



Requesting Department:  
Development Services

**TO: Planning and Zoning Commission**

**THRU: Brett Burningham, Development Services Director**

**FROM: Erik Swanson, Planning Administrator  
Steven Ester, Planner II**

**RE: Public Hearing and Possible Action on P21-0125 and P21-0126 The Bungalows at Combs and Gantzel Phase II PAD Rezone and Site Plan, a request for a PAD rezone from C-2 to Medium Density Residential (MDR)/PAD and Site Plan approval for an 85 unit, single-story multi-family development on approximately 7.28 acres, located west of the northwest corner of Combs and Gantzel roads.**

**DATE: November 10, 2021**

**STAFF RECOMMENDATION**

Staff recommends approval of P21-0125 and P21-0126 The Bungalows at Combs and Gantzel Phase II PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

**PROPOSED MOTION**

Move to recommend approval of P21-0125 and P21-0126 The Bungalows at Combs and Gantzel Phase II PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

**RELEVANT COUNCIL GOAL(S)**



Secure Future

**SUMMARY**

The proposal consists of a request for a PAD rezone from C-2 to Medium Density Residential (MDR)/PAD and Site Plan approval for an 85 unit, single-story multi-family development on approximately 7.28 acres, located west of the northwest corner of Combs and Gantzel roads.

This is for Phase II of the overall Bungalows at Combs and Gantzel project, as Phase I was previously approved by the Town Council in December of 2020.

**HISTORY**

- September 17, 2008: Town Council approved Ordinance 440-08, ANX08-042 “Vineyard Towne Center,” annexing the subject site from Pinal County into the Town with equivalent C-2 zoning applied.
- December 2, 2020: Town Council approved Ordinance 743-20, P2-0048 and P20-0052 The Bungalows at Combs and Gantzel PAD Rezone and Site Plan.

**PROJECT INFORMATION**

Project Name	The Bungalows at Combs and Gantzel Phase II PAD Rezone and Site Plan
Site Location	W/NWC of Combs and Gantzel roads
Current Zoning	C-2 (General Commercial)
Proposed Zoning	MDR/PAD (Medium Density Residential)
Surrounding Zoning Designations:	
North	CR-2 (Pinal County – Single Residence Zone) C-3 (Pinal County – General Commercial)
South	C-2 (General Commercial)
East	C-2 (General Commercial)
West	MDR/PAD (Medium Density Residential) – The Bungalows Phase I
Acreage	7.28 acres
Total Lots/Units	85 units
Proposed Density	11.7 du/acre (net)
Open Space	Required: 20% - 63,423 SF (1.46 acres) Provided: 39.8% - 126,257 SF (2.90 acres)
Parking	Required: 166 parking spaces Provided: 171 parking spaces

**DISCUSSION**

Back in December of 2020, the first phase of the Bungalows project was approved by the Town Council with an associated PAD Rezone and Site plan for 236 single-story, multi-family units across 19.9 acres. As the initial portion of the site progressed through the permitting process, the developer came forth once again to add an additional 85 units of matching product as a second phase of the development. The total of both phases includes 321 units on

approximately 27.2 acres. In general, Phase II will tie into the existing plans and mimic the design elements for a cohesive theme across the project as a whole.

The Bungalows at Combs and Gantzel Phase II is a single-story, multi-family attached and detached gated residential rental community with 85 units and a net density of 11.7 units per acre. The proposed multi-family development functions similar to a single-family neighborhood with the units designed to feature private backyards resembling small cottages, rather than traditional style apartment buildings. The orientation and layout of Phase II is reflective of the design originally envisioned with Phase I.

The main entrance for The Bungalows at Combs and Gantzel is still located off of Sangria Lane, which includes an enhanced sense of arrival through the use of decorative paving and a landscaped median to establish a prominent entryway in accordance with the Zoning Ordinance. This access was approved as part of Phase I to align with the Town's Fire Station #5 directly south across Combs Road as part of the signalized intersection. However with Phase II, there is an additional entrance proposed from the east side of the site out to Gantzel Road, as a means to provide a secondary access that will reduce the volume of traffic otherwise directed onto Sangria Lane. The secondary access to Gantzel Road will be developed with Phase II as an asphalt path that runs across the northern edge of the future, adjacent commercial parcel in an easement coordinated between the land owners. When the commercial center is finalized and developed, the permanent location of the access will be designated, and also allow for users to go north towards the existing Dairy Queen to exit at the Pecan Creek Drive signalized intersection.

With the inclusion of this site in the South Specific Area Plan, the proposed development provides amenities integrated throughout the site to maintain the character and feel of the community. The main amenity area will include a central clubhouse building, resort-style swimming pool and spa, restrooms, turf areas, BBQ equipment, and seating areas for residents to gather. In general, the amenities are connected through a network of pathways to create accessible and walkable focal points within the development. Pedestrian circulation is promoted through the development's layout and orientation of the units, open space, and sidewalks. The attention to balanced open space and recreation within the development supports the theme and intent behind the SSAP. Both the private and common open space will be maintained by the community's property management association.

## **Landscape Buffers**

As shown on the landscape plan, all of the required landscape buffers are provided along site's edges, consisting of trees and shrubs typically found on other properties located within the South Specific Area Plan. Additionally, a six-foot, decorative theme wall with three (3) different materials is provided in accordance with the Zoning Ordinance requirements around the southern and eastern boundaries of the Phase II property. The tree species proposed within the landscape buffers are largely red push pistache, with cascalote trees also dispersed around the site's perimeter in certain areas. It should be emphasized that Phase II provides nearly

double the required minimum amount of common open space, and coordinates with the existing plant palette defined for Phase I.

Along the north boundary of the property, a 15-foot landscape buffer is shown external to the perimeter builder wall to visually soften the northern edge of the site abutting Pinal County property. Because Phase II will be connected into Phase I, there is no applicable buffer requirement at its west side. At the site's east and south ends, the landscape buffer is ten (10) feet wide, all of which is external to a perimeter theme wall, to meet the required proportional share of 20 feet with the future commercial development. The units themselves feature 10-foot deep private backyards against the provided landscape buffers to further transition the development from surrounding uses. Each backyard will contain a shade tree, as was done with Phase I.

## **Design Standards**

Architecturally, the design team has approached the units much like single-family homes, providing elements of four-sided architecture specific to a stylized theme. Craftsman and Farmhouse architectural components are incorporated into the proposed buildings, which feature sloped gable and hip roof patterns to improve upon the flat-roofed systems seen in previous MDR projects. With further regards to the South Specific Area Plan, a focus on the modern take of a Farmhouse feel and look has been emphasized in the materials and sleek colors applied across the development. Other design elements found in the architecture include brick veneer, standing seam roofing, shutters, varying column designs, stucco finishes, and a variety of roof lines. The units are modeled to be either stand-alone or as duplexes. In addition to the units, several covered canopies and garage spaces are provided throughout the community. Similar design elements and color schemes are consistent to ensure there is an aesthetic blend between the canopies, garages, amenities, and living units.

As a general note, the elevations and product proposed with Phase II match the design of those previously approved in Phase I of the Bungalows. This further ties both portions of the development together, in terms of style and architecture.

## **Proposed Zoning Ordinance Deviation**

One (1) deviation to the Zoning Ordinance is requested by the applicant:

- **Reduce the required building separation of fifteen (15) feet to ten (10) feet.** Per the Design Standards, multi-family buildings shall be separated by a minimum of fifteen (15) feet. The applicant requests the deviation stating it is an essential element of the development's open space plan and efficiency. It is justified by the buildings' smaller scale, reduced impact on surrounding properties, and open space areas that increase light, space, and views within the site. Individual buildings will be clustered and oriented toward pedestrians and open space pathways internally, while complying with applicable building code requirements. This deviation is consistent with other developments similar in design, and matches the request previously approved in Phase I of the Bungalows.

The applicant has also stated in general that these deviations are justified because of the development's additional open space, 1-story level product height, site constraints, and its overall similarity to a single-family residential use. Staff supports the requested deviation as a part of the PAD.

## PUBLIC PARTICIPATION

The applicant held a neighborhood meeting on August 16, 2021 at the Town's Community Chambers, in accordance with the notification requirements set by the Zoning Ordinance. There were zero (0) residents in attendance.

Staff has not received any calls or letters regarding the proposal at this time. If any future correspondence is received, the case record will be updated for conveyance.

## ANALYSIS

**General Plan Review:** The General Plan Land Use designation for this project is Commercial. Historically, this 7.28 acre project site has been a part of a previously approved 63 acre commercial development with Pinal County, "Vineyard Towne Center." Following the overall 63 acre site's Annexation into the Town in September of 2008, the equivalent Town zoning of C-2 was applied, which is in conformance with the Commercial land use designation that exists on the site today.

As outlined in the Town's 2018 General Plan, requests of sites up to 20 acres with a Commercial land use designation can be zoned out of conformance with the identified zoning districts under the Commercial designation. Although MDR (Medium Density Residential) zoning is not included under the Commercial designation, a General Plan Amendment is not required because the site is under the 20 acre threshold at 7.28 acres in size. The remaining 36 acres within the Commercial designation are also currently in the review process for a phased retail development as originally planned.

**Economic Development Review:** With any request to rezone property from commercial to residential, the Development Services and Economic Development department's staff consider the potential impacts on one time revenues and annual sales tax revenues. However, after reviewing and analyzing the 7.28 acre request with regards to the Town's Retail Market Analysis and Land Use Balance study by Elliott Pollack and Co., Staff is not opposed to the request to reduce the remaining commercial acreage from approximately 43 acres to 36 acres to accommodate a Medium Density Residential development.

**Zoning Review:** To restate, this request is for Phase II of the overall Bungalows at Combs and Gantzel project. Phase I was previously approved by the Town Council in December of 2020. The property is currently zoned C-2 (General Commercial). The proposed zoning of MDR/PAD complies with the General Plan Land Use Designation of Commercial, per the previously stated 20 acre allowance. This site is in conformance with the Multi-Family standards

in the Zoning Ordinance and Design Standards. As discussed above, one (1) deviation is proposed to reduce the required building separation from fifteen (15) feet to ten (10) feet. Based on the justification provided by the applicant, Staff is supportive of the proposed deviation.

**Adequate Public Facilities:** In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

**Engineering, Utilities, and Traffic Review:** The Engineering Division, Traffic Division, and Utilities Department have been involved throughout the review of the request. With the original review of Phase I, there was concern with the amount of potential traffic generated onto Combs Road. As a result, Phase II has incorporated a secondary access point out to Gantzel Road per the TIA to provide relief for circulation. Conditions of Approval have been added accordingly.

**CONDITIONS OF APPROVAL**

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the zoning ordinance applicable to this case, except as modified herein.
2. The applicant shall ensure the proposed multi-family residential development will actively participate in the Crime Free Housing program, including Crime Prevention through Management.
3. The required building separation of 15' is hereby reduced to 10', as designated by the PAD.
4. The secondary access to Gantzel Road shall be provided with the improvements for Phase II of the Bungalows.
5. A fair disclosure agreement and/or covenant should be provided to lessee's or buyers stating the following: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals. The mix of aviation activities and types of aircraft expected to be located and operate at the Airport now and in the future include: scheduled and unscheduled commercial charters, commercial air carriers, and commercial air cargo operations, all of which are expected to use large commercial aircraft. General aviation activity includes using corporate and executive jets, helicopters, and propeller aircraft. Aviation flight training school includes using training aircraft. Military activity includes using high performance military jets. The size of aircraft and frequency of use of such aircraft may change over time depending on market and technology changes."

## ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Exhibit
4. Proposed Zoning Exhibit
5. Site Plan
6. Landscape Plan
7. Wall Plan
8. Elevations and Floor Plans
9. Project Narrative
10. Neighborhood Meeting Summary

**Project Name: The Bungalows at Combs and Gantzel Phase II Aerial Exhibit**

**Case Numbers: P21-0125 & P21-0126**

**Hearing Date: November 10, 2021 (Planning Commission)  
December 1, 2021 (Town Council)**

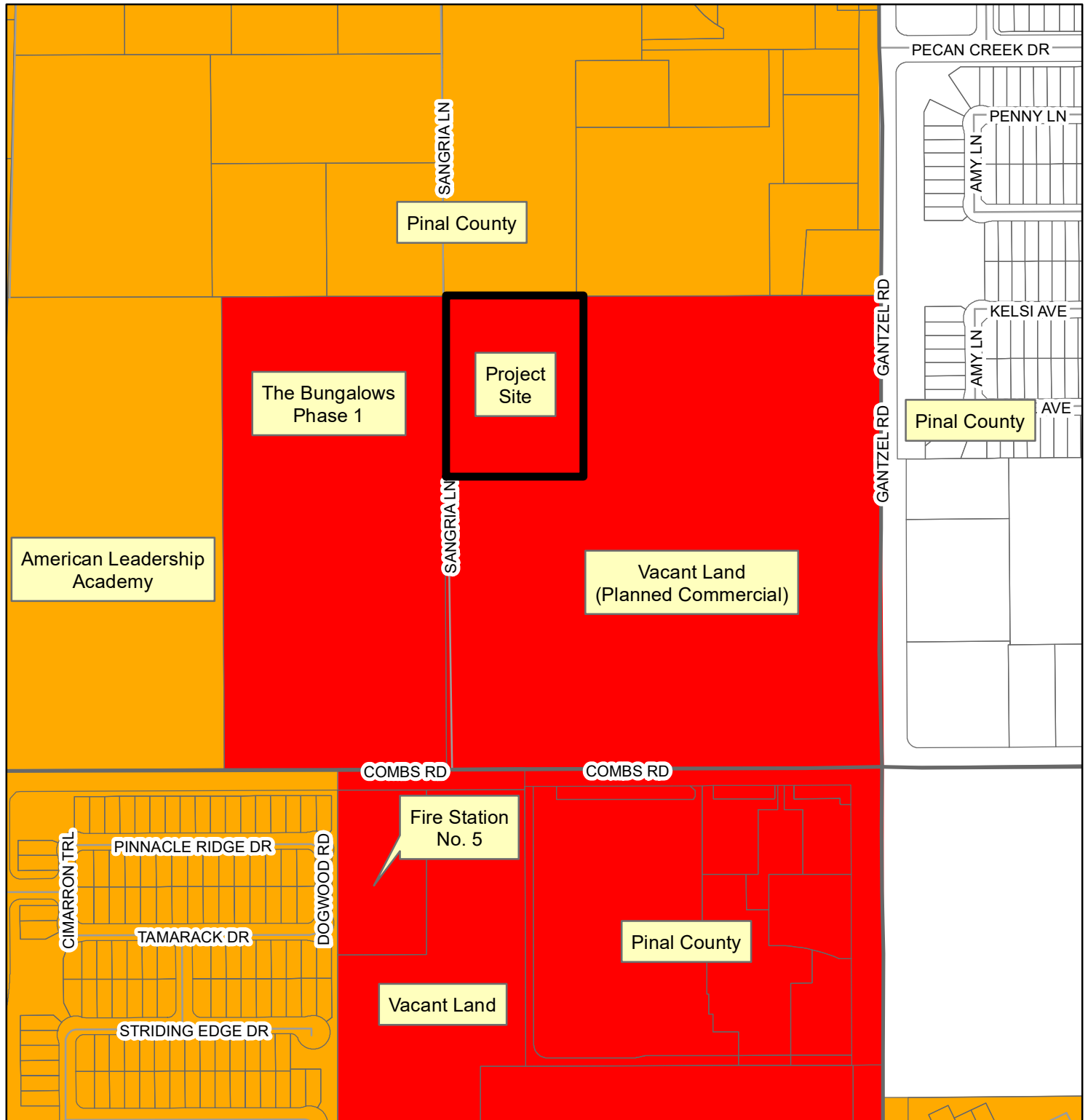




# Project Name: The Bungalows at Combs and Gantzel Phase II General Plan Exhibit

Case Numbers: P21-0125 & P21-0126

Hearing Date: November 10, 2021 (Planning Commission)  
December 1, 2021 (Town Council)



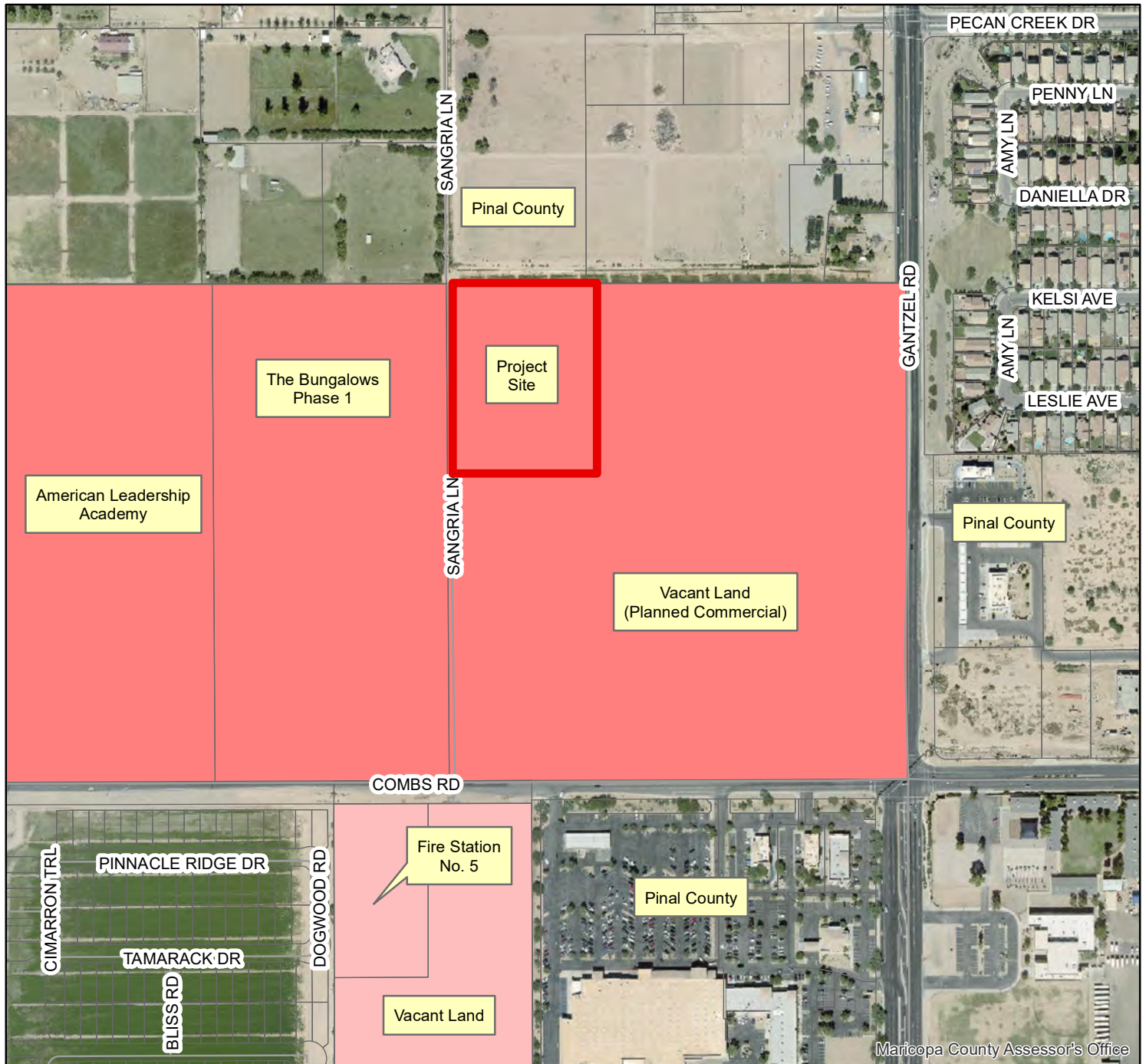
## General Plan Land Use

- |              |            |                    |                    |
|--------------|------------|--------------------|--------------------|
| Rural        | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 |                    |
| Urban        | Open Space | Special District 3 |                    |


























# Project Name: The Bungalows at Combs and Gantzel Phase II Current Zoning Exhibit

Case Numbers: P21-0125 & P21-0126

Hearing Date: November 10, 2021 (Planning Commission)  
December 1, 2021 (Town Council)



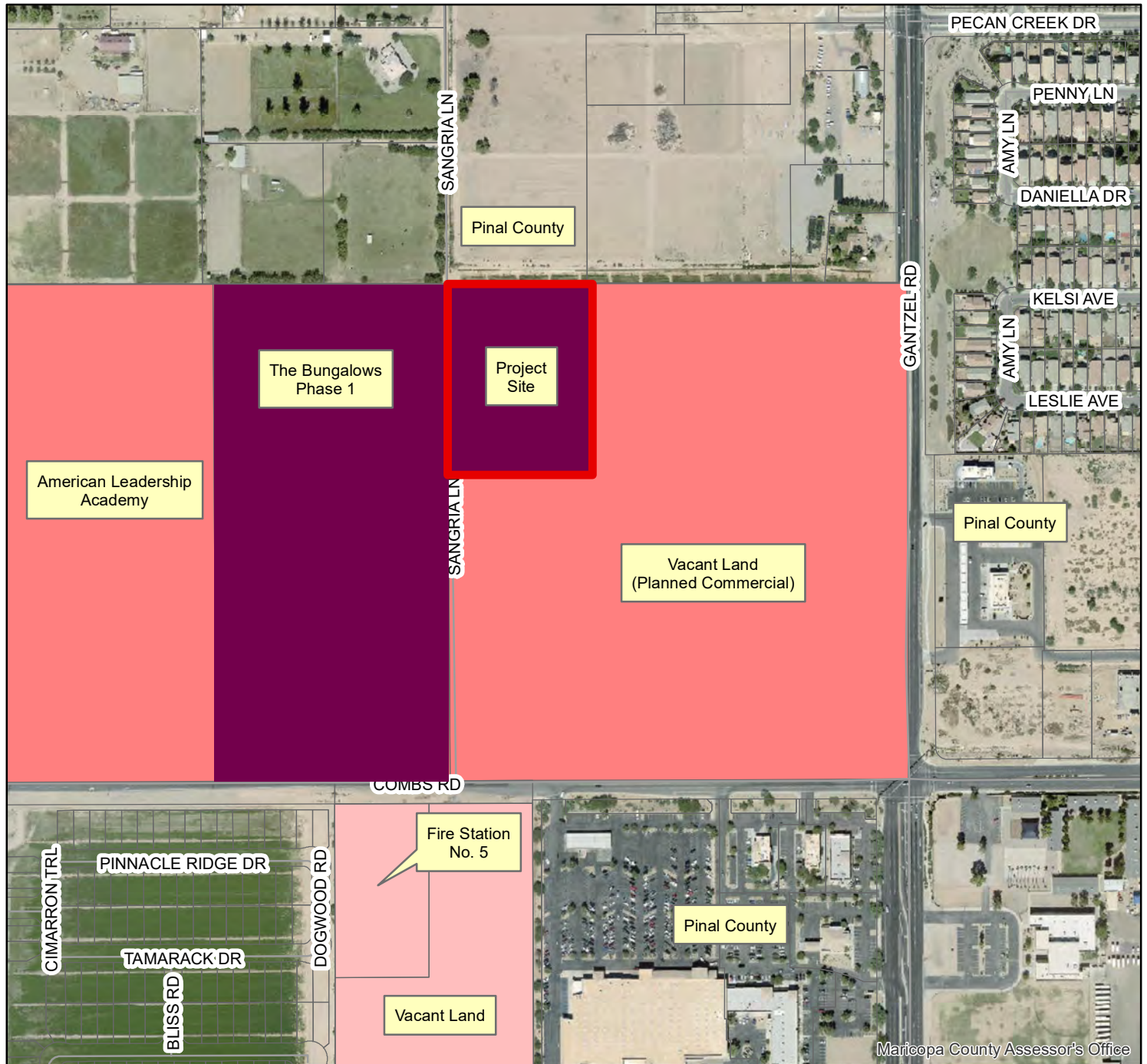
## Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use


























# Project Name: The Bungalows at Combs and Gantzel Phase II Proposed Zoning Exhibit

Case Numbers: P21-0125 & P21-0126

Hearing Date: November 10, 2021 (Planning Commission)  
December 1, 2021 (Town Council)



## Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
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 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
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			 MU - Mixed Use

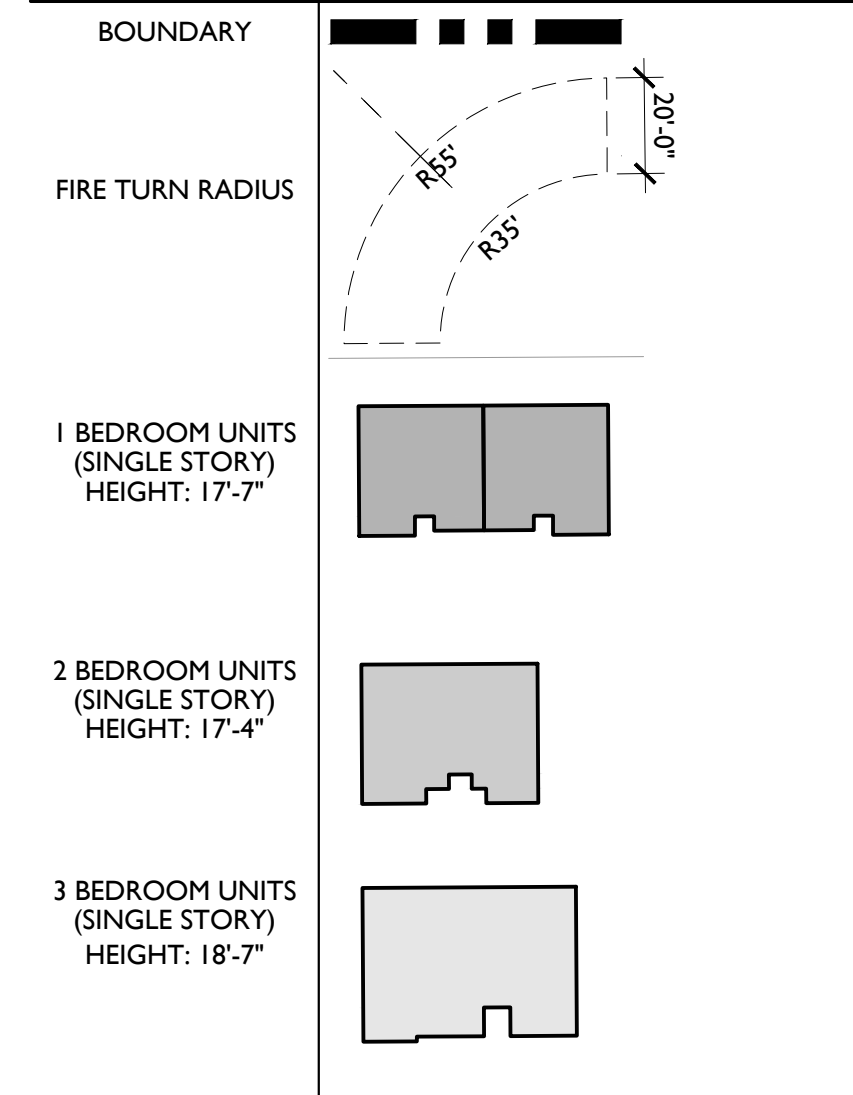


PHASE 2 SITE PLAN DATA	
GROSS AC.	7.28 AC. OR 316,970 S.F.
APN#:	104-53-0100
EXISTING ZONING:	COMMERCIAL
PROPOSED USE:	MDR
TOTAL # OF UNITS:	1 BEDROOM UNITS: 26 (31%) 2 BEDROOM UNITS: 42 (49%) 3 BEDROOM UNITS: 17 (20%) TOTAL UNITS: 85
DENSITY (NET):	11.7 DU/AC
PROPOSED BUILDING HEIGHT:	SINGLE STORY
OPEN SPACE PROVIDED:	39.8% OF NET (COMMON OS) 126,257 SQ. FT. OR 39.8% (COMMON OS) 34,631 SQ. FT. OR 10.8% (BACKYARDS)
LOT COVERAGE PROVIDED:	28.3 % 1 BED- 26 UNITS x 676 SQ. FT. = 17,576 SQ. FT. 2 BED- 42 UNITS x 1,012 SQ. FT. = 42,504 SQ. FT. 3 BED- 17 UNITS x 1,355 SQ. FT. = 23,035 SQ. FT. GARAGES- 4 x 1,530 SQ. FT. = 6,120 SQ. FT. TOTAL BUILDING AREA = 89,235 SQ. FT. (89,235 / SITE AREA= 28.2% LOT COVERAGE)
REQUIRED PARKING:	1 BED UNIT (1.5 SPACE PER UNIT) 39 2 BED UNIT (2 SPACES PER UNIT) 84 3 BED UNIT (2.5 SPACES PER UNIT) 43 TOTAL REQUIRED PARKING 166
PROPOSED PARKING:	171 SPACES TOTAL INCL. 6 ACCESSIBLE SPACES INCL. 24 GARAGE SPACES INCL. 62 CANOPY SPACES

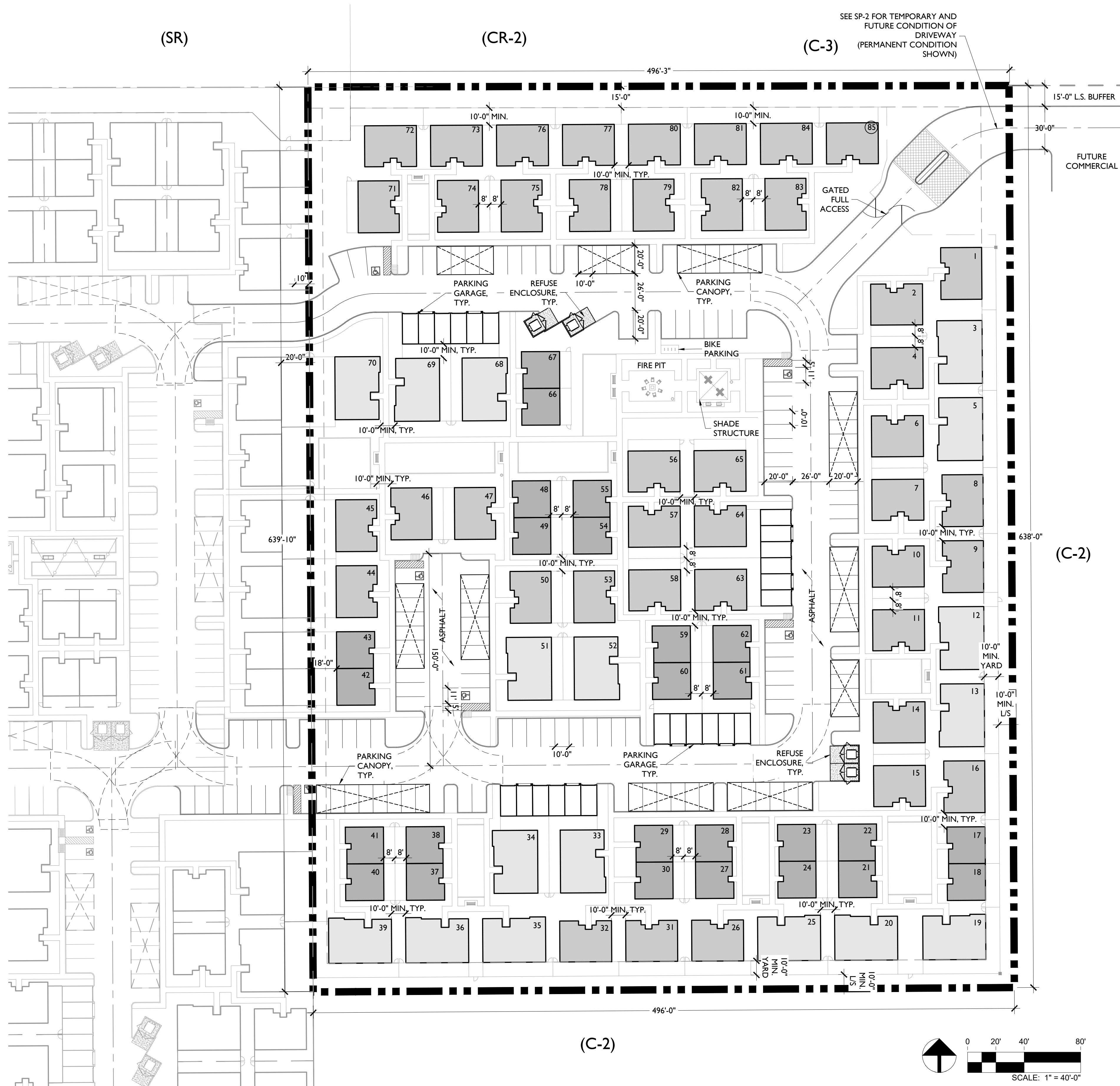
**PROJECT DESCRIPTION**

THIS REQUEST IS FOR AN APPROXIMATELY 7.28-ACRE PARCEL NORTHWEST OF THE NORTHWEST CORNER OF GANTZEL ROAD AND COMBS ROAD. THE PROPOSED MULTI-FAMILY RESIDENTIAL COMPONENT INCLUDES AN APPROXIMATE 85 UNIT, SINGLE STORY RESIDENTIAL RENTAL COMMUNITY WITH A MIX OF DUPLEX 1 BEDROOM, AND DETACHED 2 AND 3 BEDROOM UNITS WITH AN OVERALL DENSITY OF 11.7 DU/AC. EACH UNIT INCLUDES A PRIVATE OUTDOOR PATIO IN ADDITION TO AN ABUNDANCE OF COMMON OPEN SPACE. THE DEVELOPMENT IS THE SECOND PHASE OF THE APPROVED BUNGALOWS ON GANTZEL & COMBS AND WILL HAVE FULL ACCESS THROUGH THE ORIGINAL COMMUNITY AS WELL AS A SECONDARY FULL ACCESS POINT THROUGH THE PROPOSED COMMERCIAL SITE TO THE SOUTH AND WEST. THE GATED COMMUNITY WILL HAVE ACCESS TO ALL OF THE INCLUDED AMENITIES WITHIN THE ORIGINAL PROJECT.

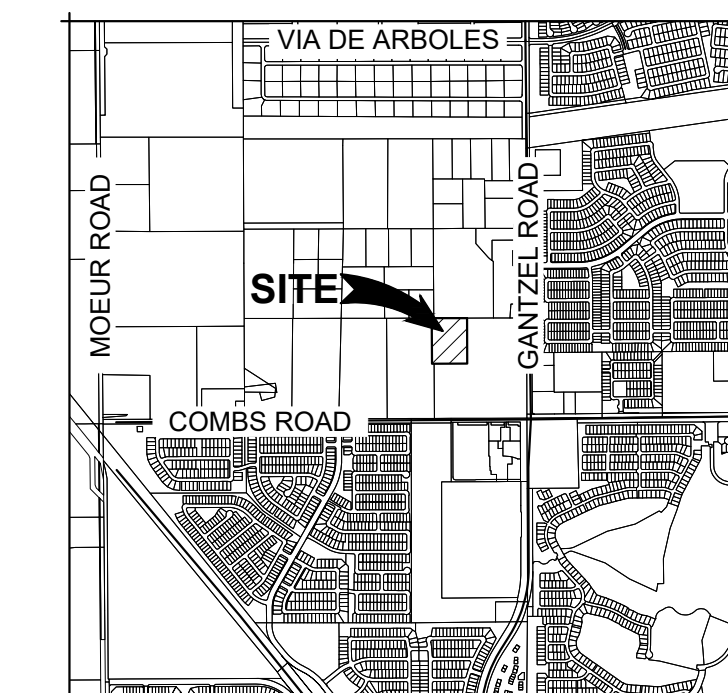
**LEGEND**



# PHASE 2 SITE PLAN FOR THE BUNGALOWS AT GANTZEL & COMBS



**VICINITY MAP**



PRELIMINARY  
NOT FOR  
CONSTRUCTION



**SITE PLAN DATA**

GROSS AC.	7.28 AC. OR 316,970 S.F.
APN#:	104-53-0100
EXISTING ZONING:	COMMERCIAL
PROPOSED USE:	MDR
TOTAL # OF UNITS:	1 BEDROOM UNITS: 26 (31%) 2 BEDROOM UNITS: 42 (49%) 3 BEDROOM UNITS: 17 (20%) TOTAL UNITS: 85
DENSITY (NET):	11.7 DU/AC
PROPOSED BUILDING HEIGHT:	SINGLE STORY
OPEN SPACE PROVIDED:	39.8% OF NET (COMMON OS) 126,257 SQ. FT. OR 39.8% (COMMON OS) 34,631 SQ. FT. OR 10.8% (BACKYARDS)
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PROPOSED PARKING:	171 SPACES TOTAL INCL. 6 ACCESSIBLE SPACES INCL. 24 GARAGE SPACES INCL. 62 CANOPY SPACES

**PROJECT TEAM**

DISCIPLINE	CONTACT INFORMATION
OWNER	ADVANCED ACQUISITIONS, LLC GARY BURTON 15300 N. 90TH STREET, SUITE 200 SCOTTSDALE, ARIZONA 85260 480.627.7000
PLANNER/ LANDSCAPE ARCHITECT	RVI PLANNING + LANDSCAPE ARCHITECTURE MARK REDDIE 120 S. ASH AVENUE TEMPE, ARIZONA 85281 480.994.0994
CIVIL ENGINEER	HILGART WILSON, LLC GEORGE KRALL 2141 E. HIGHLAND AVENUE, SUITE 250 PHOENIX, ARIZONA 85016 602.490.0535
ARCHITECT	MOORADIAN & ASSOCIATES BOBBIE BROWN 4578 N. FIRST AVENUE, SUITE 140 TUCSON, ARIZONA 85718 520.480.8117

**SHEET INDEX**

NUMBER	DESCRIPTION
SP-1	ENLARGED SITE PLAN
SP-2	SITE PLAN-ACCESS ROAD
SP-D	DETAILS SHEET

**SUBMITTAL HISTORY**

DATE	DESCRIPTION / COMMENTS
04/07/2021	PRE-APPLICATION
06/03/2021	1ST SUBMITTAL
07/19/2021	2ND SUBMITTAL
09/14/2021	3RD SUBMITTAL

**THE BUNGALOWS AT GANTZEL & COMBS**  
 PHASE 2 SITE PLAN  
 QUEEN CREEK, ARIZONA

PROJECT NO : 19002953  
DATE : SEPTEMBER 16, 2021  
DRAWN : JC  
REVIEWED : MR

REVISIONS

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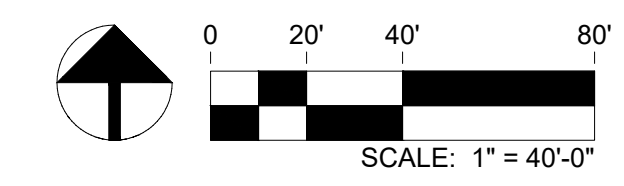
SITE PLAN

**SP-1**

SHEET 1 OF 3

L1:19002953-GANTZEL & COMBS-SITE PLAN-RVI-2953-2ND-PHASE 2 PRELIMINARY SITE PLAN.dwg 09/16/2021 jason.cristiani

NOTE: SEE LANDSCAPE PLANS FOR AMENITY DETAILS, WALL PLAN & WALL DETAILS.



