



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

**FROM: Erik Swanson, Planning Administrator
Steven Ester, Planner II**

RE: Public Hearing and Possible Action on P21-0121 and P21-0122 Rittenhouse Commons 1 PAD Rezone and Preliminary Plat, a request for a PAD rezone from R1-43 to Medium Density Residential (MDR)/PAD and Preliminary Plat approval for an 81 lot single-family residential development on approximately 10 acres, located at the northwest corner of Germann and Rittenhouse roads.

DATE: November 10, 2021

STAFF RECOMMENDATION

Staff recommends approval of P21-0121 and P21-0122 Rittenhouse Commons 1 PAD Rezone and Preliminary Plat, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to recommend approval of P21-0121 and P21-0122 Rittenhouse Commons 1 PAD Rezone and Preliminary Plat, subject to the Conditions of Approval included in this report.

RELEVANT COUNCIL GOAL(S)



Secure Future

SUMMARY

The proposal consists of a request for a PAD rezone from R1-43 to Medium Density Residential (MDR)/PAD and Preliminary Plat approval for an 81 lot single-family residential development on approximately 10 acres, located at the northwest corner of Germann and Rittenhouse roads.

HISTORY

May 31, 1990: The Town annexed the property from Maricopa County and applied the equivalent zoning district R1-43 (1 du/ac).

PROJECT INFORMATION

Project Name	Rittenhouse Commons 1 PAD Rezone and Preliminary Plat
Site Location	NWC of Germann and Rittenhouse roads
General Plan Designation	Neighborhood (0-20 du/ac)
Current Zoning	R1-43 (Rural Estate District)
Proposed Zoning	MDR/PAD (Medium Density Residential)
Surrounding Zoning Designations:	
North	Rittenhouse Road R1-43 (Rural Estate District) – Ben Franklin Charter School GI (General Industrial) – City of Mesa
South	Germann Road PRC (Parks, Recreation, and Conservation) - Cortina MDR/PAD (Medium Density Residential) – Cortina C-1/PAD (Light Commercial) – Ben Franklin Meetinghouse
East	Rittenhouse Road R1-43 (Rural Estate District) – Vacant Land
West	R1-43 (Rural Estate District) – Ben Franklin Charter School
Gross Acreage	12.47 acres
Net Acreage	10 acres
Total Lots/Units	81 lots
Minimum Lot Size	2,100 SF
Proposed Density	6.5 du/acre (gross) 8.1 du/acre (net)
Open Space	Required: 20% - 87,130 SF (2 acres) Provided: 31% - 136,948 SF (3.14 acres)
Parking	Required: 162 parking spaces (2 on-lot per home) Provided: 222 parking spaces (2 on-lot per home with 60 additional on-street guest spaces)

DISCUSSION

Rittenhouse Commons 1 is a single-family detached, gated residential community with 81 lots and a net density of 8.1 units per acre. Unlike traditional single-family lots, these cluster-style homes share a common 20' wide driveway that provides both vehicular and pedestrian access directly along and into the homes. This type of design reduces the length of the driveways and certain building setbacks to help to create the space and layout needed to allow for the

clustered orientation. The request for the MDR zoning category is needed for the proposed density, along with a PAD Overlay to grant three (3) deviations from the Zoning Ordinance standards related to setbacks and landscape buffering.

For context, the project site is adjacent to the existing Ben Franklin Charter School at its western side. It is bound by Germann Road to the south and Rittenhouse Road to the east. As a result, gated access to the site is proposed via two (2) points off of Rittenhouse and Germann roads. The Rittenhouse Road entrance will be limited to right-in, right-out turning movements, due to the existing median in the roadway. Similarly at the Germann Road access point, vehicles will also be restricted to right-in, right-out turns only, with a decel lane provided along the frontage to pull residents out of the main flow of traffic coming from the nearby intersection. Both access points incorporate an enhanced sense of arrival through the use of decorative paving and tree-lined landscaping into the entryway in accordance with the Zoning Ordinance. Interior circulation functions as a simple loop street with extensions to the entrances at Rittenhouse and Germann roads. Because the project is gated, interior streets are private and designed to meet the Town's local street standard of 33' wide from the back of each curb. This is an important consideration, as the provided street width allows for additional on-street parking for residents and guests. Each home is required to provide a minimum of two (2) parking spaces through the incorporation of a minimum 20' x 20' garage, which will be ensured as part of a future Residential Design Review for the housing product itself. Notably, an additional 60 on-street parking spaces are gained as a product of the road being wide enough to accommodate them.

Landscaping and Open Space

As depicted on the landscape plan, the required 30' arterial landscape buffers are provided at the site's edges that span along the street frontages with a contiguous blend of red push pistache, acacia, and fantex ash trees for a coordinated street tree theme. At the west side of the property, a 10' landscape buffer with a 4' wide walking trail is proposed external to the perimeter theme wall to soften its appearance with a similar palette of tree species and to activate the open space. While the Zoning Ordinance requires 15' at the west edge to complete the proportional share of 30' between single-family residential and commercial uses, the applicant has requested the 10' buffer as a deviation with justification as detailed in a later section of this staff report. Internally, there are street trees along the main loop road to create a neighborhood feel. The applicant has indicated that there will be opportunity to introduce landscaping in some areas in front of the homes themselves, but that it would be better evaluated at the time of the product review to ensure there is adequate spacing and orientation in relation to the building footprints. Overall, a total of 31% (3.14 acres) open space is provided, where 20% (2 acres) minimum is required. Of the total open space standard, 38% (0.78 acres) is considered active, where 30% (0.6 acres) minimum is required. Much of the active open space is derived primarily from the various amenity features including a tot lot, activity lawn, ramada and picnic areas, and the DG trail along the western perimeter.

For site walls, a six-feet, decorative theme wall with three (3) different materials is provided around the majority of the perimeter of the development in accordance with the Zoning

Ordinance requirements, in addition to view fencing that is used near the gated entrances. Decorative steel columns and wall undulations are placed every 150' or less within the runs of the site theme wall to not only ensure compliance with the applicable spacing standards, but to create a tailored edge for the project in the spirit of its design theme.

Design Standards

With this project falling under the single-family residential categorization, the developer will be required to submit a Residential Design Review in the future to ensure the product meets all of the requirements accordingly, including the provisions for 2-car garages, covered rear patio space, and four-sided architecture. However, since this type of development is not heavily prevalent in Town, Staff requested the applicant to provide conceptual elevations of the homes at this time to generally illustrate what the plans will look like, in an effort to show their uniqueness when compared to more traditional single-family and multi-family communities. It should be understood the elevations are for reference only, and will be reviewed more in-depth and formally via the separate Residential Design Review application.

Proposed Zoning Ordinance Deviation

Three (3) deviations to the Zoning Ordinance are requested by the applicant. There are two (2) related to the front and rear building setbacks defined for the MDR zoning category, and one (1) involving the landscape buffer on the west side of the site. The table below serves to codify the proposed setback reductions. The applicant has also provided justification behind each deviation:

MDR Zoning	Code	Proposed
Maximum Lot Coverage:	60% ¹	60% ¹
Maximum Height:	36-feet	36-feet
<u>Minimum Yards</u>		
Front	10-feet	<u>2-feet²</u>
Side	5-feet	5-feet
Rear	10-feet	<u>8-feet</u>

Notes:

1 – Calculated for the overall development site.

2 – For alley access homes. Street fronting end units are a minimum of 20-feet from the street.

1) Reduce the required front setback from ten (10) feet to two (2) feet.

Applicant Justification: The reasons for the setback deviations are that the MDR standards were in anticipation of a more traditional street front facing product, where you have a traditional front and rear yard. In that scenario, it is preferential to provide a clear separation between the public space (street and sidewalk) and the private home space. This intent is still met with our product, as the street facing homes have a front setback of at least 20 feet, which double the

minimum required per the MDR is zoning. It is only the middle and rear lots of the cluster packs where the front yard deviation is needed. An exhibit is included to conceptualize the areas needing relief.

2) Reduce the required rear setback from ten (10) feet to eight (8) feet.

Applicant Justification: Similarly to the last response, the request to reduce the rear setback by 2 feet is a function of the product, which is not traditional but allows a higher density while minimizing the number of driveways, eliminating standalone garages, and ultimately enhancing the look and feel of the streetscape. These benefits are considered to positively impact the quality of the development, and as such, should be granted given the flexibility of a PAD to promote unique designs.

3) Reduce the required landscape buffer along the western edge from fifteen (15) feet to ten (10) feet.

Applicant Justification: The third deviation is in regard to Table 5.3-1 of the Town Zoning Ordinance, which requires a 30 feet landscape setback between a single-family land use (the proposal) and a commercial land use (the existing Ben Franklin Charter School) that is adjacent along the west boundary of the site. The Zoning Ordinance requires each land use to provide a proportional share of 15 feet to ensure both properties meet the overall 30 feet landscape buffer standard. Currently, the charter school has approximately 20 to 30 feet of existing separation on their side of the property line. This supports the reduction of the landscape buffer on the proposed project's side as requested.

A ten (10) feet landscape buffer along the shared boundary will result in a 30 to 40 feet buffer between the uses, thereby meeting the intent of the Zoning Ordinance. Additionally, the western wall spanning the buffer will be located internal to the landscaping along the lot lines to avoid an alley situation with duel walls. This not only contributes to the aesthetic of a clean, unencumbered wall, but increases the level of safety otherwise lost in an alley scenario.

Staff Analysis: Given the style of product blends certain elements from both single-family and multi-family residential developments while still offering a for-sale type community, there is a justified basis for the PAD and its deviations. The hybrid style of this single-family subdivision is designed heavily with regards to its spatial efficiency and overall layout. The request uses the flexibility offered by a PAD Overlay to enhance the overall quality and meet the findings of fact. It should be reiterated that this development, although proposed to be zoned as MDR, is considered single-family residential. In comparison to some of the more recent MDR rezones that have been processed with the Town, this project differs largely because it not made of typical, for-rent multi-family units, and it will be platted to allow for individual ownership. Staff supports the requested deviations as a part of the PAD.

PUBLIC PARTICIPATION

The applicant held a neighborhood meeting on September 9, 2021 at the Town's Community Chambers, in accordance with the notification requirements set by the Zoning Ordinance. Aside from Staff and the applicant, there was one (1) resident in attendance who voiced concern over the traffic that would be added to the area, particularly for the safety of students who cross Germann Road to get to the Ben Franklin LDS Meetinghouse south of the project site during school hours. He also inquired if the Town was still in process of installing a HAWK signal or enhanced crossing to mitigate the issue alternatively.

The applicant agreed to look into any plans the Town had for the signal mentioned and contact the resident subsequently. Following the applicant's response to the resident's question and feedback, the meeting was concluded. Staff has not received any calls or letters regarding the proposal at this time. If any future correspondence is received, the case record will be updated for conveyance.

ANALYSIS

General Plan Review: The current 2018 General Plan designation for this property is Neighborhood, which allows for various types of neighborhood-scaled developments including residential uses between 1-20 du/ac. As such, the proposed MDR/PAD zoning is consistent with the Neighborhood designation on the General Plan.

Zoning Review: The property is currently zoned R1-43 (Rural Estate District). This proposed site is in conformance with the single-family residential standards in the Zoning Ordinance and Design Standards. As discussed above, three (3) deviations are proposed to reduce the required front and rear building setbacks from ten (10) feet to two (2) feet and ten (10) feet to eight (8) feet, respectively. The final deviation is to reduce the required landscape buffer along the western edge from fifteen (15) feet to ten (10) feet. Based on the justification and discussion provided by the applicant, Staff is supportive of the proposed deviations.

In general, the MDR zoning category is intended to allow a mix of residential unit types and densities to provide a balance of housing opportunities, while maintaining neighborhood compatibility. By allowing a density range from 6-14 du/ac, there is an adequate spectrum of flexibility for both single-family and multi-family product types, while also maintaining a clear distinction from typical, higher density apartment developments. This project can be seen as an example of the housing variability that can be designed with regards to the MDR category. As part of the technical review of any MDR proposal, the surrounding context is considered in comparison to the project to ensure its scale and transition is appropriate for the area as a whole. The proposed net density of 8.1 du/ac falls within the allowed range of the MDR zoning category, while also aligning the zoning itself with the goals and theme of the General Plan.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Engineering, Utilities, and Traffic Review: The Engineering, Traffic, and Utilities Divisions have been involved throughout the review of the request. Conditions of Approval have been added accordingly for any applicable items.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the zoning ordinance applicable to this case, except as modified herein.
2. This project shall be developed in accordance with the following modifications to the underlying MDR zoning district requirements:

MDR Zoning	Code	Proposed
Maximum Lot Coverage:	60% ¹	60% ¹
Maximum Height:	36-feet	36-feet
<u>Minimum Yards</u>		
Front	10-feet	<u>2-feet²</u>
Side	5-feet	5-feet
Rear	10-feet	<u>8-feet</u>

Notes:

1 – Calculated for the overall development site.

2 – For alley access homes. Street fronting end units are a minimum of 20-feet from the street.

3. The required landscape buffer along the western edge of the site is hereby reduced from fifteen (15) feet to ten (10) feet, as designated by the PAD.
4. A fair disclosure agreement and/or covenant should be provided to lessee’s or buyers stating the following: “This property, due to its proximity to Phoenix-Mesa Gateway Airport, will experience aircraft overflights, which are expected to generate noise levels that may be of concern to some individuals. The mix of aviation activities and types of aircraft expected to be located and operate at the Airport now and in the future include: scheduled and unscheduled commercial charters, commercial air carriers, and commercial air cargo operations, all of which are expected to use large commercial aircraft. General aviation activity includes using corporate and executive jets, helicopters, and propeller aircraft. Aviation flight training school includes using training aircraft. Military activity includes using high performance military jets. The size of aircraft and frequency of use of such aircraft may change over time depending on market and technology changes.” Any public reports filed with the Arizona Department of Real Estate shall include the previously referenced disclosure statement.

5. For offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or a bond to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount shall be determined by an engineer's estimate during the Construction Document review phase. Construction assurance shall be deposited with the Town prior any permits being issued.
6. No public sewer or water lines shall be allowed in any alleyways or driveways.
7. A 12" water line shall be installed along Rittenhouse Road to tie into the existing 12" water line in Germann Road to the northwest corner of the property.
8. The developer and/or builder must obtain a Certificate of Assured Water Supply (CAWS) prior to any Final Plat approval.
9. In conjunction with obtaining a CAWS, the development will also need to be enrolled as a member in the Central Arizona Groundwater Replenishment District ("CAGRDR") program with ADWR.

ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Exhibit
4. Proposed Zoning Exhibit
5. Preliminary Plat
6. Typical Cluster Exhibit
7. Landscape Plan
8. Wall Plan
9. Conceptual Renderings and Elevations
10. Project Narrative
11. Neighborhood Meeting Summary

Project Name: Rittenhouse Commons 1 Aerial Exhibit

Case Numbers: P21-0121 & P21-0122

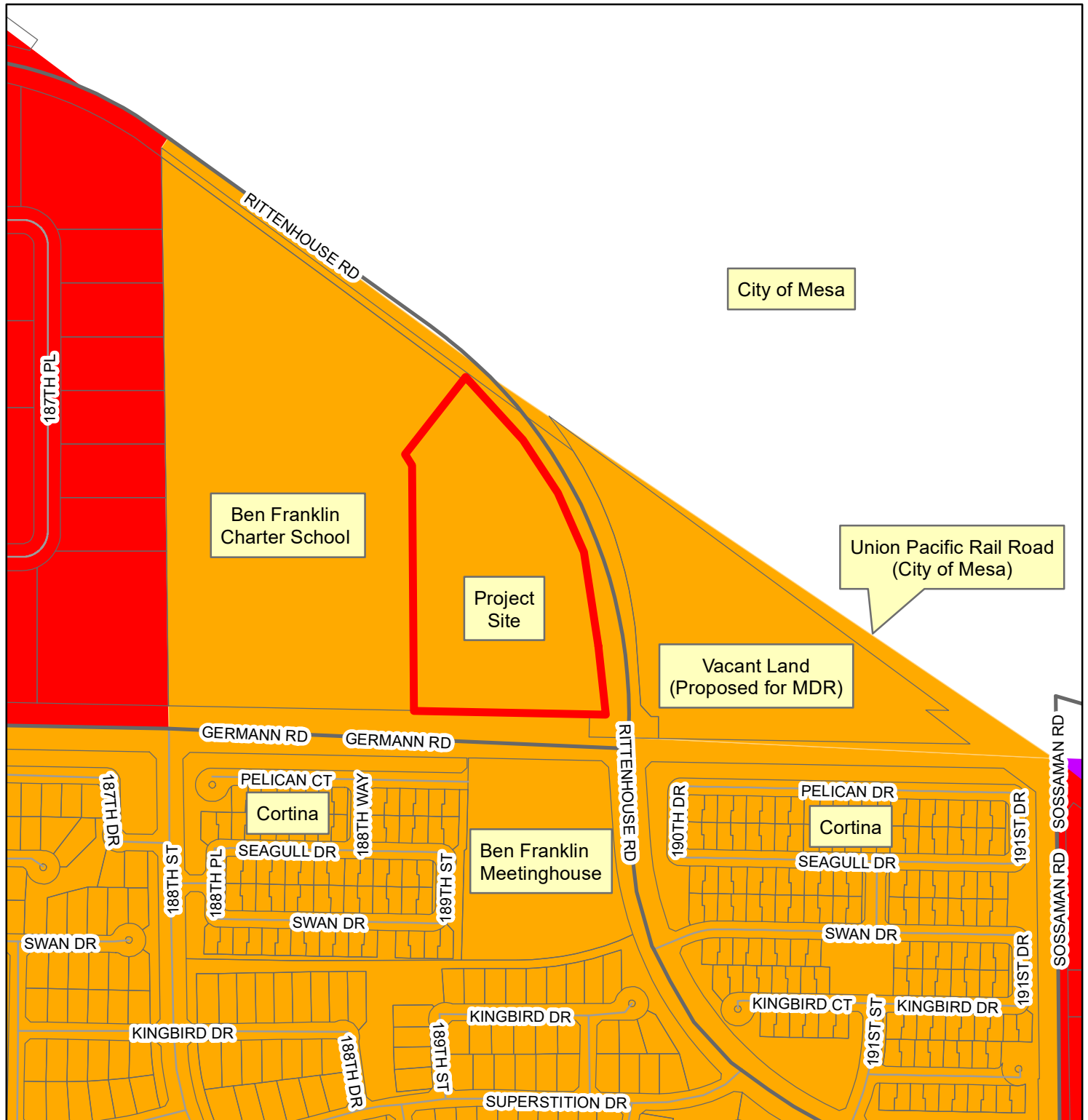
**Hearing Date: November 10, 2021 (Planning Commission)
December 1, 2021 (Town Council)**



Project Name: Rittenhouse Commons 1 General Plan Exhibit

Case Number: P21-0121 & P21-0122

Hearing Date: November 10, 2021 (Planning Commission)
December 1, 2021 (Town Council)



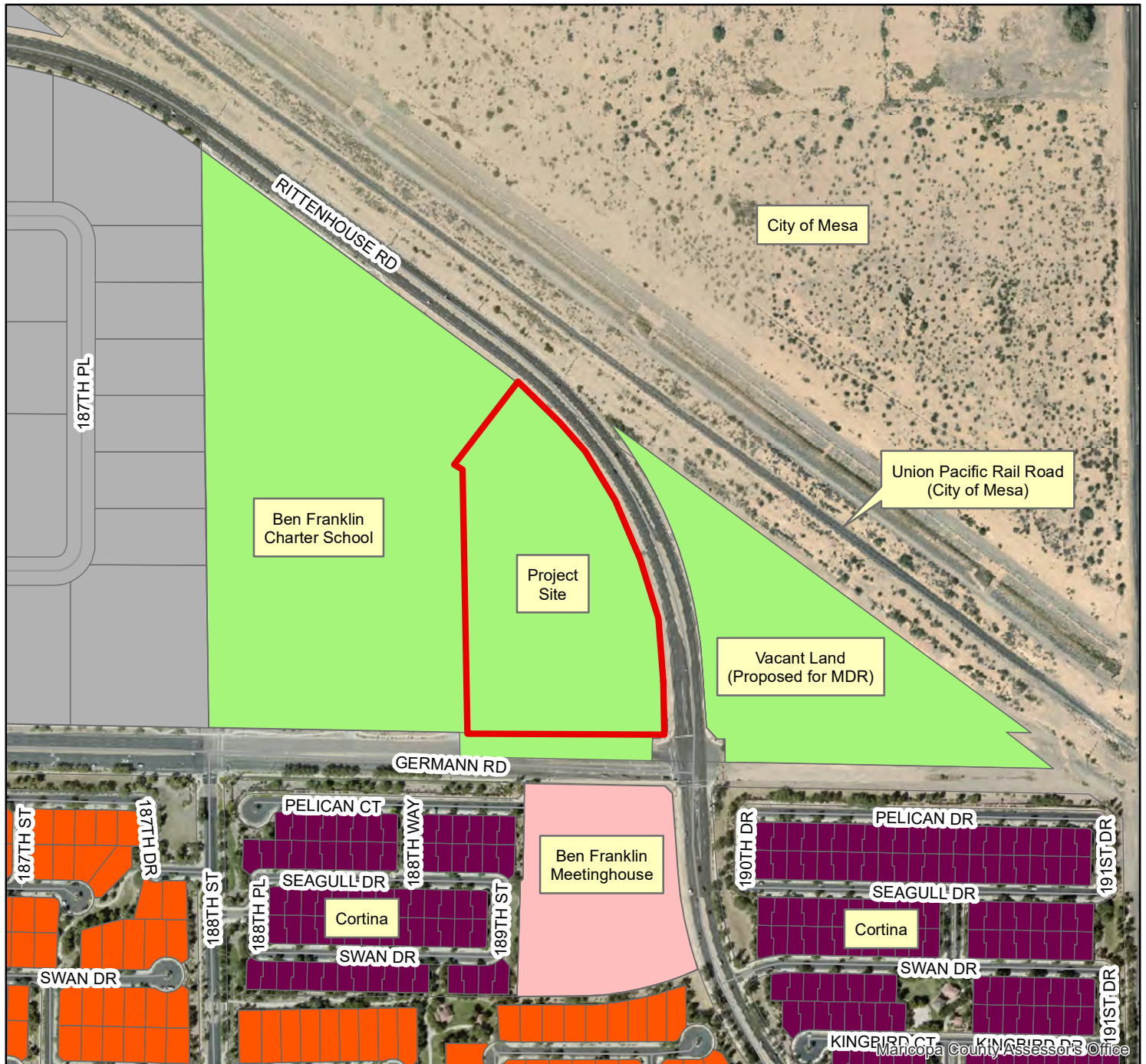
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |


























Project Name: Rittenhouse Commons 1 Current Zoning Exhibit

Case Number: P21-0121 & P21-0122

Hearing Date: November 10, 2021 (Planning Commission)
December 1, 2021 (Town Council)



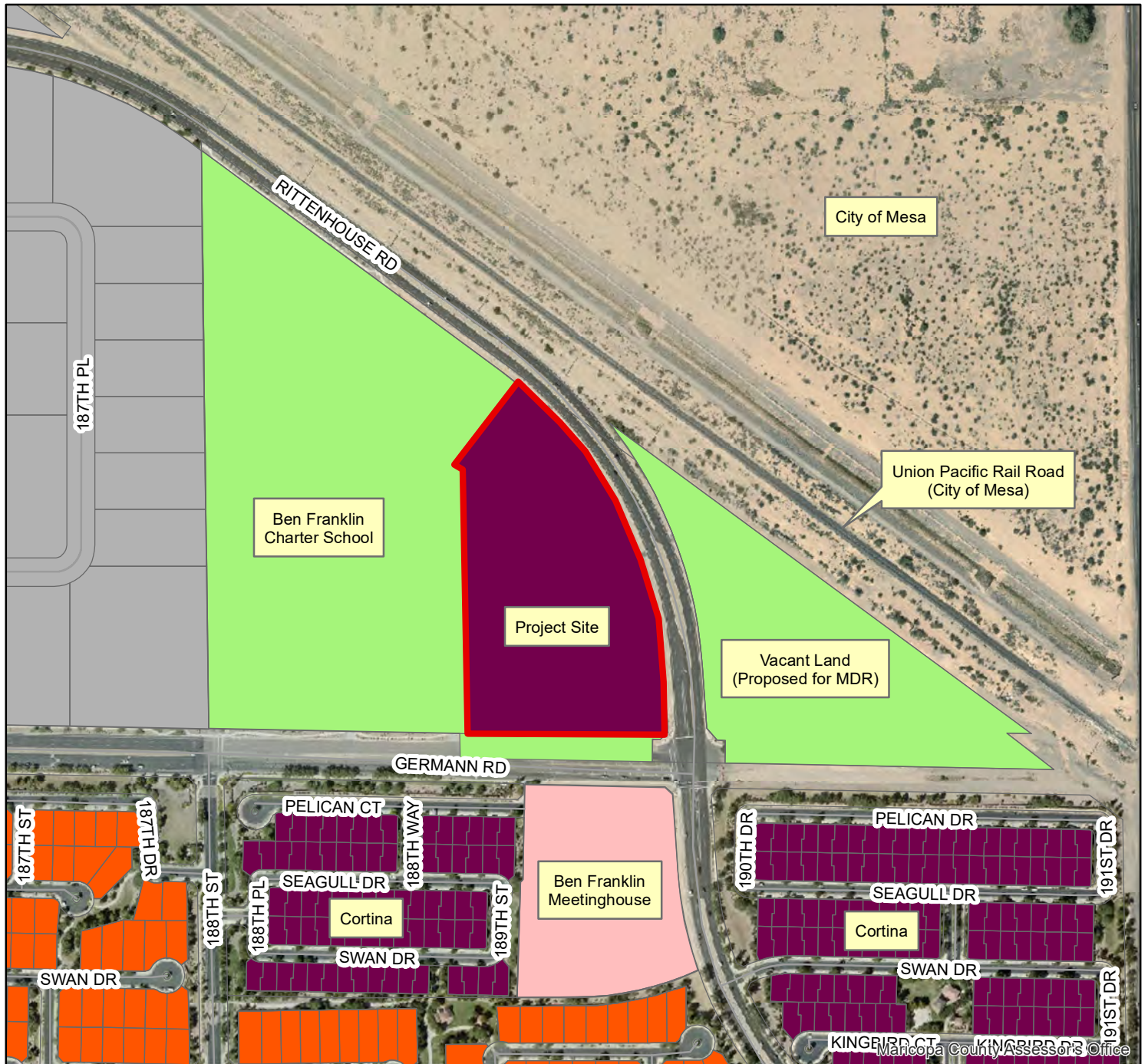
Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use


























