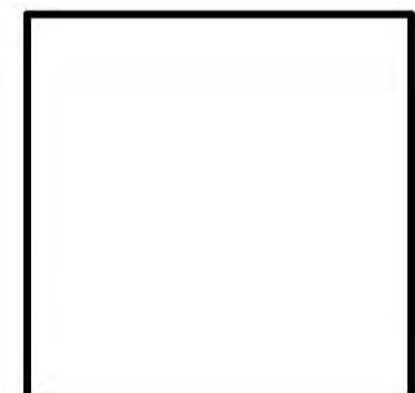
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ



dwg name: PRELIMINARY BUILDING TYPE 4
dwg no: SD2.41
date: 12.09.2021
job no: 2021.14 log no:



UNIT B1
UNIT B1
UNIT B1

UNIT B2
UNIT B2
UNIT B2

UNIT B2
UNIT B2
UNIT B2

UNIT B1
UNIT B1
UNIT B1

FRONT/REAR ELEVATION

SCALE: 1/8" = 1'-0"



UNIT B1
UNIT B1
UNIT B1

UNIT B1
UNIT B1
UNIT B1

LEFT/RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE				
TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	BARK EPC763F	FIBER CEMENT BOARD
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	
(12)	MTL ROOF STRUCTURE	T.B.D.	T.B.D.	
(13)	MTL AWNING	T.B.D.	T.B.D.	



PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY ELEVATIONS BUILDING TYPE 6
dwg no: SD2.61
date: 02-28-2022
job no: 2021.14 log no:



FRONT/REAR ELEVATION - BLD 7
SCALE: 1/8" = 1'-0"



RIGHT/LEFT ELEVATION - BLD 7
SCALE: 1/8" = 1'-0"

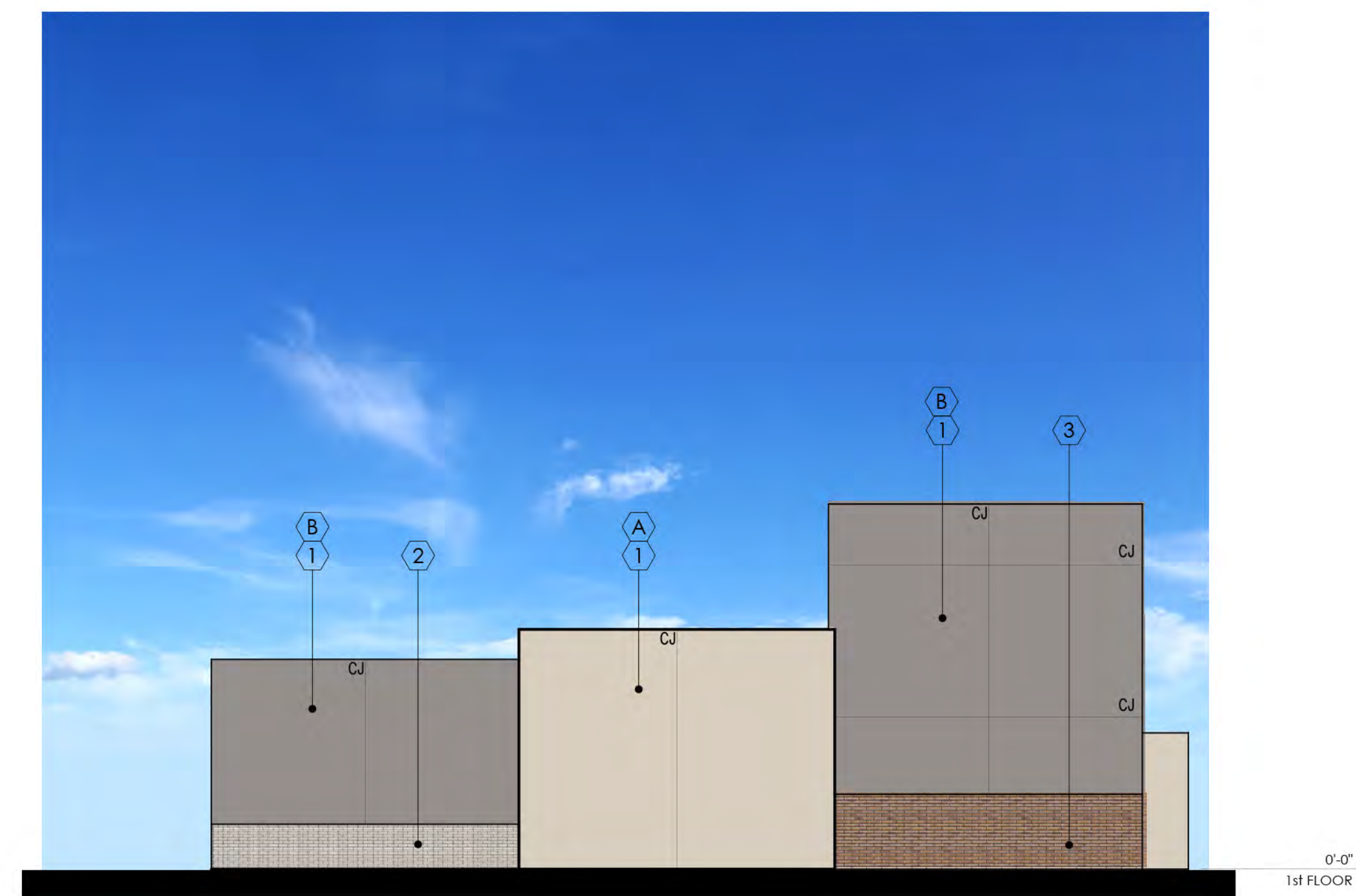
EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE				
TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	BARK EPC763F	FIBER CEMENT BOARD
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	
(12)	MTL ROOF STRUCTURE	T.B.D.	T.B.D.	
(13)	MTL AWNING	T.B.D.	T.B.D.	



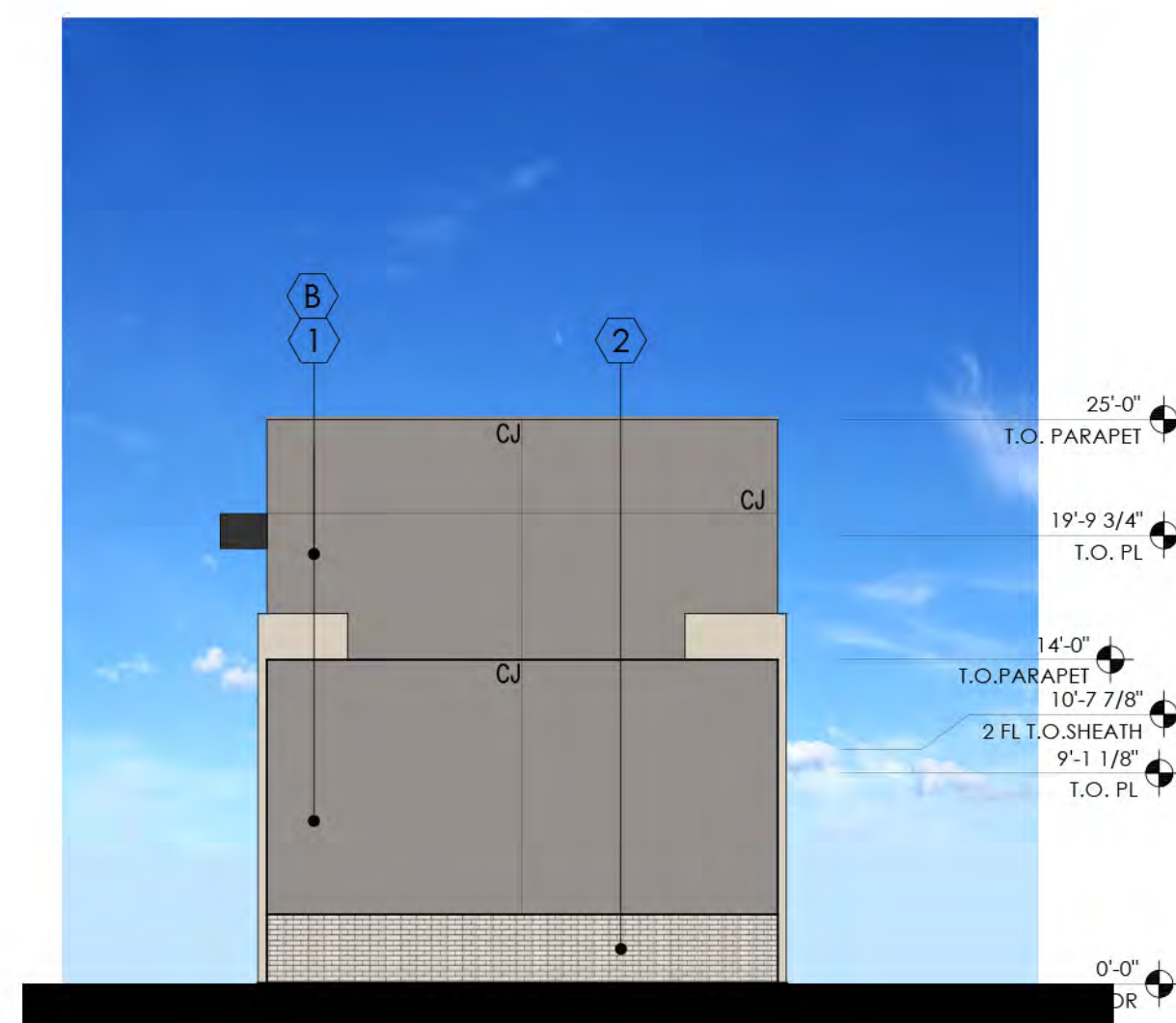
FRONT ELEVATION - GARAGE/MAINT

SCALE: 1/8" = 1'-0"



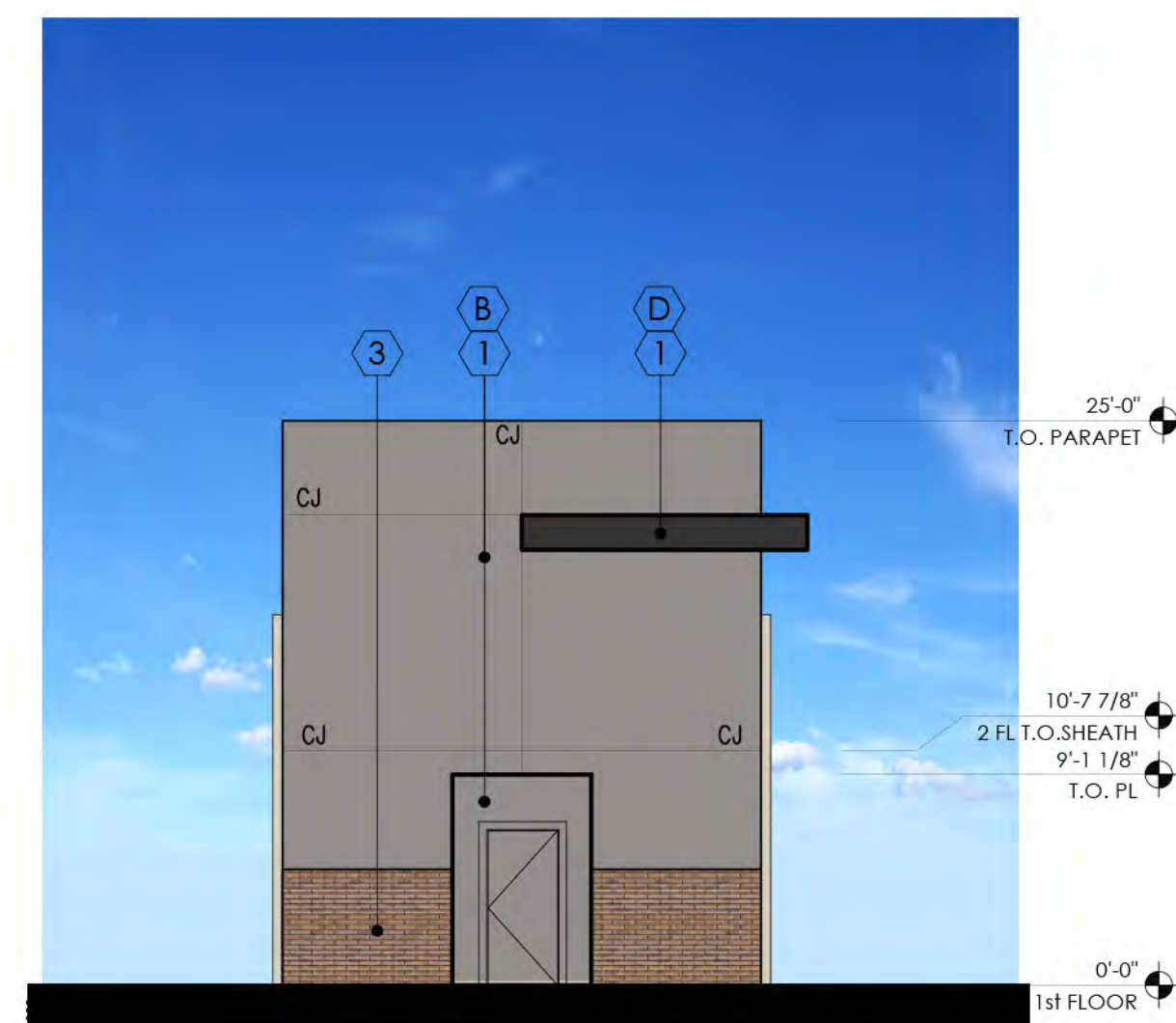
REAR ELEVATION - GARAGE/MAINT

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION - GARAGE/MAINT

SCALE: 1/8" = 1'-0"



LEFT ELEVATION - GARAGE/MAINT

SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE				
TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	BARK EPC763F	FIBER CEMENT BOARD
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	



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PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY ELEVATIONS
GARAGE/MAINT BUILDING

dwg no: SD4.30

date: 12-9-2021

job no: 2021.14 log no:



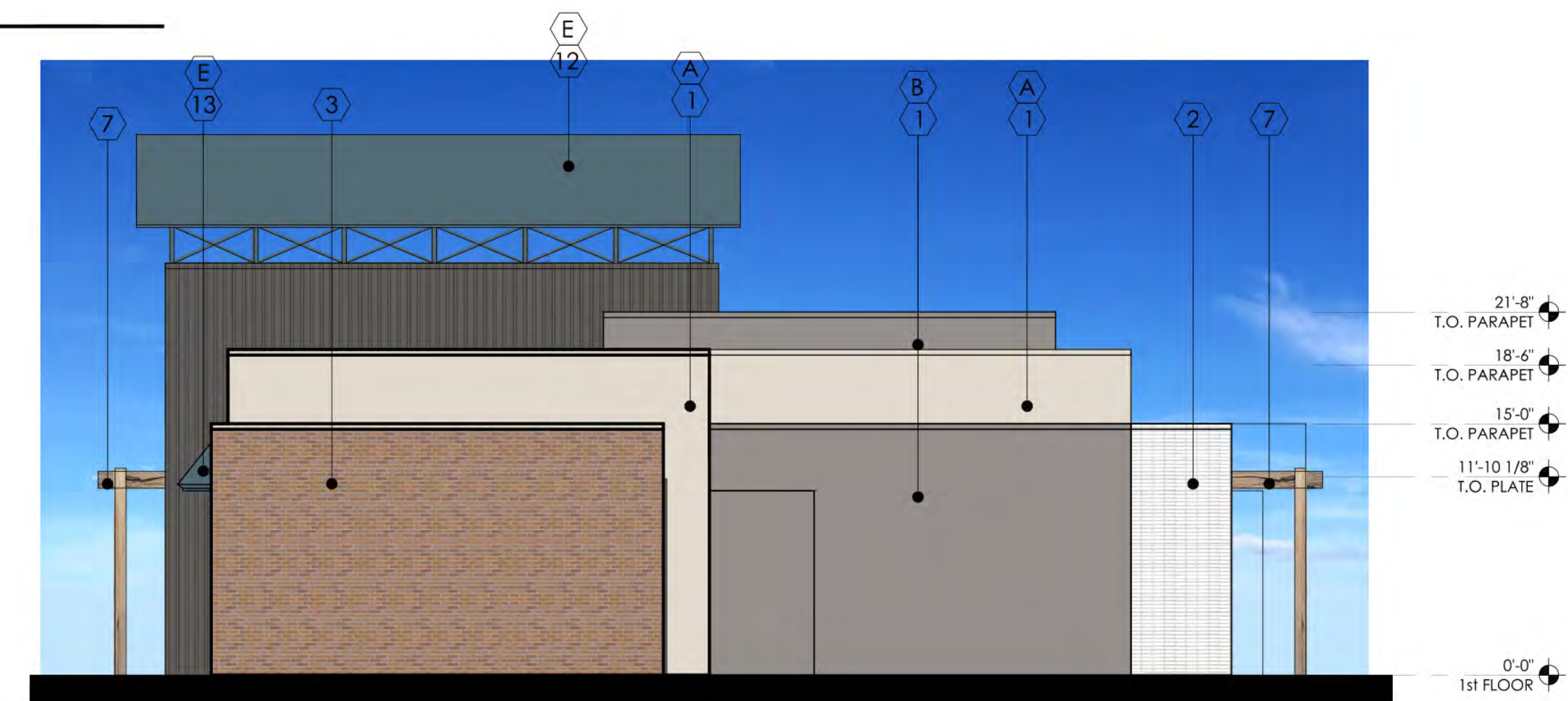
FRONT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



LEFT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



REAR ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"

EXTERIOR PAINT SCHEDULE

TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

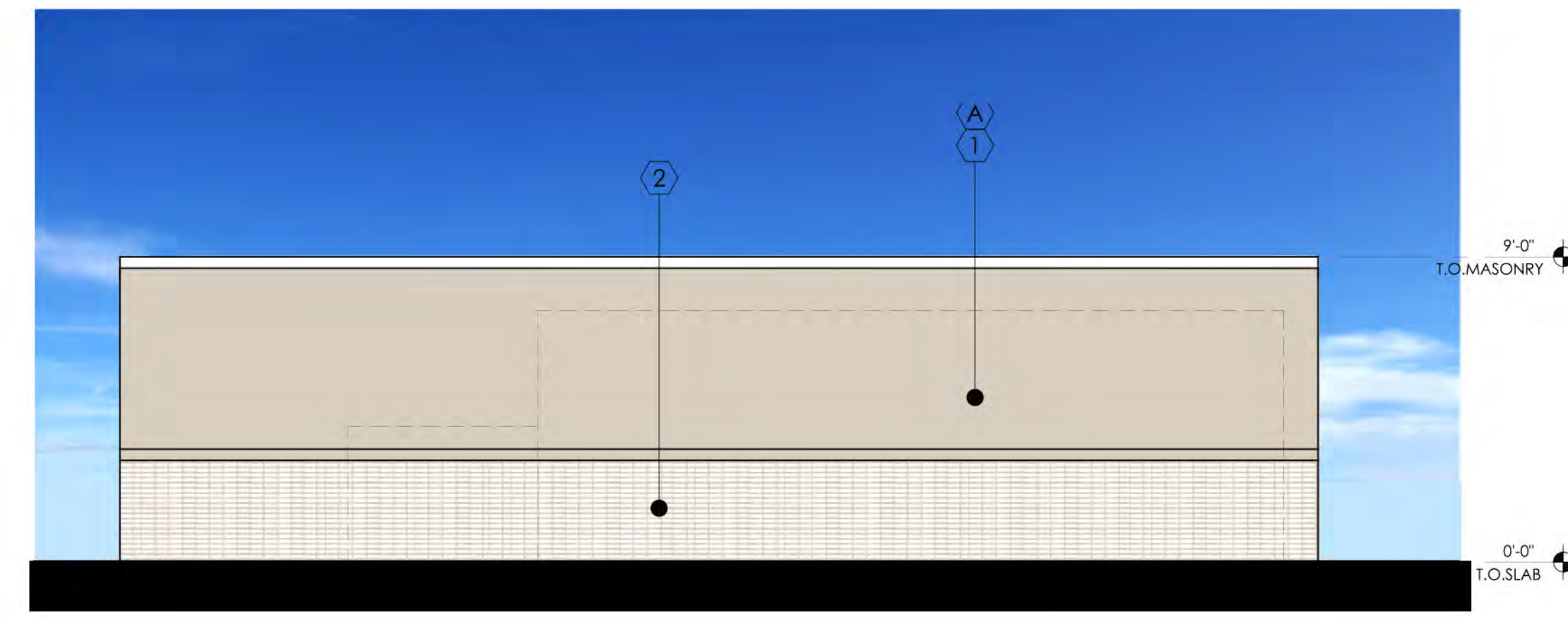
EXTERIOR MATERIAL SCHEDULE

TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	BARK EPC763F	FIBER CEMENT BOARD
(5)	STEEL GUARD RAILING			
(6)	VERTICAL METAL SIDING			
(7)	OUTRIGGER		W/ FAUX WD TIMBERS	SEE DETAIL 407/A8.40
(8)	CORRUGATED MTL ROOF		W/ METAL BRACKETS	SEE DETAL 405/A8.40
(9)	POP-UP WALL			
(10)	MTL SIDING POP-OUT		COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL			SEE DETAIL 310/A8.30
(12)	MTL ROOF STRUCTURE			
(13)	MTL AWNING			