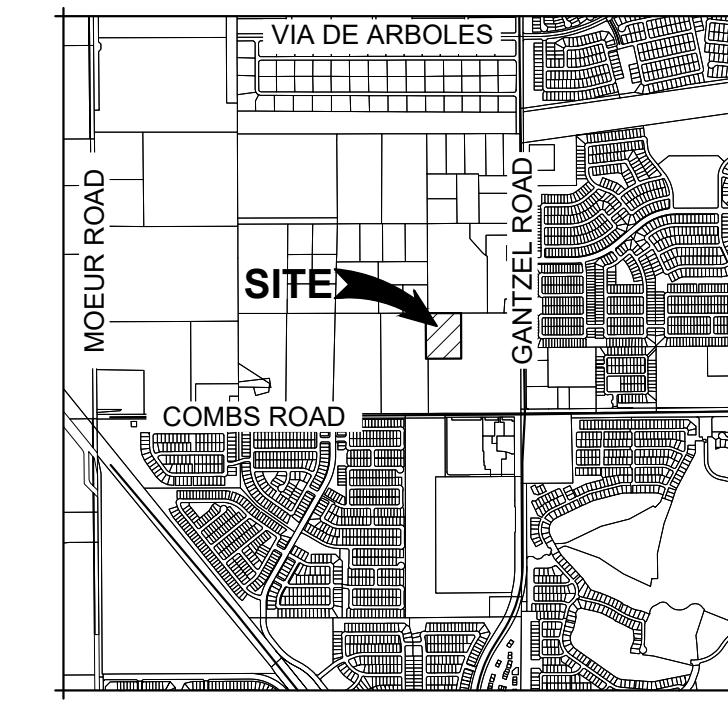
PHASE 2 SITE PLAN

**PROJECT DESCRIPTION**

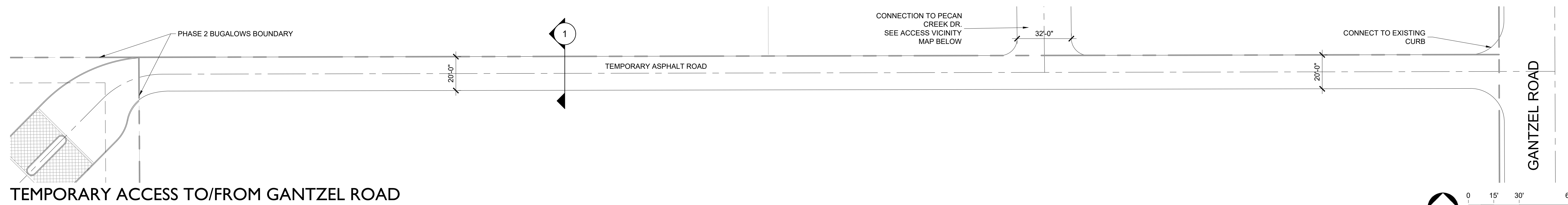
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# PHASE 2 SITE PLAN FOR THE BUNGALOWS AT GANTZEL & COMBS

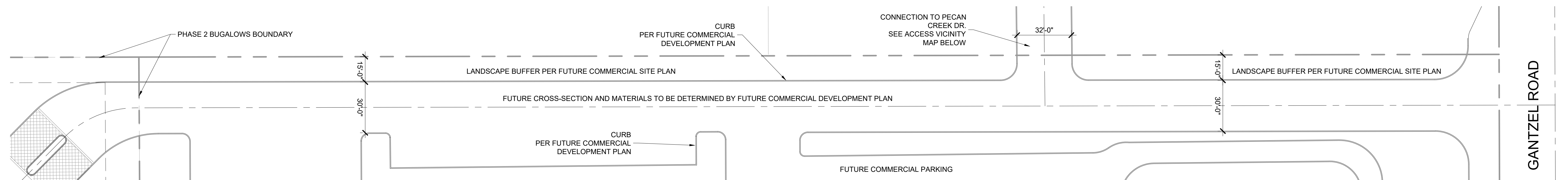
**VICINITY MAP**



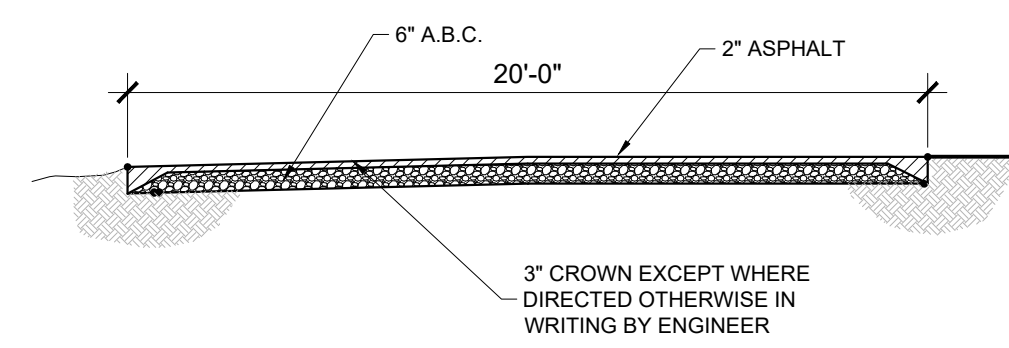
PRELIMINARY  
NOT FOR  
CONSTRUCTION



TEMPORARY ACCESS TO/FROM GANTZEL ROAD

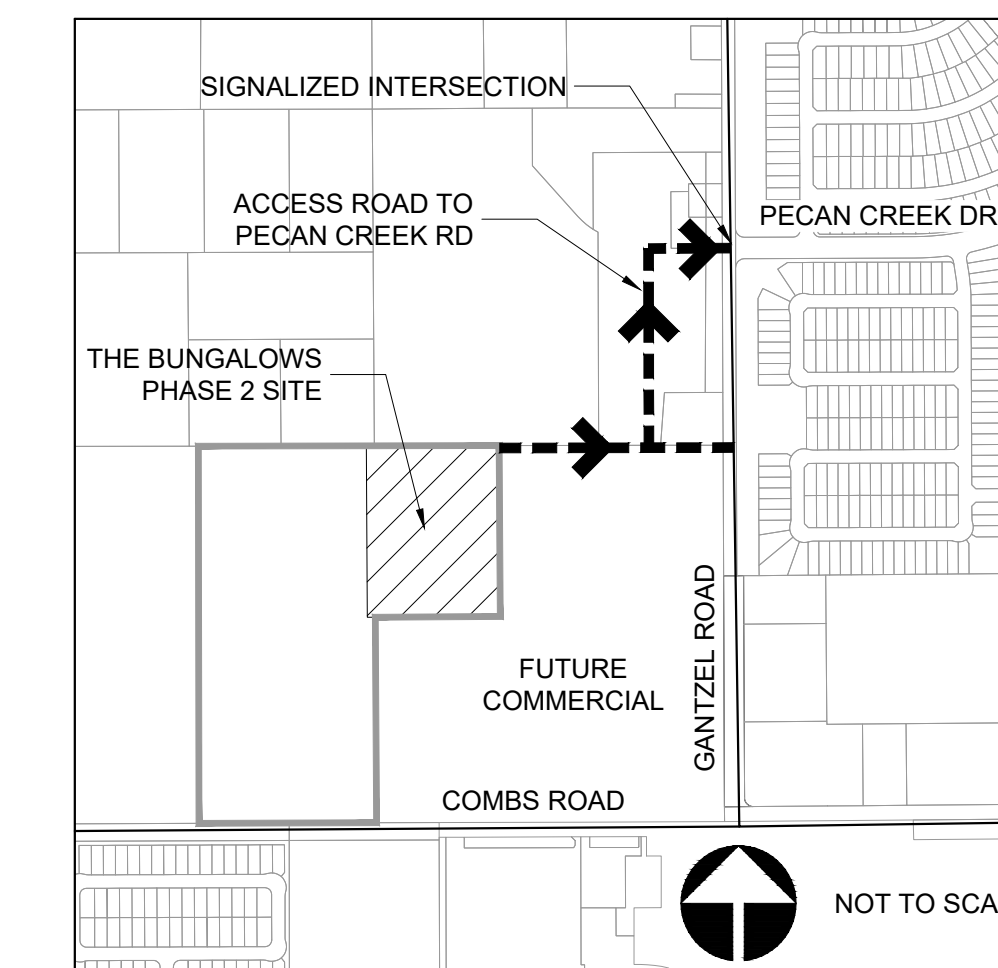


PERMANENT ACCESS TO/FROM GANTZEL ROAD



1 CROSS SECTION-TEMPORARY ACCESS DRIVE  
SCALE: NOT TO SCALE

**ACCESS VICINITY MAP**



**THE BUNGALOWS AT GANTZEL & COMBS**  
 PHASE 2 SITE PLAN  
 QUEEN CREEK, ARIZONA

PROJECT NO : 19002953  
 DATE : SEPTEMBER 16, 2021  
 DRAWN : JC  
 REVIEWED : MR

REVISIONS

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SITE PLAN

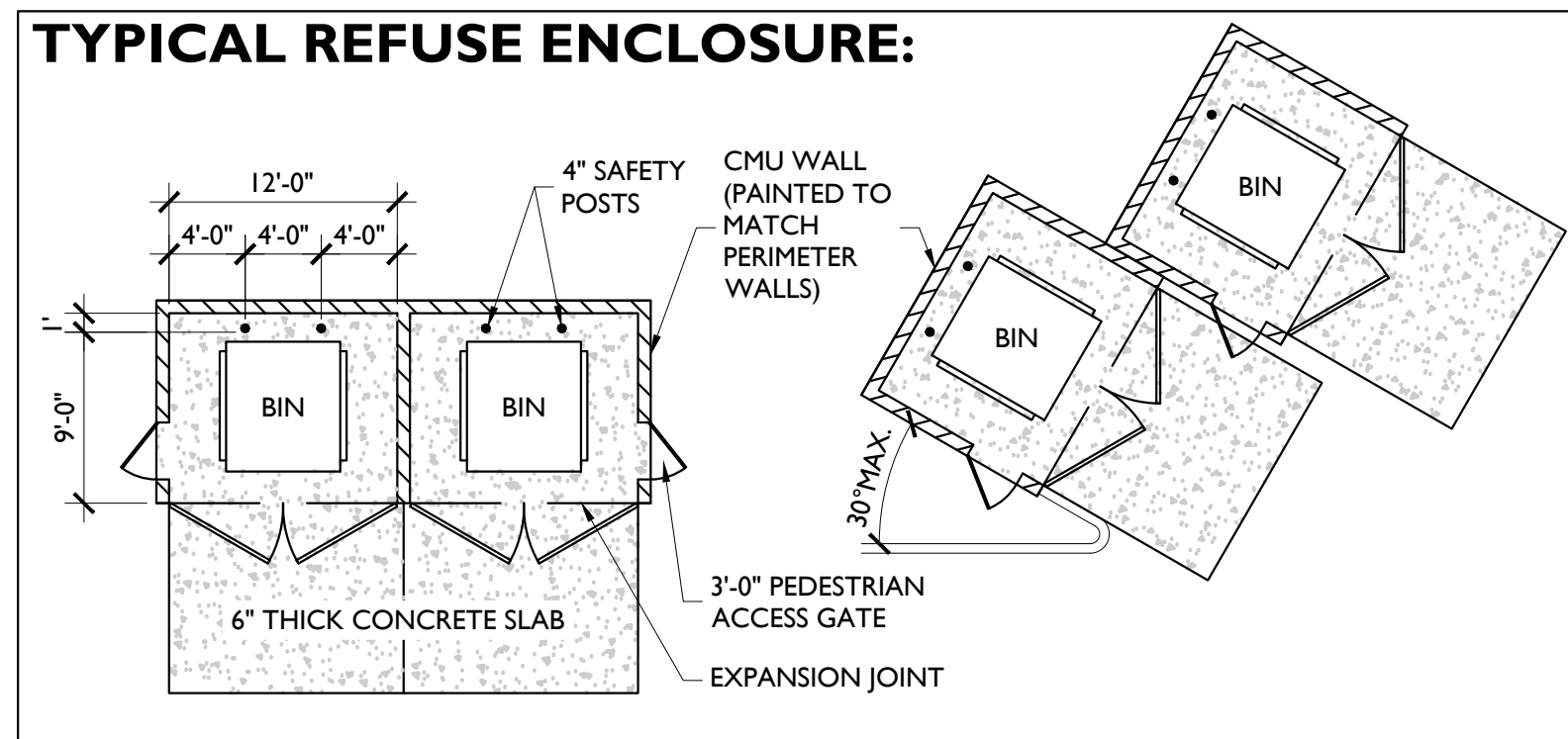
**SP-2**

SHEET 2 OF 3

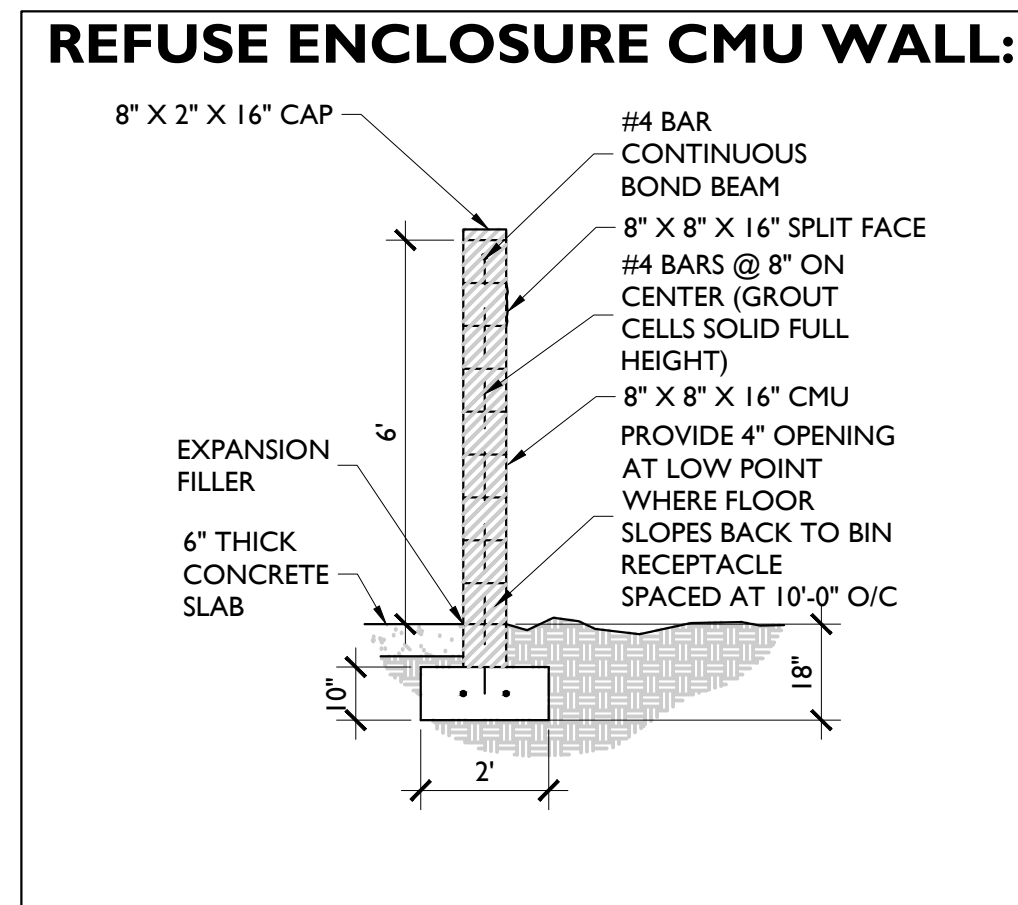
L:\19002953-GANTZEL & COMBS-SITE PLAN\RV-CAD\7-SITE PLAN\RV-2953-2ND-PHASE 2 PRELIMINARY SITE PLAN.dwg 9/16/2021 Jason Crawford

PHASE 2 SITE PLAN

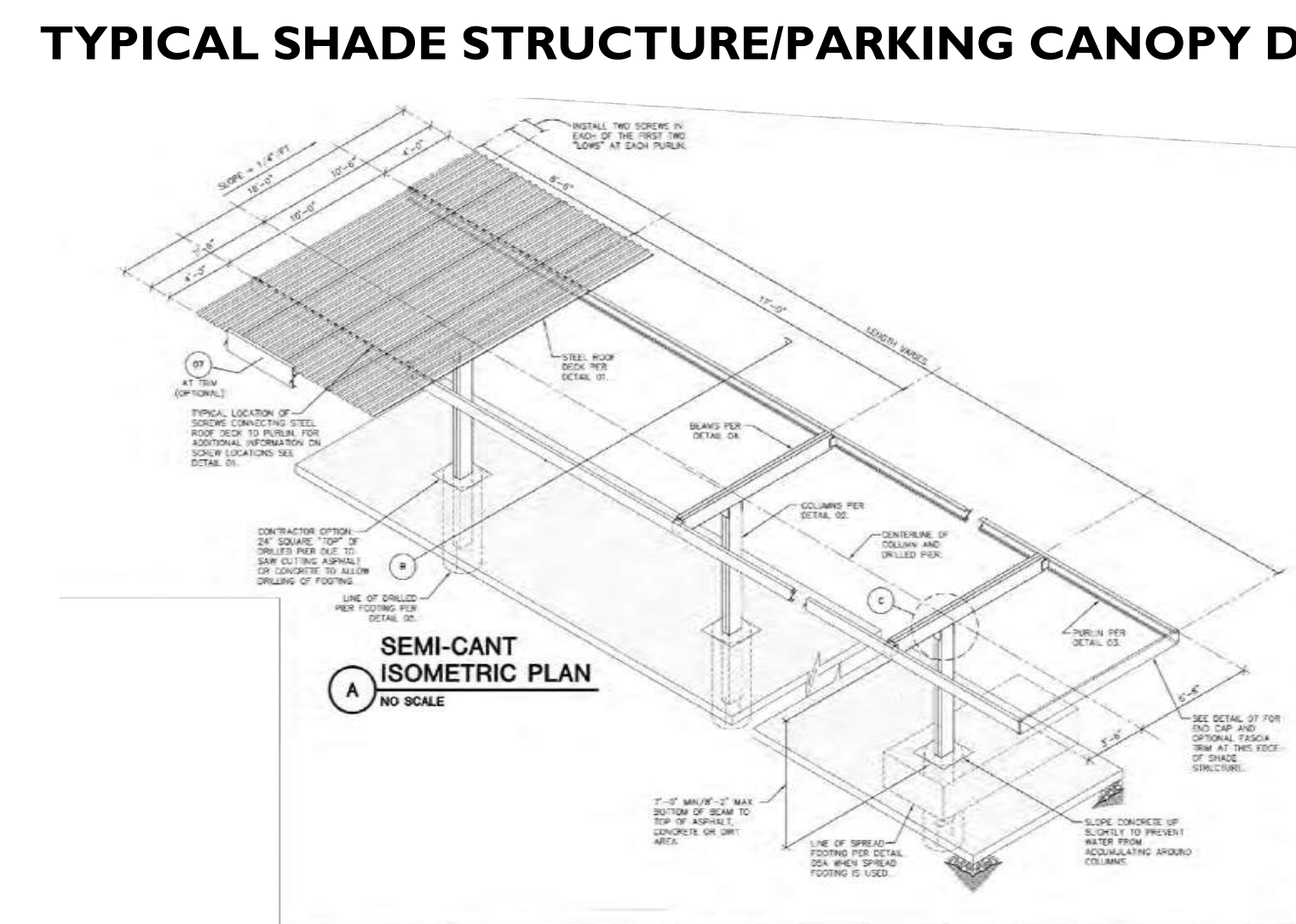
**TYPICAL REFUSE ENCLOSURE:**



**REFUSE ENCLOSURE CMU WALL:**



**TYPICAL SHADE STRUCTURE/PARKING CANOPY DETAIL:**

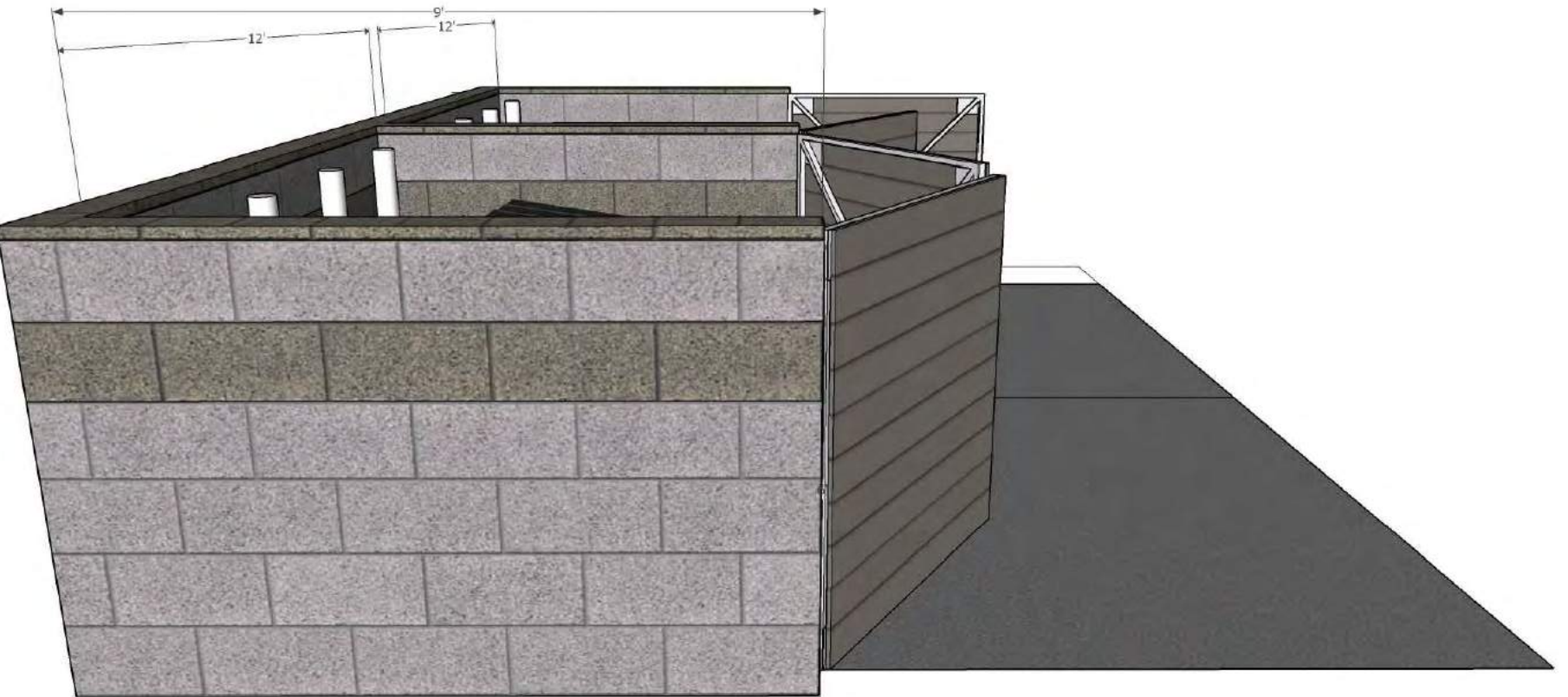


**SEMI-CANTILEVERED CARPORT**  
NOTE: IMAGE FOR REFERENCE ONLY

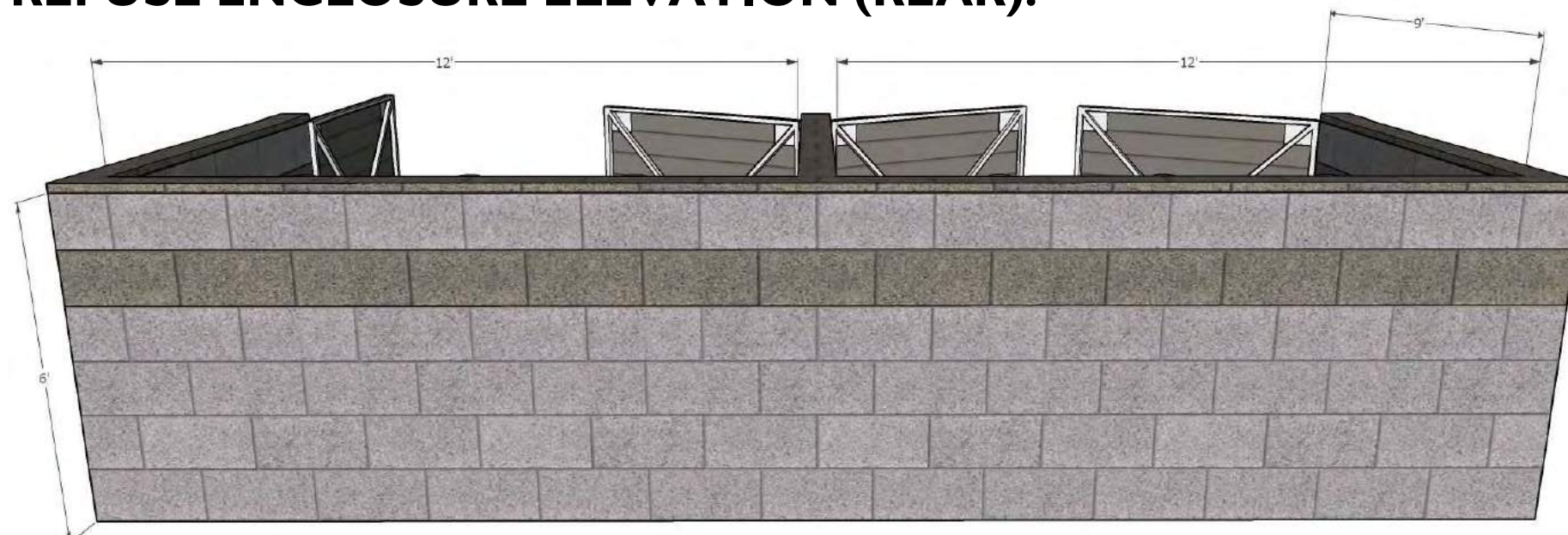
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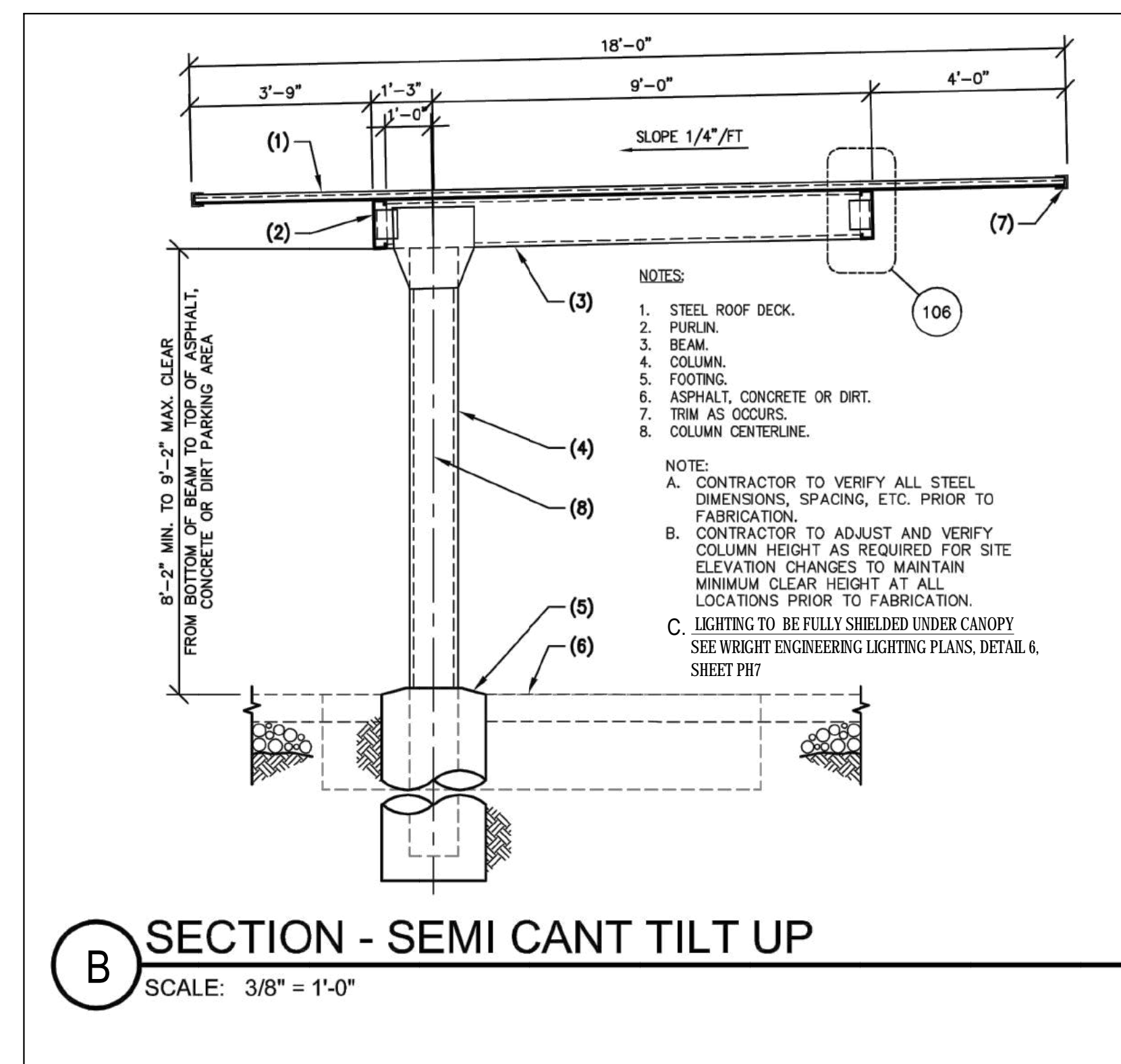
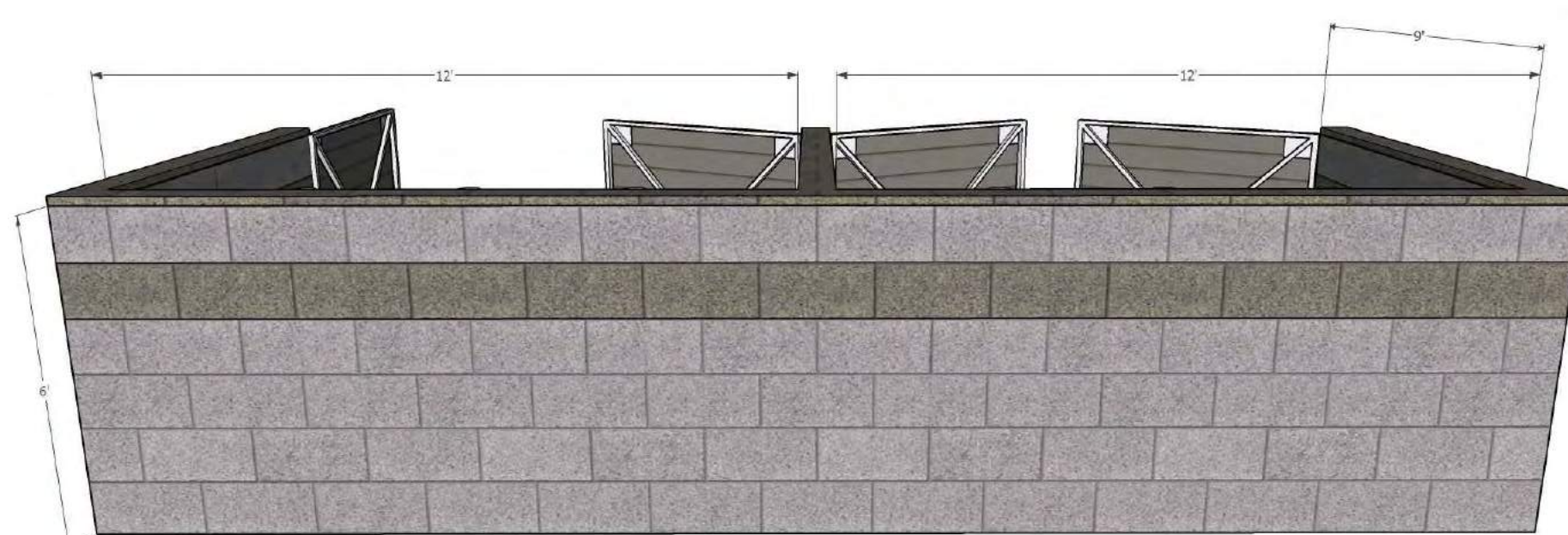
**REFUSE ENCLOSURE ELEVATION (LEFT):**



**REFUSE ENCLOSURE ELEVATION (REAR):**

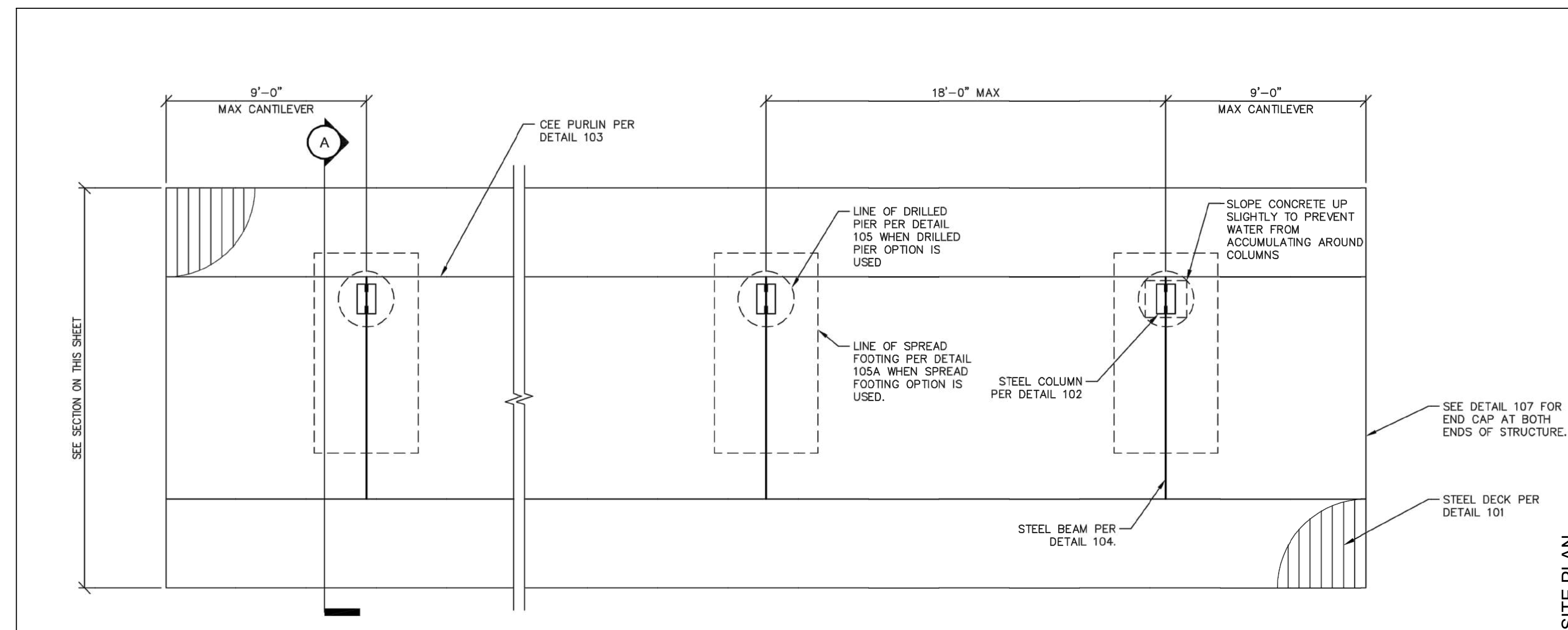
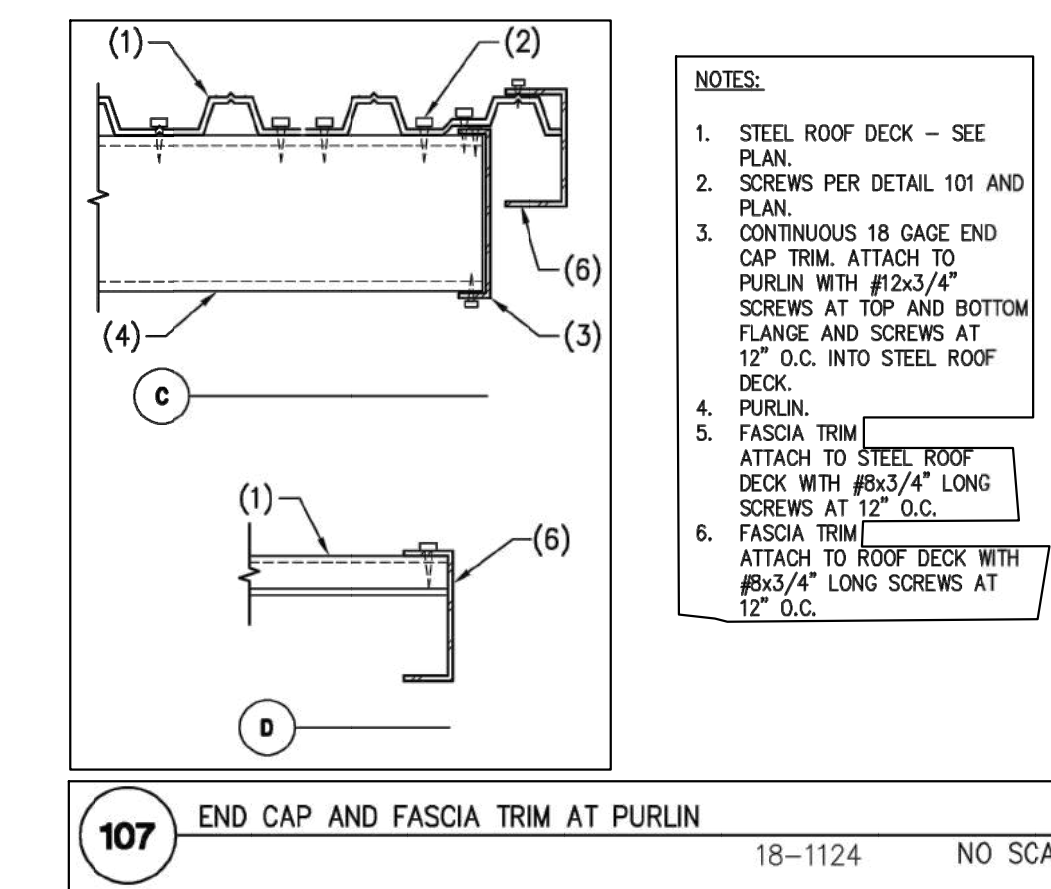


**REFUSE ENCLOSURE ELEVATION (RIGHT):**



**B SECTION - SEMI CANT TILT UP**  
SCALE: 3/8" = 1'-0"

**CARPORT COLOR**  
BM TYLER GRAY #CW-50



**SEMI CANT TILT DOWN PLAN VIEW**

SCALE: 1/4" = 1'-0"

REVISIONS

1	
2	
3	
4	
5	

# PRELIMINARY LANDSCAPE PLANS FOR THE BUNGALOWS

AT GANTZEL & COMBS  
QUEEN CREEK, ARIZONA  
ADVANCED ACQUISITIONS, L.L.C.

# RVI

120 S. Ash Avenue  
Tempe, Arizona 85281  
Tel: 480.994.0994  
www.rviplanning.com

EXPIRES 03/31/24



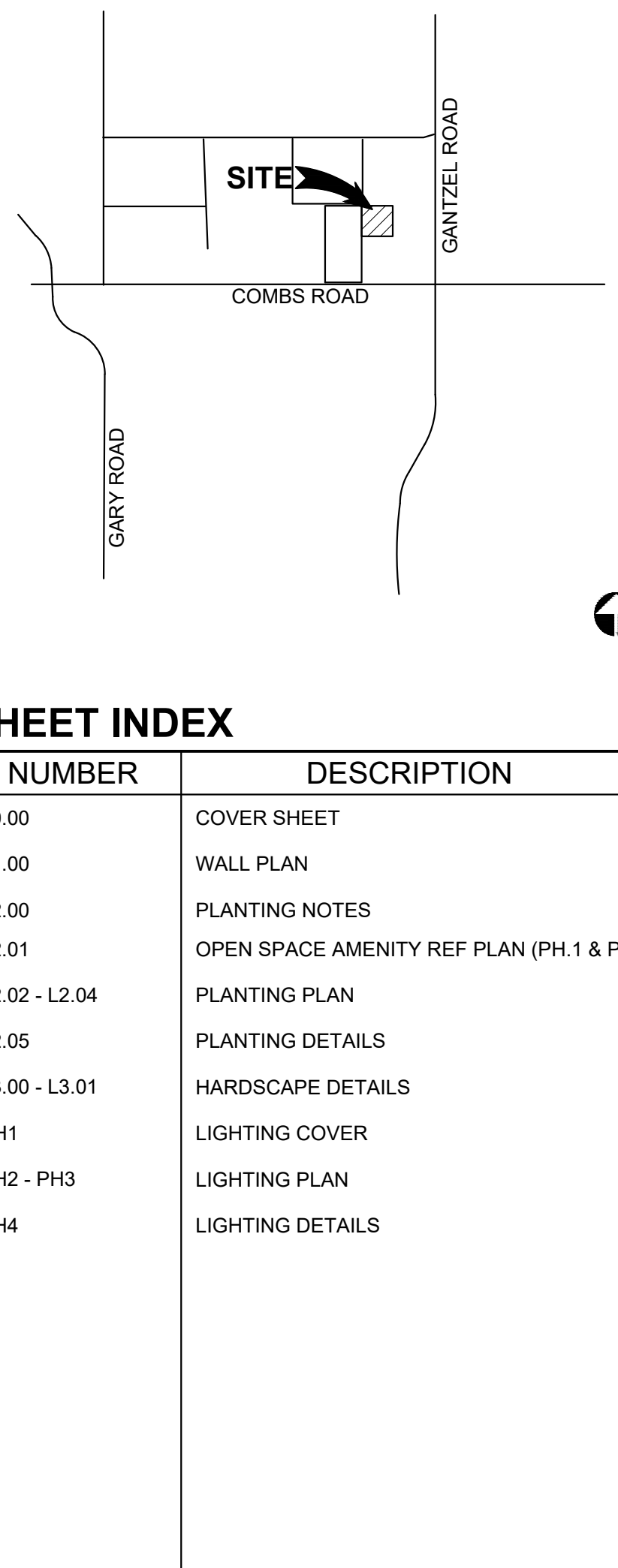
## GENERAL CONSTRUCTION NOTES

- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND/OR FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
- IN ALL CASES WHERE A CONFLICT MAY OCCUR, SUCH AS BETWEEN ITEMS COVERED IN SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND HE OR SHE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
- A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- DETAILS NOTED AS "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
- LANDSCAPE CONTRACTOR SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT TO REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKEWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREAS OUTSIDE THE CONTRACT LIMITS. THE DAMAGED ITEMS/AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL PLANT MATERIAL LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKE AT 602-263-1100. EXISTING UNDERGROUND SERVICES SHALL NOT BE DISTURBED OR REMOVED WITHOUT APPROVAL OF THE OWNER'S AND/OR OWNER'S AUTHORIZED REPRESENTATIVE, UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, AND DUE TO GRADE LIMITATIONS ON SITE.
- REFER TO ENGINEERING PLANS FOR DRAINAGE FLOWS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- NO PART OF THE CONTRACT DOCUMENTS ARE INTENDED TO BE IN VIOLATION OF CODES. IF DISCREPANCIES EXIST, NOTIFY LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY.
- COORDINATE AND COOPERATE WITH ALL CONTRACTORS OF ATTACHED, ADJOINING AND/OR INTERFACING WORK TO INSURE ORDERLY AND EFFICIENT COMPLETION OF ALL WORK.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (FEDERAL, STATE, LOCAL, AND HEALTH DEPARTMENTS), EXCEPT WHERE REQUIREMENTS OF CONTRACT DOCUMENTS ARE MOST STRINGENT.
- ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED.
- ANY PLANT MATERIAL THAT MUST BE REMOVED DUE TO CONSTRUCTION MUST BE APPROVED BY OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE. NOTIFY OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 48 HOURS PRIOR TO REMOVAL AND/OR RELOCATION OF ALL PLANTS.
- IF ANY EXISTING PLANT MATERIAL THAT IS TO REMAIN IS DAMAGED BY CONTRACTOR, THE CONTRACTOR SHALL REPLACE THE DAMAGED PLANT WITH A NEW ONE OF THE SAME SIZE AND VARIETY AT NO COST TO THE OWNER.
- DO NOT DISTURB SOIL WITHIN BRANCH SPREAD OF TREES OR SHRUBS TO REMAIN WITHOUT APPROVAL OF THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ANY DISCREPANCIES BETWEEN THE PLANS AND CONDITIONS ON SITE SHALL BE REPORTED IMMEDIATELY TO THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE OWNER WITH ALL WARRANTY INFORMATION, INSTRUCTION MANUALS AND ANY OTHER PRODUCT INFORMATION FOR ALL NEW EQUIPMENT OR MACHINERY INSTALLED ON THE SITE WITHIN TWO WEEKS AFTER SUBSTANTIAL COMPLETION.
- NO DESIGN MODIFICATIONS SHALL BE MADE WITHOUT THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE APPROVAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING AND LEGALLY DISPOSING OF MATERIALS DESIGNATED TO BE REMOVED. PROVIDE RECEIPTS FOR DUMPING TO OWNER FOR THEIR FILES.
- ALL BASE INFORMATION IS FROM OTHER PROJECT TEAM MEMBERS AS LISTED IN THE 'PROJECT TEAM' LIST ON THIS SHEET. A THOROUGH ATTEMPT HAS BEEN MADE TO KEEP UP TO DATE WITH THE MOST CURRENT BASE INFORMATION. HOWEVER, DISCREPANCIES MAY EXIST BETWEEN THESE PLANS AND OTHER TEAM MEMBERS PLANS. IN ALL CASES THE ENGINEERS PLANS SHALL HAVE PRECEDENCE OVER THE LANDSCAPE PLANS FOR FINAL PROJECT CONFIGURATION.
- ALL SIDEWALKS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING PLANS FOR FINAL LAYOUT, GRADES, FINISHES, DETAILS, AND METHODS OF CONSTRUCTION. RVI UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS, OR INSTALLATION THAT IS BEYOND OUR CONTROL.
- SIGHT LINES AND VISIBILITY TRIANGLES ARE SHOWN ON THESE PLANS FOR REFERENCE ONLY. REFER TO ENGINEERING PLANS OR GOVERNING MUNICIPALITY FOR SPECIFIC GUIDELINES. IN CASES WHERE THERE IS MORE THAN ONE GOVERNING BODY, THE MOST RESTRICTIVE GUIDELINE SHALL PREVAIL.
- ALL WALLS AND VERTICAL SITE FEATURES DESIGNED IN THE INTEREST OF THIS PROJECT ARE SCHEMATIC IN NATURE. POTENTIAL CONSTRUCTION DETAILING AND TECHNIQUES ARE SHOWN FOR DESIGN INTENT CLARIFICATION ONLY. THE CONTRACTOR SHALL HAVE THE ULTIMATE RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTED ELEMENTS ON THIS PROJECT ARE STRUCTURALLY SOUND AND ARE BUILT WITHIN ALL APPLICABLE CITY, STATE, AND FEDERAL GUIDELINES. RVI UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS, OR INSTALLATION.
- SHOP DRAWING REVIEWS WILL BE DONE TO ENSURE THAT PRODUCT DATA, MATERIALS, AND SAMPLES MEET OR EXCEED THE ORIGINAL DESIGN INTENT OF THESE DRAWINGS ONLY. RVI UNDER NO CIRCUMSTANCES ASSUMES RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, STRUCTURAL CALCULATIONS OR INSTALLATION RESULTING FROM THE PRODUCTION OF ANY SHOP DRAWINGS.

## SUBMITTAL HISTORY

DATE	DESCRIPTION / COMMENTS
05/28/2021	FIRST CITY SUBMITTAL
07/19/2021	SECOND CITY SUBMITTAL
09/15/2021	THIRD CITY SUBMITTAL

## VICINITY MAP



## PROJECT TEAM

DISCIPLINE	CONTACT INFORMATION
OWNER	ADVANCED ACQUISITIONS, L.L.C. GARY BURTON 15300 N. 90TH STREET, SUITE 200 SCOTTSDALE, ARIZONA 85260 480.627.7000
PLANNER/ LANDSCAPE ARCHITECT	RVI PLANNING + LANDSCAPE ARCHITECTURE MARK REDDIE 120 S. ASH AVENUE TEMPE, ARIZONA 85281 480.994.0994
CIVIL ENGINEER	HILGART WILSON, LLC GEORGE KRALL 2141 E. HIGHLAND AVENUE, SUITE 250 PHOENIX, ARIZONA 85016 602.490.0535
ARCHITECT	MOORADIAN & ASSOCIATES DANIEL CUCCI 4578 N. FIRST AVENUE, SUITE 140 TUCSON, ARIZONA 85718 520-408-8117

## SHEET INDEX

NUMBER	DESCRIPTION
L0.00	COVER SHEET
L1.00	WALL PLAN
L2.00	PLANTING NOTES
L2.01	OPEN SPACE AMENITY REF PLAN (PH.1 & PH.2)
L2.02 - L2.04	PLANTING PLAN
L2.05	PLANTING DETAILS
L3.00 - L3.01	HARDSCAPE DETAILS
PH1	LIGHTING COVER
PH2 - PH3	LIGHTING PLAN
PH4	LIGHTING DETAILS

## SITE PLAN DATA

GROSS AC.	7.28 AC. OR 316,970 S.F.
APN#:	104-53-0100
EXISTING ZONING:	COMMERCIAL
PROPOSED USE:	MDR
TOTAL # OF UNITS:	1 BEDROOM UNITS: 26 (31%) 2 BEDROOM UNITS: 42 (49%) 3 BEDROOM UNITS: 17 (20%) TOTAL UNITS: 85
DENSITY (NET):	11.7 DU/AC
PROPOSED BUILDING HEIGHT:	SINGLE STORY
OPEN SPACE PROVIDED:	39.8% OF NET (COMMON OS) 126,257 SQ. FT. OR 39.8% (COMMON OS) 34,631 SQ. FT. OR 10.8% (BACKYARDS)
LOT COVERAGE PROVIDED:	28.3 % 1 BED- 26 UNITS x 676 SQ. FT. = 17,576 SQ. FT. 2 BED- 42 UNITS x 1,012 SQ. FT. = 42,504 SQ. FT. 3 BED- 17 UNITS x 1,355 SQ. FT. = 23,035 SQ. FT. GARAGES- 4 x 1,530 SQ. FT. = 6,120 SQ. FT. TOTAL BUILDING AREA = 89,235 SQ. FT. (89,235 / SITE AREA = 28.2% LOT COVERAGE)
REQUIRED PARKING:	1 BED UNIT (1.5 SPACES PER UNIT) 39 2 BED UNIT (2 SPACES PER UNIT) 84 3 BED UNIT (2.5 SPACES PER UNIT) 43 TOTAL REQUIRED PARKING 166
PROPOSED PARKING:	171 SPACES TOTAL INCL. 6 ACCESSIBLE SPACES INCL. 24 GARAGE SPACES INCL. 62 CANOPY SPACES

## PLANTING DATA

- IN ANY MULTIFAMILY DISTRICT, A MINIMUM OF ONE (1) TREE PER DWELLING UNIT SHALL BE REQUIRED, WHICH MAY INCLUDE STREET TREES AND PERIMETER LANDSCAPING.