Project Name: Rittenhouse Commons 1 Proposed Zoning Exhibit

Case Number: P21-0121 & P21-0122

Hearing Date: November 10, 2021 (Planning Commission)
December 1, 2021 (Town Council)



Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use

PRELIMINARY PLAT FOR RITTENHOUSE & GERMANN

A PORTION OF THE SOUTHEAST QUARTER
SECTION 6, TOWNSHIP 2 SOUTH, RANGE 7 EAST,
OF THE GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA

LOT TABLE			
PARCEL NAME	SQUARE FEET	PARCEL NAME	SQUARE FEET
LOT# 1	2100.00	LOT# 42	2751.38
LOT# 2	2100.00	LOT# 43	2751.39
LOT# 3	2751.99	LOT# 44	2100.00
LOT# 4	2751.99	LOT# 45	2100.00
LOT# 5	2100.00	LOT# 46	2100.00
LOT# 6	2100.00	LOT# 47	2100.00
LOT# 7	2100.00	LOT# 48	2754.27
LOT# 8	2750.00	LOT# 49	3104.43
LOT# 9	2750.00	LOT# 50	2267.93
LOT# 10	2100.00	LOT# 51	2155.98
LOT# 11	2100.00	LOT# 52	2155.46
LOT# 12	2100.00	LOT# 53	2267.41
LOT# 13	2751.99	LOT# 54	3124.13
LOT# 14	2751.99	LOT# 55	3102.92
LOT# 15	2100.00	LOT# 56	2267.05
LOT# 16	2100.00	LOT# 57	2155.43
LOT# 17	2100.00	LOT# 58	2155.81
LOT# 18	2100.00	LOT# 59	2267.44
LOT# 19	2751.99	LOT# 60	3103.39
LOT# 20	2751.99	LOT# 61	3103.41
LOT# 21	2100.00	LOT# 62	2267.45
LOT# 22	2100.00	LOT# 63	2155.82
LOT# 23	2100.00	LOT# 64	2155.82
LOT# 24	2100.00	LOT# 65	2267.45
LOT# 25	2751.99	LOT# 66	3103.41
LOT# 26	2751.99	LOT# 67	3103.42
LOT# 27	2100.00	LOT# 68	2267.45
LOT# 28	2100.00	LOT# 69	2155.82
LOT# 29	2100.00	LOT# 70	2155.82
LOT# 30	2100.00	LOT# 71	2267.45
LOT# 31	2751.99	LOT# 72	3103.41
LOT# 32	2751.99	LOT# 73	2925.06
LOT# 33	2100.00	LOT# 74	2182.95
LOT# 34	2100.00	LOT# 75	2127.65
LOT# 35	2663.42	LOT# 76	2127.65
LOT# 36	2973.85	LOT# 77	2182.95
LOT# 37	2751.38	LOT# 78	2925.06
LOT# 38	2100.00	LOT# 79	2750.00
LOT# 39	2100.00	LOT# 80	2100.00
LOT# 40	2100.00	LOT# 81	2100.00
LOT# 41	2100.00		

TRACT TABLE		
TRACT NAME	ACRES	USE
TRACT DW-A	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-B	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-C	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-D	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-E	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-F	0.07	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-G	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-H	0.08	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-I	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-J	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-K	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-L	0.06	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-M	0.07	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT DW-N	0.04	COMMON AREA, PUE, LOT ACCESS, AND SEWER
TRACT A	1.26	PUBLIC WATER AND PUBLIC SEWER, DRAINAGE, UTILITIES, LOT ACCESS
TRACT B	0.91	DRAINAGE, OPEN SPACE, UTILITIES AND AMENITIES
TRACT C	0.04	OPEN SPACE, AND UTILITIES
TRACT D	0.04	OPEN SPACE, AND UTILITIES
TRACT E	0.04	OPEN SPACE, AND UTILITIES
TRACT F	0.04	OPEN SPACE, AND UTILITIES
TRACT G	0.07	OPEN SPACE, AND UTILITIES
TRACT H	0.04	OPEN SPACE, AND UTILITIES
TRACT I	1.17	DRAINAGE, OPEN SPACE, AND UTILITIES
TRACT J	0.13	DRAINAGE, OPEN SPACE, AND UTILITIES
TRACT K	0.04	OPEN SPACE, AND UTILITIES
TRACT L	0.04	OPEN SPACE, AND UTILITIES
TRACT M	0.04	OPEN SPACE, AND UTILITIES
TRACT N	0.05	OPEN SPACE, AND UTILITIES
TRACT O	0.77	DRAINAGE, OPEN SPACE, UTILITIES AND AMENITIES
TOTAL	5.54	

DEVELOPMENT STANDARDS	
MDR PAD ZONING	PROPOSED
MINIMUM LOT COVERAGE	60%
MAXIMUM HEIGHT	36 - FEET
FRONT SETBACK MINIMUM	2 - FEET
SIDE SETBACK MINIMUM	5 - FEET
REAR SETBACK MINIMUM	8 - FEET

OWNER
ARCUS CAPITAL
4915 E. BASELINE ROAD, #150
GILBERT, ARIZONA 85234
CONTACT: DENNY BARNEY
PHONE: (480) 305-7070

PLANNER
IPAN CONSULTING
3317 S. HIGLEY ROAD, #114-622
GILBERT, ARIZONA 85212
CONTACT: GREG DAVIS
PHONE: (480) 227-9850
GREG@IPANCONSULTING.COM

ENGINEER
ATWELL
4700 E. SOUTHERN AVE.
MESA, ARIZONA 85208
CONTACT: MICHAEL J. PARK, PE
PHONE: (480) 218-8831
MIKEPARK@ATWELL-GROUP.COM

SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1
DETAIL SHEET	2

BASIS OF BEARING
BASIS OF BEARING IS ALONG THE SOUTH LINE OF THE SOUTHEAST OF SECTION 6, T.2S., R.7E. BEING S88°53'42"E WITH A DISTANCE OF 2637.78 FEET.

BENCHMARK
MONUMENT IN HANDHOLE LOCATED AT THE INTERSECTION OF GERMANN RD. AND 188TH STREET. GDACS ELEVATION IS 1344.04

LEGAL DESCRIPTION
THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 6 (ALUMINIUM CAP) FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION 6 (BRASS CAP IN HANDHOLE) BEARS SOUTH 88 DEGREES 53 MINUTES 42 SECONDS EAST A DISTANCE OF 2637.78 FEET;
THENCE NORTH 00 DEGREES 43 MINUTES 40 SECONDS WEST ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 70.04 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GERMANN ROAD AS SHOWN IN BOOK 1154 OF MAPS, PAGE 43 AND IN BOOK 1198 OF MAPS, PAGE 19, RECORDS OF SAID COUNTY;
THENCE SOUTH 88 DEGREES 53 MINUTES 42 SECONDS EAST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 730.45 FEET TO THE TRUE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 43 MINUTES 41 SECONDS WEST A DISTANCE OF 738.22 FEET;
THENCE NORTH 53 DEGREES 37 MINUTES 36 SECONDS WEST ALONG SAID EAST LINE A DISTANCE OF 27.34 FEET;
THENCE NORTH 36 DEGREES 22 MINUTES 06 SECONDS EAST A DISTANCE OF 292.50 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF RITTENHOUSE ROAD PER DOCUMENT NO. 2010-039175;

(THE FOLLOWING THREE CALLS RUN ALONG SAID SOUTH RIGHT-OF-WAY LINE)
THENCE ALONG AN ARC 931.92 FEET TO THE RIGHT, HAVING A RADIUS OF 1145.00 FEET, THE CHORD OF WHICH IS SOUTH 27 DEGREES 12 MINUTES 03 SECONDS EAST FOR A DISTANCE OF 906.41 FEET;
THENCE SOUTH 03 DEGREES 53 MINUTES 16 SECONDS EAST A DISTANCE OF 181.31 FEET;
THENCE SOUTH 48 DEGREES 09 MINUTES 41 SECONDS WEST A DISTANCE OF 20.25 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF GERMANN ROAD AS SHOWN IN BOOK 1198 OF MAPS, PAGE 19, RECORDS OF SAID COUNTY;
THENCE NORTH 88 DEGREES 53 MINUTES 42 SECONDS WEST ALONG SAID NORTH RIGHT-OF-WAY LINE A DISTANCE OF 553.65 FEET TO THE POINT OF BEGINNING.

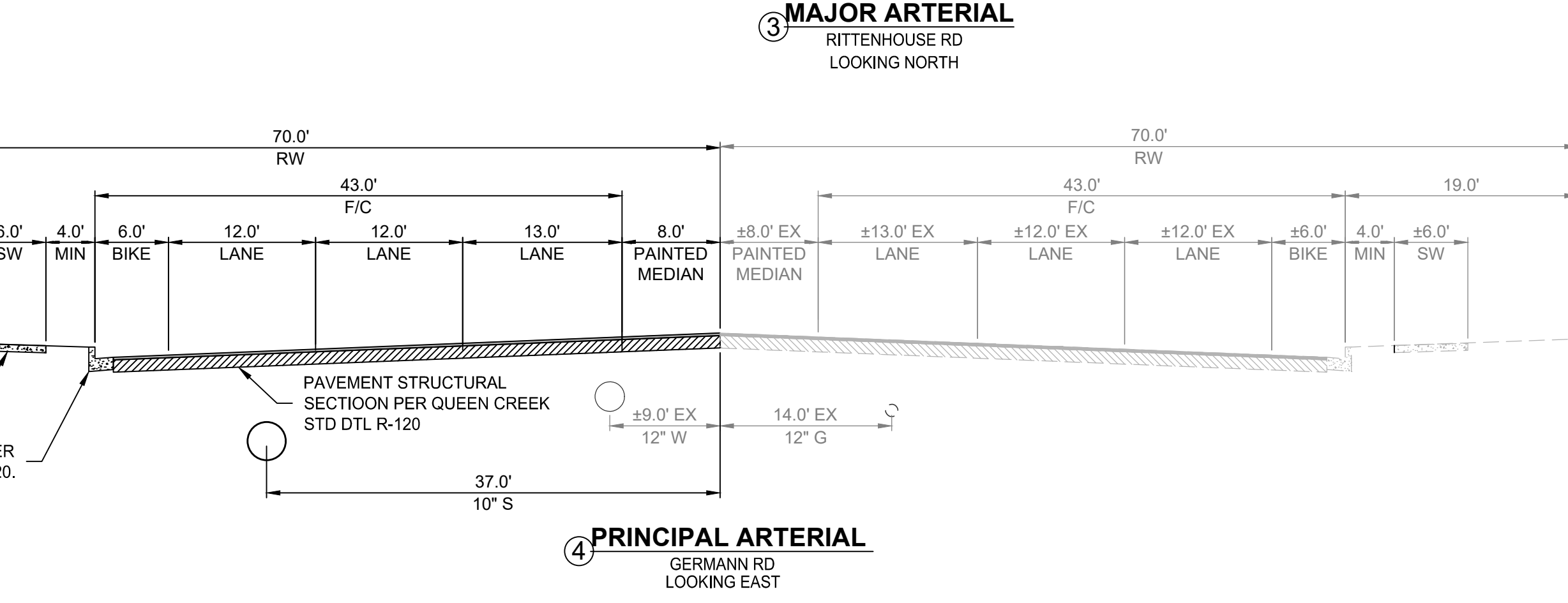
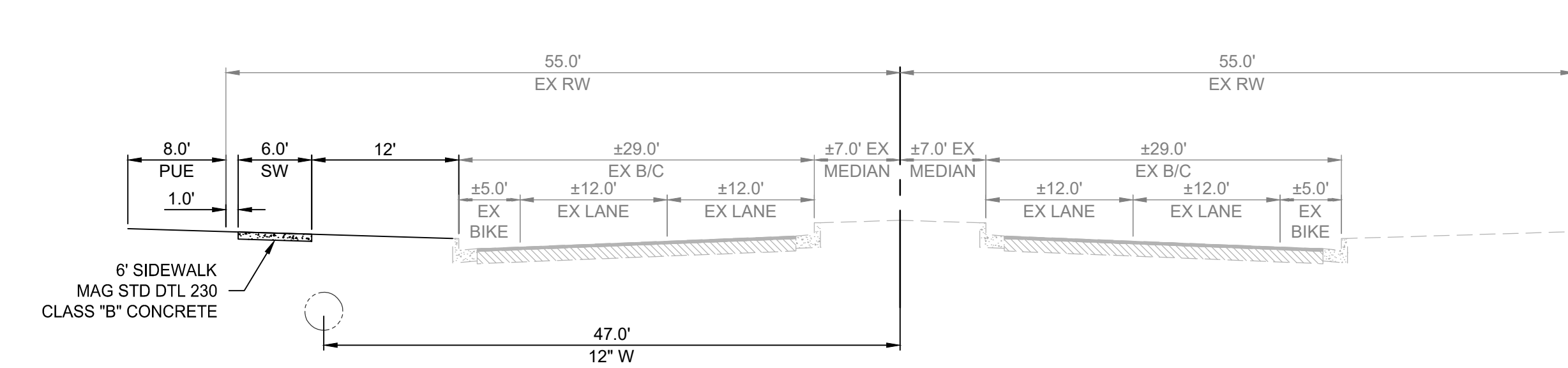
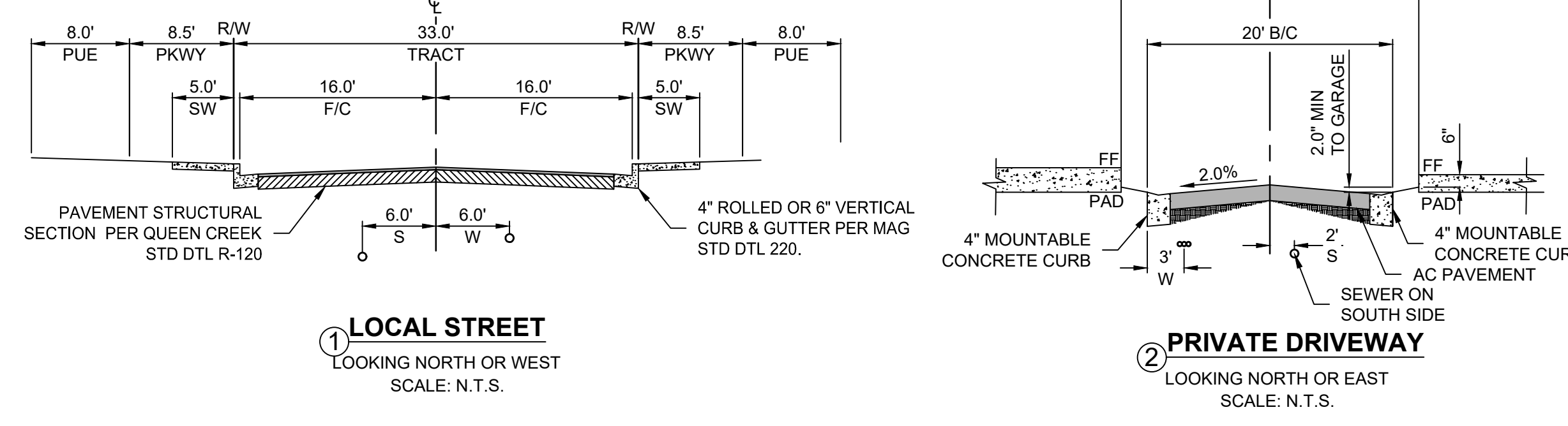
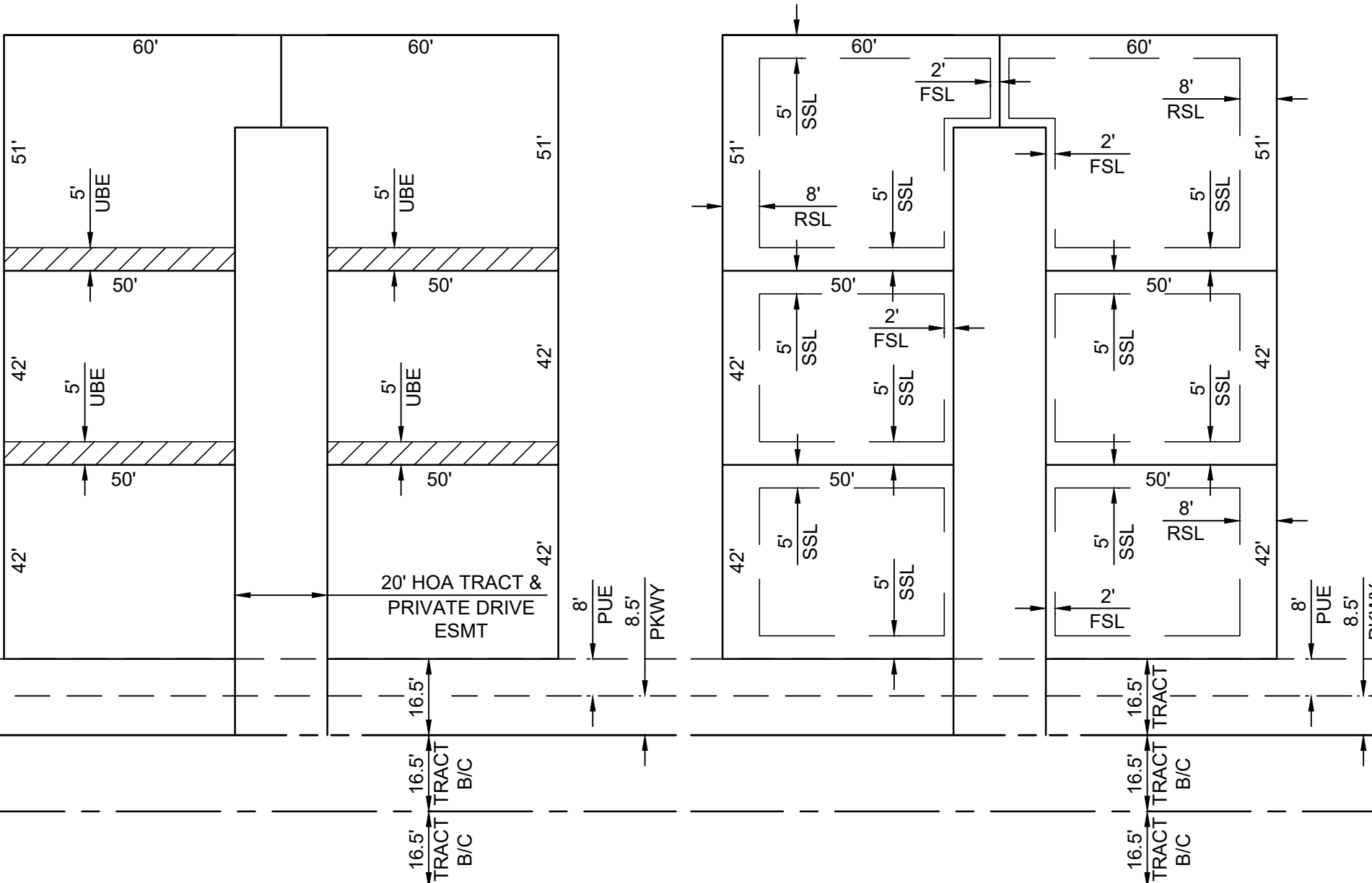
FLOODPLAIN DESIGNATION
THE SITE IS LOCATED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) NO. 04013C2770L REVISED ON OCTOBER 16, 2013. THE PROJECT SITE IS LOCATED IN FLOOD HAZARD ZONE "X". THE ZONES ARE DEFINED AS FOLLOWS:
*ZONE X IS THE FLOOD INSURANCE RATE ZONE THAT CORRESPONDS TO THE AREAS OUTSIDE THE 100-YEAR FLOODPLAINS, AREAS OF 100-YEAR SHEET FLOW FLOODING WHERE AVERAGE DEPTHS ARE LESS THAN ONE FOOT, AREAS OF 100-YEAR STREAM FLOODING WHERE THE CONTRIBUTING DRAINAGE AREAS ARE LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED FROM THE 100-YEAR FLOOD BY LEVEES. NO BASE FLOOD ELEVATIONS OR DEPTHS ARE SHOWN WITHIN THIS ZONE.

ZONING	GROSS ACRES	NET ACRES*	OPEN SPACE**	% OPEN SPACE	NO. LOTS	NET DU/AC	MINIMUM LOT SIZE SHOWN	MAXIMUM LOT SIZE SHOWN	AVERAGE LOT SIZE
MDR PAD	12.47 AC	10.00 AC	3.41 AC	34.1%	81	8.1	2,100 SF	3,124 SF	2,399 SF

* GROSS AREA LESS ARTERIAL (RITTENHOUSE RD AND GERMANN RD) RIGHT OF WAY
** TOTAL TRACT LESS PRIVATE ROADS AND PRIVATE DRIVEWAYS

- NOTES**
- A HOMEOWNERS ASSOCIATION WILL BE FORMED FOR OWNERSHIP AND MAINTENANCE OF ALL TRACTS AND COMMON AREAS; AND MAINTENANCE OF RIGHT-OF-WAY LANDSCAPING.
 - ALL LOCAL STREETS ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - ALL OFF SITES RIGHT OF WAY HAVE BEEN PREVIOUSLY DEDICATED.
 - THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE TOWN AND THE CERTIFICATION OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE UTILITY LINE UNDERGROUNDING REQUIREMENTS HAS BEEN SATISFIED.
 - THIS SUBDIVISION SHALL COMPLY WITH THE ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.
 - THE SUBDIVISION IS WITHIN AN AIRPORT IMPACT OVERLAY DISTRICT.
 - A 1' VEHICULAR NON-ACCESS EASEMENT (VNAE) WILL BE PROVIDED ON ALL PORTIONS OF SIDES AND BACKS OF LOTS ADJACENT TO TRACTS AND RIGHTS-OF-WAYS, EXCEPT THROUGH PUBLIC UTILITY EASEMENTS (PUE).

UTILITY PROVIDERS	
SEWER	TOWN OF QUEEN CREEK UTILITY DEPARTMENT
WATER	TOWN OF QUEEN CREEK UTILITY DEPARTMENT
FIRE	TOWN OF QUEEN CREEK
ELECTRIC	SRP
NATURAL GAS	CITY OF MESA
TELEPHONE	CENTURYLINK
CABLE	COX COMMUNICATIONS
REFUSE COLLECTION	PRIVATE CONTRACT



- LEGEND**
- CL
 - R/W
 - PUE
 - MATCH LINE
 - PHASE BOUNDARY
 - 10.0
 - CONTOUR LINE
 - HW=10.0
 - HIGH WATER CONTOUR
 - 1405-
 - EXISTING CONTOUR MINOR
 - 1404-
 - EXISTING CONTOUR MAJOR
 - PARCEL BOUNDARY
 - GRADE BREAK
 - GRADE CHANGE
 - SIDEWALK
 - 8" S
 - SEWER LINE
 - SEWER MANHOLE
 - SEWER FLOW DIRECTION
 - EX. 8" S
 - EXIST. SEWER LINE
 - EXIST. SEWER MANHOLE
 - 8" W
 - WATER LINE
 - WATER VALVE
 - FIRE HYDRANT
 - EX. 8" W
 - EXIST. WATER LINE
 - DRAINAGE FLOW ARROW
 - 5
 - LOT NUMBER

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

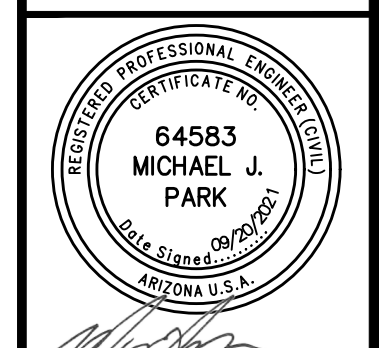
NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



COVER SHEET
RITTENHOUSE & GERMANN
QUEEN CREEK, ARIZONA

811
Know what's below.
Call before you dig.

REVISIONS:	



PM	M.PARK
DR	S.STAMAN
JOB NO.	20004347
FILE NO.	20004347-01-CS01

SHEET NO.
1 OF 2

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S1/4 COR SEC 6, T.2S., R.7E.
FND BRASS CAP IN
HANDHOLE STAMPED
TOWN OF QUEEN CREEK

N00°43'41"W 2646.02'

W1/4 COR SEC 6, T.2S., R.7E.
NOTHING FOUND, NOTHING SET,
CALCULATED POSITION

BENJAMIN FRANKLIN CHARTER
SCHOOL-QUEEN CREEK
APN 304-62-938C

BENJAMIN FRANKLIN CHARTER
SCHOOL-QUEEN CREEK
APN 304-62-938C

THE LOCATIONS OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN
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HAVE NOT BEEN INDEPENDENTLY
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FOR ANY AND ALL DAMAGES WHICH
MIGHT BE OCCASIONED BY THE
CONTRACTOR'S FAILURE TO EXACTLY
LOCATE AND PRESERVE ANY AND ALL
UNDERGROUND UTILITIES.

NOTICE:
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SOLE RESPONSIBILITY OF THE
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NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF THE
WORK OF PERSONS ENGAGED IN THE
WORK, OR ANY NEARBY STRUCTURES,
OR OF ANY OTHER PERSONS.

ATWELL
866.850.4200 www.atwell-group.com
4700 E. SOUTHERN AVENUE
MESA, AZ 85206
480.218.8831

PROJECT:
PRELIMINARY PLAT
RITTENHOUSE & GERMANN
QUEEN CREEK, ARIZONA

811
Know what's below.
Call before you dig.

REVISIONS:

REGISTERED PROFESSIONAL ENGINEER (P.E.)
64583
MICHAEL J. PARK
ARIZONA U.S.A.