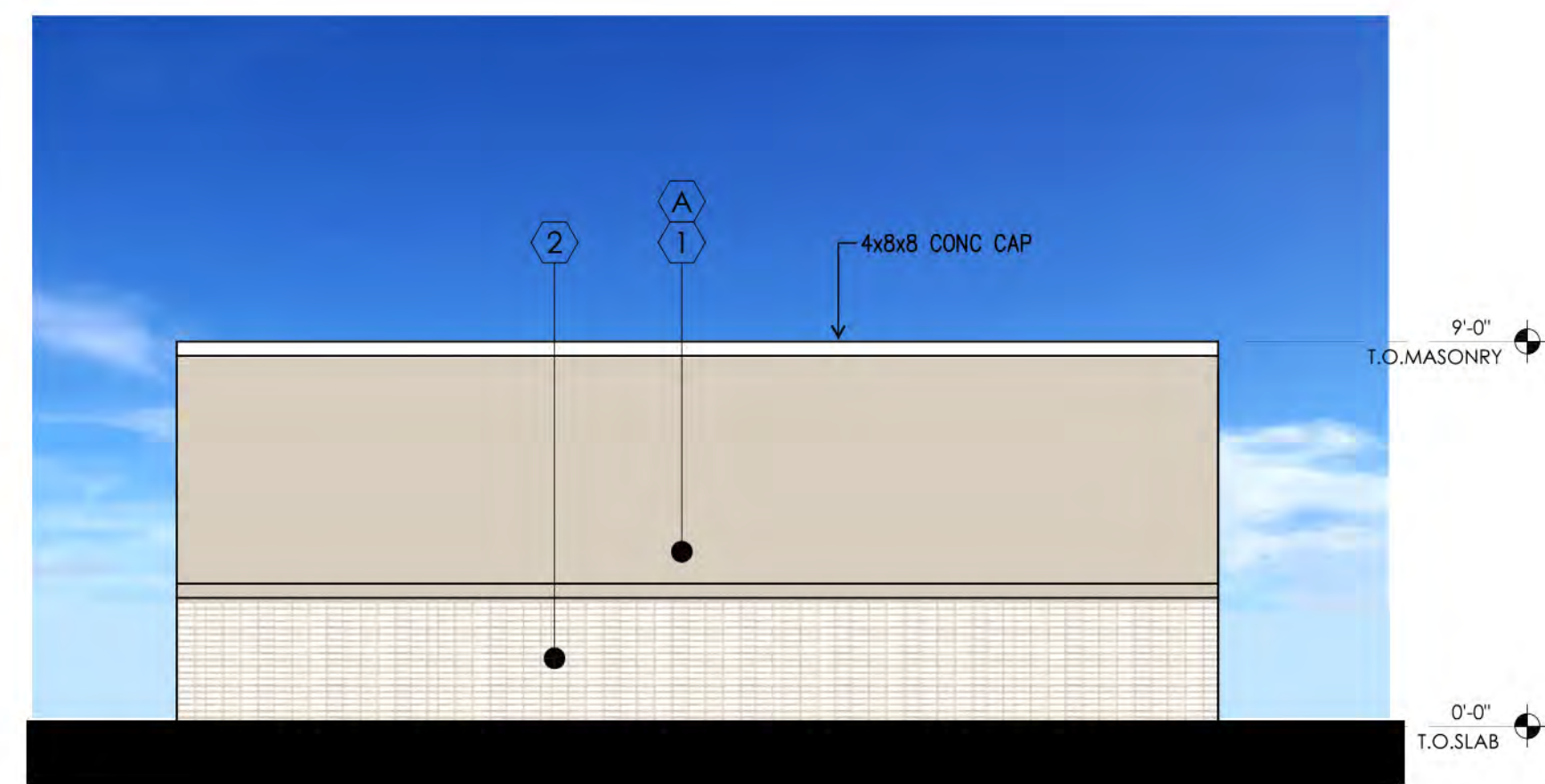
FRONT ELEVATION - COMPACTOR

SCALE: 1/4" = 1'-0"



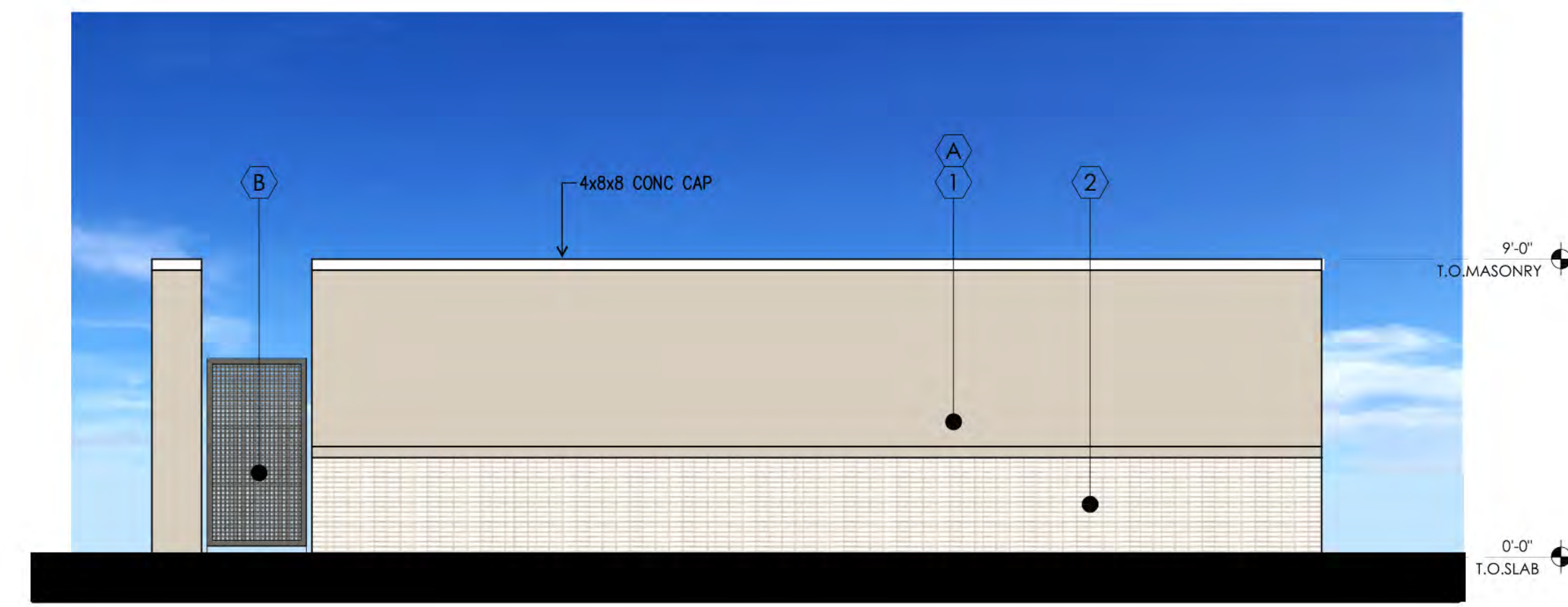
LEFT ELEVATION - COMPACTOR

SCALE: 1/4" = 1'-0"



REAR ELEVATION - COMPACTOR

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - COMPACTOR

SCALE: 1/4" = 1'-0"

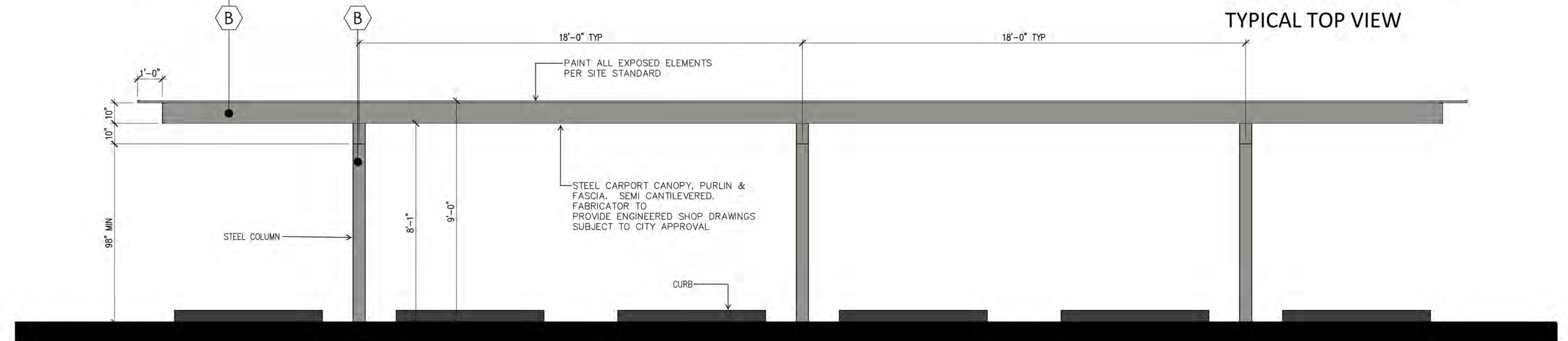
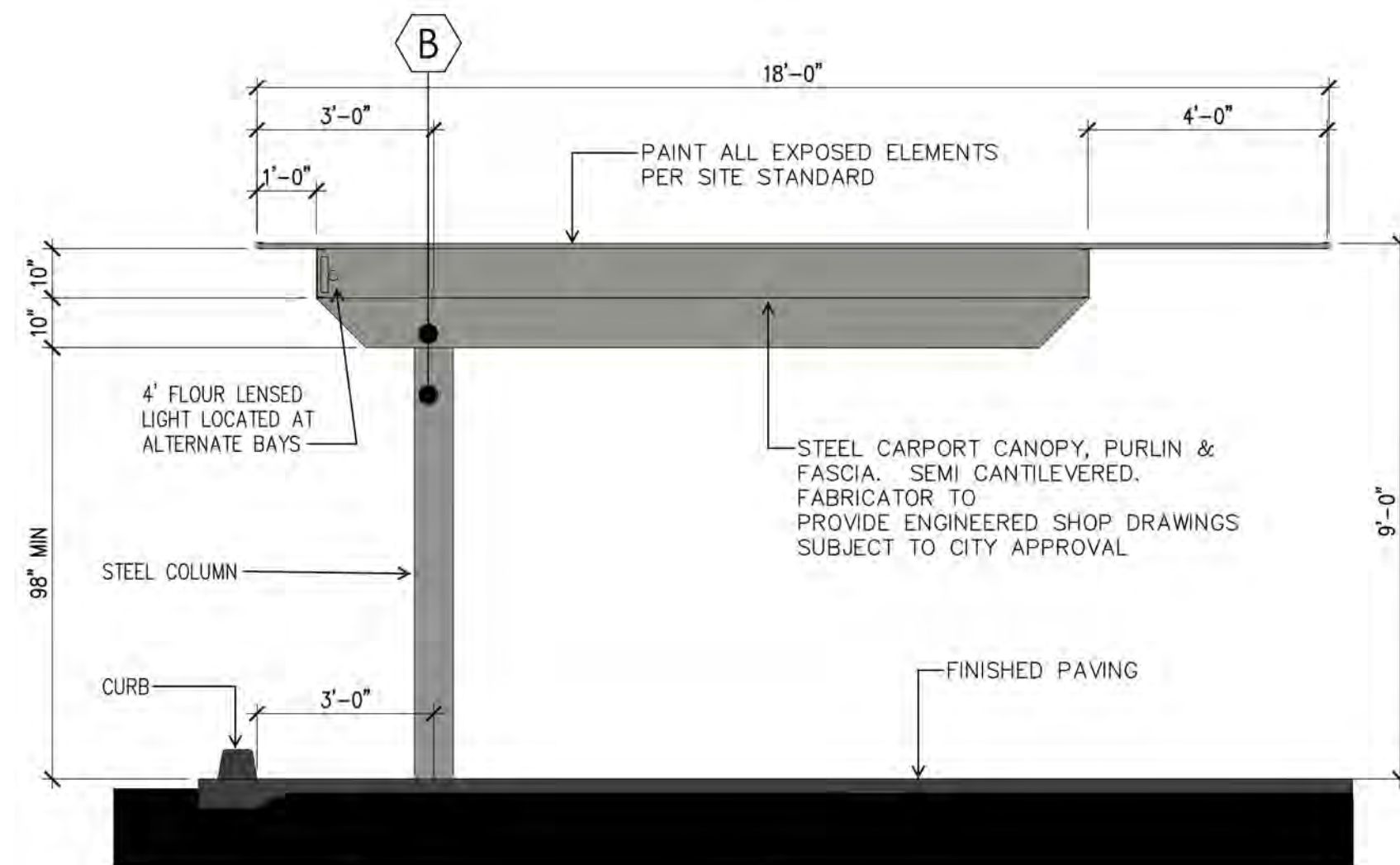
EXTERIOR PAINT SCHEDULE

TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR

EXTERIOR MATERIAL SCHEDULE

TAG	MATERIAL	MANUFACTURER	PRODUCT NO./ COLOR/ TEXTURE	NOTES
(1)	1 COAT STUCCO SYSTEM		LIGHT LACE	
(2)	BRICK VENEER	BRICK IT	WINTER WHITE	STACKED BOND
(3)	BRICK VENEER	INTERSTATE	COPPERSTONE	
(4)	HORIZONTAL SIDING	NICHIHA BOARD	VINTAGE WOOD	
(5)	STEEL GUARD RAILING	T.B.D.	T.B.D.	
(6)	VERTICAL METAL SIDING	T.B.D.	T.B.D.	
(7)	PERGOLA	OLDCASTLE / ECHELON	W/ FAUX WD TIMBERS	
(8)	CORRUGATED MTL ROOF	-	W/ METAL BRACKETS	
(9)	POP-UP WALL	-	-	
(10)	MTL SIDING POP-OUT	T.B.D.	COLOR TO MATCH ADJACENT SIDING	
(11)	MTL MESH SCREEN WALL	T.B.D.	T.B.D.	

EXTERIOR PAINT SCHEDULE			
TAG	MANUFACTURER	COLOR	NOTES
(A)	DUNN EDWARDS	DE 6213 - FINE GRAIN	BLDG. COLOR
(B)	SHERWIN WILLIAMS	SW 7018 - DOVETAIL	BLDG. COLOR
(C)	SHERWIN WILLIAMS	SW 7048 - URBANE BRONZE	BLDG. COLOR
(D)	SHERWIN WILLIAMS	SW 6991 - BLACK MAGIC	TRIM COLOR / METAL WORK
(E)	SHERWIN WILLIAMS	SW 6229 - TEMPE STAR	ACCENT COLOR
(F)	SHERWIN WILLIAMS	SW 6222 - RIVERWAY	ACCENT COLOR



NOTES:
 DETAIL FOR REFERENCE ONLY. CARPORTS UNDER SEPARATE PERMIT VIA DEFERRED SUBMITTAL.
 SEMI-GLOSS PAINT ("A" SEE EXTERIOR FINISH SCH).
 PURLINS, BEAMS & COLUMNS DECKING BAKED ENAMEL IN PRE-FINISH COLOR.
 PROVIDE ARCHITECT SAMPLES TO CHOOSE, WHITE SHALL NOT BE ACCEPTABLE.

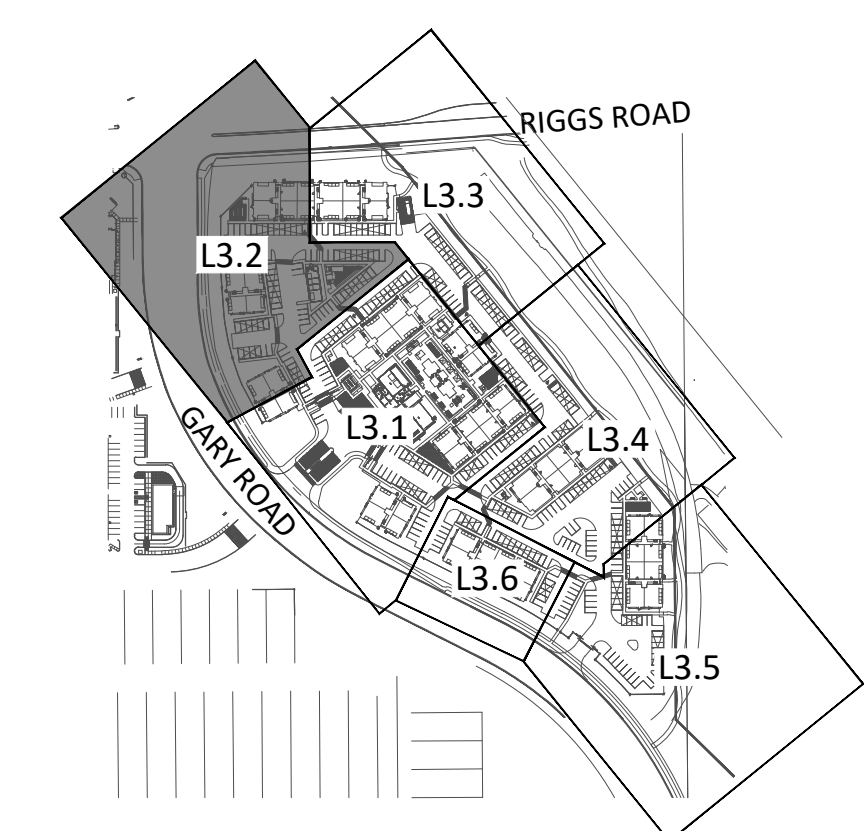
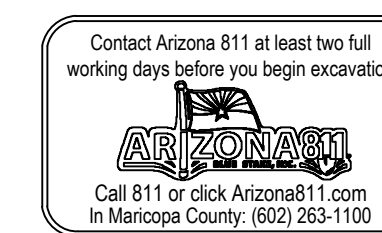
111 CARPORT SECTION
 3/8" = 1'-0"

PLANT MATERIALS LEGEND

Trees	Size	Quantity
Acacia aneura	24" box	18
Mulga Acacia		
Acacia willardiana	24" box	8
Palo Blanco		
Caesalpinia cacalaco 'Smoothie'	24" box	19
Thornless Cascalote		
Fraxinus velutina 'Rio Grande'	24" box	66
Fan-Tex Ash		
Oleaya tesota	48" box	4
Ironwood		
Phoenix dactylifera	20'	22
Date Palm		
Pistacia X 'Red Push'	24" box	48
Red Push Pistache		
Pistacia lentiscus	36" box	9
Mastic Tree	Multi-Trunk	
Quercus virginiana	24" box	65
'Heritage' Oak		
Sophora secundiflora	24" box	4
Texas Mountain Laurel		

Extra Large Shrubs	Size	Quantity	Cacti/ Accents	Size	Quantity
Caesalpinia pulcherrima	5 gal.	169	Agave 'Blue Glow	5 gal.	61
Red Bird of Paradise			Blue Glow Agave		
Callistemon viminalis 'CV01' Slim	15 gal.	108	Agave bovicornuta	15 gal.	8
Slim Dwarf Bottlebrush			Cow's Horn		
Dodonea viscosa	5 gal.	171	Agave schidgera	5 gal.	25
Hopbush			Duango Delight Agave		
Tecoma alata 'Orange Jubilee'	5 gal.	74	Agave sisalana	24" box	12
Orange Jubilee			Sisal Agave		
Tecoma sp. 'Sparky'	5 gal.	36	Agave weberi	15 gal.	23
Sparky			Weber's Agave		
Tecoma x 'Bells of Fire'	5 gal.	196	Bouteloua gracilis	1 gal.	29
Bells of Fire			Blond Ambition		
Large Shrubs			Dasylirotr quadrangulatum	5 gal.	10
Calliandra sp.	5 gal.	260	Mexican Grass Tree		
Sierra Star Fairy Duster			Dasylirotr wheeleri		
Cassia artemesoides 'Silver'	5 gal.	126	Desert Spoon	5 gal.	79
Silver Cassia			Echinocereus grusonii	5 gal.	35
Justicia californica	5 gal.	14	Golden Barrel		
Red Chuparosa			Euphorbia royleana	8 arm, 4' min.	20
Larrea tridentata	5 gal.	54	Churee		
Creosote			Fouquieria splendens	8 cane	27
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	192	Ocotillo		
Lynn's Legacy Sage			Hesperaloe parviflora	3 gal.	588
Viguiera deltoidea	5 gal.	43	'Brakelights' Red Yucca		
Goldeneye			Hesperaloe sp. Pink Parade	3 gal.	303
Medium Shrubs			Pink Parade Hesperaloe		
Bougainvillea Torch Glow	5 gal.	20	Muhlenbergia capillaris	5 gal.	33
Torch Glow Bougainvillea			'Regal Mist'		
Eremophila glabra spp. carnososa	5 gal.	313	Muhlenbergia rigens 'Nashville'	1 gal.	151
Winter Blaze			Purple Muhly		
Eremophila hygrophana Blue Bells	5 gal.	681	Nolina microcarpa	5 gal.	26
Blue Bells			Beargrass		
Ericameria larcifolia	5 gal.	41	Pachycereus marginatus		
Turpentine Bush			Mexican Fence Post Cactus	3 arm, 5' min.	12
Leucophyllum frutescens 'compacta'	5 gal.	33	Pedilanthus macrocarpus	5 gal.	90
Compact Texas Sage			Slipper Plant		
Perovskia atriplicifolia	5 gal.	9	Stenocereus thurberi	4' Min.	3
Russian Sage			Organ Pipe Cactus		
Punica granatum	5 gal.	7	Yucca rostrata	3 Arm,	20 gal.
Dwarf Pomegranate			Beaked Yucca		
Ruellia peninsularis	5 gal.	237	Yucca rupicola	5 gal.	221
Desert Ruellia			Twisted Leaf Yucca		
Simmondsia Chinensis 'Vista'	5 gal.	35	Vines	Size	Quantity
Compact Jojoba			Bougainvillea 'Barbara Karst'	15 gal.	12
Small Shrubs			Bougainvillea wire to palms with fishing line		
Ambrosia deltoidea	1 gal.	247	Inerts	Size	Quantity
Triangle Leaf Bursage			Decomposed Granite 3/4" Screened		
Callistemon viminalis 'Little John'	5 gal.	129	Carmel - By Rock Pros	175,183 s.f.	
Little John Bottle Brush			Decomposed Granite 1/4" Minus, Compacted		
Myrtus communis 'compacta'	5 gal.	315	Carmel - By Rock Pros	10,999 s.f.	
Dwarf Myrtle			Turf - Mid-Iron Sod	1,739 s.f.	
Olea europaea "Little Ollie"	5 gal.	263	Artificial Turf	1,632 s.f.	
Little Ollie Dwarf Olive			E.P.D.M - Play Surface	731 s.f.	
Groundcovers			Decomposed Granite 1/4" Minus	616 s.f.	
Eremophila prostrata	1 gal.	355	Carmel - By Rock Pros	654 s.f.	
Outback Sunrise Eremophila			Carmel - By Rock Pros		
Lantana montevidensis	1 gal.	181	Cobble, Size Per Civil		
Purple Trailing Lantana			Carmel - By Rock Pros		
Lantana sp.	1 gal.	30	Concrete Header	6" Wide	384 l.f.
'New Gold' Lantana			Standard Color and Finish		
Rosmarinus officinalis 'Prostratus'	1 gal.	158	Concrete Header Turndown	6" Wide	59 l.f.
Trailing Rosemary			Standard Color and Finish		
Setcreasea pallida	1 gal.	136	Concrete Turndown		
Purple Heart					
Wedelia trilobata	1 gal.	72			
Wedelia					

