

Requesting Department:

Development Services



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

**FROM: Erik Swanson, Planning Administrator
Christine Sheehy, Principal Planner**

**RE: Public Hearing and Possible Action on P20-0141 and P20-0143
Speedway Conditional Use Permit and Site Plan, a request from Todd
Leslie (EPS Group, Inc.) for a Conditional Use Permit (CUP) for fuel sales
and Site Plan approval on approximately 1.80 acres located at the
southwest corner of Empire Blvd. and Ellsworth Road.**

DATE: June 9, 2021

STAFF RECOMMENDATION

Staff recommends approval of P20-0141 and P20-0143 Speedway, subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to approve P20-0141 and P20-0143 Speedway, subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS



Secure Future



Effective Government

SUMMARY

This proposal consists of a request from Todd Leslie (EPS Group, Inc.) for a Conditional Use Permit (CUP) for fuel sales and Site Plan approval on approximately 1.80 acres located at the southwest corner of Empire Blvd. and Ellsworth Road.

HISTORY

August 1, 2018: The Town annexed the property from Pinal County and applied the equivalent zoning of C-2 to the property (Ordinance 672-18).

PROJECT INFORMATION

| | |
|---------------------------|--|
| Project Name: | Speedway |
| Site Location: | Southwest corner of Empire Blvd. and Ellsworth Road |
| Current Zoning: | C-2 (General Commercial District) |
| Proposed Zoning: | No change. Requesting a CUP for fuel sales. |
| General Plan Designation: | Commercial |
| Surrounding Zoning: | |
| North | Empire Blvd. and RU-43 (Maricopa County) |
| South | C-2 (General Commercial) |
| East | Ellsworth Road/Hunt Hwy., C-2 (General Commercial) |
| West | GR (General Rural) Pinal County |
| Gross Acreage: | 2.95 acres (1.8 acres Speedway; 1.15 acres Future Development pad) |
| Net Acreage: | 2.86 |
| Total Lots/Units: | N/A |
| Density: | N/A (gross) N/A (net) |
| Open Space Acreage: | Required – 15% (18,689 s.f./0.43 acres) Provided – 40% (49,909 s.f./1.15 acres) |

DISCUSSION

The proposed project is a convenience store with a Conditional Use Permit (CUP) for fuel sales on approximately 1.80 acres located at the southwest corner of Empire Blvd. and Ellsworth Road. The proposed use is part of a larger 2.95 acre site that has a future pad site of approximately 1.15 acres that is not part of the subject applications.

A 4,608 s.f. convenience store with twenty (20) gasoline pumps are proposed for the site. The hours of operation will be 24 hours a day 7 days a week. The architecture is similar in character to the automotive dealership to the east of the site across Ellsworth Road. The facade textures such as the stacked stone and stucco along with the earth-tone color palette compliments the area's single-story commercial buildings. Scored accent wall panels provide additional design interest to the building facades. The matching stucco mechanical screen wall with a cap is architecturally designed to completely screen the rooftop equipment from view.

Street side landscaping includes a mixture of Fan Tex Ash and Evergreen Elms. A 30-foot wide landscape buffer with a mixture of Ironwood and Fan Tex Ash trees are proposed adjacent to the residentially zoned properties to the west. A variety of colorful trees, shrubs, and groundcovers are proposed throughout the balance of the site. Screen walls have been placed around the parking and gas pump areas to shield vehicle headlights. The screen walls include integral colored split and smooth faced block with a stone veneer base. In addition, the proposed perimeter wall along the west side of the property incorporates these same wall materials providing for a cohesive architectural theme throughout the project.

ANALYSIS

Conditional Use Permit (CUP) Review:

The proposed gasoline station is considered “In-Vehicle Service Facilities” according to Article 6.10 of the Zoning Ordinance. All “In-Vehicle Service Facilities” are subject to a Conditional Use Permit review procedure.

Conditional Uses are those land uses that may be desirable in a community, but may by their nature, require special site and design considerations in order to insure that they are compatible with adjacent uses and community standards. The Planning Commission and ultimately the Town Council are charged with determining whether or not a proposed location is suitable for such uses. The purpose of the Conditional Use Permit is to have an additional tool to maintain development standards.

Conditional Use review in the Zoning Ordinance sets forth approval criteria for evaluating a proposed Conditional Use (as outlined in Article 3.5 of the Zoning Ordinance) as provided below:

1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response: *The requirements for the C2 zoning district were reviewed, and the project was designed in compliance with those requirements.*

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type, and height of the buildings or structures and the type and extent of landscaping and screening on the site.

Response: *This project is within a site zoned for C-2 commercial uses, and it was designed for consistency with those standards. The residentially zoned vacant property to the east was considered in the location of a 30-foot wide landscape buffer and a 6-foot decorative fence wall. The design of the commercial building and uses are consistent with the commercial buildings to the east of Ellsworth Road.*

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response: *All utilities, access roads, drainage, fire protection, and other necessary facilities have been provided, as required. Adequate access and circulation for the public and for emergency vehicles will be provided and the fueling center will meet all fire safety requirements of Town codes and State Law.*

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response: *Ingress and egress were designed in consultation with the traffic engineer to minimize hazards and traffic congestion along Ellsworth Road and Empire Boulevard. A full access, shared driveway on Empire Boulevard provides ingress and egress to the site. There is also a right in/right-out driveway on Ellsworth Road to minimize traffic hazards and traffic congestion. Deceleration lanes have also been provided along both Empire Boulevard and Ellsworth Road.*

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Response: *By its nature, this project will not generate noxious vibration, noise, odor, dust, smoke, or gas. All Town codes and state laws will be met.*

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood.

Response: *This project will not be injurious to the use of the property in the immediate area or impair the property values within the neighborhood.*

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Response: *This project is consistent with the C-2 zoning standards, and as such will not impede the orderly development and improvement of surrounding property.*

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response: *This project will meet or exceed all prevailing codes, and as such will not endanger the public health, safety, morals, comfort, or general welfare of the community.*

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response: *No individuals have been identified to be adversely affected by the establishment of the proposed use.*

General Plan Review: The current 2018 General Plan designation for this property is Commercial.

Zoning Review: The current zoning designation of the property is C-2 (General Commercial). The applicant is requesting a Conditional Use Permit for fuel sales, as set forth within the Town of Queen Creek Zoning Ordinance.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the subject property is within the Town's water and wastewater service areas.

Engineering, Utilities and Transportation Review: The project has been reviewed by the Engineering, Utilities and Transportation departments. Conditions of Approval have been added to address development requirements for this project.

Landscape / Open Space Review: For the proposed C-2 zoning, a total of 15% 918,689 s.f./0.43 acres) open space is required. A total of 40% (49,909 s.f./1.15 acres) is proposed.

Signage: Proposed signage will be reviewed and approved as part of a separate Sign Permit application.

PUBLIC PARTICIPATION

With the outbreak of COVID-19, in-person Neighborhood Meetings have been temporarily suspended. Input from the surrounding community is important to the overall public hearing process, and the Town recognizes the vital importance that public comment provides. As such, the applicant sent a Neighborhood Meeting notification letter to all property owners within the 900 foot notification area along with specific details of the case. Neighborhood Meeting signs were posted on the site with information pertaining to the proposed application, including contact information for the applicant and Town representative along with a link to Town's Planning website that had the proposed project's information. One virtual Neighborhood Meeting was held on February 23rd. No residents participated in these meetings. Prior to the Neighborhood Meeting one property owner submitted an email in opposition to further urbanization of the area and the loss of the "dark sky". A summary of the Neighborhood Outreach is attached along with correspondence to and from residents.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to cases P20-0141 and P20-0143, as outlined in the staff memo, and all the provisions of the Zoning Ordinance applicable to this case.
2. Gasoline tank vent piping shall be screened from arterial streets and public view.

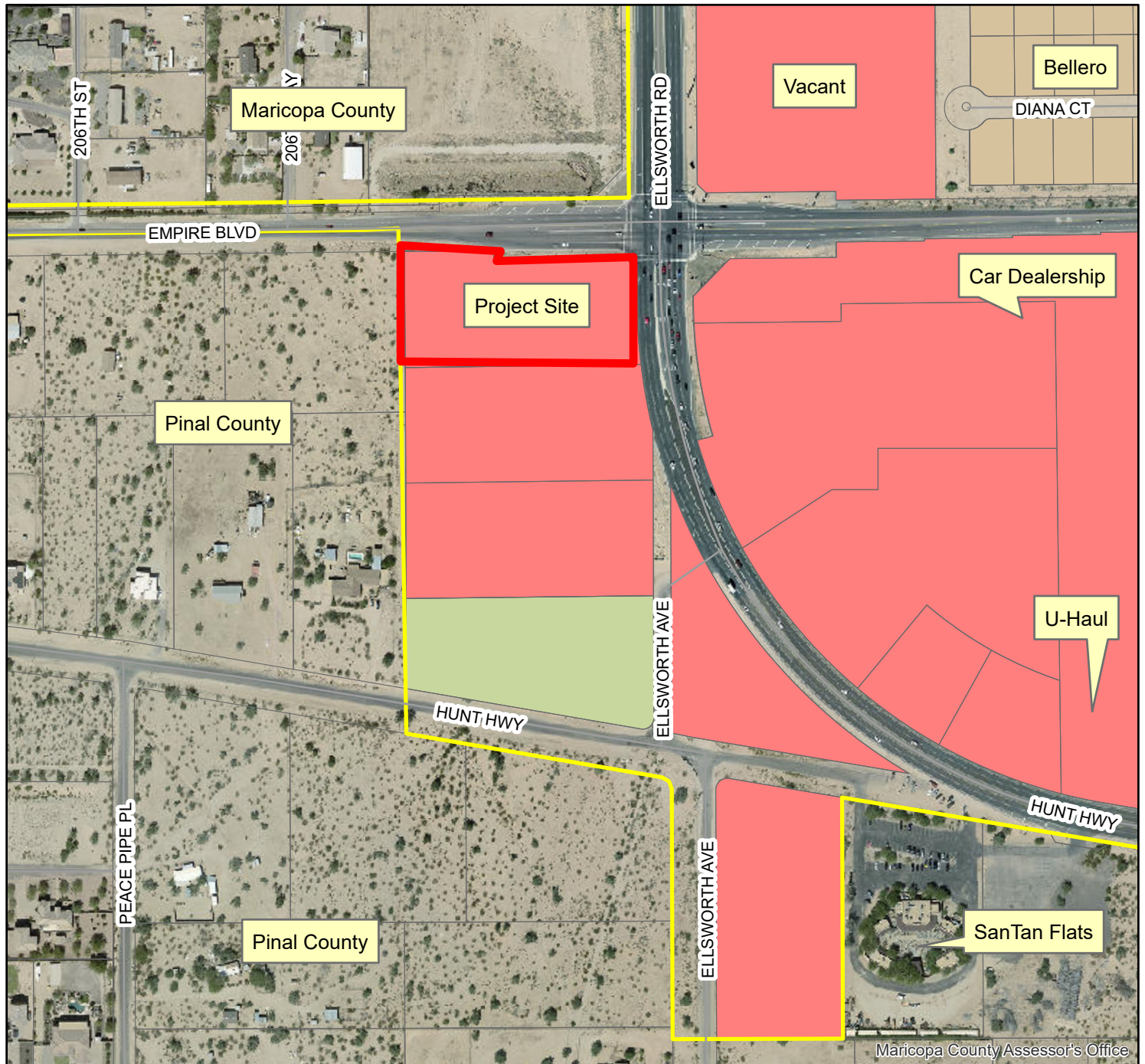
ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Map Exhibit
4. Project Narrative
5. Site Plan
6. Building Elevations
7. Landscape and Wall Plans
8. Neighborhood Meeting Summary
9. Legal Description

Project Name: Speedway Site Plan Aerial Exhibit
Case Number: P20-0143
Hearing Date: June 9, 2021 (Planning Commission)
July 21, 2021 (Town Council)



Project Name: Speedway Zoning Exhibit
Case Number: P20-0143
Hearing Date: June 9, 2021 (Planning Commission)
July 21, 2021 (Town Council)