PM. M.PARK
DR. S.STAMAN
JOB NO.
20004347
FILE NO.
20004347-02-PP01

PP01

SHEET NO.
2 OF 2

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CORPORATION OF PRESIDING
BISHOP LDS
314-05-988

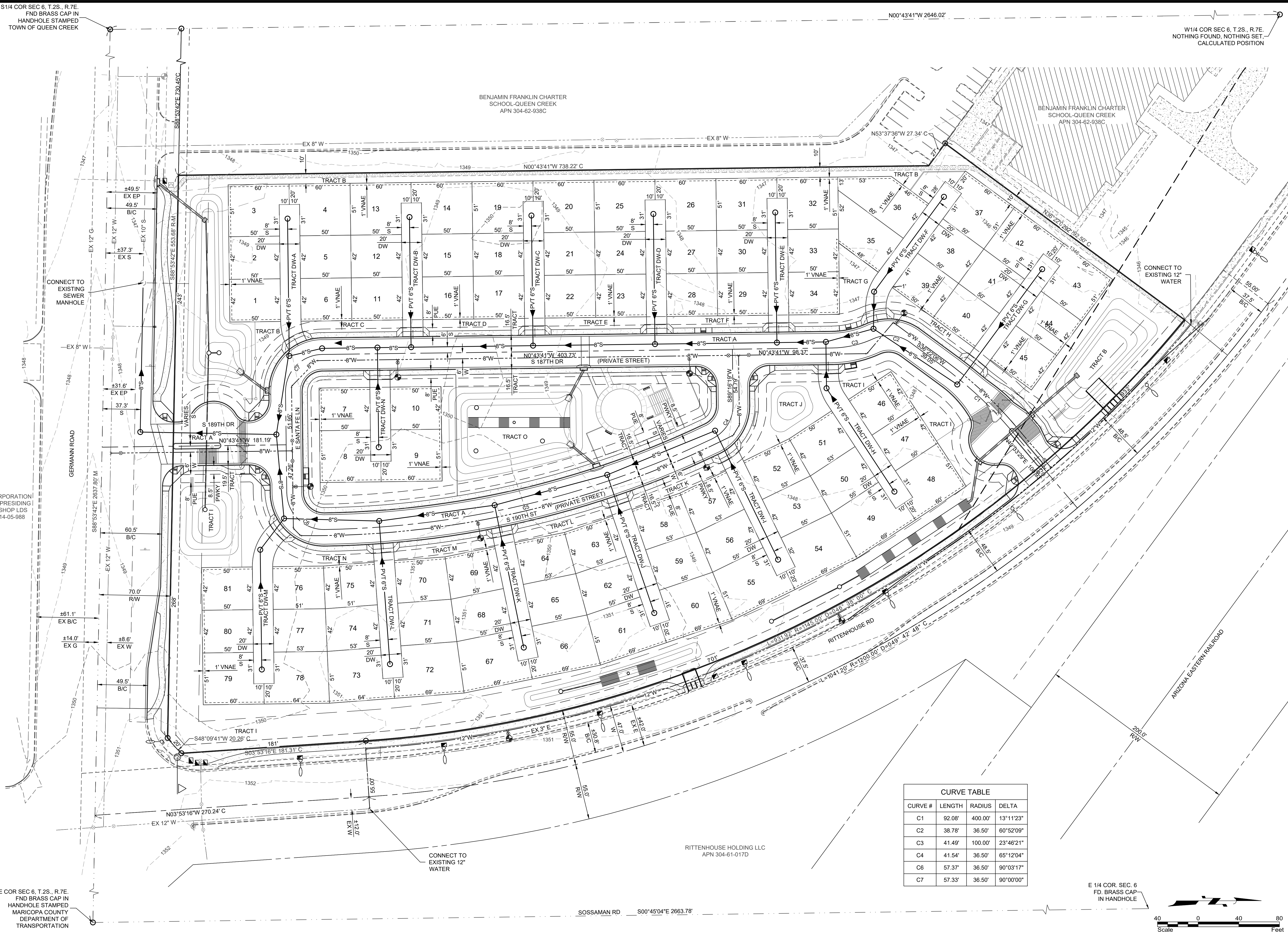
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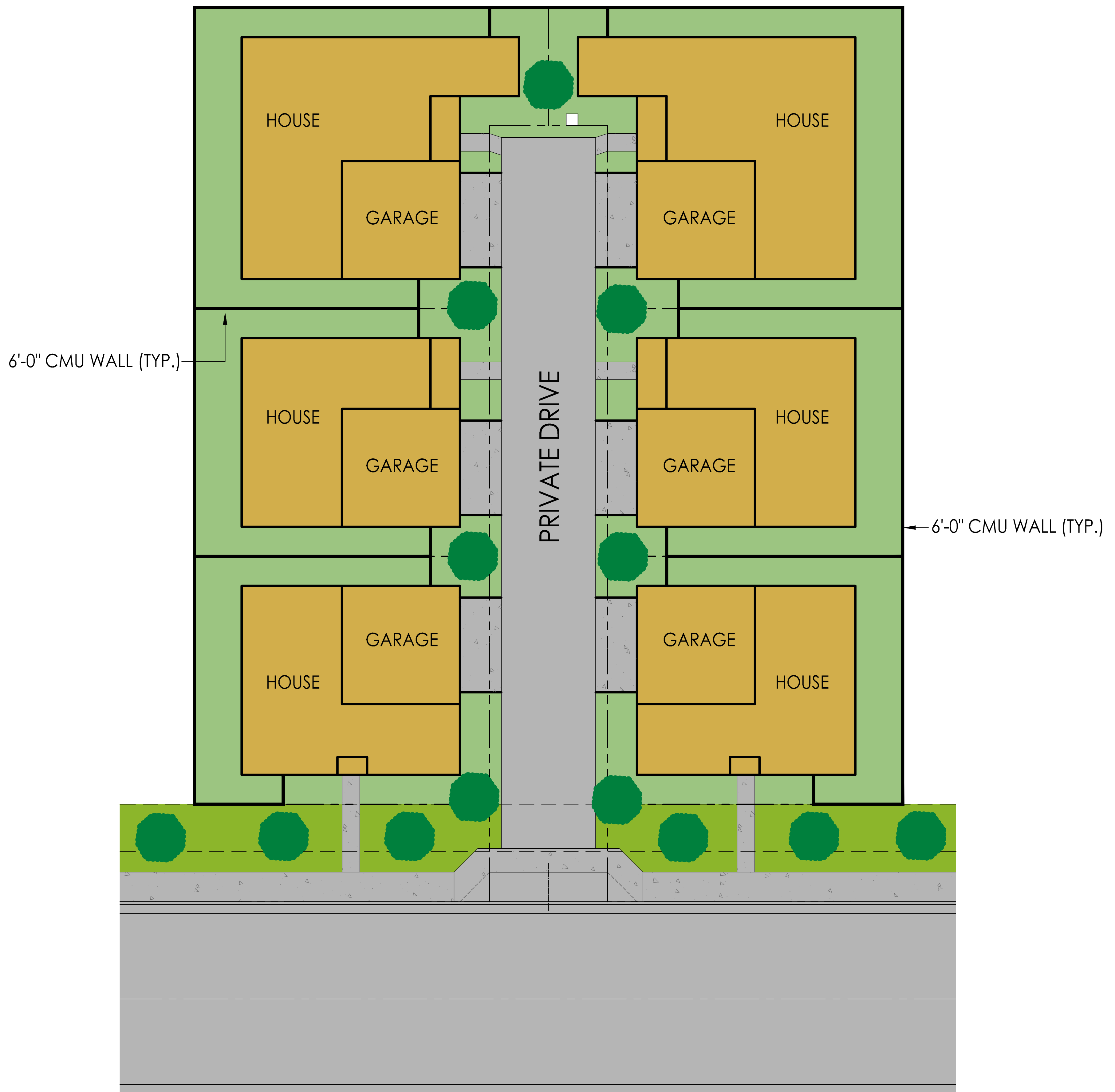
SE COR SEC 6, T.2S., R.7E.
FND BRASS CAP IN
HANDHOLE STAMPED
MARICOPA COUNTY
DEPARTMENT OF
TRANSPORTATION






SOSSAMAN RD S00°45'04"E 2663.78'

RITTENHOUSE HOLDING LLC
APN 304-61-017D

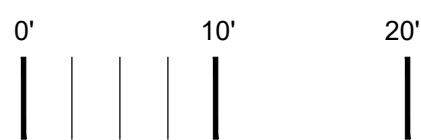
CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	92.08'	400.00'	13°11'23"
C2	38.78'	36.50'	60°52'09"
C3	41.49'	100.00'	23°46'21"
C4	41.54'	36.50'	65°12'04"
C6	57.37'	36.50'	90°03'17"
C7	57.33'	36.50'	90°00'00"





-  POTENTIAL TREE LOCATION
-  LANDSCAPE AREA (PRIVATE)
-  LANDSCAPE AREA (PUBLIC)
-  HOUSE + GARAGE
-  PAVED SURFACE (DRIVEWAY, SIDEWALKS + STREET)

TYPICAL CLUSTER UNIT PLAN

SCALE: 1" = 10'-0" 

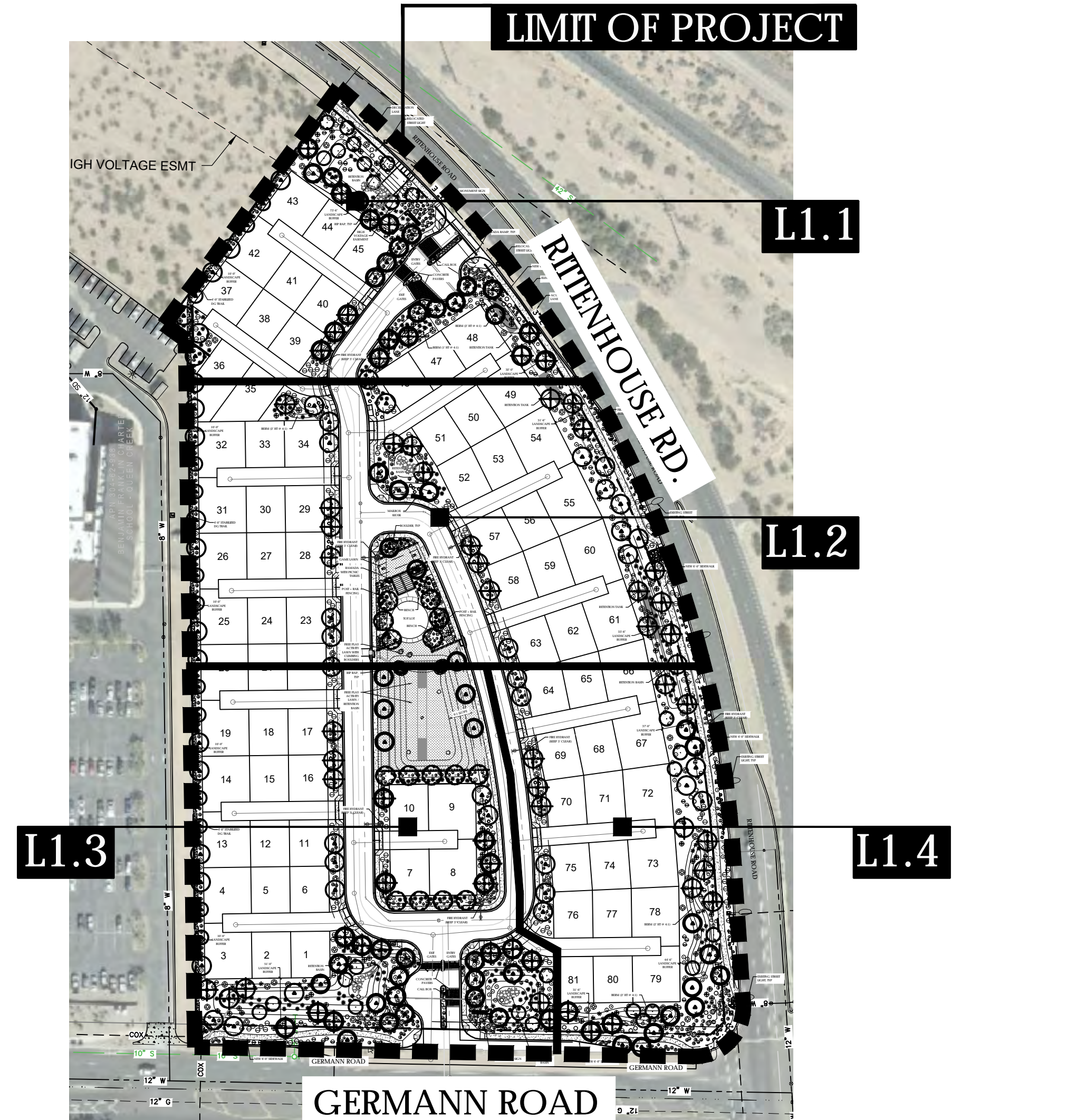
RITTENHOUSE COMMONS

N.W.C. RITTENHOUSE + GERMANN | QUEEN CREEK, AZ

PRELIMINARY LANDSCAPE PLAN

GENERAL LANDSCAPE NOTES

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE TOP DRESSING. ALL GRANITE IS TO BE 2" DEPTH, COLOR AS SPECIFIED, TYP.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND CONFORMING TO LOCAL AGENCY'S APPROVED PLANT LIST.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ANY PLANT MATERIAL NOT SHOWN TO REMAIN ON PLAN IS TO BE REMOVED.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- QUANTITIES ON PLAN ARE PROVIDED FOR BIDDING PURPOSES ONLY. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT / OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF 'SUPERTHRIVE' COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:
-BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GALLON OF WATER.
- TREES: APPLY 4 GALLONS OF BASIC MIX.
- SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.: APPLY 1 GALLON OF BASIC MIX.
- SHRUBS AND SUCCULENTS 15 GAL.: APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL BOULDERS ARE TO BE GRANITE 'SURFACE SELECT, SIZE PER PLAN. ALL BOULDERS ARE TO BE BURIED 1/3 IN SOIL.
- ALL SWALE CHANNELS ARE TO HAVE 6" - 8" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL DOWNSPOUTS / SCUPPERS ARE TO HAVE 3"x3", 3" - 6" FRACTURED GRANITE OR OTHER APPROVED STONE MATERIAL INSTALLED TO PREVENT EROSION.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- ALL TURF IS TO BE 'MID-IRON' HYBRID VARIETY.
- ALL HEADER IS TO BE CAST IN PLACE CONCRETE. COLOR TO BE SELECTED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP RAP AREA, TYP.
- CONTRACTOR TO ENSURE THAT SLEEVING FOR IRRIGATION GOES UNDER EVERY DRIVEWAY (INCLUDING Z-LOTS).
- ALL LANDSCAPING AND STRUCTURES CONSTRUCTED FROM THIS PLAN HAVE BEEN DESIGNED WITH STANDARD CITY REQUIREMENTS AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER / HOA TO MAKE NECESSARY REPAIRS DUE TO VANDALISM / THEFT / OR NEGLIGENCE. DEVELOPER / HOA DOES NOT HOLD (YOUNG DESIGN GROUP, LLC) RESPONSIBLE FOR ANY DAMAGES INCURRED AS SUCH.
- JUTE NETTING TO BE INSTALLED ON ALL SLOPES GREATER THAN 4:1 WITH 100% LIVE PLANT COVER.
- WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE, REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANTY AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALE NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNER'S CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.
- TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 6 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT.
- AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
- NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
- TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
- ANY DISTURBED AREAS AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
- TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.



SITE PLAN / KEY PLAN

N.T.S.

TOWN OF QUEEN CREEK NOTES

- A TOWN OF QUEEN CREEK PERMIT IS REQUIRED FOR ANY LANDSCAPE OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A SET OF MIL PHOTO-MYLAR AS BUILTS OF THE LANDSCAPE AND IRRIGATION PLANS WILL BE REQUIRED PRIOR TO FINAL TOWN OF QUEEN CREEK ACCEPTANCE OF THE PROJECT.
- PRIOR TO TOWN OF QUEEN CREEK'S ACCEPTANCE OF ANY BACKFLOW DEVICE, A STATE CERTIFIED BACKFLOW TESTER MUST TEST THE DEVICE.

MAINTENANCE NOTE:
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.

A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES / WALLS, POOLS AND SIGNS. CONTACT THE QUEEN CREEK BUILDING DEPARTMENT. PERIMETER WALL CONSTRUCTION WILL REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.

NATIVE PLANT INFORMATION

THIS PROPERTY HAS BEEN PRIMARILY CLEARED OF ALL VEGETATION.

OPEN SPACE CALCULATIONS

TOTAL SITE AREA (GROSS) 12.47 (AC) / 543,053 S.F.
TOTAL SITE AREA (NET) 10.00 (AC) / 435,652 S.F.

TOTAL OPEN SPACE REQUIRED (20% OF NET AREA)		TOTAL OPEN SPACE PROVIDED	
A	87,130 S.F.	B	136,948 S.F. (31%)
ACTIVE OPEN SPACE REQUIRED (30% OF TOTAL OPEN SPACE)		ACTIVE OPEN SPACE PROVIDED	
C	26,139 S.F.	D	33,934S.F. (*38%)

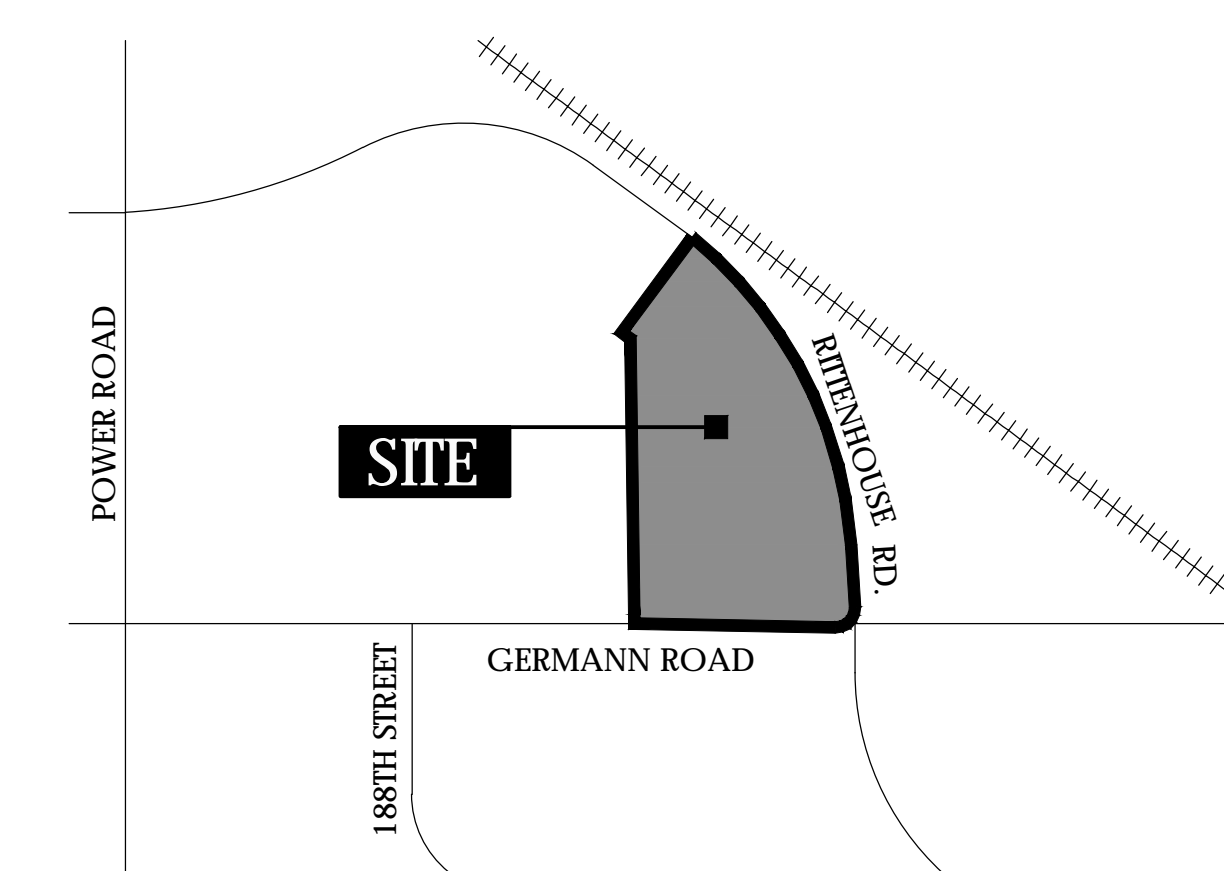
*NOTE: TOTAL OPEN SPACE PROVIDED (B) EXCEEDS MINIMUM OPEN SPACE REQUIRED (A) THEREFORE ACTIVE OPEN SPACE PROVIDED PERCENTAGE (D) IS DERIVED FROM 30% OF TOTAL OPEN SPACE REQUIRED (A).

MISC. NOTES

- THERE IS NO FIRE LINE BACKFLOW PREVENTER ON THIS SITE
- A MINIMUM OF 3' CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS WHERE NOTHING WILL BE PLANTED OR WILL GROW.

VICINITY MAP

NOT TO SCALE



PROJECT TEAM

OWNER:
ARCUS CAPITAL
4915 EAST BASELINE ROAD
SUITE 105
GILBERT, AZ 85234
PH: 480.305.7070
CONTACT: DENNY BARNEY

PROJECT MANAGER:
iPLAN
PH: (480) 227-9850
CONTACT: GREG DAVIS
greg@iplanconsulting.com

LANDSCAPE ARCHITECT:

YOUNG DESIGN GROUP
7234 EAST SHOEMAN LN.
SUITE # 8
SCOTTSDALE, AZ 85251
PH: (480) 257-3312
CONTACT: JOE YOUNG
jyoung@youngdgm.com

CIVIL ENGINEER:

ATWELL
4700 EAST SOUTHERN AVENUE
MESA, AZ 85206
PH: 602.350.0311
CONTACT: MICHAEL PARK /
SCOTT STAMAN
mikepark@atwell-group.com

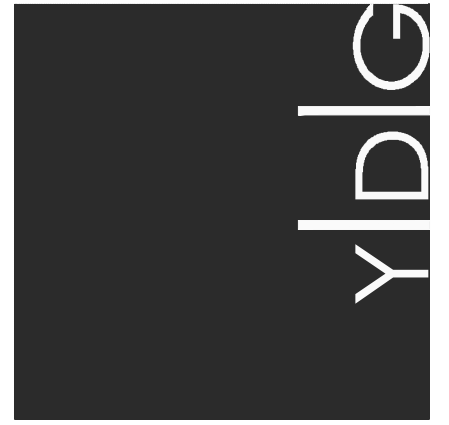
SHEET INDEX

(1)	L0.1	COVER SHEET + NOTES
(2-5)	L1.1 THRU L1.4	PRELIMINARY LANDSCAPE PLAN
(6)	HS1.1	WALL PLAN + WALL DETAILS
(7)	HS1.2	MONUMENT SIGN / ENTRY GATES + RAMADA DETAILS
(8)	HS1.3	AMENITY AREA + TOT LOT
(9)	HS1.4	SITE FURNITURE + AMENITIES
(10)	HS1.5	MAILBOX KIOSK DETAILS

PRELIMINARY PLAN APPROVAL

DATE:	04/14/21
JOB NO.:	2018
DRAWN BY:	YDG
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY	07/30/21
CITY	09/14/21
SUBMITTED FOR:	

Young | design | group
Landscape Architecture
+ Land Planning
7234 east shoeman lane
suite 8
scottsdale, arizona 85251
tel. 480.257.3312



RITTENHOUSE COMMONS
N.W.C. RITTENHOUSE + GERMANN
QUEEN CREEK | AZ

DATE: 04/14/21
JOB NO.: 2018
DRAWN BY: YDG
CHECKED BY: JMY
REVISIONS: DATE:
CITY 07/30/21
CITY 09/14/21

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

L0.1

1 OF 10

TRACKING NUMBERS:



PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"

LANDSCAPE CALCULATIONS

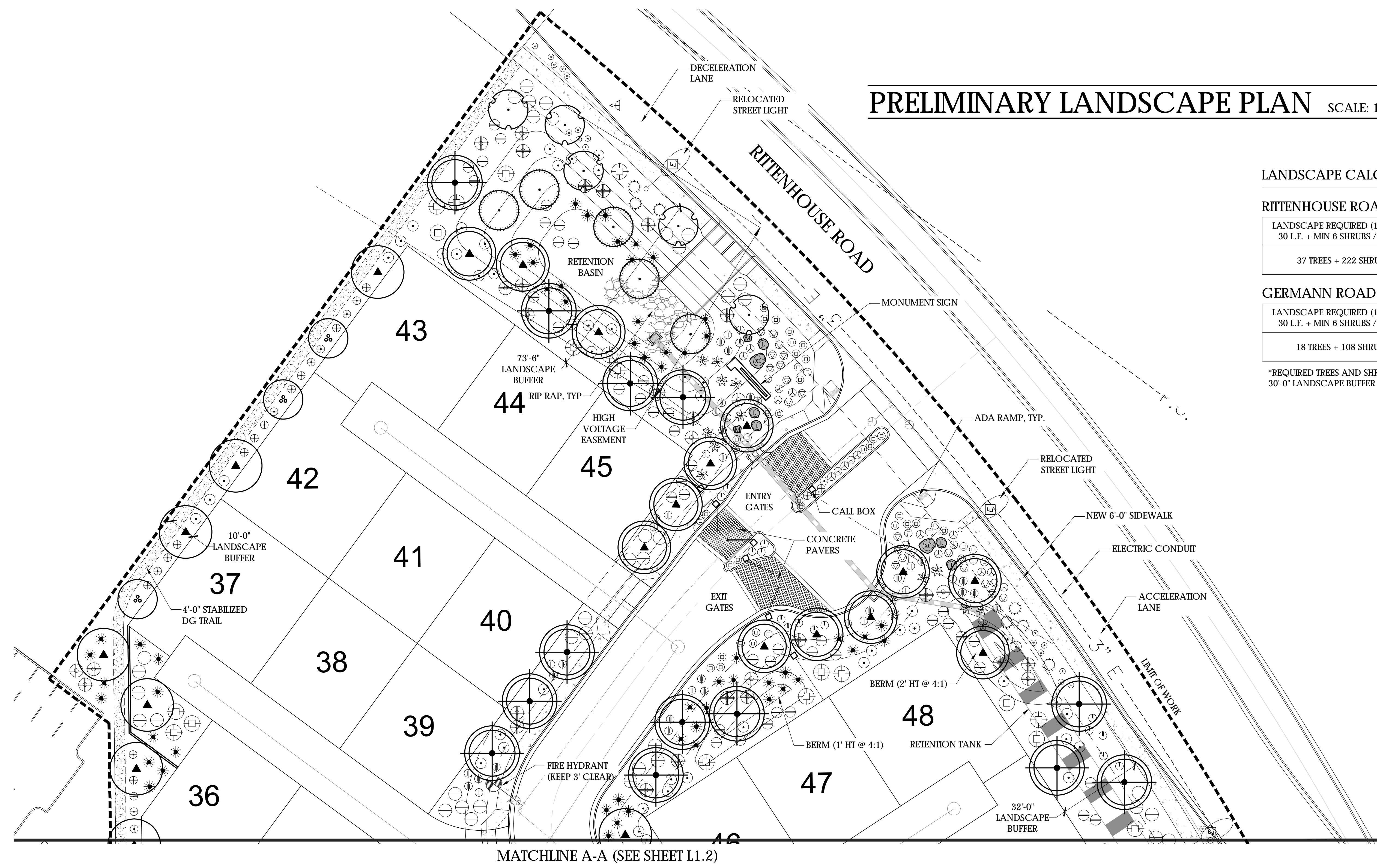
RITTENHOUSE ROAD (+/-) 1,100 L.F. LANDSCAPE FRONTAGE