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES



Key Map Not To Scale

Acero Harvest Station
Site Plan
SEC Riggs Road
Queen Creek, AZ
Gary Road
Planting Plan



revisions

1	
2	
3	
4	

issued for

design dev.	○
city submittal	●
bid package	○
construction	○

date issued 02.10.2022

scale 1/20

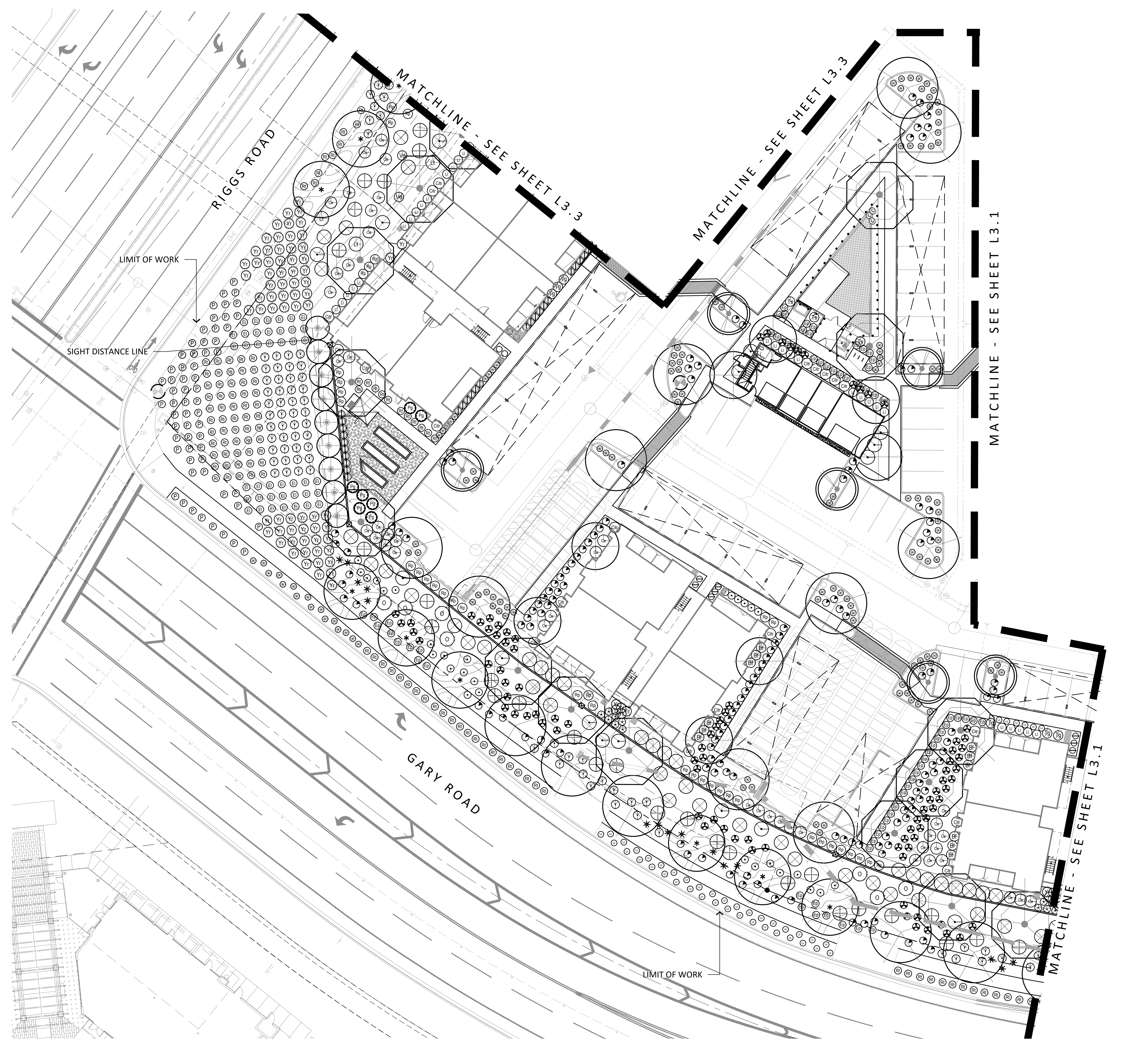
drawn by jc, ic

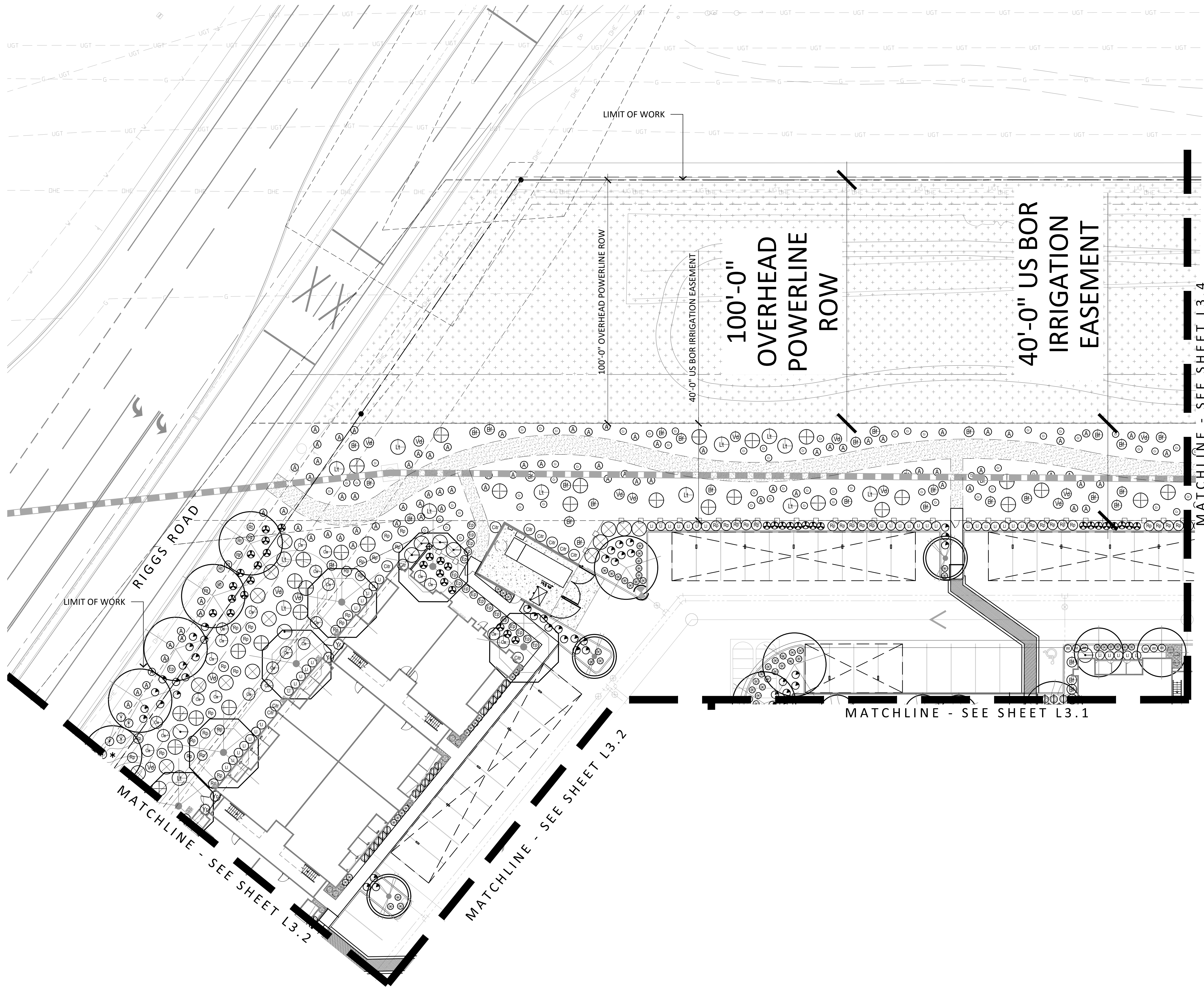
checked by ba

project number 170-xxx-xx

sheet number

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PLANT MATERIALS LEGEND

Symbol	Plant Name	Size	Quantity
○	Acacia aneura	24" box	18
○	Mulga Acacia	24" box	8
○	Acacia willardiana	24" box	8
○	Palo Blanco	24" box	19
○	Caesalpinia cacalaco 'Smoothie'	24" box	19
○	Thornless Cascalote	24" box	66
○	Fraxinus velutina 'Rio Grande'	24" box	66
○	Fan-Tex Ash	48" box	4
○	Olneya tesota	48" box	4
○	Ironwood	20'	22
○	Phoenix dactylifera	20'	22
○	Date Palm	24" box	48
○	Pistacia X 'Red Push'	24" box	48
○	Red Push Pistache	36" box	9
○	Pistacia lentiscus	Multi-Trunk	65
○	Mastic Tree	24" box	4
○	Quercus virginiana	24" box	4
○	'Heritage' Oak	24" box	4
○	Sophora secundiflora	24" box	4
○	Texas Mountain Laurel	24" box	4

Symbol	Plant Name	Size	Quantity
○	Caesalpinia pulcherrima	5 gal.	169
○	Callistemon viminalis 'CV01' Slim	15 gal.	108
○	Slim Dwarf Bottlebrush	5 gal.	171
○	Dodonea viscosa	5 gal.	74
○	Hopbush	5 gal.	36
○	Tecoma alata 'Orange Jubilee'	5 gal.	196
○	Orange Jubilee	5 gal.	36
○	Tecoma sp. 'Sparky'	5 gal.	36
○	Sparky	5 gal.	36
○	Tecoma x 'Bells of Fire'	5 gal.	196
○	Bells of Fire	5 gal.	196
○	Large Shrubs	5 gal.	260
○	Calliandra sp.	5 gal.	126
○	Sierra Star Fairy Duster	5 gal.	126
○	Cassia artemesoides 'Silver'	5 gal.	14
○	Silver Cassia	5 gal.	14
○	Justicia californica	5 gal.	54
○	Red Chuparosa	5 gal.	192
○	Larrea tridentata	5 gal.	43
○	Creosote	5 gal.	43
○	Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	192
○	Lynn's Legacy Sage	5 gal.	192
○	Viguiera deltoidea	5 gal.	43
○	Goldeneye	5 gal.	43
○	Medium Shrubs	5 gal.	20
○	Bougainvillea Torch Glow	5 gal.	20
○	Torch Glow Bougainvillea	5 gal.	20
○	Eremophila glabra spp. carnososa	5 gal.	313
○	Winter Blaze	5 gal.	313
○	Eremophila hygrophana Blue Bells	5 gal.	681
○	Blue Bells	5 gal.	681
○	Ericameria larcifolia	5 gal.	41
○	Turpentine Bush	5 gal.	41
○	Leucophyllum frutescens 'compacta'	5 gal.	33
○	Compact Texas Sage	5 gal.	33
○	Perovskia atriplicifolia	5 gal.	9
○	Russian Sage	5 gal.	9
○	Punica granatum	5 gal.	7
○	Dwarf Pomegranate	5 gal.	7
○	Ruellia peninsularis	5 gal.	237
○	Desert Ruellia	5 gal.	237
○	Simmondsia Chinensis 'Vista'	5 gal.	35
○	Compact Jojoba	5 gal.	35
○	Small Shrubs	1 gal.	247
○	Ambrosia deltoidea	1 gal.	247
○	Triangle Leaf Bursage	1 gal.	247
○	Callistemon viminalis 'Little John'	5 gal.	129
○	Little John Bottle Brush	5 gal.	129
○	Myrtus communis 'compacta'	5 gal.	315
○	Dwarf Myrtle	5 gal.	315
○	Olea europaea 'Little Ollie'	5 gal.	263
○	Little Ollie Dwarf Olive	5 gal.	263
○	Groundcovers	1 gal.	355
○	Eremophila prostrata	1 gal.	355
○	Outback Sunrise Eremophila	1 gal.	181
○	Lantana montevidensis	1 gal.	181
○	Purple Trailing Lantana	1 gal.	30
○	Lantana sp.	1 gal.	30
○	'New Gold' Lantana	1 gal.	158
○	Rosmarinus officinalis 'Prostratus'	1 gal.	136
○	Trailing Rosemary	1 gal.	136
○	Setcreasea pallida	1 gal.	72
○	Purple Heart	1 gal.	72
○	Wedelia trilobata	1 gal.	72
○	Wedelia	1 gal.	72

Symbol	Plant Name	Size	Quantity
○	Agave 'Blue Glow'	5 gal.	61
○	Blue Glow Agave	5 gal.	61
○	Agave bovicornuta	15 gal.	8
○	Cow's Horn	15 gal.	8
○	Agave schidgera	5 gal.	25
○	Duango Delight Agave	5 gal.	25
○	Agave sisalana	24" box	12
○	Sisal Agave	24" box	12
○	Agave weberi	15 gal.	23
○	Weber's Agave	15 gal.	23
○	Bouteloua gracilis	1 gal.	29
○	Blond Ambition	1 gal.	29
○	Dasylirotr quadrangulatum	5 gal.	10
○	Mexican Grass Tree	5 gal.	10
○	Dasylirotr wheeleri	5 gal.	79
○	Desert Spoon	5 gal.	79
○	Echinocereus grusonii	5 gal.	35
○	Golden Barrel	8 arm, 4" min.	20
○	Churee	8 arm, 4" min.	20
○	Fouquieria splendens	8 cane	27
○	Ocotillo	8 cane	27
○	Hesperaloe parviflora	3 gal.	588
○	'Brakelights' Red Yucca	3 gal.	588
○	Hesperaloe sp. Pink Parade	3 gal.	303
○	Pink Parade Hesperaloe	3 gal.	303
○	Muhlenbergia capillaris	5 gal.	33
○	'Regal Mist'	5 gal.	33
○	Muhlenbergia rigens 'Nashville'	1 gal.	151
○	Purple Muhly	1 gal.	151
○	Nolina microcarpa	5 gal.	26
○	Beargrass	5 gal.	26
○	Pachycereus marginatus	3 arm, 5" min.	12
○	Mexican Fence Post Cactus	3 arm, 5" min.	12
○	Pedilanthus macrocarpus	5 gal.	90
○	Slipper Plant	5 gal.	90
○	Stenocereus thurberi	4' Min.	3
○	Organ Pipe Cactus	4' Min.	3
○	Yucca rostrata	3 Arm,	5
○	Beaked Yucca	20 Gal.	5
○	Yucca rupicola	5 gal.	221
○	Twisted Leaf Yucca	5 gal.	221
○	Vines	15 gal.	12
○	Bougainvillea 'Barbara Karst'	15 gal.	12
○	Bougainvillea	wire to palms with fishing line	12
○	Inerts	1,739 s.f.	
○	Decomposed Granite 3/4" Screened	1,739 s.f.	
○	Carmel - By Rock Pros	175,183 s.f.	
○	Decomposed Granite 1/4" Minus, Compacted	10,999 s.f.	
○	Carmel - By Rock Pros	10,999 s.f.	
○	Turf - Mid-Iron Sod	1,739 s.f.	
○	Artificial Turf	1,632 s.f.	
○	E.P.D.M. - Play Surface	731 s.f.	
○	Decomposed Granite 1/4" Minus	616 s.f.	
○	Carmel - By Rock Pros	616 s.f.	
○	Cobble, Size Per Civil	654 s.f.	
○	Carmel - By Rock Pros	654 s.f.	
○	Concrete Header	6" Wide	384 l.f.
○	Standard Color and Finish	6" Wide	384 l.f.
○	Concrete Header Turndown	6" Wide	59 l.f.
○	Standard Color and Finish	6" Wide	59 l.f.
○	Concrete Turndown	54 l.f.	
○	Vehicular Pavers	8,444 s.f.	
○	See Details x, Sheet L6.x	8,444 s.f.	
○	SRP Easement Seed Mix	69,875 s.f.	
○	All weight is in Pure Live Seed	69,875 s.f.	
○	* SEE SHEET L3.0 FOR SEED MIX		

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES

Acero Harvest Station
Site Plan
SEC Riggs Road
Gary Road
Queen Creek, AZ
Planting Plan



revisions

△	
△	
△	
△	

issued for
design dev. ○
city submittal ●
bid package ○
construction ○

date issued 02.10.2022

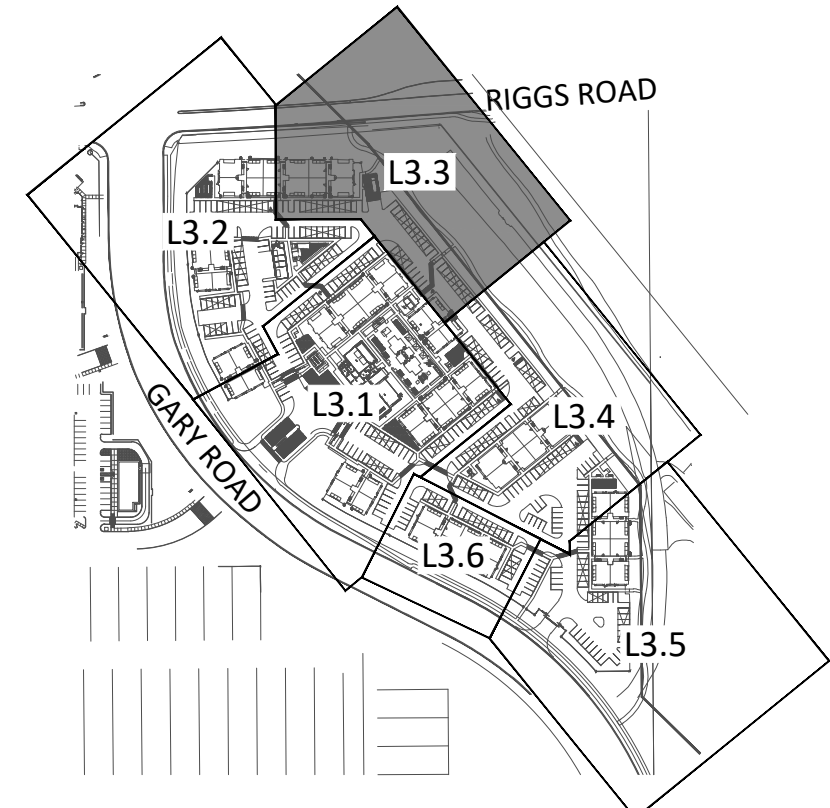
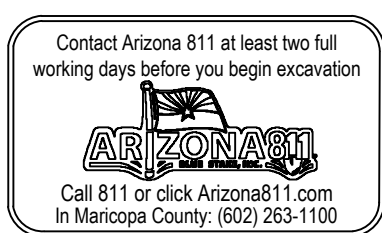
scale 1/20