Zoning Districts

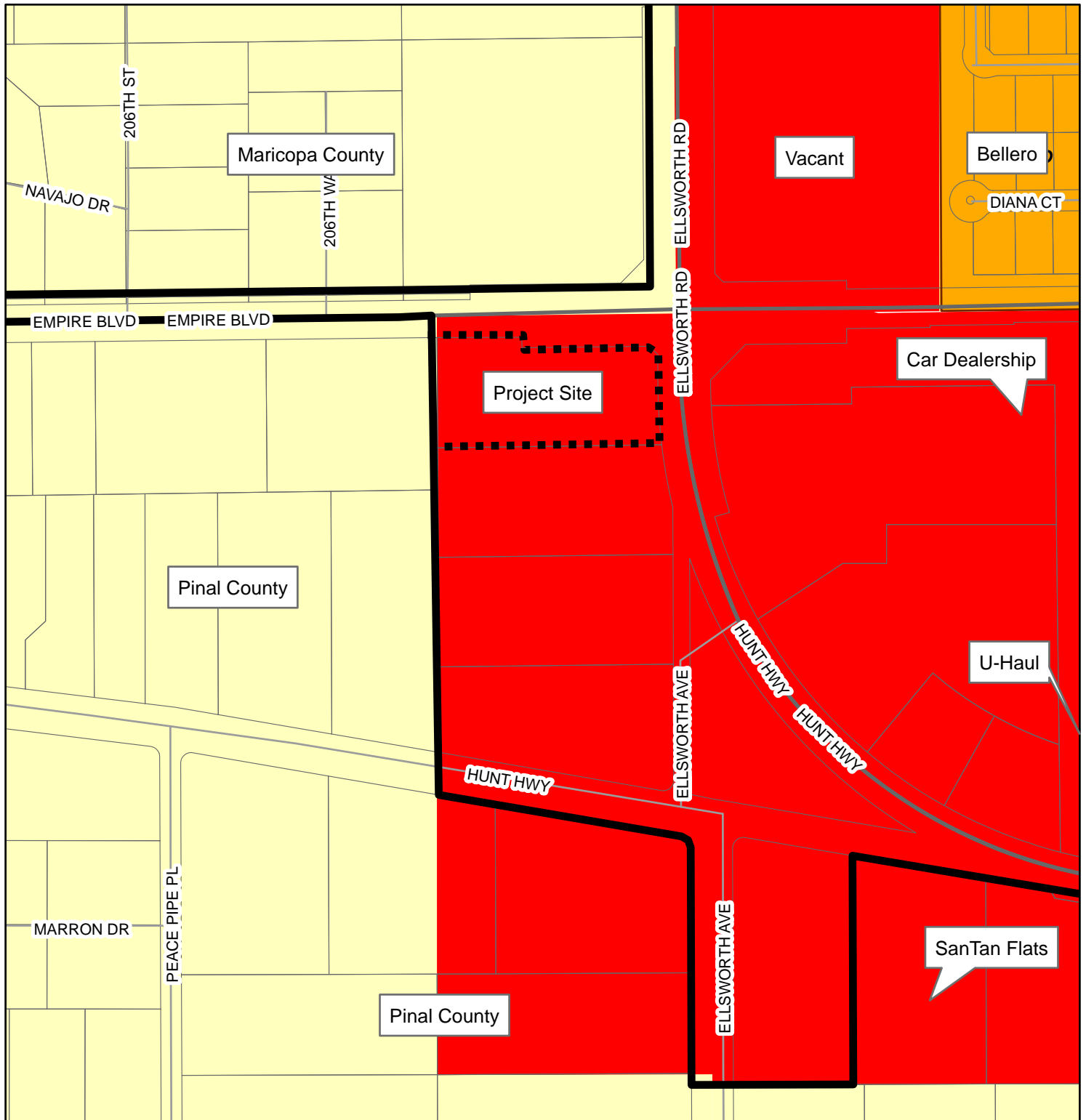
| | | | |
|--------------------------------|------------------------------|---------------------|-------------------------|
| C-1 - Commercial | PQP - Public/Quasi-Public | R1-7 - Residential | R1-35 - Residential |
| C-2 - Commercial | RC - Recreation/Conservation | R1-8 - Residential | R1-43 - Residential |
| C-3 - Commercial | MDR - Residential | R1-9 - Residential | R1-54 - Residential |
| TC - Commercial | R1-4 - Residential | R1-12 - Residential | R1-190 - Residential |
| EMP A - Office/Industrial Park | R1-5 - Residential | R1-15 - Residential | PCD - Planned Community |
| EMP B - General Industrial | R1-6 - Residential | R1-18 - Residential | AT - Agritainment |

Project Name: Speedway Site Plan General Plan Exhibit

Case Number: P20-0143

Hearing Date: June 9, 2021 (Planning Commission)

July 21, 2021 (Town Council)



General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |

SITE PLAN NARRATIVE FOR SPEEDWAY STORE 101370 ELLSWORTH ROAD AND EMPIRE BOULEVARD



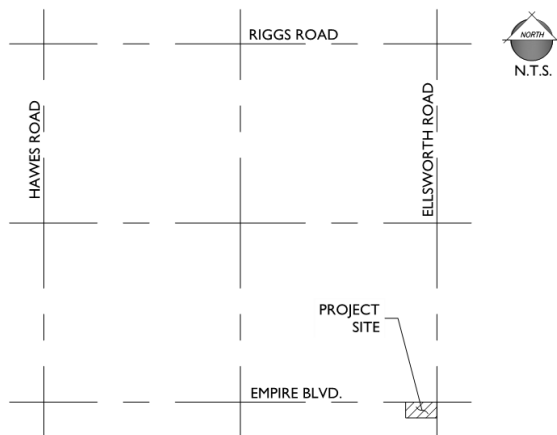
Submittal Date: August 25, 2020
Revised: March 17, 2021

1.0 Project Description

Speedway LLC is developing approximately 2.00-acres at the southwest corner of Ellsworth Road and Empire Boulevard in Queen Creek, Arizona (the “Site”). A Location Map and Vicinity Map of the Site are provided below, respectively. Speedway requests a Conditional Use Permit (“CUP”) to allow Fuel Sales in the development of a new Convenience Store and Gas Station on this vacant, underutilized Site.

The proposed site will include a Speedway single-story 96’ x 48’ convenience store convenience store and fuel canopy with ten dispensers. The proposed site will provide 27 parking stalls, including two (2) ADA Accessible Parking stalls. Speedway also seeks to develop a shared driveway access that will serve both the Speedway site and future development to the west, which is being developed by others.

LOCATION MAP



VICINITY MAP



2.0 Properties, Zoning, and General Plan Information

Table 1 – Existing Properties, Zoning, and General Plan designations

| Adjacent Properties | Location | Zoning | Queen Creek General Plan | Description |
|--|---------------|--|--------------------------|----------------|
| APN# 509-05-0040 | Speedway Site | C-2 Commercial (Queen Creek) | Commercial | Vacant |
| APN# 304-91-121B APN# 304-91-120A APN# 304-91-119A | North | RU-43 Single Family Residence (Maricopa County) | Rural | Vacant |
| APN# 509-05-0250 | South | C-2 Commercial, General Commercial (Queen Creek) | Commercial | Vacant |
| APN# 509-04-1820 APN# 509-04-1830 | East | C-2 Commercial, General Commercial (Queen Creek) | Commercial | Car Dealership |
| APN# 509-05-0050 | West | GR General Rural (Pinal County) | Rural | Vacant |

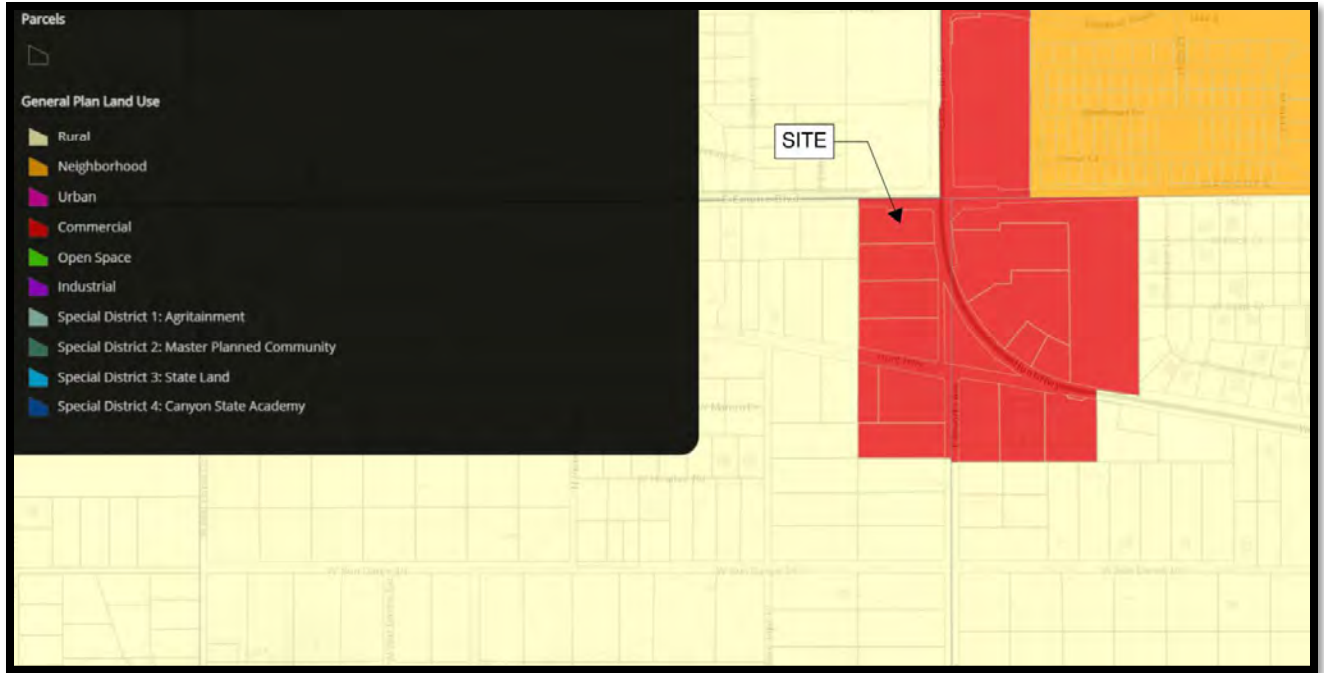
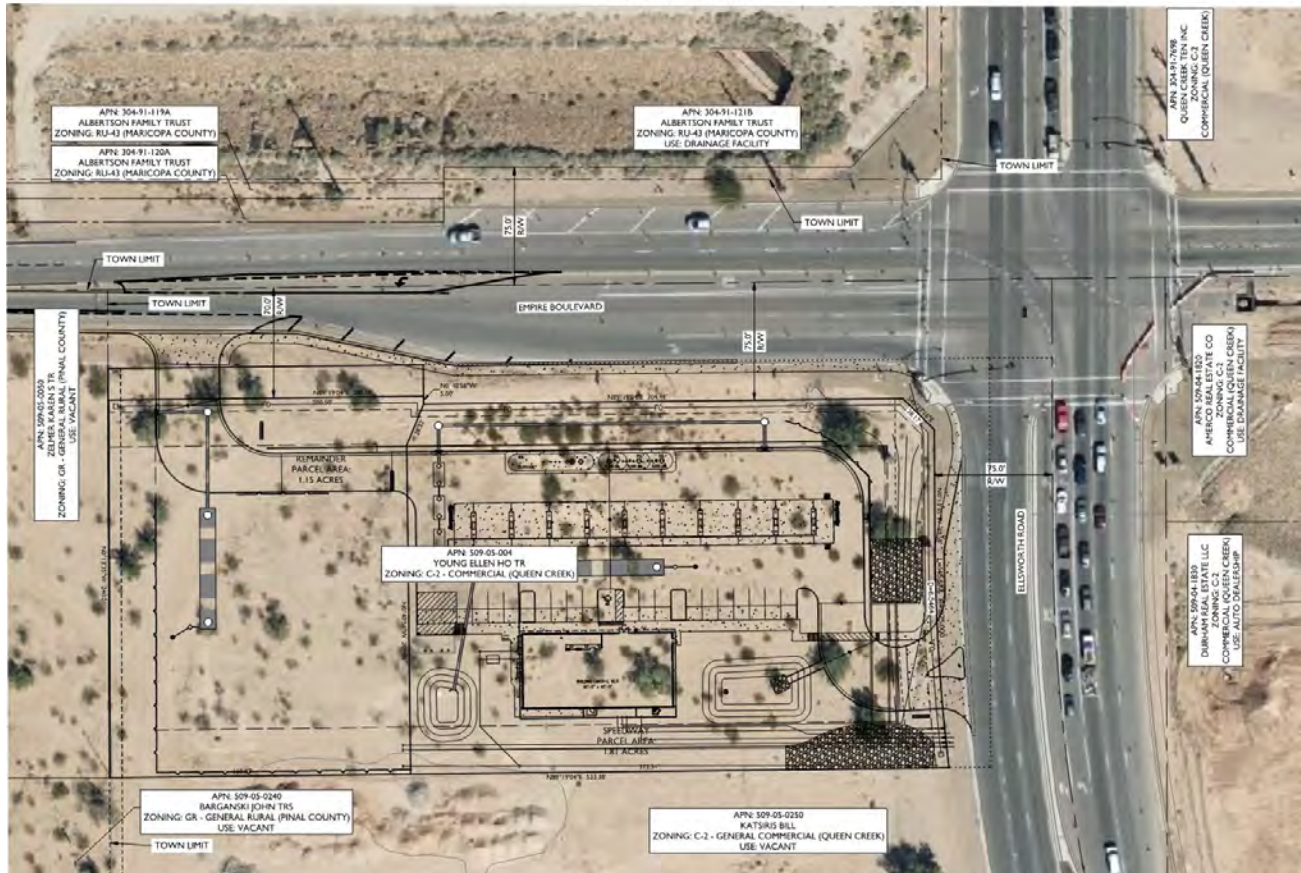


Figure 1: Town of Queen Creek General Plan Map



Figure 2: Town of Queen Creek Zoning Map

SPEEDWAY QUEEN CREEK ZONING EXHIBIT



3.0 Conformance with the General Plan

The General Plan designation for this site is Commercial, and the property is currently zoned C-2 General commercial District. The property was zoned for commercial uses in Pinal County. When the subject parcel was annexed into the Town in 2018, the equivalent Town Zoning C-2 was applied to the property as required by state statues.