LANDSCAPE REQUIRED (1 TREE / 30 L.F. + MIN 6 SHRUBS / TREE)	LANDSCAPE PROVIDED
37 TREES + 222 SHRUBS	*50 TREES + *390 SHRUBS

GERMANN ROAD (+/-) 530 L.F. LANDSCAPE FRONTAGE

LANDSCAPE REQUIRED (1 TREE / 30 L.F. + MIN 6 SHRUBS / TREE)	LANDSCAPE PROVIDED
18 TREES + 108 SHRUBS	*23 TREES + *219 SHRUBS

*REQUIRED TREES AND SHRUB QUANTITIES ARE CALCULATED FROM WITHIN 30'-0" LANDSCAPE BUFFER AND R.O.W. ALONG STREET FRONTAGES

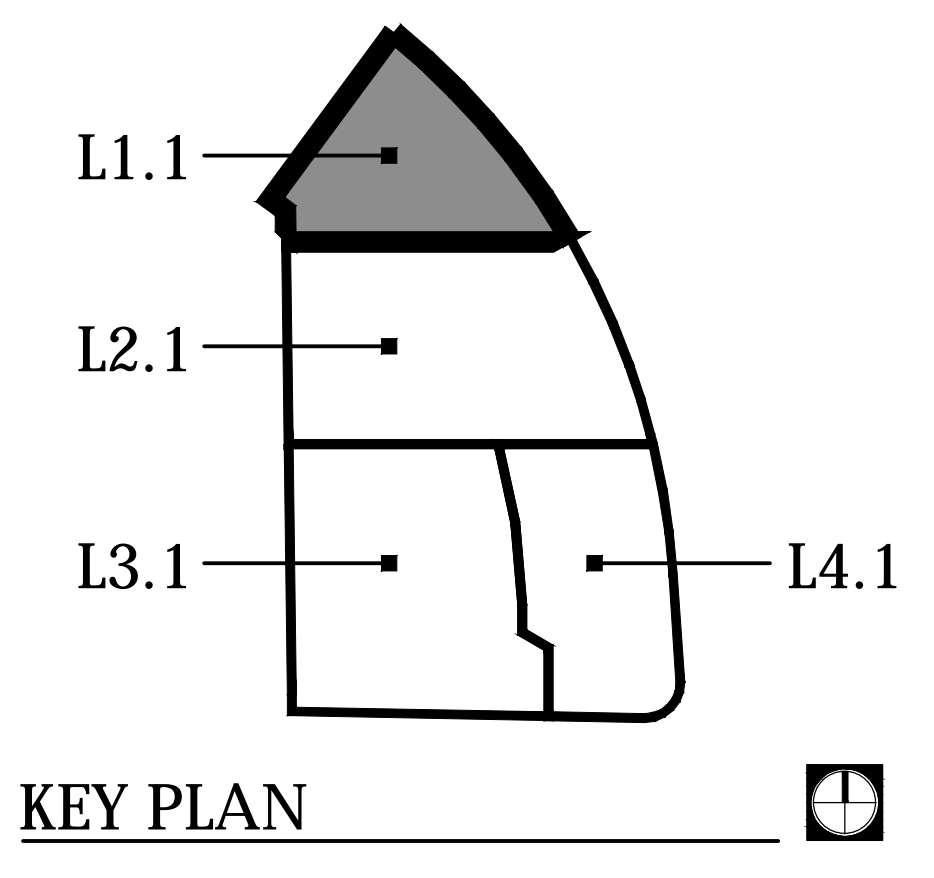


MATCHLINE A-A (SEE SHEET L1.2)

PLANT SCHEDULE

*CAN BE PLANTED UNDER POWER LINES

TREES			SHRUBS			ACCENTS + CACTI			GROUNDCOVER		
	*ACACIA ANEURA MULGA ACACIA	24" BOX, SINGLE TRUNK, MATCHED 5		CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL 95		ASCLEPIUS SUBULATA DESERT MILKWEED	5 GAL 55		EREMOPHILA GLABRA 'MIG'NEW GOLD' GOLD EMU BUSH	1 GAL 210
	ACACIA SALICINA WEEPING ACACIA	24" BOX, LOW BREAK, MATCHED 13		CALLIANDRA CALIFORNICA FAIRY DUSTER	5 GAL 143		DASYLIRION WHEELERI DESERT SPOON	5 GAL 97		LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL 229
	*CHILOPSIS LINEARIS DESERT WILLOW	15 GAL, LOW BREAK, MATCHED 21		EREMOPHILA MACULATA VALENTINE BUSH	5 GAL 139		MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL 68		LANTANA MONTEVIDENSIS 'PURPLE' PURPLE TRAILING LANTANA	1 GAL 82
	PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" / 36" BOX, MULTI-TRUNK, MATCHED 36 / 31		JUSTICIA CALIFORNICA CHUPAROSA	5 GAL 51		MUHLENBERGIA LINDHEIMERI AUTUMN GLOW DEER GRASS	5 GAL 207		INERT MATERIALS	
	QUERCUS VIRGINIANA LIVE OAK	24" / 36" BOX, SINGLE TRUNK, MATCHED 50 / 50		LARREA TRIDENTATA CREOSOTE	5 GAL 99		HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL 85		D.G. DECOMPOSED GRANITE 'PAINTED DESERT COLOR'	3" MINUS ALL L/S AREAS
	FRAXINUS VELUTINA FANTEX ASH	24" BOX, SINGLE TRUNK, MATCHED 15		LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL 183		OPUNTIA VIOLACEA PURPLE PRICKLY PEAR	5 GAL 33		GRANITE BOULDERS SURFACE SELECT	SIZE AS SHOWN 5 / 25 / 10
				SENNA PHYLLODENIA SILVERY SENNA	5 GAL 151						
				OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	1 GAL 267						



KEY PLAN

RITTENHOUSE COMMONS

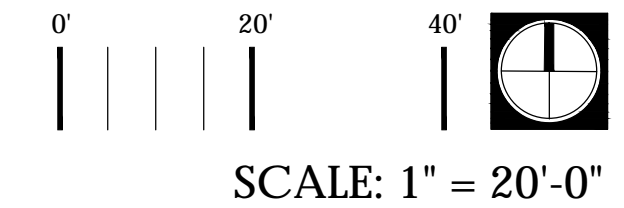
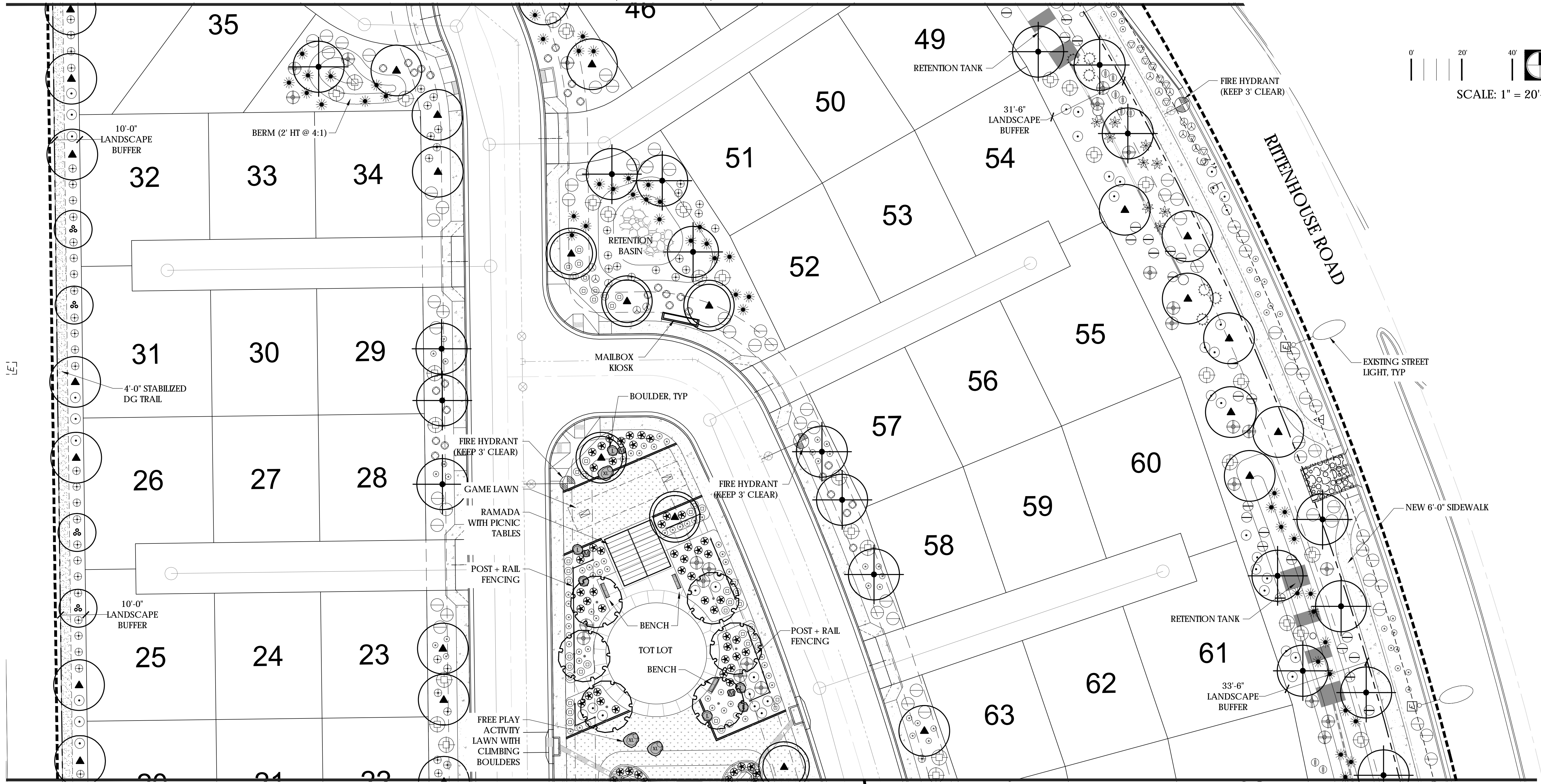
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 QUEEN CREEK | AZ

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DRAWN BY:	YDG
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	07/30/21
CITY:	09/14/21

PRELIMINARY LANDSCAPE PLAN

SHEET NO.
L1.1
 2 OF 10

MATCHLINE A-A (SEE SHEET L1.1)



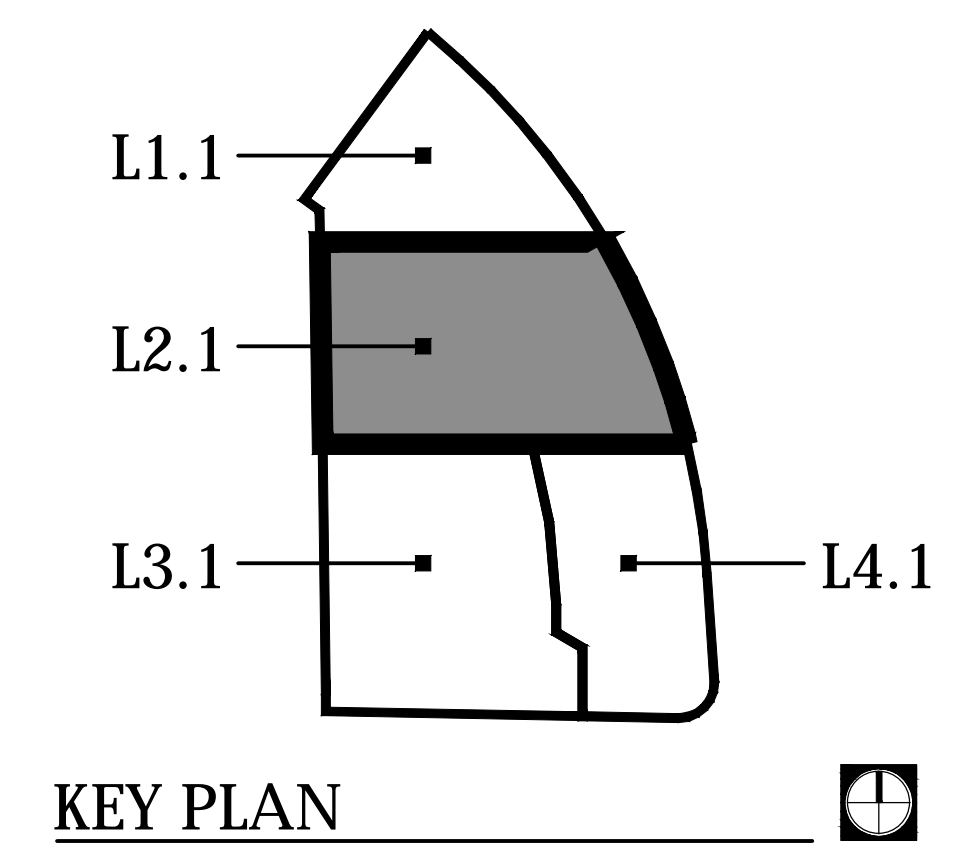
MATCHLINE B-B (SEE SHEET L1.3)

MATCHLINE C-C (SEE SHEET L1.4)

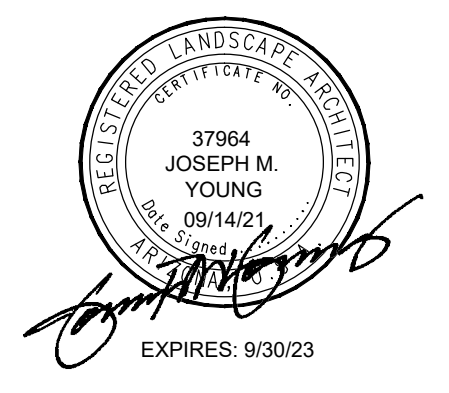
PLANT SCHEDULE

*CAN BE PLANTED UNDER POWER LINES

TREES			SHRUBS			ACCENTS + CACTI			GROUNDCOVER		
	*ACACIA ANEURA MULGA ACACIA	24" BOX, SINGLE TRUNK, MATCHED 5		CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL 95		ASCLEPIUS SUBULATA DESERT MILKWEED	5 GAL 55		EREMOPHILA GLABRA 'MIG'NEW GOLD' GOLD EMU BUSH	1 GAL 210
	ACACIA SALICINA WEEPING ACACIA	24" BOX, LOW BREAK, MATCHED 13		CALLIANDRA CALIFORNICA FAIRY DUSTER	5 GAL 143		DASYLIRION WHEELERI DESERT SPOON	5 GAL 97		LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL 229
	*CHILOPSIS LINEARIS DESERT WILLOW	15 GAL, LOW BREAK, MATCHED 21		EREMOPHILA MACULATA VALENTINE BUSH	5 GAL 139		MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL 68		LANTANA MONTEVIDENSIS 'PURPLE' PURPLE TRAILING LANTANA	1 GAL 82
	PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" / 36" BOX, MULTI-TRUNK, MATCHED 36 / 31		JUSTICIA CALIFORNICA CHUPAROSA	5 GAL 51		MUHLENBERGIA LINDHEMERI AUTUMN GLOW DEER GRASS	5 GAL 207		INERT MATERIALS	
	QUERCUS VIRGINIANA LIVE OAK	24" / 36" BOX, SINGLE TRUNK, MATCHED 50 / 50		LARREA TRIDENTATA CREOSOTE	5 GAL 99		HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL 85		D.G. DECOMPOSED GRANITE 'PAINTED DESERT COLOR'	3" MINUS ALL L/S AREAS
	FRAXINUS VELUTINA FANTEX ASH	24" BOX, SINGLE TRUNK, MATCHED 15		LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL 183		OPUNTIA VIOLACEA PURPLE PRICKLY PEAR	5 GAL 33		GRANITE BOULDERS SURFACE SELECT	SIZE AS SHOWN 5 / 25 / 10
				SENNA PHYLLODENIA SILVERY SENNA	5 GAL 151						
				OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	1 GAL 267						



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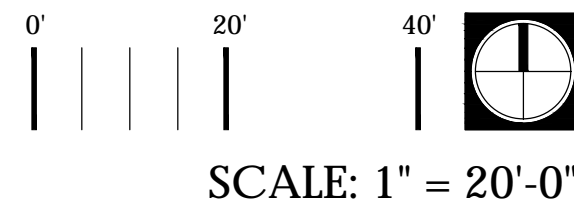
PRELIMINARY
LANDSCAPE
PLAN

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3 OF 10

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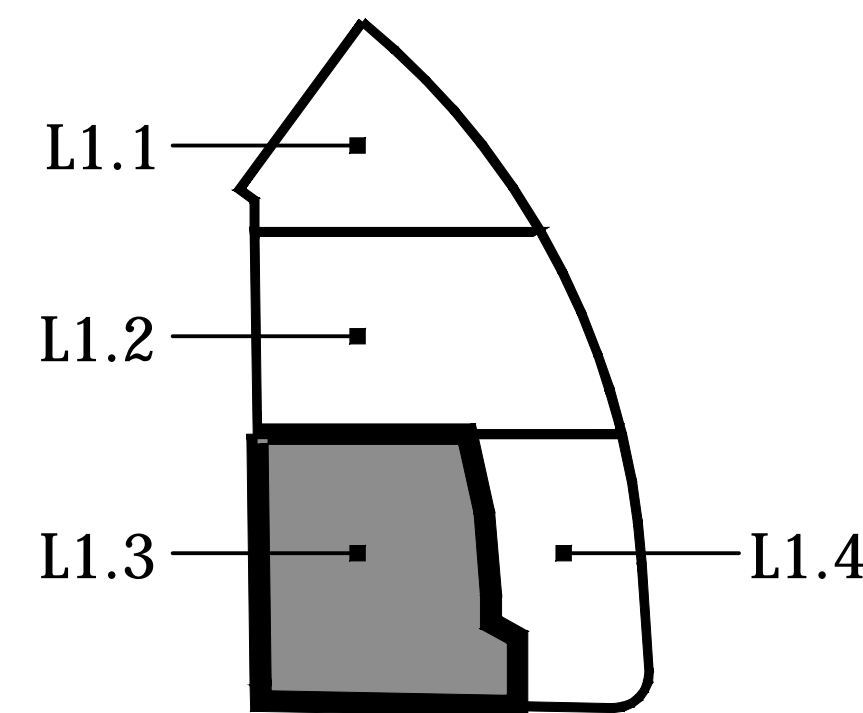


PLANT SCHEDULE

*CAN BE PLANTED UNDER POWER LINES

TREES			
	*ACACIA ANEURA MULGA ACACIA	24" BOX, SINGLE TRUNK, MATCHED	5
	ACACIA SALICINA WEEPING ACACIA	24" BOX, LOW BREAK, MATCHED	13
	*CHILOPSIS LINEARIS DESERT WILLOW	15 GAL, LOW BREAK, MATCHED	21
	PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" / 36" BOX, MULTI-TRUNK, MATCHED	36 / 31
	QUERCUS VIRGINIANA LIVE OAK	24" / 36" BOX, SINGLE TRUNK, MATCHED	50 / 50
	FRAXINUS VELUTINA FANTEX ASH	24" BOX, SINGLE TRUNK, MATCHED	15
SHRUBS			
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	95
	CALLIANDRA CALIFORNICA FAIRY DUSTER	5 GAL	143
	EREMOPHILA MACULATA VALENTINE BUSH	5 GAL	139
	JUSTICIA CALIFORNICA CHUPAROSA	5 GAL	51
	LARREA TRIDENTATA CREOSOTE	5 GAL	99
	LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL	183
	SENNA PHYLLODENIA SILVERY SENNA	5 GAL	151
	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	1 GAL	267
ACCENTS + CACTI			
	ASCLEPIUS SUBULATA DESERT MILKWEED	5 GAL	55
	DASYLIRION WHEELERI DESERT SPOON	5 GAL	97
	MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL	68
	MUHLENBERGIA LINDHEIMERI AUTUMN GLOW DEER GRASS	5 GAL	207
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL	85
	OPUNTIA VIOLACEA PURPLE PRICKLY PEAR	5 GAL	33
GROUNDCOVER			
	EREMOPHILA GLABRA 'MIGNEW GOLD' GOLD EMU BUSH	1 GAL	210
	LANTANA 'NEW GOLD' NEW GOLD LANTANA	1 GAL	229
	LANTANA MONTEVIDENSIS 'PURPLE' PURPLE TRAILING LANTANA	1 GAL	82
INERT MATERIALS			
D.G.	DECOMPOSED GRANITE 'PAINTED DESERT COLOR'	3" MINUS	ALL L/S AREAS
	GRANITE BOULDERS 'SURFACE SELECT'	SIZE AS SHOWN	5 / 25 / 10

*CONTACT ROCK PROS USA (MINERAL MOUNTAIN QUARRY)



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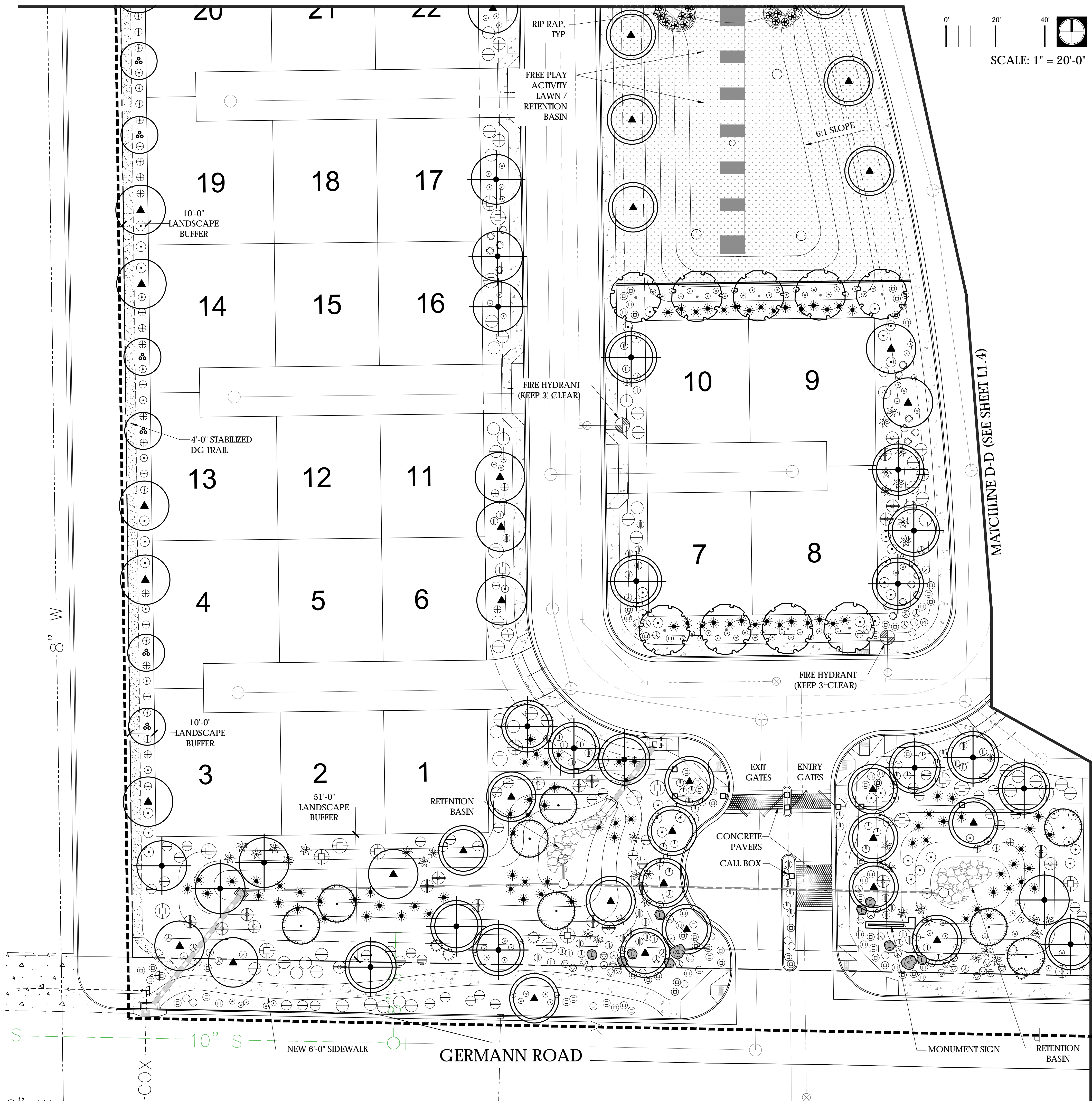
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SHEET NO.
L1.3
4 OF 10