drawn by jc, ic

checked by ba

project number 170-xxx-xx

sheet number



Key Map Not To Scale



revisions

- △
- △
- △
- △

issued for

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- city submittal ●
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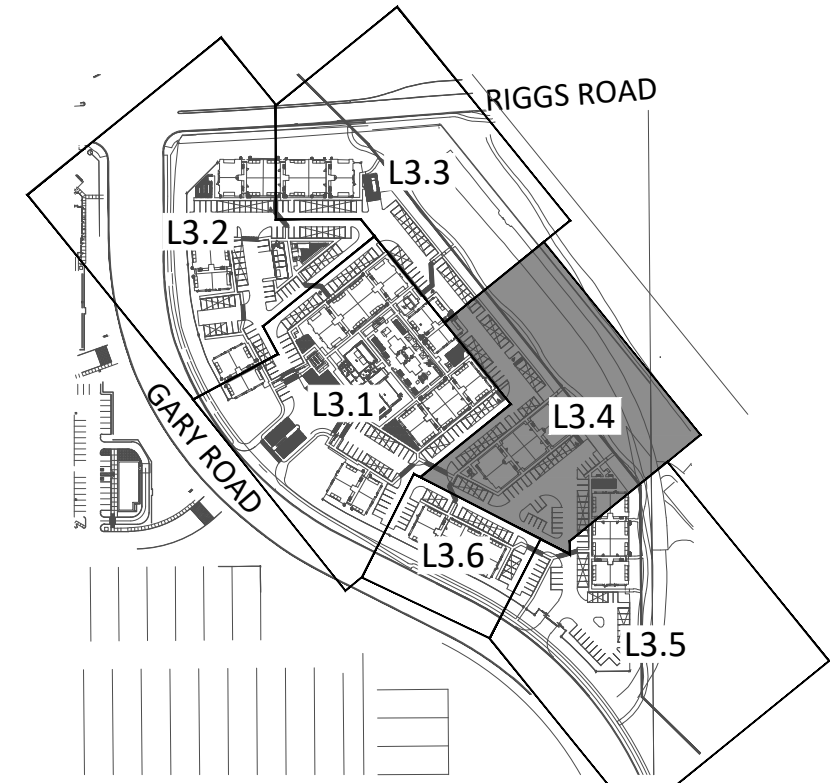
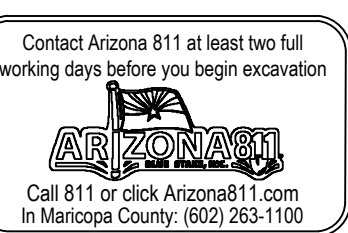
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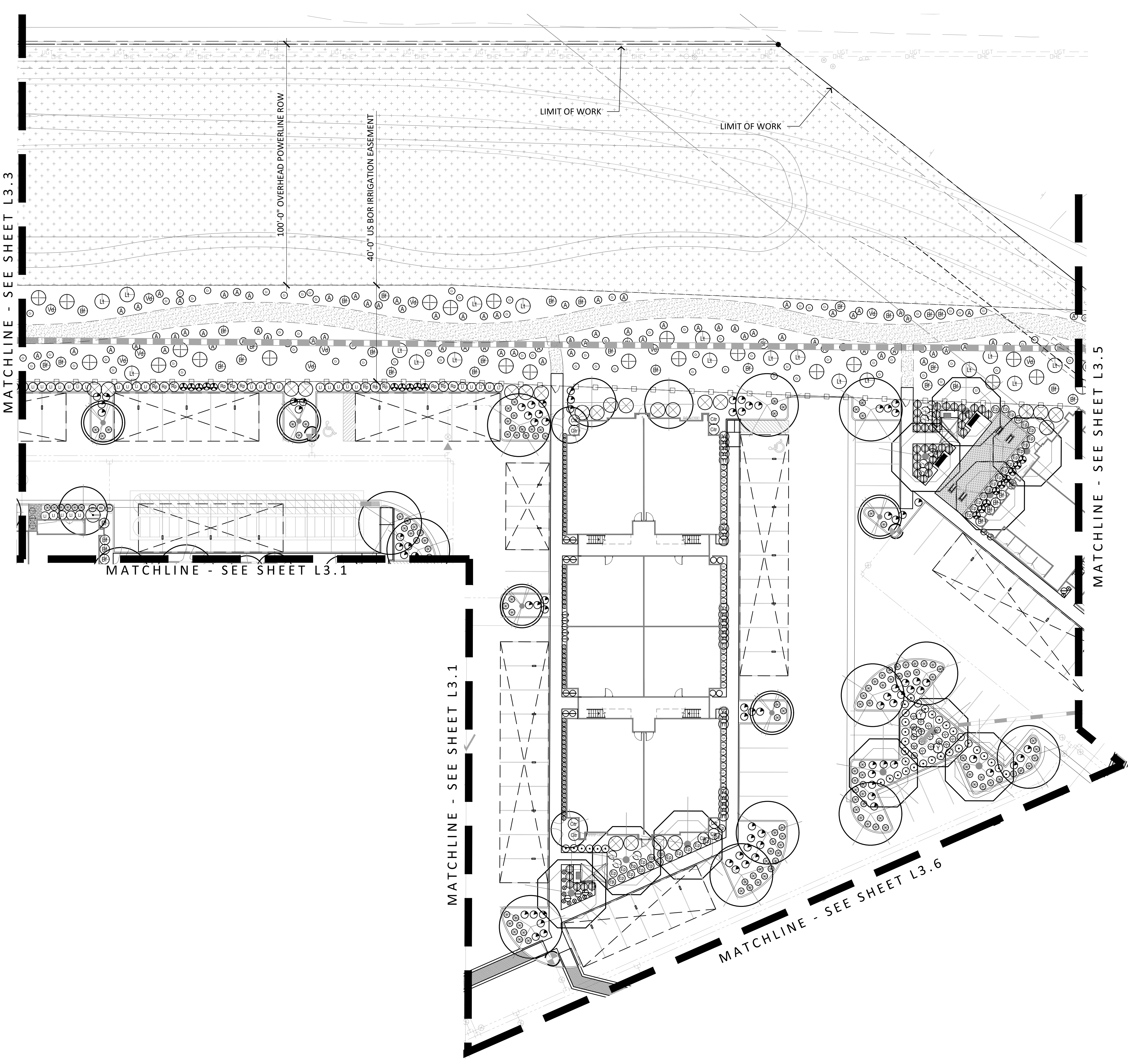
PLANT MATERIALS LEGEND

Trees	Size	Quantity	Cacti/ Accents	Size	Quantity
Acacia aneura	24" box	18	Agave 'Blue Glow	5 gal.	61
Mulga Acacia			Agave bovicornuta	15 gal.	8
Acacia willardiana	24" box	8	Agave schidgera	5 gal.	25
Palo Blanco			Duango Delight Agave	24" box	12
Caesalpinia cacalaco 'Smoothie'	24" box	19	Agave sisalana	24" box	12
Thornless Cascalote			Agave weberi	15 gal.	23
Fraxinus velutina 'Rio Grande'	24" box	66	Weber's Agave	1 gal.	29
Fan-Tex Ash			Bouteloua gracilis	5 gal.	10
Oleina tesota	48" box	4	Mexican Grass Tree	5 gal.	10
Ironwood			Dasyliroon quadrangulum	5 gal.	10
Phoenix dactylifera	20'	22	Dasyliroon wheeleri	5 gal.	79
Date Palm			Desert Spoon	5 gal.	35
Pistacia X 'Red Push'	24" box	48	Echinocereus grusonii	5 gal.	35
Red Push Pistache			Golden Barrel	8 arm, 4' min.	20
Pistacia lentiscus	36" box	9	Euphorbia royleana	20	20
Mastic Tree	Multi-Trunk		Churee	8 cane min.	27
Quercus virginiana	24" box	65	Fouquieria splendens	8 cane min.	27
'Heritage' Oak			Ocotillo	3 gal.	588
Sophora secundiflora	24" box	4	Hesperaloe parviflora	3 gal.	303
Texas Mountain Laurel			'Brakelights' Red Yucca	3 gal.	303
			Hesperaloe sp. Pink Parade	3 gal.	303
			Pink Parade Hesperaloe	5 gal.	26
			Muhlenbergia capillaris	5 gal.	33
			'Regal Mist'	1 gal.	151
			Muhlenbergia rigens 'Nashville'	5 gal.	26
			Purple Muhly	5 gal.	26
			Nolina microcarpa	5 gal.	26
			Beargrass	5 gal.	26
			Pachycereus marginatus	5 gal.	26
			Mexican Fence Post Cactus	12	12
			Pedilanthus macrocarpus	3 arm, 5' min.	90
			Slipper Plant	5 gal.	90
			Stenocereus thurberi	4' Min.	3
			Organ Pipe Cactus	3 Arm,	5
			Yucca rostrata	20 gal.	5
			Beaked Yucca	5 gal.	221
			Yucca rupicola	15 gal.	12
			Twisted Leaf Yucca	15 gal.	12
			Vines	10,999 s.f.	
			Bougainvillea 'Barbara Karst'	1,739 s.f.	
			Bougainvillea wire to palms with fishing line	1,632 s.f.	
			Inerts	731 s.f.	
			Decomposed Granite 3/4" Screened	616 s.f.	
			Carmel - By Rock Pros	654 s.f.	
			Decomposed Granite 1/4" Minus, Compacted	384 l.f.	
			Carmel - By Rock Pros	59 l.f.	
			Carmel - By Rock Pros	54 l.f.	
			Turf - Mid-Iron Sod	8,444 s.f.	
			Artificial Turf	69,875 s.f.	
			E.P.D.M - Play Surface		
			Decomposed Granite 1/4" Minus		
			Carmel - By Rock Pros		
			Cobble, Size Per Civil		
			Carmel - By Rock Pros		
			Concrete Header		
			Standard Color and Finish		
			Concrete Header Turndown		
			Standard Color and Finish		
			Concrete Turndown		
			Vehicular Pavers		
			See Details x, Sheet L6.x		
			SRP Easement Seed Mix		
			All weight is in Pure Live Seed		
			* SEE SHEET L3.0 FOR SEED MIX		

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES



Key Map Not To Scale



MATCHLINE - SEE SHEET L3.3

MATCHLINE - SEE SHEET L3.5

MATCHLINE - SEE SHEET L3.1

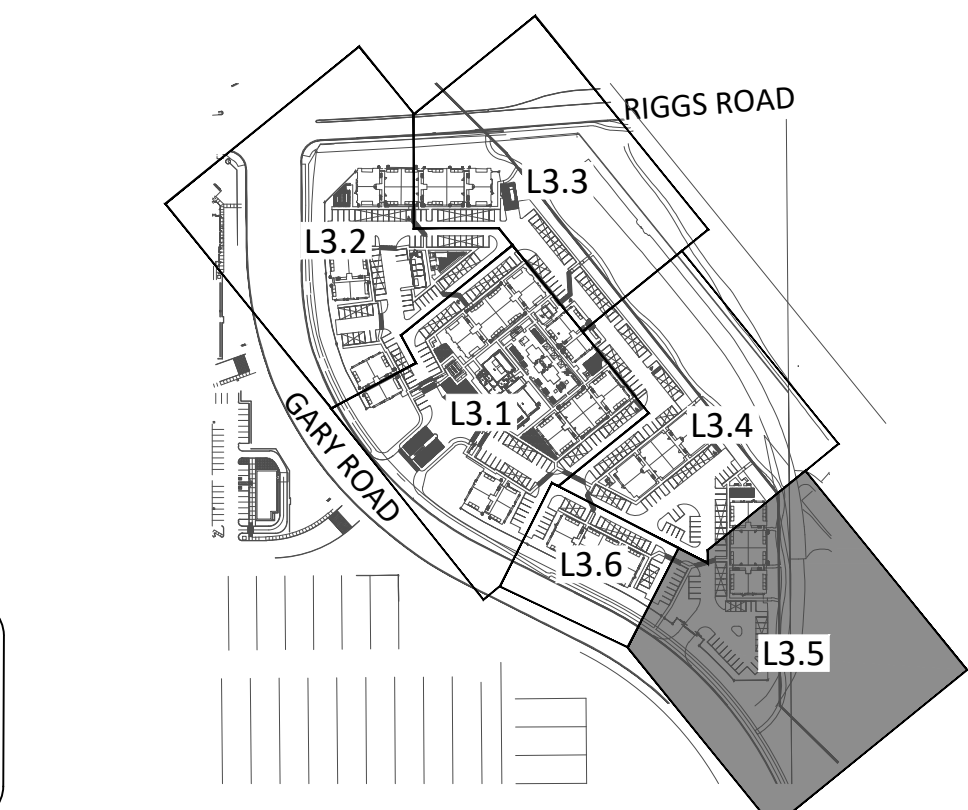
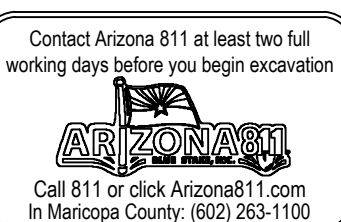
MATCHLINE - SEE SHEET L3.6



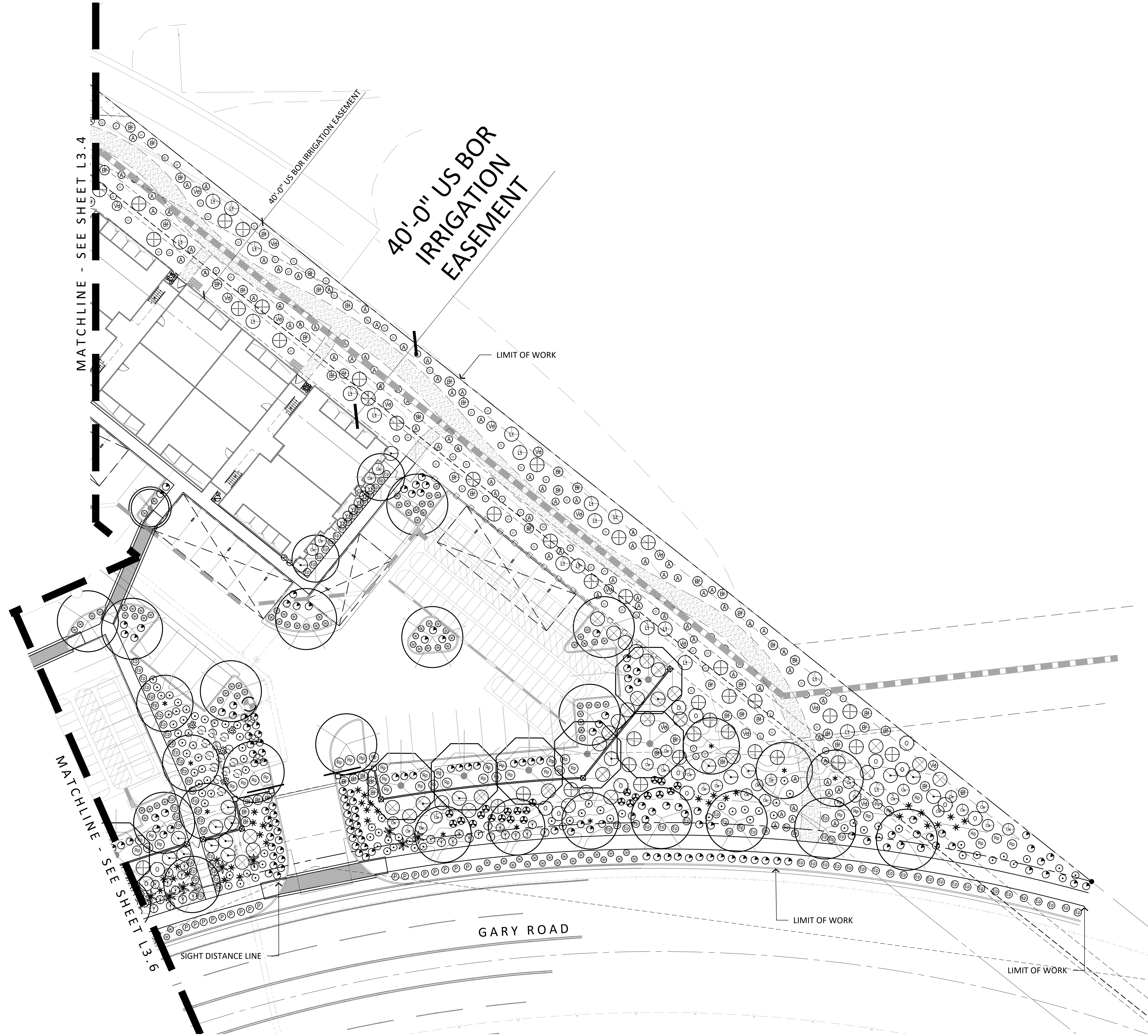
PLANT MATERIALS LEGEND

Trees	Size	Quantity		Size	Quantity
Acacia aneura	24" box	18	Agave 'Blue Glow'	5 gal.	61
Mulga Acacia			Agave bovicornuta	15 gal.	8
Acacia willardiana	24" box	8	Agave schidgera	5 gal.	25
Palo Blanco			Duango Delight Agave	24" box	12
Caesalpinia cacalaco 'Smoothie'	24" box	19	Agave sisalana	24" box	12
Thornless Cascalote			Sisal Agave	24" box	12
Fraxinus velutina 'Rio Grande'	24" box	66	Agave weberi	15 gal.	23
Fan-Tex Ash			Weber's Agave	15 gal.	23
Olneya tesota	48" box	4	Bouteloua gracilis	1 gal.	29
Ironwood			Blond Ambition	1 gal.	29
Phoenix dactylifera	20'	22	Dasylirotr quadrangulatum	5 gal.	10
Date Palm			Mexican Grass Tree	5 gal.	10
Pistacia X 'Red Push'	24" box	48	Dasylirotr wheeleri	5 gal.	10
Red Push Pistache			Desert Spoon	5 gal.	79
Pistacia lentiscus	36" box	9	Echinocereus grisonii	5 gal.	35
Mastic Tree	Multi-Trunk		Golden Barrel	5 gal.	35
Quercus virginiana	24" box	65	Euphorbia royleana	8 arm, 4' min.	20
'Heritage' Oak			Churee	20	
Sophora secundiflora	24" box	4	Fouquieria splendens	8 cane	min.
Texas Mountain Laurel			Ocotillo	27	
			Hesperaloe parviflora	3 gal.	588
			'Brakelights' Red Yucca	3 gal.	588
			Hesperaloe sp. Pink Parade	3 gal.	303
			Pink Parade Hesperaloe	3 gal.	303
			Muhlenbergia capillaris	5 gal.	33
			'Regal Mist'	1 gal.	151
			Muhlenbergia rigens 'Nashville'	1 gal.	151
			Purple Muhly	5 gal.	26
			Nolina microcarpa	5 gal.	26
			Beargrass	5 gal.	26
			Pachycereus marginatus	12	
			Mexican Fence Post Cactus	3 arm, 5' min.	90
			Pedilanthus macrocarpus	5 gal.	90
			Slipper Plant		
			Stenocereus thurberi	4' Min.	3
			Organ Pipe Cactus	3 Arm,	20 gal.
			Yucca rostrata	20 gal.	5
			Beaked Yucca	5 gal.	221
			Yucca rupicola	15 gal.	12
			Twisted Leaf Yucca	15 gal.	12
			Vines	15 gal.	12
			Bougainvillea 'Barbara Karst'	15 gal.	12
			Bougainvillea wire to palms with fishing line		
			Inerts		
			Decomposed Granite 3/4" Screened	175,183 s.f.	
			Carmel - By Rock Pros	10,999 s.f.	
			Decomposed Granite 1/4" Minus, Compacted	1,739 s.f.	
			Carmel - By Rock Pros	1,632 s.f.	
			Turf - Mid-Iron Sod	731 s.f.	
			Artificial Turf	616 s.f.	
			E.P.D.M. - Play Surface	654 s.f.	
			Decomposed Granite 1/4" Minus	384 l.f.	
			Carmel - By Rock Pros	59 l.f.	
			Cobble, Size Per Civil	54 l.f.	
			Carmel - By Rock Pros	8,444 s.f.	
			Concrete Header	69,875 s.f.	
			Standard Color and Finish		
			Concrete Header Turndown		
			Standard Color and Finish		
			Concrete Turndown		
			Vehicular Pavers		
			See Details x, Sheet L6.x		
			SRP Easement Seed Mix		
			All weight is in Pure Live Seed		
			* SEE SHEET L3.0 FOR SEED MIX		