ON-SITE LANDSCAPE	REQUIRED	PROVIDED
COMMON OPEN SPACE		198 TREES
PRIVATE YARDS	85 trees	85 TREES
TOTAL TREES		283 TREES

## GENERAL SCOPE OF WORK

- THE SCOPE OF WORK FOR THIS PROJECT INCLUDES COMPLETE LANDSCAPING IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. VERIFY QUESTIONS ON SCOPE OF WORK PRIOR TO SUBMITTING A BID.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS INCLUDING WATER, EQUIPMENT AND INCIDENTALS AS SHOWN, SPECIFIED AND REQUIRED TO PERFORM LANDSCAPING WORK. THE EXTENT OF THE LANDSCAPING WORK IS SHOWN ON THE DRAWINGS AND IN THE SCHEDULES. THE TYPES OF LANDSCAPING REQUIRED MAY INCLUDE THE FOLLOWING:
  - AESTHETIC FINISH GRADING
  - BOULDER PLACEMENT
  - INSTALLATION OF TREES, SHRUBS, GROUNDCOVERS, AND ANY OTHER NURSERY STOCK
  - INSTALLATION OF TURF AREAS
  - DECOMPOSED GRANITE AND PRE-EMERGENT APPLICATIONS (2)
  - MULCHES, AND ALL OTHER MATERIAL NECESSARY TO COMPLETE THE PLANTING JOB AS SPECIFIED
  - MISCELLANEOUS LANDSCAPE MATERIALS AND IMPROVEMENTS
  - FERTILIZERS AND SOIL AMENDMENTS
  - MAINTENANCE WORK AS SPECIFIED UNTIL COMPLETION OF THE CONTRACT
  - GUARANTEES
- OBTAIN ALL PERMITS AND PAY REQUIRED FEES TO ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED.
- COORDINATE AND COOPERATE WITH OTHER CONTRACTORS WORKING ON THE SITE FOR SUCCESSFUL COMPLETION OF THE PROJECT.
- BEFORE COMMENCING WORK ON THE SITE, BECOME THOROUGHLY ACQUAINTED WITH LAYOUT OF ALL UNDERGROUND UTILITIES AND STRUCTURES OVER THE ENTIRE SITE. ALL REQUISITE REPAIRS TO DAMAGE CAUSED BY WORK OF THIS SECTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE IRRIGATION WORK CONSISTS OF INSTALLING A COMPLETE UNDERGROUND SPRINKLER, EMITTER, AND BUBBLER SYSTEM FOR ALL TURF AND LANDSCAPED AREAS AS SHOWN ON THE DRAWINGS AND AS HEREINAFTER SPECIFIED, INCLUDING THE FURNISHING OF ALL LABOR, EQUIPMENT, APPLIANCES, AND MATERIALS INCLUDING WATER AND IN PERFORMING ALL OPERATION IN CONNECTION WITH THE CONSTRUCTION OF THE IRRIGATION SYSTEM. WORK SHALL INCLUDE FURNISHING AND INSTALLING ALL PLASTIC AND COPPER PIPE AND FITTINGS, AUTOMATIC CONTROL VALVES, VALVE ACCESS BOXES, ELECTRIC COMPUTERIZED CENTRAL CONTROLLERS, ELECTRIC WIRE, TELEPHONE ACCESS LINE (IF REQUIRED), ETC., AS REQUIRED FOR A COMPLETE SYSTEM AS SHOWN ON THE DRAWINGS AND AS CALLED FOR IN THESE SPECIFICATIONS OR AS MAY BE REQUIRED FOR PROPER OPERATION OF THE SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS OF WATER USED IN CONNECTION WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.
- UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, THE CONSTRUCTION OF THE IRRIGATION SYSTEM SHALL INCLUDE THE FURNISHING, INSTALLING AND TESTING OF ALL MAINS, LATERALS, RISERS, AND FITTINGS, THE FURNISHING AND INSTALLING OF IRRIGATION HEADS, CONTROL VALVES, CONTROLLERS, LOW AND HIGH VOLTAGE ELECTRIC WIRE, TELEPHONE ACCESS LINE TO CENTRAL CONTROL UNIT (IF REQUIRED), POINT OF CONNECTION, CONTROLS, RESTORATION OF EXISTING IMPROVEMENTS, EXCAVATION AND BACKFILL, AND ALL OTHER WORK IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AS REQUIRED FOR A COMPLETE SYSTEM.
- WHENEVER ANY MATERIAL IS SPECIFIED BY NAME AND/OR NUMBER, SUCH SPECIFICATIONS SHALL BE DEEMED TO BE USED FOR THE PURPOSE OF FACILITATING A DESCRIPTION OF THE MATERIALS AND ESTABLISHING QUALITY, AND SHALL BE DEEMED AND CONSTRUED TO BE FOLLOWED BY THE WORDS "OR APPROVED EQUAL." NO SUBSTITUTIONS WILL BE PERMITTED WHICH HAVE NOT BEEN SUBMITTED FOR APPROVAL PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL CALL FOR "BLUE STAKE" AS REQUIRED. EXERCISE EXTREME CAUTION IN ALL PLANTING OPERATIONS, AS THERE MAY BE UNDERGROUND ELECTRIC AND TELEPHONE CABLES, SEWER LINES AND WATER LINES THROUGHOUT THE ENTIRE AREA. CONTRACTOR SHALL STUDY AND BE FAMILIAR WITH THE LOCATION OF THESE OBSTRUCTIONS AND UNDERGROUND UTILITIES. PLACE PLANTINGS WHERE SHOWN ON THE PLANS. IF THERE ARE OBSTRUCTIONS OR UNDERGROUND UTILITIES, RELOCATE PLANTS CLEAR OF ANY INTERFERENCE. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY THEM TO OBSTRUCTIONS AND UNDERGROUND UTILITIES AT NO EXPENSE TO THE OWNER.
- MAINTAIN UNINTERRUPTED WATER SERVICE TO BUILDING DURING NORMAL WORKING HOURS. ARRANGE FOR TEMPORARY WATER SHUT-OFF WITH ARCHITECT/ENGINEER DURING INSTALLATION OF IRRIGATION SYSTEM, IF NECESSARY.
- ALL WORK AND MATERIALS TO BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF SAFETY ORDERS OF DIVISION OF INDUSTRIAL SAFETY; THE UNIFORM BUILDING CODE, M.A.G. SPECIFICATIONS AND OTHER APPLICABLE LAWS OR REGULATIONS, INCLUDING ALL CITY CODES. NOTHING IN THESE SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. SHOULD THE CONSTRUCTION DOCUMENTS, OR INSTRUCTION, BE AT VARIANCE WITH THE AFOREMENTIONED RULES AND REGULATIONS, NOTIFY LANDSCAPE ARCHITECT AND GET INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK AFFECTED. IF LANDSCAPE ARCHITECT IS NOT NOTIFIED OF ANY VARIANCE IT SHALL BE UNDERSTOOD THAT THE CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR THE WORK DONE.
- CLEAN UP SHALL BE MADE DAILY AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE, AND WALKS AND PAVING SHALL BE SWEEPED OR WASHED DOWN DAILY. ANY DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITIONS AT CONTRACTOR'S EXPENSE. LEAVE WORK IN CLEAN CONDITION.
- SUBMIT DETAILED OPERATION AND MAINTENANCE DATA FOR ALL EQUIPMENT AND ACCESSORIES PROVIDED UNDER THESE PLANS INCLUDING ASSEMBLY AND PART LISTS FOR EACH TYPE OF VALVE, EMITTER, ETC., FURNISHED TO THE ENGINEER/OWNER'S REPRESENTATIVE.

APPROVED:

TOWN ENGINEER

APPROVED:

TOWN PLANNING ADMINISTRATOR

DATE:

DATE:

THE BUNGALOWS  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA

PROJECT NO: 19002953  
DATE: 09/15/2021  
DRAWN: RVI  
REVIEWED: BG

REVISIONS



COVER

L0.00

SHEET 01 OF 10



**PLANTING GENERAL NOTES**

- VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE LANDSCAPE MATERIAL SCHEDULE. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.
- CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY.
- THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY PLANT MATERIAL SUBSTITUTIONS.
- ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS.
- ALL PLANT MATERIAL MAY BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE.
- PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS. IF ANY SOIL NUTRIENT DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.
- PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.
- ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS AND DETAILS. REAPPLY AS NECESSARY TO COMPLETELY KILL NOXIOUS MATERIAL. REMOVE ALL DEAD AND/OR DYING DEBRIS PRIOR TO FINAL ACCEPTANCE.
- ALL TREES LOCATED WITHIN SIGHT DISTANCE AREAS MUST BE TRIMMED TO 6'-0" CLEARANCE ABOVE FINISHED GRADE.
- UNLESS OTHERWISE NOTED ON PLANS, ROCK/BARK MULCH SHALL EXTEND UNDER ALL PLANTINGS AND BE RAKED UNIFORMLY ALONG CONCRETE FLATWORK, CURBS AND ETC.
- THE FINISH GRADE OF LANDSCAPE AREAS RECEIVING ROCK/BARK MULCH MUST BE GRADED 2-1/2" BELOW CONCRETE OR OTHER ADJACENT PAVED SURFACES PRIOR TO INSTALLATION OF THE MULCH. FINISH GRADE OF LANDSCAPE AREAS RECEIVING TURF MUST BE GRADED 1-1/2" BELOW CONCRETE OR OTHER PAVED SURFACES PRIOR TO INSTALLATION OF TURF.
- BOULDERS, IF USED, TO BE SURFACE SELECT GRANITE WITH A MINIMUM OF SHARP EDGES AND/OR CRACKING. ANY EXPOSED SURFACE SCARRING THAT MAY HAVE OCCURRED DURING TRANSPORTING OR CONSTRUCTION IS TO BE EONITED WITH NO ADDITIONAL COST TO THE OWNER.
- STAKE ALL NURSERY GROWN TREE STOCK A MINIMUM OF 12" OUT FROM EDGE OF PLANTING WELL. THE EDGE OF ALL TREE PLANTING WELLS SHALL BE A MINIMUM OF 2 FEET AWAY FROM ALL CURBS AND SIDEWALKS AND A MINIMUM OF 12 FEET AWAY FROM ALL BUILDING FOUNDATIONS. THE EDGE OF ALL SHRUB PLANTING WELLS SHALL BE A MINIMUM OF 18" AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 3 FEET AWAY FROM ALL BUILDING FOUNDATIONS.
- LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION. CONTRACTOR SHALL PROVIDE OWNER WITH PROOF OF PRE-EMERGENT APPLICATION NO MORE THAN 7 DAYS AFTER EACH APPLICATION WITHOUT EXCEPTION.
- ALL TREES WITHIN TURF AREAS SHALL BE INSTALLED WITH TEMPORARY PVC ARBOR GUARDS.
- ALL TURF AREAS SHALL BE GRADED SMOOTH AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING SOD OR SEED. ALL AREAS TO RECEIVE TURF SHALL BE COMPLETELY FREE OF ANY RUTS, TRENCH SETTLING, OR ANY MATERIAL OVER 1/2" IN DIAMETER PRIOR TO SOD OR SEED INSTALLATION.
- LANDSCAPE CONTRACTOR IS REQUIRED TO OBTAIN ANY REQUIRED PERMITS FOR ALL ON-SITE AND OFF-SITE IMPROVEMENTS OUTLINED WITHIN THIS SET OF PLANS AND/OR ANY OTHER ADDITIONAL WORK THEY MAY PERFORM IN THE INTEREST OF THIS PROJECT.
- ROCK/BARK MULCH SHALL BE AS SPECIFIED IN THE LANDSCAPE MATERIAL SCHEDULE. ALL PLANTING AREAS, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL RECEIVE A UNIFORM APPLICATION OF THE SPECIFIED MATERIAL. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO SCHEDULING MASS DELIVERY. OWNER MAY REQUEST THAT AN INITIAL LOAD OF MATERIAL BE DELIVERED TO THE SITE AND BE SPREAD BY THE LANDSCAPE CONTRACTOR FOR THE OWNER'S APPROVAL PRIOR TO MATERIAL APPLICATION ON THE REMAINDER OF THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE WITH THE OWNER THE FINAL LAYOUT OF ALL HARDSCAPE ITEMS FOR THIS PROJECT. OWNER MAY REQUEST ALL HARDSCAPE ITEMS (HEADERS, SIDEWALKS, FLATWORK, ETC.) BE STAKED AND/OR CHALKED OUT FOR THEIR APPROVAL PRIOR TO INITIAL POUR.
- LANDSCAPE CONTRACTOR SHALL PRUNE ALL TREES AFTER INSTALLATION SO THAT NO BRANCH IS TOUCHING FINAL GRADE AND TRIM CANOPIES/BRANCHING TO A CLEAN AND NEAT APPEARANCE. ALL DEAD AND/OR DYING MATERIAL SHALL BE PRUNED FROM THE TREE PRIOR TO FINAL ACCEPTANCE.
- WATER TEST ALL TREE PLANTING WELLS PRIOR TO PLANTING. IF TREE WELLS DO NOT PROPERLY DRAIN, REFER TO THE HARDPAN PLANTING DETAIL FOR ADDITIONAL INFORMATION.
- REFER TO GENERAL CONSTRUCTION NOTES ON THE COVER SHEET FOR ADDITIONAL INFORMATION THAT RELATES TO THE SCOPE OF WORK IN THIS SECTION. ALSO REFER TO ANY WRITTEN SPECIFICATION, SHOULD THEY ACCOMPANY THESE DRAWINGS, FOR ADDITIONAL REQUIREMENTS NOT COVERED WITHIN THESE PLANS.

**PLANTING WARRANTY & MAINTENANCE NOTES**

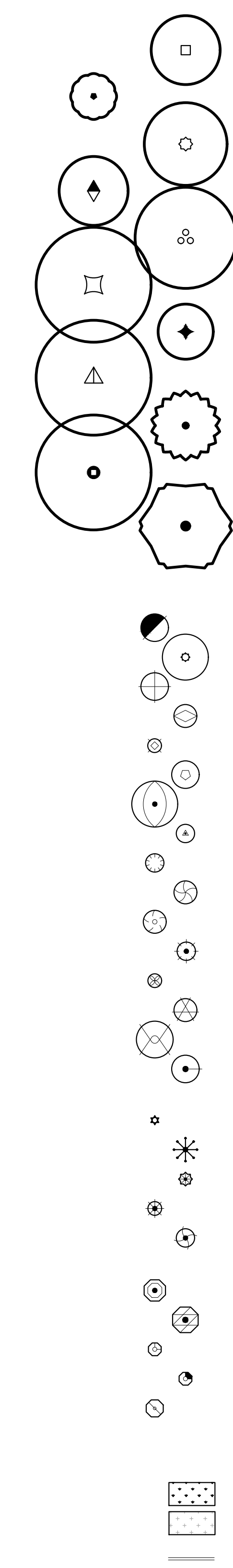
- MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT ON A WEEKLY BASIS DURING THE PROGRESS OF WORK, A 90 DAY MAINTENANCE PERIOD, AND UNTIL THE FINAL ACCEPTANCE OF WORK IS RECEIVED IN WRITING.
- UPON ACCEPTANCE AFTER THE 90 DAY MAINTENANCE PERIOD, THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY ON ALL PLANT MATERIAL AGREEING TO GUARANTEE THE CONTINUED GROWTH OF ACTIVE PLANT MATERIAL FOR THE SPECIFIED GUARANTEE PERIODS. ALL GUARANTEE PERIODS COMMENCE FROM THE TIME OF FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL WATER AND MAINTAIN ALL LANDSCAPE MATERIAL DURING THE MAINTENANCE PERIOD. THE OWNER WILL WATER AND MAINTAIN THE LANDSCAPE MATERIAL DURING THE WARRANTY PERIOD. THE CONTRACTOR SHALL INSPECT THE LANDSCAPE MATERIALS PERIODICALLY DURING THE WARRANTY PERIOD AND SHALL NOTIFY THE OWNER IN WRITING, IF, IN THE CONTRACTOR'S OPINION, THE LANDSCAPE MATERIALS ARE NOT RECEIVING PROPER CARE.
- ALL TREES, PALMS, CACTI, ACCENTS, AND TURF SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR AND ALL SHRUBS, GROUNDCOVERS, AND OTHER NON SPECIFIED PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE. THE GUARANTEE SHALL BE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- ANY PLANT MATERIALS WHICH ARE NOT APPROVED PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 15 OF THE FOLLOWING CALENDAR YEAR.
- ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN.
- REFER TO BOOK SPECIFICATIONS, IF INCLUDED IN THIS DOCUMENT SET, FOR ADDITIONAL INFORMATION ON THE SPECIFICS OF THE ANTICIPATED WARRANTY.
- LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER TYPEWRITTEN MAINTENANCE GUIDELINES AT FINAL WALK-THRU AND PRIOR TO FINAL ACCEPTANCE OF WORK.
- IF TURF IS USED ON THIS PROJECT THE LANDSCAPE CONTRACTOR SHALL REAPPLY SEED OR SOD IN ALL AREAS WHICH HAVE DEVELOPED BARE SPOTS HALFWAY THROUGH THE MAINTENANCE PERIOD. AREAS WHICH CANNOT BE RESEED FOR SUMMER GROWTH DUE TO CONTRACTOR'S INABILITY TO RESEED DURING PROPER GROWING SEASON SHALL BE OVERSEEDDED OR SODDED WITH GRASS APPROPRIATE FOR THE CURRENT SEASON, CARED FOR THROUGHOUT THE OFF SEASON, AND PROPERLY SEEDED AT THE NEXT APPROPRIATE GROWING SEASON. THESE ARRANGEMENTS MUST BE MADE WITH THE OWNER PRIOR TO CONDITIONAL ACCEPTANCE OF THE WORK AND MAY REQUIRE A MONETARY HOLD-BACK.
- COST FOR REPLACEMENTS DURING THE WARRANTY PERIOD IS ASSUMED PART OF THE BID QUOTATIONS AND THEREFORE WILL NOT RESULT IN ANY ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.

**EXISTING LANDSCAPE NOTES**

- BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH OWNER AND/OR THE GENERAL CONTRACTOR TO REVIEW THE PROJECT. THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
- ALL DEMOLITION AREAS SHALL BE FLAGGED FOR APPROVAL PRIOR TO DEMOLITION.
- ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED. SHOULD ANY CONFLICTS ARISE BETWEEN THE EXISTING PLANT MATERIAL ON-SITE AND PROPOSED IMPROVEMENTS SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

**LANDSCAPE MATERIAL SCHEDULE**

TREES ITEM	SIZE	QTY.	COMMENTS
<i>Acacia aneura</i> MULGA	2" CAL	8	9' X 6'
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	24" BOX	40	
<i>Caesalpinia cacalaco</i> 'Smoothie' TM CASCALOTE	24" BOX	13	
<i>Fraxinus greggii</i> LITTLE LEAF ASH	24" BOX	44	
<i>Parkinsonia x 'Desert Museum'</i> DESERT MUSEUM PALO VERDE	24" BOX	13	
<i>Pistacia x 'Red Push'</i> RED PUSH PISTACHE	24" BOX	27	
<i>Pistacia lentiscus</i> MASTIC TREE	24" BOX	15	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	24" BOX	4	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	24" BOX	37	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	24" BOX	4	
<i>Vitex agnus-castus</i> CHASTE TREE	24" BOX	11	
SHRUBS, ACCENTS, GROUNDCOVER ITEM	SIZE	QTY.	COMMENTS
<b>SHRUBS</b>			
<i>Bougainvillea x 'Torch Glow'</i> TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.	7	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	5 GAL.	17	
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.	45	
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.	38	
<i>Calliandra eriophylla</i> PINK FAIRY DUSTER	5 GAL.	86	
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.	77	
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.	10	
<i>Eremophila glabra</i> 'carmosa' WINTER BLAZE EMU BUSH	5 GAL.	68	
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.	66	
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	5 GAL.	28	
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.	93	
<i>Muhlenbergia capillaris</i> 'Regal Mist' TM REGAL MIST DEER GRASS	5 GAL.	74	
<i>Myrtus Communis</i> 'Compacta' TM DWARF MYRTLE	5 GAL.	66	
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.	9	
<i>Tecoma x 'Orange Jubilee'</i> ORANGE JUBILEE TECOMA BELLS	5 GAL.	9	
<i>Tecomaria capensis</i> CAPE HONEYSUCKLE	5 GAL.	12	
<b>ACCENTS</b>			
<i>Aloe x 'Blue Elf'</i> BLUE ELF ALOE	3 GAL.	85	
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.	9	
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.	60	
<i>Muhlenbergia emersleyi</i> EL TORO GRASS	5 GAL.	42	
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.	88	
<b>GROUNDCOVERS</b>			
<i>Acacia redolens</i> 'Desert Carpet' TM DESERT CARPET ACACIA	1 GAL.	34	
<i>Eremophila glabra</i> 'Mingenev Gold' OUTBACK SUNRISE	1 GAL.	152	
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.	372	
<i>Lantana montivdensis</i> PURPLE TRAILING LANTANA	1 GAL.	87	
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.	41	
MISCELLANEOUS ITEM	SIZE	QTY.	COMMENTS
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD	10,414 S.F.	
ROCK MULCH SANTA FE SLATE GRANITE	1/2" SCREENED	81,530 S.F.	2" DEPTH, FIELD VERIFY S.F.,
CONCRETE HEADER	6" x 4"		FIELD VERIFY L.F., REFER TO DETAIL 6 / L2.12



120 S. Ash Avenue  
Tempe, Arizona 85281  
Tel: 480.994.0994  
www.rviplanning.com



**THE BUNGALOWS  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA**

PROJECT NO: 19002953  
DATE: 09/15/2021  
DRAWN: RVI  
REVIEWED: BG

REVISIONS

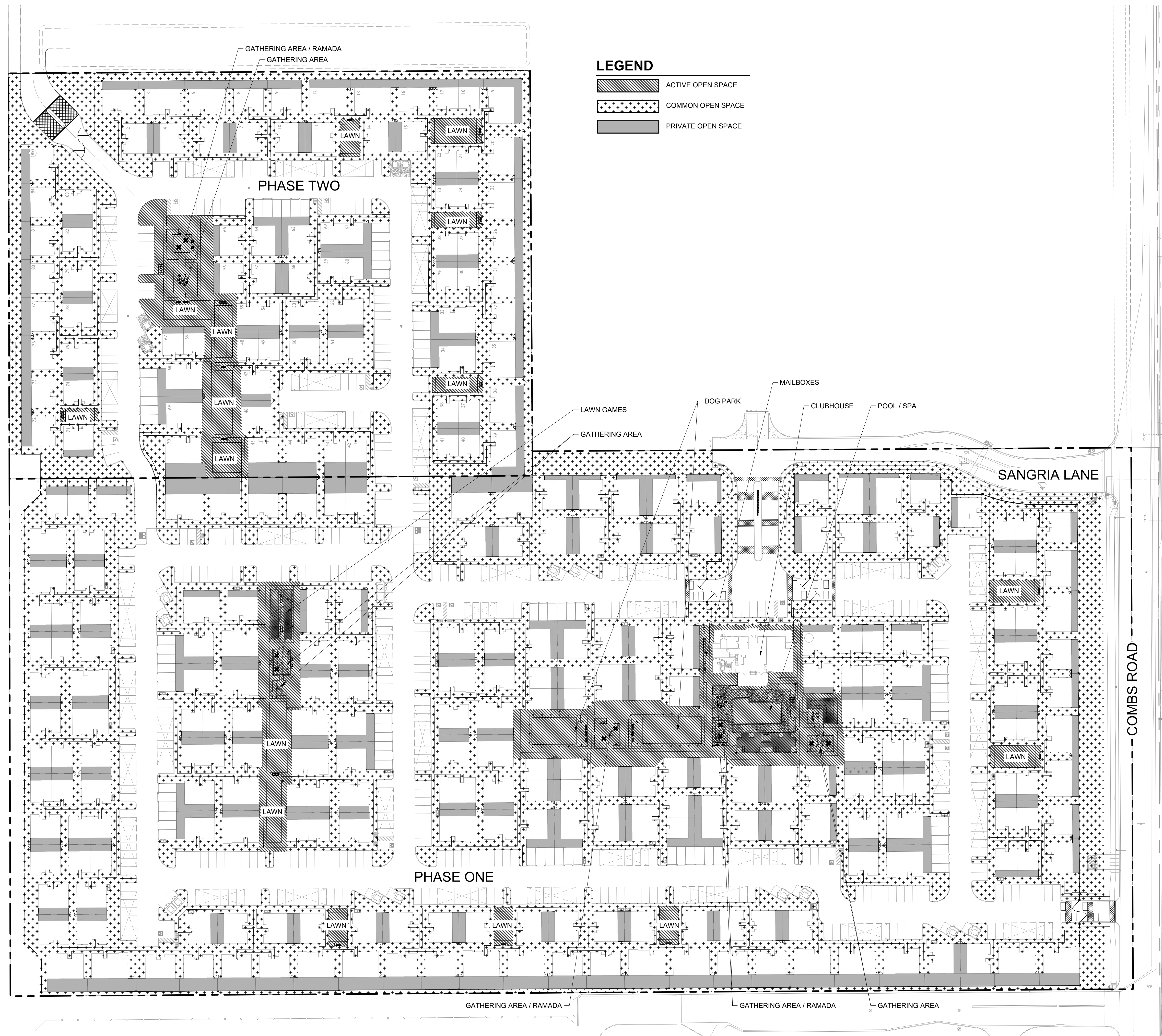
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**PLANTING NOTES**

**L2.00**

L1:19002953-GANTZEL & COMBS-66-19000000-LANDSCAPE-SHEETS-0203-PH2-D02-L2-00-PLANTING NOTES.dwg 09/15/2021 jason.crittland

3RD SUBMITTAL (P21-0125 AND P21-0126)



## THE BUNGALOWS AT GANTZEL AND COMBS (PH2) QUEEN CREEK, ARIZONA

PROJECT NO: 19002953  
DATE: 09/15/2021  
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REVIEWED: BG

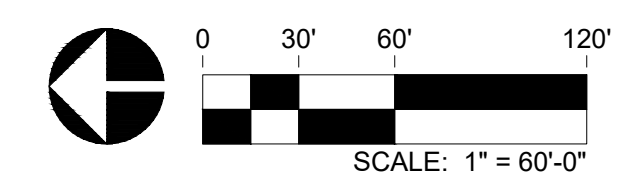
REVISIONS

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O.S. AMENITY  
REF. PLAN

### L2.01

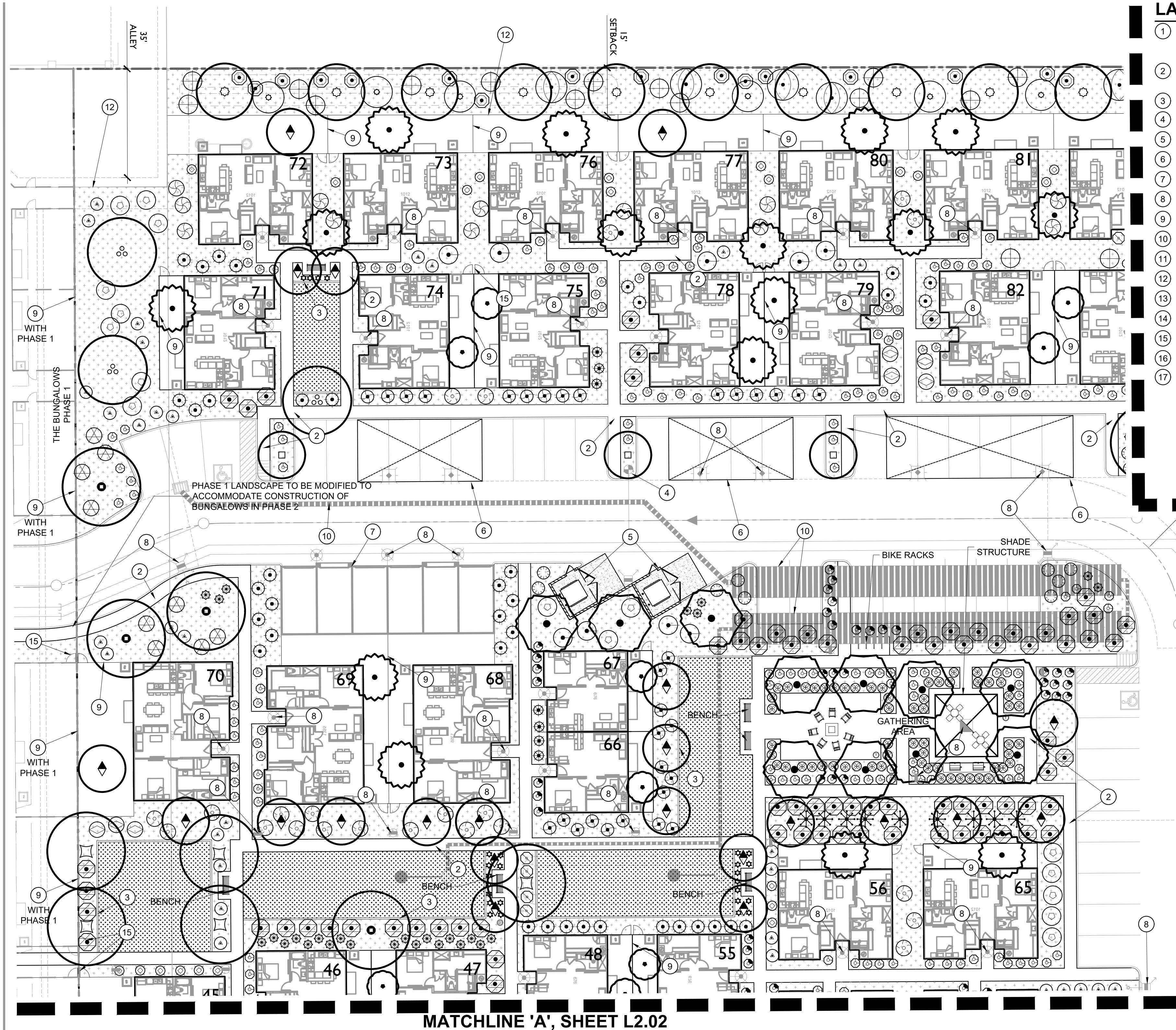
SHEET 04 OF 10



L:\19002953-GANTZEL & COMBS\6-19000000-LANDSCAPE\02-PLANDSCAPE\SHEETS\PH2\DD.L2.01 OPEN SPACE REFERENCE PLAN.dwg 9/15/2021 jason crumlin

3RD SUBMITTAL (P21-0125 AND P21-0126)

L1:19002953-GANTZEL & COMBS-19000000-LANDSCAPE-002-PLANTING PLAN-001 TO L2.03 PLANTING PLAN-001 01/15/2021 jason.cornwall



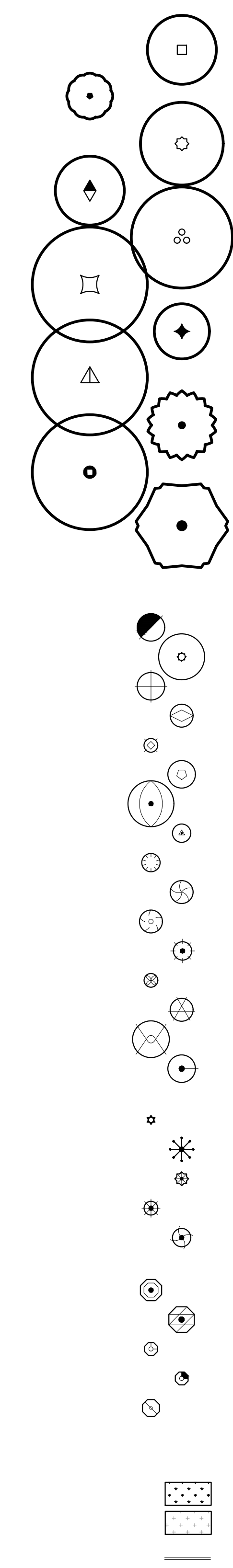
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MATCHLINE 'C', SHEET L2.03

**LANDSCAPE KEYNOTES**

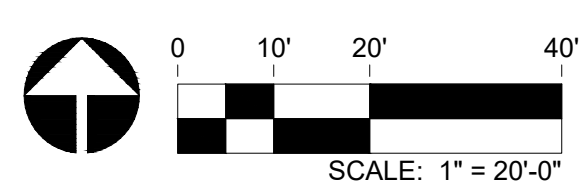
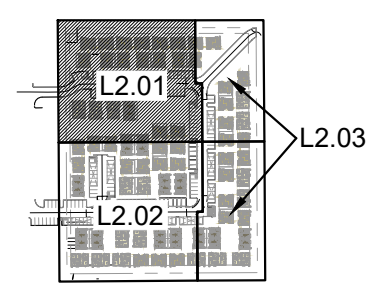
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- 2 LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 3 CONCRETE HEADER
- 4 FIRE HYDRANT - TREES AND SHRUBS TO MAINTAIN A 3'-0" CLEARANCE
- 5 TRASH ENCLOSURE / SEE DETAIL 5, SHEET L3.01
- 6 PARKING CANOPY, TYP.
- 7 GARAGE, TYP.
- 8 LIGHT FIXTURE-SEE LIGHTING PLAN, TYP.
- 9 BUILDER WALL TO BE BUILT WITH CONSTRUCTION OF UNIT, BY OTHERS, TYP.
- 10 UNDERGROUND UTILITY / STORM DRAIN PER CIVIL
- 11 VEHICLE GATE / SEE DETAIL 4, SHEET L3.00
- 12 BUILDER WALL / SEE DETAIL 1, SHEET L3.00
- 13 FULL VIEW FENCE / SEE DETAIL 3, SHEET L3.00
- 14 DECORATIVE PAVING
- 15 REAR YARD PEDESTRIAN GATE / SEE DETAIL 2, SHEET L3.00
- 16 THEME WALL / SEE DETAIL 2, SHEET L3.01
- 17 THEME WALL COLUMN / SEE DETAIL 2, SHEET L3.01

**LANDSCAPE PALETTE**



- TREES**  
ITEM
- Acacia aneura*  
MULGA
  - Bauhinia lunarioides*  
ANACACHO ORCHID
  - Caesalpinia cacalaco 'Smoothie' TM*  
CASCALOTE
  - Fraxinus greggii*  
LITTLE LEAF ASH
  - Parkinsonia x 'Desert Museum'*  
DESERT MUSEUM PALO VERDE
  - Pistacia x 'Red Push'*  
RED PUSH PISTACHE
  - Pistacia lentiscus*  
MASTIC TREE
  - Prosopis glandulosa 'Thornless AZT'*  
THORNLESS HONEY MESQUITE
  - Sophora secundiflora*  
TEXAS MOUNTAIN LAUREL
  - Ulmus parvifolia 'Sempervirens'*  
CHINESE EVERGREEN ELM
  - Vitex agnus-castus*  
CHASTE TREE
- SHRUBS, ACCENTS, GROUNDCOVER**  
ITEM
- SHRUBS**
- Bougainvillea x 'Torch Glow'*  
TORCH GLOW BUSH BOUGAINVILLEA
  - Caesalpinia mexicana*  
MEXICAN BIRD-OF-PARADISE
  - Caesalpinia pulcherrima*  
RED BIRD-OF-PARADISE
  - Calliandra californica*  
RED BAJA FAIRY DUSTER
  - Calliandra eriophylla*  
PINK FAIRY DUSTER
  - Cassia phyllodea*  
SILVERY CASSIA
  - Dodonaea viscosa 'Green'*  
GREEN HOPSEED BUSH
  - Eremophila glabra carnosus*  
WINTER BLAZE EMU BUSH
  - Eremophila maculata 'Valentine'*  
VALENTINE BUSH
  - Leucophyllum laevigatum*  
CHIHUAHUA SAGE
  - Leucophyllum langmaniae 'Lynn's Legacy'*  
LYNN'S LEGACY TEXAS SAGE
  - Muhlenbergia capillaris 'Regal Mist' TM*  
REGAL MIST DEER GRASS
  - Myrtus Communis 'Compacta' TM*  
DWARF MYRTLE
  - Ruellia penninsularis*  
DESERT RUELLIA
  - Tecoma x 'Orange Jubilee'*  
ORANGE JUBILEE TECOMA BELLS
  - Tecomaria capensis*  
CAPE HONEYSUCKLE
- ACCENTS**
- Aloe x 'Blue Elf'*  
BLUE ELF ALOE
  - Hesperaloe funifera*  
GIANT HESPERALOE
  - Hesperaloe parviflora 'Perpa'*  
BRAKELIGHTS RED YUCCA
  - Muhlenbergia emersleyi*  
EL TORO GRASS
  - Muhlenbergia linheimeri*  
'AUTUMN GLOW'
- GROUNDCOVERS**
- Acacia redolens 'Desert Carpet' TM*  
DESERT CARPET ACACIA
  - Eremophila glabra 'Mingnew Gold'*  
OUTBACK SUNRISE
  - Lantana camara 'New Gold'*  
NEW GOLD LANTANA
  - Lantana montivdensis*  
PURPLE TRAILING LANTANA
  - Wedelia trilobata*  
YELLOW DOT
- MISCELLANEOUS**  
ITEM
- Cynodon dactylon 'Midiron'*  
BERMUDA GRASS
  - ROCK MULCH
  - SANTA FE SLATE GRANITE
  - CONCRETE HEADER

**KEY MAP**



**RVI**  
120 S. Ash Avenue  
Tempe, Arizona 85281  
Tel: 480.994.0994  
www.rviplanning.com

EXPIRES 03/31/24

REGISTERED LANDSCAPE ARCHITECT  
66017  
BRITTANY  
GEIST  
Landscape Architect

Contact Arizona 811 or local twg for working days before you begin excavation

**ARIZONA 811**  
Call 811 or click Arizona811.com

**THE BUNGALOWS  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA**

PROJECT NO : 19002953  
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REVISIONS

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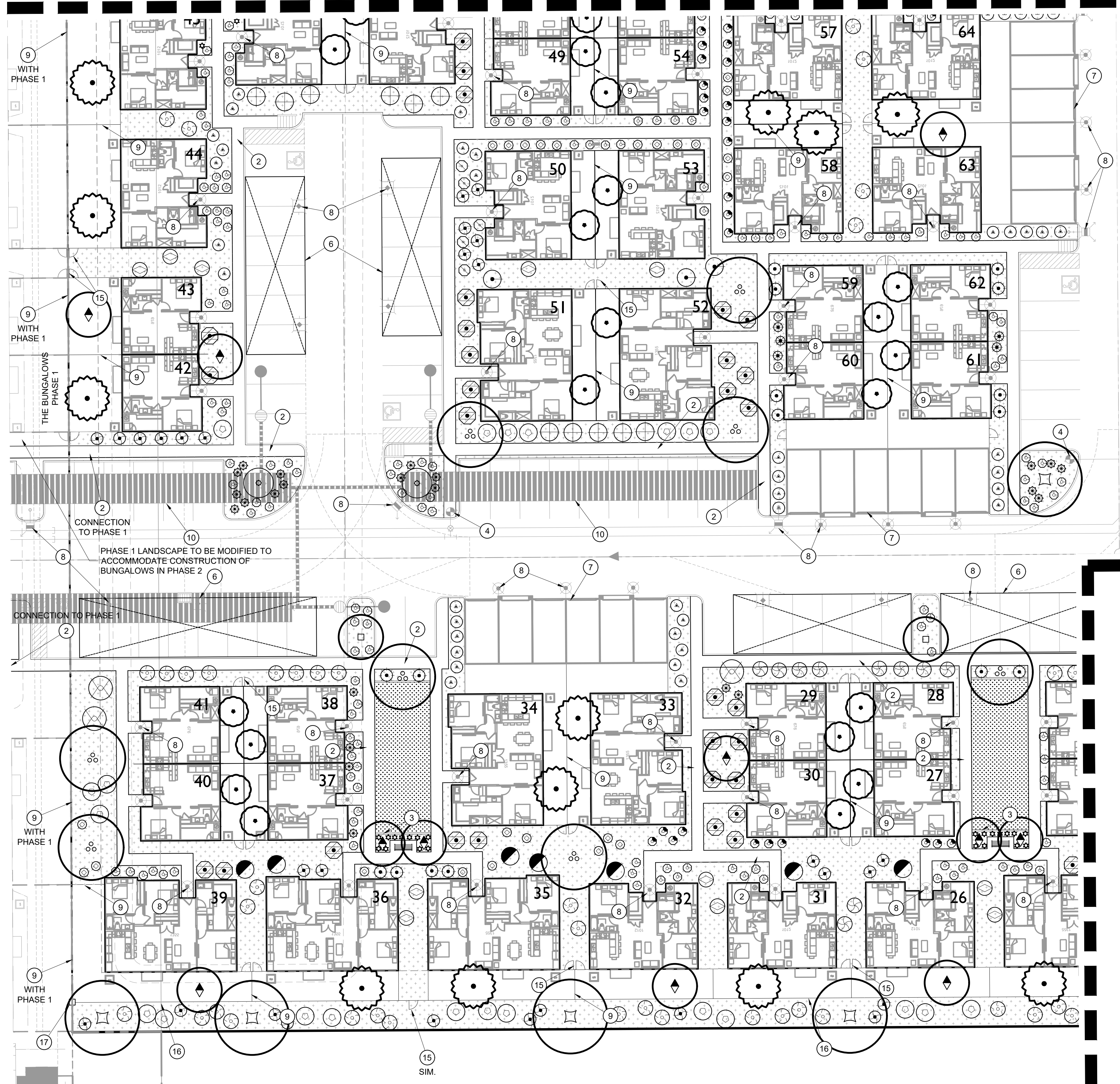
**PLANTING PLAN**

**L2.02**

SHEET 05 OF 10

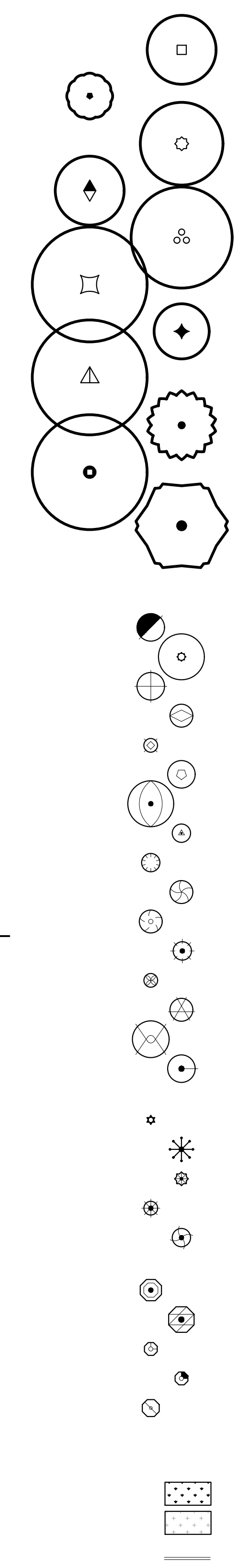
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MATCHLINE 'A', SHEET L2.01



MATCHLINE 'D', SHEET L2.03

LANDSCAPE PALETTE

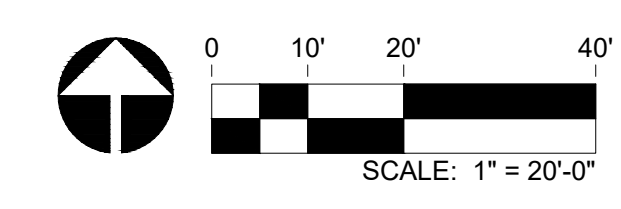
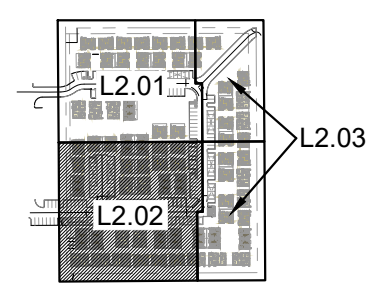


TREES
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SHRUBS
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- GARAGE, TYP.
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- UNDERGROUND UTILITY / STORM DRAIN PER CIVIL
- VEHICLE GATE / SEE DETAIL 4, SHEET L3.00
- BUILDER WALL / SEE DETAIL 1, SHEET L3.00
- FULL VIEW FENCE / SEE DETAIL 3, SHEET L3.00
- DECORATIVE PAVING
- REAR YARD PEDESTRIAN GATE / SEE DETAIL 2, SHEET L3.00
- THEME WALL / SEE DETAIL 2, SHEET L3.01
- THEME WALL COLUMN / SEE DETAIL 2, SHEET L3.01