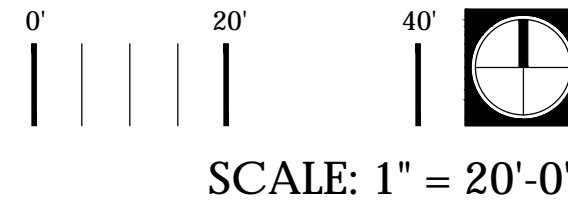
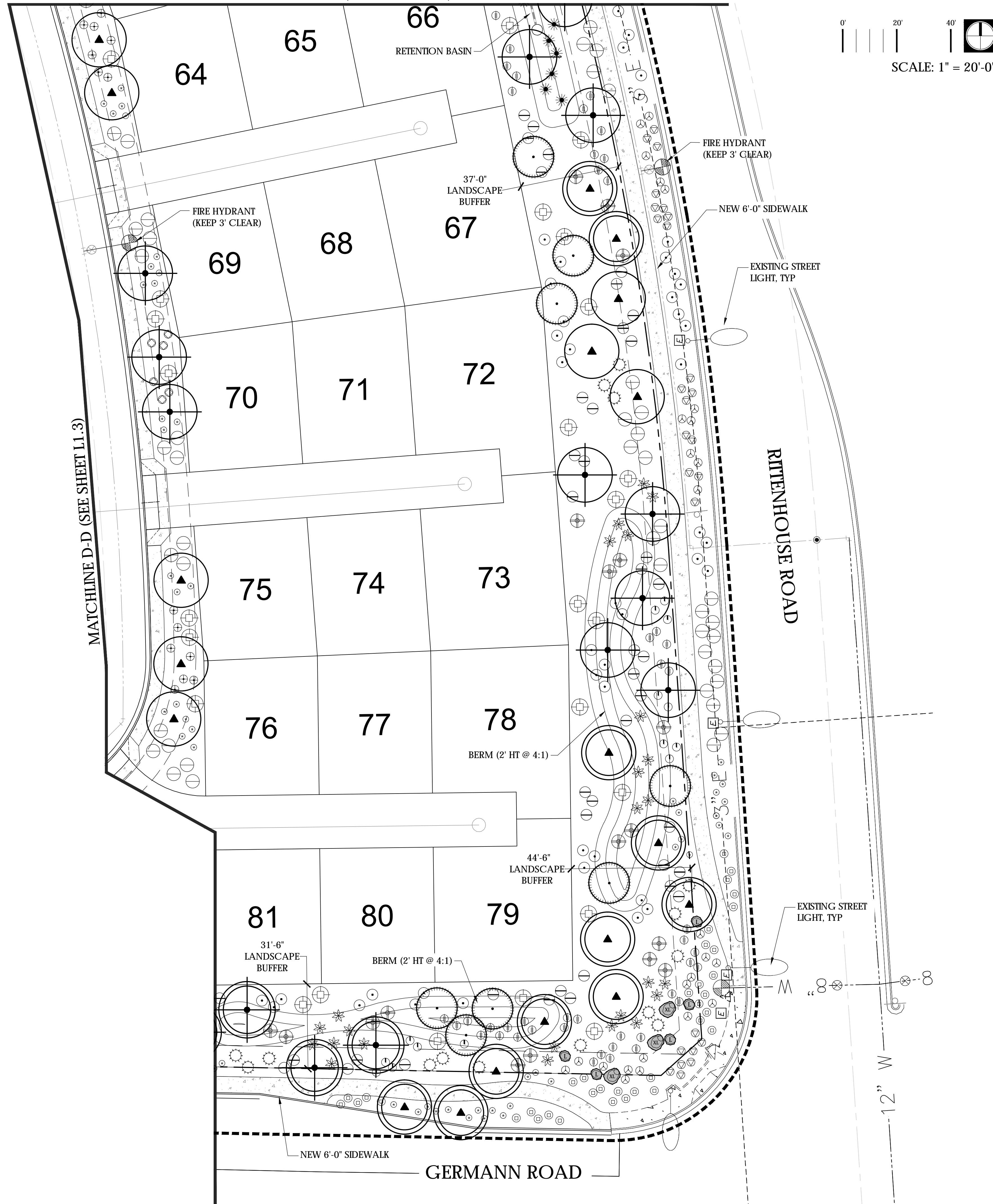
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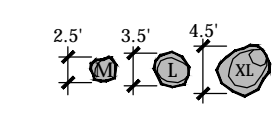
MATCHLINE C-C (SEE SHEET L1.2)



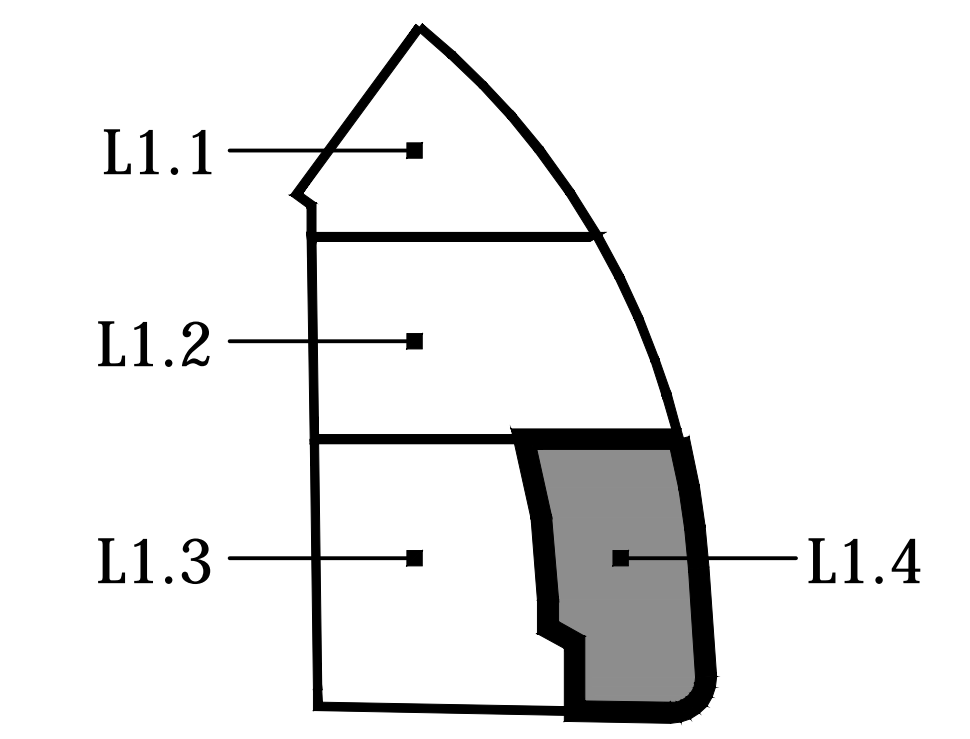
PLANT SCHEDULE

*CAN BE PLANTED UNDER POWER LINES

TREES			
⊕	*ACACIA ANEURA MULGA ACACIA	24" BOX, SINGLE TRUNK, MATCHED	5
⊕	ACACIA SALICINA WEeping ACACIA	24" BOX, LOW BREAK, MATCHED	13
⊕	*CHLOPSIS LINEARIS DESERT WILLOW	15 GAL, LOW BREAK, MATCHED	21
⊕	PISTACIA CHINENSIS 'RED PUSH' RED PUSH PISTACHE	24" / 36" BOX, MULTI-TRUNK, MATCHED	36 / 31
⊕	QUERCUS VIRGINIANA LIVE OAK	24" / 36" BOX, SINGLE TRUNK, MATCHED	50 / 50
⊕	FRAXINUS VELUTINA FANTEX ASH	24" BOX, SINGLE TRUNK, MATCHED	15
SHRUBS			
⊕	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	95
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⊕	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' SAGE	5 GAL	183
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⊕	OLEA EUROPAEA 'MONTRA' LITTLE OLLIE DWARF OLIVE	1 GAL	267
ACCENTS + CACTI			
⊕	ASCLEPIUS SUBULATA DESERT MILKWEED	5 GAL	55
⊕	DASYLIRION WHEELERI DESERT SPOON	5 GAL	97
⊕	MUHLENBERGIA CAPILLARIS REGAL MIST DEER GRASS	5 GAL	68
⊕	MUHLENBERGIA LINDHEIMERI AUTUMN GLOW DEER GRASS	5 GAL	207
⊕	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL	85
⊕	OPUTINA VIOLACEA PURPLE PRICKLY PEAR	5 GAL	33
GROUND COVER			
⊕	EREMOPHILA GLABRA 'MIGNEW GOLD' GOLD EMU BUSH	1 GAL	210
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INERT MATERIALS			
D.G.	DECOMPOSED GRANITE 'PAINTED DESERT COLOR'	3" MINUS	ALL L/S AREAS
⊕	GRANITE BOULDERS 'SURFACE SELECT'	SIZE AS SHOWN	5 / 25 / 10



*CONTACT ROCK PROS USA (MINERAL MOUNTAIN QUARRY)



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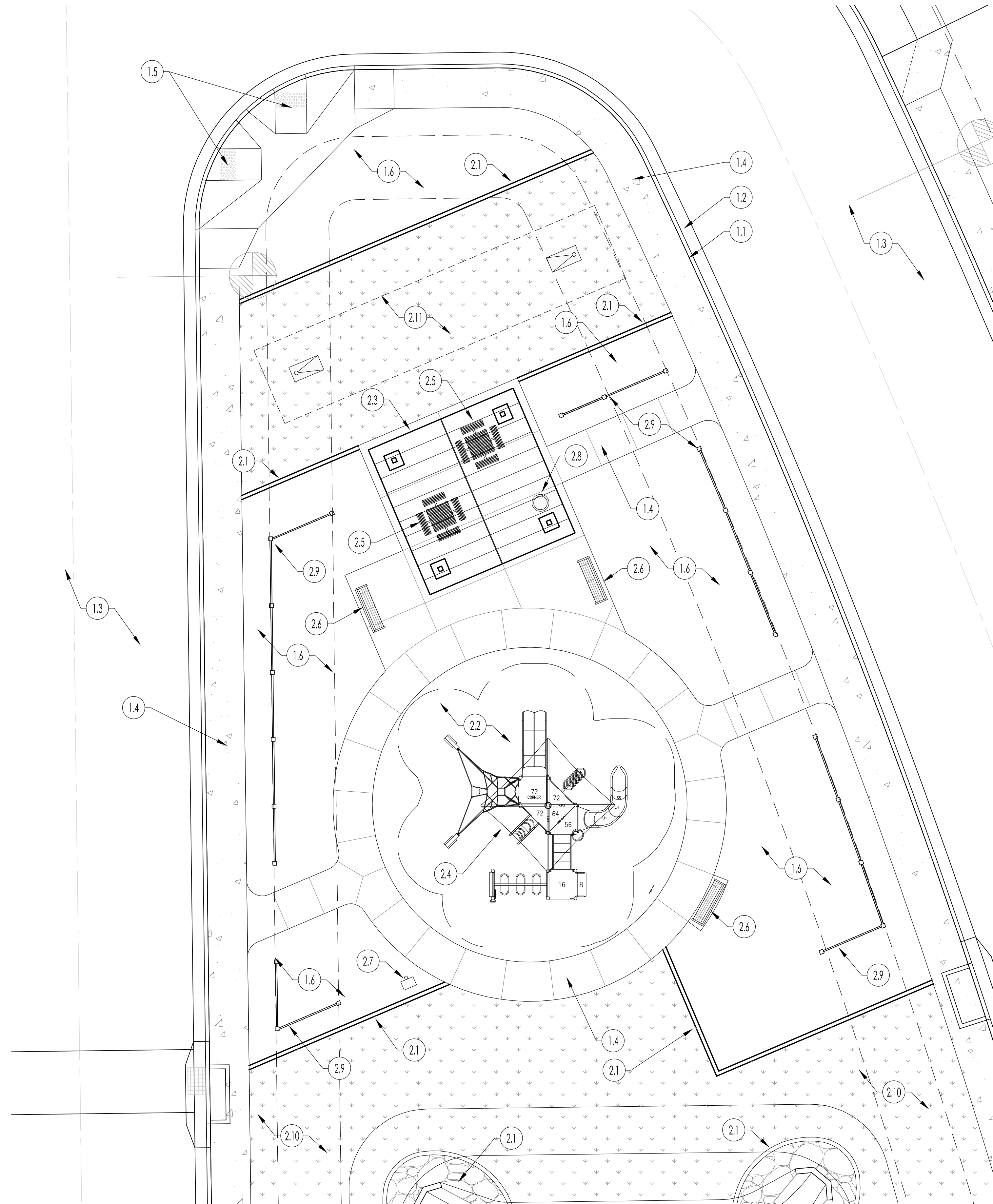
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SUBMITTED FOR:
**PRELIMINARY
LANDSCAPE
PLAN**

SHEET NO.
L1.4
5 OF 10

TRACKING NUMBERS:



1 AMENITY AREA + TOT LOT
HS1.3

SCALE: 1/8" = 1'-0"

KEYNOTE SCHEDULE

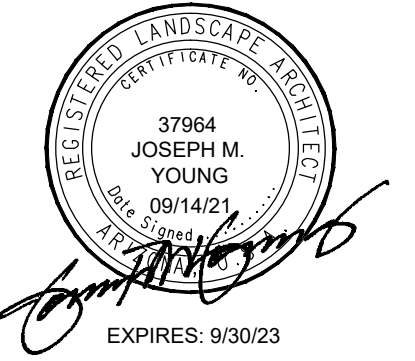
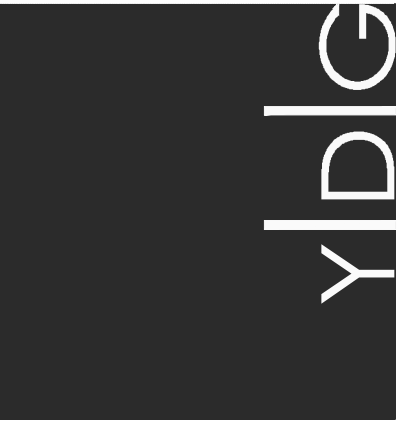
- 1.0 PAVEMENT / FLATWORK**
- 1.1 ROADWAY TRACT BOUNDARY
 - 1.2 CURB (SEE CIVIL)
 - 1.3 ASPHALT PAVING (SEE CIVIL)
 - 1.4 SIDEWALK (SEE CIVIL / MATCH CURB COLOR)
 - 1.5 A.D.A. RAMP (SEE CIVIL / MATCH CURB COLOR)
 - 1.6 LANDSCAPE AREA

- 2.0 SITE / MISC. ELEMENTS**
- 2.1 EXTRUDED CONCRETE HEADER (SEE LANDSCAPE PLAN)
 - 2.2 ENGINEERED WOOD FIBER SAFETY SURFACE
 - 2.3 RAMADA (SEE SHEET HS1.2, DETAIL 4)
 - 2.4 TOT LOT EQUIPMENT (BY EXERPLAY)
 - 2.5 PICNIC TABLE (SEE SHEET HS1.4)
 - 2.6 PARK BENCH (SEE SHEET HS1.4)
 - 2.7 PET STATION (SEE SHEET HS1.4)
 - 2.8 TRASH CAN (SEE SHEET HS1.4)
 - 2.9 POST + RAIL FENCING (SEE SHEET HS1.2, DETAIL 3)
 - 2.10 GRASS AREA (SEE LANDSCAPE PLAN)
 - 2.11 SYNTHETIC TURF GAME LAWN



2 TOT LOT EQUIPMENT
HS1.3

SCALE: N.T.S.



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 PLAN**

SHEET NO.

HS1.3

8 OF 10



BRONZE



Cedar

DUMOR / MODEL 76 WITH 4 SEATS / SURFACE MOUNT / FRAME COLOR: BRONZE / RECYCLED LUMBER COLOR: CEDAR



BRONZE



Cedar

DUMOR / MODEL 98 6' LENGTH WITH W/ NO CENTER ARM / SURFACE MOUNT / FRAME COLOR: BRONZE / RECYCLED LUMBER COLOR: CEDAR

1 PICNIC TABLE
HS1.4

SCALE: N.T.S.

2 PARK BENCH
HS1.4

SCALE: N.T.S.



BRONZE

DUMOR / MODEL 287 WITH SO SLOT / SURFACE MOUNT / COLOR: BRONZE

3 TRASH CAN
HS1.4

SCALE: N.T.S.



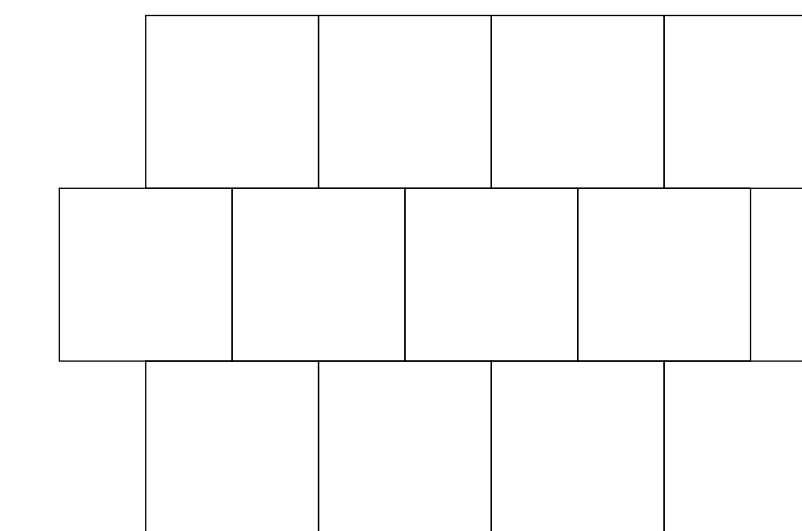
DOG-ON-IT PET WASTE STATION / MODEL 7408R / GROUND MOUNT / COLOR: BLACK

4 PET STATION
HS1.4

SCALE: N.T.S.



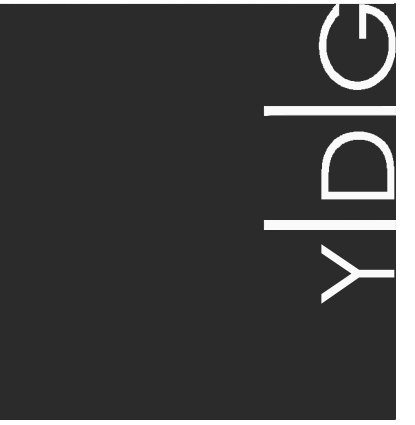
BELGARD PAVERS COLORS 'DESERT BLEND'



6"x6" STACKED BOND PATTERN
80 MM THICKNESS FOR VEHICULAR USE

5 CONCRETE PAVERS AT GATES
HS1.4

SCALE: N.T.S.

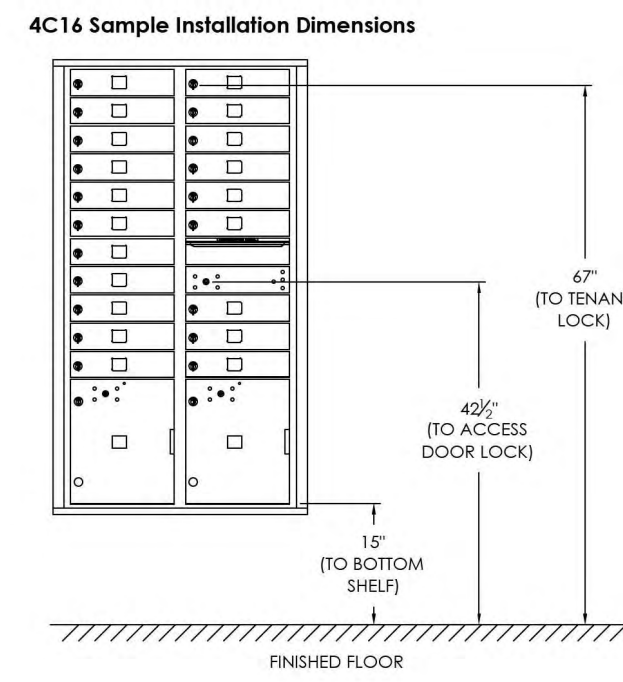


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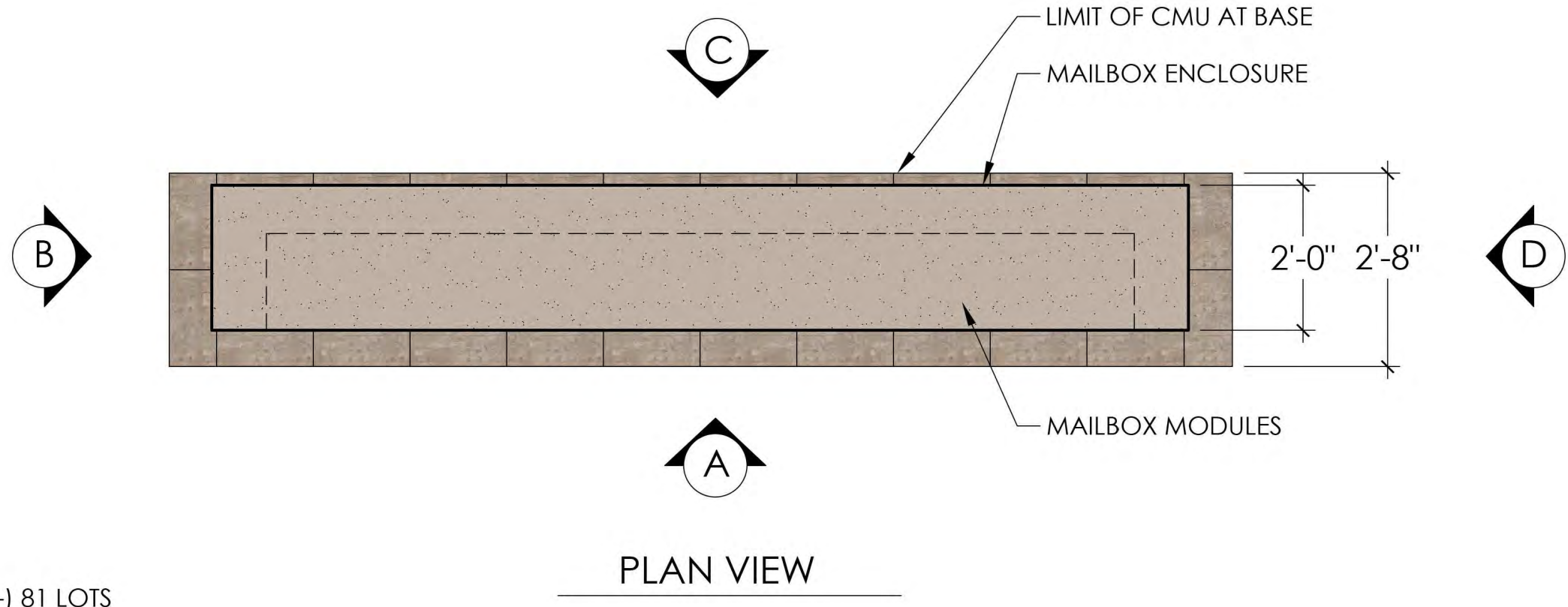
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SHEET NO.
HS1.4
9 OF 10