C-2 General Commercial: *“General commercial activities designed to serve the community such as repair shops, wholesale businesses, warehousing, and limited retail sales, with some outdoor display of goods, but limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the Town and County, providing community balance as described in the Queen Creek General Plan. The C-2 implements the Commercial Goal 6, of the General Plan”*

4.0 Zoning Compliance and Area Compatibility

The proposed Speedway development has been planned in accordance with Ordinance requirements for C-2 General Commercial Zoning. Speedway’s Conditional Use will comply as follows:

- **Architecture and landscaping:** The proposed Speedway building and canopy architecture are similar to the adjacent automotive dealership east of the site. The clean, modern style, façade textures, and colors compliment adjacent single-story commercial buildings. Street side landscaping includes a variety of trees, shrubs, and groundcover. Screen walls have been placed to shield vehicle headlights, and architectural metal screen has been added to shield view of the rooftop equipment.
- **Utilities:** Connection to existing utilities available from Ellsworth Road, including water, sewer, communications, and electrical. Each utility will be designed to accommodate the proposed Speedway development.
 - A 12" water line was recently installed in Ellsworth on the east side of the property. This line is on the upper zone. A 6" water line runs in Empire Road on the north side of property. This line is a lower zone line.
 - A sewer manhole exists at the southeast corner of the commercial lot with a 12" sewer line crossing the street and into a 15" sewer line flowing north in Ellsworth Road.
- **Traffic and Access:** A Traffic Impact Analysis has been completed for review and coordination with the Town. Access to the proposed Speedway includes a full access, shared driveway on Empire Blvd on the northern portion of the site, as well as a proposed right-in/right-out driveway on Ellsworth Road on the eastern portion of the site.
 - Full half street improvements per the current and applicable Town of Queen Creek Standard Detail(s) shall be designed and constructed for all portions of the Right-of-Way adjacent to the property frontage.
 - Road improvements shall be to the centerline of the improved roadway, unless otherwise determined, and shall include removal and replacement of all asphalt to the centerline. Improvements shall also include all appropriate roadway tapers as required by the Town's Traffic Engineering Department.
- **Drainage:** The current site improvement concept includes drainage infrastructure to address offsite storm water flow. The proposed solution is to route flows around the site and discharge over empire road to the north. Improvements are shown on the Site Plan and include culvert, channel and other associated improvements.
- **Fire Protection:** The Speedway building and canopy will include fire suppression systems. Fire truck access has also been considered and the current plan provides adequate maneuverability and access for a fire truck.
- **Site Lighting/Photometrics:** Site lighting shall be designed to not impact the single-family residential homes to the west and southwest.

5.0 Conditional Use Permit

To allow for the sale of fuel at this location, a Conditional Use Permit has been requested in conjunction with this Site Plan request under case number P20-0141. The project shall meet the nine (9) CUP criteria listed in the Town of Queen Creek Ordinance as follows:



1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response: The proposed conditional use is in compliance with the Town's zoning ordinance, meeting all applicable standards.

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type, and height of the buildings or structures and the type and extent of landscaping and screening on the site.

Response: The subject site is surrounded by a mix of rural, single-family residential, and commercial uses. The proposed commercial site is in conformance with these uses and is designed to be compatible with the neighborhood character. Generous landscaping will be provided around all sides of the site.

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response: Connection to existing utilities available from Ellsworth Road, including water, sewer, communications, and electrical. Each utility will be designed to accommodate the proposed Speedway development.

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response: In order to promote minimal traffic hazards and conflicts, a shared access is proposed that will service both the Speedway convenience store and fuel stations as well as the future adjacent development. An additional point of access is provided for north and southbound travelers off of Ellsworth Road.

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Response: Speedway's development and operation will not be noxious or offensive with regard to vibration, noise, odor, dust, smoke, or gas. Site infrastructure includes hardscape and landscaped areas that will promote dust control. Speedway's operation will not contribute to offensive vibration, noise, smoke, or odor. The proposed fuel delivery systems include adequate venting, and the building includes air filtration and a grease interceptor to control and food-related odors.

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood.

Response: Speedway will provide convenience, value, and service to the area neighborhoods and businesses.

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.



Response: This site will not impede the orderly development or improvement of the surrounding property and is consistent with the Town's Commercial General Plan designation and meets the C-2 zoning requirements.

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

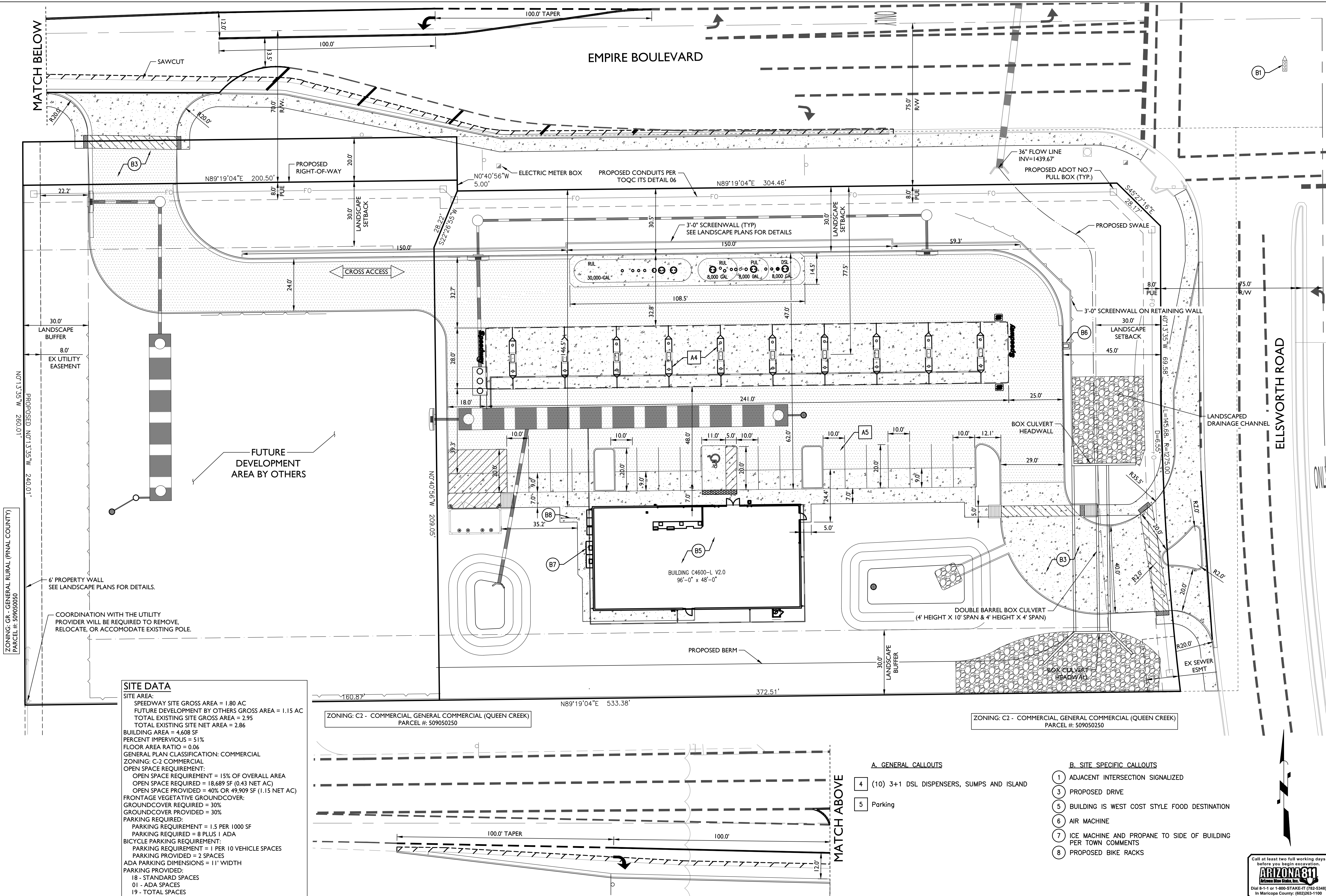
Response: The proposed fuel delivery systems include adequate venting, and the building includes air filtration and a grease interceptor to control and food-related odors.

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response: The Speedway development will enhance the intersection with additional quality commercial use complimentary to the adjacent automotive dealership.

6.0 Conclusion

Speedway's focus on customer service and convenience will be a welcome addition to the community, providing a quality development with responsible management, employment, operations, and maintenance. The development team thanks you for your time and favorable consideration of the submitted documents.



SITE DATA
 SITE AREA:
 SPEEDWAY SITE GROSS AREA = 1.80 AC
 FUTURE DEVELOPMENT BY OTHERS GROSS AREA = 1.15 AC
 TOTAL EXISTING SITE GROSS AREA = 2.95
 TOTAL EXISTING SITE NET AREA = 2.86
 BUILDING AREA = 4,608 SF
 PERCENT IMPERVIOUS = 51%
 FLOOR AREA RATIO = 0.06
 GENERAL PLAN CLASSIFICATION: COMMERCIAL
 ZONING: C-2 COMMERCIAL
 OPEN SPACE REQUIREMENT:
 OPEN SPACE REQUIREMENT = 15% OF OVERALL AREA
 OPEN SPACE REQUIRED = 18,689 SF (0.43 NET AC)
 OPEN SPACE PROVIDED = 40% OR 49,909 SF (1.15 NET AC)
 FRONTAGE VEGETATIVE GROUND COVER:
 GROUND COVER REQUIRED = 30%
 GROUND COVER PROVIDED = 30%
 PARKING REQUIRED:
 PARKING REQUIREMENT = 1.5 PER 1000 SF
 PARKING REQUIRED = 8 PLUS 1 ADA
 BICYCLE PARKING REQUIREMENT:
 PARKING REQUIREMENT = 1 PER 10 VEHICLE SPACES
 PARKING PROVIDED = 2 SPACES
 ADA PARKING DIMENSIONS = 11' WIDTH
 PARKING PROVIDED:
 18 - STANDARD SPACES
 01 - ADA SPACES
 19 - TOTAL SPACES

ZONING: C2 - COMMERCIAL, GENERAL COMMERCIAL (QUEEN CREEK)
 PARCEL #: 509050250

ZONING: C2 - COMMERCIAL, GENERAL COMMERCIAL (QUEEN CREEK)
 PARCEL #: 509050250

A. GENERAL CALLOUTS

- 4 (10) 3+1 DSL DISPENSERS, SUMPS AND ISLAND
- 5 Parking

B. SITE SPECIFIC CALLOUTS

- 1 ADJACENT INTERSECTION SIGNALIZED
- 3 PROPOSED DRIVE
- 5 BUILDING IS WEST COST STYLE FOOD DESTINATION
- 6 AIR MACHINE
- 7 ICE MACHINE AND PROPANE TO SIDE OF BUILDING PER TOWN COMMENTS
- 8 PROPOSED BIKE RACKS

125 S. Avondale Blvd.
 Suite 115
 Avondale, AZ 85323
 T: 623.847.4681
 www.epsgroup.com

Preliminary
 Not For
 Construction
 Or
 Recording

Speedway
 Engineering and Construction Dept.
 Enon, OH 45323

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SITE PLAN

NEW BUILD - STORE #101370
 SWC OF EMPIRE BLVD. & ELLSWORTH RD.
 PINAL COUNTY
 QUEEN CREEK, AZ

STORE OR BLDG NO. C4600-L V2.0

VERSION OR PROJECT ID 133549

SCALE 1" = 20'-0"

| DESIGN TEAM | DATE |
|-----------------|-----------|
| DNDR: EPS GROUP | 5/25/2021 |
| P.MGR: T. YOUNG | 5/25/2021 |
| R.WR: A. BARKER | 5/25/2021 |
| DRWG. NO. | SP |

Call at least two full working days before you begin excavation.