KEY MAP



THE BUNGALOWS  
AT GANTZEL AND COMBS (PH2)  
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REVISIONS

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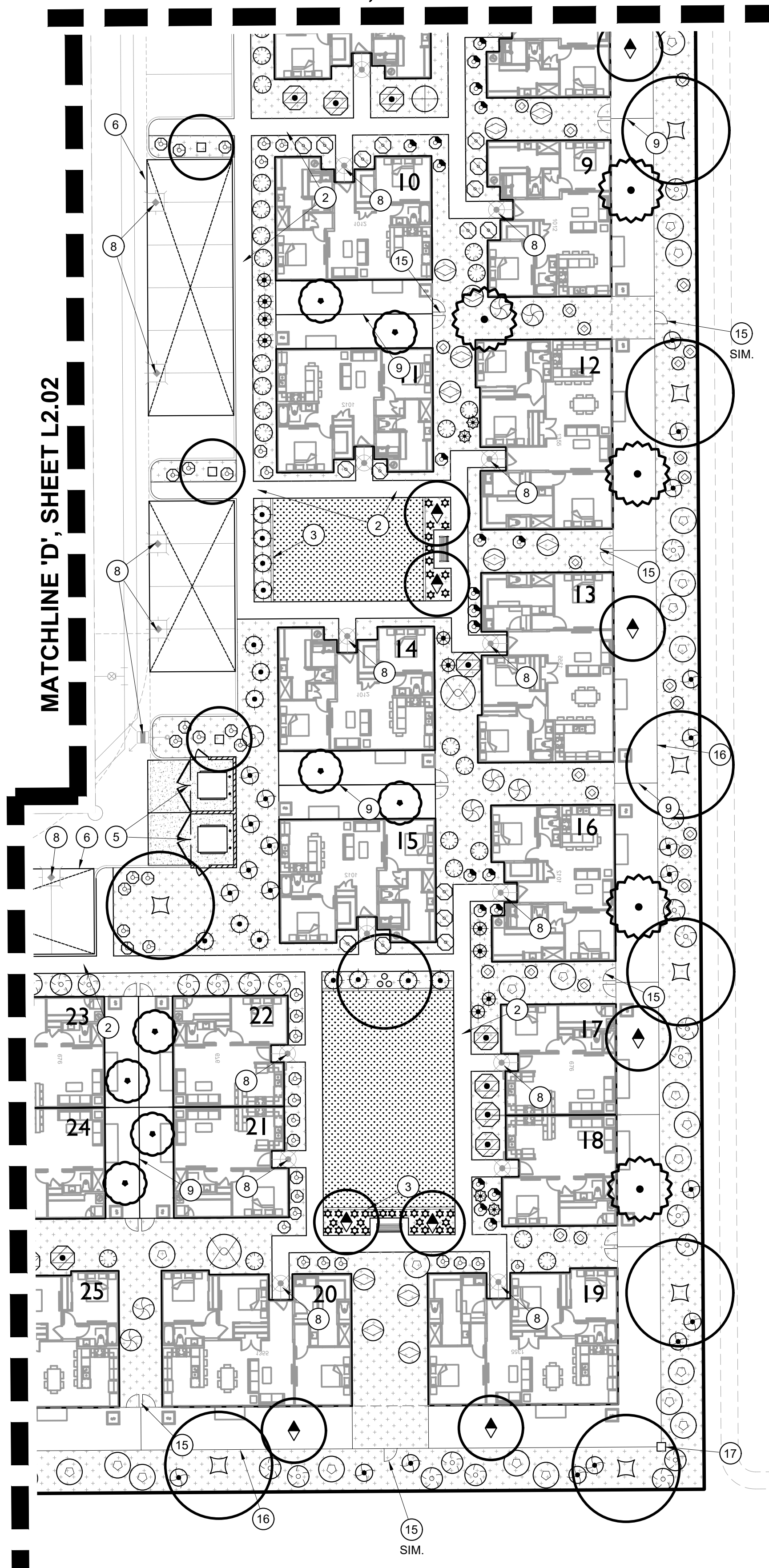
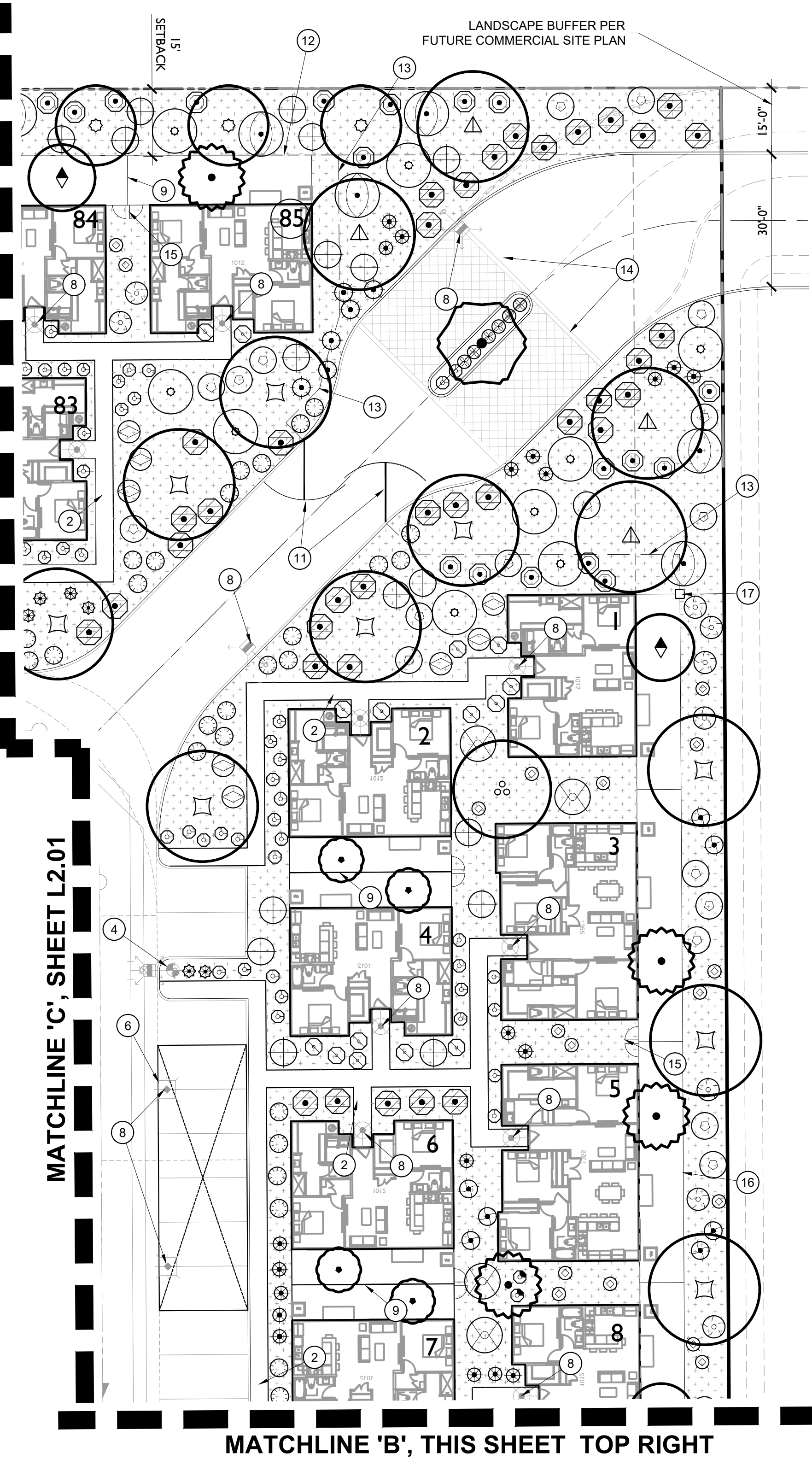
PLANTING PLAN

L2.03

L1:19002953-GANTZEL & COMBS-19000000-LANDSCAPE-002-PH2-LANDSCAPE-SHEET L2.03-01 TO L2.03-PLANTING PLAN.dwg 9/15/2021 jason cristiani

3RD SUBMITTAL (P21-0125 AND P21-0126)

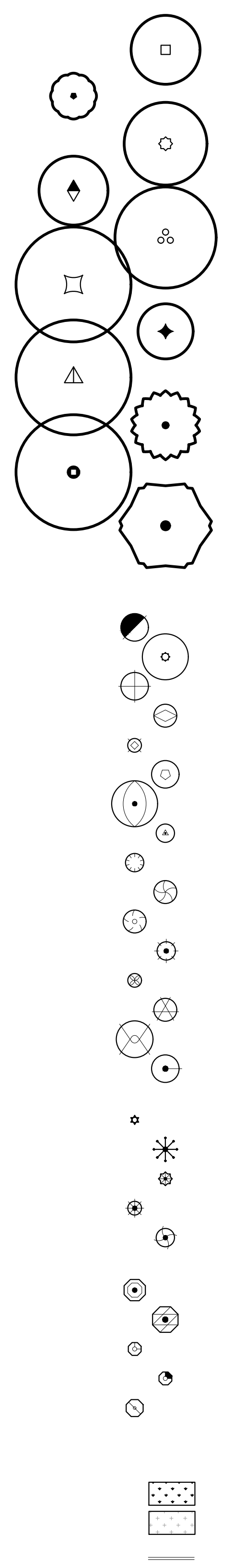
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**LANDSCAPE KEYNOTES**

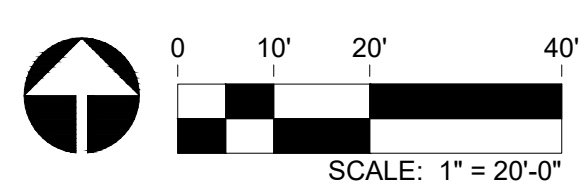
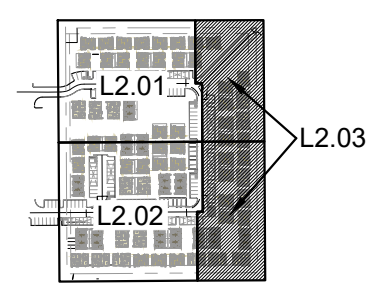
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- 10 UNDERGROUND UTILITY / STORM DRAIN PER CIVIL
- 11 VEHICLE GATE / SEE DETAIL 4, SHEET L3.00
- 12 BUILDER WALL / SEE DETAIL 1, SHEET L3.00
- 13 FULL VIEW FENCE / SEE DETAIL 3, SHEET L3.00
- 14 DECORATIVE PAVING
- 15 REAR YARD PEDESTRIAN GATE / SEE DETAIL 2, SHEET L3.00
- 16 THEME WALL / SEE DETAIL 2, SHEET L3.01
- 17 THEME WALL COLUMN / SEE DETAIL 2, SHEET L3.01

**LANDSCAPE PALETTE**



- TREES**  
ITEM
- Acacia aneura*  
MULGA
  - Bauhinia lunarioides*  
ANACACHO ORCHID
  - Caesalpinia cacalaco 'Smoothie' TM*  
CASCALOTE
  - Fraxinus greggii*  
LITTLE LEAF ASH
  - Parkinsonia x 'Desert Museum'*  
DESERT MUSEUM PALO VERDE
  - Pistacia x 'Red Push'*  
RED PUSH PISTACHE
  - Pistacia lentiscus*  
MASTIC TREE
  - Prosopis glandulosa 'Thornless AZ'*  
THORNLESS HONEY MESQUITE
  - Sophora secundiflora*  
TEXAS MOUNTAIN LAUREL
  - Ulmus parvifolia 'Sempervirens'*  
CHINESE EVERGREEN ELM
  - Vitex agnus-castus*  
CHASTE TREE
- SHRUBS, ACCENTS, GROUNDCOVER**  
ITEM
- SHRUBS**
- Bougainvillea x 'Torch Glow'*  
TORCH GLOW BUSH BOUGAINVILLEA
  - Caesalpinia mexicana*  
MEXICAN BIRD-OF-PARADISE
  - Caesalpinia pulcherrima*  
RED BIRD-OF-PARADISE
  - Calliandra californica*  
RED BAJA FAIRY DUSTER
  - Calliandra eriophylla*  
PINK FAIRY DUSTER
  - Cassia phyllodinea*  
SILVERY CASSIA
  - Dodonaea viscosa 'Green'*  
GREEN HOPSEED BUSH
  - Eremophila glabra carnosus*  
WINTER BLAZE EMU BUSH
  - Eremophila maculata 'Valentine'*  
VALENTINE BUSH
  - Leucophyllum laevigatum*  
CHIHUAHUA SAGE
  - Leucophyllum langmaniae 'Lynn's Legacy'*  
LYNN'S LEGACY TEXAS SAGE
  - Muhlenbergia capillaris 'Regal Mist' TM*  
REGAL MIST DEER GRASS
  - Myrtus Communis 'Compacta' TM*  
DWARF MYRTLE
  - Ruellia penninsularis*  
DESERT RUELLIA
  - Tecoma x 'Orange Jubilee'*  
ORANGE JUBILEE TECOMA BELLS
  - Tecomaria capensis*  
CAPE HONEYSUCKLE
- ACCENTS**
- Aloe x 'Blue Elf'*  
BLUE ELF ALOE
  - Hesperaloe funifera*  
GIANT HESPERALOE
  - Hesperaloe parviflora 'Perpa'*  
BRAKELIGHTS RED YUCCA
  - Muhlenbergia emersleyi*  
EL TORO GRASS
  - Muhlenbergia linheimeri*  
AUTUMN GLOW
- GROUNDCOVERS**
- Acacia redolens 'Desert Carpet' TM*  
DESERT CARPET ACACIA
  - Eremophila glabra 'Mingenew Gold'*  
OUTBACK SUNRISE
  - Lantana camara 'New Gold'*  
NEW GOLD LANTANA
  - Lantana montivdensis*  
PURPLE TRAILING LANTANA
  - Wedelia trilobata*  
YELLOW DOT
- MISCELLANEOUS**  
ITEM
- Cynodon dactylon 'Midiron'*  
BERMUDA GRASS
  - ROCK MULCH
  - SANTA FE SLATE GRANITE
  - CONCRETE HEADER

**KEY MAP**



**THE BUNGALOWS  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA**

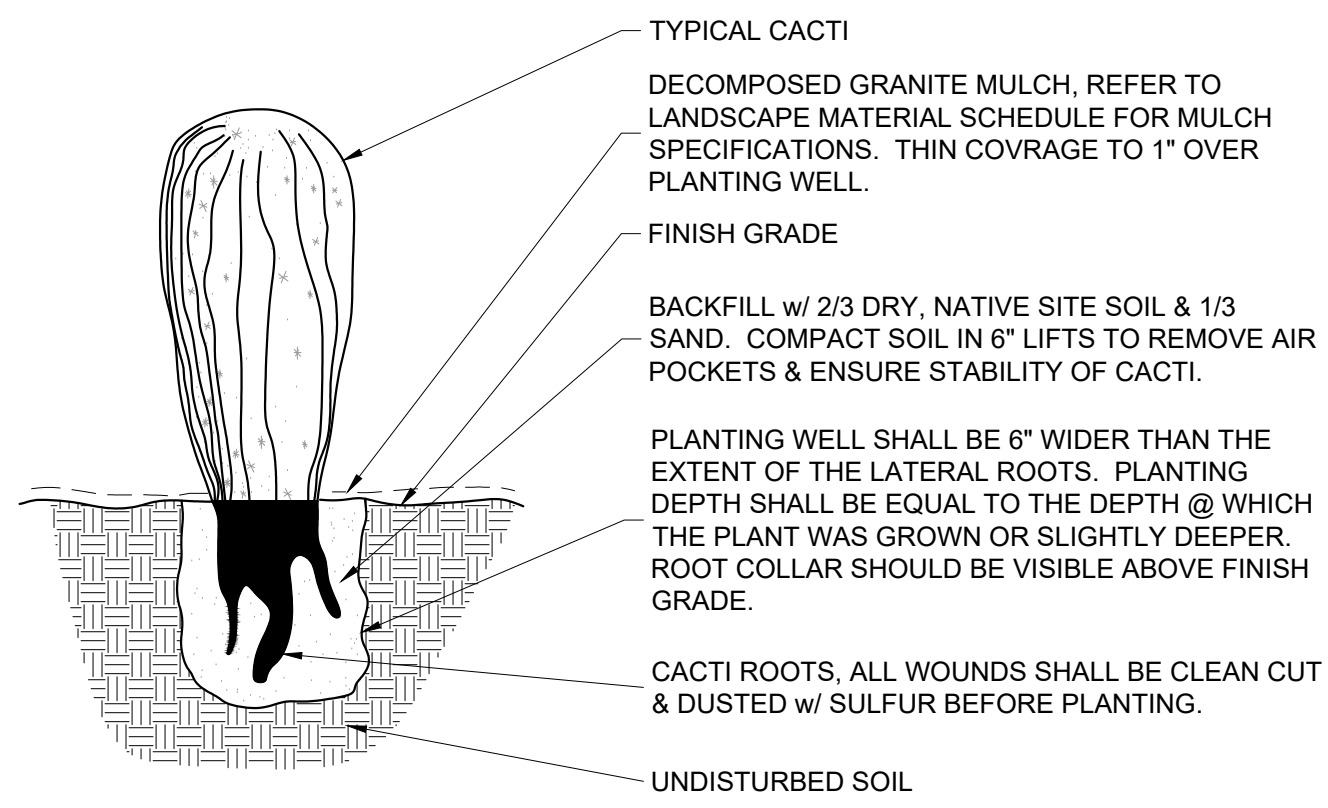
PROJECT NO : 19002953  
DATE: 09/15/2021  
DRAWN: RVI  
REVIEWED: BG

REVISIONS

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**PLANTING PLAN**

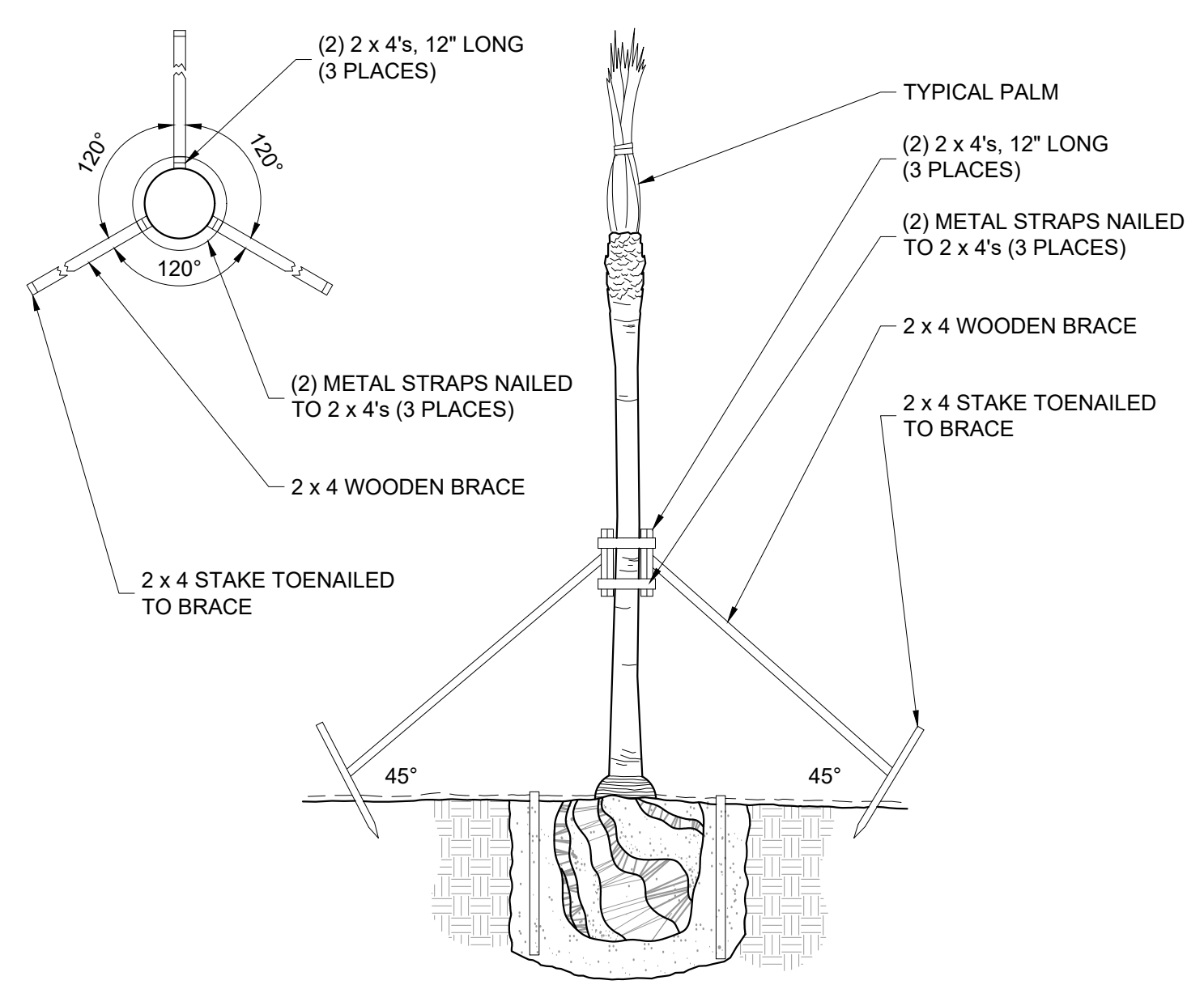
**L2.04**



**NOTE:**

- All cacti placements shall match original north side facing north. Any sunburned cacti shall be replaced by the landscape contractor at no cost to the owner.
- Mound 3" of compacted fill @ the base of cacti to ensure positive drainage.

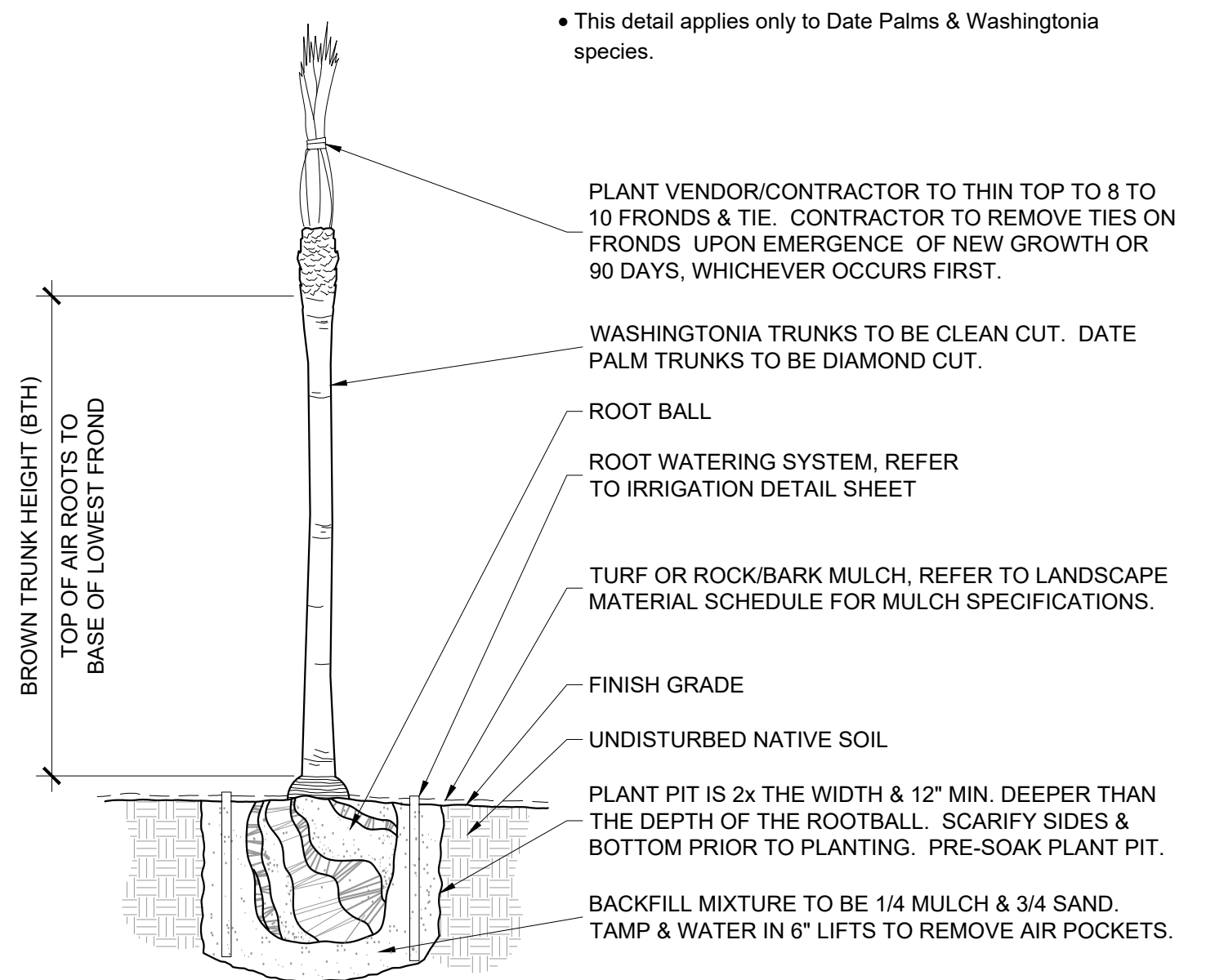
**12 CACTI PLANTING**  
SCALE: NTS



**9 PALM STAKING**  
SCALE: NTS

**NOTE:**

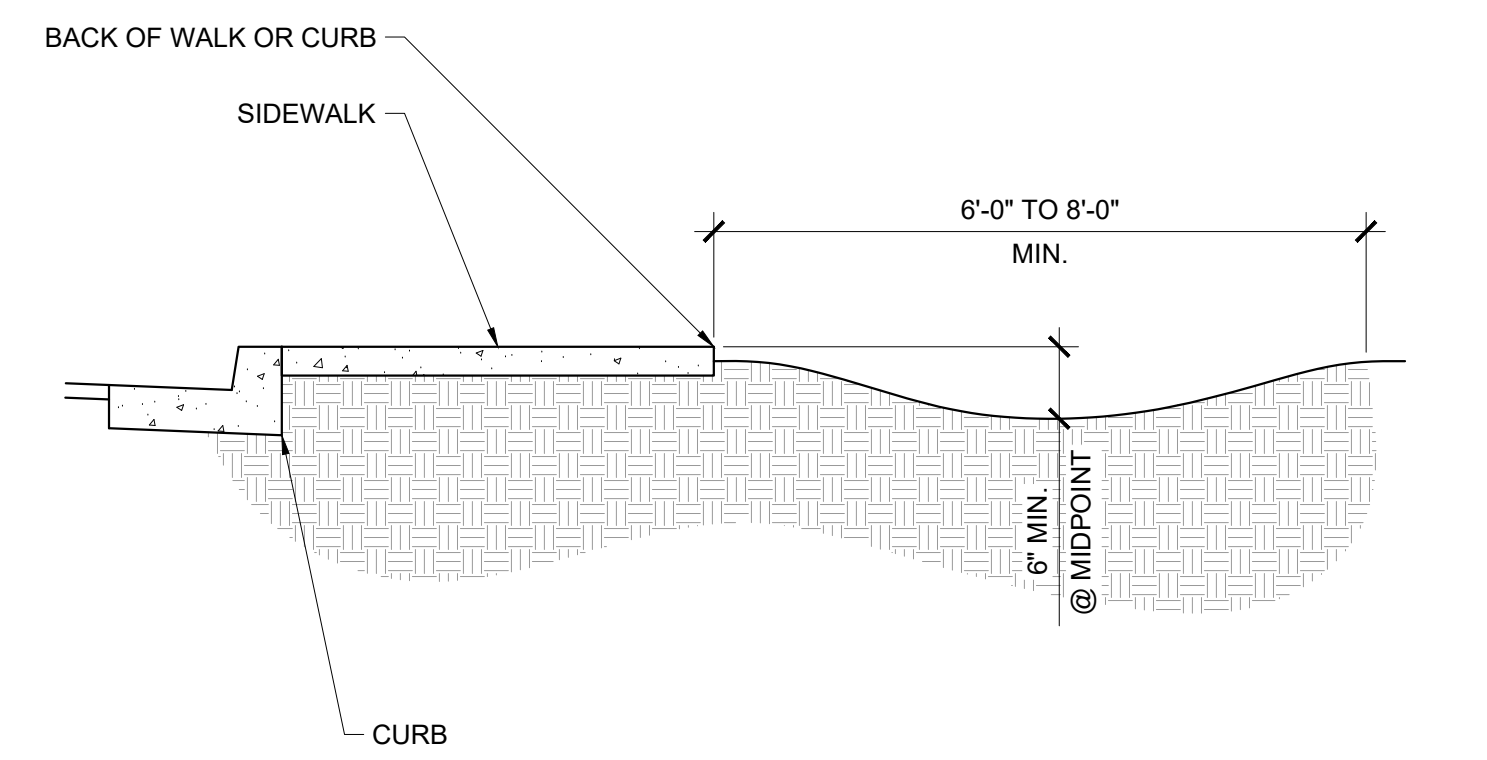
- This detail applies only to Date Palms & Washingtonia species.



**8 PALM PLANTING**  
SCALE: NTS

**NOTE:**

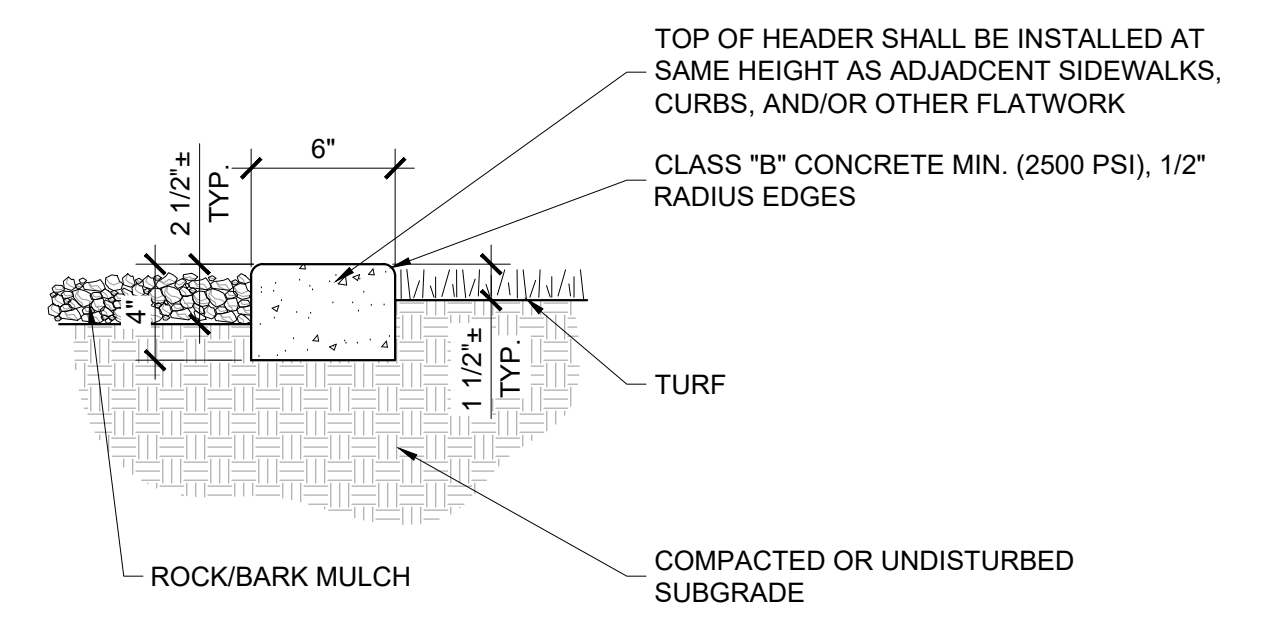
- Finish grade to be 2 1/2" below top of walk before installation of rock mulch (1 1/2" for turf).



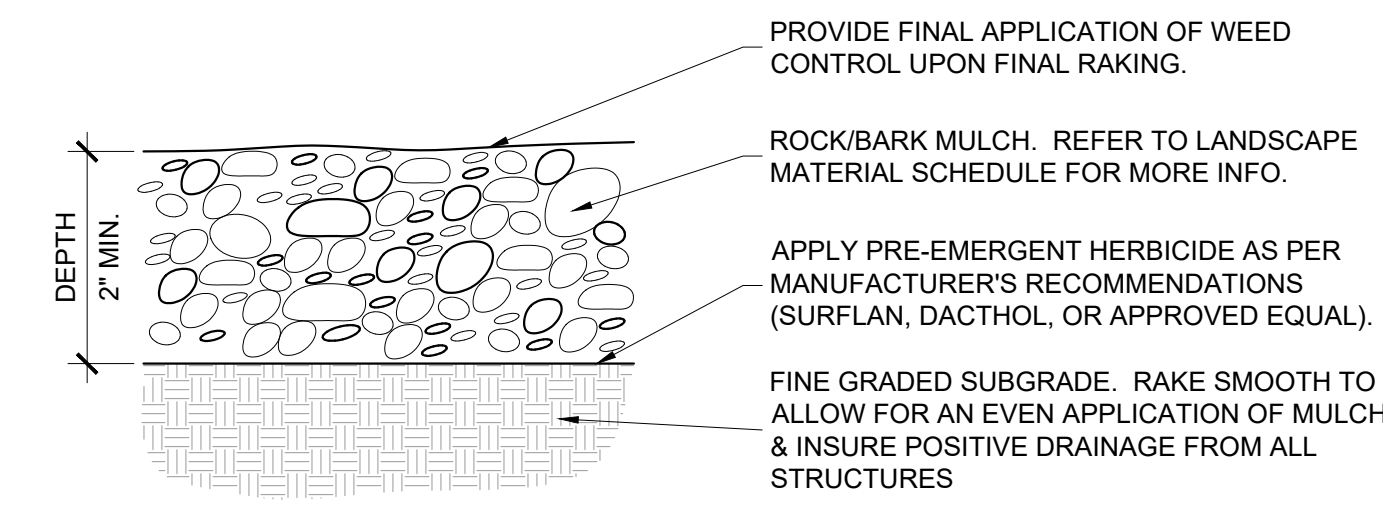
**7 SWALE AT WALK OR CURB**  
SCALE: NTS

**NOTE:**

- Primary control joints occur at 10'-0" o.c. Expansion joints to occur at a max. spacing of 30'-0" & between all adjacent concrete surfaces.
- Landscape contractor to show layout of header w/ marking paint or 1/2" pvc tubing for owner approval prior to initial pour.
- All curved headers shall be smooth, continuous transitions w/ a uniform width as noted on plans.
- All curbing & headers shall not impede onsite drainage flows. Should this occur, provide swale depressions as required.



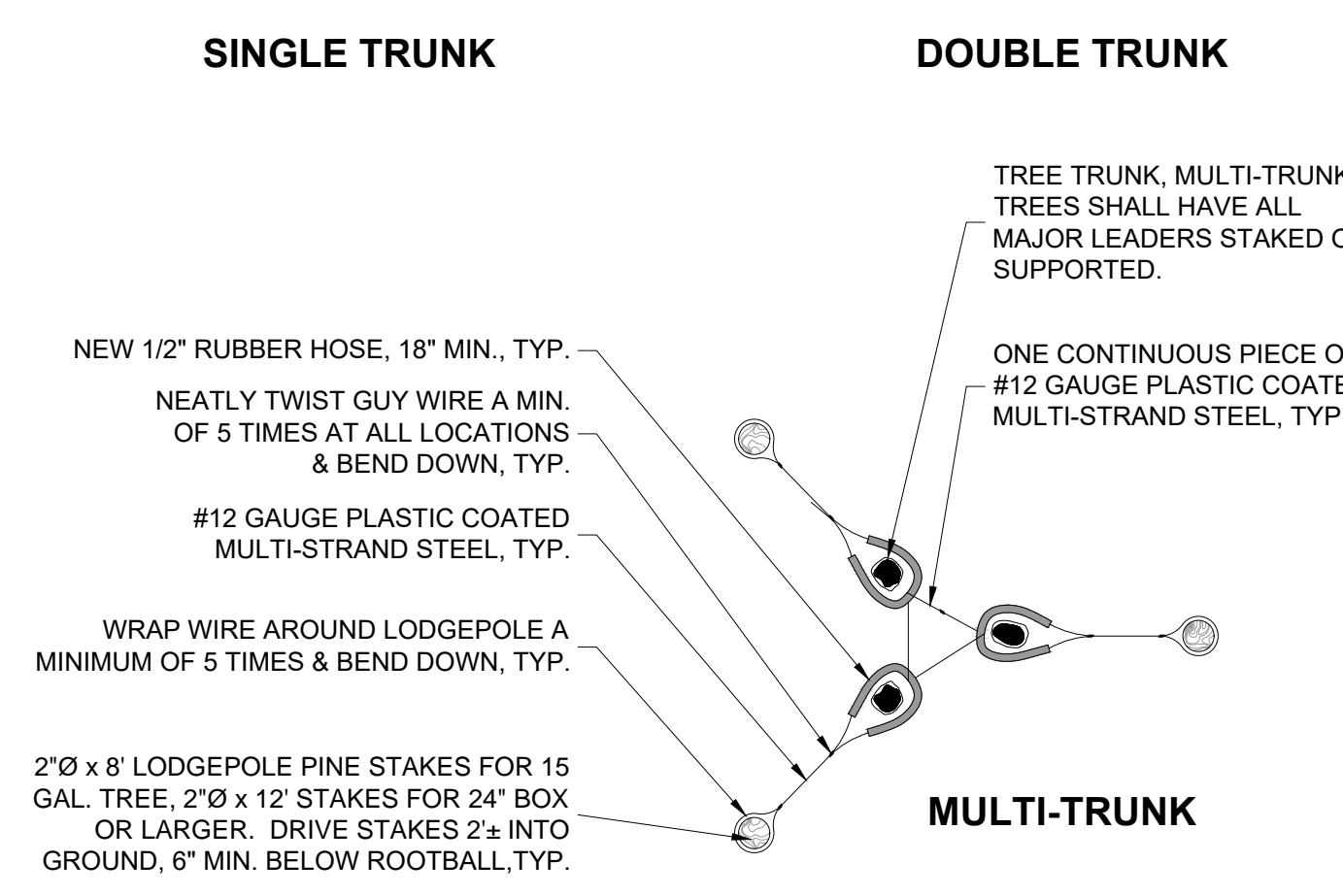
**6 6" x 4" EXTRUDED CONCRETE HEADER**  
SCALE: NTS



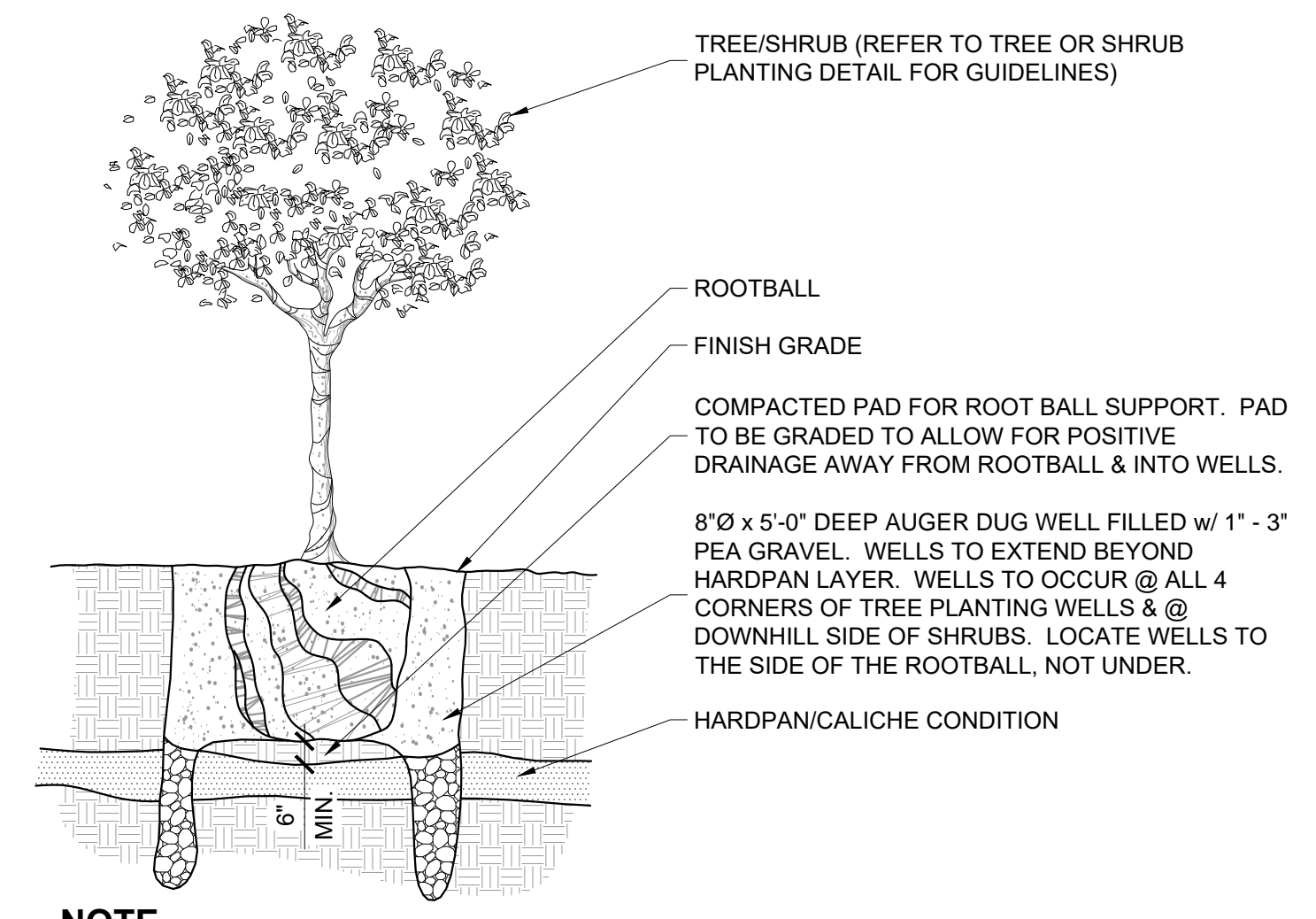
**NOTE:**

- The finish grade of landscape areas receiving rock/bark mulch must be graded 2-1/2" below concrete or other adjacent paved surfaces prior to installation of the mulch.
- Contractor to provide rock/bark mulch sample to owner prior to installation for approval.
- Contractor to be responsible for any variation from approved mulch.
- Contractor to provide two separate applications of pre-emergent. DO NOT APPLY PRE-EMERGENT IN AREAS TO BE HYDROSEEDED.