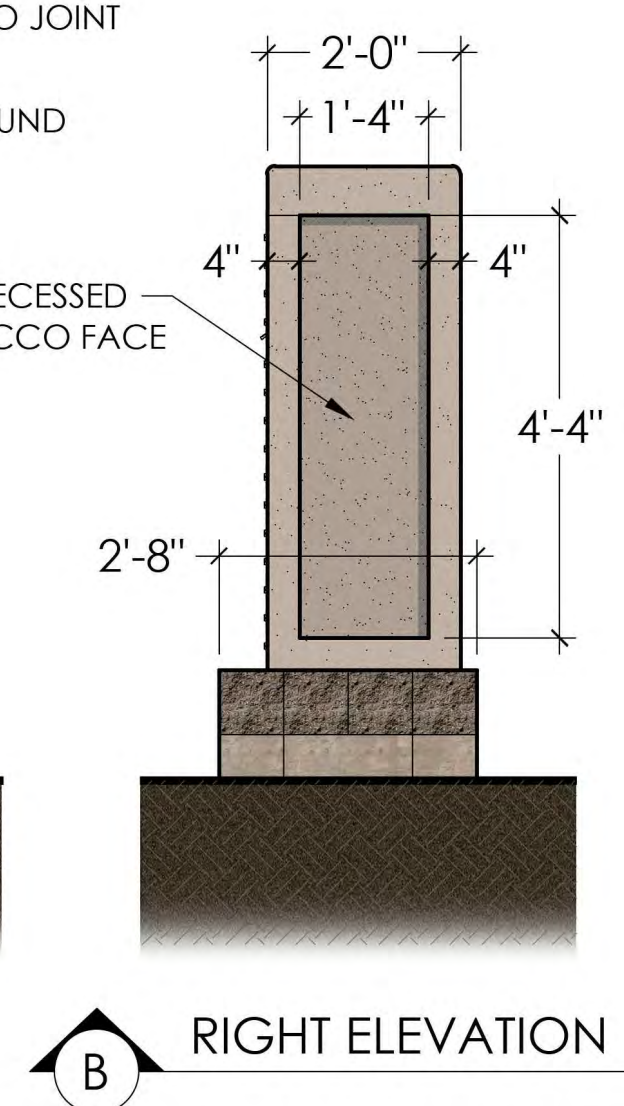
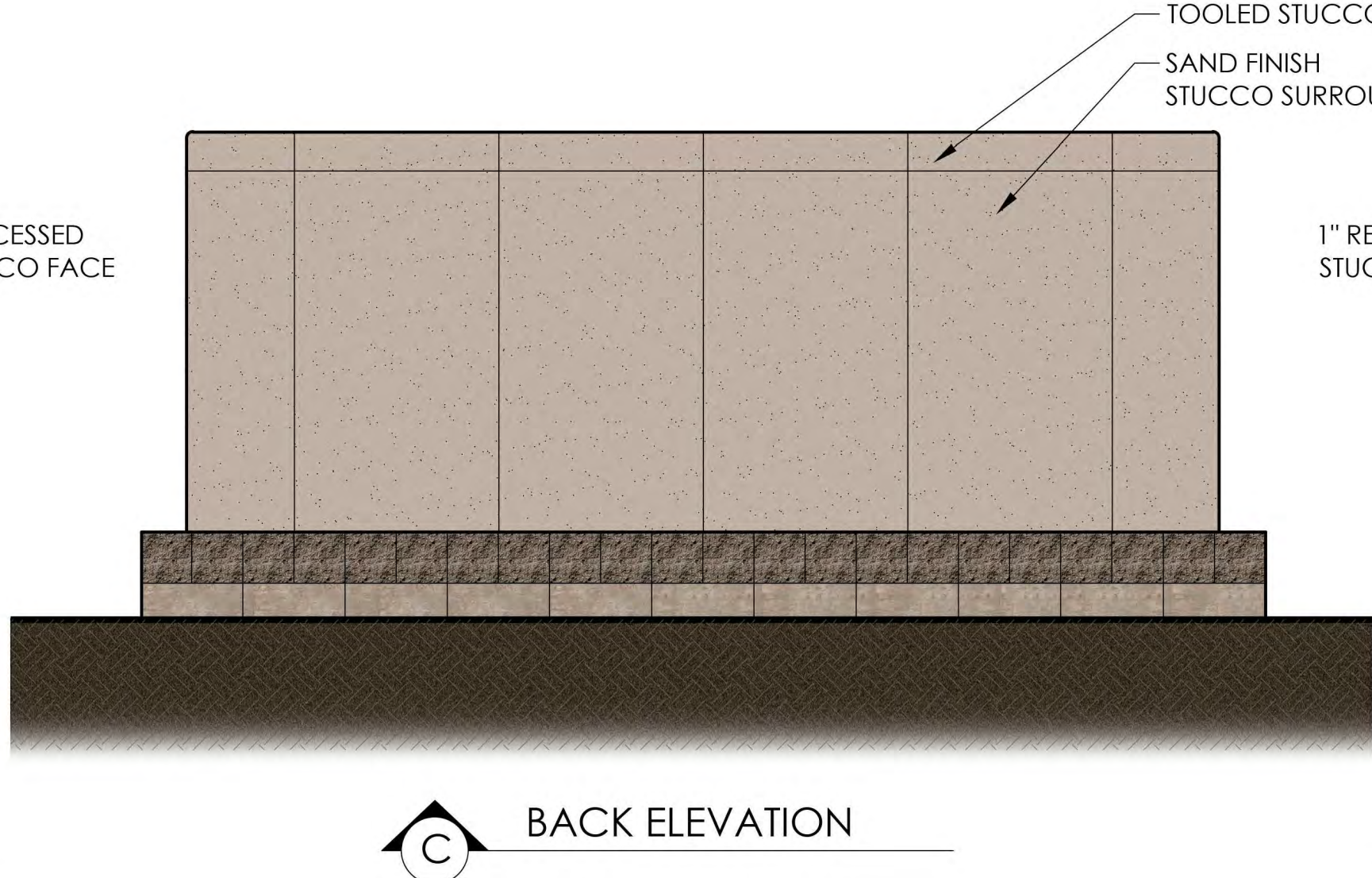
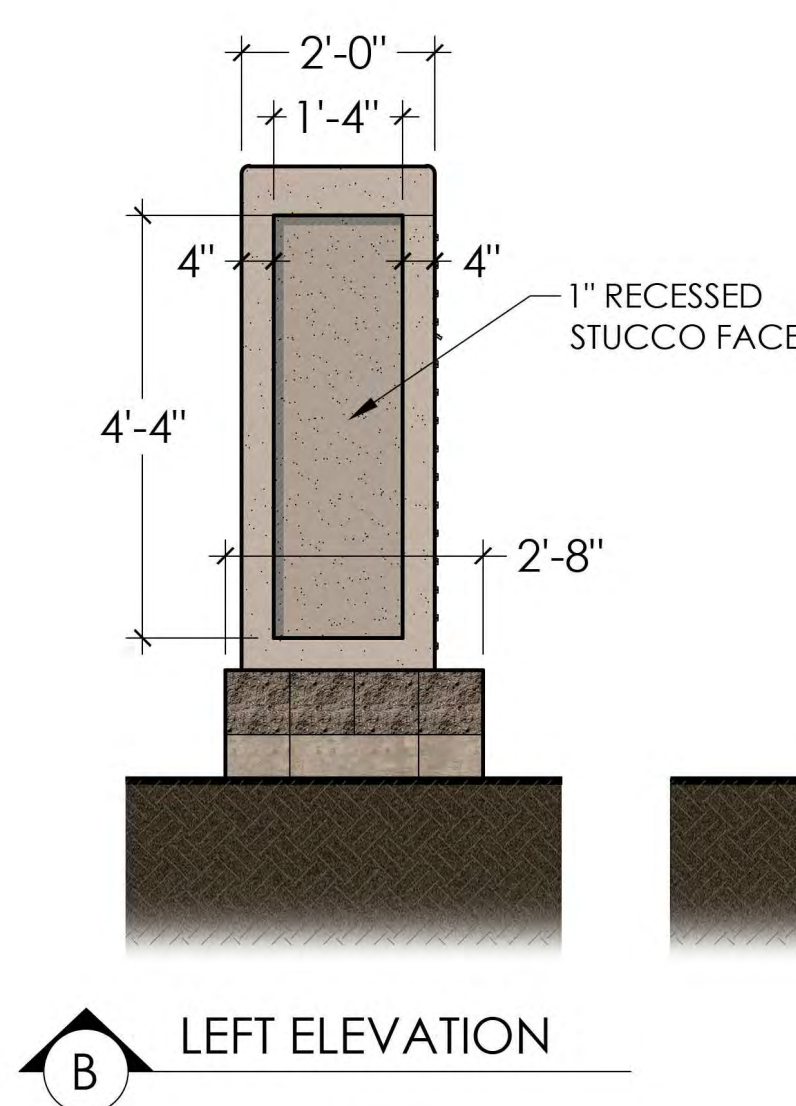
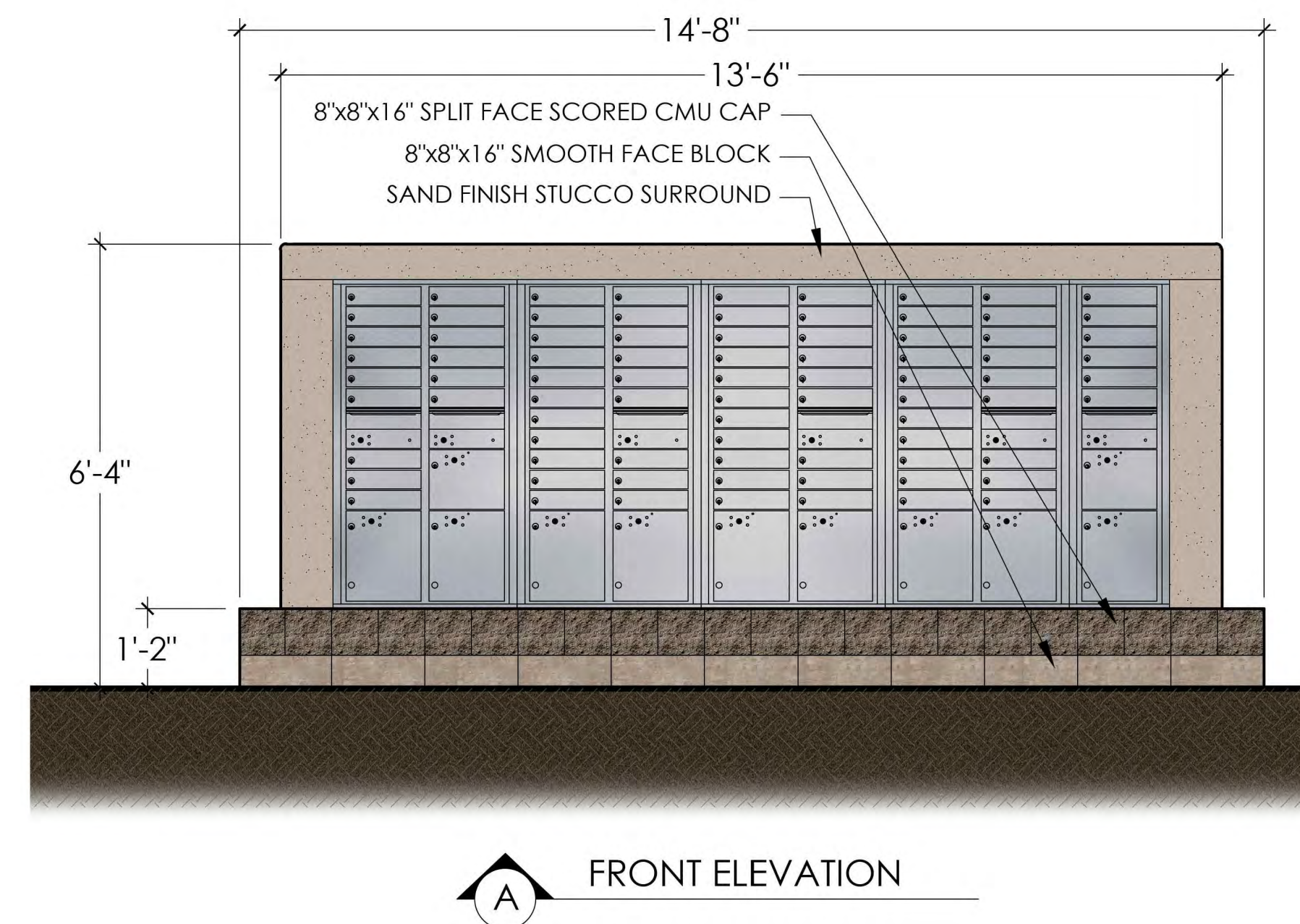


- MAILBOX MODULE NOTES:
1. VERSATILE™ 4C MAILBOX FRONT LOAD ALUMINUM CABINETS.
 2. POWDERCOAT FINISH: TO BE DETERMINED.
 3. LOCKS: 5-PIN CAM TYPE LOCKS W/3 KEYS EACH.
 4. DOOR ID: ENGRAVED
 5. MATCHING STANDARD ATTACHED TRIM
 6. USPS REGULATIONS STATE THAT MAILBOX DOOR IDENTIFICATION SHOULD RUN CONSECUTIVELY TOP TO BOTTOM BEGINNING IN THE UPPER LEFT CORNER. EXCEPTIONS MAY BE MADE TO ACCOMMODATE A PORTION OF THE BOXES ALLOCATED TO COMPLY WITH ADA REQUIREMENTS. ALL DOOR IDENTIFICATION SHOULD BE APPROVED BY THE LOCAL SERVICING POSTAL SERVICE.

- CONSTRUCTION NOTES:
1. ALL COLORS AND FINISHES TO MATCH MONUMENT SIGN, TYP.
 2. REFER TO STRUCTURAL ENGINEERING CONSTRUCTION PLANS FOR REINFORCEMENT METHODS.
 3. CONTRACTOR TO FIELD DESIGN FRAMING AND ATTACHMENTS PER MANUFACTURERS SPECIFICATIONS.
 4. CONTRACTOR IS TO VERIFY THERE ARE NO CONFLICTS WITH UTILITIES OR ENCROACHMENT OF FOOTINGS INTO THE PUBLIC RIGHT OF WAY OR P.U.E. WHEN LOCATING KIOSK.
 5. REFERENCE EXTERIOR SYSTEMS SHOP DRAWINGS FOR INFORMATION ON MAILBOX CABINET MODEL, SPECIFICATIONS, INSTALLATION METHODS AND METAL FINISH COLORS.



NOTE:
MAILBOX UNIT BELOW ASSUMES (+/-) 81 LOTS ARE TO BE SERVICED BY SINGLE MAILBOX KIOSK LOCATION



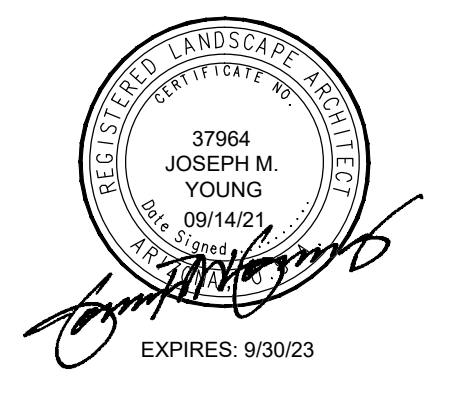
NOTE:
MAILBOX KIOSK LOCATION PROPOSED WITHIN DEVELOPMENT IS SUBJECT TO CHANGE BY U.S.P.S. POSTMASTER REVIEW

1 MAILBOX KIOSK
HS1.5

SCALE: 3/8" = 1'-0"

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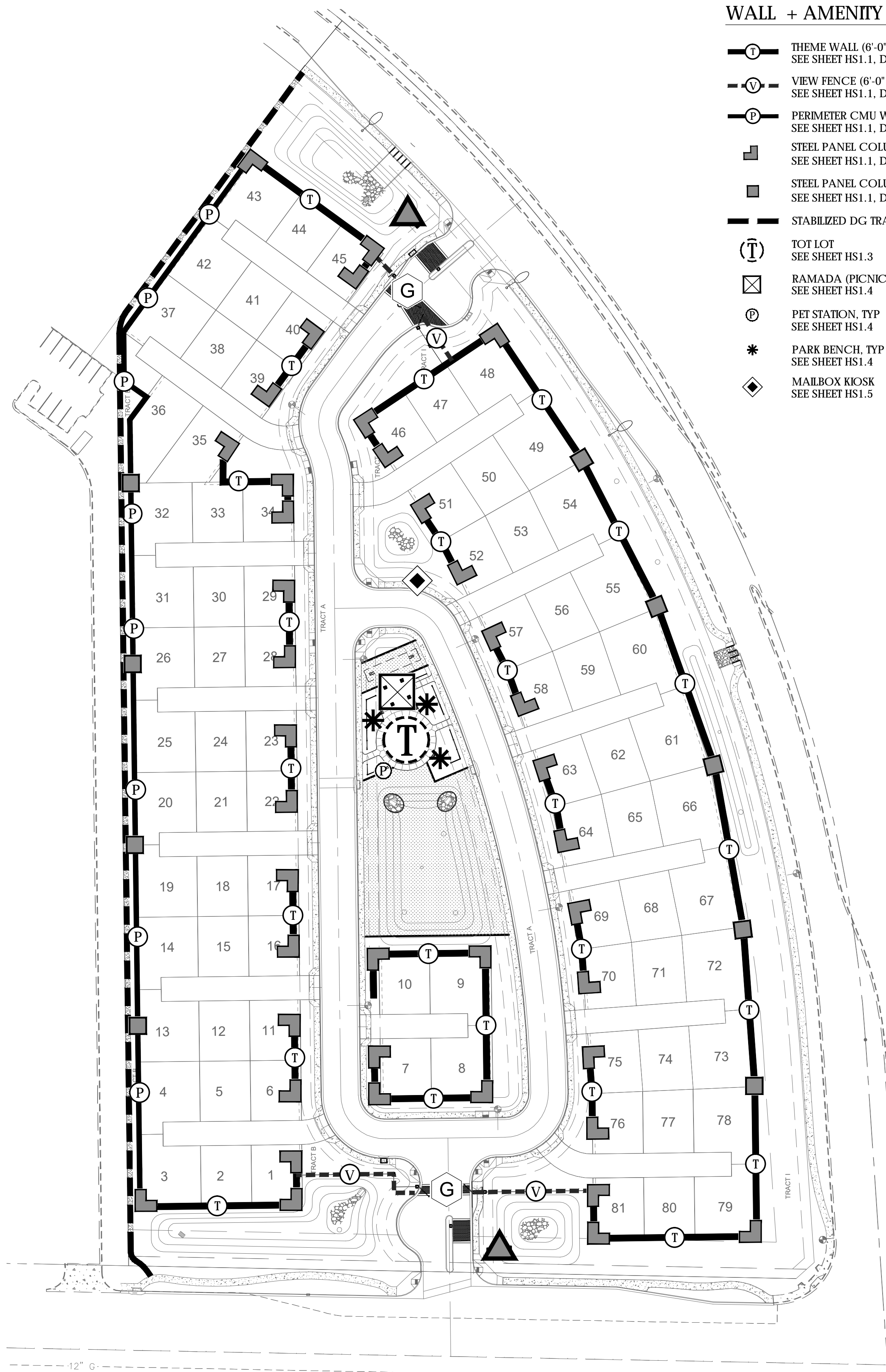
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REVISIONS:	DATE:
CITY	07/30/21
CITY	09/14/21

SUBMITTED FOR:
PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
HS1.5
10 OF 10

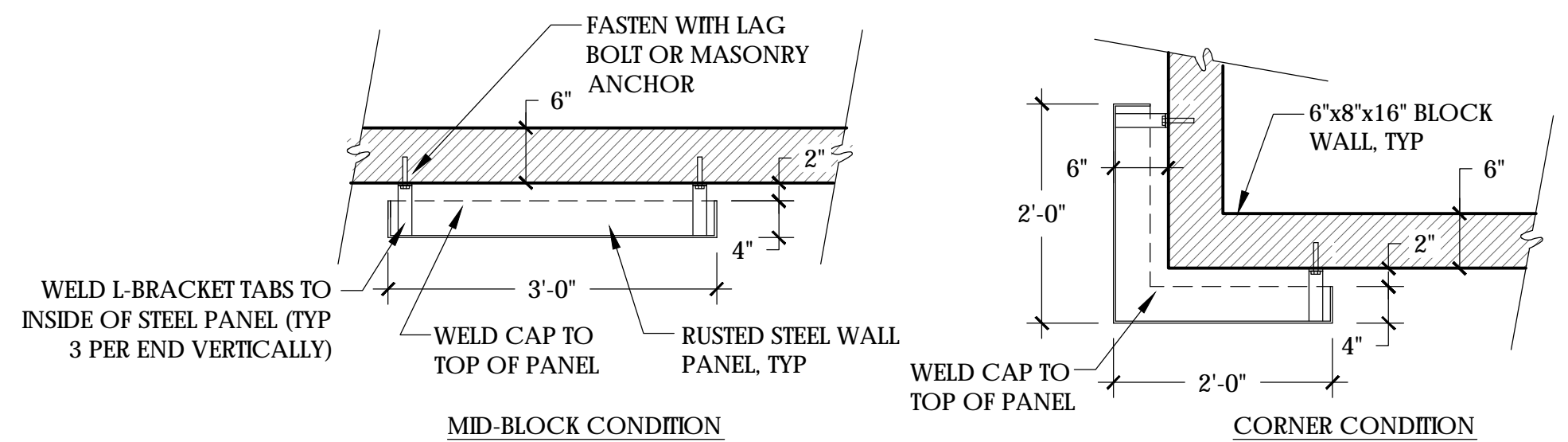
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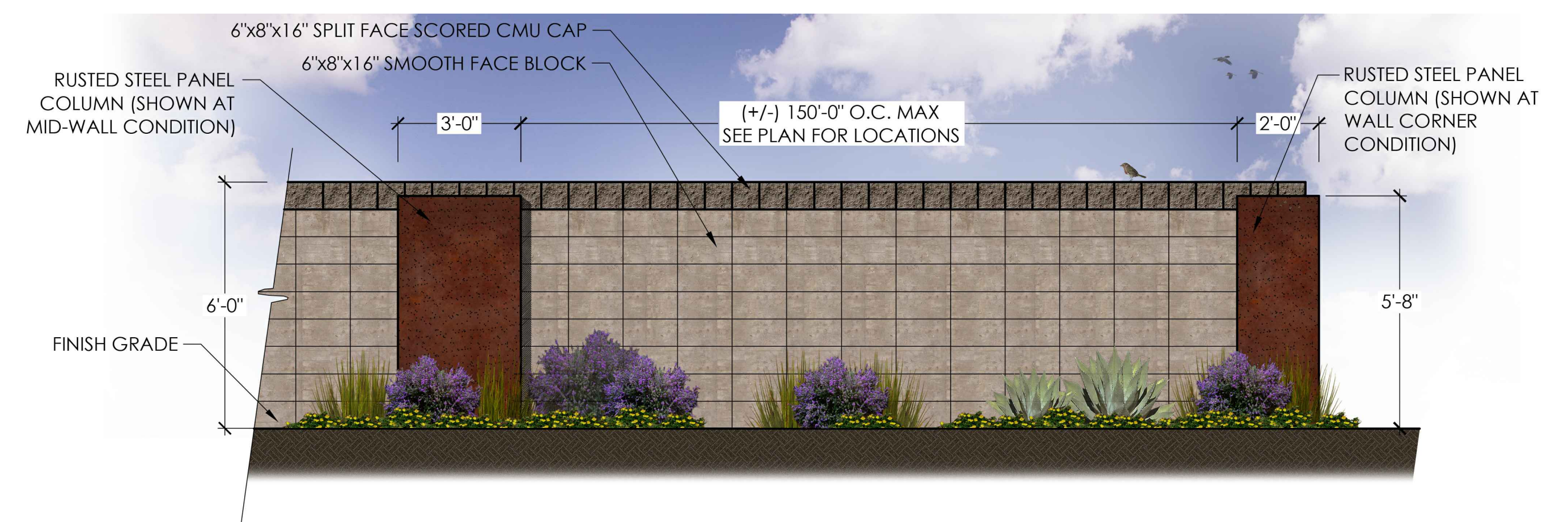
WALL + AMENITY SCHEDULE

- T** THEME WALL (6'-0" HT)
SEE SHEET HS1.1, DETAIL 1
- V** VIEW FENCE (6'-0" HT)
SEE SHEET HS1.1, DETAIL 2
- P** PERIMETER CMU WALL (6'-0")
SEE SHEET HS1.1, DETAIL 3
- G** STEEL PANEL COLUMN AT WALL CORNER
SEE SHEET HS1.1, DETAIL 1
- STEEL PANEL COLUMN AT MID-WALL
SEE SHEET HS1.1, DETAIL 1
- STABILIZED DG TRAIL (CONTRASTING COLOR DG)
- T** TOT LOT
SEE SHEET HS1.3
- ⊠** RAMADA (PICNIC TABLE + TRASH CAN)
SEE SHEET HS1.4
- P** PET STATION, TYP
SEE SHEET HS1.4
- *** PARK BENCH, TYP
SEE SHEET HS1.4
- ◆** MAILBOX KIOSK
SEE SHEET HS1.5

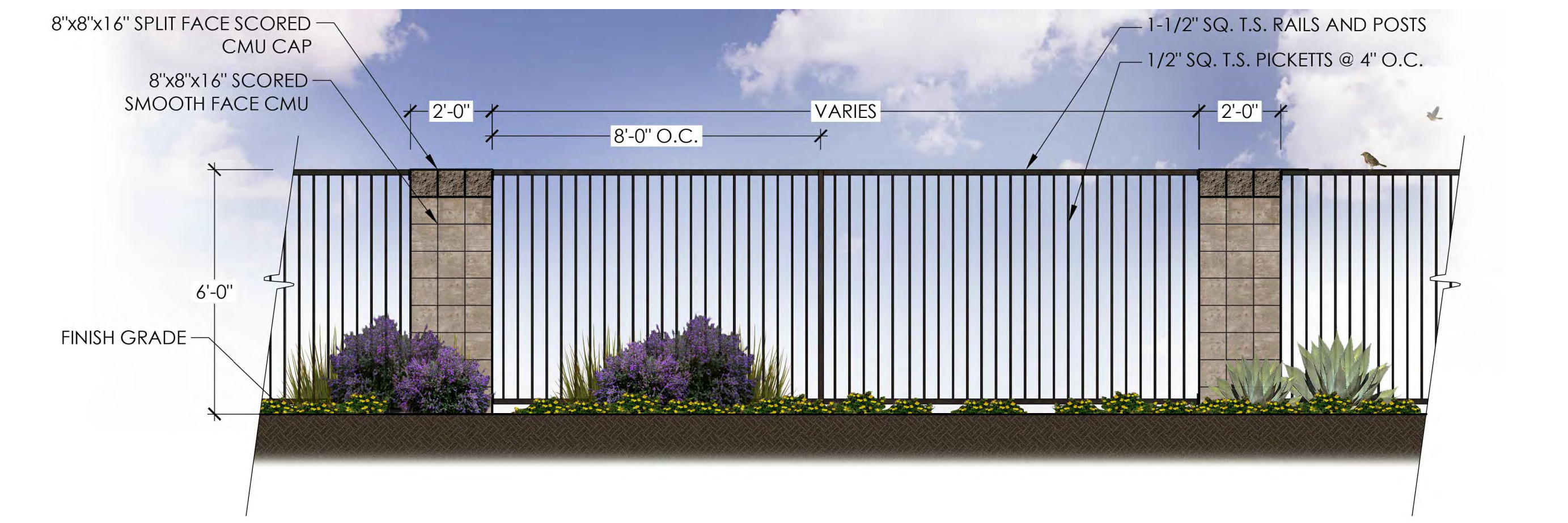
WALL + AMENITY PLAN SCALE: 1" = 60'-0" 0' 50' 100'



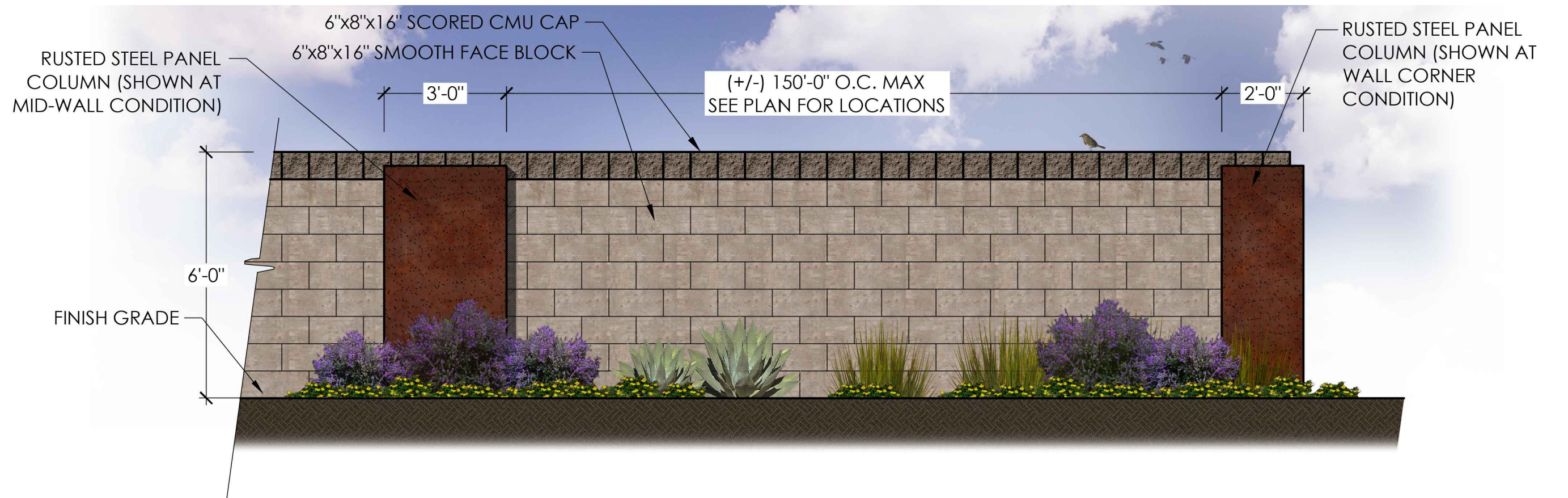
STEEL PANEL ATTACHMENT, TYP (PLAN VIEW) N.T.S.