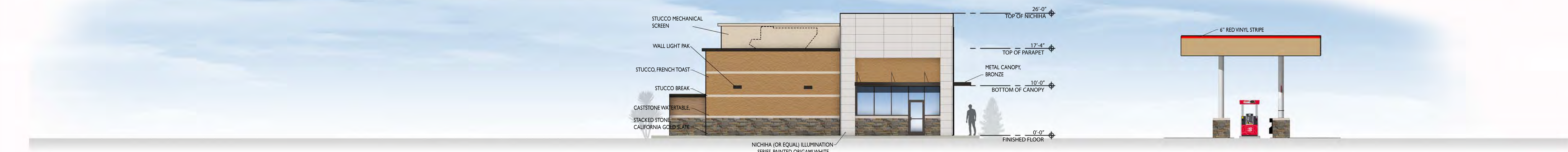
ARIZONA 811
 Arizona One Stop System, Inc.
 Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
 In Maricopa County: (602)253-1100



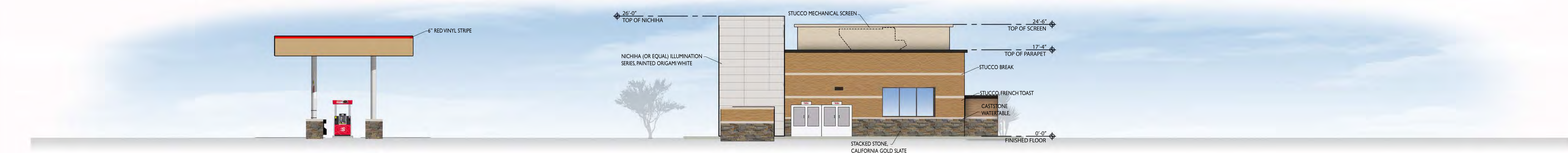
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Speedway®

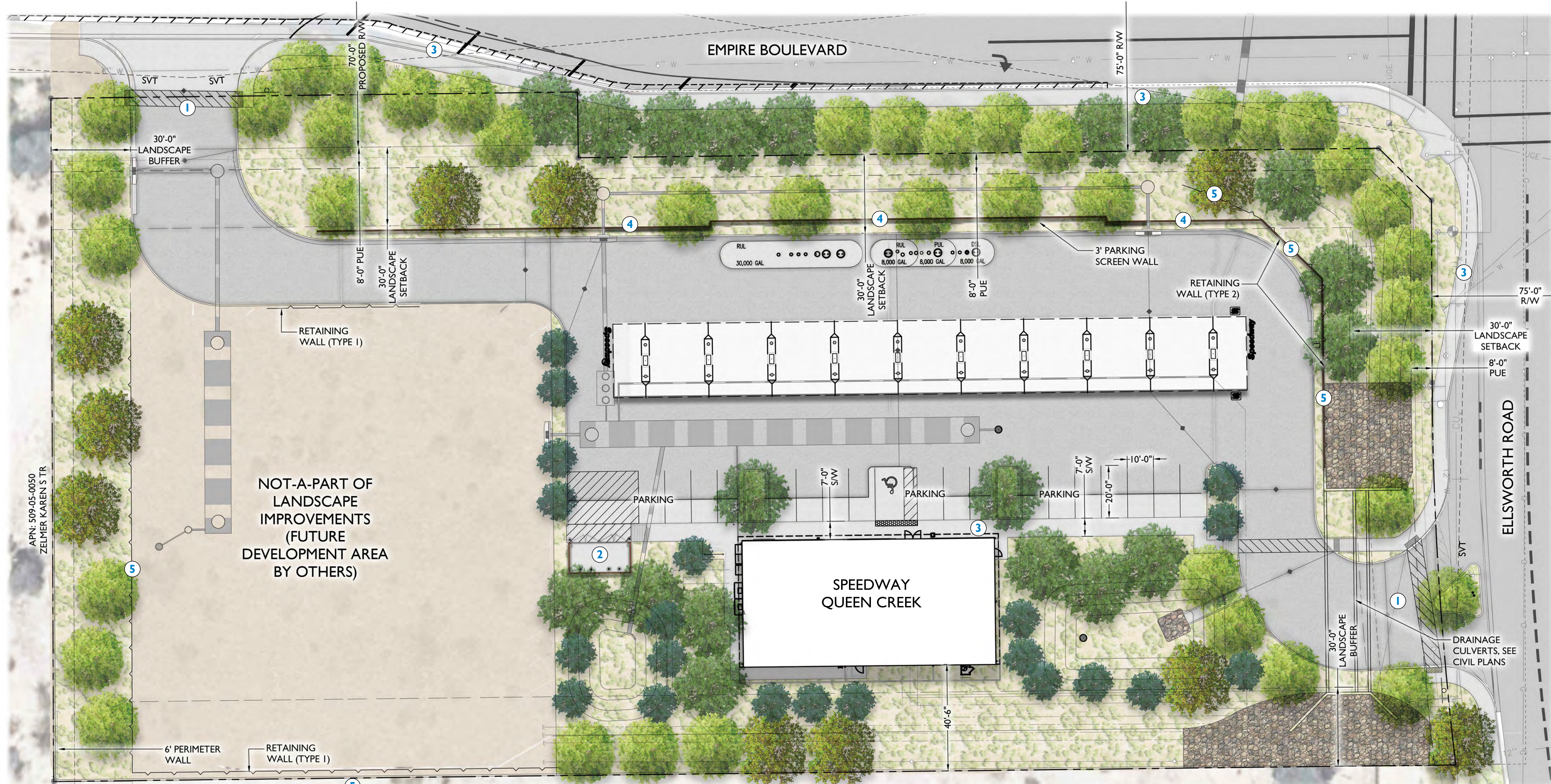
Prepared By:
Speedway Engineering and Construction Dept.
Enon, OH 45323

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

BUILDING ELEVATION
NEW BUILD
SVC OF EMPIRE RD & ELLSWORTH RD
PINAL COUNTY
QUEEN CREEK, AZ

STORE OR BLDG NO. 101370
VERSION OR PROJECT ID 4600 V2
SCALE 0 12'
3/32" = 1'-0"
DESIGN TEAM DATE
DCNR. A. WILLIS 04/22/21
P.MGR.
RWR.
DRWG. NO. 101370- ELEV

This drawing is the property of Speedway and is not to be used or reproduced without expressed written consent of Speedway.



NOTE:
 1. THE MAINTENANCE OF ALL REQUIRED LANDSCAPING ON THE PROPERTY OR IN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. ALL DECORATIVE WALL COLUMNS SHALL BE SPACED 150'-0" O.C.

PLANT LEGEND

| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE | QTY |
|--------------|-------------------|---------------|----------------|-----|
| TREES | | | | |
| | Acacia aneura | Mulga | 36" Box (Tree) | 20 |
| | Fraxinus velutina | Fan Tex Ash | 24" Box | 41 |
| | Onleya tesota | Ironwood | 24" Box | 10 |
| | Ulmus parvifolia | Evergreen Elm | 24" Box | 19 |

| SHRUBS/ACCENTS | COMMON NAME | SIZE |
|---------------------------------------|-----------------------|-------|
| Agave americana | Century Plant | 5 Gal |
| Agave desmettiana | Smooth Agave | 5 Gal |
| Asclepias subulata | Milkweed | 5 Gal |
| Calliandra eriophylla | Pink Fairy Duster | 5 Gal |
| Dasyliirion quadrangulatum | Mexican Grass Tree | 5 Gal |
| Dodonea viscosa | Hop Bush | 5 Gal |
| Fouquieria splendens | Ocotillo | 5 Gal |
| Hesperaloe parviflora 'Brakelights' | Brakelights Red Yucca | 5 Gal |
| Justicia californica | Chuparosa | 5 Gal |
| Leucophyllum candidum 'Thunder Cloud' | Texas Sage | 5 Gal |
| Leucophyllum langmaniae 'Rio Bravo' | Rio Bravo Sage | 5 Gal |

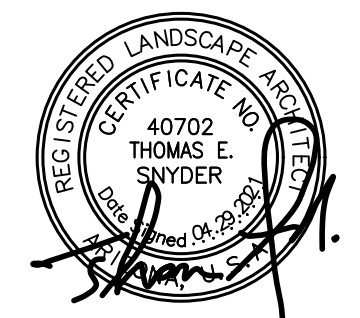
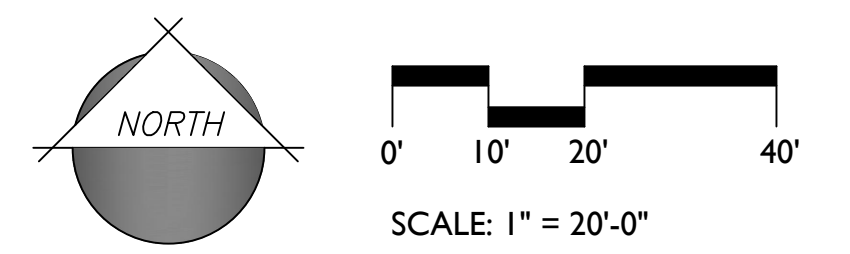
| | | |
|---------------------------|----------------|-------|
| Muhlenbergia rigens | Deer Grass | 5 Gal |
| Ruellia peninsularis | Desert Ruellia | 5 Gal |
| Senna artimisioides | Desert Ruellia | 5 Gal |
| Tecoma x 'Orange Jubilee' | Orange Jubilee | 5 Gal |

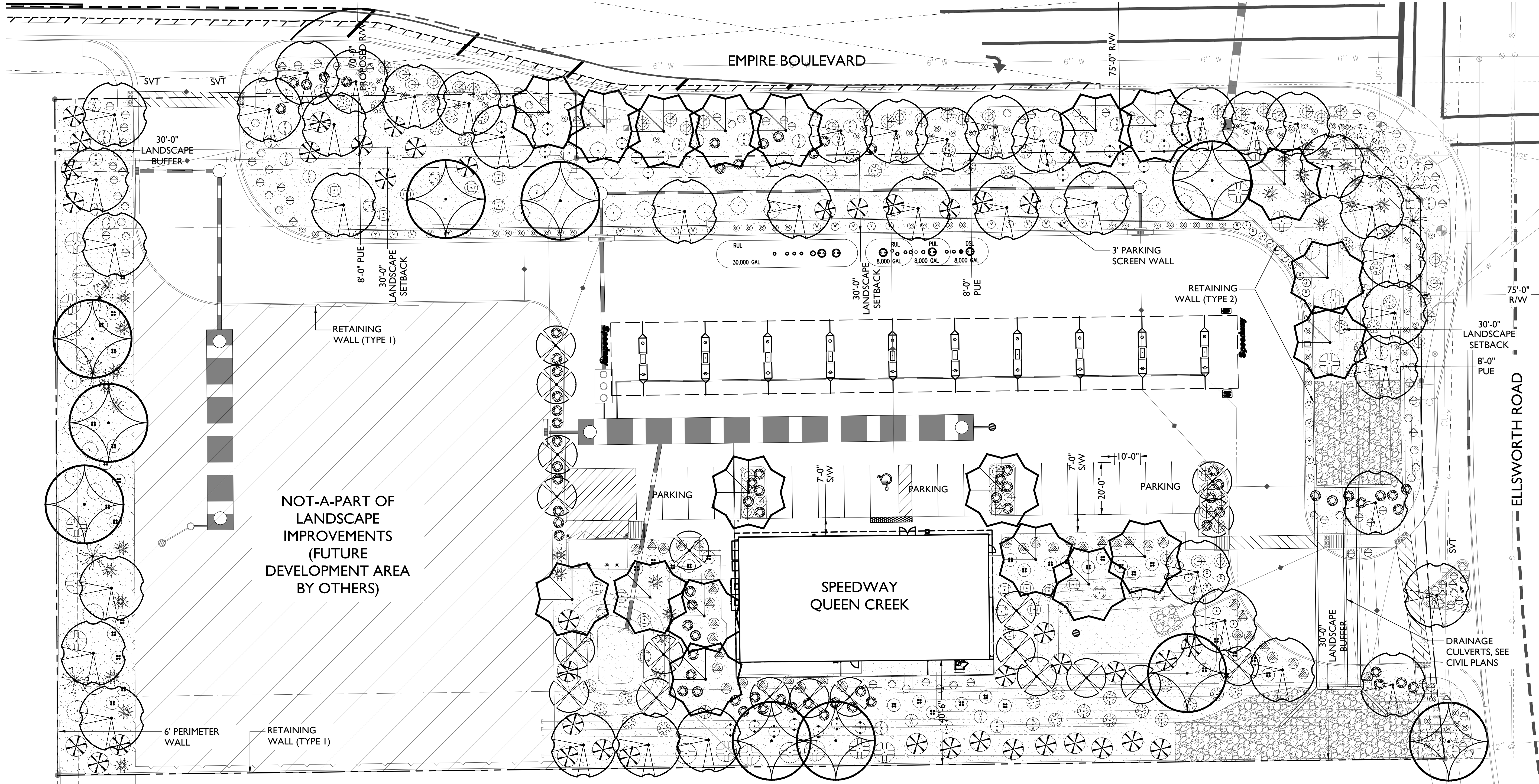
| GROUNDCOVERS | COMMON NAME | SIZE |
|--|--------------------|-------|
| Eremophila prostrata 'Outback Sunrise' | 'Outback Sunrise' | 1 Gal |
| Lantana x 'Dallas Red' | Dallas Red Lantana | 1 Gal |
| Lantana x 'New Gold' | New Gold Lantana | 1 Gal |

| MATERIAL LEGEND | COMMON NAME | SIZE |
|-----------------|--------------------|---|
| | Decomposed Granite | 1/2" Size - 2" Depth Color: Apache Brown |