**5 ROCK / BARK MULCH**  
SCALE: NTS



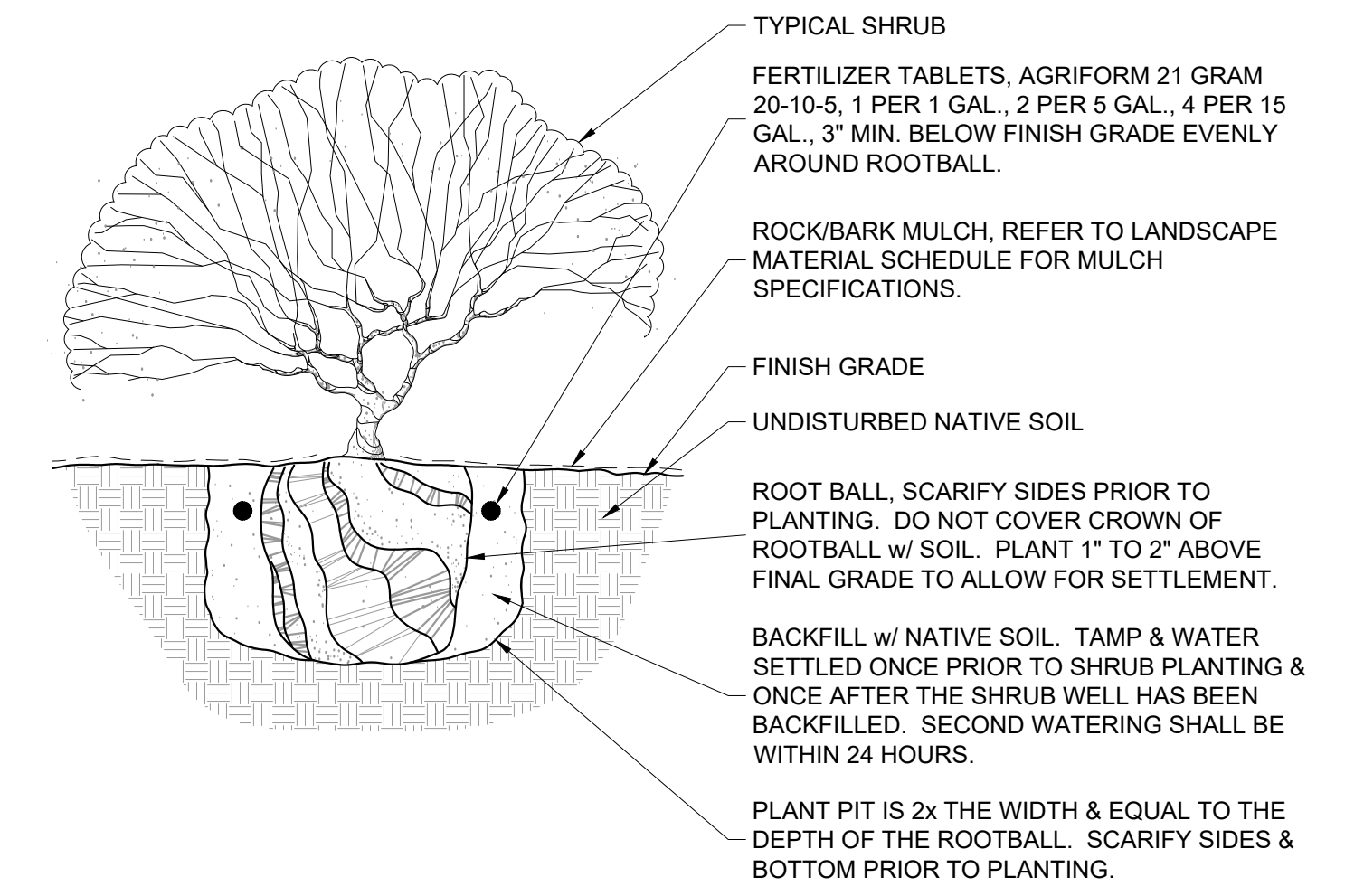
**4 TREE STAKING**  
SCALE: NTS



**NOTE:**

- Test all planting wells prior to planting. Fill all wells with water and modify all wells that do not completely drain within 24 hours.
- It shall be the responsibility of the contractor to review the site prior to bidding for soil conditions. No change orders will be processed for hard dig conditions after acceptance of bid.

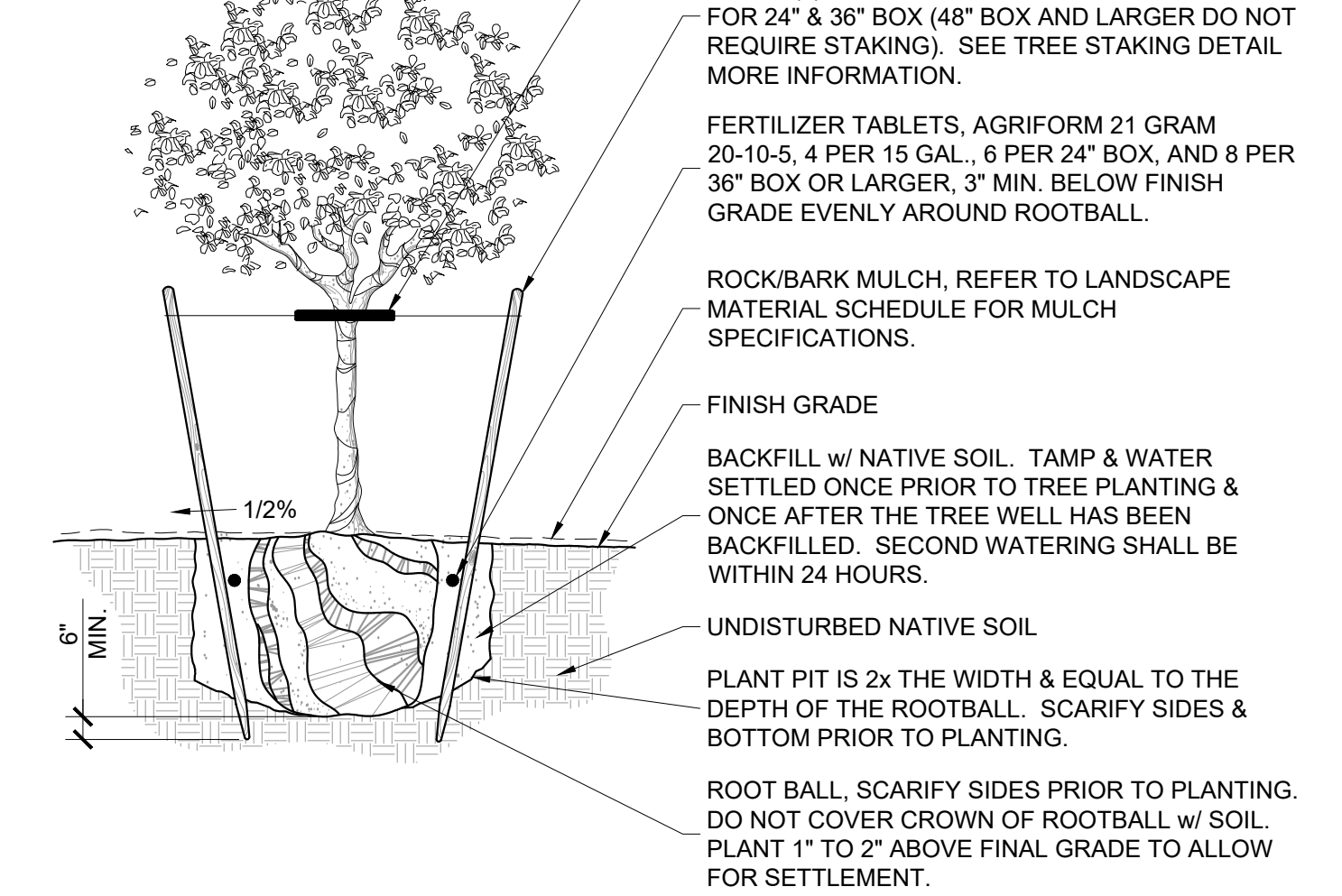
**3 PLANTING IN HARDPAN**  
SCALE: NTS



**2 SHRUB PLANTING**  
SCALE: NTS

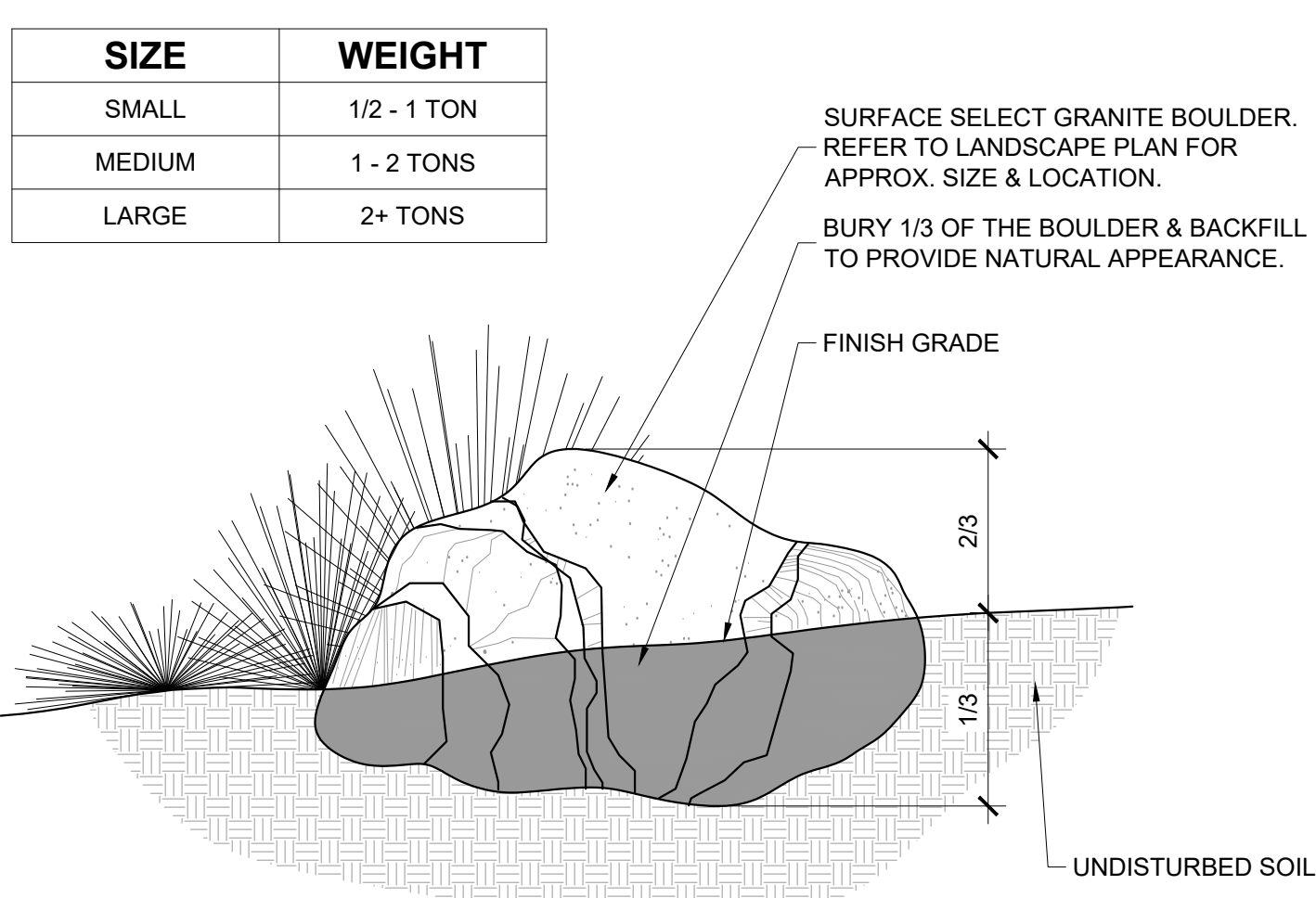
**NOTE:**

- Plants delivered w/ cracked or broken containers will be rejected.
- Thin, tall trees may need more than one tie.
- Remove nursery stake after planting.
- Install temporary pvc arbor guards on all trees planted in turf.



**1 TREE PLANTING**  
SCALE: NTS

**11 OCOTILLO PLANTING**  
SCALE: NTS



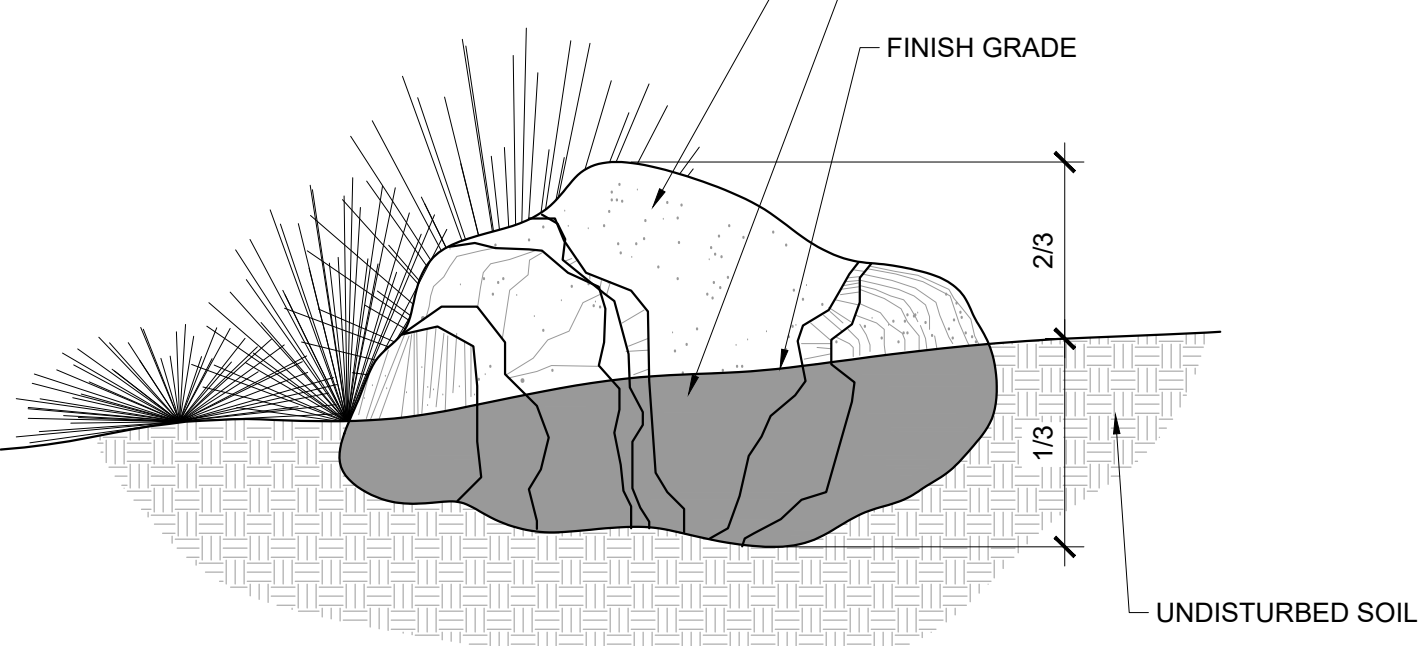
**NOTE:**

- Boulders to be placed per plan or per the direction of the Landscape Architect.
- Any exposed surface scarring that may have occurred during transportation or construction shall be repaired w/ a stain equal in color to the boulder's natural surface at no additional cost to the owner. All exposed areas of the boulders shall be smooth w/ no jagged edges visible.

**10 BOULDER PLACEMENT**  
SCALE: NTS

SIZE	WEIGHT
SMALL	1/2 - 1 TON
MEDIUM	1 - 2 TONS
LARGE	2+ TONS

SURFACE SELECT GRANITE BOULDER. REFER TO LANDSCAPE PLAN FOR APPROX. SIZE & LOCATION. BURY 1/3 OF THE BOULDER & BACKFILL TO PROVIDE NATURAL APPEARANCE.



**RVI**  
120 S. Ash Avenue  
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Tel: 480.994.0994  
www.rviplanning.com

EXPIRES 03/31/24

66017 BRITTANY GEIST

Arizona  
Call 811 or click Arizona811.com

**THE BUNGALOWS**  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA

PROJECT NO: 19002953  
DATE: 09/15/2021  
DRAWN: RVI  
REVIEWED: BG

REVISIONS

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**PLANTING DETAILS**

**L2.04**

L:\19002953-GANTZEL & COMBS\19000000-LANDSCAPE\02-PR\LANDSCAPE\02-PR\LANDSCAPE\SHEETS\0203-PH2-DD-PLANTING DETAILS.dwg 9/15/2021 jason.cottam

3RD SUBMITTAL (P21-0125 AND P21-0126)

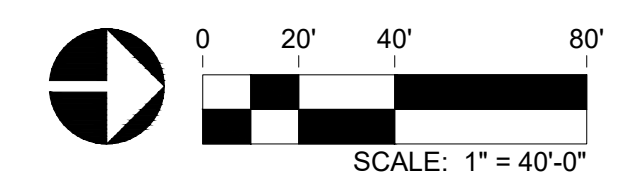
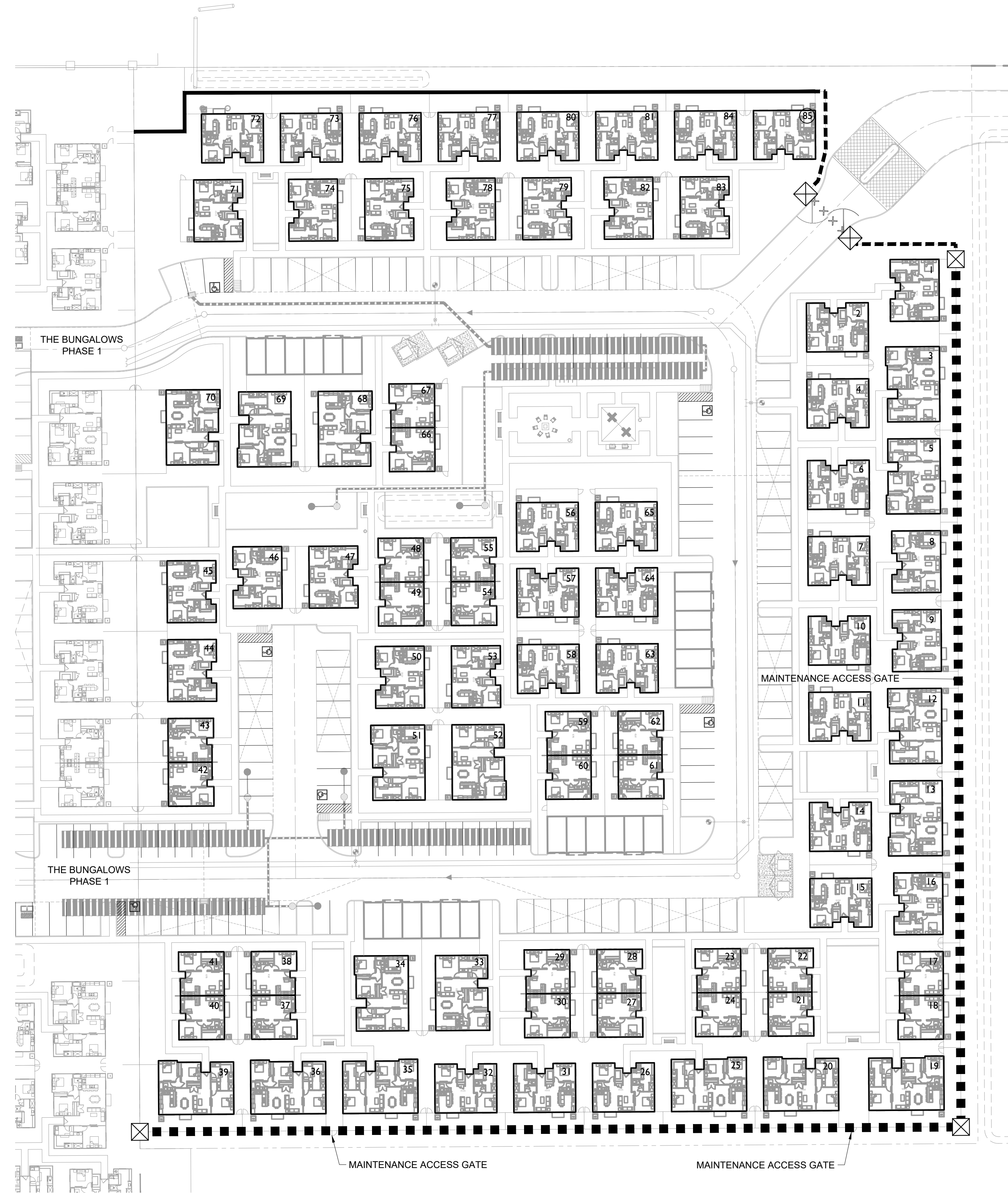
**WALL NOTES**

1. THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES.
2. FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR COMPACTED FILL.
3. THE EXPOSED UPPERMOST SOIL TO RECEIVE FILL SHALL BE SCARIFIED 6" DEEP, MOISTURE CONDITIONED TO ±3% OF OPTIMUM DENSITY CURVE FOR EACH TYPE OF SOIL ENCOUNTERED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-2922 OR D-3017.
4. FILL MATERIAL SHALL BE PREDOMINANTLY GRANULAR, NON-EXPANSIVE, CLEAN OF ALL ORGANIC OR DETRITUS SUBSTANCES, AND HAVE A PLASTICITY INDEX LESS THAN SEVEN (7). BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY IN HORIZONTAL 8" LIFTS.
5. EXCAVATIONS FOR FOUNDATIONS SHALL BE NEAT TO LINES OF FOOTINGS. ALL LOOSE MATERIAL SHALL BE REMOVED FROM SURFACE TO RECEIVE CONCRETE.
6. ALLOWABLE SOIL BEARING PRESSURES AT FOOTING ON COMPACTED SOIL: 1500 PSI.
7. CONCRETE MIX DESIGN FOR FOOTINGS SHALL BE MAG CLASS 'B' (2500 PSI), UNLESS OTHERWISE NOTED ON DRAWINGS.
8. NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
9. CONCRETE FOOTINGS SHALL BE CONTINUOUS POUR TO GREATEST EXTENT PRACTICAL. STEP FOOTINGS IN EVEN BLOCK INCREMENTS.
10. WALL CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL CALCULATIONS OF THE WALLS.
11. SUBMIT TEST REPORTS FOR CONCRETE MIX DESIGNS TO LANDSCAPE ARCHITECT FOR REVIEW.
12. WATERPROOF AND GROUT SOLID RETAINING WALLS TO HIGH GRADE, IF APPLICABLE.
13. ALL IRON/STEEL WORK TO BE OF HIGHEST QUALITY WITH WELDS GROUND SMOOTH. ALL IRON WORK, EXCEPT WHERE NOTED, TO BE PRIMED AND PAINTED. PAINT COLOR TO BE SELECTED BY OWNER AND/OR LANDSCAPE ARCHITECT.
14. VERIFY HEIGHTS AND SLOPES AND TURNDOWNS BEFORE POURING FOOTINGS.
15. NEW WALL FINISHES SHALL MATCH EXISTING SURFACES, UNLESS OTHERWISE NOTED ON DRAWINGS.
16. GROUT SOLID ALL CMU CELLS AND VOIDS BELOW GRADE AND/OR CONTAINING REBAR.

ALL WALL LOCATIONS AND ALIGNMENTS ARE SCHEMATIC. WALLS SHALL NOT BE INSTALLED IN RIGHT-OF-WAYS, UTILITY EASEMENTS, OR SIGHT VISIBILITY TRIANGLES. CONTRACTOR TO STAKE WALL CORNERS AND TURN POINTS AND GET CLIENT AND/OR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.

**LEGEND**

- 6" THEME WALL, REFER TO DETAIL 2 / L3.01
- FULL VIEW WALL, REFER TO DETAIL 3 / L3.00
- BUILDER WALL, REFER TO DETAIL 2 / L3.00
- × × × × ENTRY GATE, REFER TO DETAIL 4 / L3.00
- ⊠ THEME WALL COLUMN, REFER TO DETAIL 1 / L3.00



**THE BUNGALOWS  
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QUEEN CREEK, ARIZONA**

PROJECT NO: 19002953  
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REVIEWED: BG

REVISIONS

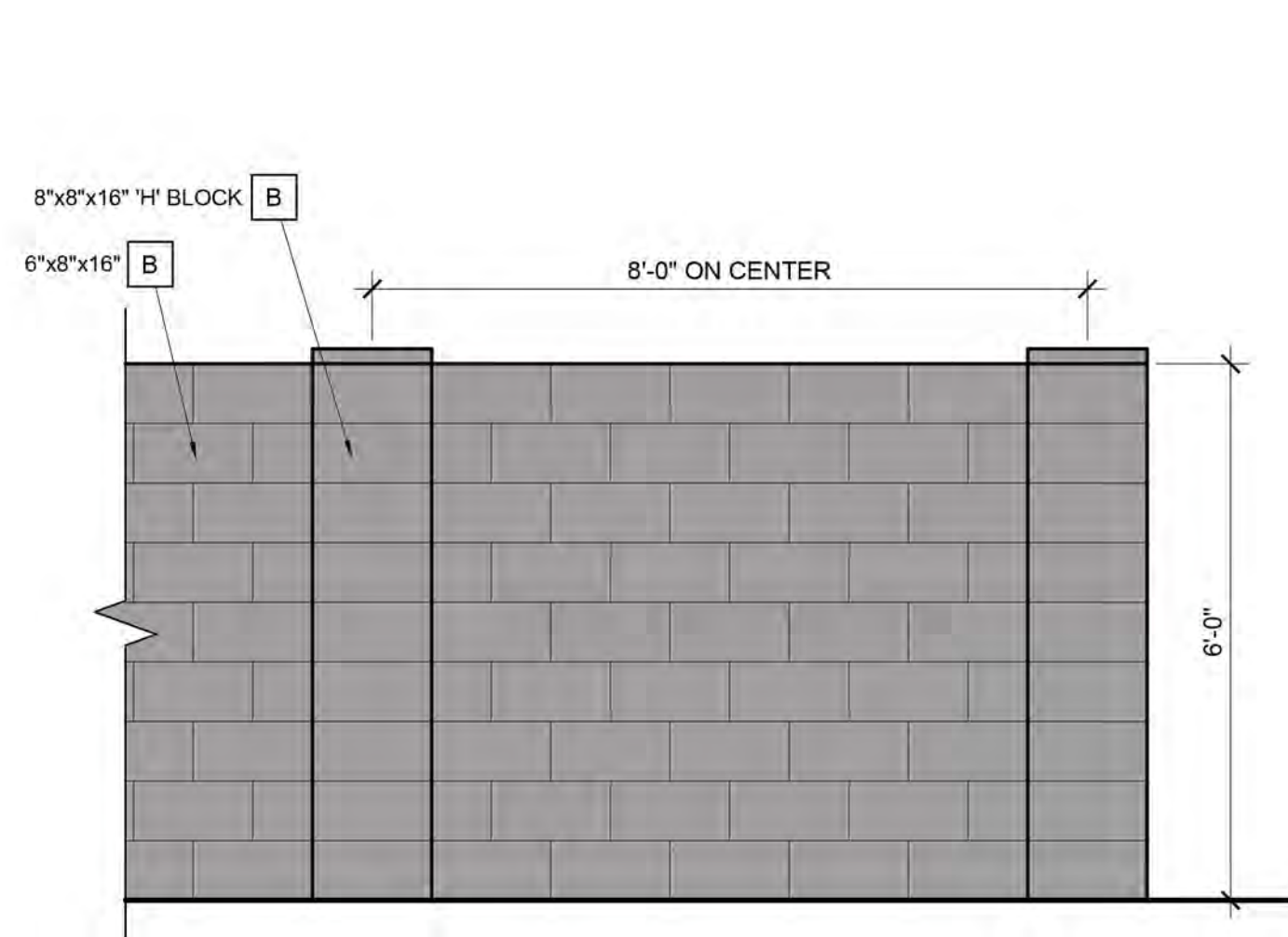
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**WALL PLAN**

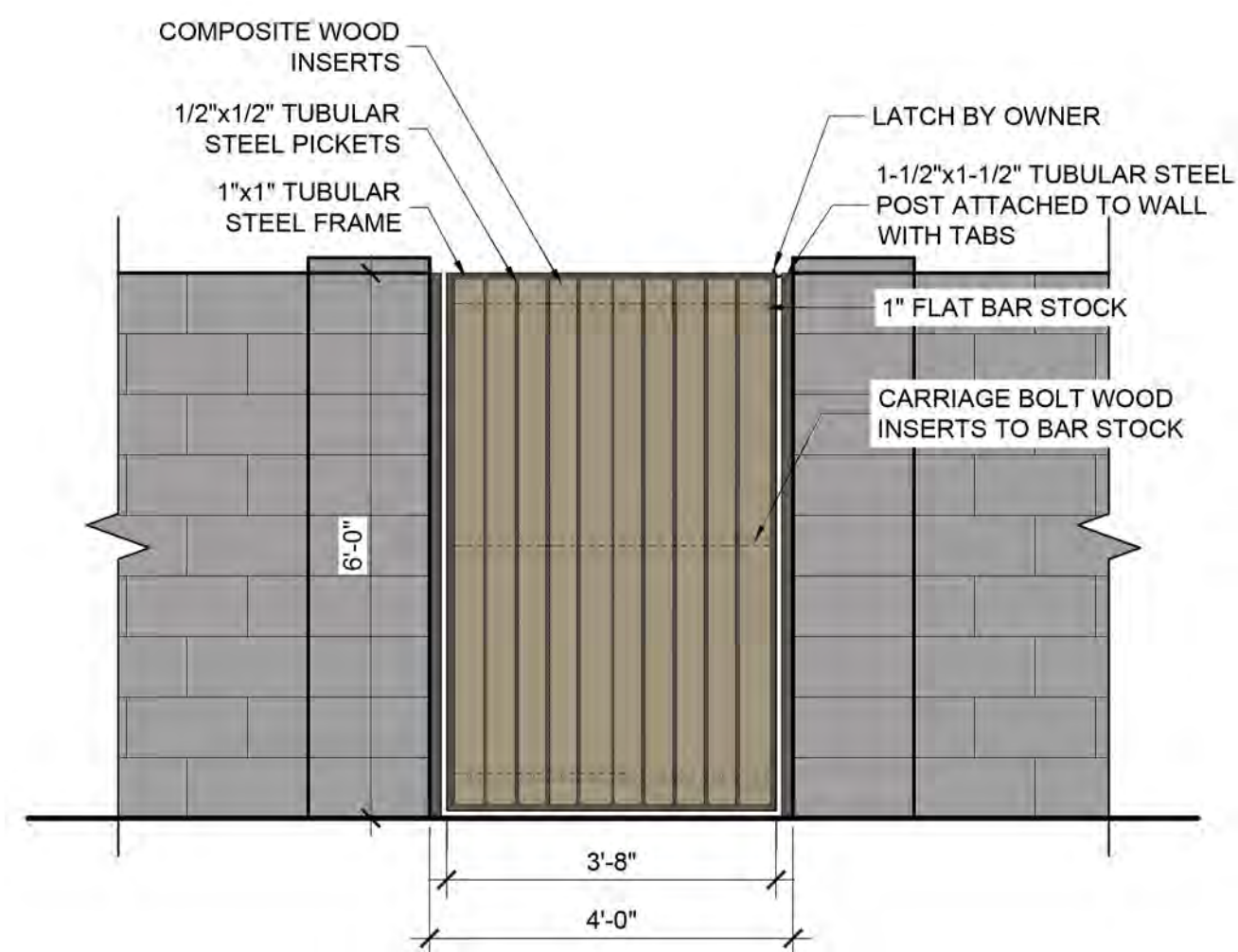
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L1:19002953-GANTZEL & COMBS-19000000-LANDSCAPE-002-PH2-LANDSCAPE-SHEETS-0203-PH2-DD-L1 (0) WALL PLAN.dwg 09/15/2021 jason.crisanti

3RD SUBMITTAL (P21-0125 AND P21-0126)

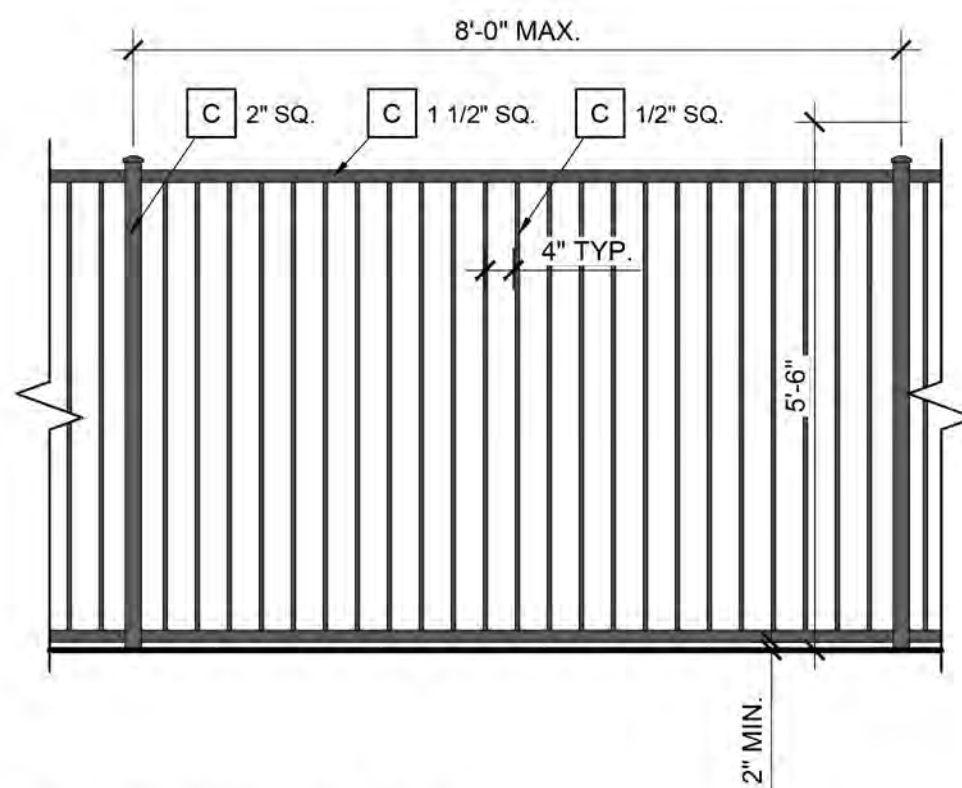


**1 BUILDER WALL**  
SCALE: 1/2" = 1'-0"

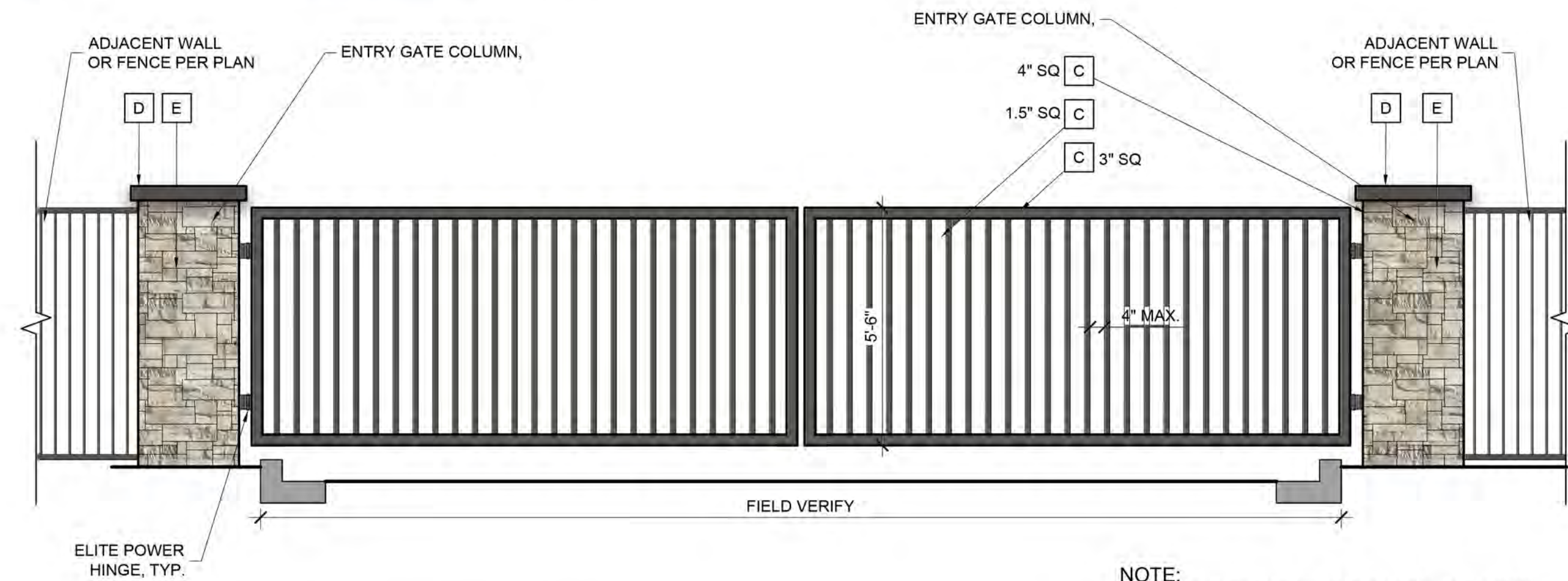


**2 REAR YARD PEDESTRIAN GATE**  
SCALE: 1/2" = 1'-0"

	COLOR: 'URBANE BRONZE' SW7048 USED ON: MASONRY CAP, TUBE STEEL		COLOR: 'GAUNTLET GREY' SW7019 USED ON: SMOOTH FACE BLOCK		COLOR: 'ANONYMOUS' SW7046 USED ON: SPLIT FACE BLOCK		STONE VENEER COLOR: 'TIMBERWOLF CRAFT SPLIT MODULAR' USED ON: ENTRY MONUMENT
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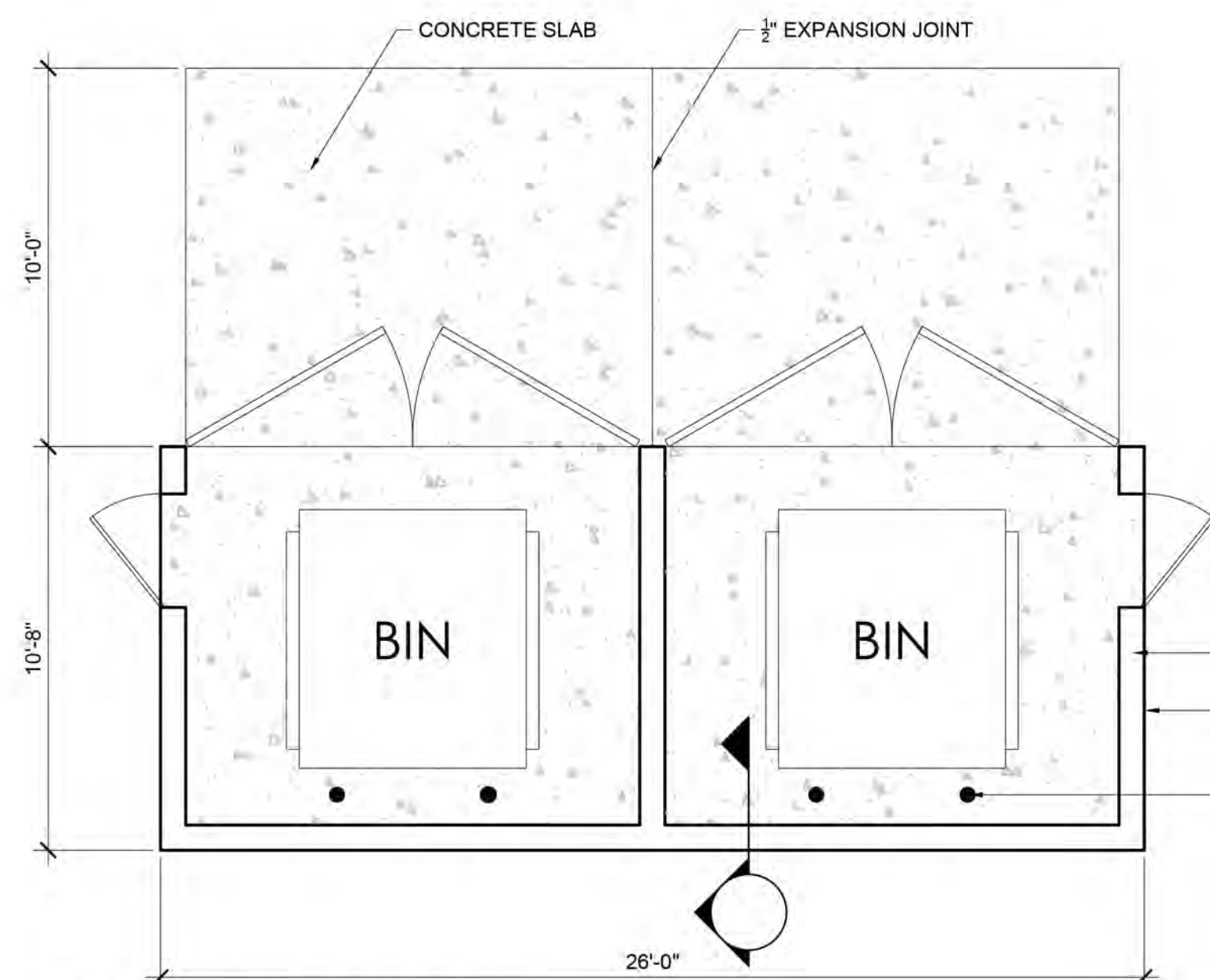


**3 VIEW FENCE**  
SCALE: 1/2" = 1'-0"



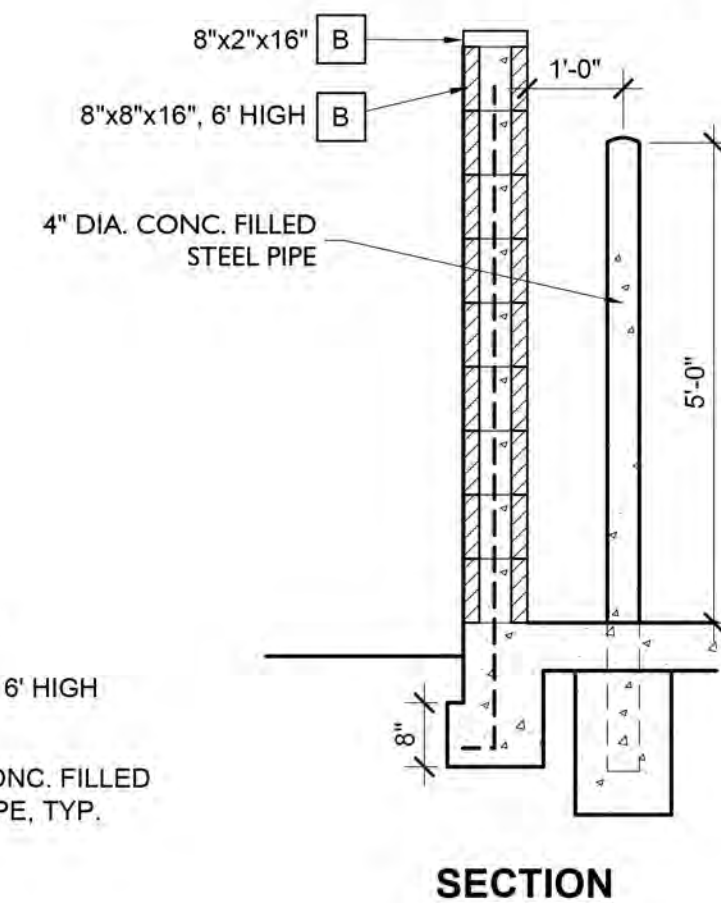
**4 TYPICAL VEHICLE ACCESS GATE**  
SCALE: 3/8" = 1'-0"

NOTE:  
VERIFY EACH GATE CONDITION- COLUMN  
LOCATIONS, ADJACENT WALLS/FENCING, ETC.