1 **THEME WALL WITH STEEL PANEL COLUMNS** SCALE: 3/8" = 1'-0"

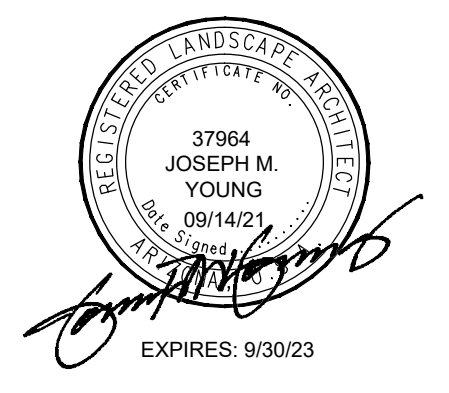


2 **VIEW FENCE WITH COLUMNS** SCALE: 3/8" = 1'-0"



3 **PERIMETER CMU WALL WITH STEEL PANEL COLUMNS** SCALE: 3/8" = 1'-0"

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RITTENHOUSE COMMONS
N.W.C. RITTENHOUSE + GERMANN
QUEEN CREEK | AZ

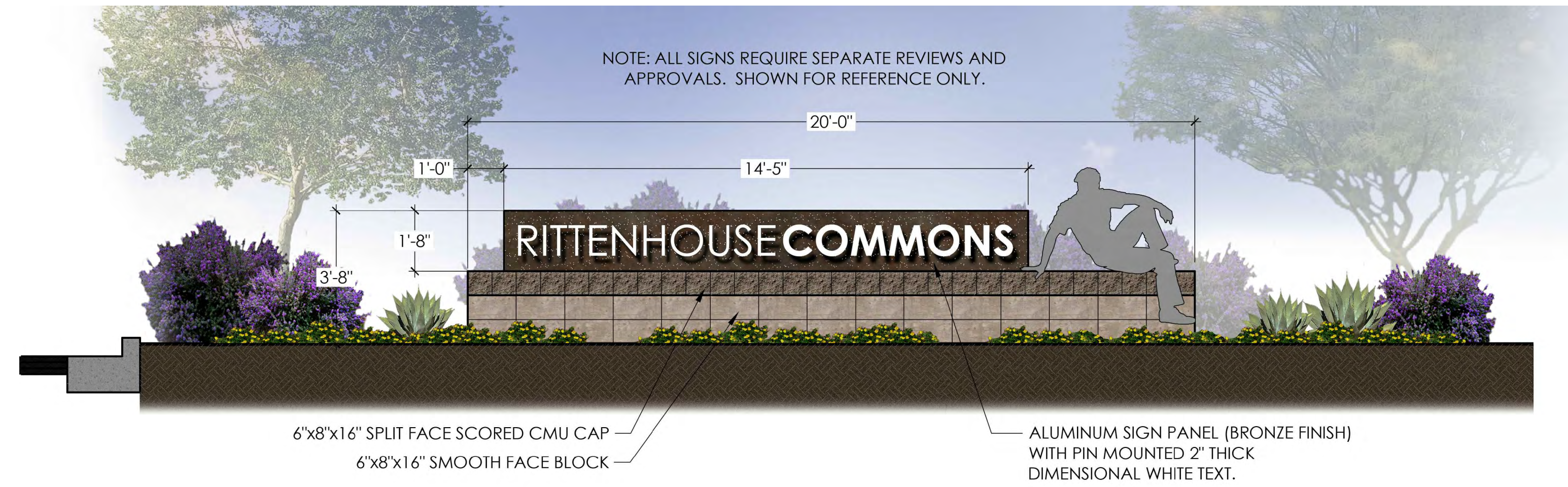
DATE:	04/14/21
JOB NO.:	2018
DRAWN BY:	YDG
CHECKED BY:	JMY
REVISIONS:	DATE:
CITY:	07/30/21
CITY:	09/14/21

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
HS1.1
6 OF 10

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TRACKING NUMBERS:



1 MONUMENT SIGN
HS1.2

SCALE: 3/8" = 1'-0"

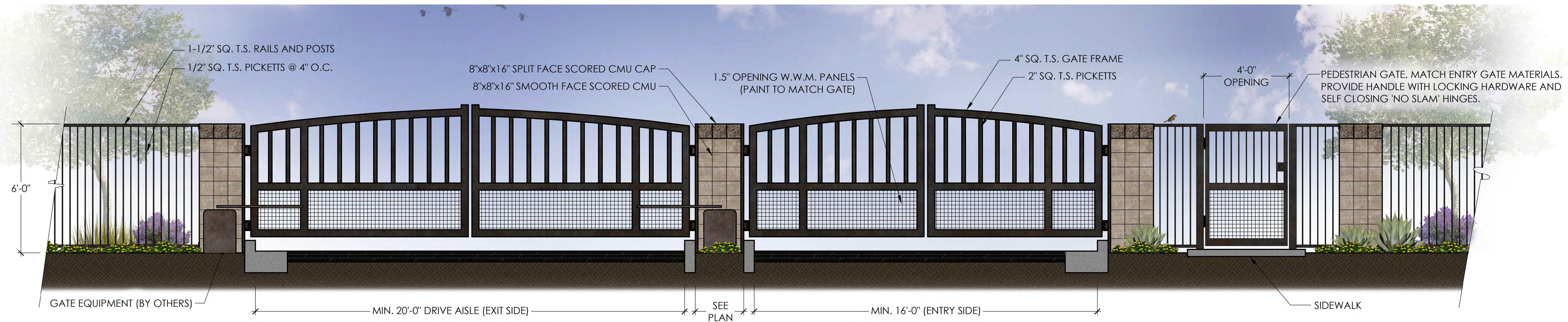
WALL COLORS



ACCENT BANDS / RAMADA POST BASES:
DUNN EDWARDS 'BARREL STOVE'
DE-6216



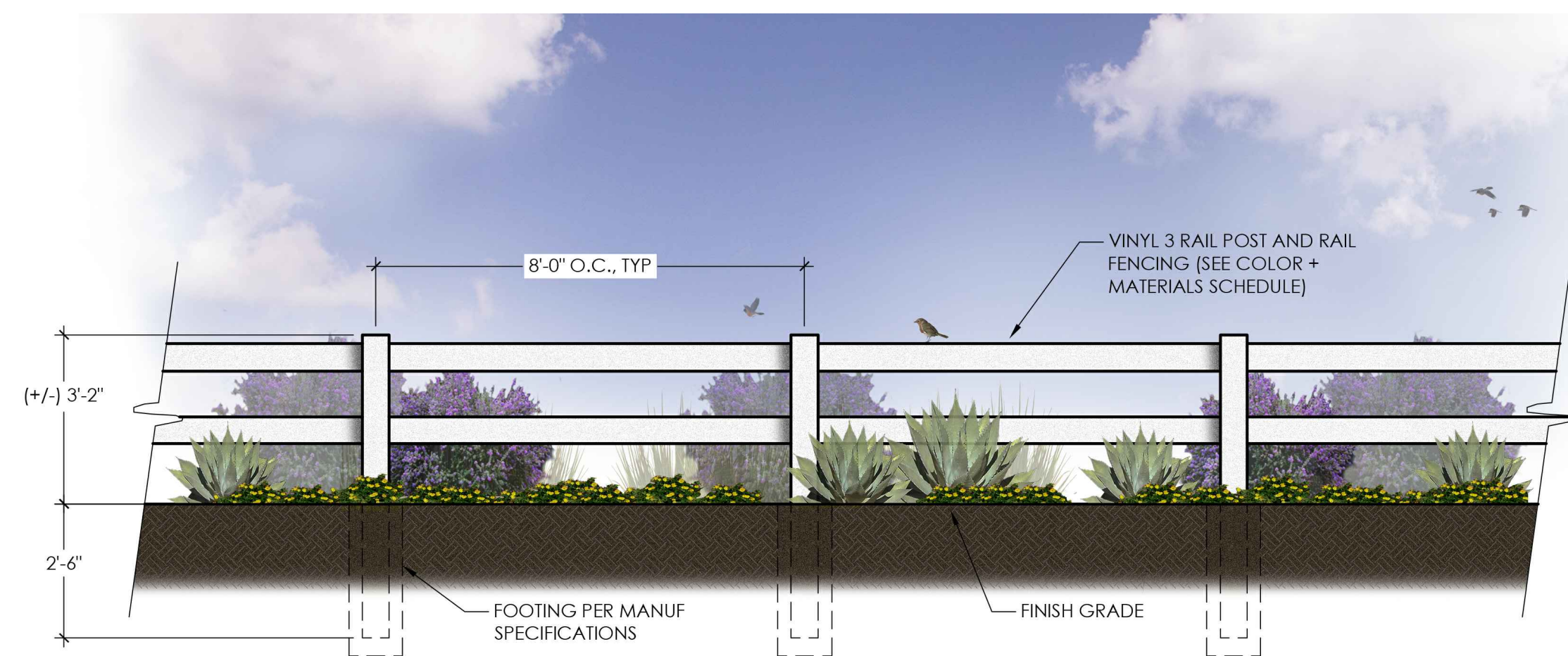
WALL, COLUMN + SIGN BASE BODY:
DUNN EDWARDS 'PIGEON GRAY'
DE-6214



2 ENTRY GATES
HS1.2

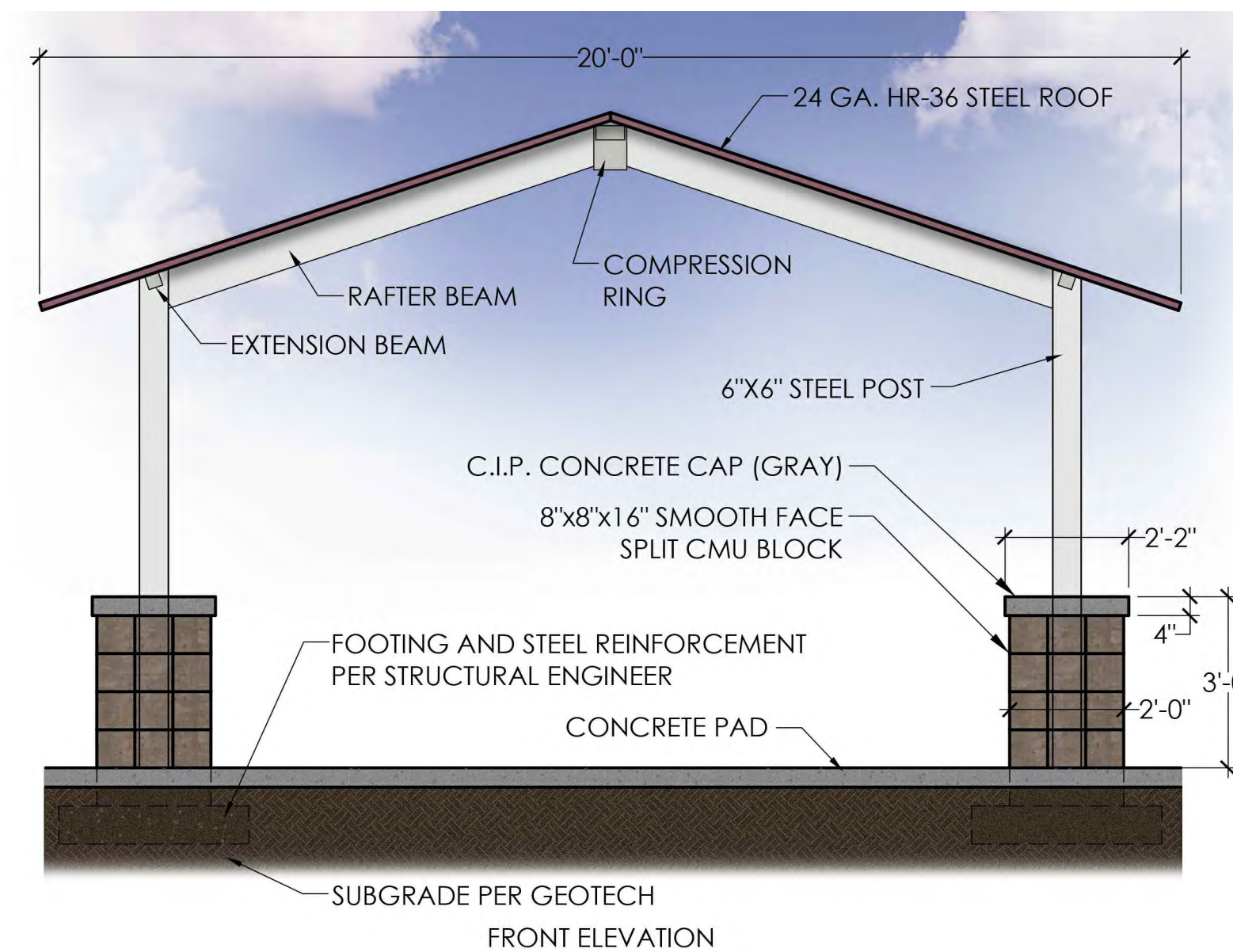
NOTE: PER QUEEN CREEK REQUIREMENTS, AUTOMATIC GATES SHALL BE EQUIPPED WITH DUAL HEAD PREEMPTION RECEIVERS AND KNOX KEY SWITCHES (BY GATE FABRICATOR).

SCALE: 3/8" = 1'-0"

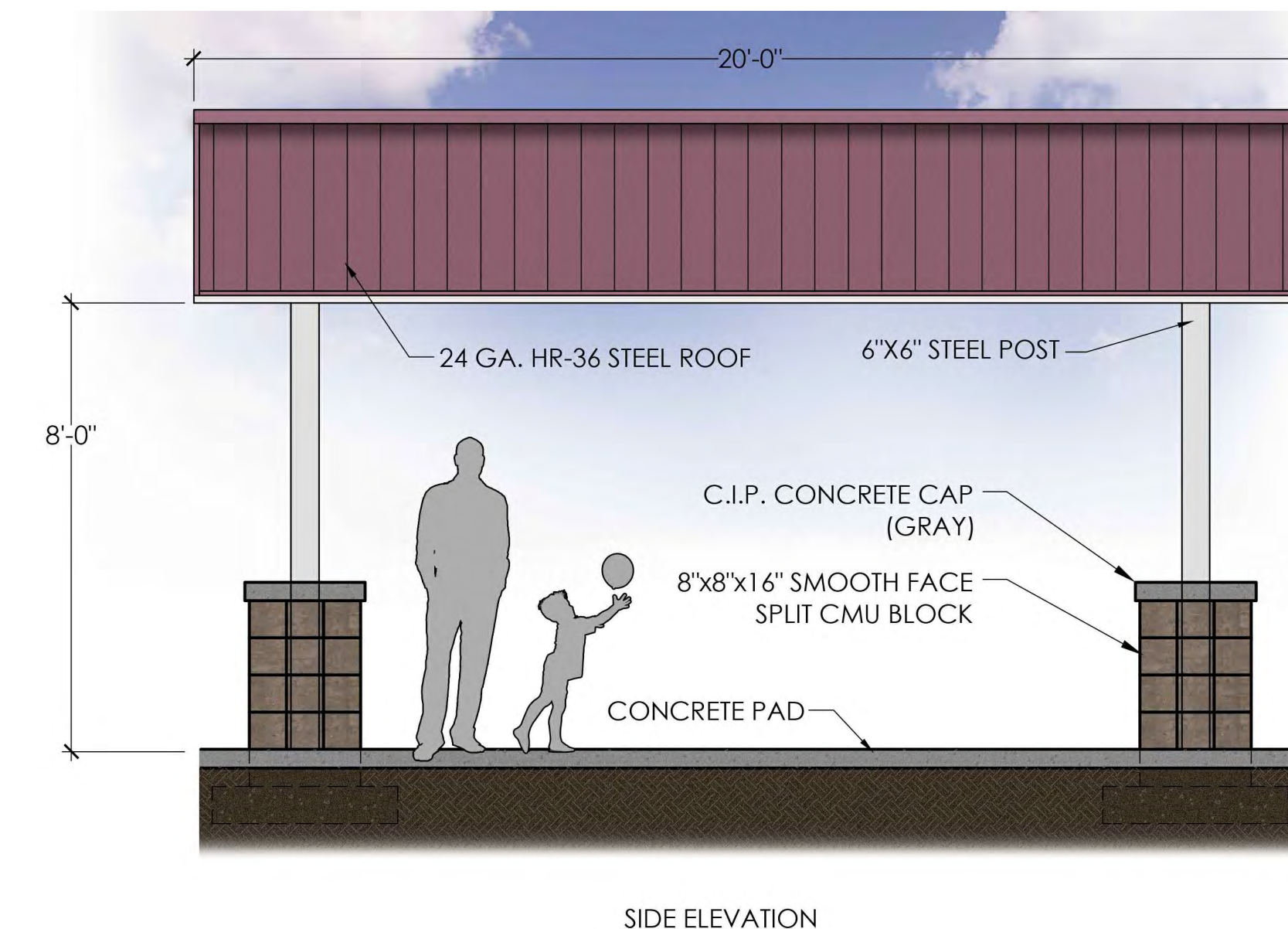


3 POST + RAIL FENCING
HS1.2

SCALE: 3/8" = 1'-0"



4 RAMADA
HS1.2



SCALE: 3/8" = 1'-0"

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suite 8
scottsdale, arizona 85251
tel. 480.257.3312



RITTENHOUSE COMMONS
N.W.C. RITTENHOUSE + GERMANN
QUEEN CREEK | AZ

DATE:	04/14/21
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PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.

HS1.2

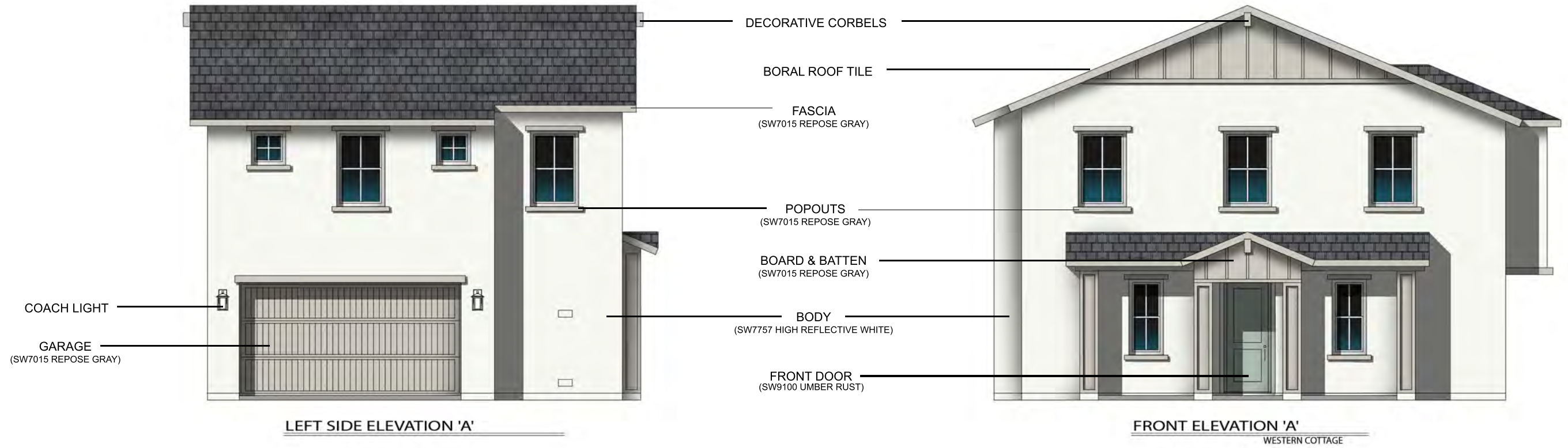
7 OF 10

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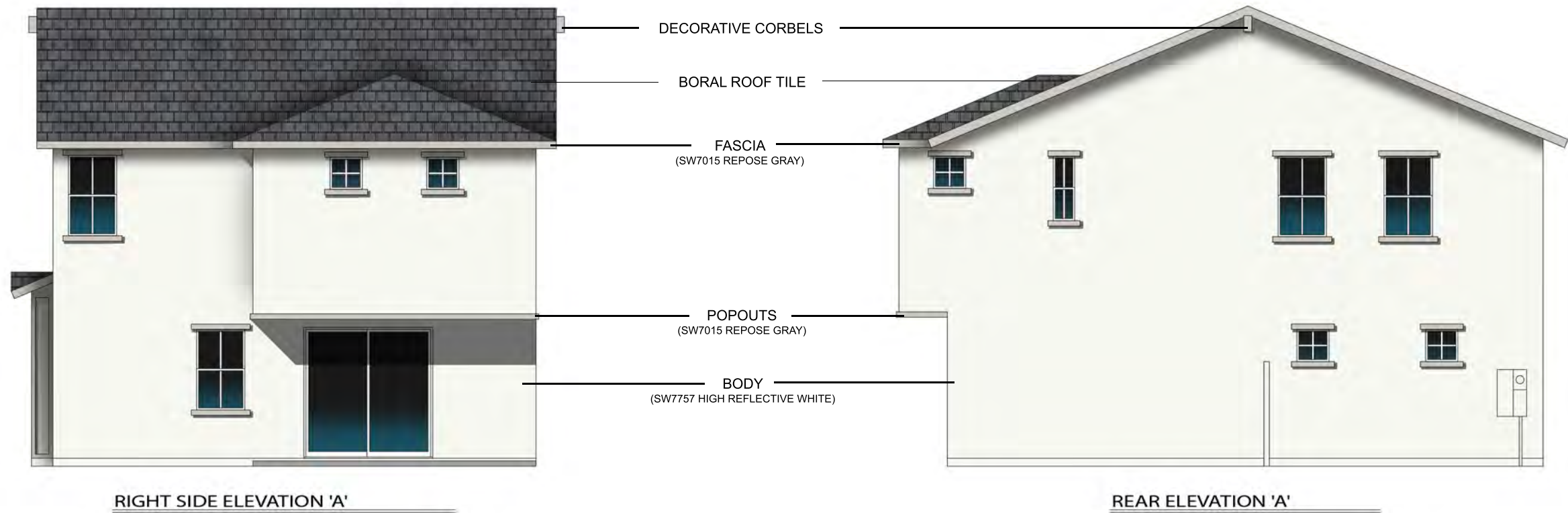






LEFT SIDE ELEVATION 'A'

FRONT ELEVATION 'A'
WESTERN COTTAGE



RIGHT SIDE ELEVATION 'A'

REAR ELEVATION 'A'

PLAN 1710
CADENCE PARCEL J



LEFT SIDE ELEVATION 'B'



FRONT ELEVATION 'B'
WESTERN REGIONAL FARMHOUSE



RIGHT SIDE ELEVATION 'B'



REAR ELEVATION 'B'

- BORAL ROOF TILE
- DECORATIVE CORBELS
- FASCIA (SW7757 HIGH REFLECTIVE WHITE)
- POPOUTS (SW7757 HIGH REFLECTIVE WHITE)
- BODY (SW7757 HIGH REFLECTIVE WHITE)
- FRONT DOOR (SW6258 TRICORN BLACK)
- COACH LIGHT
- GARAGE (SW6258 TRICORN BLACK)
- DECORATIVE SHUTTERS
- CORONADO BRICK (WOLF GREY)

DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA (SW7757 HIGH REFLECTIVE WHITE)

POPOUTS (SW7757 HIGH REFLECTIVE WHITE)

BODY (SW7757 HIGH REFLECTIVE WHITE)

CORONADO BRICK (WOLF GREY)



LEFT SIDE ELEVATION 'C'

COACH LIGHT
GARAGE
(SW7757 HIGH REFLECTIVE WHITE)

DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

WOOD POST

BODY
(SW7647 CRUSHED ICE)

FRONT DOOR
(SW9141 WATERLOO)



FRONT ELEVATION 'C'

TERRITORIAL RANCH

DECORATIVE SHUTTERS
METAL RAILING
CORONADO BRICK
(WOLF GREY)



RIGHT SIDE ELEVATION 'C'

WOOD POST
CORONADO BRICK
(WOLF GREY)

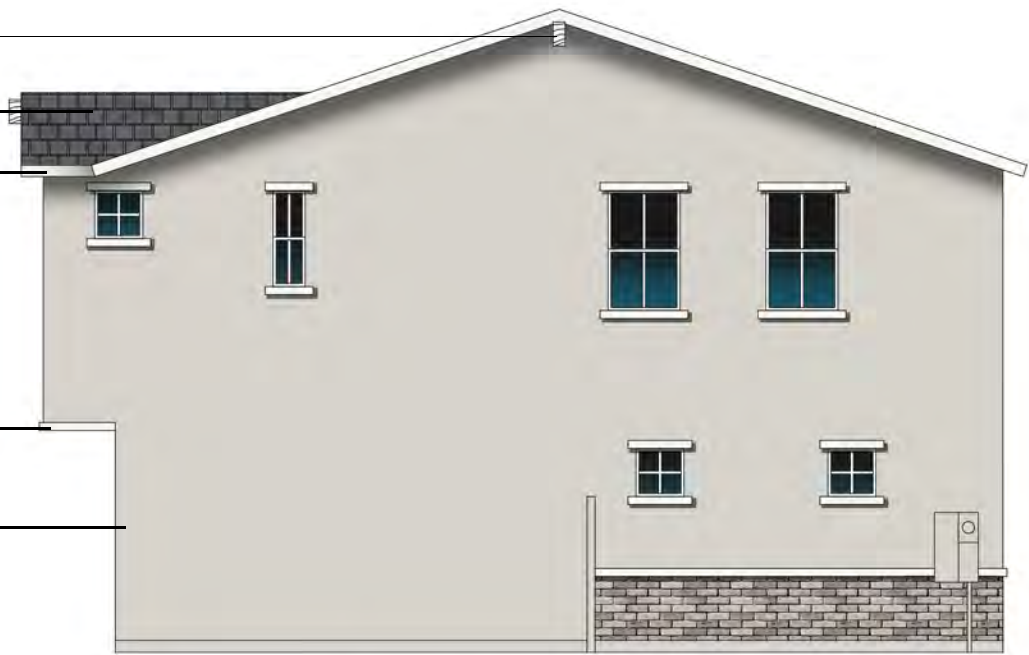
DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7647 CRUSHED ICE)



REAR ELEVATION 'C'

PLAN 1710
CADENCE PARCEL J



LEFT SIDE ELEVATION 'A'

WOOD POST

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7045 INTELLECTUAL GRAY)

BOARD & BATTEN

FRONT DOOR
(SW6258 TRICORN BLACK)



FRONT ELEVATION 'A'

WESTERN COTTAGE

DECORATIVE SHUTTERS

GARAGE
(SW7757 HIGH REFLECTIVE WHITE)

CORONADO BRICK
(WOLF GREY)



RIGHT SIDE ELEVATION 'A'

CORONADO BRICK
(WOLF GREY)

BORAL ROOF TILE

FASCIA
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7757 HIGH REFLECTIVE WHITE)

BODY
(SW7045 INTELLECTUAL GRAY)

WOOD POST



REAR ELEVATION 'A'

PLAN 1800
CADENCE PARCEL J



LEFT SIDE ELEVATION 'B'

WOOD POST

DECORATIVE CORBELS

BORAL ROOF TILE

FASCIA
(SW9166 DRIFT OF MIST)

POPOUTS
(SW9166 DRIFT OF MIST)

BODY
(SW7030 ANEW GRAY)

DECORATIVE SHUTTERS

FRONT DOOR
(SW9141 WATERLOO)



FRONT ELEVATION 'B'

CRAFTSMAN

SHAKE SIDING

COACH LIGHT

GARAGE
(SW9166 DRIFT OF MIST)

CORONADO BRICK
(WOLF GREY)

PLAN 1800

CADENCE PARCEL J



RIGHT SIDE ELEVATION 'B'

CORONADO BRICK
(WOLF GREY)