KEYNOTES

- 1 ENTRY DRIVE
- 2 TRASH ENCLOSURE (SEE ARCH PLANS)
- 3 CONCRETE SIDEWALK (SEE CIVIL PLANS)
- 4 PARKING SCREEN WALL (SEE WALL DETAILS)
- 5 RETAINING WALL (SEE WALL DETAILS)





NOTE:
 1. THE MAINTENANCE OF ALL REQUIRED LANDSCAPING ON THE PROPERTY OR IN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. ALL DECORATIVE WALL COLUMNS SHALL BE SPACED 150'-0" O.C.

LANDSCAPE DATA
 FRONTAGE VEGETATIVE GROUNDCOVER
 REQUIRED: 30%
 PROVIDED: 30%

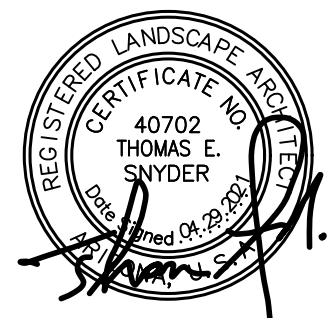
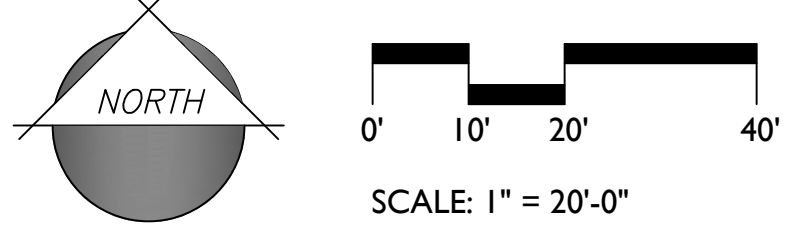
PLANT LEGEND

| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE | QTY |
|--------------|-------------------|---------------|----------------|-----|
| TREES | | | | |
| | Acacia aneura | Mulga | 36" Box (Tree) | 20 |
| | Fraxinus velutina | Fan Tex Ash | 24" Box | 41 |
| | Onleya tesota | Ironwood | 24" Box | 10 |
| | Ulmus parvifolia | Evergreen Elm | 24" Box | 19 |

| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE | QTY |
|-----------------------|---------------------------------------|-----------------------|-------|-----|
| SHRUBS/ACCENTS | | | | |
| | Agave americana | Century Plant | 5 Gal | 48 |
| | Agave desmettiana | Smooth Agave | 5 Gal | 16 |
| | Asclepias subulata | Milkweed | 5 Gal | 41 |
| | Calliandra eriophylla | Pink Fairy Duster | 5 Gal | 5 |
| | Dasylirion quadrangulum | Mexican Grass Tree | 5 Gal | 30 |
| | Dodonea viscosa | Hop Bush | 5 Gal | 22 |
| | Fouquieria splendens | Ocotillo | 5 Gal | 9 |
| | Hesperaloe parviflora 'Brakelights' | Brakelights Red Yucca | 5 Gal | 97 |
| | Justicia californica | Chuparosa | 5 Gal | 22 |
| | Leucophyllum candidum 'Thunder Cloud' | Texas Sage | 5 Gal | 29 |
| | Leucophyllum langmaniae 'Rio Bravo' | Rio Bravo Sage | 5 Gal | 43 |

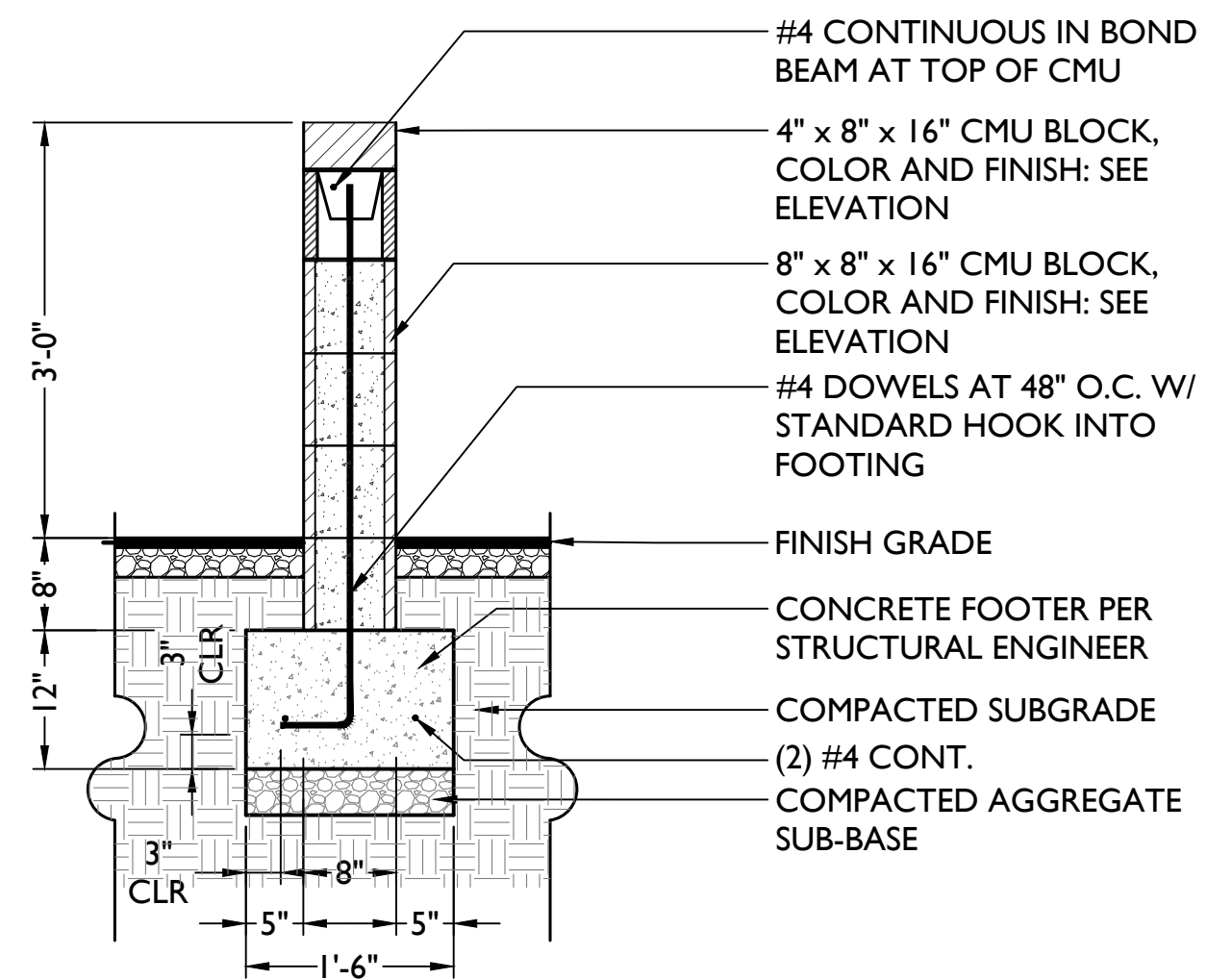
| SYMBOL | SCIENTIFIC NAME | COMMON NAME | SIZE | QTY |
|---------------------|--|--------------------|-------|-----|
| | Muhlenbergia rigens | Deer Grass | 5 Gal | 72 |
| | Ruellia peninsularis | Desert Ruellia | 5 Gal | 25 |
| | Senna artimisioides | Desert Ruellia | 5 Gal | 29 |
| | Tecoma x 'Orange Jubilee' | Orange Jubilee | 5 Gal | 41 |
| GROUNDCOVERS | | | | |
| | Eremophila prostrata 'Outback Sunrise' | 'Outback Sunrise' | 1 Gal | 47 |
| | Lantana x 'Dallas Red' | Dallas Red Lantana | 1 Gal | 39 |
| | Lantana x 'New Gold' | New Gold Lantana | 1 Gal | 111 |

| SYMBOL | COMMON NAME | SIZE | QTY |
|--------|--------------------|---|-------------|
| | Decomposed Granite | 1/2" Size - 2" Depth Color: Apache Brown | 97,276 S.F. |



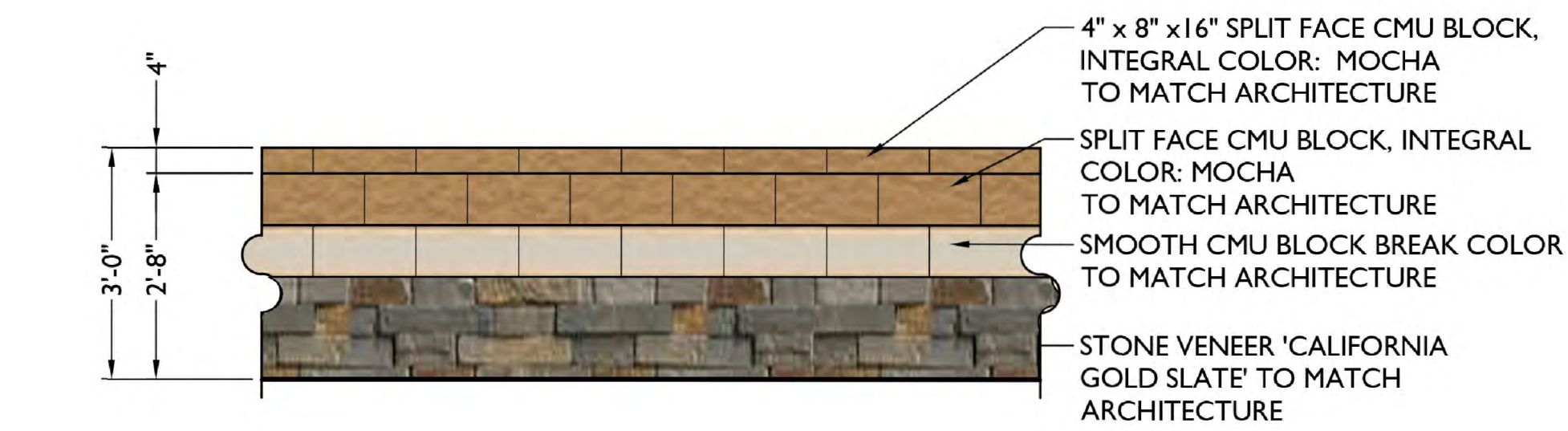
GENERAL NOTES:

1. SEE PLANS FOR LOCATIONS.
2. SEE CIVIL PLANS FOR FINAL ELEVATIONS AND SPOT GRADES.



SECTION

1 3' PARKING SCREEN WALL
Scale: 3/4" = 1'-0"