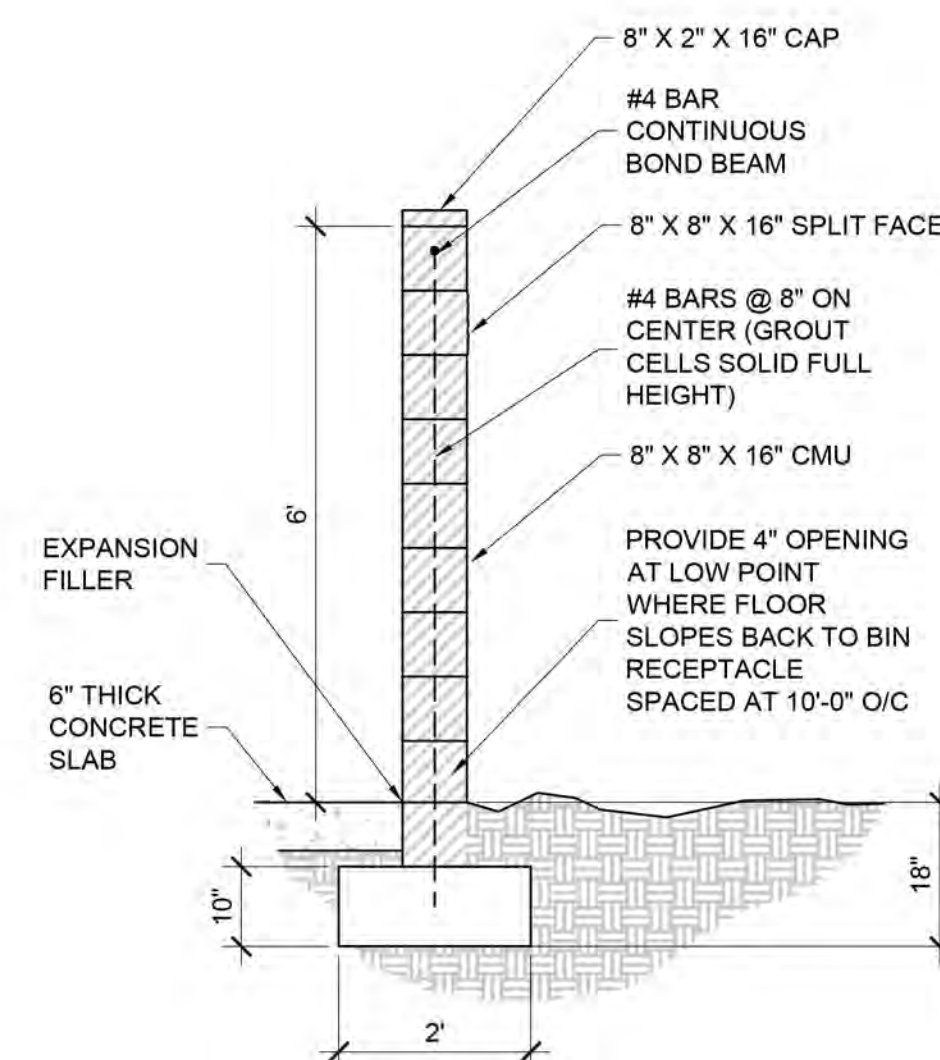


**5 TRASH ENCLOSURE**  
SCALE: 1/4" = 1'-0"

NOTE: CONCRETE FOOTING SIZE,  
DEPTH AND REINFORCING PER  
LICENSED STRUCTURAL ENGINEER



**SECTION**



**6 TRASH ENCLOSURE**  
SCALE: 1/2" = 1'-0"

**HARDSCAPE SCHEDULE**

<b>A</b>	ITEM COLOR FINISH SPECIFICATIONS SPLIT FACE BLOCK SW7048 'ANONYMOUS' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)	MANUFACTURER
<b>B</b>	ITEM COLOR FINISH SPECIFICATIONS SMOOTH FACE BLOCK SW7019 'GAUNTLET GREY' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)	MANUFACTURER
<b>C</b>	ITEM COLOR FINISH SPECIFICATIONS TUBULAR STEEL SW7048 'URBANE BRONZE' SATIN FINISH PAINT ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S. LOCALLY SOURCED	MANUFACTURER
<b>D</b>	ITEM COLOR FINISH SPECIFICATIONS MASONRY CAP SW7048 'URBANE BRONZE' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)	MANUFACTURER
<b>E</b>	ITEM COLOR FINISH SPECIFICATIONS STONE VENEER TIMBERWOLF CRAFT SPLIT MODULAR STANDARD GRAY GROUT & MORTAR WASH. INSTALL PER MFR'S SPEC'S. CREATIVE MINES	MANUFACTURER
<b>F</b>	ITEM COLOR FINISH SPECIFICATIONS CLUSTER BOX SW7048 'URBANE BRONZE' N/A 20 DOOR USPS CLUSTER BOX UNIT (3416D-20BRZ)	MANUFACTURER
<b>G</b>	ITEM COLOR FINISH SPECIFICATIONS CAST IN PLACE CAP SW7048 'URBANE BRONZE'	MANUFACTURER

**RVI**

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EXPIRES 03/31/24



**THE BUNGALOWS**  
AT GANTZEL AND COMBS (PH2)  
QUEEN CREEK, ARIZONA

PROJECT NO.: 19002953  
DATE: 08/12/2020  
DRAWN: RVI  
REVIEWED: BG

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**HARDSCAPE  
DETAILS**

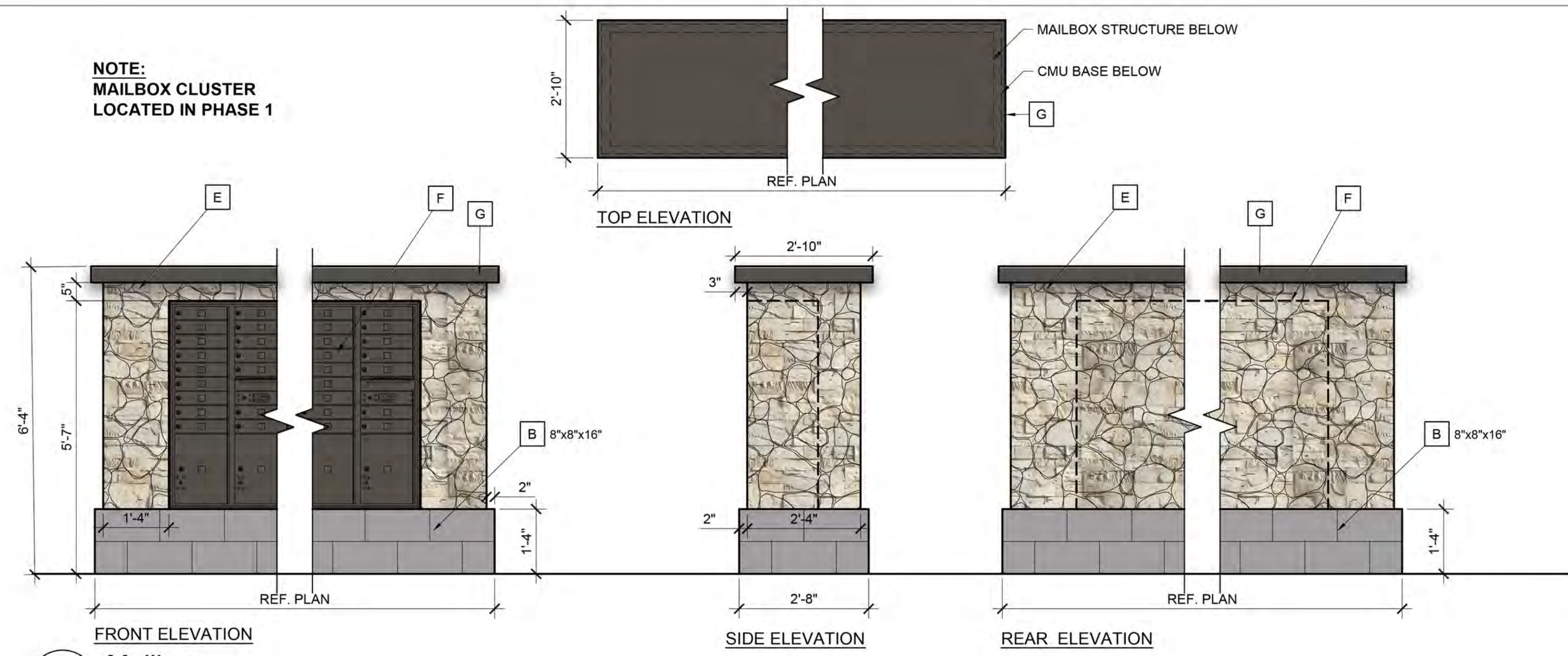
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SHEET 09 OF 10

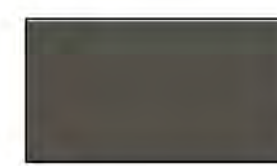
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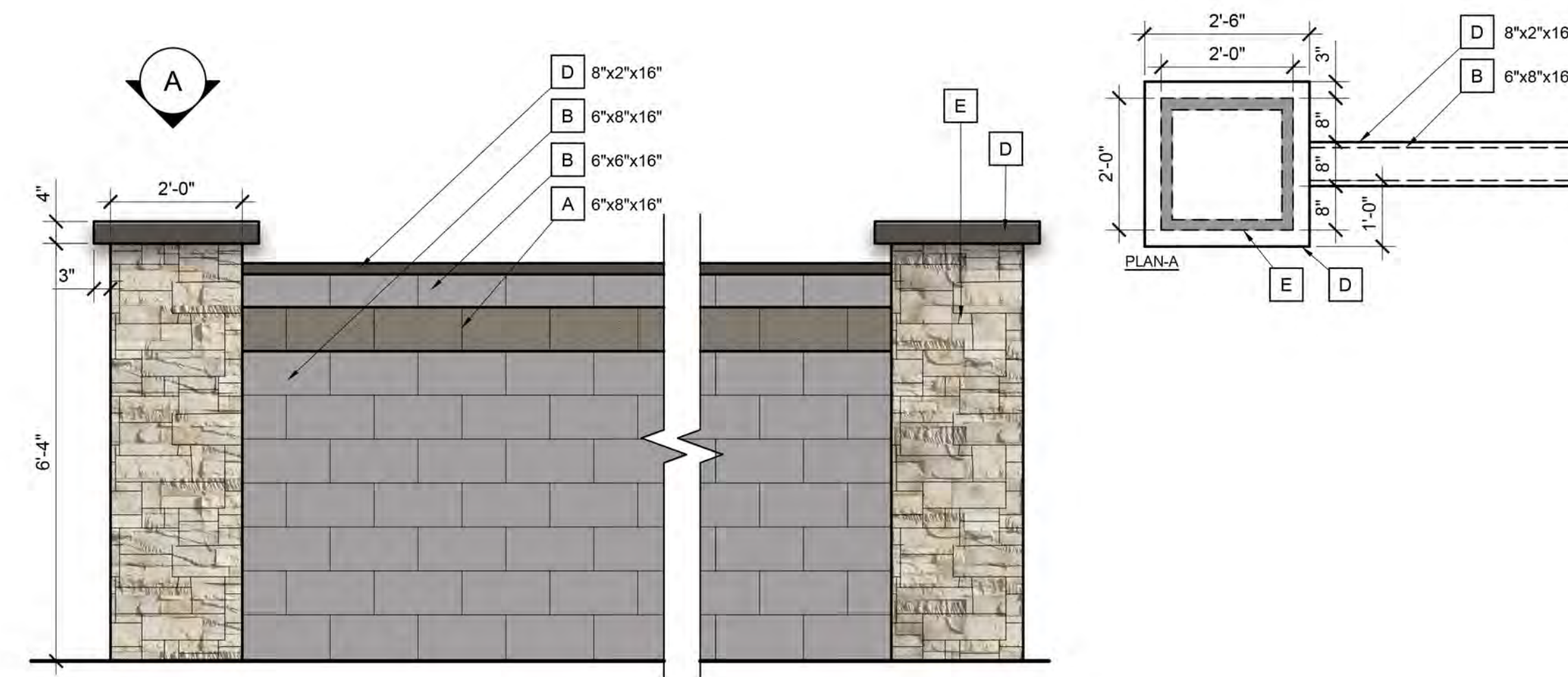


**NOTE:**  
MAILBOX CLUSTER  
LOCATED IN PHASE 1



**1 Mailbox**  
SCALE: 1/2" = 1'-0"

	COLOR: 'URBANE BRONZE' USED ON: MASONRY CAP, TUBE STEEL.		COLOR: 'GAUNTLET GREY' SW7019 USED ON: SMOOTH FACE BLOCK		COLOR: 'ANONYMOUS' SW7046 USED ON: SPLIT FACE BLOCK		STONE VENEER COLOR: 'TIMBERWOLF CRAFT 'SPLIT MODULAR' USED ON: ENTRY MONUMENT
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**2 6' Ht. Theme Wall and Column Elevation**  
SCALE: 1/2" = 1'-0"

**HARDSCAPE SCHEDULE**

<b>A</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	SPLIT FACE BLOCK SW7046 'ANONYMOUS' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>B</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	SMOOTH FACE BLOCK SW7019 'GAUNTLET GREY' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>C</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	TUBULAR STEEL SW7048 'URBANE BRONZE' SATIN FINISH PAINT ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S. LOCALLY SOURCED
<b>D</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	MASONRY CAP SW7048 'URBANE BRONZE' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>E</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	STONE VENEER TIMBERWOLF CRAFT SPLIT MODULAR STANDARD GRAY GROUT & MORTAR WASH. INSTALL PER MFR'S SPEC'S. CREATIVE MINES
<b>F</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	CLUSTER BOX SW7048 'URBANE BRONZE' N/A 20 DOOR USPS CLUSTER BOX UNIT (3416D-20BRZ) INSTALL PER MFR. SPEC'S. SALSBURY INDUSTRIES (www.mailboxes.com, 800.624.5269)
<b>G</b>	ITEM COLOR FINISH SPECIFICATIONS MANUFACTURER	CAST IN PLACE CAP SW7048 'URBANE BRONZE'

**RVI**

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EXPIRES 03/31/24



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QUEEN CREEK, ARIZONA

PROJECT NO: 19002953  
DATE: 08/12/2020  
DRAWN: RVI  
REVIEWED: BG

REVISIONS

1	
2	
3	
4	
5	

HARDSCAPE  
DETAILS

**L3.01**

SHEET 10 OF 10

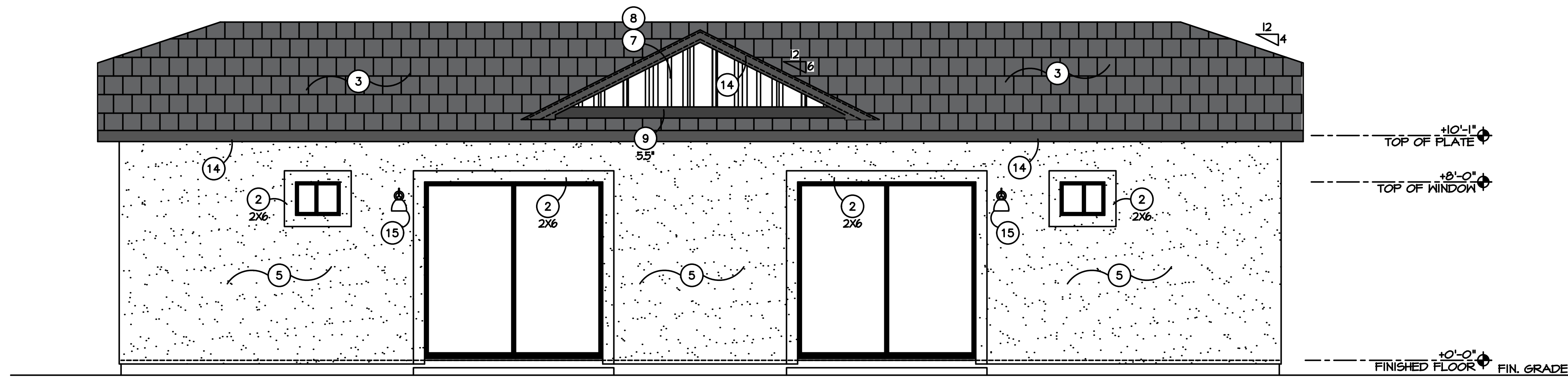
3RD SUBMITTAL (P21-0125 AND P21-0126)

L:\19002953\gantt & comb's\3d\hardscape\hardscape\2\020\p21-0125\hardscape\DETAILS.dwg, 08/15/2021, jason cristiani

ELEVATION KEYNOTES

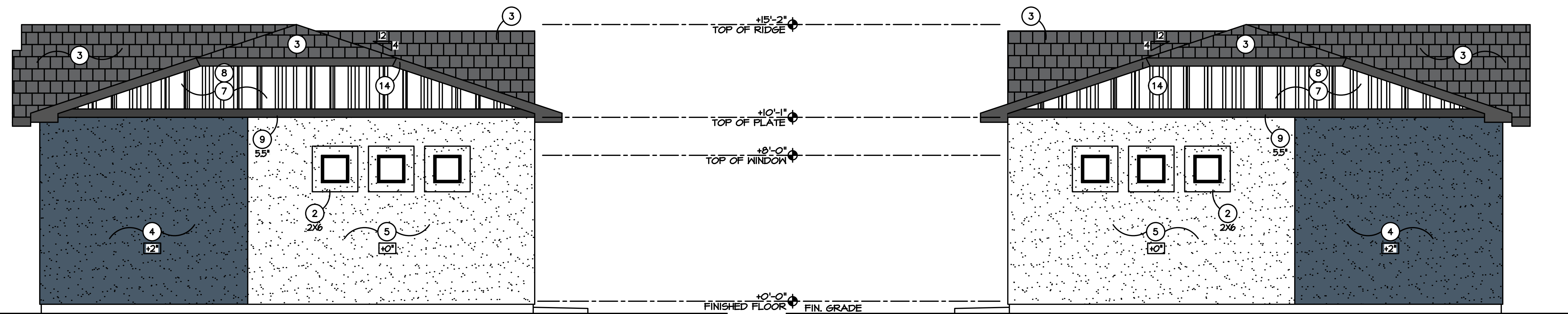
- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SAND FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHUTTERS - (3) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SOUNCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 SOLDER COURSE BRICK VENEER SILL SILL TO PROJECT 2-1/2" FROM WALL FINISH - VERIFY STYLE AND COLOR
- 18 BOARD & BATTEN STYLE VINYL SHUTTER

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - RAINCLOUD CRAFT CANNERY BRICK W/ WHITE GROUT
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	MAIN BODY STUCCO	B.M. - BLUE SPRUCE 1637
5	MAIN BODY STUCCO	B.M. - LIGHT PEWTER 1464
6	STUCCO WINDOW TRIM	B.M. - CHANTILLY LACE 2121-70
7 & 8	BOARD & BATTEN	B.M. - LIGHT PEWTER 1964
14	FASCIA BOARD	B.M. BLACK 2132-10
18	SHUTTERS	B.M. - CHANTILLY LACE 2121-70
19	DOOR	B.M. BLACK 2132-10



REAR ELEVATION

SCALE = N.T.S.

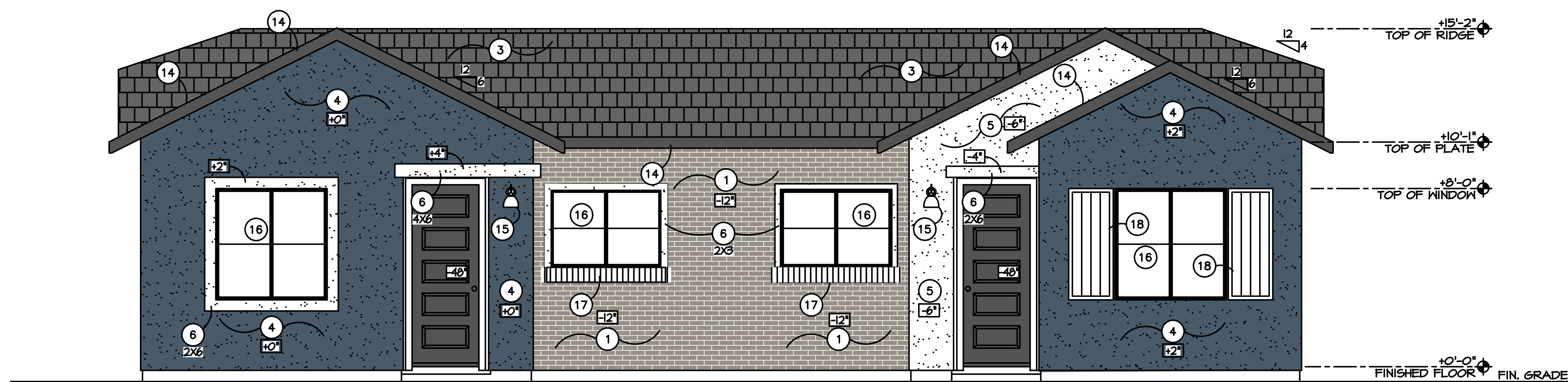


RIGHT ELEVATION

SCALE = N.T.S.

LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

**MOORADIAN & ASSOCIATES**  
 4578 N. First Avenue, Suite 140 Tucson, AZ 85718  
 T: (520) 408-8117 F: (520) 408-8028

BID SET  
 NOT FOR  
 CONSTRUCTION

Project: **BUNGALOWS AT COMBS & GANTZEL**  
 Queen Creek, Arizona  
 Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

PROJECT NO.: 10959a  
 CAD FILE: 10959a-EXHIBIT-COLOR  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**1-BEDROOM FRONT ENTRY**

Drawing No.:  
**1BFE**  
 SHEET OF

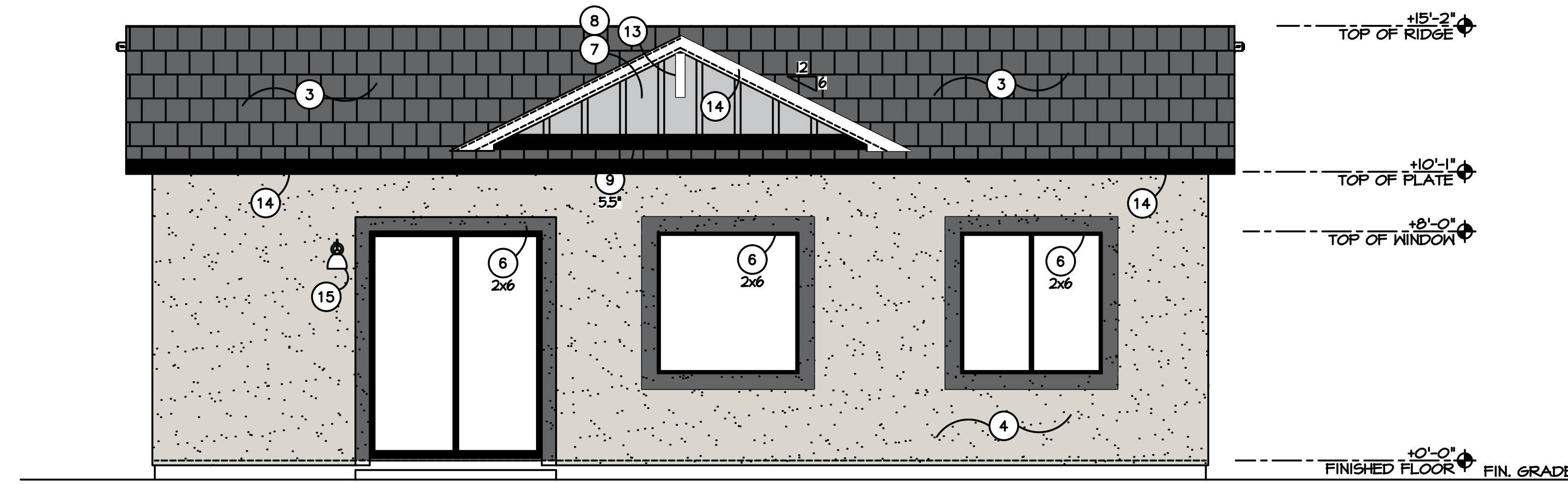
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ELEVATION KEYNOTES

- 1 NOT USED
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHUTTERS - (3) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCOSCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 FRONT DOOR

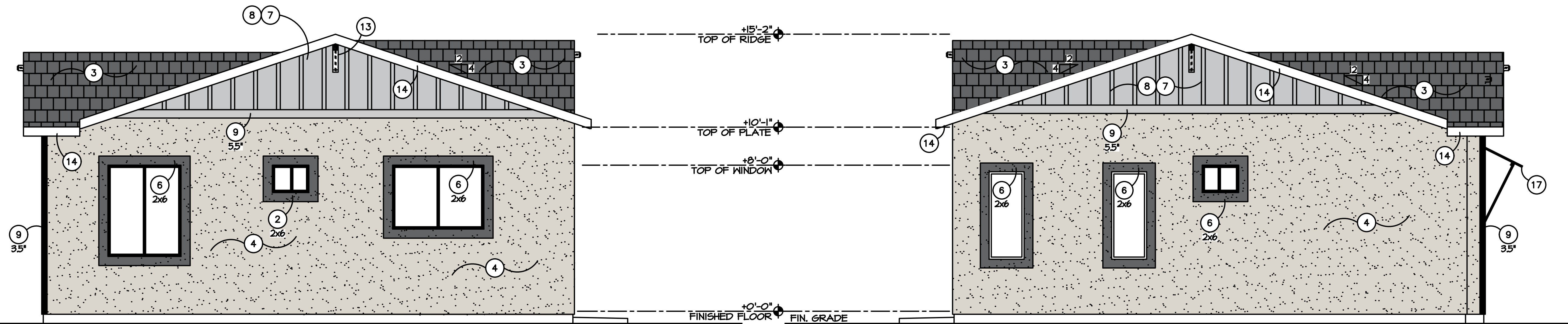
COLOR & MATERIALS TABLE

KEYNOTE	MATERIAL	BRAND / COLOR
3	ROOF TILE	EAGLE - SLATE RANGE 4697
5	MAIN BODY STUCCO	B.M. - LIGHT PEWTER 1464
6	STUCCO WINDOW TRIM	B.M. - LEAD GRAY 2131-30
7 & 8	BOARD & BATTEN	B.M. - WINTER SOLSTICE 1605
13 & 14	FASCIA BOARD	B.M. - CHANTILLY LACE 2121-70
17	AWINING	BLACK
18	DOOR	B.M. - LEAD GRAY 2131-30



REAR ELEVATION

SCALE = N.T.S.

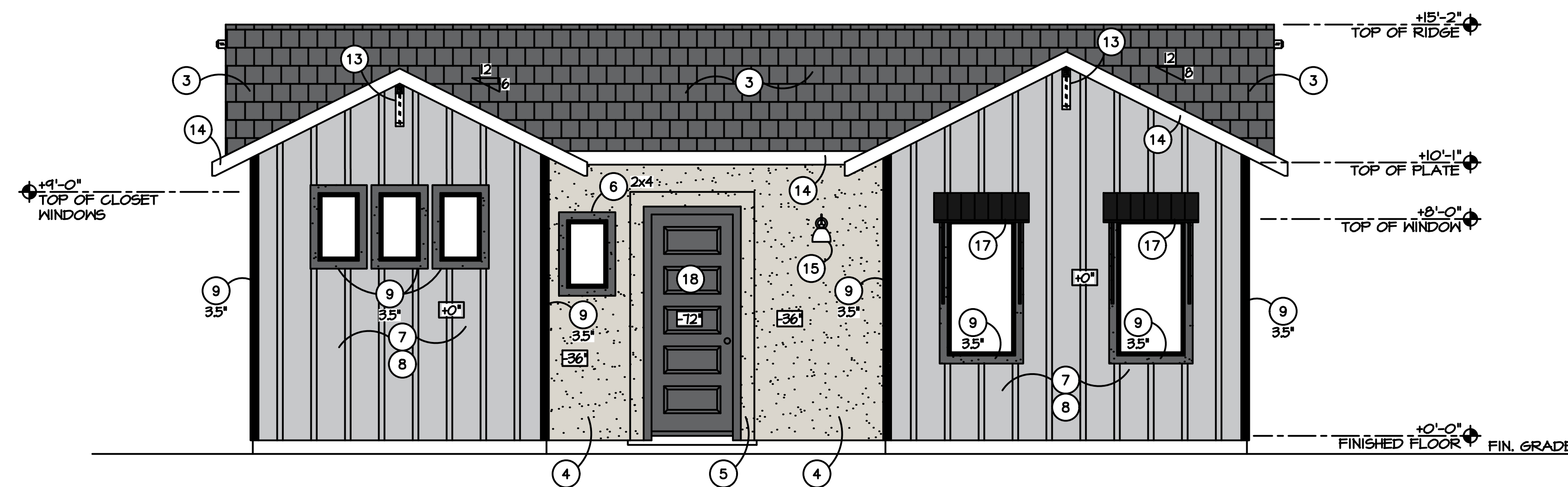


RIGHT ELEVATION

SCALE = N.T.S.

LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

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 Queen Creek, Arizona

Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

PROJECT NO.: 10959a  
 CAD FILE: 10959a-EXHIBIT-COLOR  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**2-BEDROOM**

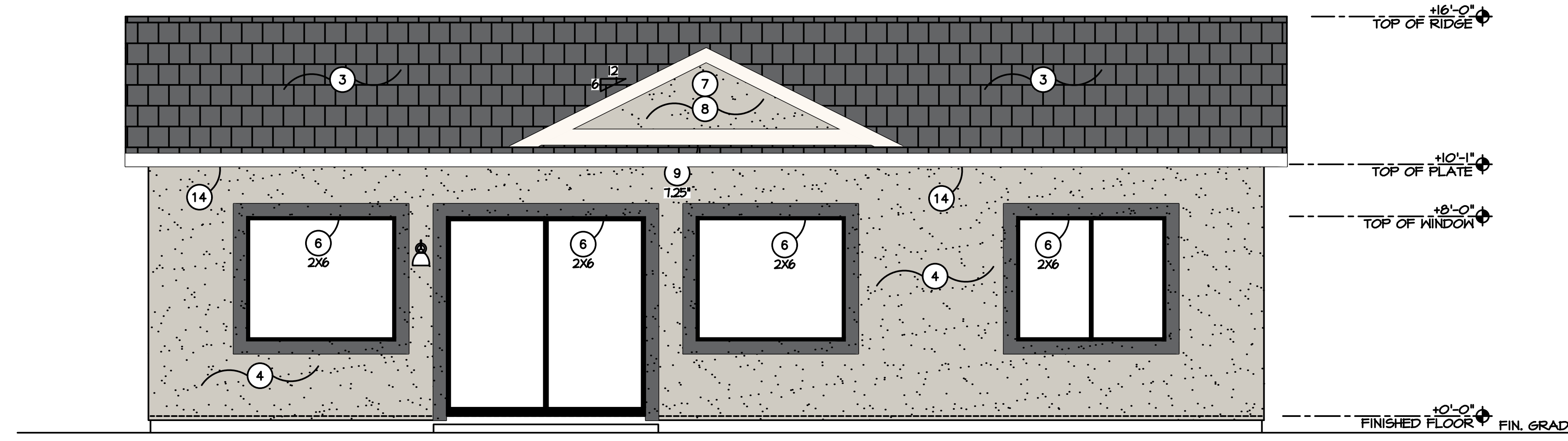
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**2B**  
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ELEVATION KEYNOTES

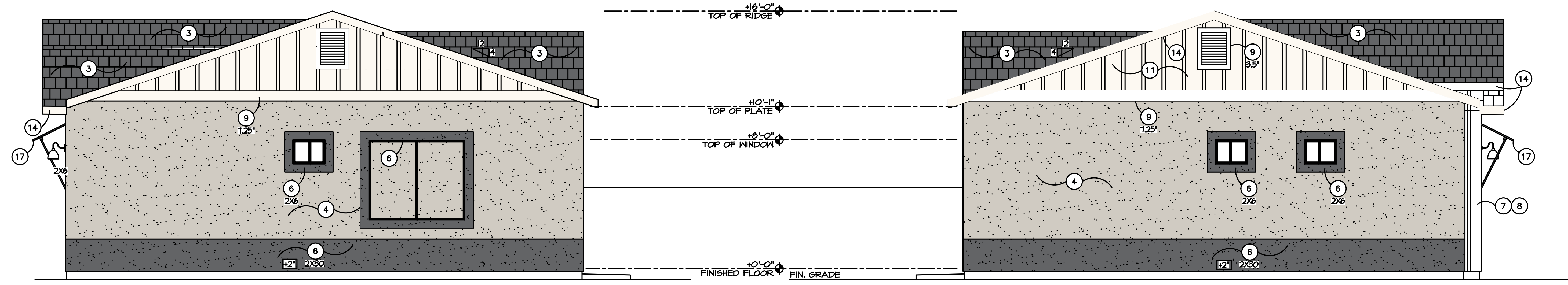
- 1 STONE VENEER - VERIFY STYLE AND COLOR
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHUTTERS - (4) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SOUNCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 FRONT DOOR

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	CULTURED STONE	CREATIVE MINES - BLACK TRUFFLE
		CRAFT SPLIT MODULAR
3	ROOF TILE	EAGLE - SLATE RANGE 297
5	MAIN BODY STUCCO	D.E. - DET625 RECLAIMED WOOD
6	STUCCO WINDOW TRIM	D.E. - DE6370 CHARCOAL SMUDGE
7 & 8	BOARD & BATTEN	D.E. - DEW341 SWISS COFFEE
14	FASCIA BOARD	D.E. - DEW341 SWISS COFFEE
12 & 18	DOOR & SHUTTERS	B.M. - WASHINGTON BLUE CW-630
17	AWNING	BLACK



REAR ELEVATION

SCALE = 1/4"=1'-0"

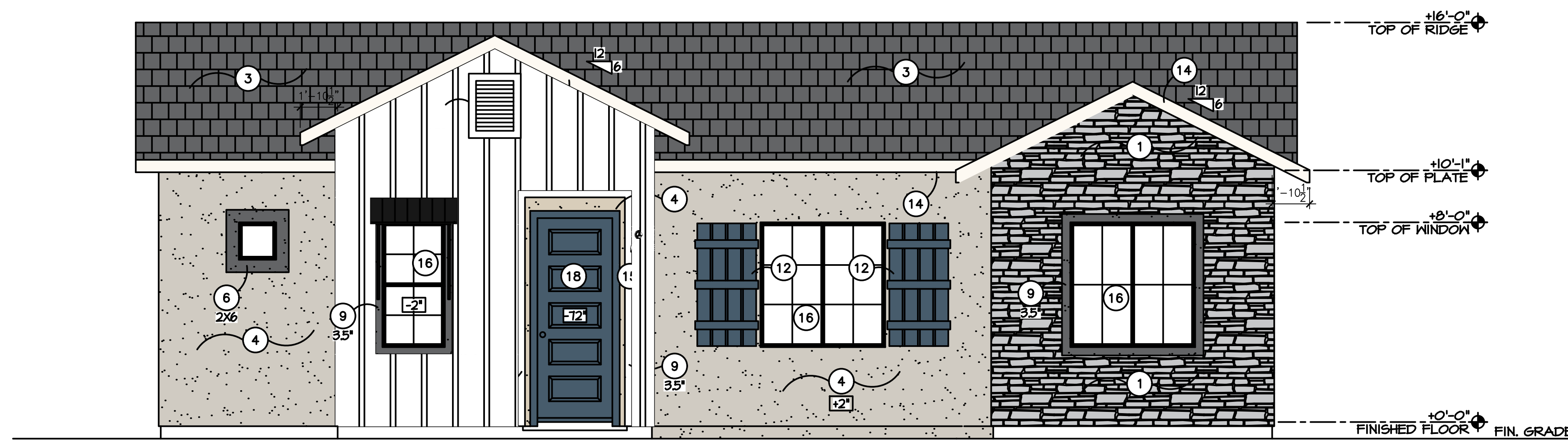


RIGHT ELEVATION

SCALE = 1/4"=1'-0"

LEFT ELEVATION

SCALE = 1/4"=1'-0"



FRONT ELEVATION

SCALE = 1/4"=1'-0"

**MOORADIAN & ASSOCIATES**  
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 CONSTRUCTION

Project: **BUNGALOWS AT COMBS & GANTZEL**  
 Queen Creek, Arizona  
 Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

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 CAD FILE: 10959a-EXHIBIT-COLOR  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**3-BEDROOM**

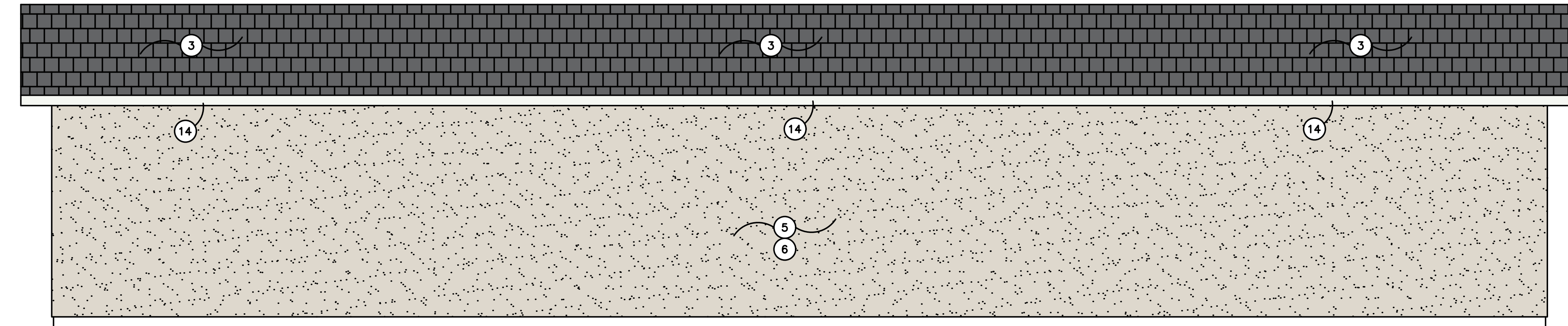
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**3B**  
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ELEVATION KEYNOTES

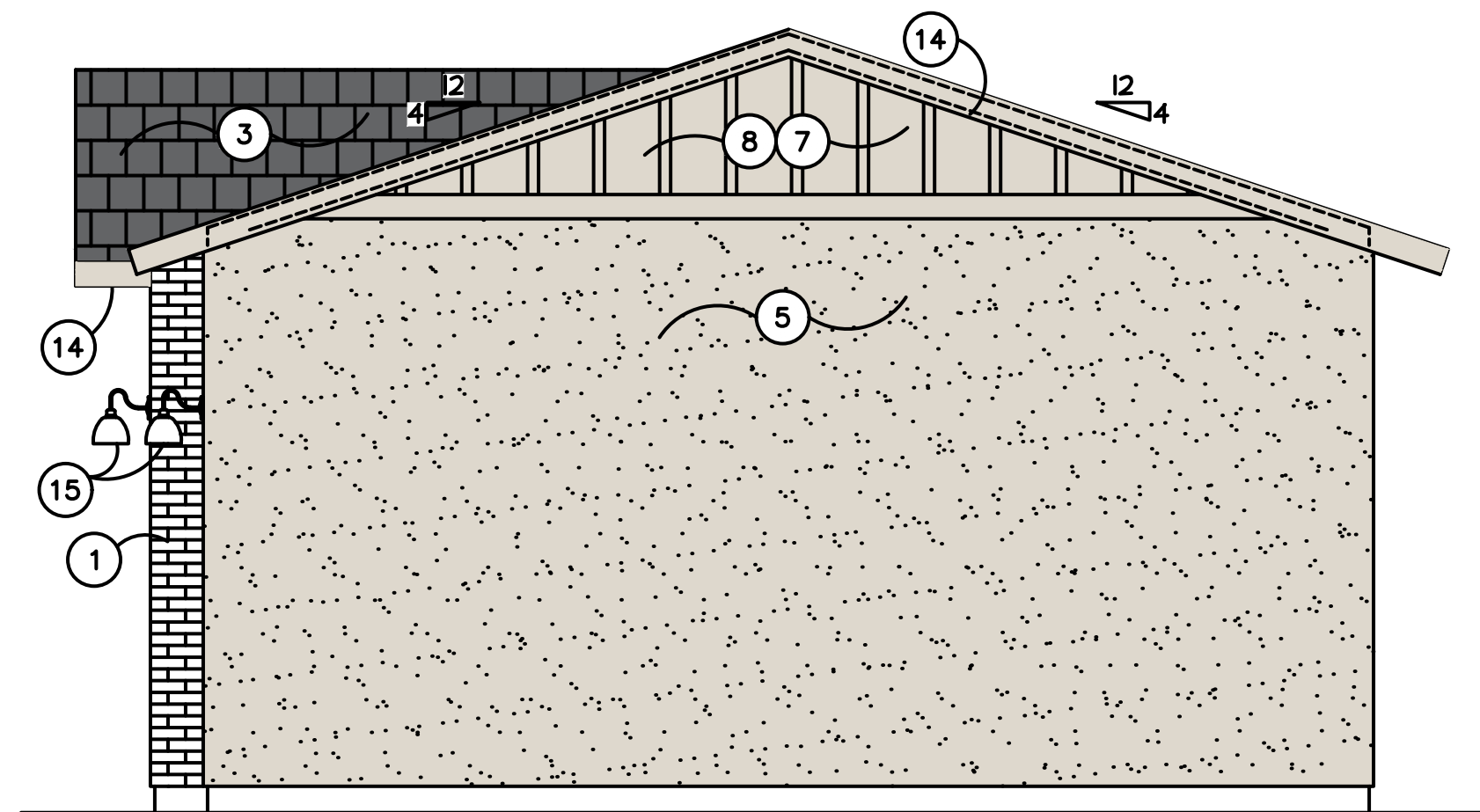
- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 STEEL DOOR
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 ARCHITECTURAL GARAGE DOOR
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 REAR OR GARAGES FACES TO THE BUNGALOWS AND ARE NOT VISIBLE FROM THE ROADWAYS
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SPOUNCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STEEL DOOR & TRIM	D.E. CHARCOAL SMUDGE DE6370
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	GARAGE DOOR	D.E. CHARCOAL SMUDGE DE6370
5	MAIN BODY STUCCO	B.M. PALE OAK OC-20
7 & 8	BOARD & BATTEN	B.M. PALE OAK OC-20
9	TRIM BOARD	B.M. PALE OAK OC-20
14	FASCIA BOARD	B.M. PALE OAK OC-20



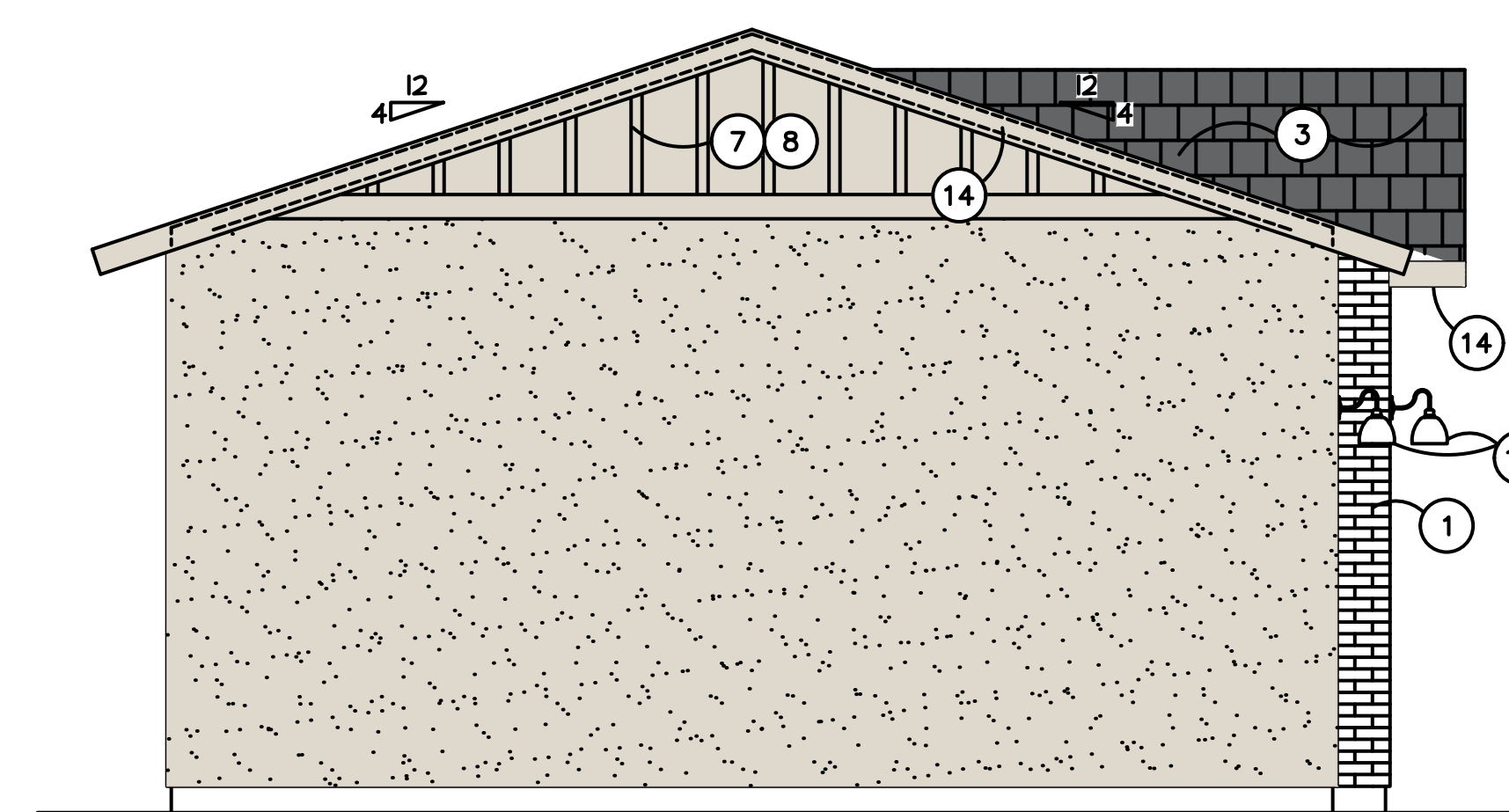
REAR ELEVATION

SCALE = N.T.S.



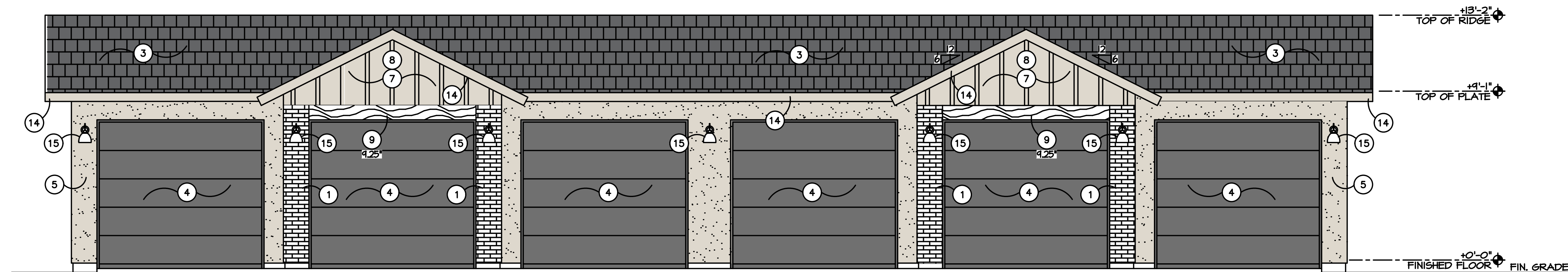
RIGHT ELEVATION

SCALE = N.T.S.



LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

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 Queen Creek, Arizona

Client: **CAVAN PROPERTIES**

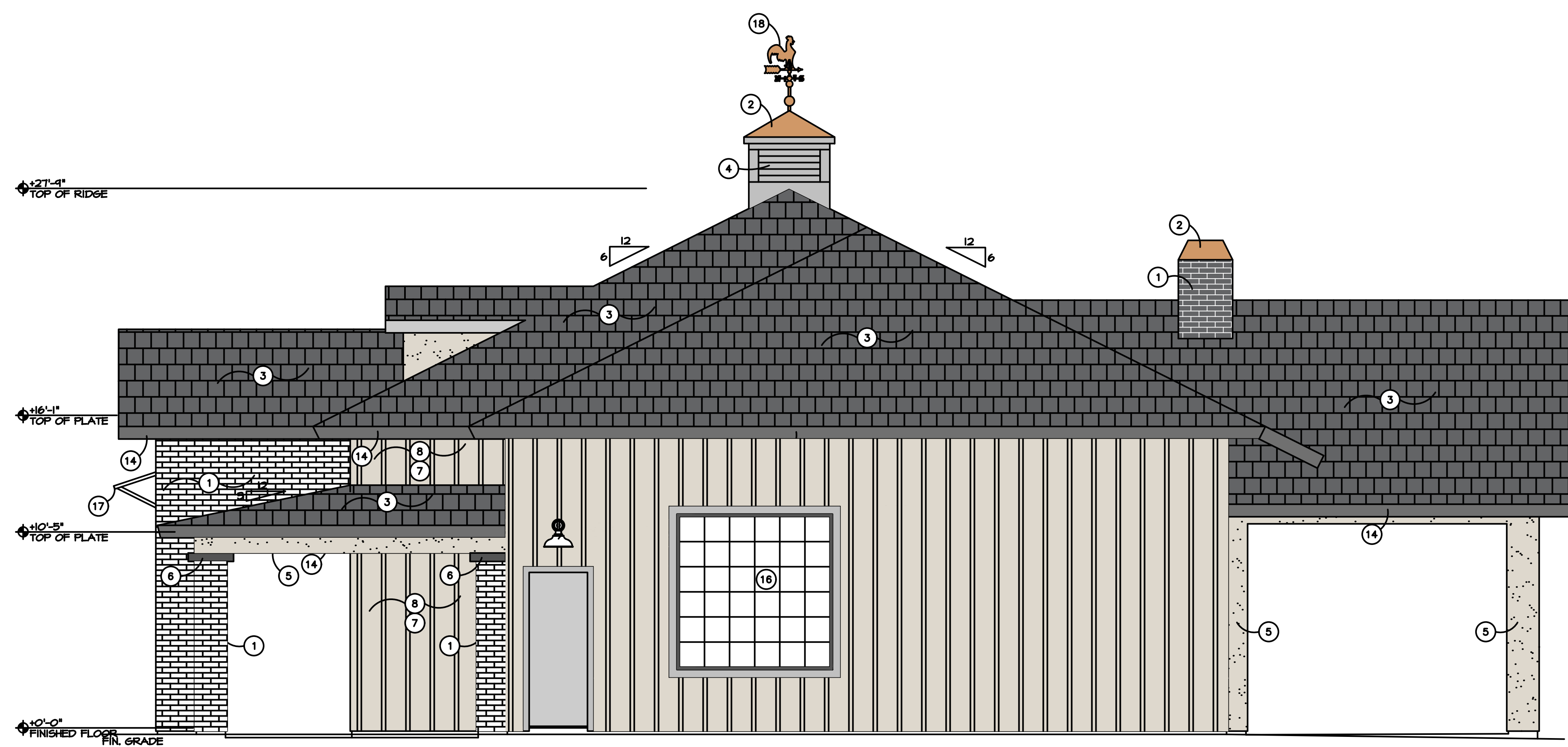
CD	02/20/20	COLOR EXHIBIT	DATE	DESCRIPTION

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 CAD FILE: 10959a-EXHIBIT-COLOR  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**4-CAR GARAGE WITH STORAGE**

Drawing No.:  
**4GS**

SHEET OF

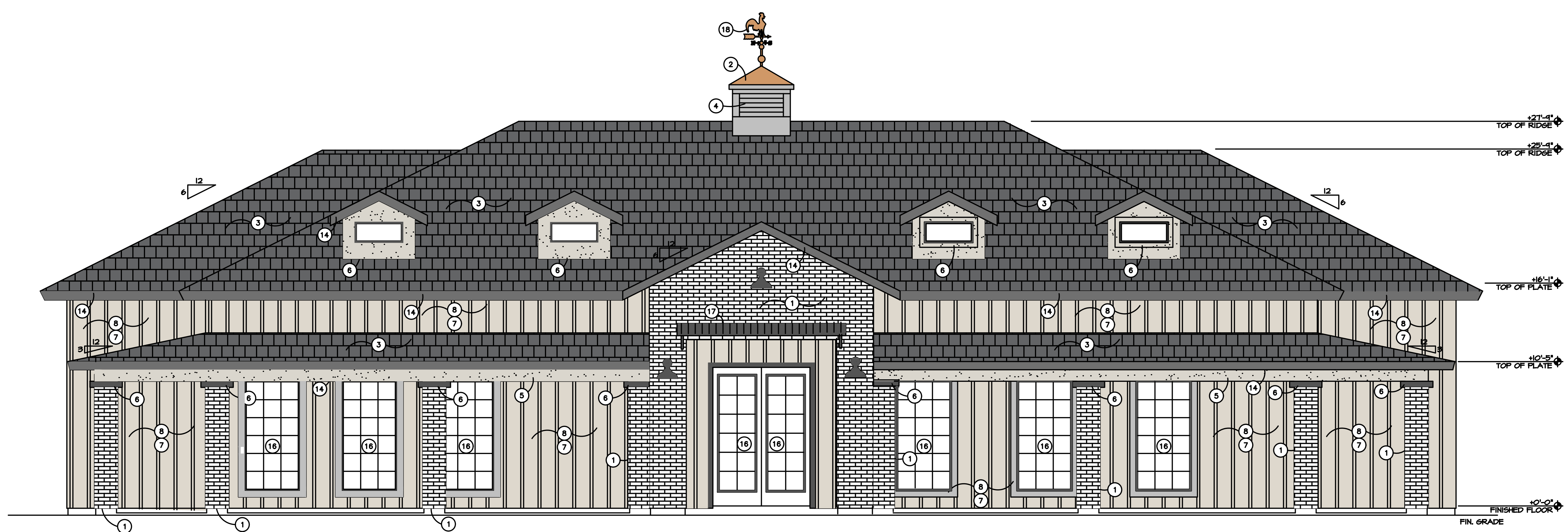
Plot date: 8/4/2020 11:56 AM User: archd  
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**RIGHT SIDE ELEVATION**

SCALE = 1/4"=1'-0"

CLUBHOUSE



**FRONT ELEVATION**

SCALE = 1/4"=1'-0"

CLUBHOUSE

**ELEVATION KEYNOTES**

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SHEET COPPER ROOF ON CUPOLA
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 LOUVERED VENT WITH INSET SCREEN
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 2x4 SAND FINISH STUCCO POP-OUT
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCONCE @ +84" TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 COPPER ROOSTER WEATHERVANE W/ GROUNDING PROTECTION

**COLOR & MATERIALS TABLE**

KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STANDING SEAM ROOF	AGED COPPER SHEET
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	LOUVERED VENT	B.M. CHANTILLY LACE 2121-70
5	MAIN BODY STUCCO	B.M. - PALE OAK OC20
7 & 8	BOARD & BATTEN	B.M. CHANTILLY LACE 2121-70
12	SHUTTERS	B.M. BLACK 2132-10
14	FASCIA BOARD	D.E. CHARCOAL SMUDGE DE6370
17	ALUMINUM AWNING	AGED COPPER SHEET

**MOORADIAN & ASSOCIATES**  
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**BID SET  
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 CONSTRUCTION**

Project: **BUNGALOWS AT COMBS & GANTZEL**  
 Queen Creek, Arizona  
 Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	DESCRIPTION
		02/20/20		EXHIBIT

PROJECT NO.: 10959a  
 CAD FILE: 10959A-EXHIBIT-COLOR  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**4-CAR GARAGE WITH STORAGE**

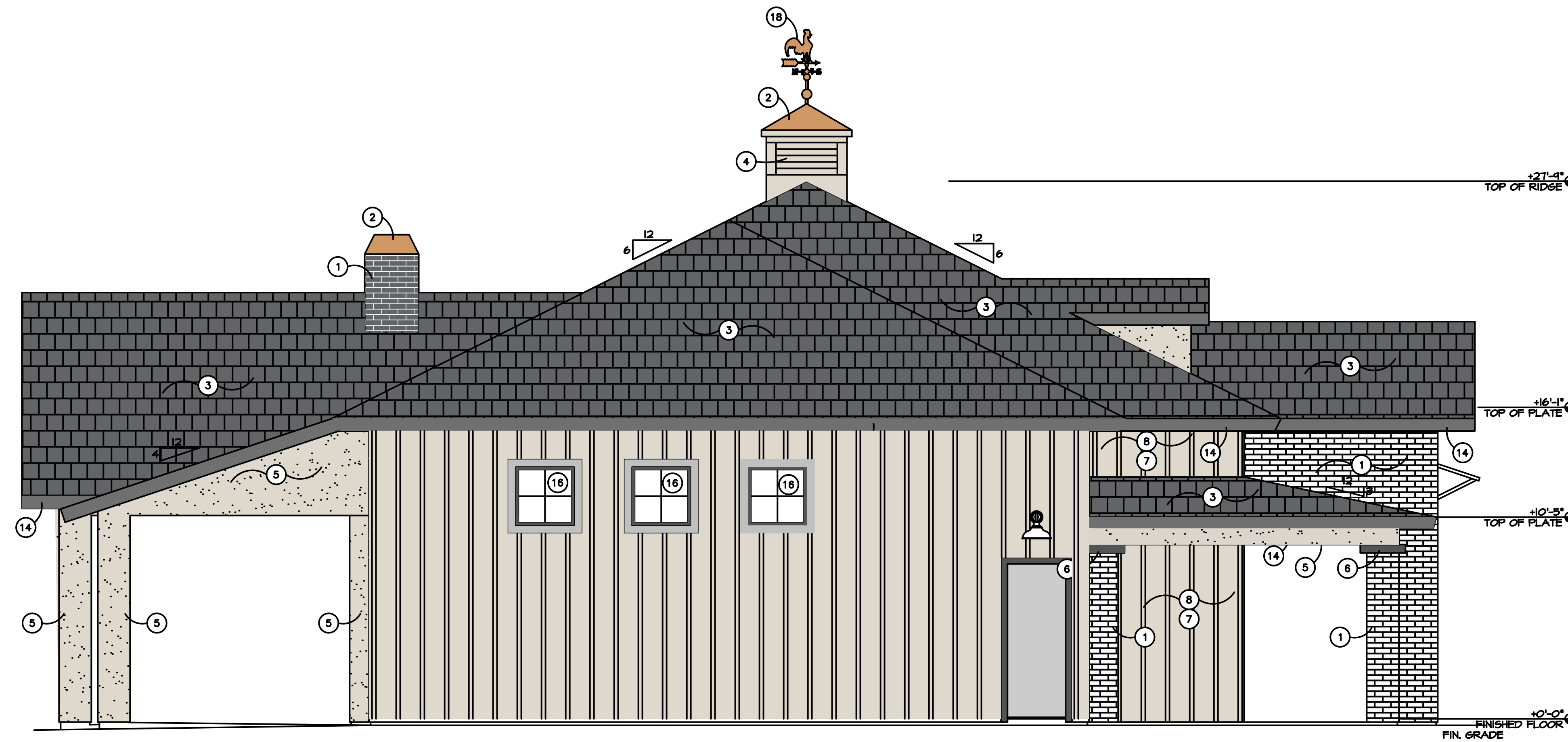
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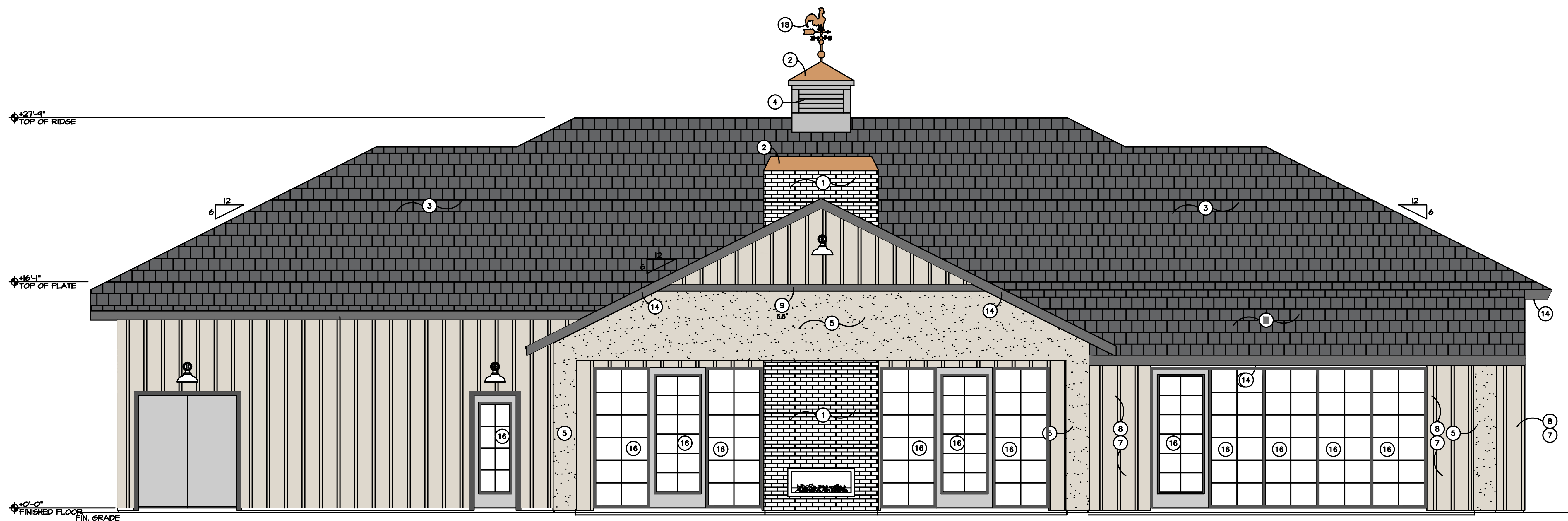
ELEVATION KEYNOTES

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SHEET COPPER STANDING SEAM ROOF ON CUPOLA
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 LOUVERED VENT WITH INSECT SCREEN
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 2x4 SAND FINISH STUCCO POP-OUT
- 7 HARDEIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRIM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRIM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 FYPON BRACKET BKT12X16X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCOTCH 8" +84" TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 COPPER ROOSTER WEATHERVANE W/ GROUNDING PROTECTION

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STANDING SEAM ROOF	AGED COPPER SHEET
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	LOUVERED VENT	B.M. PALE OAK OC-20
5	MAIN BODY STUCCO	B.M. - PALE OAK OC20
7 & 8	BOARD & BATTEN	B.M. PALE OAK OC-20
12	SHUTTERS	B.M. BLACK 2132-10
14	FASCIA BOARD	D.E. CHARCOAL SMUDGE DE6370
17	ALUMINUM AWNING	AGED COPPER SHEET



LEFT SIDE ELEVATION  
SCALE = 1/4"=1'-0" CLUBHOUSE



REAR ELEVATION  
SCALE = 1/4"=1'-0" CLUBHOUSE

**MOORADIAN & ASSOCIATES**  
4578 N. First Avenue, Suite 140 Tucson, AZ 85718  
T: (520) 408-8117 F: (520) 408-8028

BID SET  
NOT FOR  
CONSTRUCTION

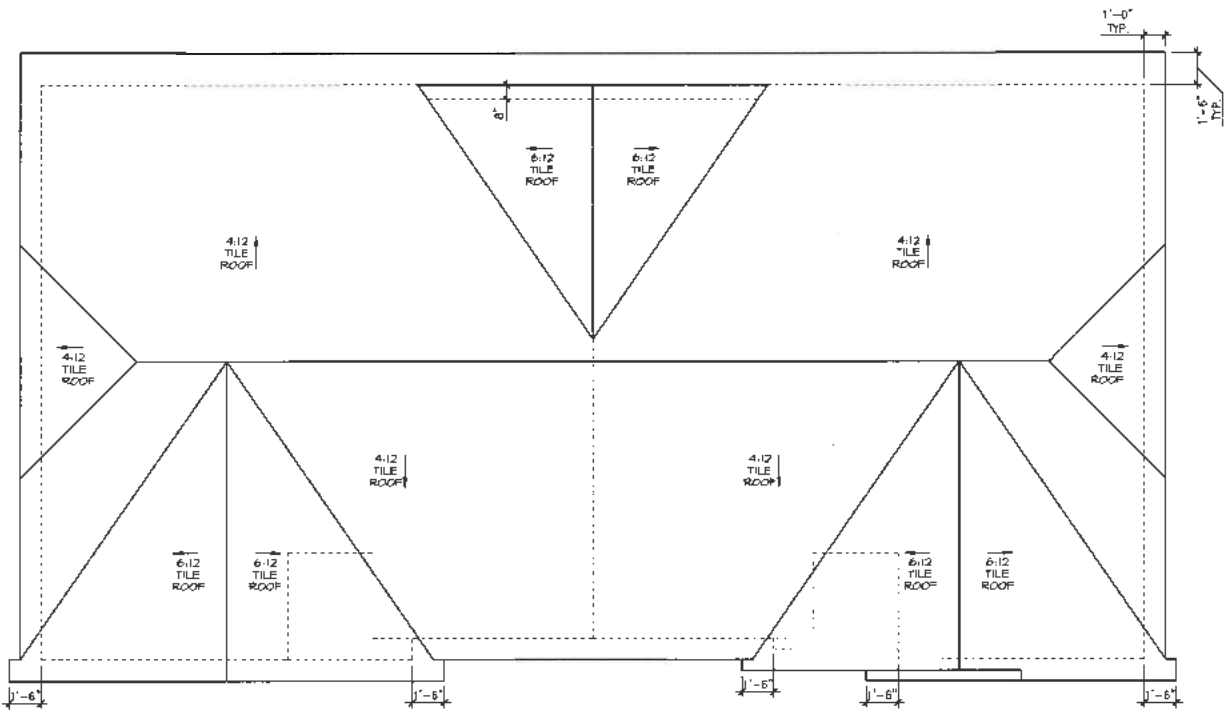
Project: **BUNGALOWS AT COMBS & GANTZEL**  
Queen Creek, Arizona  
Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

PROJECT NO.: 10959a  
CAD FILE: 10959a-EXHIBIT-COLOR  
DRAWN BY: D.C.  
CHECKED BY: D.C.  
SCALE: AS NOTED  
Sheet Title:  
**4-CAR GARAGE WITH STORAGE**

Drawing No.:  
**4GS**  
SHEET OF

Plot date: 8/4/2020 11:56 AM User: archd  
File: c:\users\archd\dropbox (mooradian)\mooradian\Jobs\10959\architectural\drawing\10959a-exhibit-color.dwg



**ROOF PLAN**

SCALE = 1/4"=1'-0"

**FLOOR PLAN NOTES**

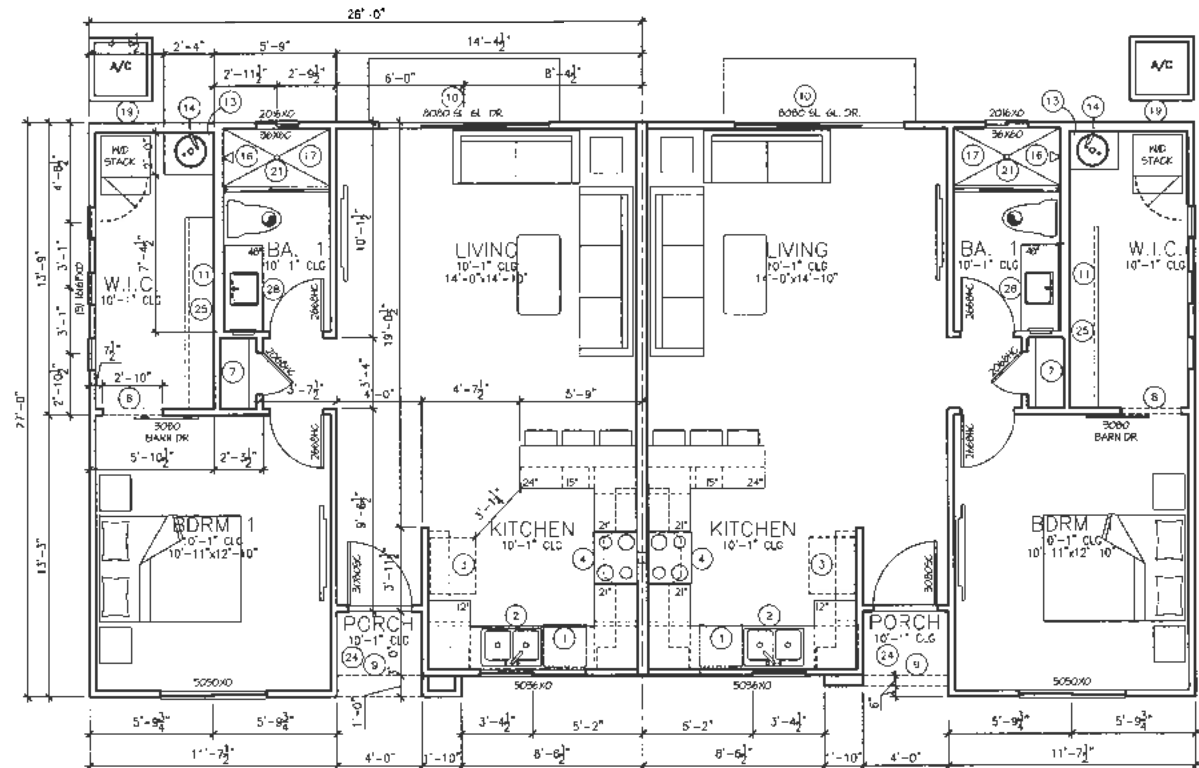
1. ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.D.
2. ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R702.5, 2012 I.R.C. "SEALCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8145) (ASTM E84 CLASS A FLAME SPREAD NO. 25)
3. ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
4. PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
5. APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
6. TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (G.S.B. GYP. BD OR F.O.) AT MAIN ATTIC LINE (301. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
7. ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
8. ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

**AREA CALCULATIONS**

LIVABLE (PER UNIT):	676
FRONT PORCH (LEFT UNIT)	18
FRONT PORCH (RIGHT UNIT)	15
<b>TOTAL FOOTPRINT ("WD UNITS)</b>	<b>1385</b>

**FLOOR PLAN KEYNOTES**

1. DISHWASHER - SEE BUYERS SELECTION SHEET
2. KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
3. STANDARD 36" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
4. COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
5. 8" X 8" RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
6. PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
7. LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
8. DROPPED INTERIOR SOFFIT - 1" DOWN FROM LOWEST ADJACENT CEILING, U.N.D.
9. EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
10. TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
11. 2X6 FINISHED WALL
12. CORNER TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING
13. WATER HEATER SHALL BE INSTALLED ON 8" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT
14. T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
15. MAINLY SCHEDULE LOCATION
16. CEILING, FLOOR BOARD OR GLASS AND OPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +2" A.F.F.
17. FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOW R. FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
18. "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL. VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
19. 2X6 WALL FOR W/CHER BOX AND 14 1/2" X 12" RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
20. CLOSET ROD AND 16" SHELF
21. TEMPERED GLASS SHOWER SURROUND
22. KNEE SPACE BELLOW W/ COUNTER TOP AT +28"
23. 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
24. 1/2" S&G RESISTANT EXTERIOR OPSUM SOFFIT BOARD (ESR #1338)
25. CLOSET RODS/SHELVING PER DETAIL 11.14A.1
26. SLOPE STUCCO SHELTER FOR POSITIVE DRAINAGE, MIN. 1" P.F.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
27. RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN
28. VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
29. LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
30. UPPER CABINETS
31. RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.D.
32. HOSE BIBB WITH BACK-FLOW PREVENTER
33. SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
34. PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 160 OR FRAMING WALLS FROM DOOR BUCK TO SOLID BACKING
35. OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
36. 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY. SEE DETAIL
37. MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT RAIL ROOF ELEVATION
38. HARD SURFACE SEAT AT +28" A.F.F. AND SLOPED TO DRAIN
39. COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
40. OPTIONAL 48" FIREPLACE
41. OPTIONAL TERRY COILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE



**676 SQ. FT. FLOOR PLAN FRONT ENTRY**

SCALE = 1/4"=1'-0"

**1-BDRM DUPLEX**

**MOORADIAN & ASSOCIATES**  
 Project: Bungalows  
 Client: CAVAN COMPANIES  
 4578 N. First Avenue, Suite 140 Tucson, AZ 85718  
 T: (520) 408-8117 F: (520) 408-8028

MARK	DATE	CLIENT DELIVERY	DESCRIPTION

PROJECT NO.: 109000  
 CAD FILE: 108000-676-A101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**1-BEDROOM FLOOR PLAN**  
 Drawing No.:  
**A1.1**  
 SHEET OF

Plot Date: 8/10/2019 8:48 AM User: daniel-mooradian  
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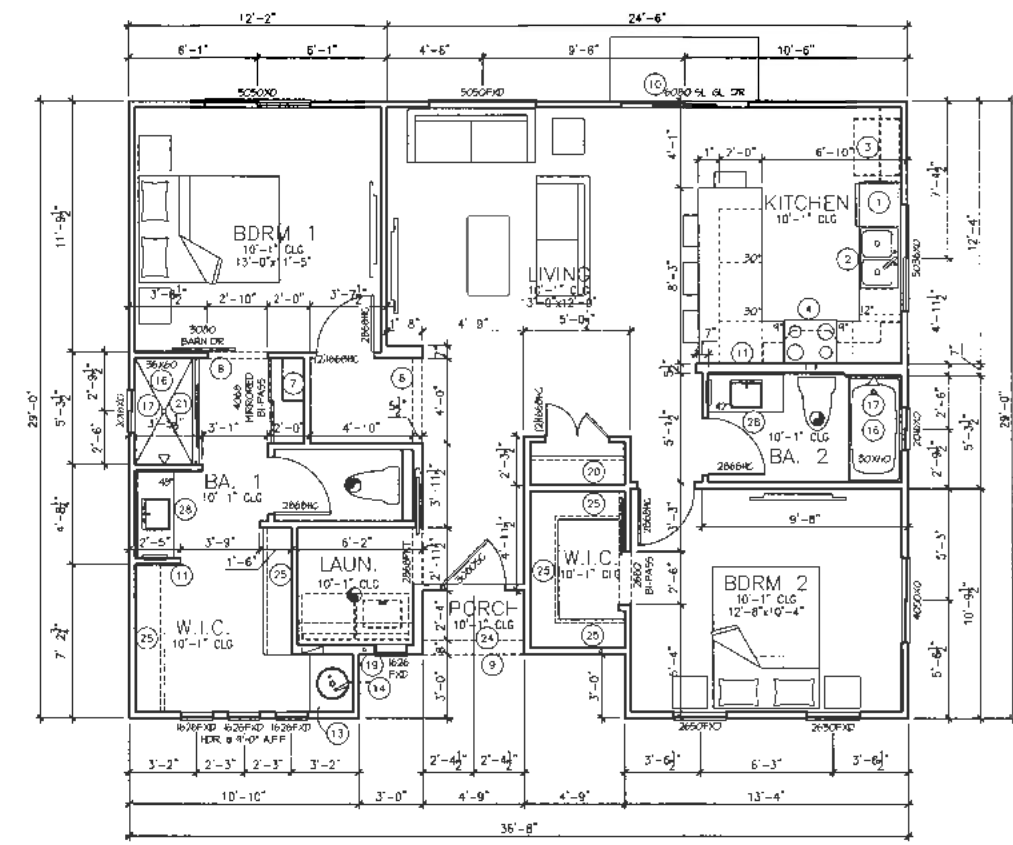
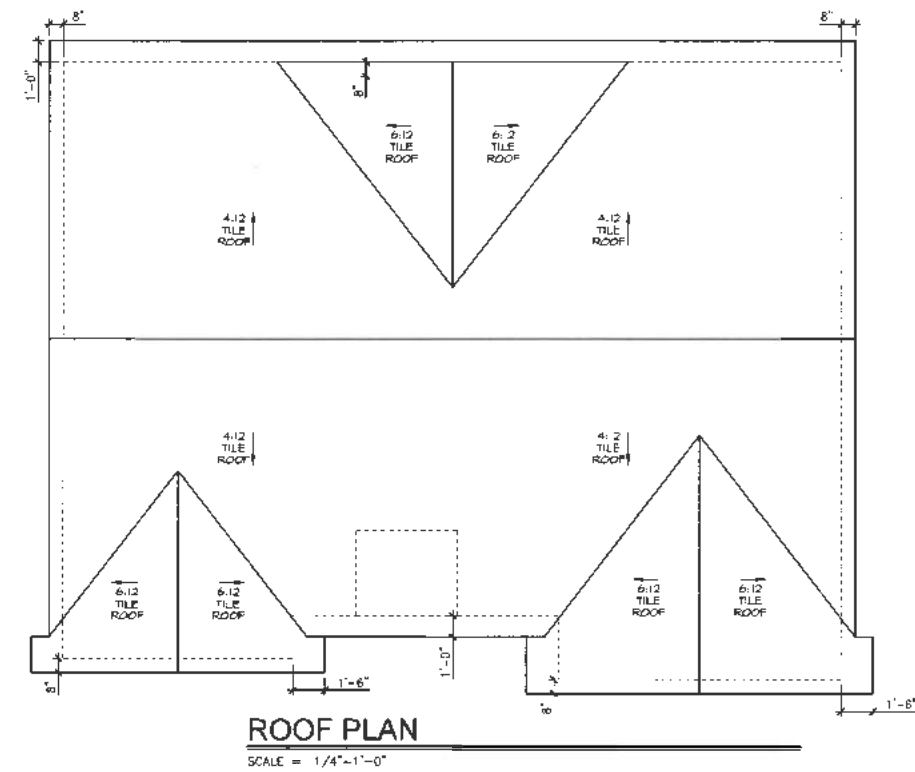
FLOOR PLAN NOTES

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMI-D PR-855" CAULKING OR EQUAL (UL CLASSIFIED B145) (ASTM E84 CLASS A, FLAME SPREAD NO. 25).
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (G.S.B., GYP. HD. OR I.C.) AT MAIN ATTIC LINE (BOV. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
- ALL QUAD PANEL STACKING DOORS (1'-6"-0" OR 2'-0"-0") REQUIRE 8" MIN. WALL.

AREA CALCULATIONS	
LIVABLE	1025
FRONT PORCH	4
TOTAL FOOTPRINT	1029

FLOOR PLAN KEYNOTES

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 36" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICE/MAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
- B.W. X B.H. RECESS @ 48" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND METALL. SHELVING PER BUILDERS SPECIFICATIONS
- LINEY - PROVIDE BLOCKING AND METALL. SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - 9" FLANGES FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GARAGE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT.
- TAP RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. 472" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ASN. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL. VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
- 2X6 WALL FOR WASHER BOX AND 14 1/2" MIN. X 12" RECESS @ 48" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSET ROD AND 18" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT +28"
- 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (CSR #1338)
- CLOSET RODS/SHELVING PER 31 IBC 11/44.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN
- VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6' 4", U.N.O.
- HDSI BIBB WITH BACKFLOW PREVENTER, SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BLOCK. MINIMUM (6) 160 OR FRAMING WALLS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 36" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY. SEE DETAIL
- MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF FINISH
- HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE



**MOORADIAN & ASSOCIATES**  
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Architect: The Contractor shall verify and be responsible for all dimensions. DO NOT scale drawings - any error, omissions or discrepancies must be reported immediately to the Architect. The Contractor shall verify and be responsible for all dimensions. DO NOT scale drawings - any error, omissions or discrepancies must be reported immediately to the Architect. The Contractor shall verify and be responsible for all dimensions. DO NOT scale drawings - any error, omissions or discrepancies must be reported immediately to the Architect.

Project: Bungalows

Client: CAVAN COMPANIES

MARK	DATE	DESCRIPTION
CD	-/-	CLIENT REVIEW

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CAD FILE: 10800A-1012-4101  
DRAWN BY: D.C.  
CHECKED BY: D.C.  
SCALE: AS NOTED

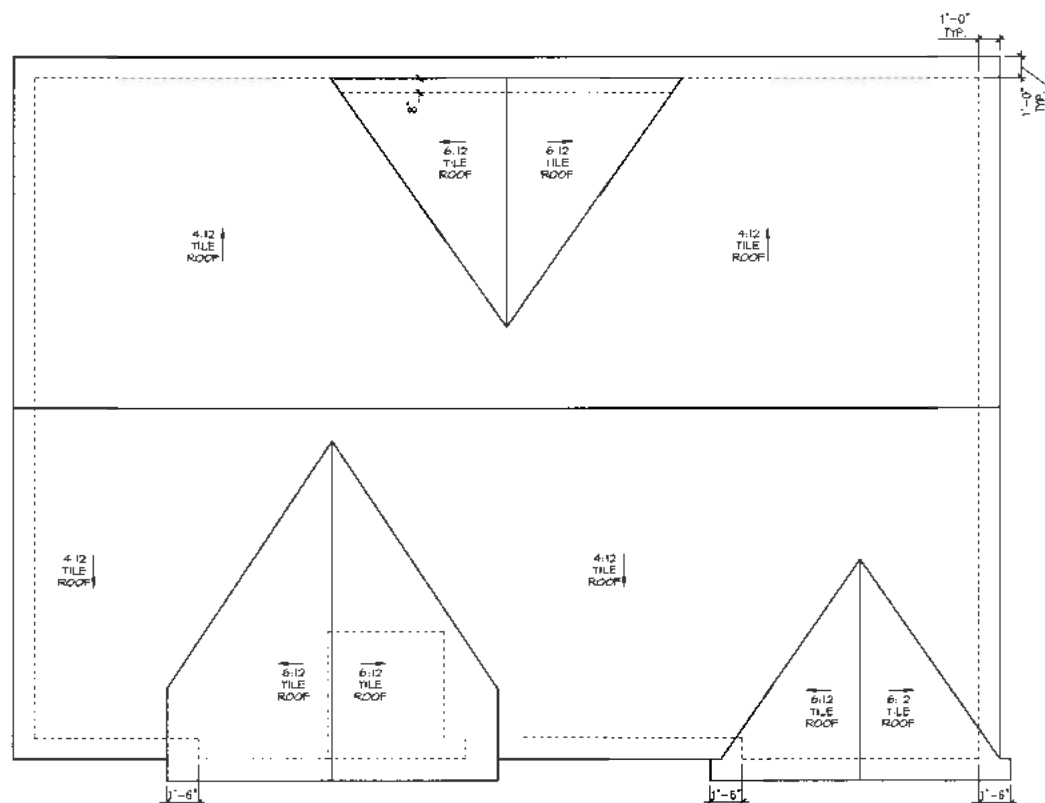
Sheet Title:  
**2-BEDROOM FLOOR PLAN**

Drawing No.:  
**A1.1**

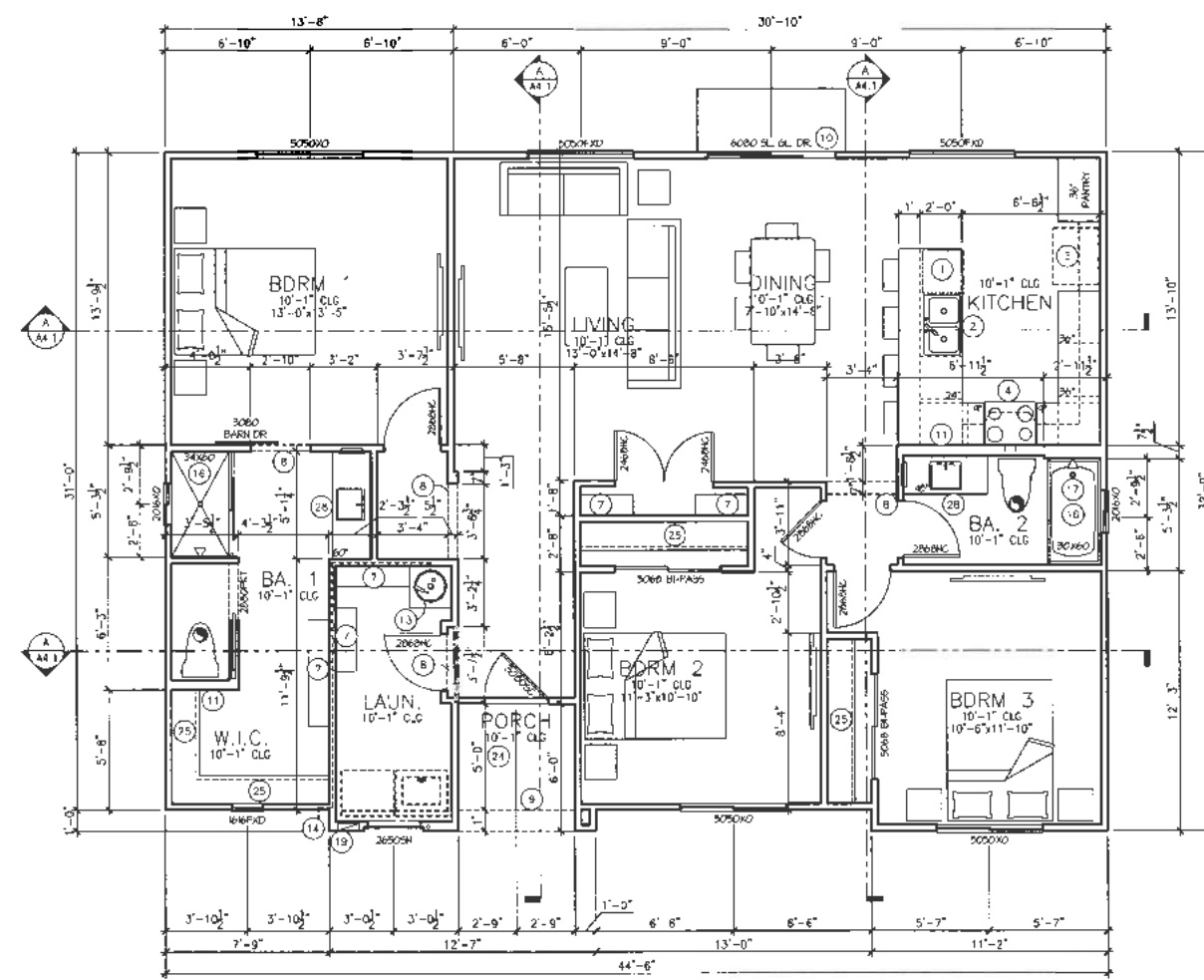
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Scale: 1/4"=1'-0"

Plot date: 9/10/2019 8:49 AM User: daniel-moradian  
 File: s:\projects\moradian\10900\architectural\10900-1355-0101.dwg  
 Layout: 0101



**ROOF PLAN**  
 SCALE = 1/4"=1'-0"



**1355 SQ. FT. FLOOR PLAN**  
 SCALE = 1/4"=1'-0" **3-BDRM SFH**

**FLOOR PLAN NOTES**

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED B145) (ASTM E84 CLASS A, FLAME SPREAD: 40, 25).
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
- ALL QUAD PANEL, STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

AREA CALCULATIONS	
LIVABLE	1369
FRONT PORCH	34
<b>TOTAL FOOTPRINT</b>	<b>1403</b>

**FLOOR PLAN KEYNOTES**

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 36" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED HOX AND GIBB FOR ICEMAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
- B.W. X B.H. RECESS @ 46" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINEY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GARAGE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN FIRE RATED AND SELF-CLOSING AND SELF-LATCHING
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT.
- T&P REJET VALVE AND DRAIN TO EXTERIOR - MIN 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +22" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
- 2X6 WALL FOR WICKER BOX AND 14 1/2" X 12" RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSED ROO AND 16" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT 42"
- 2X KNEE WALL - HEIGHT AS NOTED OR 134 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" S&G RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSED RESS/SHELVING PER 12" MIN. 11" A.F.F.
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE HD-FRND-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN.
- VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4' 4" AND +6'-4", U.N.O
- HOSE BIBB WITH BACKFLOW PREVENTER
- SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK MINIMUM (6) 160 OR FRAMING WALLS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY, SEE DETAIL
- Mechanical unit location on 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
- HARD SURFACE SOFT AT +2" ATTIC AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE, OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE

**MOORADIAN & ASSOCIATES**  
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 T. (520) 408-8117 F. (520) 408-8026

Project: **Bungalows**

Client: **CAVAN COMPANIES**

MARK	DATE	CLIENT DELIVERY	DESCRIPTION

PROJECT NO.: 109000  
 CAD FILE: 10900A-1355-0101  
 DRAWN BY: D.C  
 CHECKED BY: D.C  
 SCALE: AS NOTED

Sheet Title:  
**3-BEDROOM FLOOR PLAN**

Drawing No.:  
**A1.1**  
 SHEET OF

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 Sheet: 01 of 01

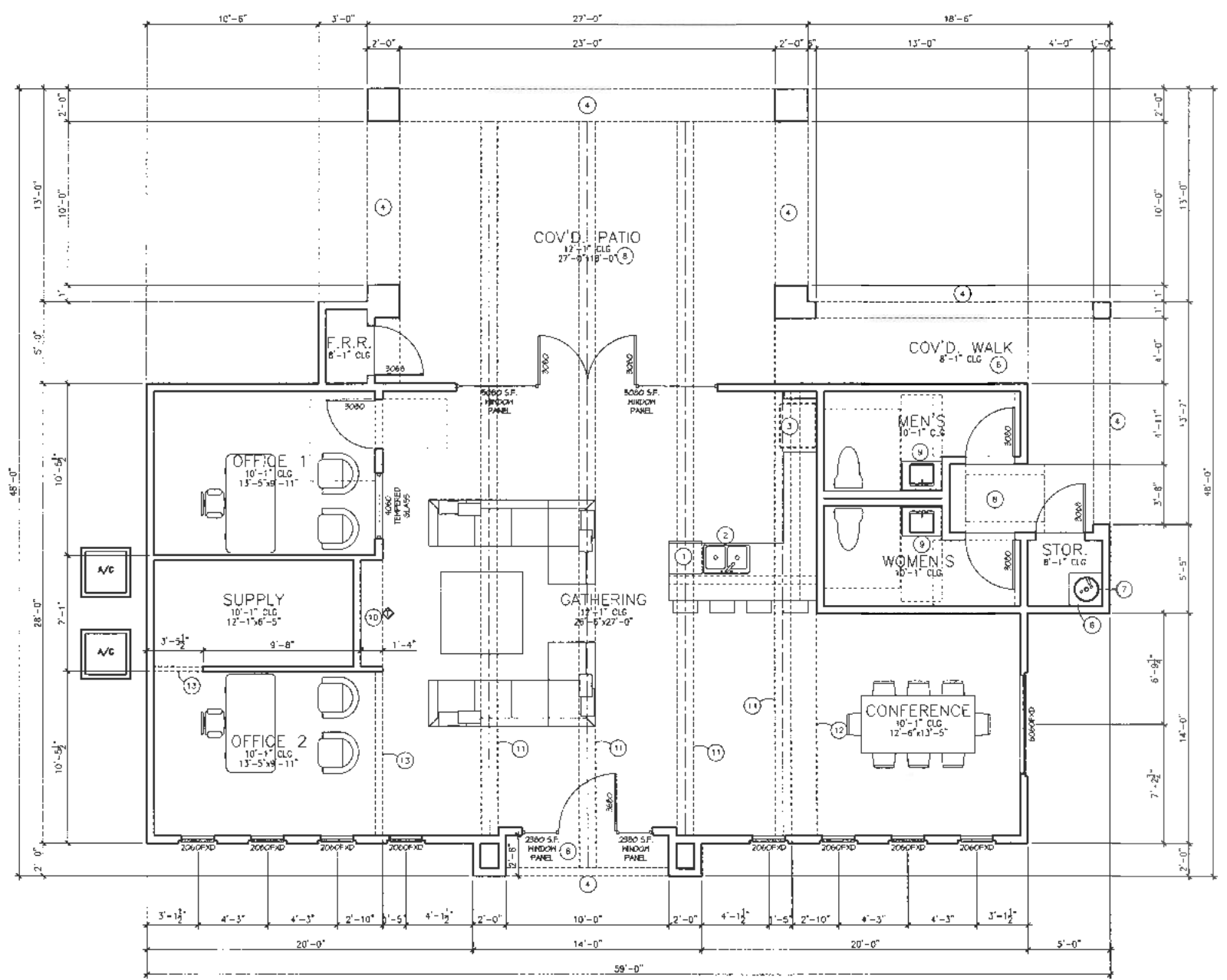
**FLOOR PLAN NOTES**

1. ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", L.N.O.
2. APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
3. TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. 30, OR EG.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), WAKE WALLS, GAPS, ETC.