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES



Key Map Not To Scale



Acero Harvest Station
Site Plan
SEC Riggs Road
Queen Creek, AZ
Gary Road
Planting Plan



revisions

1	
2	
3	
4	

issued for
design dev. ○
city submittal ●
bid package ○
construction ○

date issued 02.10.2022

scale 1/20

drawn by jc, ic

checked by ba

project number 178-xxx-xx

sheet number

PLANT MATERIALS LEGEND

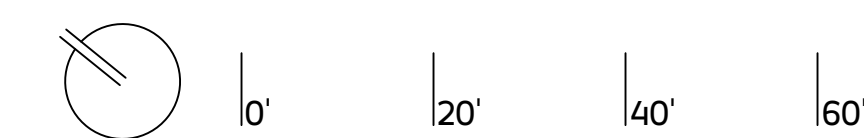
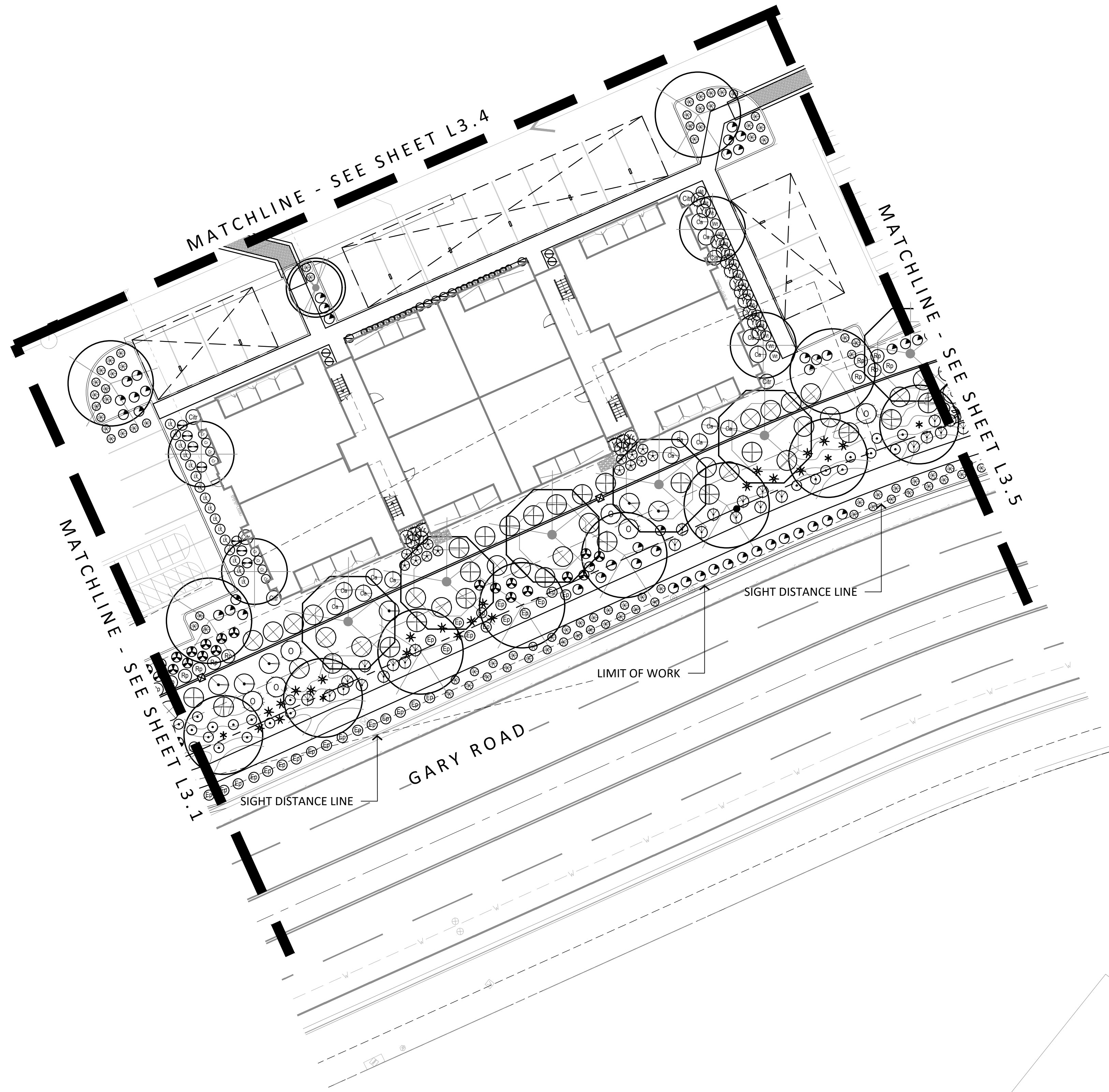
Trees	Size	Quantity	Cacti/ Accents	Size	Quantity
Acacia aneura	24" box	18	Agave 'Blue Glow	5 gal.	61
Mulga Acacia			Blue Glow Agave		
Acacia willardiana	24" box	8	Agave bovicornuta	15 gal.	8
Palo Blanco			Agave schidgera	5 gal.	25
Caesalpinia cacalaco 'Smoothie'	24" box	19	Duango Delight Agave		
Thornless Cascalote			Agave sisalana	24" box	12
Fraxinus velutina 'Rio Grande'	24" box	66	Sisal Agave		
Fan-Tex Ash			Agave weberi	15 gal.	23
Olneya tesota	48" box	4	Weber's Agave		
Ironwood			Bouteloua gracilis	1 gal.	29
Phoenix dactylifera	20'	22	Blond Ambition		
Date Palm			Dasyliro quadrangulatum	5 gal.	10
Pistacia X 'Red Push'	24" box	48	Mexican Grass Tree		
Red Push Pistache			Dasyliro wheeleri	5 gal.	79
Pistacia lentiscus	36" box	9	Desert Spoon		
Mastic Tree	Multi-Trunk		Echinocereus grisonii	5 gal.	35
Quercus virginiana	24" box	65	Golden Barrel		
'Heritage' Oak			Euphorbia royleana	8 arm, 4' min.	20
Sophora secundiflora	24" box	4	Churee		
Texas Mountain Laurel			Fouquieria splendens	8 cane	
Extra Large Shrubs	Size	Quantity	Ocotillo	min.	27
Caesalpinia pulcherrima	5 gal.	169	Hesperaloe parviflora	3 gal.	588
Red Bird of Paradise	15 gal.	108	'Brakelights' Red Yucca		
Callistemon viminalis 'CV01' Slim	5 gal.	171	Hesperaloe sp. Pink Parade	3 gal.	303
Slim Dwarf Bottlebrush	5 gal.	36	Pink Parade Hesperaloe		
Dodonea viscosa	5 gal.	196	Muhlenbergia capillaris	5 gal.	33
Hopbush	5 gal.	260	'Regal Mist'		
Tecoma alata 'Orange Jubilee'	5 gal.	126	Muhlenbergia rigens 'Nashville'	1 gal.	151
Orange Jubilee	5 gal.	74	Purple Muhly		
Tecoma sp. 'Sparky	5 gal.	14	Nolina microcarpa	5 gal.	26
Sparky	5 gal.	54	Beargrass		
Tecoma x 'Bells of Fire'	5 gal.	192	Pachycereus marginatus		
Bells of Fire	5 gal.	43	Mexican Fence Post Cactus	12	
Large Shrubs	Size	Quantity	Pedilanthus macrocarpus	3 arm, 5' min.	90
Calliandra sp.	5 gal.	20	Sipper Plant		
Sierra Star Fairy Duster	5 gal.	41	Stenocereus thurberi	4' Min.	3
Silver Cassia	5 gal.	313	Organ Pipe Cactus		
Justicia californica	5 gal.	681	Yucca rostrata	3 Arm,	
Red Chuparosa	5 gal.	237	Beaked Yucca	20 gal.	5
Larrea tridentata	5 gal.	247	Yucca rupicola		
Creosote	5 gal.	129	Twisted Leaf Yucca	5 gal.	221
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	315	Vines	Size	Quantity
Lynn's Legacy Sage	5 gal.	263	Bougainvillea 'Barbara Karst'	15 gal.	12
Viguiera deltoidea	5 gal.	355	Bougainvillea wire to palms with fishing line		
Goldeneye	5 gal.	181	Inerts	Size	Quantity
Medium Shrubs	Size	Quantity	Decomposed Granite 3/4" Screened	175,183 s.f.	
Bougainvillea Torch Glow	5 gal.	129	Carmel - By Rock Pros		
Torch Glow Bougainvillea	5 gal.	315	Decomposed Granite 1/4" Minus, Compacted	10,999 s.f.	
Eremophila glabra spp. carnososa	5 gal.	263	Carmel - By Rock Pros		
Winter Blaze	5 gal.	315	Turf - Mid-Iron Sod	1,739 s.f.	
Eremophila hygrophana Blue Bells	5 gal.	263	Artificial Turf	1,632 s.f.	
Blue Bells	5 gal.	355	E.P.D.M. - Play Surface	731 s.f.	
Ericameria laricifolia	5 gal.	181	Decomposed Granite 1/4" Minus	616 s.f.	
Turpentine Bush	5 gal.	30	Carmel - By Rock Pros		
Leucophyllum frutescens 'compacta'	5 gal.	30	Cobble, Size Per Civil	654 s.f.	
Compact Texas Sage	5 gal.	158	Carmel - By Rock Pros		
Perovskia atriplicifolia	5 gal.	136	Concrete Header		
Russian Sage	5 gal.	136	Standard Color and Finish	6" Wide	384 l.f.
Punica granatum	5 gal.	136	Concrete Header Turndown		
Dwarf Pomegranate	5 gal.	72	Standard Color and Finish	6" Wide	59 l.f.
Ruellia peninsularis	5 gal.	72	Concrete Turndown		
Ruellia	5 gal.	72			
Simmondsia Chinensis 'Vista'	5 gal.	72			
Compact Jojoba	5 gal.	72			
Small Shrubs	Size	Quantity			
Ambrosia deltoidea	1 gal.	247			
Triangle Leaf Bursage	1 gal.	247			
Callistemon viminalis 'Little John'	5 gal.	129			
Little John Bottle Brush	5 gal.	129			
Myrtus communis 'compacta'	5 gal.	315			
Dwarf Myrtle	5 gal.	315			
Olea europaea "Little Ollie"	5 gal.	263			
Little Ollie Dwarf Olive	5 gal.	263			
Groundcovers	Size	Quantity			
Eremophila prostrata	1 gal.	355			
Outback Sunrise Eremophila	1 gal.	181			
Lantana montevidensis	1 gal.	181			
Purple Trailing Lantana	1 gal.	30			
Lantana sp.	1 gal.	30			
'New Gold' Lantana	1 gal.	158			
Rosmarinus officinalis 'Prostratus'	1 gal.	136			
Trailing Rosemary	1 gal.	136			
Setcreasea pallida	1 gal.	136			
Purple Heart	1 gal.	72			
Wedelia trilobata	1 gal.	72			
Wedelia	1 gal.	72			

LANDSCAPE NOTES:
SEE SHEET L3.0 FOR ADDITIONAL LANDSCAPE NOTES



Key Map

Not To Scale



Acero Harvest Station
Site Plan
SEC Riggs Road
Queen Creek, AZ
Gary Road
Planting Plan



revisions
1
2
3
4

issued for
design dev. ○
city submittal ●
bid package ○
construction ○

date issued 02.10.2022

scale 1/20

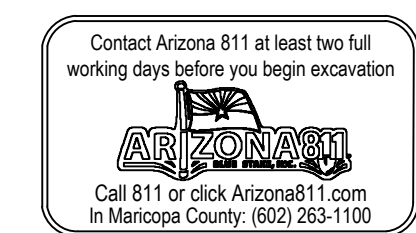
drawn by jc, ic

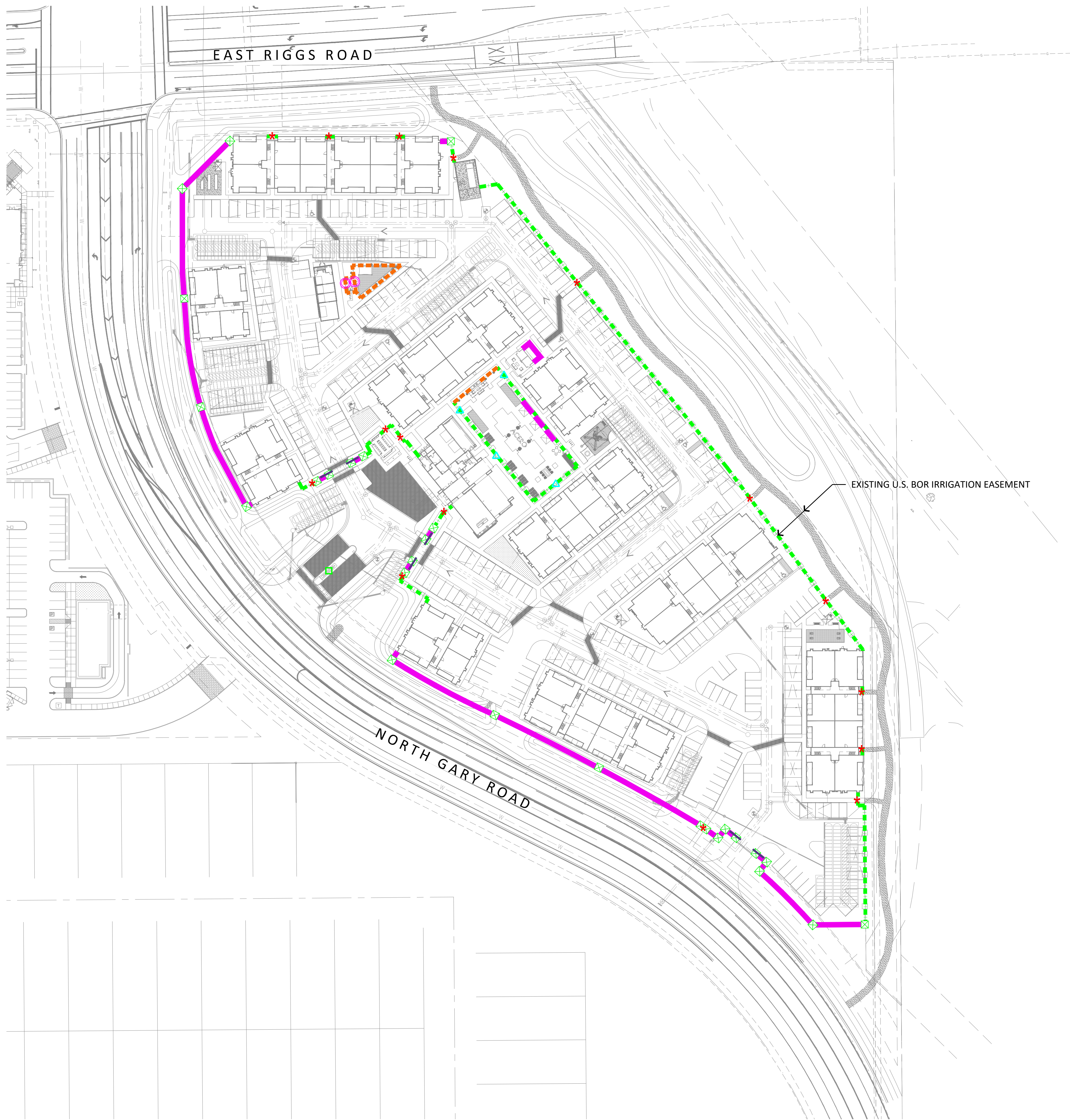
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project number 170-xxx-xx

sheet number

L3.6

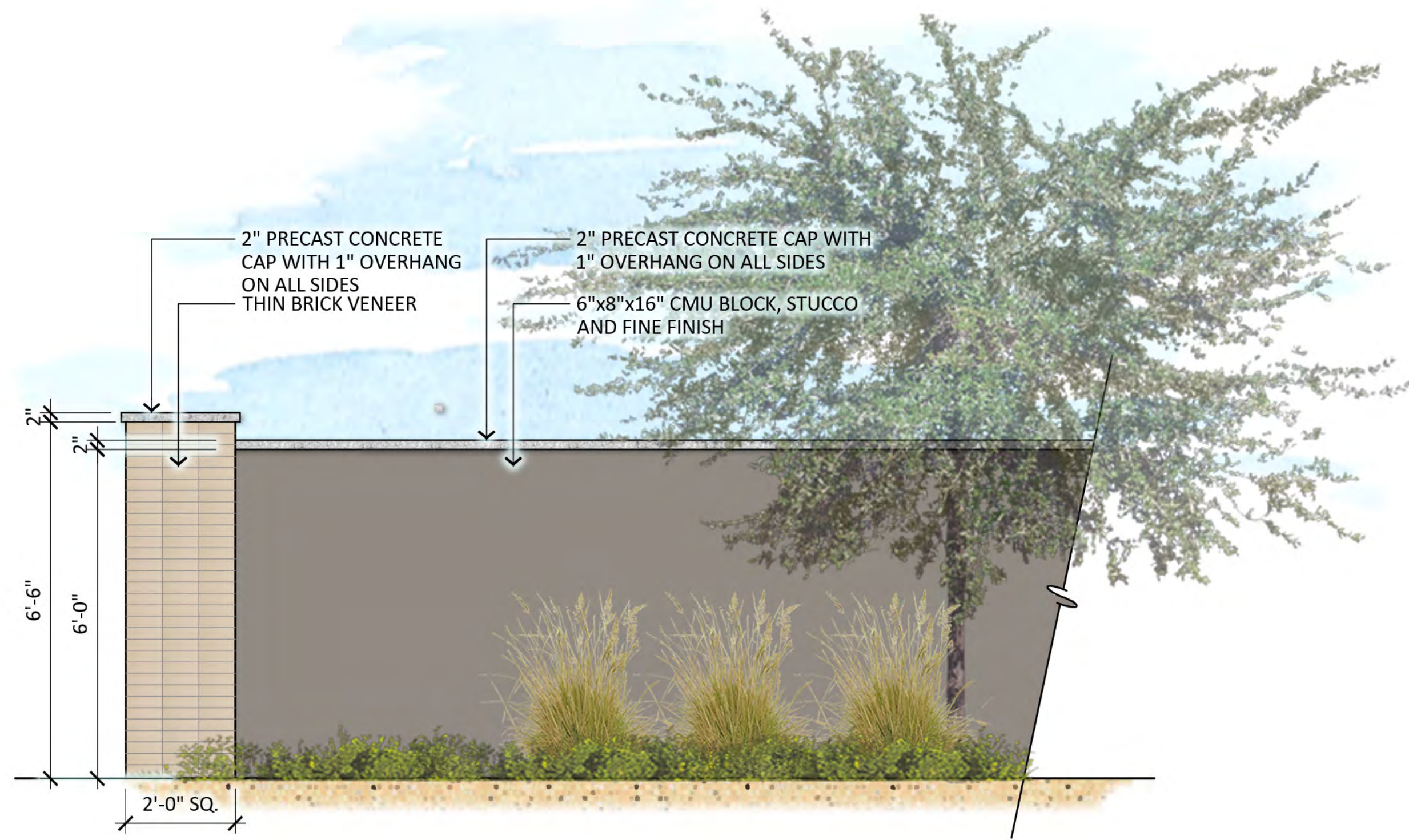




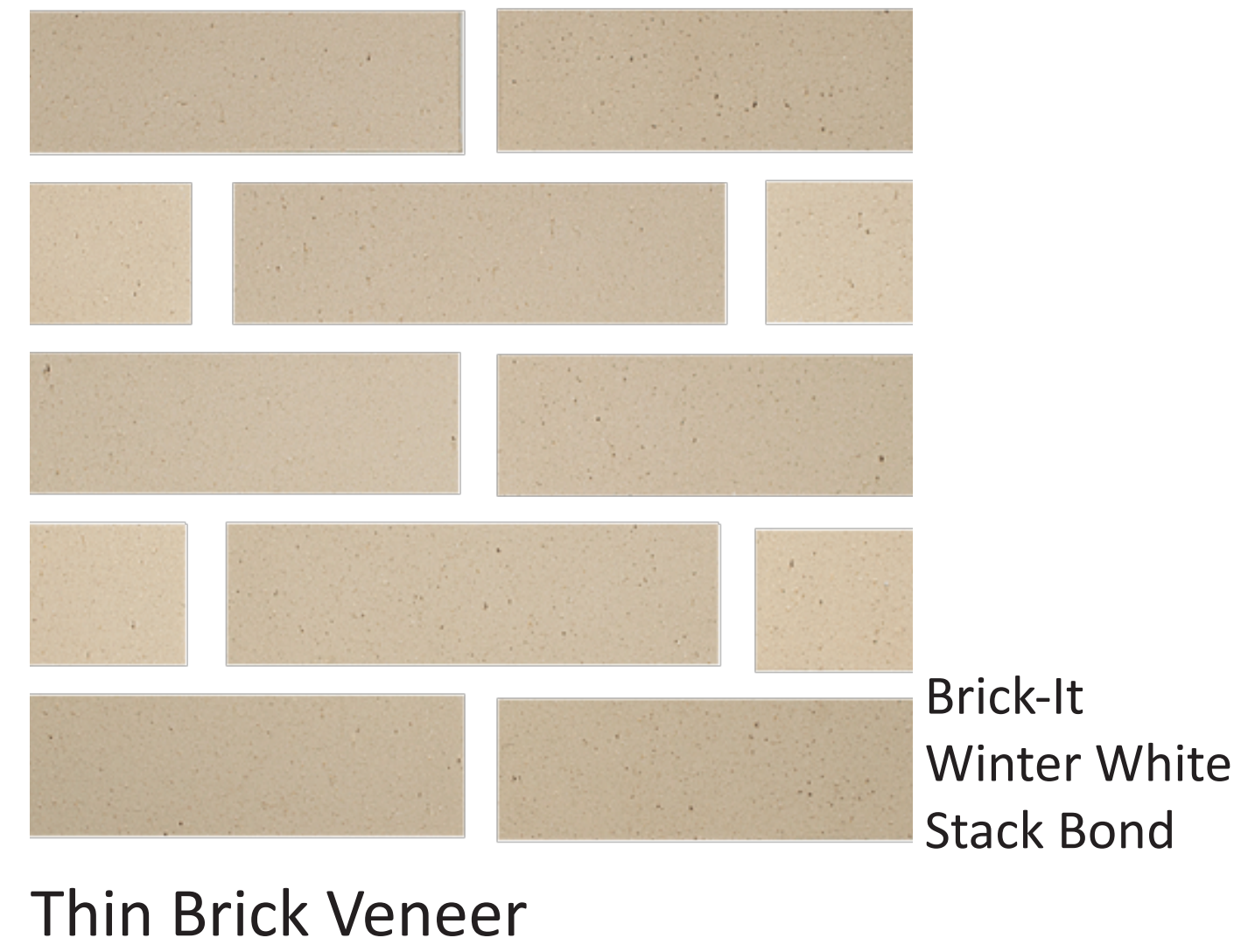
WALL LEGEND			
SYMBOL	DESCRIPTION	DETAIL	QTY.
	THEME WALL	DETAIL 1, DETAILS 1	1,250 LF
	VIEW FENCE/POOL FENCE	DETAIL 1, DETAILS 2	1,457 LF
	WELDED WIRE MESH FENCE	DETAIL 2, DETAILS 2	242 LF
	PEDESTRIAN GATE	DETAIL 1, DETAIL 2	16 EA
	POOL GATE	DETAIL 3, DETAILS 2	4 EA
	WELDED WIRE MESH GATE	DETAIL 2, DETAILS 2	2 EA
	ENTRY MONUMENT LOCATION MONUMENT AND SIGNAGE UNDER SEPARATE SUBMITTAL		
	VEHICULAR ACCESS GATE		3 PAIR
	ACCENT COLUMN		27 EA