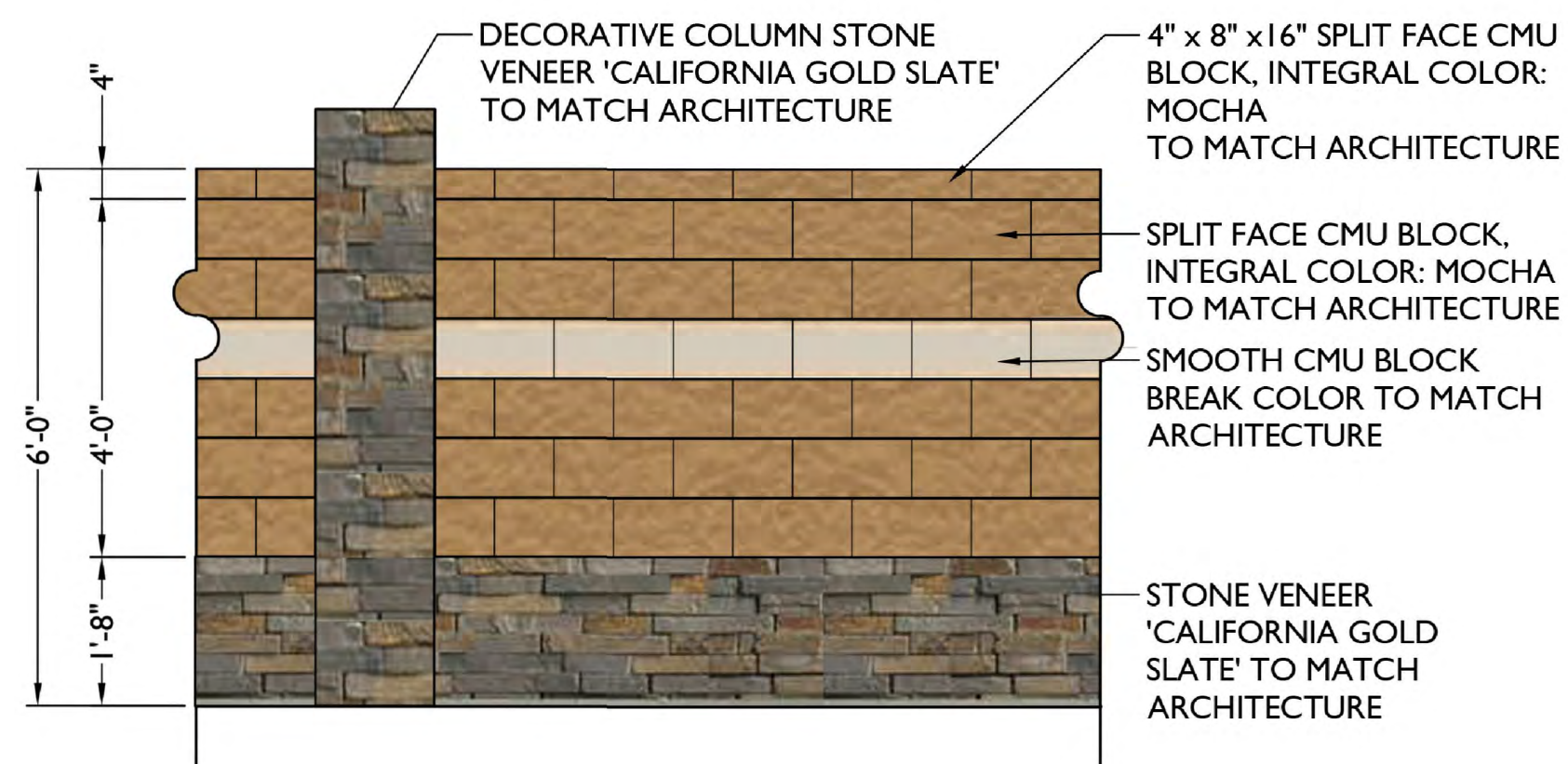


ELEVATION

2 3' PARKING SCREEN WALL
Scale: 1/2" = 1'-0"

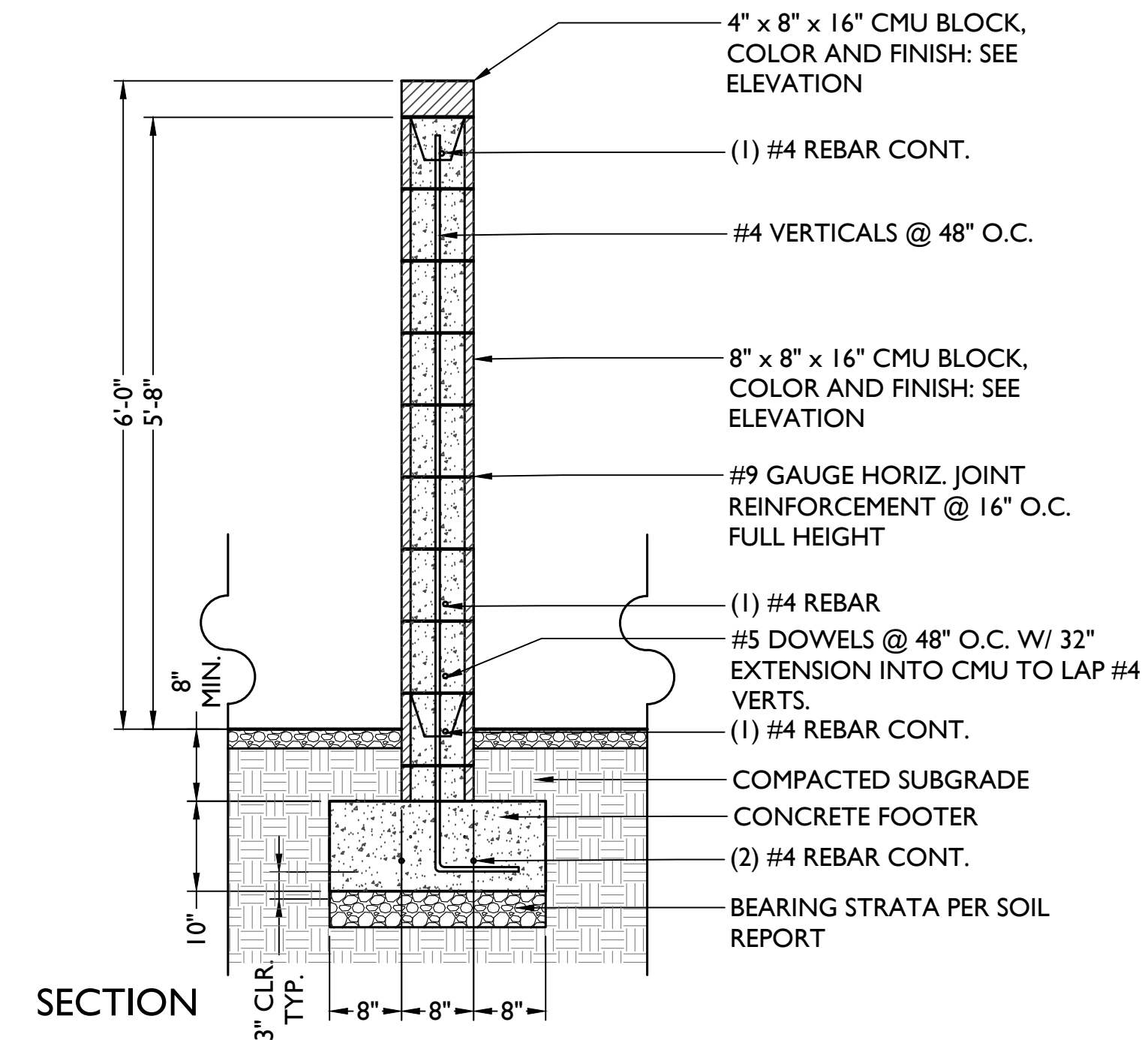
NOTE:

1. ALL DECORATIVE WALL COLUMNS SHALL BE SPACED 150'-0" O.C.



ELEVATION

3 6' PERIMETER WALL
Scale: 1/2" = 1'-0"

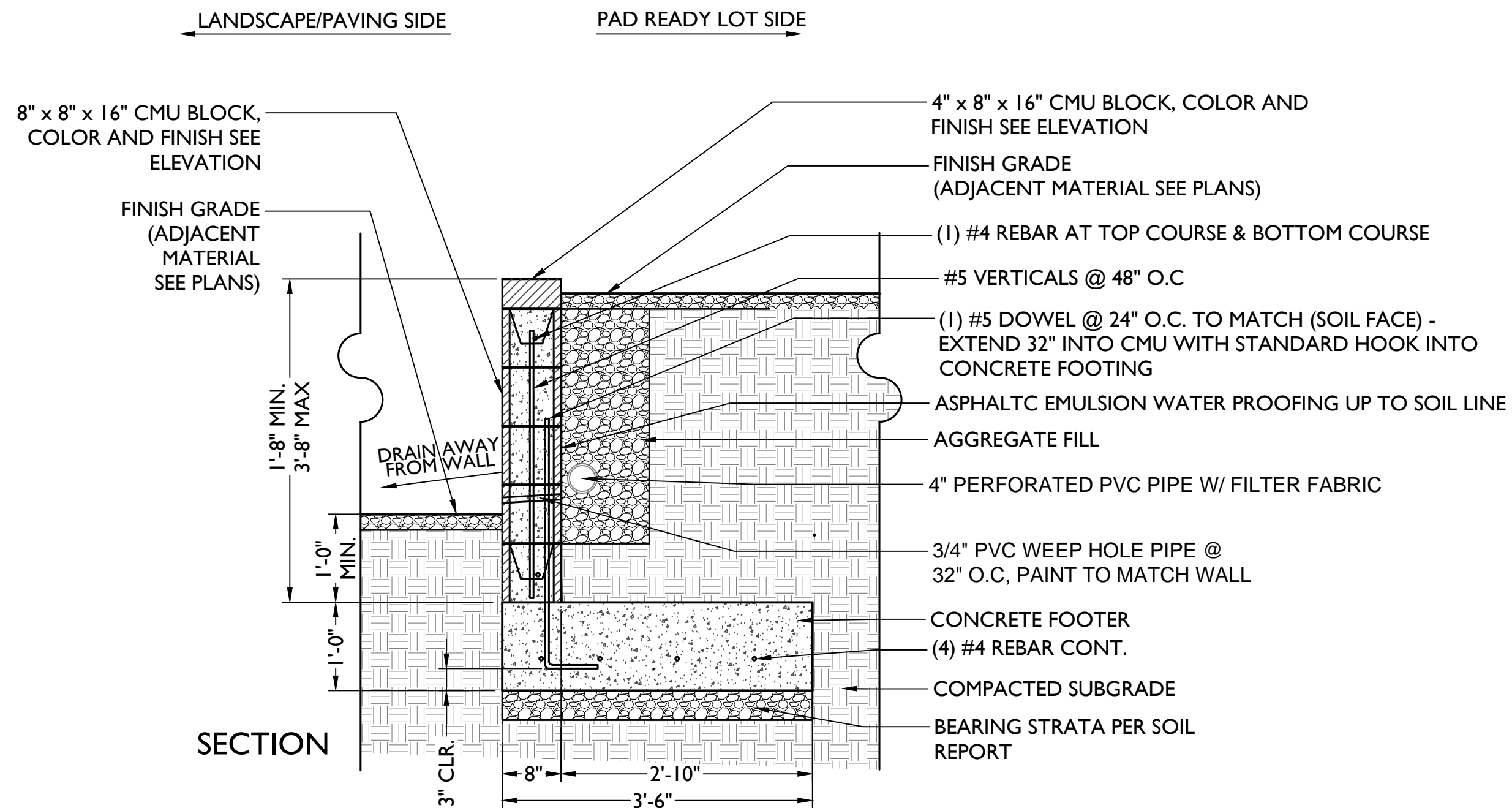


SECTION

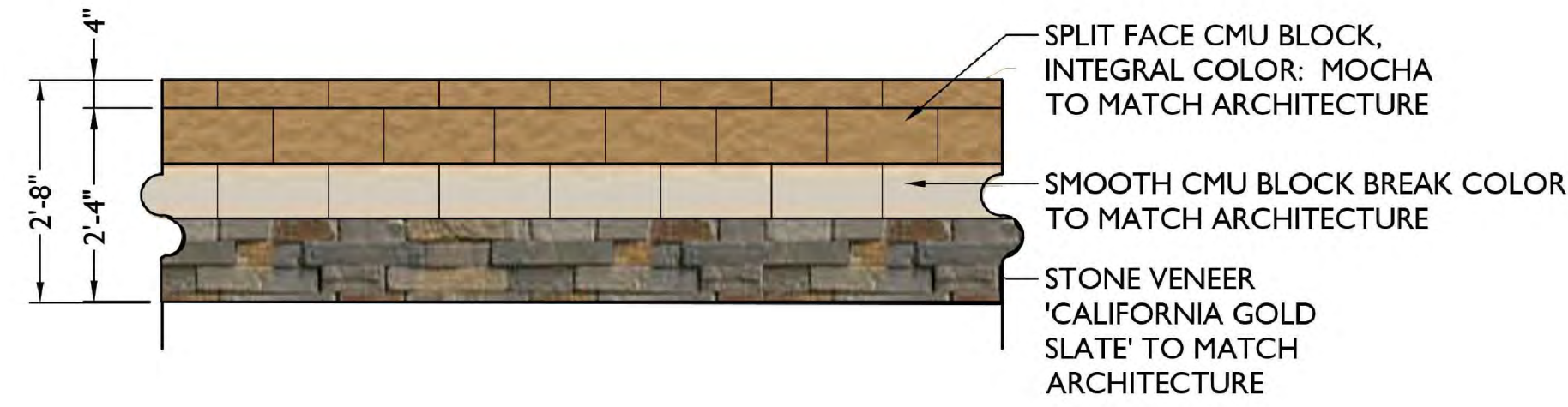
4 6' PERIMETER WALL
Scale: 3/4" = 1'-0"

STRUCTURAL ENGINEERING NOTE:
UNLESS THIS SHEET IS ALSO SEALED BY A REGISTERED STRUCTURAL ENGINEER LICENSED IN THE STATE OF ARIZONA, THE INFORMATION FOR ALL WALLS, COLUMNS AND STRUCTURES ILLUSTRATED WITHIN THIS PLAN SET IS FOR REFERENCE ONLY AND UNDER SEPARATE PERMIT.