**FLOOR PLAN KEYNOTES**

1. DISHWASHER - SEE SELECTION SHEET
2. KITCHEN SINK W/ DISPOSAL - SEE SELECTION SHEET
3. STANDARD 36" WIDE REFRIGERATOR OPENING W/ RECESSED BOX AND BBB FOR ICE MAKER
4. EXTERIOR SLOTTED WOOD SOFFIT - SEE ELEVATIONS FOR HEIGHT
5. TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
6. WATER HEADER SHALL BE INSTALLED ON 18" HIGH PLATFORM
7. TOP RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
8. 1/2" SAG RESISTANT EXTERIOR GYPSUM BOARD (ESR #1138)
9. VANITY W/ MIRROR ABOVE - SEE SELECTION SHEET
10. 72" LINEAR GAS FIREPLACE - PROBEALDER 72 OR SIMILAR
11. 12" W X 6" H FALSE BEAMS AT CEILING
12. LINE OF CHANGE OF CEILING HEIGHT
13. INTERIOR SOFFIT AT 108" AFF.

AREA CALCULATIONS	
GATHERING / CONFERENCE	820
OFFICE / SUPPLY	386
RESTROOMS	161
STORAGE	25
FIRE RISER ROOM	15
REAR COVERED PATIO / WALKWAY	161
FRONT COVERED ENTRY	33
<b>TOTAL FOOTPRINT</b>	<b>1720</b>



**FLOOR PLAN**  
 SCALE = 1/4" = 1'-0"  
**JUNIOR CLUBHOUSE**

**MOORADIAN & ASSOCIATES**  
 4578 N. First Avenue, Suite 140 Tucson, AZ 85718  
 T: (520) 408-8117 F: (520) 408-8028

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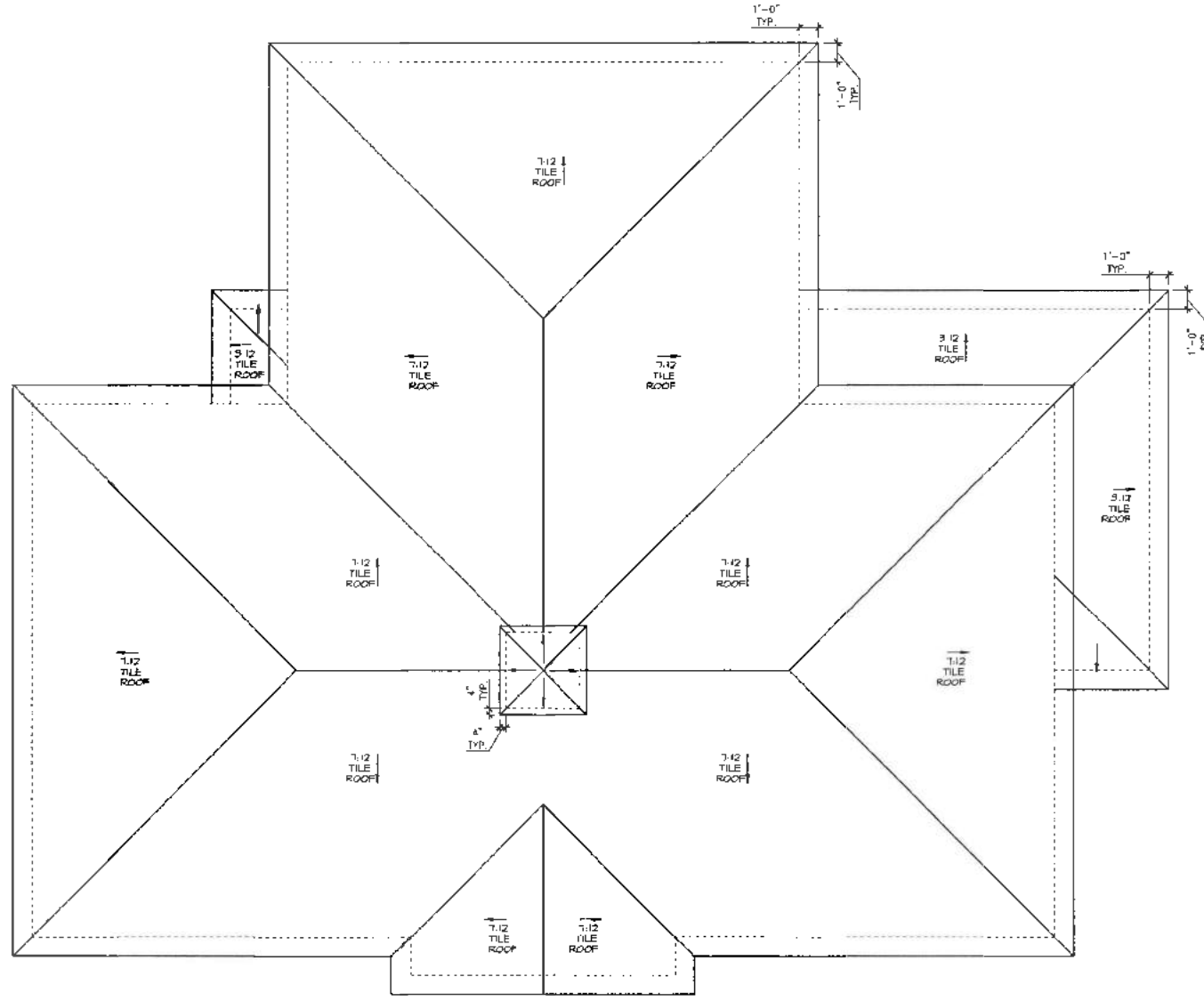
Project: **CLUBHOUSE**  
 Client: **CAVAN COMPANIES**

MARK	DATE	DESCRIPTION
CD	- / - / -	CLIENT DELIVERY

PROJECT NO.: 10900a  
 CAD FILE: 10900a-club-a101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED

Sheet Title:  
**FLOOR PLAN**

Drawing No.:  
**A1.1**  
 SHEET OF



**ROOF PLAN**  
SCALE = 1/4" = 1'-0"

<b>MOORADIAN &amp; ASSOCIATES</b>	
4578 N. First Avenue, Suite 140 Tucson, AZ 85718	
T: (520) 408-8117 F: (520) 408-8028	
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Project:	CLUBHOUSE
Client:	CAVAN COMPANIES
Project No.:	10800a
CAD File:	10800A-CLUB-A/01
Drawn By:	D.C.
Checked By:	D.C.
Scale:	AS NOTED
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Drawing No.:	A3.1
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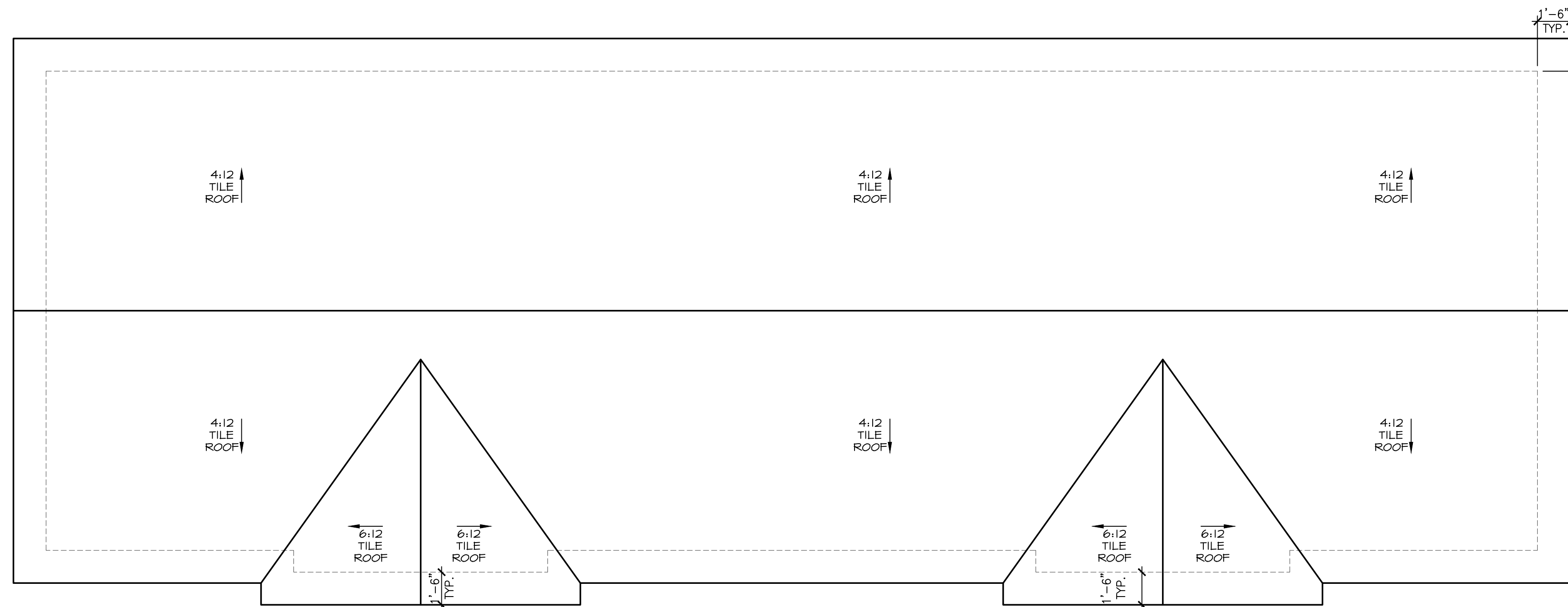
FLOOR PLAN NOTES

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8146) (ASTM E84 CLASS A; FLAME SPREAD NO. 25)
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1.
- ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL.

FLOOR PLAN KEYNOTES

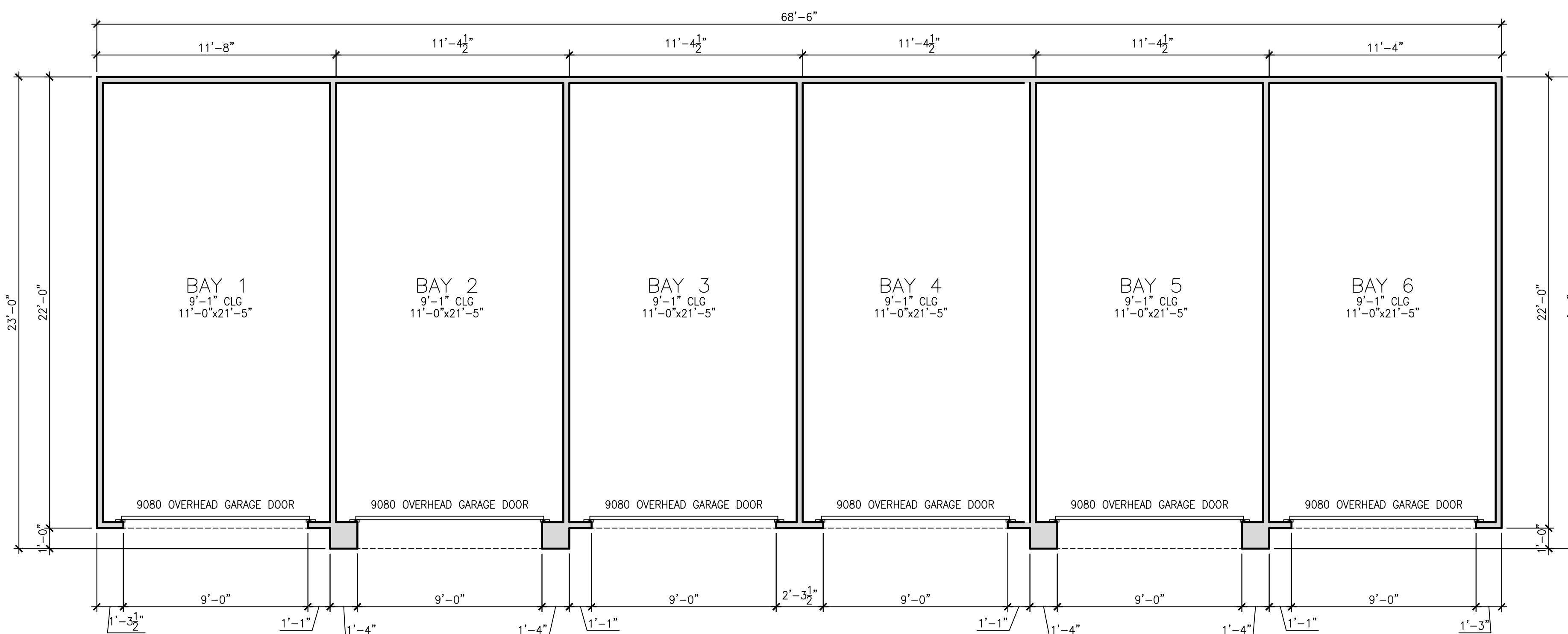
- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 38" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GARAGE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT
- T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +72" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL, VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
- 2X6 WALL FOR WASHER BOX AND 14 1/2"W. X 12"H. RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSET ROD AND 16" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT +28"
- 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSET RODS/SHELVING PER DETAIL 11/A4.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN
- VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.O.
- HOSE BIBB WITH BACKFLOW PREVENTER; SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 16D OR FRAMING NAILS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL REQUIRED AT FLAT ROOF ELEVATION
- MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
- HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE

AREA CALCULATIONS	
GARAGE BAYS (6)	1530
TOTAL FOOTPRINT	1530



ROOF PLAN

SCALE = 1/4"=1'-0"



6-CAR GARAGE FLOOR PLAN

SCALE = 1/4"=1'-0"

SYMMETRICAL ELEVATION

**MOORADIAN & ASSOCIATES**  
 4578 N. First Avenue, Suite 140  
 Tucson, AZ 85718  
 T: (520) 408-8117 F: (520) 408-8028

Notice: The Contractor shall verify and be responsible for all dimensions. DO NOT rely on dimensions shown on drawings. All dimensions shall be based on the specifications are the property of Mooradian & Associates, Inc. Reproduction of this drawing for any other than the project for which they have been prepared is prohibited.

Project: **Bungalows**

Client: **CAVAN COMPANIES**

CD MARK	DATE	CLIENT DELIVERY	DESCRIPTION
- / - / -			

PROJECT NO.: 10900a  
 CAD FILE: 10900a-G4-A101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**6-BAY GARAGE FLOOR PLAN**

Drawing No.:  
**A1.2**  
 SHEET OF

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# **BUNGALOWS AT GANTZEL & COMBS**

## **Phase II**

### Planned Area Development & Site Plan Review Narrative

**Submitted by:**

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**Submitted to:**

**Town of Queen Creek**

22358 South Ellsworth Road  
Queen Creek, Arizona 85242

September 16, 2021

# BUNGALOWS AT GANTZEL & COMBS- Phase II

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## **Attachments**

1. Aerial Parcel Map
2. Existing General Plan Land Use Map
3. Existing and Proposed Zoning Maps
4. Preliminary Site Plan
5. Preliminary Landscape Plans
6. Preliminary Open Space and Pedestrian Circulation Plan

## BUNGALOWS AT GANTZEL & COMBS- Phase II

### **1. REQUEST**

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Pew & Lake, PLC, on behalf of Advanced Acquisitions, LLC (an affiliate of Cavan Companies), is pleased to submit this narrative and related exhibits in support of a Rezoning and Site Plan Review Application for residential development on the approximately 7.28 acres located behind the property located west of the northwest corner of Gantzel Road and Combs Road (“Property”), which is a portion of Pinal County Tax Parcel Number 104-53-0100 in the Town of Queen Creek (“Town”). The request is to rezone from C-2 (General Commercial) to Medium Density Residential with a Planned Area Development Overlay (MDR PAD), and Site Plan Review. The applicant is proposing a high-quality single-family for-rent community at a density of approximately 11.7 dwelling units per acre (du/ac). It is Phase II of The Bungalows, a multi-family development that was approved by the Queen Creek Town Council on December 2, 2020 and that is currently in permitting and development. This second phase will add 85 units and an additional amenity area.

### **3. CONSISTENCY WITH THE GENERAL PLAN**

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The proposed rezoning application meets and exceeds the goals of the Queen Creek General Plan. (See **Attachment B**). As requested, the portion of the development that requires the rezoning request is less than 20 acres, and, therefore, does not trigger a General Plan Amendment.

The Commercial land use General Plan designation characterizes development such as this request that generally accommodates existing suburban shopping centers and serves as an adequate transition to abutting designations such as Rural or Neighborhood. The site is also located within a designated Growth Area. The South Specific Area Plan Growth Area (SSAP) reflects ongoing planning for the continued development of the area and helped to create the Town’s Agritainment area and identified other areas for future housing and commercial development.

The request to rezone to MDR PAD will allow medium density residential development on the site. As specified in the Comprehensive Plan, a residential land use is lower in intensity than traditionally allowed within a Commercial land use designation, which provides for compatibility with the surrounding land uses. To that end, PAD is an appropriate zoning district within the Commercial land use designation to provide for the necessary design features. The proposed residential development, with a PAD overlay, will serve as a buffer from the residents to the north and west, and the future and existing commercial uses to the east of the site. The proposed Planned Area Development (PAD) demonstrates how this Property will be zoned to be in compliance with the General Plan. In addition, it provides development standards consistent with the Town’s General Plan’s Vision of “convenience of the city, comfort of the country” through the following:

#### ➤ **Land Use Element Goals and Strategies**

##### ***Goal 1: Maintain of the Town’s unique community character***

###### **Strategy 1.A**

This rezoning will promote the Town’s history, location, and amenities with development of a unique, attractive, desirable, and economically sustainable community. Agriculture is an integral part of Queen Creek’s heritage and agrarian design concepts will be incorporated into the design of the development. A higher-density single-family residential development is appropriate for this site as it would serve as a buffer between the single-family homes and schools to the west and the commercial uses to the east of the site. Active and passive



## BUNGALOWS AT GANTZEL & COMBS- Phase II

recreational amenities will be incorporated into the development. These features are also supportive of the SSAP, as discussed further below.

### Strategy 1.C

This rezoning and design themes will reflect the Town's historic rural character in its design and appearance, which is also a fundamental aspect of the vision for the SSAP (below). The Town's Design Standards will be implemented, and the agrarian character of the Town will be reflected in the elevations, colors, materials, and overall design of the community.

### ***Goal 4: Promote seamless development between the Town and adjacent jurisdictions***

#### Strategy 4.A

The subject site is located adjacent to Pinal County jurisdiction properties. The site is located partially within a Pinal County Low Intensity Activity Center which allows a mix of uses such as medium to high density residential, office, commercial, and tourism/hospitality uses. The proposal for residential will further not only the goals of the Town's General Plan, but it will further the goals of Pinal County's Comprehensive Plan.

#### ➤ **Housing Element**

This project will provide much-desired higher density residential development while also fulfilling the need for alternative housing options close to employment centers. By providing more housing options, this project will fill an important element for economic development for the Town's existing and future residents

### ***Goal 1: Provide a diverse range of quality housing options for current and future residents***

#### Strategy 1.A

This project will create an attractive, high-quality housing product in an open community setting providing an amenity-rich environment. A hierarchy of open space amenities are available in the form of the community's active open space amenities and pathways in the common areas, in addition to the private backyard spaces available to each housing unit.

#### Strategy 1.C

A comparatively small percentage of Queen Creek developments are renter occupied. The proposed development will provide higher density residential units allowing for a greater mix of housing options. The proposed structures will be designed to replicate single-family living in a large and amenity-rich community that will be maintained by a professional management entity.

#### Strategy 1.E

This proposal will bring one of the first hybrid types of housing products to the Town. This type of product will provide the feel of a single-family home with all the amenities of a luxury multi-family development.

#### ➤ **Growth Areas Element – South Specific Area Plan Growth Area**

The proposed rezoning site is located within the South Specific Area Plan Growth Area and is designated as such to reflect ongoing plans for the continued development of the area. A new, higher density single-family residential development will further support growth and development in the area.

# BUNGALOWS AT GANTZEL & COMBS- Phase II

## ***Goal 1: Plan for and prepare to guide development within growth areas***

### Strategy 1.D

The overall site is located near a main arterial corner and in an area of higher intensity north of the Fry’s Marketplace and Banner Ironwood Medical Hospital, which are south of Combs Road. The proposal furthers the General Plan goal that calls for uses appropriate to commercial centers. This site will have pedestrian paths and open spaces that lead from the community to Combs Road and a secondary access to Gantzel Road, which connects residents to the nearby commercial and employment uses. The site is also located in an area of interest for a future community park and commuter rail. This request and future proposals for higher density single-family and multi-family developments will draw residents who will utilize and benefit from housing options near to these jobs, amenities and services.

## **4. RELATIONSHIP TO SURROUNDING PROPERTIES**

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Historically, the subject site has been used for agricultural purposes and is designated as Commercial on the General Plan. North of the subject site are large lot homes located in the Pinal County jurisdiction zoned Suburban Ranch (SR) and designated as Neighborhood in the Queen Creek General Plan. The site is bordered to the west by the Bungalows Phase 1 development. South and east of the subject site is vacant land zoned C-2, and a commercial site plan pre-application has been recently submitted for that site. Table 1 below summarizes the Property’s and surrounding designations and land uses.

**Table 1 – Adjacent Land Uses**

<b>Direction</b>	<b>General Plan Land Use</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
Property	Commercial	C-2 (Queen Creek)	Vacant
North	Neighborhood	C-3, CR-2 (Pinal County)	Vacant
East	Commercial	C-2 (Queen Creek)	Vacant
South	Commercial	C-2 (Queen Creek)	Vacant
West	Commercial	MDR PAD (Queen Creek)	Developing MDR Phase 1

## **IMPACT ON SURROUNDING PROPERTIES**

This request will have a positive impact on surrounding properties because it will improve the form part of Bungalows Phase 1 and its enhanced frontage along Combs Road and facilitate secondary access to Gantzel Road. It will also create a buffer between existing residential and the future commercial uses, economic support for nearby proposed commercial uses, and will provide housing diversity. Given that the subject is site is located within the South Specific Area Plan Growth Area and the demand for quality housing types such as the proposed product, the single-family for-rent product has a high likelihood for success.

## **5. CIRCULATION**

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The requested Medium Density Residential development will have two (2) vehicular connections that provide access to the site and its internal loop of code-compliant driveways that connect to, and will be consistent with, Bungalows Phase 1.

Primary access to Phase 2 is through Phase 1 to the signalized intersection at Sangria Lane and Combs Road. This access will receive the significant majority of traffic for the project.

## **BUNGALOWS AT GANTZEL & COMBS- Phase II**

A minor secondary access, which is not anticipated to receive considerable traffic, crosses east along the north end of the adjacent future commercial development and out to Gantzel Road. On a temporary basis, this access (asphalt pavement) will be installed during construction of this project – Gantzel and Combs, Phase 2. Then, when the adjacent commercial site is constructed, as a permanent solution, this secondary access will continue to access Gantzel Road across the north side of the commercial site, but also will add access to the north out to Gantzel Road near the Dairy Queen at Pecan Creek Drive at a planned signalized intersection. These two points of secondary access to the east will spread the traffic at those multiple access points, providing for adequate circulation at this minor access. The permanent secondary access to Gantzel Road will be developed in coordination between this applicant and the adjacent owners/developer. Access easements will be provided between the owners to coordinate the phased secondary access.

### **6. DEVELOPMENT PLAN**

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#### ***Site Plan***

As is depicted on the Preliminary Site Plan, careful consideration has gone into planning the proposed development. It has been designed as an attractively, aesthetically landscaped, and appropriate use for the site. Bungalows at Gantzel & Combs Phase 2 will be a gated community that will consist of approximately 85 residences at a density of approximately 11.7 du/ac. The community will consist of a mix of one, two, and three-bedroom units, with an appropriate mix of detached and attached units. Unlike traditional apartment complexes where the units are predominantly Studio, 1 and 2 bedrooms, the applicant is proposing more 2 and 3-bedroom residences. All units will be one-story in height.

The proposed residential community is similar in form to what would be found in a traditional single-family residential subdivision, and the structures are a lower profile than what would be found in a traditional garden style multi-family development (2-and 3-story buildings) or a commercial development with higher intensity uses.

The residences are predominately grouped around pedestrian-oriented courtyards to create a sense of arrival, place, and connectivity within the greater context of the community. All homes and garages will be clustered, thus allowing a reduced building separation that enhances the impact of the courtyard design. Like phase one, every residence includes a private rear yard enclosed by a 6-foot wall, with dimensions that comply with the Zoning Ordinance standards. Small-scale pedestrian courtyards and outdoor seating areas are also provided to create a seamless and smooth transition between public and private portions of the community.

#### ***Landscaping, Amenities and Open Space***

The landscape design will be consistent with phase 1 and Town standards except as modified in this PAD. It will consist of an enhanced palette that is inspired by luxury single-family living. The landscape character seeks to create an ornamental palette with plant material on the Town's recommended plant list and vegetation tempered for the Arizona climate using drought tolerant species. The vibrant plant materials and textures used within the landscape will create a community identity unique to the area, adding a fresh approach to the timeless landscape environments epitomized within Arizona's residential communities. The featured design elements

## BUNGALOWS AT GANTZEL & COMBS- Phase II

create a welcoming and indulgent environment for prospective residents by integrating the character of the architecture at a human scale.

The proposed development has been planned with high-quality, neighborhood-scale amenities, that reflect the development's desire to create an upscale community where residents are able to live, play, relax, and socialize in a comfortable and pleasing environment. It will have access to the community's main pool area and provide another active open space amenity area will enhance the quality of life for residents by providing recreational opportunities and connectivity through the integration of accessible open spaces. The amenities will be provided throughout the development to maintain the character of the community.

Typically, common open space requirements are larger in multi-family developments due to the lack of private open space provided. The Bungalows at Gantzel & Combs development will be providing both common and private open spaces in the community. Looking at the combined Phase 1 and Phase 2 for a holistically designed open space plan, the minimum required open space is 20%, or 5.4 acres, and minimum required active open space is 1.5 acres. The Bungalows at Gantzel & Combs Phases 1-2 development is proposing approximately 35% of common open space (approx. 10 acres). A minimum 1.9 acres is active open space, where 1.5 is required. Additional open space is provided in the proposed backyard enclosures, which reduces the intensity of development in a way that increases compatibility with surrounding properties. The proposed open space data are preliminary in nature and will allow for minor adjustments that may occur during final plans, permitting, and construction stages.

As depicted on the submitted plans, common open space areas will be distributed throughout the site in convenient and accessible locations for residents to use and enjoy. In addition to common open space areas, each unit will have private open space located in the enclosed rear yards for the personal use and enjoyment. The quality and quantity of open space in the community demonstrates an innovative and sophisticated product type.

Pedestrian paths and connections will be provided throughout the site, connecting residents to open space and amenity areas, as well as the adjacent commercial. The pedestrian plan creates a hierarchy of space that flows efficiently from private space to semi-private/public to public spaces within the development. This hierarchy creates richness and depth in the open space plan that distinguishes this hybrid type of single-family product with professionally managed open space amenities in rental communities, according to feedback from residents of similar communities.

As shown on the submitted plans, sidewalks and pathways link the various site uses and center on the shared open space amenities and clubhouse/pool amenity, preserving the private feel at each cluster of homes is preferred for safety, quality, and an enhanced lifestyle this development offers.

Regarding buffering, the project will comply with zoning standards, summarized as follows:

- **West:** The western boundary will be integrated into Phase 1 in a cohesive overall development.
- **North:** A 15-foot common perimeter buffer outside the perimeter wall complies with requirements, after which are minimum 10-foot rear yard enclosures that combined exceed the standards.

## BUNGALOWS AT GANTZEL & COMBS- Phase II

- **East and South:** North: 10 feet of common perimeter landscaping outside the perimeter wall complies with requirements, after which are minimum 10-foot rear yard enclosures, which overall transition to commercial exceeds standards. Later, the commercial development will add 10 more feet on their side of the property boundary.

### ***Architecture***

The Bungalows at Gantzel & Combs development is a single-family for-rent product that lives like a single-family residential home. Architecture will continue the approved plans for Phase 1. These casita-style homes address the needs of modern families. The homes will be built with energy-efficient and sustainable construction technology. The proposed architectural style for the development is a farmhouse and craftsman design style. Careful attention was paid to ensure that the design blended with the architectural style of nearby developments. Unlike typical multi-family projects where there may be one or two design themes, The Bungalows provides three architectural styles for the homes that are genuinely distinct from another, which will present an appropriate amount of variety for this unique hybrid between multi-family and single-family homes.

Architectural design features will include sloped gable and hip roofing patterns that improve upon the flat roofing systems seen in other projects. The elevations will incorporate undulation, wall recesses, and varied wall planes and roof lines appropriate to the scale of the buildings. Elevations will be punctuated with various design materials, such as natural stone, of brick materials, and concrete roof tile. Details, such as corbels, shutters, awnings, trim, and complementary color schemes will add tasteful variety to the project consistent with related developments in the area. Private patios will transition to the outdoor spaces and private backyards for each unit. Window trim and detailing will have unifying elements across the elevations.

The front elevations of the homes will be the most visible as they will front onto the shared pathways and courtyards. The side and rear elevations, and the rear elevations will be screened by the backyard enclosures, which walls will also connect to the rear of the detached garage buildings. Therefore, these elevations will be hidden from view by the solid walls and landscaping. Nevertheless, the architecture has been designed to provide articulation and variation in exterior materials on the various elevations, which are appropriate to the scale of the homes and functionality of the interior design and floorplans.

Interior spaces will include quality design features, such as ten-foot ceilings, larger scale windows, patios that transition to outdoor spaces, and private backyards. As designed, the project will be ideal for a variety of resident lifestyle options, including families, young professionals, pre-retirees and retirees, pet owners, and other who want the benefits of single-family living with resort-style amenities, and without the maintenance responsibilities of home ownership.

Due to the unique design of the Bungalows at Gantzel & Combs community, detached garages and covered parking spaces will be internalized and screened from adjacent roadways. The garage elevations incorporate similar elements from the residence buildings to create a consistent design throughout the community. Parking canopy covers will be consistent with the building colors and will be architecturally integrated with the surrounding structures.

## BUNGALOWS AT GANTZEL & COMBS- Phase II

### **7. ZONING**

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The Town of Queen Creek General Plan serves as a policy guide for orderly growth, land use, transportation, infrastructure, and open space in the Town, while also serving as a basis for the expenditure of municipal funds. Implementation of the General Plan is based on fostering of the overall vision, specific goals, objectives and policies adopted by the community. Zoning of real property is the legal tool frequently used to implement the General Plan vision. While conventional zoning of property is generally reasonable, this type of land use regulation can conversely provide limitations on the ability of a project to creatively promote the goals, objectives and policies of the community.

The requested rezoning will provide for the necessary flexibility need to develop this site and will ensure conformance with the General Plan. The PAD overlay district requires underlying or base zoning districts to establish the framework for use regulations, bulk, and area requirements. The requested base zoning district is Medium Density Residential (MDR) (See **Exhibit 3, Existing and Proposed Zoning Map**).

To successfully and sustainably facilitate the vision for this property, MDR with a PAD overlay is proposed. The proposed zone and PAD overlay foster many of the tenants set forth in the Town of Queen Creek Zoning Ordinance provisions and corresponding Design Standards while still allowing for: creative solutions to address a unique and innovative product type; pedestrian connectivity; greatly enhancing the community experience through a unique and elaborate open space and amenity package; and, allowing carefully crafted site development regulations to protect surrounding properties and future residents.

Included with this request is a corresponding PAD documents that demonstrate how the request could be implemented and how the requested zoning designation is appropriate. The Preliminary Development Plan should not, however, be construed as a concrete Site Design.

The Preliminary Development Plan for Bungalows at Gantzel & Combs illustrates a diligent and concerted effort by property ownership and the development team to integrate appropriate land use transitioning and buffering to ensure compatibility with adjacent planned uses and existing built form; to incorporate a blend of appropriate densities and corresponding land uses that further goals outlined within the General Plan; and, to create a sense of place through quality open space design that will also promote public health and a higher quality of life for the area by providing active and passive recreational opportunities.

#### **7.2 PAD DEVELOPMENT STANDARDS AND REGULATIONS**

Bungalows at Gantzel & Combs shall utilize the MDR zoning category regulations as set forth within Table 4.7-3 and as established as a part of this PAD document as provided within Section 4.7.C.(5).

Inclusion of Development Standards within the Bungalows at Gantzel & Combs PAD Development Plan protects not only the adjacent property owners, but also the future property owners within the boundaries of the PAD. These standards permit greater flexibility in the development of a higher quality living environment, while preserving the public health, safety and welfare of Queen Creek citizens. The standards contained herein pertain to lot areas, setbacks, building height and lot coverage. They also promote an appropriate transition and compatible land use relationships with the adjacent properties.

## BUNGALOWS AT GANTZEL & COMBS- Phase II

The proposed development standards are consistent with those approved for phase 1 with buffers modified to allow appropriate buffers internal to the proposed commercial development. The following table is a comparison of the Commercial lot development standards proposed to those identified as minimum requirements in Queen Creek Zoning Ordinance (QCZO). Modifications which are less than the minimum dimensional standard set forth in the QCZO are indicated in **bold, underlined** typeface.

**Table 2 – Development Standards**

<b>Description</b>	<b>Required QCZO MDR</b>	<b>Provided Bungalows at Gantzel &amp; Combs Ph. 2</b>
Total Common Open Space	20% Min.	20% Min. (35% provided)
Total Active Open Space (% of Total)	30%	30%
Maximum Lot Coverage	60%	30%
Maximum Height	36 ft.	26 feet (single-story)
Minimum Front Yard Setback	10 ft.	10 ft.
Minimum Side Yard Setback	5 ft.	20 ft.
Minimum Rear Yard Setback	10 ft.	20 ft.
Building Separation, § DS.5(C)(1)(a)	15 ft. recommended	<b><u>10 ft.</u></b>
Parking Island Landscaping, § 5.6.A.7.d	1 tree and sufficient shrubs	<b><u>Nearly every island will have 1 tree, 24-inch box size, except where not feasible over underground drainage storage tanks; all islands will have sufficient shrubs per the submitted landscape plan</u></b>

### Justification for Modified Development Standards

#### a. Building Separation

Like Phase 1, proposed is a minimum 10-foot building separation, which is an essential element of the development’s multi-faceted open space plan and its efficient and cohesive design. Parking shade canopies may be closer than 10 feet per building code requirements as they are open accessory structures. This standard is comparable to single family homes with a setback on each side of 5-feet (total 10 ft. separation), which is appropriate to this hybrid type of housing development. Among other things, this modification is justified by the buildings’ smaller scale, reduced impact on the surrounding properties, and the generous open space areas that increase the benefits of light, space and views to and from the Property. Individual buildings will be clustered and oriented toward pedestrian and open space open space pathways, and they will comply with all applicable building code requirements. Between the buildings, sidewalks will be laid out with landscaping, shading, and a pattern of shared common area spaces. Many of the homes will be separated by more than 30 feet. Other instances, a 16 foot separation is provided, which together form a cohesive development plan with benefits that justify the proposed standard.

## **BUNGALOWS AT GANTZEL & COMBS- Phase II**

### **b. Parking Lot Landscaping**

Like Phase 1, proposed are trees in parking islands that are evenly distributed across each driveway direction. In limited situations where underground storage tank facilities are provided underneath the landscape islands to comply with drainage requirements, only the shrub requirement is met for landscaping islands, not the requirement to have 1 tree, as provided on the submitted landscape plan. Landscape experts have looked at the constraints associated with the underground drainage storage tanks, concrete pedestrian paths, and the lifecycle of the drought-tolerant trees in the proposed landscape plan and determined that proposing trees over the underground tanks would not provide for the trees' long-term sustainability. Every effort has been made to provide a tree where they are required and to create a high quality landscape plan. Also, additional trees will be provided along the edge of the parking area in nearby locations to supplement and ensure the total required tree count is met or exceeded.

This proposed standard is supported by the additional trees that are provided near parking spaces in other areas of the site, such as at the courtyards, sidewalk connections, and open space areas and also the fact that the overall tree count for the site exceeds standards. The 15-gallon parking island tree size is required, where proposed are a minimum 24-inch box size. Additionally, the common open space standards, landscaped strips near parking spaces, and private backyards with trees in them, exceed minimum requirements. Given the site layout, the proposed landscaping increases the natural feel and helps break-up the otherwise imposing nature of a single, large parking area, thus meeting the purposes of the Zoning Ordinance.

### **c. Open Space Amenities Exceed Standards**

Like Phase 1, the proposed PAD Development Plan exceeds the open space requirements, which increases the quality of the project and provides for consistency with the low-intensity nature of the surrounding area. The hierarchy of public, semi-private, and private open space creates an enhanced feeling in the project that will contribute to a more livable environment and promote neighborhood stability and quality for the surrounding area more than would a project that does not exceed open space requirements.

### **d. Exceeds other standards**

The modified standards are further justified by the instances where the project exceeds standards, which is the case in terms of the building height, building setbacks, and other requirements. The proposed buildings do not exceed a height of 1-story, which is lower than would typically be expected for a multi-family use. This will promote the enhanced feeling of light and space and a low intensity use, which promotes compatibility with the adjacent properties. Instances where the project exceeds minimum building heights and setbacks will decrease the project's intensity along the perimeter of the project and form part of the justification for the modified standards.

### **e. Necessity, Site Constraints**

The modifications described above are requested because the distinct location and design of the proposed development provide such that strict application of zoning provisions in conventional zoning would not enable the development to offer the quality, cohesive design, open space, and creativity needed to promote a vibrant and sustainable community. The development reponds



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to the market conditions in a manner that conventional zoning does not allow by offering single family living with the lifestyle amenities of a professionally managed community. The Development Plan is designed on a relatively small site behind a commercial development without direct access, visibility, or frontage on any street. These features are unique considerations that impose limitations to development on the site.

### **f. Health, Safety, and Welfare**

As noted above, the proposed standards are necessary to achieve the benefits to the Town's health, safety, and welfare. In sum, the proposed development standards are in the best interest of the Town to:

- Provide land use buffers to properties with differing intensities;
- Integrate connectivity of open space areas into the Development Plan;
- Enable the project to develop high quality housing concepts expected by the market;
- Establish distinctive design concepts and development themes; and
- Foster the desired economic benefits for the Town's Agritainment and specialty commercial uses.

## **8. DESIGN GUIDELINES**

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The community design proposed for the Bungalows at Gantzel & Combs PAD will be consistent with the requirements of the Town of Queen Creek Design Standards and the above-referenced project description. The development will be built in 1 phase.

### ***THEME WALLS & ENTRY MONUMENTATION***

The entry monument design and wall theming elements are intended to create a unique and distinct character for this community. The primary entrances into the project will be located off of the Queen Creek extension described above and will incorporate alternative paving materials. As depicted on the submitted Preliminary Wall Plan, the primary entry monuments combine a variety of materials, walls and vertical elements to create a stately and distinct entry feature.

The perimeter walls have been designed to be complimentary to the entry monument. As illustrated on the submitted Walls and Monuments drawings, a variety of wall types, materials, and wall panel heights have been incorporated into the design of the project's theme walls. This design provides a character and theme for the community that is both consistent with the Town's rural and agrarian history and can be applied to future residential and non-residential areas nearby. The perimeter theme walls create an aesthetically pleasing edge condition for the surrounding neighborhoods.

## **9. PUBLIC UTILITIES AND SERVICES**

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Utilities and services will be provided as follows:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	Southwest Gas
Telecom:	Cox Communications/ Century Link
Police:	Maricopa County Sheriff's Office

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Fire: Town of Queen Creek  
School: J.O. Combs Unified School District

### Water

The water connections will tie into Phase 1 and maintain consistency with that approved plan. Potable water is proposed to be provided by the Town. From information obtained from the Town of Queen Creek Utilities Department, there is an existing 12-inch water line in Combs Road to which the overall Bungalows development connects. The proposed water system improvements will be designed as looped systems and developed in accordance with Town's 2015 Water Master Plan and ADEQ's requirements.

### Wastewater

The waste water connections will tie into Phase 1 and maintain consistency with that approved plan. Sewer service will be provided by the Town's sewer system. From information obtained from the Town of Queen Creek Utilities Department, there is an existing 12-inch sewer main in the Combs Road to which the Bungalows will connect.

### State of Arizona Air & Water Quality Standards

The Project will be designed and constructed in adherence to all relevant State of Arizona air and water quality standards. During project construction, measures will be taken to control any dust generated by activities on the Property and to control any unscreened storm water discharge to adjacent waterways. After the project infrastructure is completed, dust control and storm water management practices will remain in place until all lots within the project have been developed.

## **10. PHASING**

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This application represents Phase 2 of the Bungalows development.

## **11. GRADING AND DRAINAGE**

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The site will be designed in accordance with the current Town of Queen Creek Design Standards and Procedures Manual and connect into Phase 1. Currently the site is being used for agricultural purposes and has no surface improvements on the site aside from farming improvements. The local topography is generally well graded, due to the agricultural land use. According the USGS Quadrangle maps, the site generally slopes to the west.

## **13. AMENDMENTS**

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### Minor Changes

The Town of Queen Creek Development Services Director may allow minor changes to the approved PAD by way for an administrative approval, provided that such changes are not in conflict with the overall intent as expressed in the PAD document. The following items shall be considered as minor changes to the PAD:

- Changes in configuration of individual development parcel boundaries or configurations;
- Modifications or adjustments to roadway alignments;
- Modifications to the location and size of trails and pedestrian pathways;
- Relocation of a park sites, redesign of park amenities;

## **BUNGALOWS AT GANTZEL & COMBS- Phase II**

- Changes to the infrastructure, such as drainage, water and sewer systems which do not have the effect of increasing or decreasing capacity in the PAD, nor change the intent of the PAD;
- Changes or modifications to setbacks of the required development standard in order to accommodate for unique circumstances or specific site constraints, so long as the change does not conflict with Town Building Code or off-street parking requirements as defined in the PAD;
- Any analogous interpretations of the list of permitted, conditional and secondary uses of the property as set forth in the PAD and Town zoning code, as determined by the Development Services Director;
- Increase in residential density up to 35% of maximum units;
- Other changes not identified above, but deemed appropriate by the Development Services Director, as long as the change does not impact the general health, safety, and welfare of the residents of the Town of Queen Creek and does not impact the overall intent of the approved PAD.

### Major Changes

A major change is a change that does not qualify as a minor change as defined above, and that significantly alters the intent of the approved PAD or land use zoning of the approved PAD. Major changes shall comply with the requirements set forth in the Town of Queen Creek Zoning Code and State Statute.

## BUNGALOWS AT GANTZEL & COMBS- Phase II

### 14. PROJECT TEAM

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Owner/Developer:	Advanced Acquisitions, LLC 15300 N. 90 <sup>th</sup> Street, Suite 200 Scottsdale, AZ 85260 Phone: 480-627-7000
Applicant:	Pew & Lake, PLC Attn: Sean Lake, D.J. Stapley 1744 S Val Vista Drive, Suite 217 Mesa, AZ 85207 Phone: 480-461-4670
Engineer:	HilgartWilson, LLC Attn: George Krall 2151 E. Highland Avenue, Suite 250 Phoenix, AZ 85016 Phone: 602-490-0535
Land Planning & Landscape Architect:	RVi Attn: Mark Reddie 120 S. Ash Avenue Tempe, AZ 85281 Phone: 480-586-2349
Architect & Planning:	Mooradian & Associates 4578 N. 1 <sup>st</sup> Avenue, Suite 140 Tucson, AZ 85718 Phone: 520-408-8117

### 15. CONCLUSION

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The Bungalows Phase II PAD demonstrates the following qualifications for approval:

1. The requested PAD and the requested underlying Medium Density Residential (MDR) Zoning District for the Healy Faulkner PAD are in the best interest of the Town and are beneficial to the community in that a more appropriate transition may be provided from the predominantly residential zoning to the west, and the commercial zoning areas of the Town Center to the east;
2. Strict adherence to the requirements of the Zoning Ordinance is not required in order to ensure the health, safety and welfare of the future residents and commercial users of the Bungalows at Gantzel & Combs PAD. The project has been designed to implement design standards and practices which provide for a safe and healthy environment;
3. That the strict adherence to the requirements of the Zoning Ordinance is not required in order to ensure that property values of adjacent properties will not be reduced, but

## **BUNGALOWS AT GANTZEL & COMBS- Phase II**

enhanced with the improvement of surrounding properties and by providing a guiding document by which the projects quality and design will be developed; and

4. That the proposed Development Plan is consistent with the goals, objectives, and strategies of the Queen Creek General Plan as described within Section 3 of this narrative.

The Bungalows at Gantzel & Combs PAD is designed with the entire Town in mind and takes into account the surrounding development, circulation, economics, and future vision of Queen Creek living.

**Neighborhood Meeting Summary**  
**Phase 2 – Bungalows at Gantzel & Combs**  
**North and West of NWC of Gantzel Rd. and Combs Rd.**

August 16, 2021 at 6:00 pm

Queen Creek Community Chambers  
20727 E. Civic Parkway  
Queen Creek, AZ 85142

The neighborhood meeting began at 6:00 pm. No citizens attended the meeting. Sean Lake and D.J. Stapley from Pew & Lake, PLC were present for the applicant and remained until approximately 6:25.