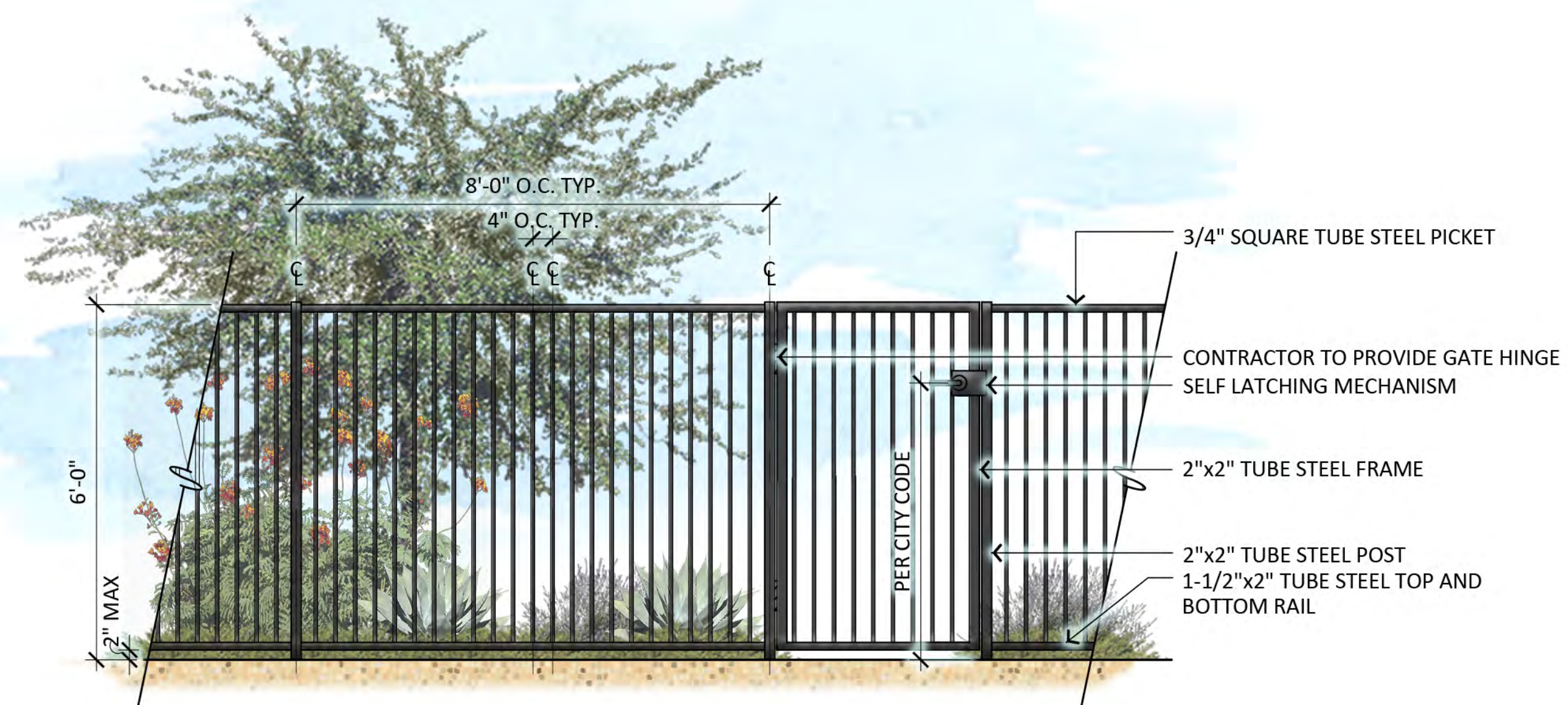
GENERAL WALL NOTES

1. QUANTITIES SHOWN ARE FOR BIDDING AND PERMITTING PURPOSES ONLY, CONTRACTOR TO VERIFY.

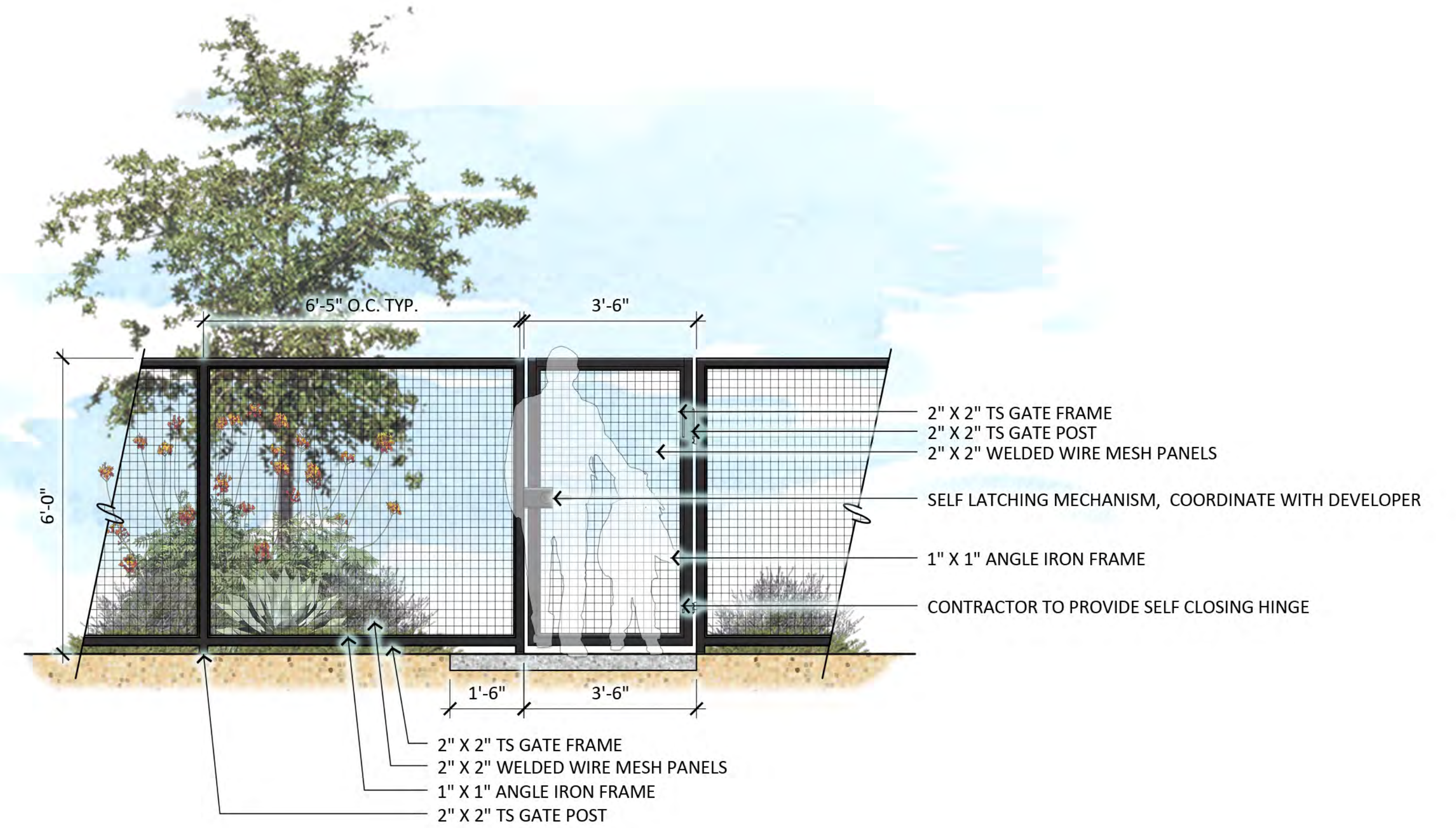


1 Theme Wall
SCALE: 1/2"=1'-0"





1 View/Pool Fence With Pedestrian Gate
SCALE: 1/2"=1'-0"

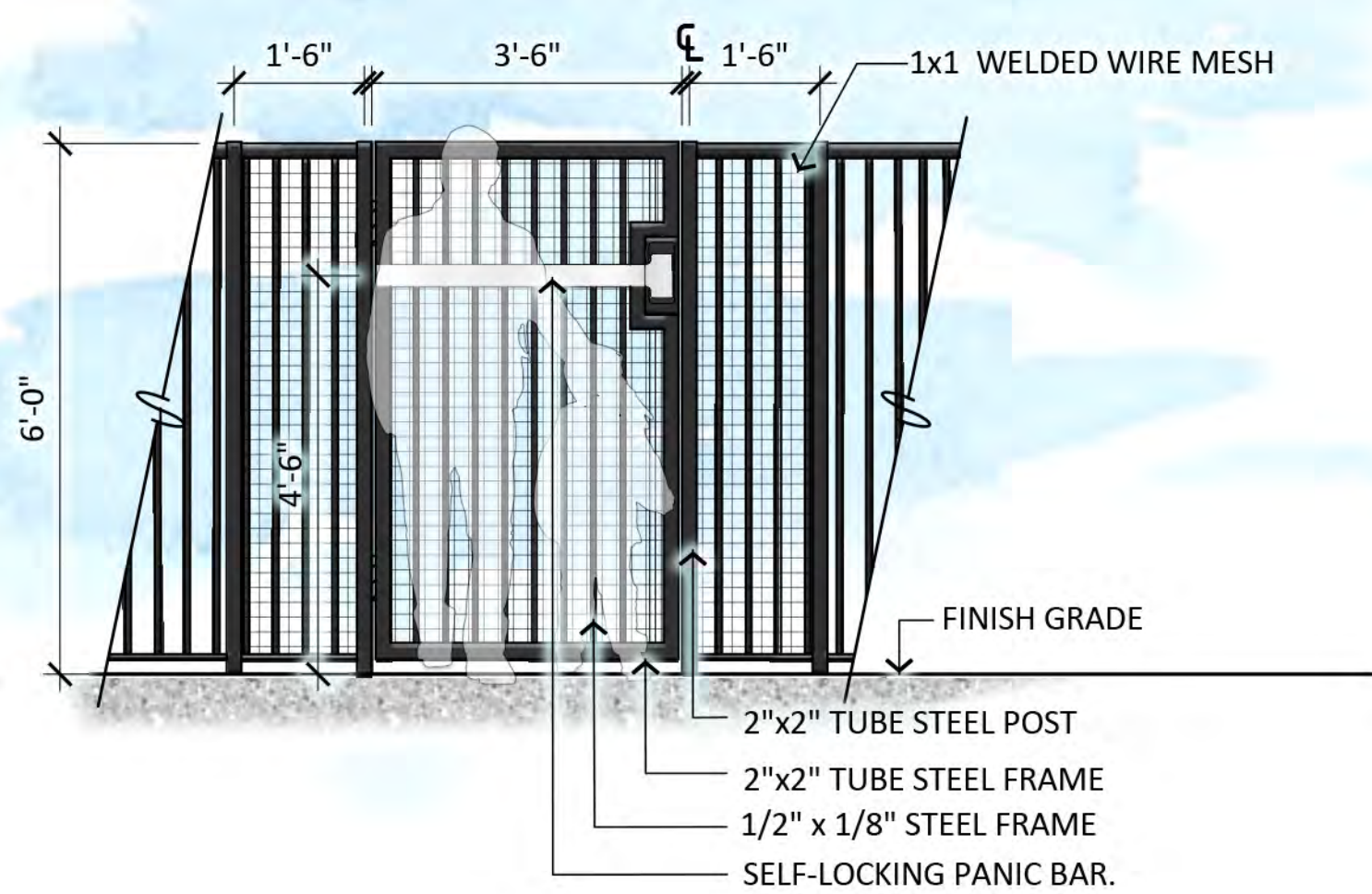


2 Welded Wire Mesh Fence & Gate
SCALE: 1/2"=1'-0"

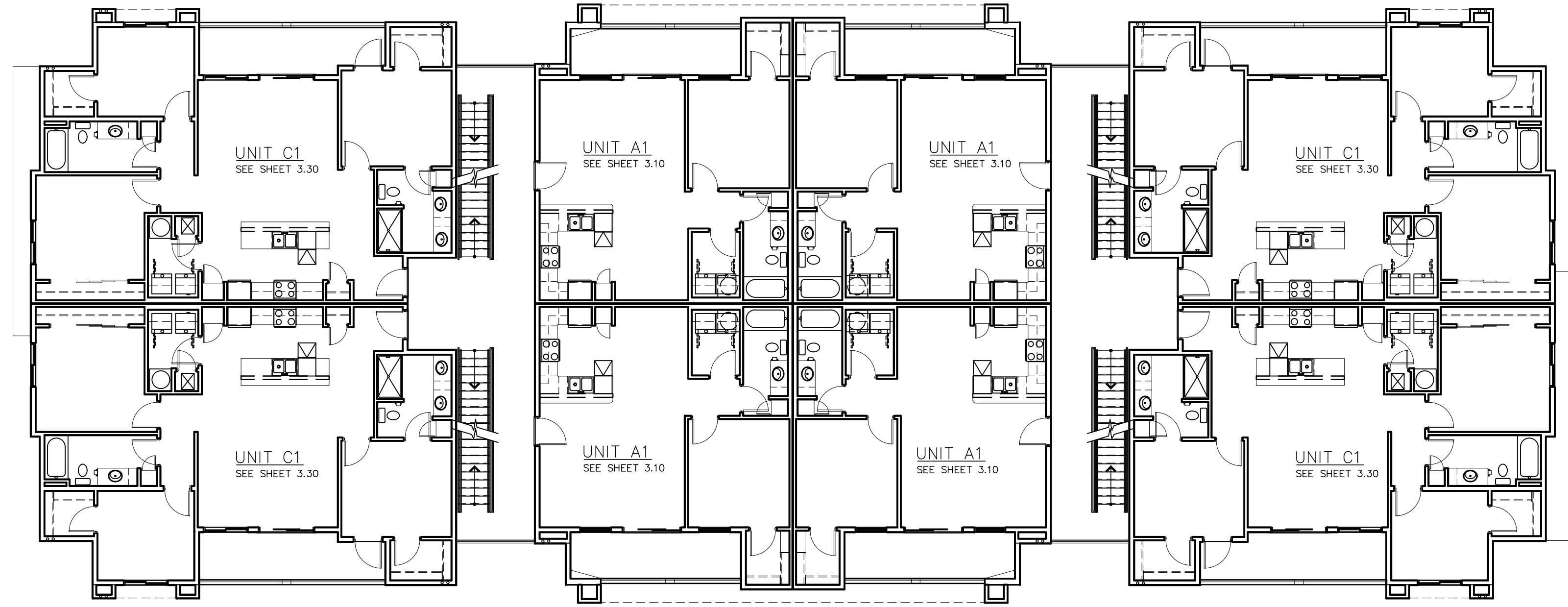


Sherwin-Williams
Black Magic - SW6991

Steel Color

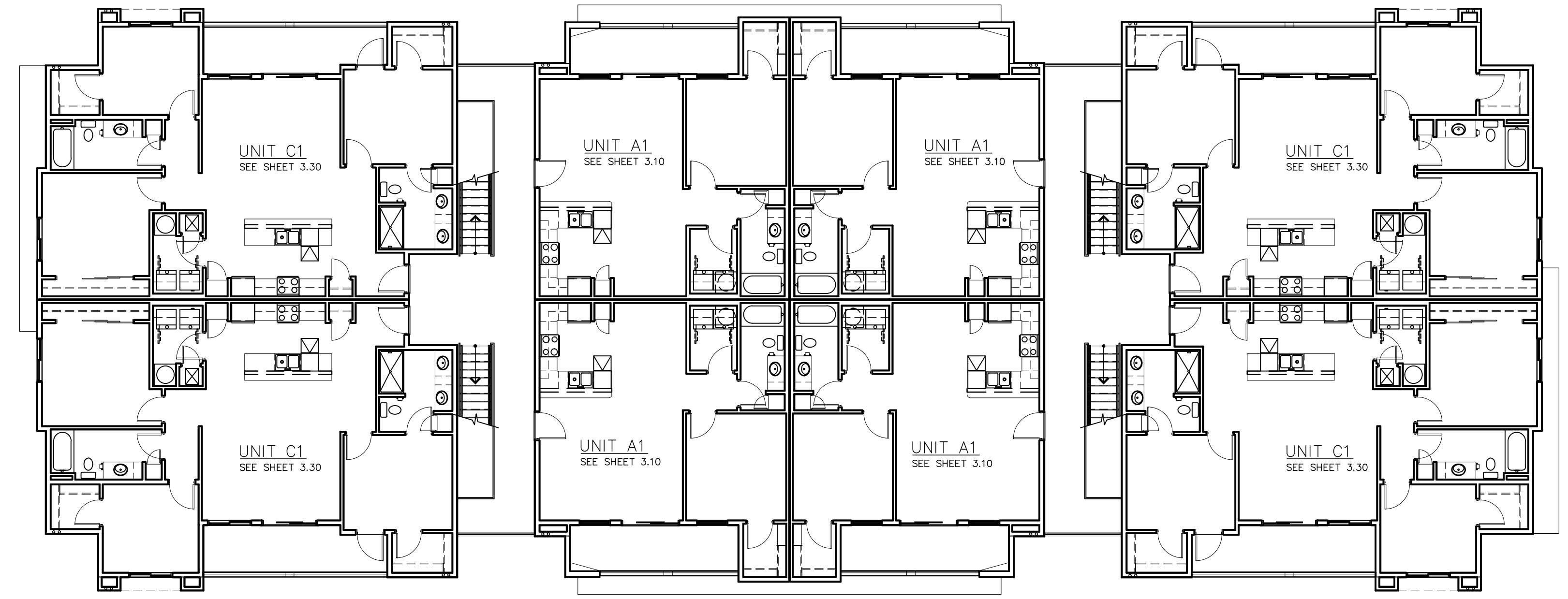


3 Pool Gate
SCALE: 1/2"=1'-0"



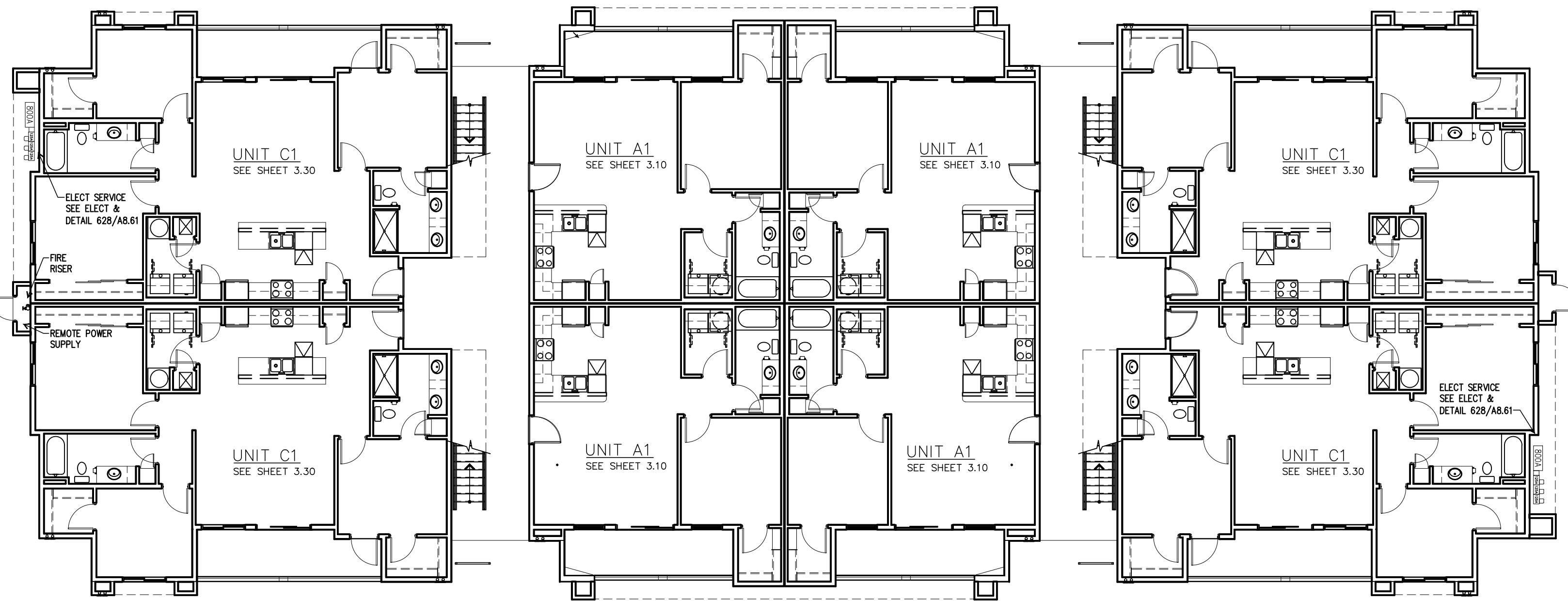
SECOND FLOOR PLAN - BLD TYPE 1

SCALE: 3/32" = 1'-0"



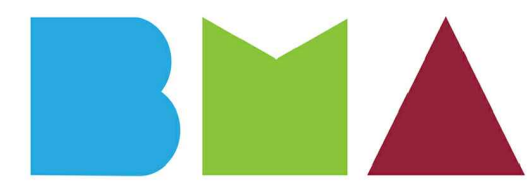
THIRD FLOOR PLAN - BLD TYPE 1

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN - BLD TYPE 1

SCALE: 3/32" = 1'-0"



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PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