GENERAL NOTES:
 1. SEE PLANS FOR LOCATIONS.
 2. SEE CIVIL PLANS FOR FINAL ELEVATIONS AND SPOT GRADES.



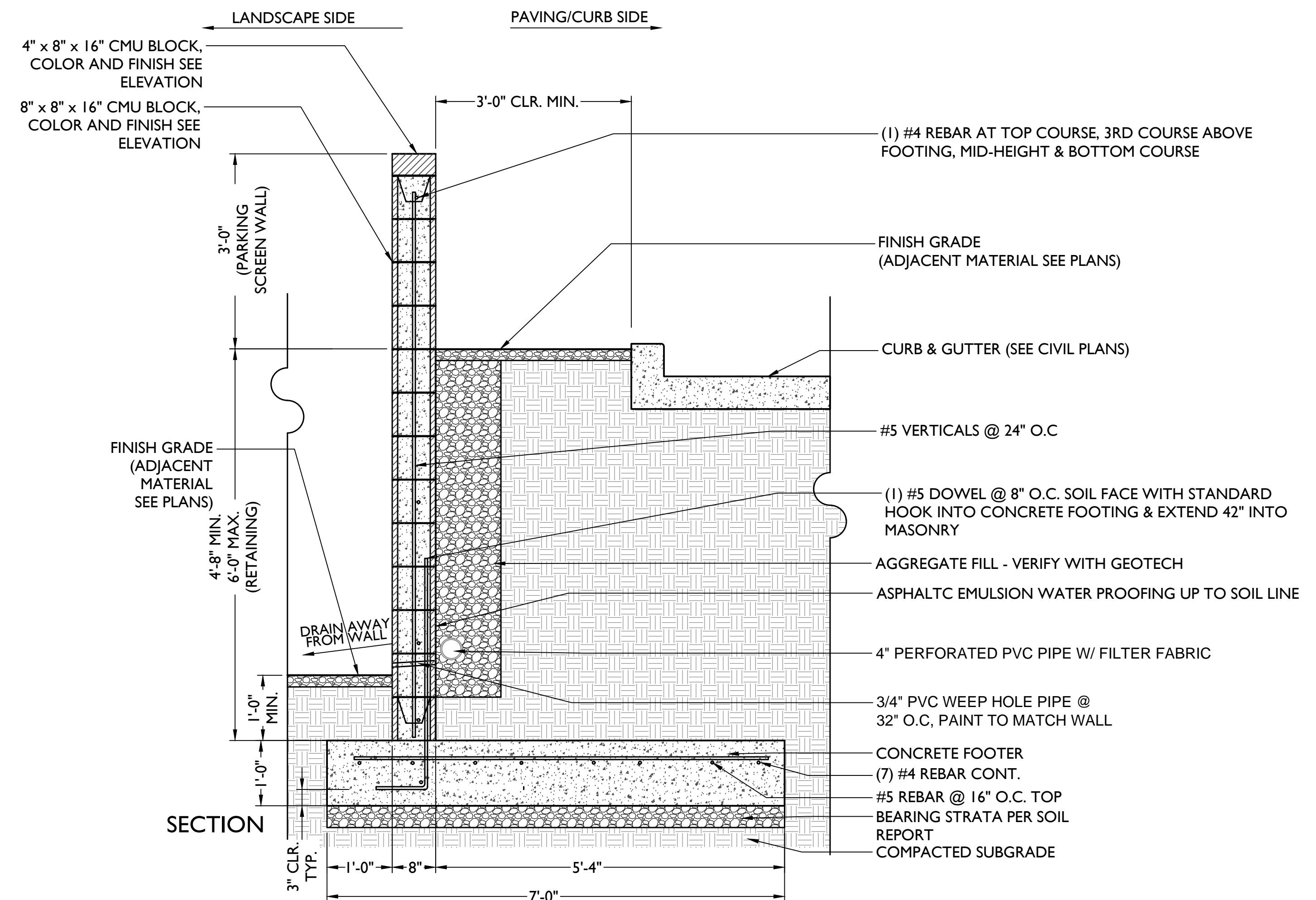
1 RETAINING WALL TYPE 1
 Scale: 3/4" = 1'-0"



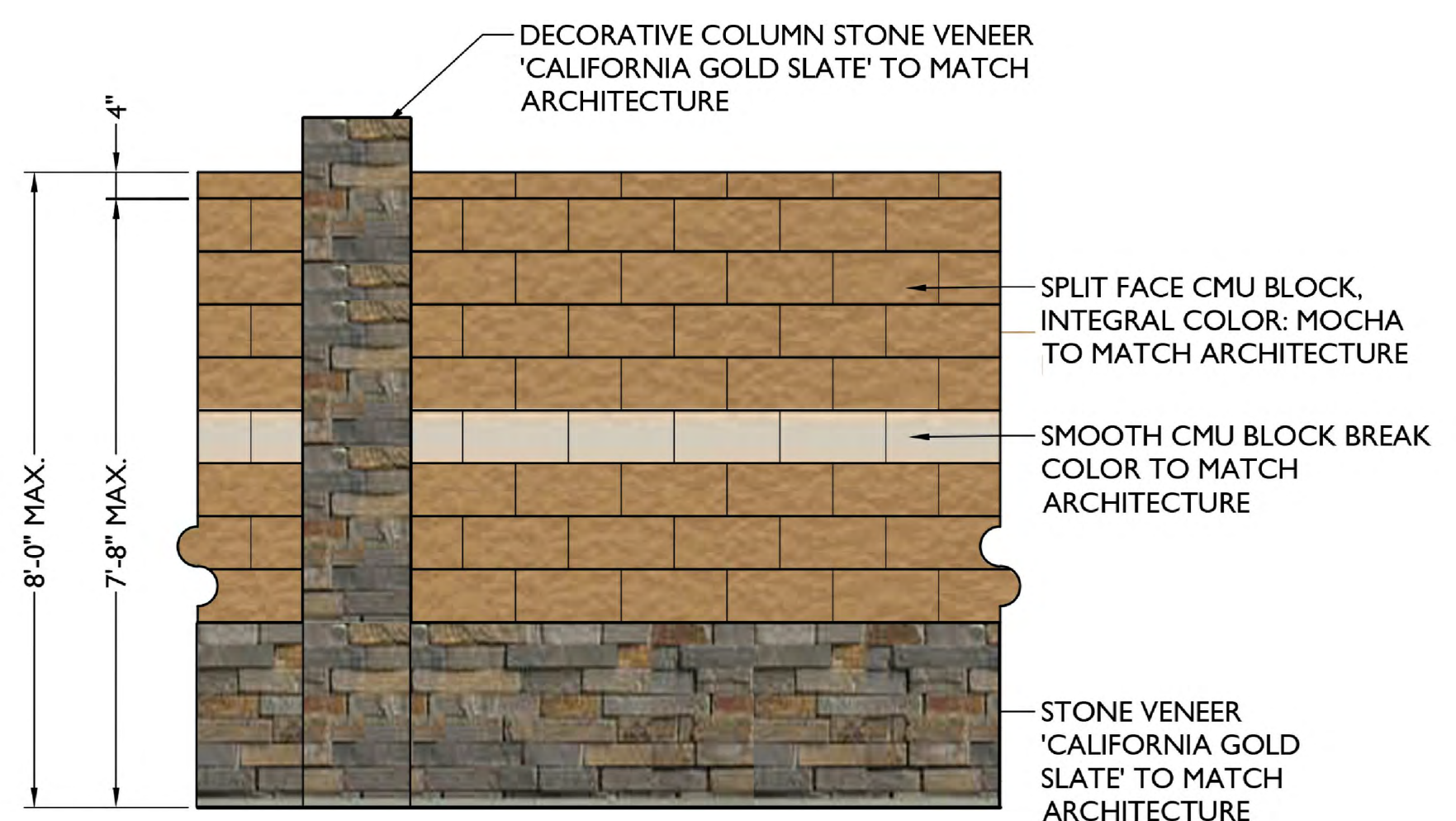
ELEVATION
2 RETAINING WALL TYPE 1
 Scale: 1/2" = 1'-0"

STRUCTURAL ENGINEERING NOTE:
 UNLESS THIS SHEET IS ALSO SEALED BY A REGISTERED STRUCTURAL ENGINEER LICENSED IN THE STATE OF ARIZONA, THE INFORMATION FOR ALL WALLS, COLUMNS AND STRUCTURES ILLUSTRATED WITHIN THIS PLAN SET IS FOR REFERENCE ONLY AND UNDER SEPARATE PERMIT.

GENERAL NOTES:
 1. SEE PLANS FOR LOCATIONS.
 2. SEE CIVIL PLANS FOR FINAL ELEVATIONS AND SPOT GRADES.
 3. SPECIAL STRUCTURAL INSPECTION IS REQUIRED FOR FOOTINGS AND WALLS WHERE WALL IS 6'-0" AND GREATER.

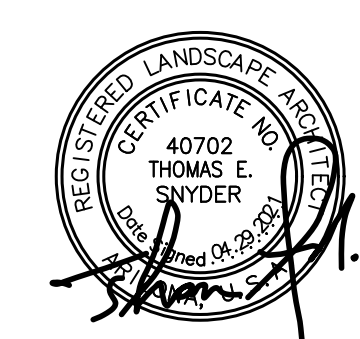


4 RETAINING WALL TYPE 2
 Scale: 3/4" = 1'-0"



NOTE:
 I. ALL DECORATIVE WALL COLUMNS SHALL BE SPACED 150'-0" O.C.

ELEVATION
3 RETAINING WALL TYPE 2
 Scale: 1/2" = 1'-0"





Meeting Minutes

Project Name: Speedway #101370
Project No.: 20-0543

Date: February 24, 2021

Public Attendees:

None

Development Team Attendees:

| | | |
|------------------|---------------------|--|
| Evan Nicholas | Speedway LLC | evannicholas@speedway.com |
| Natalie Griffin | EPS Group, Inc | natalie.griffin@epsgroupinc.com |
| Todd Leslie | EPS Group, Inc. | todd.leslie@epsgroupinc.com |
| Scott Krous | EPS Group, Inc. | scott.krous@epsgroupinc.com |
| Christine Sheehy | Town of Queen Creek | sarah.clark@queencreek.org |
| Casey Treadwell | Vivo Partners | ctreadwell@vivopartners.com |

Meeting Location: Online – GoTo Meeting

Meeting Date: February 23, 2021

Meeting Time: 6:00 – 6:30 PM

Meeting Summary:

A neighborhood meeting was held at the above listed date, time and place to discuss a proposed convenience store and fuel station, located on the southwest corner of Empire Road and Ellsworth Road, within the Town of Queen Creek. While no members of the public attended the virtual meeting, Natalie Griffin with EPS Group, Inc. was present and ready with a PowerPoint presentation and discussion regarding the Conditional Use Permit and Site Plan request.