DECORATIVE CORBELS

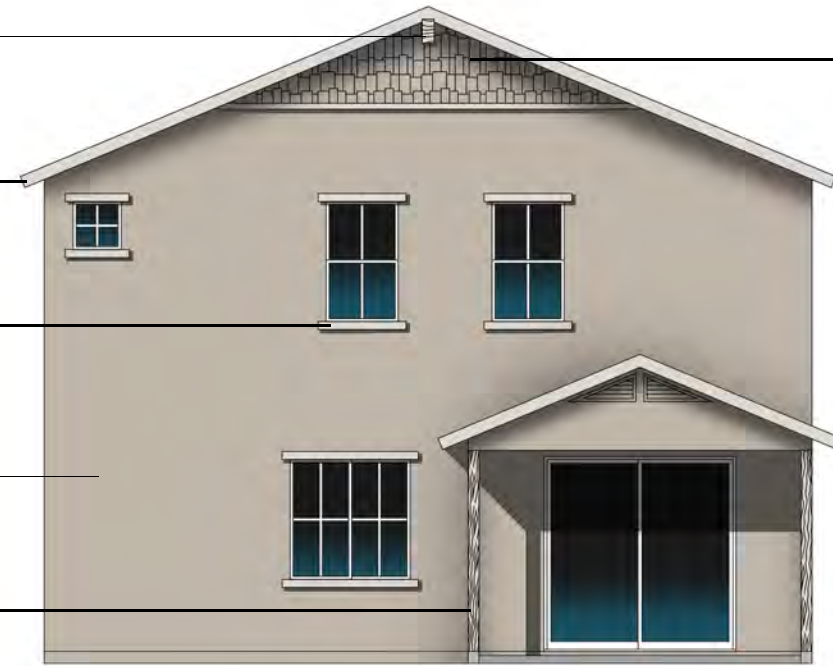
BORAL ROOF TILE

FASCIA
(SW9166 DRIFT OF MIST)

POPOUTS
(SW9166 DRIFT OF MIST)

BODY
(SW7030 ANEW GRAY)

WOOD POST



REAR ELEVATION 'B'

SHAKE SIDING



LEFT SIDE ELEVATION 'C'

BORAL ROOF TILE

DECORATIVE CORBELS

FASCIA
(SW757 HIGH REFLECTIVE WHITE)

BODY
(SW7015 REPOSE GRAY)

POPOUTS
(SW757 HIGH REFLECTIVE WHITE)

WOOD POST

FRONT DOOR
(SW6258 TRICORN BLACK)



FRONT ELEVATION 'C'

TERRITORIAL RANCH

COACH LIGHT

GARAGE
(SW6258 TRICORN BLACK)

CORONADO BRICK
(WOLF GREY)



RIGHT SIDE ELEVATION 'C'

DECORATIVE CORBELS

CORONADO BRICK
(WOLF GREY)

BORAL ROOF TILE

FASCIA
(SW757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW757 HIGH REFLECTIVE WHITE)

BODY
(SW7015 REPOSE GRAY)

WOOD POST



REAR ELEVATION 'C'

PLAN 1800
CADENCE PARCEL J



LEFT SIDE ELEVATION 'A'

- BORAL ROOF TILE
- FASCIA (SW7757 HIGH REFLECTIVE WHITE)
- POPOUTS (SW7757 HIGH REFLECTIVE WHITE)
- BOARD & BATTEN
- BODY (SW7757 HIGH REFLECTIVE WHITE)
- FRONT DOOR (SW6258 TRICORN BLACK)



FRONT ELEVATION 'A'

WESTERN COTTAGE

GARAGE (SW6258 TRICORN BLACK)

- DECORATIVE SHUTTERS
- COACH LIGHT
- CORONADO BRICK (WOLF GREY)



RIGHT SIDE ELEVATION 'A'

CORONADO BRICK (WOLF GREY)

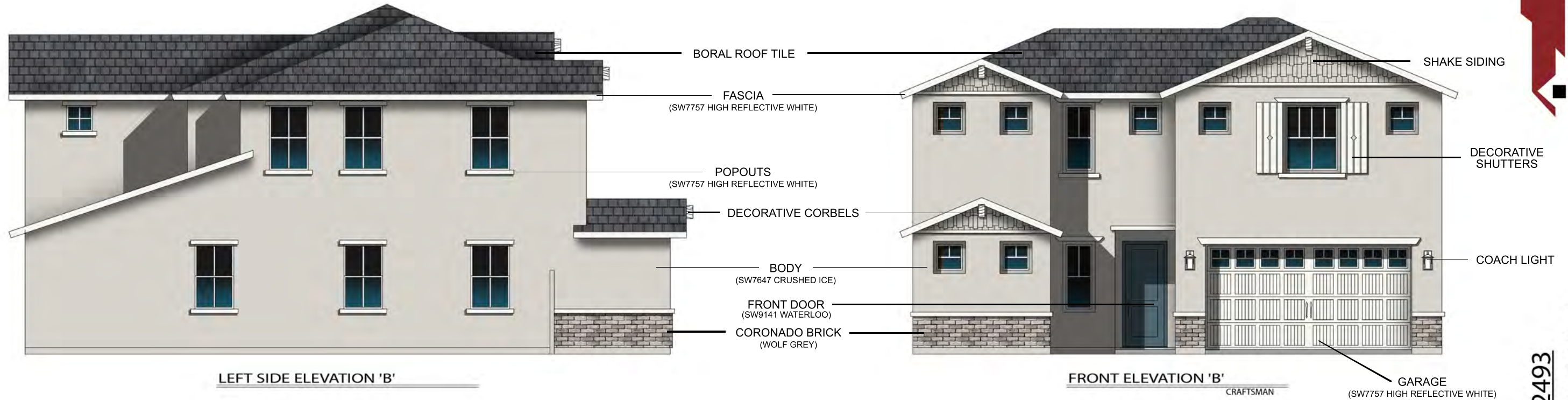
- BORAL ROOF TILE
- FASCIA (SW7757 HIGH REFLECTIVE WHITE)
- BODY (SW7757 HIGH REFLECTIVE WHITE)
- POPOUTS (SW7757 HIGH REFLECTIVE WHITE)



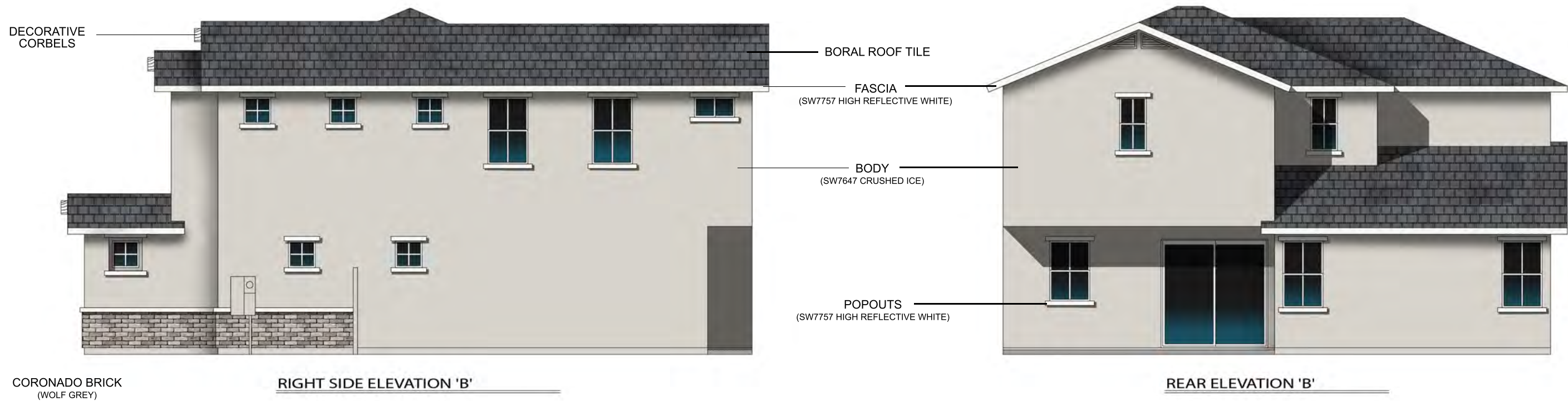
REAR ELEVATION 'A'

PLAN 2493

CADENCE PARCEL J



PLAN 2493
CADENCE PARCEL J





LEFT SIDE ELEVATION 'C'

BORAL ROOF TILE

FASCIA
(SW7015 REPOSE GRAY)

POPOUTS
(SW7015 REPOSE GRAY)

BODY
(SW7757 HIGH REFLECTIVE WHITE)

FRONT DOOR
(SW6212 QUIETUDE)

CORONADO BRICK
(WOLF GREY)



FRONT ELEVATION 'C'

TERRITORIAL RANCH

DECORATIVE CORBELS

DECORATIVE SHUTTERS

COACH LIGHT

GARAGE
(SW7015 REPOSE GRAY)



CORONADO BRICK
(WOLF GREY)

RIGHT SIDE ELEVATION 'C'

BORAL ROOF TILE

FASCIA
(SW7015 REPOSE GRAY)

BODY
(SW7757 HIGH REFLECTIVE WHITE)

POPOUTS
(SW7015 REPOSE GRAY)



REAR ELEVATION 'C'

PLAN 2493
CADENCE PARCEL J

PAD Rezoning & Preliminary Plat

For

Rittenhouse Commons

NWC OF RITTENHOUSE AND GERMANN ROADS

P21-0121 & P21-0122

ARCUS

Submitted on Behalf of:

ARCUS PRIVATE CAPITAL SOLUTIONS

4915 East Baseline Road, Suite 150

Gilbert, AZ 85234

Submitted to:

TOWN of QUEEN CREEK

22358 South Ellsworth Road

Queen Creek, AZ 85242

Prepared by:

IPLAN CONSULTING

3317 S. Higley Road, Suite 114-622

Gilbert, AZ 85297

Prepared: April 2021

Revised: August 2021

DEVELOPMENT ADVISORS



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Request:

This narrative accompanies a concurrent request for Rezoning and Preliminary Plat review for the approximately 12 acres of vacant land located at the northwest corner of Rittenhouse and Germann Roads in northwest Queen Creek. The existing zoning of the property is R1-43 and is proposed to be changed to Medium Density Residential (MDR) which is compatible with the Town's General Plan land use classification of Neighborhood. Due to the unique nature of the product, we are requesting a Planned Area Development (PAD) overlay for the project to accommodate two development standard deviations.

A total of 81 lots are proposed which equates to 6.5 units per gross acre or 8.1 units per net acre, both of which are compliant with the Town's regulations. A total of 3.3 acres of community open space are proposed which is 33% of the net site area, exceeding the Town's requirement of 20% open space area.

LAND USE TABLE

Gross Site Area:	12.5 acres
Net Site Area:	10.0 acres
Existing Zoning:	R1-43
Proposed Zoning:	MDR with PAD overlay
Proposed Lots:	81
Gross Density:	6.5 DU/acre
Net Density:	8.1 DU/acre
Proposed Open Space:	3.3 acres (33% of net area)

Project Site and Surrounding Properties:

The subject property fronts onto Rittenhouse Road to the north with the Abel-Moody transmission easement and the Union Pacific Railroad beyond. Further to the north is vacant industrial land governed by the Town of Mesa. Rittenhouse Road also comprises the east boundary with vacant land across the street. Germann Road borders the south side of the site with an LDS church use comprising most of the opposite side street frontage with a small portion of frontage for a MDR zoned neighborhood of Cortina. Lastly, to the west is the Ben Franklin Academy charter school.

Site Aerial



ADJACENT LAND USE TABLE

Direction	General Plan Classification	Zoning	Existing Use
<i>On-Site</i>	Neighborhood	MDR (proposed)	Vacant
<i>North</i>	Industrial (Mesa)	GI (Mesa)	UPRR/FCD
<i>East</i>	Neighborhood	R1-43	Vacant
<i>South</i>	Neighborhood	C-1 & MDR	Church & SFD
<i>West</i>	Neighborhood	R1-43	Charter School

Project Description:

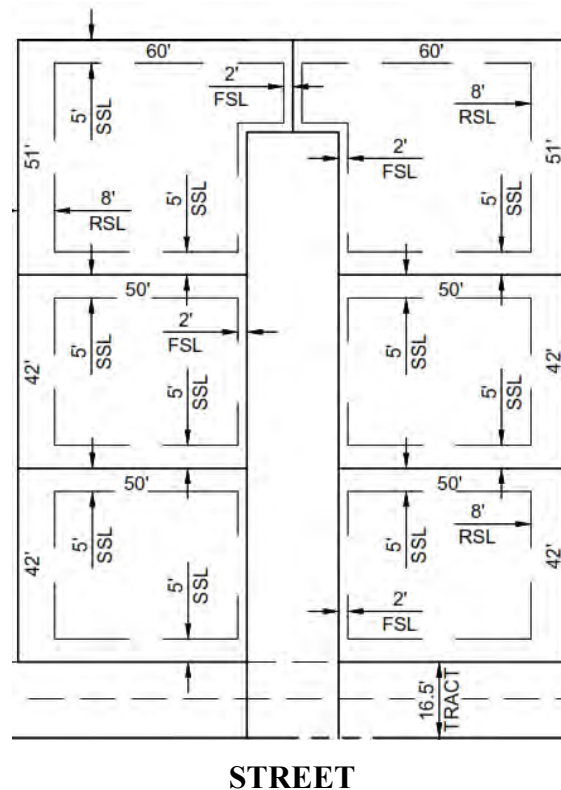
The northwest region of Queen Creek has been growing at a quick pace since 2010. The proximity of this area to the San Tan 202 Freeway, the Phoenix Mesa Gateway Airport (PMGA), ASU East and other college campuses has created demand for a variety of land uses, most of which have been met by the development community. Housing choices, however, have been limited to traditional single-family offerings which have not met the need for this more urban part

of the community. For this reason, we are proposing an alternative housing product that we believe will help meet the housing needs in this area but does so with a product that is complimentary to the traditional single-family neighborhoods in the area.

The proposed product is a single-family detached home on a smaller than typical lot that are grouped in four or six unit “clusters” which share a driveway. Unlike traditional single-family lots that front onto a local street, these homes share a common driveway that provides both vehicular and pedestrian access along what would traditionally be seen as the side yard of the lot. This design basically eliminates the need for each lot to have its own driveway greatly reducing the number of driveways along the loop street which also significantly improves the streetscape by featuring the architecture of the homes instead of driveways and garages.

This shared driveway design does change the traditional concept of the single-family lot and resulting setbacks as the homes no longer “front” onto the local street. The four or six lots now front onto a shared 20-foot-wide driveway which provides vehicular access to all six homes. The middle and back units use the shared driveway for pedestrian access as well while the front two homes will have their front doors facing the street. There is a minimum of 10-feet between the homes on the sides, a minimum of 16-feet separation between the rears, and 20-feet between the fronts of the homes. The details of the lot sizes and setbacks are illustrated below.

Lot Detail



Although the lotting design is different from traditional single-family homes, the design still affords each home a private yard. Yard sizes vary but are a minimum of 600 square feet which will accommodate a range of recreational activities for the residents. Even though each of the 81 homes has a private yard space, the project still proposes over three-acres of community open space which equates to 33% of the net site area, exceeding the Town's requirement by over 50%. The open space is comprised of street side landscape tracts, larger landscaped pockets, and the primary amenity area located in the center of the project. The central park area features a large turf play area, tot lot, climbing boulders, game lawn, ramada, and shaded seating areas.

Central Park



Gated access to the site is proposed both off of Rittenhouse Road and Germann Road. Rittenhouse Road will only permit right-in and right-out access due to an existing median. Germann Road does not currently have a median but since the site is close to the intersection with Rittenhouse therefore, we expect this access will also be limited to right-in and right-out. Interior circulation is proposed as a simple loop street with extensions to the entrances at Rittenhouse and Germann Roads. Since the project is gated, the interior streets are private and are designed to meet the Town's local street standard at 33-feet wide from back of curb to back of curb which allows on-street parking for residents and guests. A street parking exhibit is included in the submittal package and illustrates a minimum of 60 guest parking spaces that do not interfere with the designated refuse areas along the street. The resulting parking count for the project is 2.74 spaces per unit which exceeds both single-family and multi-family parking requirements in the Town Zoning Code.

A preliminary drainage design is included with this submittal package and includes a combination of surface and sub-surface retention elements to accommodate the drainage needs of the project. Two and three foot deep basins are proposed along the exterior street frontages, the project entries, and some of the smaller open space areas within the project. The 3-foot deep primary basin is located in the central open space tract and is augmented by an underground retention facility.

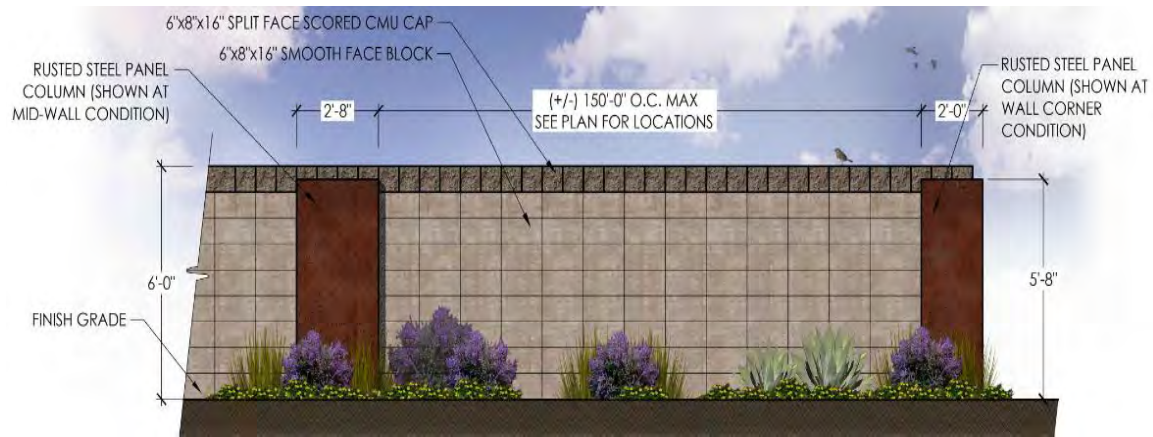
Although Rittenhouse Commons is a small community, the development team has tried to provide a rich tapestry of materials and colors to the landscape and hardscape of the project to reflect the enclave nature of the neighborhood. This theming starts with the majestic wrought iron gates at each entrance which feature mesh screening along the bottom, thick vertical pickets, and a curved frame top. The gates are framed by columns of both smooth and split face CMU that is scored into square blocks. Gates are equipped with dual head preemption receivers and Knox key switches.

Entry Gates



The block worked used on the columns es also utilized on the project walls which include a theme wall design, a view fence design, and a standard wall proposed to separe the project from the school to the west. The theme wall adds rusted steel panels that are attached at every other lot line which equates to approximately every 100-feet.

Theme Wall



The landscape theming of the project reflects a desire to provide a lush, green, and colorful impression at both project entries. This is accomplished with the use of a combination of Red Push Pistache, Acacia, and Fan-Tex Ash trees along with accent shrubs like deer Grass and Valetine Bush, and underlaid by liberal use of lantana of various colors. Landscaping around the primary amenity area is limited to people and pet safe species that are known for their generous provision of shade such as the Ash and oak trees with Deer Grass and Sage accent shrubs. All landscape materials are low water use drought tolerant species proven to thrive in our desert environment.

Zoning:

The proposed product is a single-family detached home but it differs from the traditional single-family detached home in that the lots are clustered so that only two of the six homes in the cluster face the street. Due to the uniqueness of this design, we believe the Medium Density Residential (MDR) zoning district is the closest fit. Even so, we recognize the product does require three deviations to the Town Zoning ordinance, two of which are from the MDR zoning district development standards identified below. These two deviations are necessary since the proposed product features several design differences from the more traditional MDR product types. That said, we believe the deviations are warranted due to the uniqueness of the product type that expands the Town's housing diversity and provides a significantly enhanced streetscape.

Development Standards

MDR Zoning	Code	Proposed
Maximum Lot Coverage:	60% ¹	60% ¹
Maximum Height:	36-feet	36-feet
<u>Minimum Yards</u>		
Front	10-feet	<u>2-feet²</u>
Side	5-feet	5-feet
Rear	10-feet	<u>8-feet</u>

Notes:

1 – Calculated for the overall development site.

2 – For alley access homes. Street fronting end units are a minimum of 20-feet from the street.

Deviations:

As mentioned above, two of the three deviations requested in this PAD application are to deviate from the MDR development standards. The reasons for these two deviations are that the MDR standards were in anticipation of a more traditional street front facing product where you have a traditional front and rear yard, and in that scenario you do want to provide a clear separation between the public space (street and sidewalk) and the private home space. That intent is still met with our product as the street facing units have a front setback of at least 20-feet which is double the Code minimum. It is only the middle and rear units of the cluster where the front yard deviation is needed. Similarly, the 2-foot rear setback deviation is a function of the product which is not traditional but allows a higher density while minimizing the number of driveways, eliminating all garages, and ultimately enhancing the look and feel of the streetscape which we believe is a fair trade-off.

The third deviation is in regard to Table 5.3-1 of the Town Zoning Code which requires a 30-foot landscape setback between a single-family land use (our proposal) and a commercial land use (charter school) which exists along our west boundary. The Code requires that each land use provide 15-feet of the landscape buffer. The charter school has 20-30 feet of landscape on their side of the property line which should allow us to reduce the landscape buffer on our side which is what we are proposing. We are proposing a 10-foot landscape buffer along our shared boundary which will result in a 30–40-foot buffer meeting the intent of the Code. We are also proposing to move our perimeter wall 10-feet into our site (along the lot lines) so we avoid the 10-foot alley with walls on both sides that would otherwise result. We believe that meeting the intent of the buffer by the resulting 30-40 foot landscape area between the two uses and leaving it unencumbered by a wall for aesthetic and safety reasons justifies this deviation.

Zoning Code section 4.11A. establishes the circumstances in which it may be in the Town's best interest to allow unique design and techniques via the Planned Area Development overlay. We believe our proposal meets several of those circumstances in the manner explained below.

Promote the most appropriate use of a parcel.

This well buffered parcel is an excellent opportunity for the Town to develop this parcel to a much higher level of residential use than the existing R1-43 would allow by adding density and an additional housing/lifestyle option for its residents.

Allow diversification of use.

The proposed product has not been built in Queen Creek to our knowledge thus diversifies the Town's housing stock which makes the community more sustainable.

Preserve and utilize open space.

This PAD proposal includes over 30% open space which greatly exceeds the Town's minimum requirement thus adding to the overall open space percentage of the community.

Enhance the neighborhood appearance.

This product was designed to specifically address the number one complaint about higher density single family neighborhoods which was too many driveways and too much garage along the neighborhood streetscape. By clustering the homes we eliminate all front facing garages and greatly reduce the number of driveways, significantly enhancing the neighborhood appearance. The PAD accommodates the few deviations needed for this to occur.

Counteract adverse effects of urbanization.

It is clear to the planning and development community that we need to provide more density and housing types to our communities, but we need to do so in a smart and sensitive manner where we avoid conflicting lifestyles. This product at this location accomplishes those goals thus is a good example of becoming more urban without the adverse impacts of incompatible land uses.

Provide for the unified control of land development.

The parcel is vacant and has been leapfrogged numerous times which leads to urban sprawl. By approving the PAD, this site will develop in a unified manner that is consistent with the Town's General Plan.

Furthermore, we have compared the proposal against the PAD findings of fact listed in Zoning Code section 4.11.E.3. and below are our findings.

1. The project is consistent with and implements the Town of Queen Creek General Plan and the provisions of this ordinance.

This single-family detached project is consistent with the Neighborhood designation of the Queen Creek General Plan and furthers many of the goals and policies of that document.

2. The arrangement of all uses and improvements reflects the natural capabilities and limitations of the site as well as the characteristics and limitations of the adjacent property.

The location, shape, and isolated nature of this parcel makes it a great candidate for the MDR zoning designation and proposed product type as it results in a highly efficient use of the site and that is compatible with the adjacent properties.

3. Development is compatible with the immediate environment of the site and neighborhood relative to architectural design, scale, bulk, and building height; historical character and disposition and orientation of the buildings on the lot.

The site is surrounded by arterial roads on three sides so is somewhat isolated from adjacent uses, but even so, the resulting project will be 81 lots with 2-story single-family detached homes on them which is compatible with the school to the west and the church and homes to the south.

Utilities and Services:

The proposed site for this project should be considered an infill site as much of the land in the area is developed and has been for years. That benefits the project in that all of the required utilities are nearby and the necessary services for the single-family neighborhood are established. Below is a list of those utilities and service providers.

Water/Sewer	Town of Queen Creek
Electric	SRP
Gas	Southwest Gas
Telephone	Century Link / Cox
Cable	Cox Communications
Police/Fire/Medical	Town of Queen Creek
Solid Waste	Town of Queen Creek
Schools	Higley Unified School District

Conclusion:

As the Town of Queen Creek continues to grow, having a diverse housing stock is critical to the sustainability and health of the community. This product type offers an alternative home ownership option for families that may not be able to afford a traditional large lot home or don't want the maintenance associated with a large lot but still want a fully detached home. Furthermore, as this area develops due to the growth of PMGA and the numerous college and university campuses around it, the Town will benefit from being able to offer a greater variety of housing options for future residents. A last point is that this is an infill location that is already served by commercial, employment, and community services thus is ripe for development. We hope the Town agrees and will support the proposal as proposed.



Rittenhouse Commons Neighborhood Meeting Summary:

Queen Creek Community Chambers – September 09, 2021

Attendees:

Applicant: Greg Davis – Iplan Consulting

Town: Stephen Ester

Neighbors: One neighbor – Mr. Justin Cook

Meeting started at approximately 6:05PM.

Mr. Davis explained the purpose of the meeting and introduced the developer team present at the meeting. Mr. Davis then explained the approval processes and the expected timeframes associated with each phase of the process. Mr. Davis then presented the proposal and the rezoning request to Mr. Cook and then asked if he had any questions.

Q: Question

C: Concern

R: Response

Q: What has been looked at in terms of traffic?

R: Mr. Davis explained that a Traffic Study was prepared and submitted to the Town for their review and comment. Mr. Davis also explained that it is the Town Traffic Engineer that will dictate access locations, access restrictions, and any road improvements made necessary by this project.

Q: What about the pedestrian crossing between the school and seminary that was proposed at one time by the Town, School, and Church?

R: Mr. Davis explained he had no knowledge of that but would ask Staff to look into it.

C: I am not opposed to the project if it doesn't worsen the safety for the kids walking to school.

R: Understood. Ultimately it is the Town that will make that determination.

Seeing no other questions or comments, Mr. Davis suggested to Mr. Cook to stay involved in the process and that Mr. Davis would email Mr. Cook a copy of the Traffic Study and the Town Traffic Engineer's contact information. Mr. Davis then adjourned the meeting.

Meeting adjourned at approximately 6:28PM.