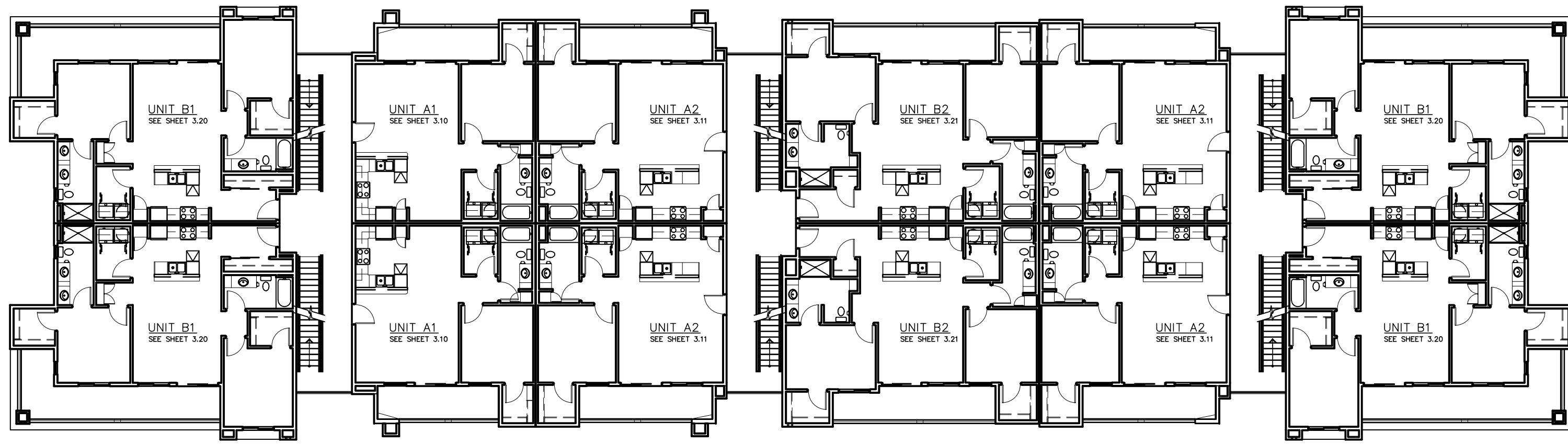
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BUILDING TYPE 1

dwg no: SD2.10

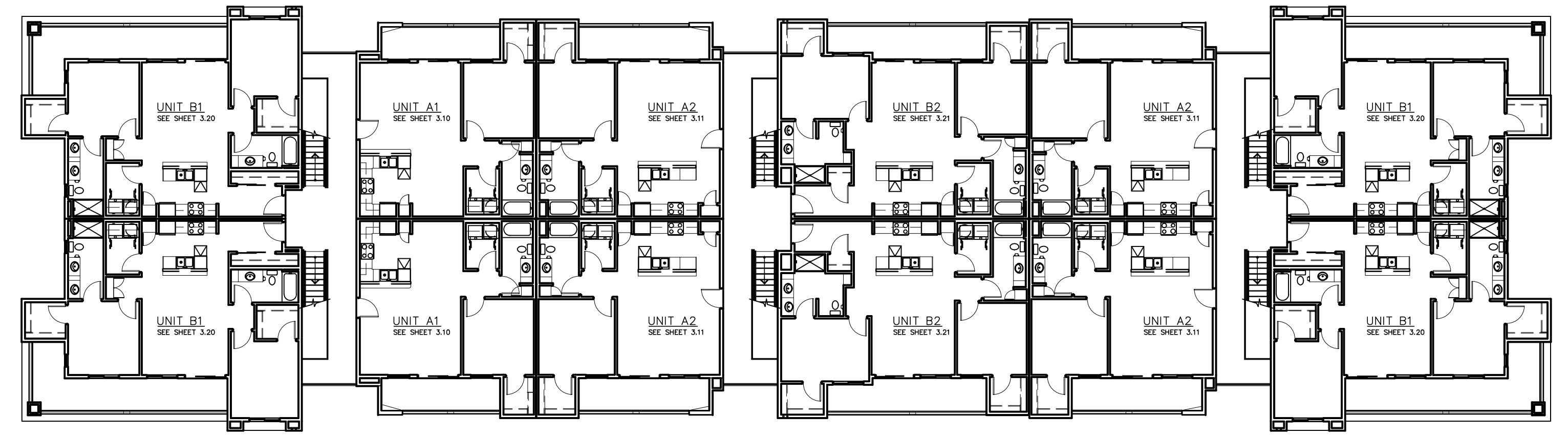
date: 3-16-2022

job no: 2021.14

log no:



SECOND FLOOR PLAN - BLD TYPE 3
SCALE: 1/16" = 1'-0"



THIRD FLOOR PLAN - BLD TYPE 3
SCALE: 1/16" = 1'-0"



FIRST FLOOR PLAN - BLD TYPE 3
SCALE: 3/32" = 1'-0"

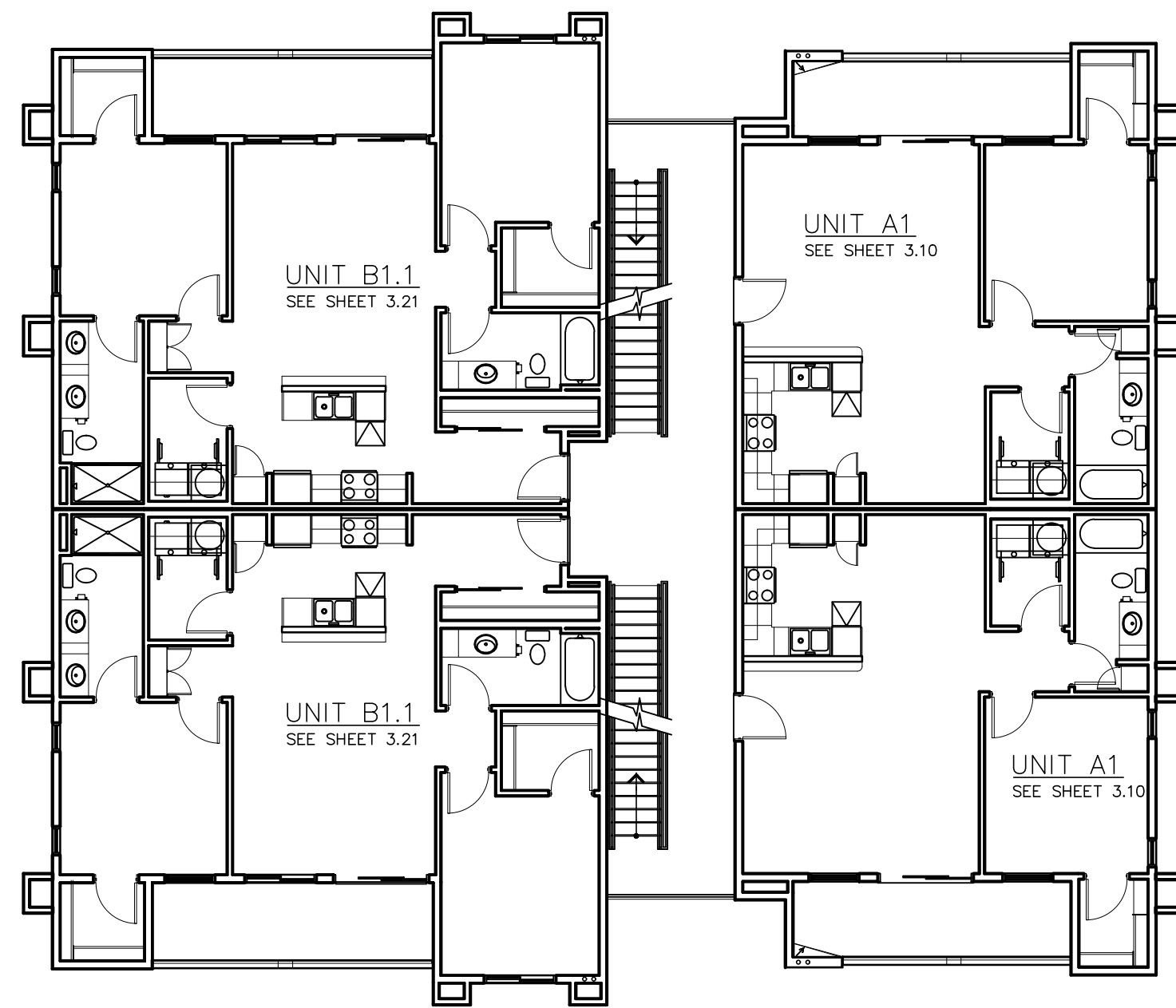


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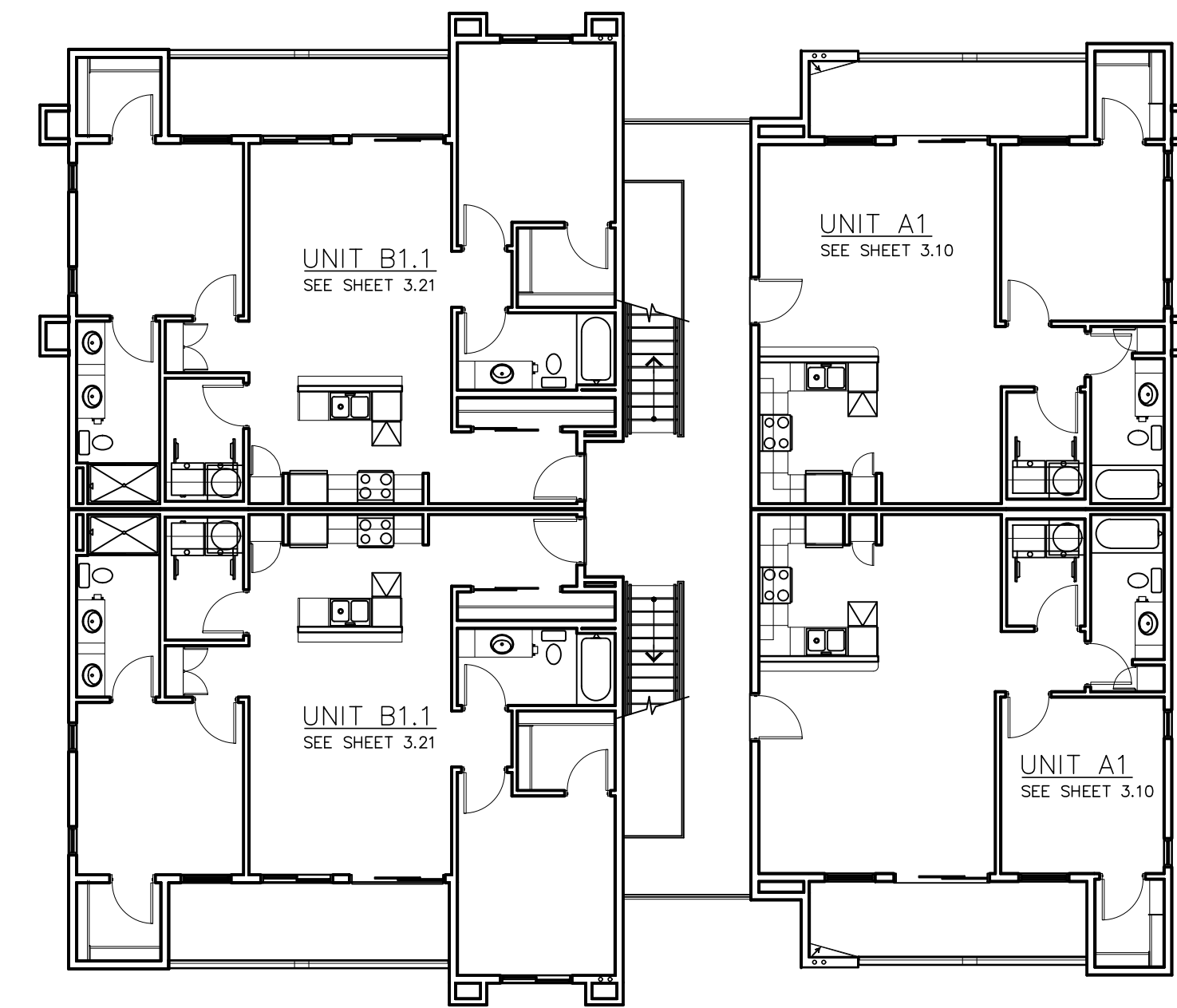
PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

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BUILDING TYPE 3
dwg no: SD2.30
date: 3-16-2022
job no: 2021.14 log no:



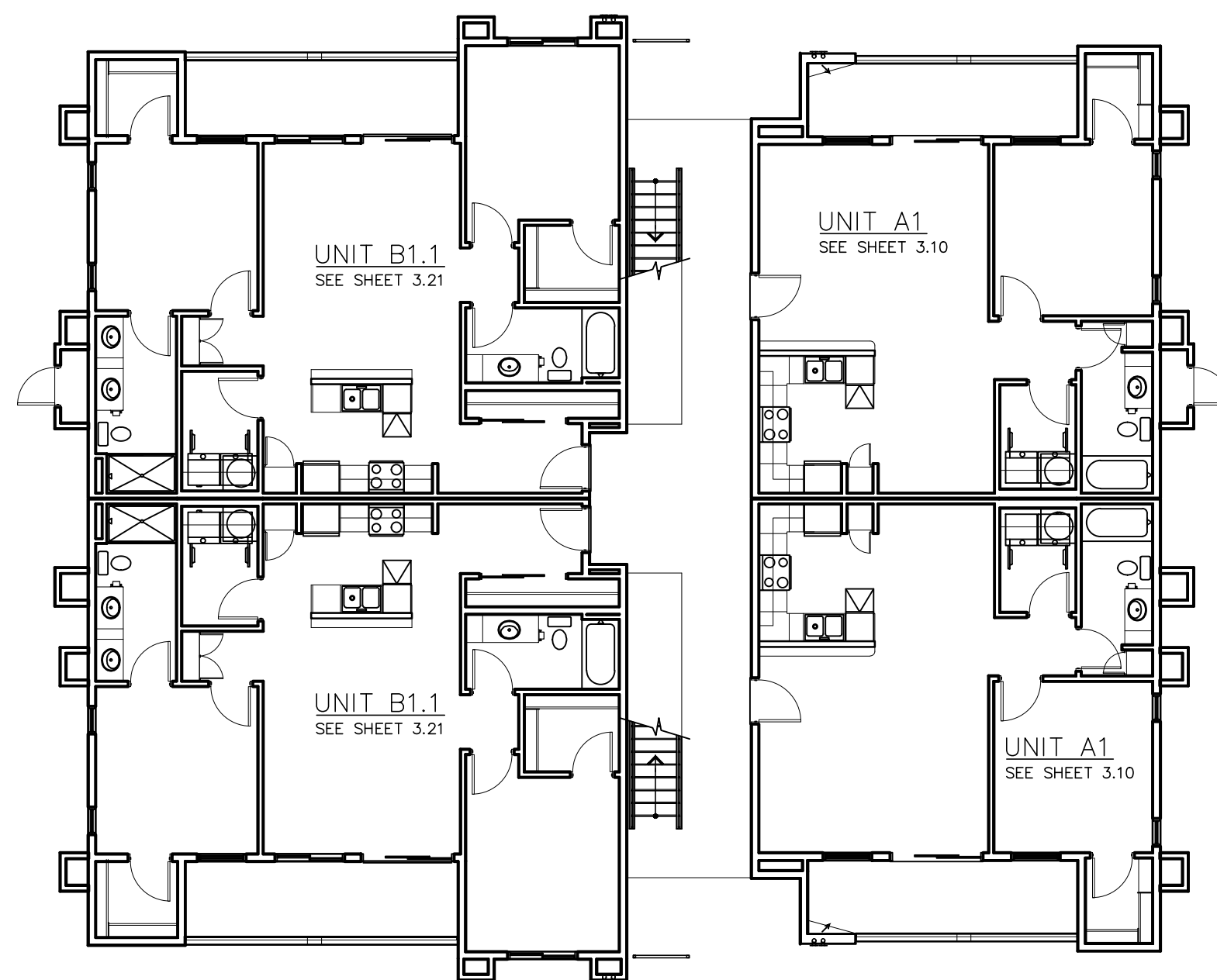
SECOND FLOOR PLAN - BLD TYPE 4

SCALE: 3/32" = 1'-0"



THIRD FLOOR PLAN - BLD TYPE 4

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN - BLD TYPE 4

SCALE: 3/32" = 1'-0"

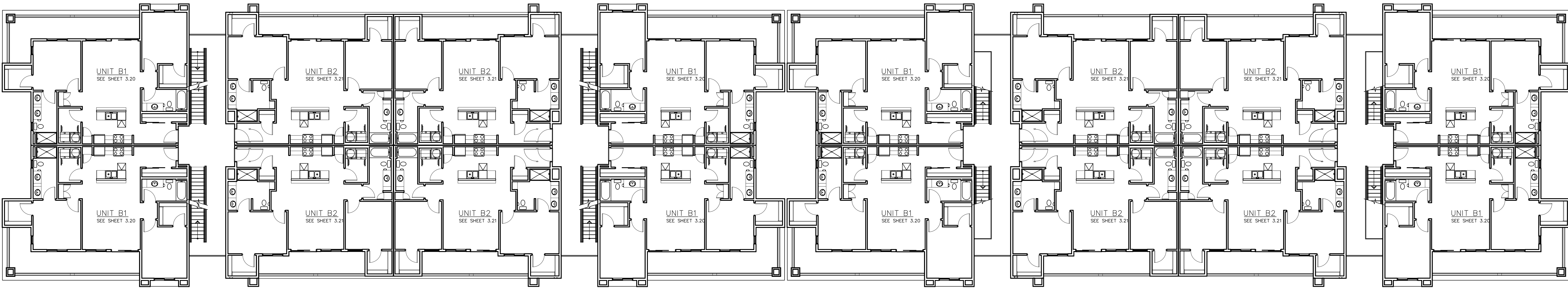


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PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY FLOOR PLANS
BUILDING TYPE 4
dwg no: SD2.40
date: 3-16-2022
job no: 2021.14 log no:

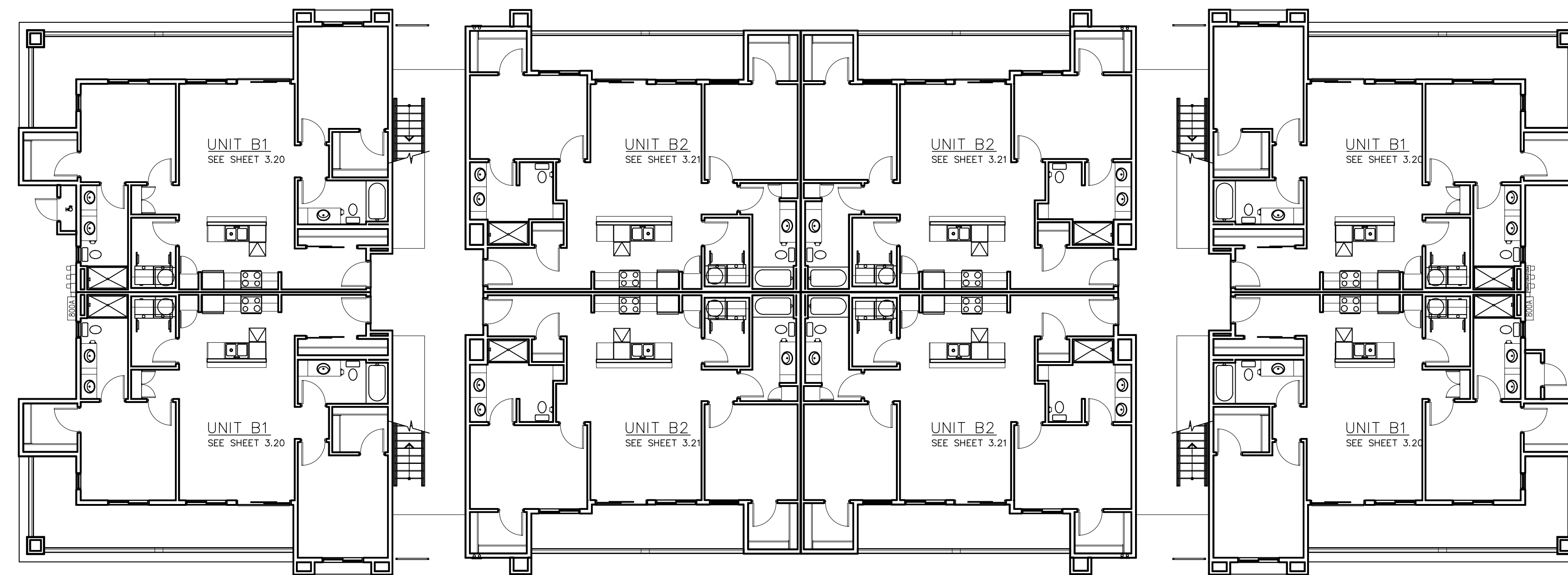


SECOND FLOOR PLAN - BLD TYPE 6

SCALE: 3/32" = 1'-0"

THIRD FLOOR PLAN - BLD TYPE 6

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN - BLD TYPE 6

SCALE: 3/32" = 1'-0"



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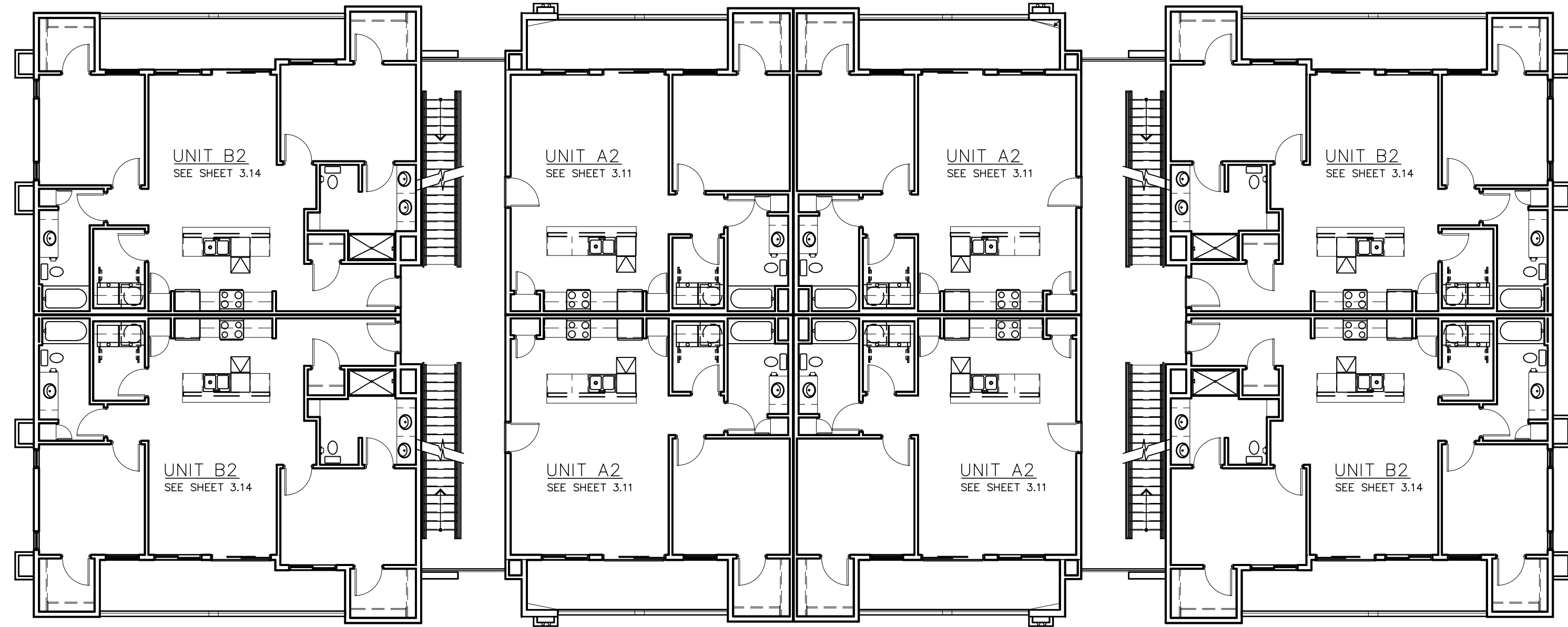
PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY FLOOR PLANS
BUILDING TYPE 6

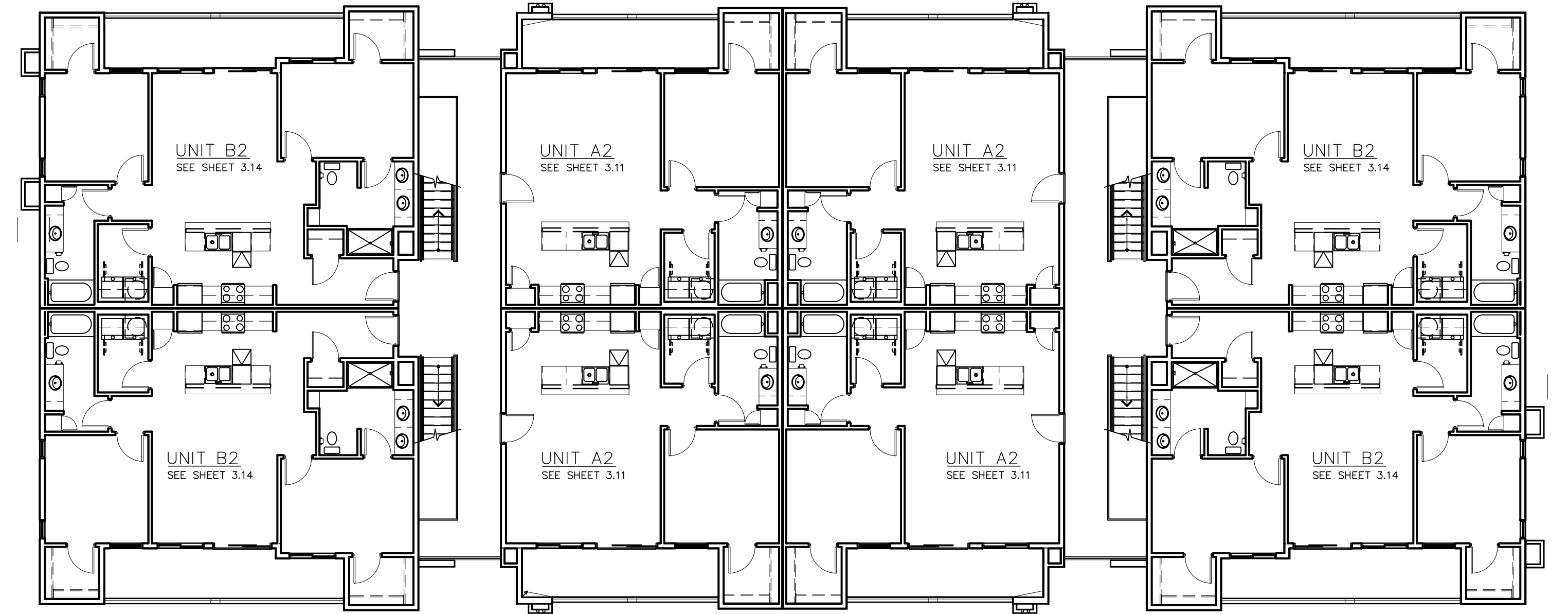
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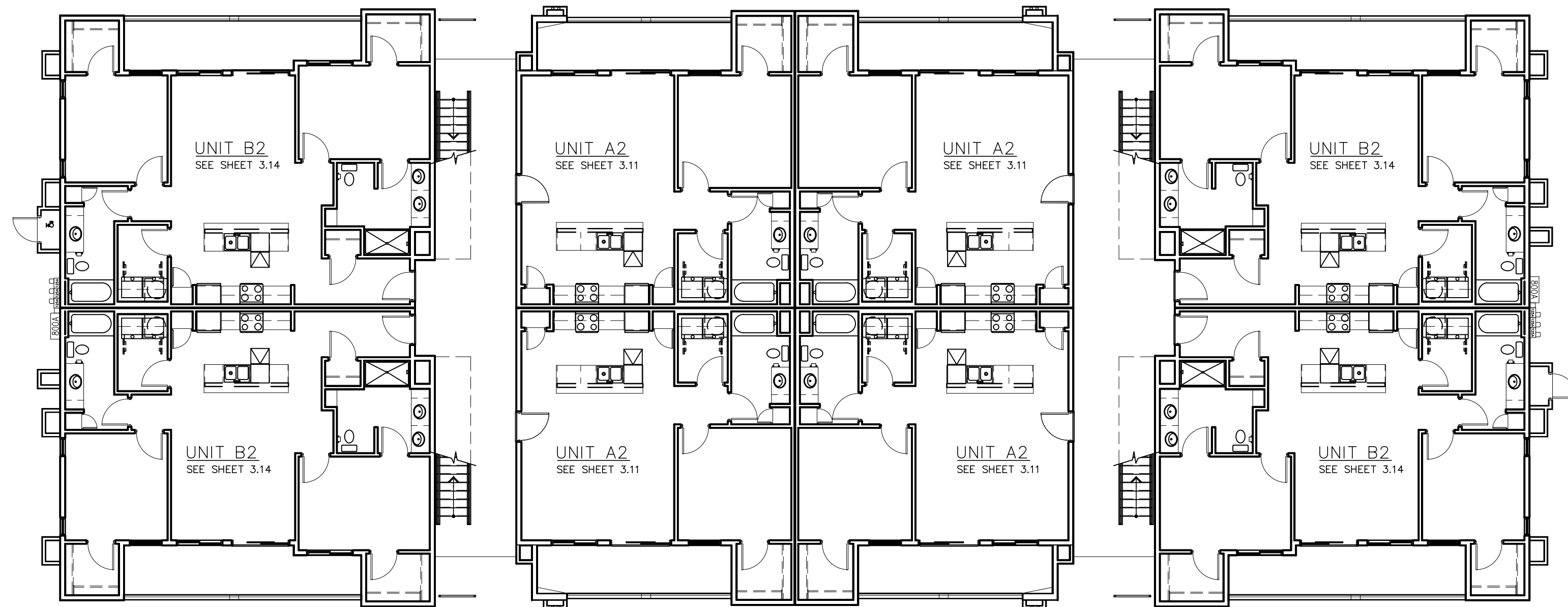
job no: 2021.14 log no:



SECOND FLOOR PLAN - BLD TYPE 7
SCALE: 3/32" = 1'-0"



THIRD FLOOR PLAN - BLD TYPE 7
SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN - BLD TYPE 7
SCALE: 3/32" = 1'-0"

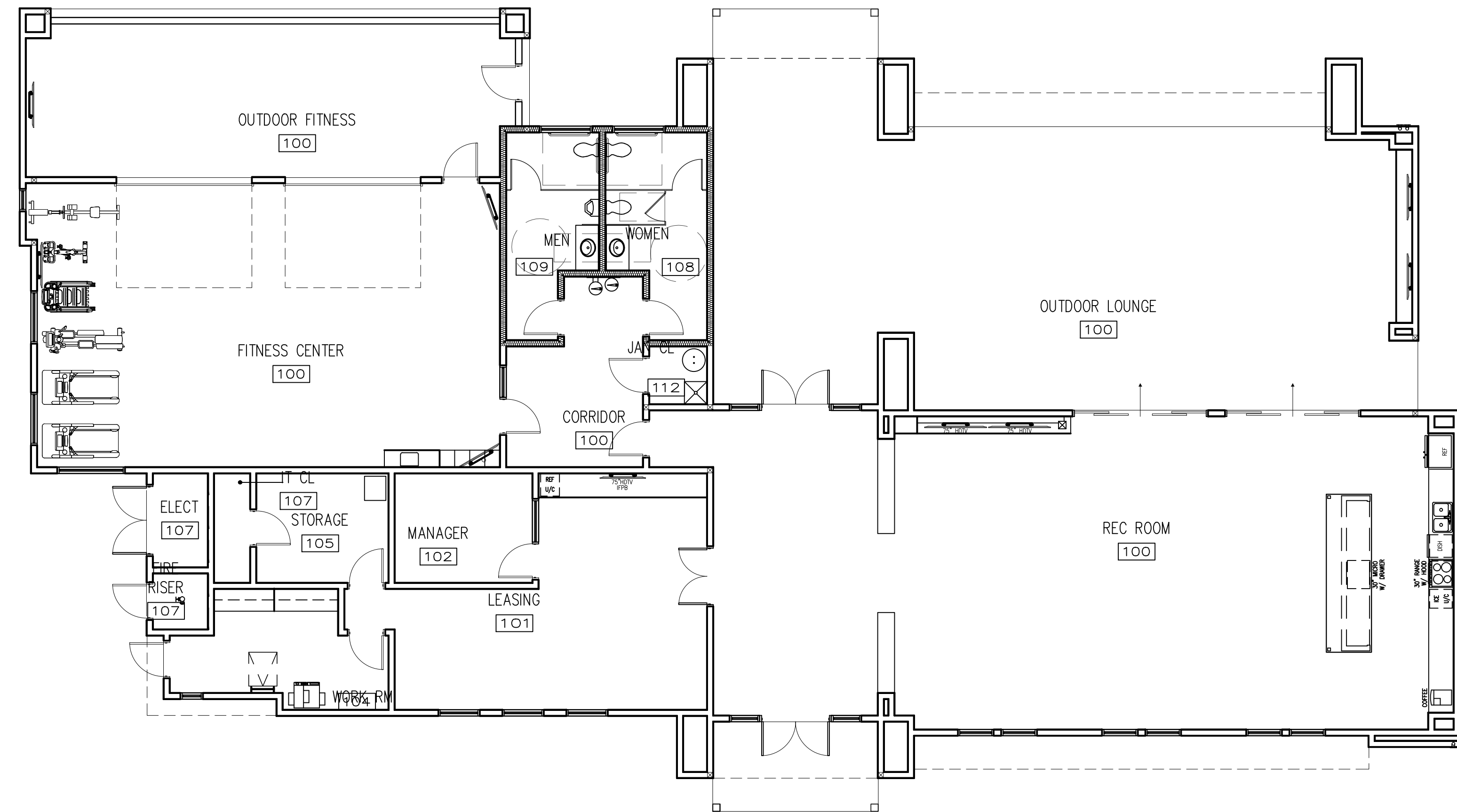


2915 East Baseline Road, Suite 120 - Gilbert, AZ 85234
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PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY FLOOR PLANS
BUILDING TYPE 7
dwg no: SD2.70
date: 3-16-2022
job no: 2021.14 log no:



FLOOR PLAN - CLUBHOUSE

SCALE: 1/8" = 1'-0"

RECREATIONAL AREA	1390 SF
LEASING / FITNESS AREAS	976 SF
PATIO/BREEZEWAY	2435 SF
GROSS AREA	4801 SF
TOTAL SLAB AREA	7228 SF



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PROPOSED NEW MULTI-FAMILY PROJECT FOR:
IDM
ACERO HARVEST
QUEEN CREEK, AZ

dwg name: PRELIMINARY
CLUBHOUSE ELEVATIONS

dwg no: SD4.11

date: 3-16-2022

job no: 2021.14 log no:

**DEVELOPMENT DESIGN REVIEW
DESIGN REVIEW NARRATIVE FOR
ACERO HARVEST
QUEEN CREEK, AZ
A 204 UNIT APARTMENT COMMUNITY**

August 13, 2021
Revised 4/4/2022

LOCATION: SEC OF RIGGS RD & GARY RD

DEVELOPER:

IDM Apartments Phoenix
6720 N Scottsdale Rd., Suite 200
Scottsdale, AZ 85253
Attn: Nate Franke



DESIGN TEAM:

Architect:
BMA Architecture
2915 E Baseline Rd., Suite 120
Gilbert, AZ 85234
Attn: Brian M Andersen, AIA



Civil Engineer:
EPS Group
1130 N Alma School Rd, Suite 120
Mesa, AZ 85201
Attn: Brian Nicholls, PE



Landscape Architect:
Anderson
815 N First Ave, Suite 3
Phoenix, AZ 85003
602-682-6070
Attn: Brett Anderson, ASLA



Introduction

A. Project Overview

The subject property is located near the southeast corner of Riggs Road and Gary Road and encompasses approximately 12.58 gross acres of vacant land (the "Property"). The Property is currently zoned HDR (high density residence) allowing the proposed use.

The proposed development is a residential rental community that is current, relevant, and integral to Queen Creek's live, learn, work, and play community. The Project will appeal to working professionals, employees, and young families that desires a unique, amenity rich, and pedestrian friendly lifestyle. This project provides a needed housing option that is currently underserved in this area.

The luxury community will include a clubhouse with business and lounge area, swimming pool and spa, an outdoor lounge, barbeque areas, a fitness center, and recreation area. Other amenities provided around the property are children's play area, additional barbeque areas, covered seating areas, dog park, and a recreational gathering area.

The developer requests to remove the 55' ROW easement that is shown in Book 793 of Maps, Page 26, recorded on December 23, 2008. Our understanding is this easement is no longer needed with the recent construction of a new roadway in the area.

B. Site Design

Building placement has been developed to interact with the streetscape and adjacent developments by varying the roof lines, styles, and orientations, providing spacious courtyards, amenities and landscape features, a variety of stories, and architectural detail.

As a multifamily residential community, enhanced amenities have been provided for the residents. The amenities include patio amenities with barbeque and seating areas, swimming pool, an outdoor lounge, a dog area for dog owners, fitness center, and an indoor lounge area. Adjacent to many of the amenities is open space, which is also provided between buildings, creating enjoyable gathering areas for residents. The pedestrian walkways connect individuals to various areas of the site, buildings, and parking areas.

C. Parking

The site will have a total of 383 parking spaces consisting of open, covered and enclosed parking spaces. Parking space dimensions are 10' wide by 20'-0" long. Enclosed parking spaces, 3 in total, will be provided as part of a garage/maintenance building.

D. Vehicular Access and Circulation

A main entrance with full movement will be provided along a Gary Road leading to a gated entry and guest parking in front of the clubhouse. A secondary shared driveway will be provided along the same road for a resident only entrance and full exit gate. These two connections will provide seamless connectivity and safety.

E. Pedestrian Circulation

Pedestrian circulation is a key feature provided by the proposed site plan. Off-site access is provided via sidewalks along the local streets, and on-site pedestrian circulation is well-defined and interconnected between the different buildings and uses to ensure that those living in this community as well as those visiting the development, have safe and convenient access throughout the property. Attention will be given to provide quality shade on pedestrian circulation connections.

F. Architectural Design & Theme

1. Building Massing and Articulation

The proposed project consists of luxurious apartments with five various apartment building types, one clubhouse building type, and one maintenance building type that are arranged as a group of various masses. The architectural theme is an agrarian style that emulates materials used across the street within the commercial development and pulls other unique elements of agrarian architecture from the town of Queen Creek. All of which contribute to different sized layered volumes, materials, and strategically placed linear horizontal elements.

The building masses are organized as a series of elements that include, patios, and balconies; thereby adding a great deal of variety and visual interest to the elevations. Most of the buildings on the site are arranged around open spaces where residents may gather, these courtyards contain spacious and aesthetically pleasing environments with various amenities. The distinctive architecture features a combination of two, and three stories with architectural elements at different elevations. The various elements of the development harmoniously blend a modern

architectural style with color, form, and texture to compliment the architectural style of Harvest Station planned for the west side of Gary Road.

2. Building Materials

The project utilizes a large variety of materials. Included in our palette of materials are:

- Stucco system with various paint color options and a trim color
- Metal corrugated siding
- Nichiha Board siding
- Decorative metal railings, gates, and accents.
- Deep overhangs
- Architectural masonry at patio walls and select building locations, and throughout the site at amenity areas.

3. Unit Design

There are five dwelling unit types in the project. Three of the unit types have one bedroom, two of the unit types have two bedrooms, and one of the unit types has three bedrooms. The development will include 90 one bedroom's units, 102 two-bedroom units, and 12 three-bedroom units, for a total of 204 units provided.

G. Compliance with Multifamily Design Standards

The Quality Development Design Guidelines sets forth suggestions for residential development to encourage creative and innovative design techniques, quality, and merit. The multifamily development complies with the following:

1. Open Space

Private and common open space areas are provided as follows:

- a. Usable common open space and recreation area will be a minimum of 30% of the net site area.
- b. A private exterior open space will be provided for each unit.

2. Site Circulation and Parking

Safe and convenient pedestrian circulation to and from parking lots throughout the development is provided. Parking canopy covers are architecturally integrated with the surrounding structures, i.e., color, materials, location, and 6" minimum fascia (all four sides).

3. Common Open Space Amenities

This site provides the following onsite amenities.

- a. One resort style swimming pool.
- b. One enclosed community building at least 1,000 square feet.

4. Specific design attention areas

The design of courtyards and pedestrian areas will relate to "human scale." Common open spaces, rather than parking lots, will be used as central features. The specific design features incorporated into the design of the development are embraced by the developer as design elements that set their communities apart from other multifamily developments.

5. Energy conservation

The development provides shade on the south and west sides of buildings by overhang and/or trees and provide shade trees on the south and west side of streets. Types of building shading will be provided through recessed patios and balconies, roof overhangs, and the use of landscape. This project will also be sensitive towards "green design" by use of, energy star appliances, programmable thermostats, water efficient plumbing fixtures and landscaping, electric car charging stations at select areas around the site.

6. Landscaping

The Property is envisioned as a luxurious multi-family residential community set in a lush environment. The main entry off Gary Road greets residents and visitors with a landscape palette that reflects the quality and character of the community. This project has been designed with a modern desert landscape featuring authentic and natural materials that will be utilized along with a patterned landscape to accentuate the development. Decorative paving enhances the entry drive aisle, announcing the arrival into the community, adding to the pedestrian experience, and leading visitors and potential residents to the centrally located leasing center. A concerted effort has been made to provide convenient and comfortable pedestrian pathways throughout the site, providing access to the clubhouse and amenities, as well as to adjacent roadways and nearby retail amenities and services. A centralized community amenity area is prominently featured within the community and includes a variety of amenities that can be enjoyed by residents of all age groups. The main amenity area features a resort style pool, spa, and fitness center with decorative paving, elegant lighting, a central fire pit, pool side shade elements, and several seating and lounging areas. A tot lot, play equipment, and a lush turf area

has been provided for younger children. Finally, a generous dog park has been provided featuring a fenced in turf area with shade trees and a closed in dog wash/grooming amenity near the dog park.

Overall, this project has been designed as an integrated whole, both functionally and aesthetically, to achieve a unique project identity that contributes to the high-quality residential development within the Town of Queen Creek. The overall site design creates a well landscaped, comfortable, and resort like environment for residents and visitors of all ages.

7. Building Standards

Mechanical equipment is fully screened through the use of parapet walls on the building elevations; they are concealed from view as an integral part of the building.

8. Lighting

Lighting will be compatible with the current Queen Creek Development Code, external lighting will be located and designed to prevent rays from being directed off the property upon which the lighting is located. The parking lot lighting will be mounted 18' AFG, measured from the bottom of the fixture or fixture lens to above finish grade.

H. Summary

The proposed multi-family residential community will provide additional and alternative housing opportunities to address the needs of the Town and future employers. The proposed community will also provide the best transitional use between the surrounding commercial, the nearby major arterials, freeway, and the single family uses to the north and east. The architecture of the project fits well into the area by both complementing the existing building materials and colors, as well as incorporating modern elements to the design that respects the significance of the surrounding commercial development. The thoughtful design of the proposed project will be an attractive entry to the overall area and provide numerous benefits to the area and the Town of Queen Creek.