Conclusion:

The Development Team waited for possible late attendees, of which there were none, and finally adjourned at 6:30 PM with the approval from the Town of Queen Creek representative.

The above is the author's recollection of items discussed and the decisions reached. If there are any corrections or additions to be made, please contact the author. These meeting notes shall become part of the project file.

A copy of the PowerPoint presentation and attendee list is attached.

By: Natalie Griffin

EPS Group

natalie.griffin@epsgroupinc.com

Natalie Griffin

From: Natalie Griffin
Sent: Tuesday, February 16, 2021 2:57 PM
To: D C DAVISON
Cc: Nicholas, Evan (Speedway)
Subject: RE: Speedway project @ Empire & Ellsworth in Queen Creek
Attachments: L_Speedway 101370 Preliminary Landscape Plan.pdf

Good afternoon Mr. and Mrs. Davison,

Thank you so much for reaching out and expressing your concerns regarding our proposed development. We will be sure to include your letter of opposition in our public report and will communicate your concerns to the Town of Queen Creek, though I hope that we may be able to address some of your concerns.

Speedway, as well as the Town of Queen Creek, will ensure the lighting is meeting the local code requirements to ease any concerns of light bleeding out beyond our property lines. Additionally, we are planning on providing trees and a large landscape buffers around the site in order to reduce the amount of pavement and further separate the proposed use from surrounding properties. We will be providing a 30' landscape buffer along the western, northern, and eastern edge of the site and a 40.5' landscape buffer along the south. The proposed Landscape Plan is attached for your reference.

As for the possible increase in traffic, Speedway convenience stores and fuel stations are typically not destination locations, so we do not expect to generate additional traffic at this location but rather hope to only capture a portion of the traffic that is on the road today. To address smells and fumes, Speedway installs state regulated fueling equipment that monitors the system. We recommend visiting the Mesa location on Pecos and Ellsworth to see a new location in person.

Please let me know if you would like to discuss this further or have any questions. I am available by email, phone, and will also be presenting at the Neighborhood Meeting on 2/23.

Regards,

Natalie Griffin | EPS Group, Inc.

Planner

1130 N Alma School Road, Suite 120 | Mesa, AZ 85201

O: 480.503.2250 | natalie.griffin@epsgruoinc.com

[LinkedIn](#) | [Twitter](#) | [Facebook](#)

Notice to Recipients of Electronic Files from EPS Group, Inc.: All electronic files are for recipient's use only and all files are subject to revisions. EPS Group, Inc. makes no guarantees nor warrants the accuracy or completeness of any of the information contained in these files, as recipients should verify all information with actual sealed and signed documents. It shall be the responsibility of recipients to obtain any future updates from EPS Group, Inc.

Join us as we work to make a difference for Arizona families in need - EPS Group is matching dollar-for-dollar donations up to 250,000 meals!



From: D C DAVISON <DAVISON46@msn.com>
Sent: Saturday, February 13, 2021 8:49 AM
To: Natalie Griffin <Natalie.Griffin@epsgroupinc.com>
Subject: RE: Speedway project @ Empire & Ellsworth in Queen Creek

Ms Griffin:

We received the February 5th Notice of Online Neighborhood Meeting for the referred project in the mail this week, due to residing within the proposed area of development. This is our response to your office as directed by the referenced Notice.

We have lived in this area bounded by Ellsworth Rd/ Hawes and Empire Blvd/ Hunt Highway for over twenty years. We moved to the Queen Creek area to enjoy the San Tan Mountains, the open landscape and the "dark skies" that existed at the time. Since moving here, we have seen the Boom growth of the 90's and the subsequent Bust of the early 2000's. Now in the last ten years we have witnessed such tremendous growth that the open, Rural environment we moved here for, has all but disappeared. The annexation by Queen Creek of the property on which U-Haul and Earnhardt Rodeo have built have further affected our lives with bright lights and increased traffic noise.

The building of a Speedway Service Station is a further insult to those of us who bought out here for the "peace and quiet." By all indications from the Site development drawing, we will be seeing the lights, smelling the gasoline and hearing the "noise of business" quite frequently.

We therefore, will voice our Objection to this further infringement on our peaceful Rural environment, and ask that this project Not be granted approval.

Thank you for your time and consideration.

David and Cheryl Davison
6810 West Hunt Highway
Queen Creek, AZ

CAUTION - EXTERNAL EMAIL

Phishing? Forward to Helpdesk or _Trouble ticket

From: [Christine Sheehy](#)
To: [D C DAVISON](#)
Subject: Re: Proposed Speedway LLC project
Date: Wednesday, February 17, 2021 8:07:42 AM

Dear Mr. and Ms. Davison,

Thank you for reaching out and expressing your concerns. Your comments will be added to the public record for the case and included in the staff reports for the Planning Commission and Town Council. For a bit of history, this site was rezoned by Pinal County for commercial development before the property was annexed by the Town of Queen Creek in 2018. The reason for the Public Hearing is for the proposed fueling area, which requires a Conditional Use Permit (CUP) and is subject to the public hearing process. If you would like to discuss this further, please do not hesitate to give me a call.

On Tue, Feb 16, 2021 at 5:15 PM D C DAVISON <DAVISON46@msn.com> wrote:

Ms. Sheehy,

We received notice of the online meeting to discuss the proposed development by Speedway LLC of the land at the corner of Empire and Ellsworth at the beginning of February (2/5/2021) We are submitting this email as an Official Objection to the above project.

We have lived in the Queen Creek area for over 20 years, and have slowly seen the erosion of our Rural environment. We lost our "dark skies," and the peace and quiet we sought when we bought out here with the development of U-Haul and Earnhardt at the Empire/Ellsworth corner and now another developer is proposing building nearby. Over the years, those of us in the foothills of the San Tan mountains have fought against -- and repeatedly lost -- more and more of the lifestyle we moved here to have. We did write to Natalie Griffen at Speedway, Objecting to their development and received a gracious and informative response, that I appreciated. However, though we do not expect to sway the Town Council's opinion to grant Speedway's request, we will continue to protest and object to the further urbanization of our area.

Thank you for your consideration of our Objections.

Dave and Cheryl Davison
6810 W. Hunt Highway
Queen Creek, AZ 85142

Emails generated by council members, members of Town commissions and committees and by staff and that pertain to Town business are public records. These emails are preserved as required by law and generally are available for public inspection. Email correspondence is regularly reviewed by members of the public, media outlets and reporters. To ensure compliance with the Open Meeting Law, members of the Town Council, Commissions and

Committees should not forward or copy email correspondence to other members of the Council, boards or commissions and should not use reply all when responding to this message. Any questions should be directed to the Town Attorney: (602) 285-5000.

CAUTION - EXTERNAL EMAIL

Phishing? Forward to Helpdesk or _Trouble ticket

Meeting Minutes

Project Name: Speedway #101370
 Project No.: 20-0543

Date: February 24, 2021








FEB
23

Neighborhood Meeting for Speedway #101370

🕒 5:17 PM - 74 min | ID: 116369709

Attendees

 Diagnostics

| Attendee | Join & leave times | Location |
|---|--------------------|-------------|
|  +16027507607 | 6:20 PM - 6:21 PM | - |
|  Nicholas, Evan (Speedway) | 5:44 PM - 6:31 PM | - |
|  Casey Treadwell | 6:02 PM - 6:16 PM | Mesa |
|  Natalie Griffin natalie.griffin@epsgroupinc.com | 5:17 PM - 6:31 PM | Wheat Ridge |
|  Scott Krous todd.leslie@epsgroupinc.com | 5:57 PM - 6:31 PM | Mesa |
|  Christine Sheehy christine.sheehy@queencreek.org | 5:51 PM - 6:31 PM | Queen Creek |
|  Todd Leslie todd.leslie@epsgroupinc.com | 6:01 PM - 6:31 PM | Mesa |

Welcome to the Speedway #101370 Neighborhood Meeting

(SWC Empire Road and Ellsworth Road)
February 23, 2021



Virtual Neighborhood Meeting Agenda

1. Neighborhood Meeting Presentation
2. Question & Answer (Q&A) Session

Please note: Comments received through the chat box will be a part of the public record.

Please do not hesitate to contact:

Natalie Griffin, EPS Group, Inc.

Evan Nicholas, Speedway, LLC

Phone: (480) 503-2250

Phone: (937) 267-2589

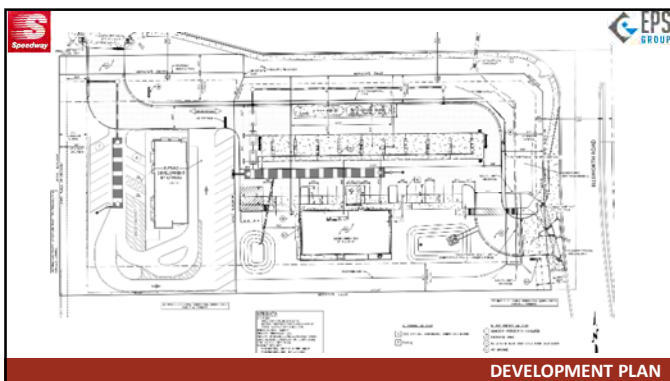
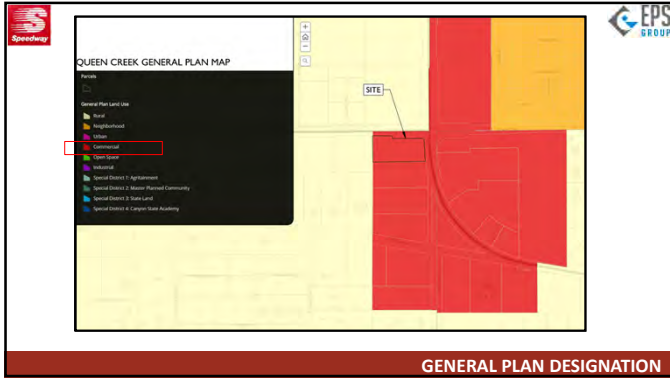
Email: natalie.griffin@epsgruoinc.com

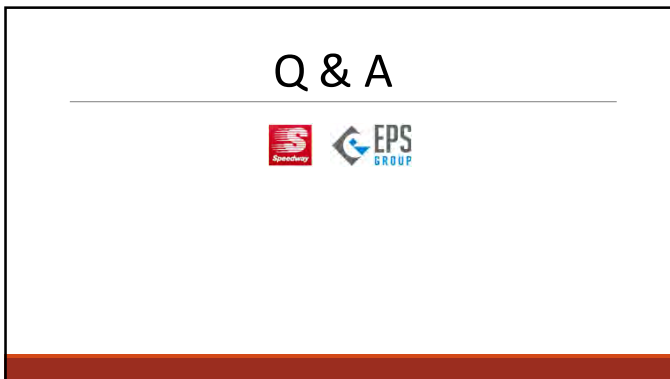
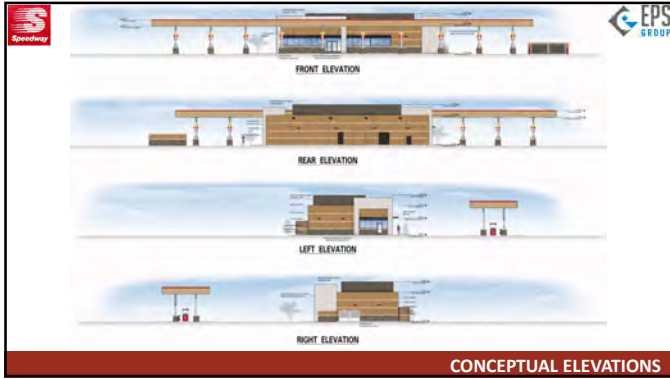
Email: evannicholas@speedway.com



Project Overview

1. The first request is for a Conditional Use Permit (CUP) to permit fuel sales from the site.
2. A second request is for a Preliminary Site Plan approval for a 98' x 48' convenience store and fuel canopy with ten (10) dispensers.





LEGAL DESCRIPTION

LOT ONE (1), SAN TAN RANCHES UNIT 3, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF PINAL COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 9.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE PINAL COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA RECORDED OCTOBER 16, 2008 AS 2008-098872 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PARCEL OF LAND SITUATE IN A PORTION OF THE OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 3, TOWNSHIP 3 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA, MONUMENTED BY A 1 INCH IRON PIPE WITH ALUMINUM TAG STAMPED "WECKERLY & ASSOCIATES LS 32778", FROM WHICH THE NORTHEAST CORNER OF SAID SECTION 3, MONUMENTED BY A 3-1/2 INCH PINAL COUNTY HIGHWAY DEPARTMENT ALUMINUM CAP DOWN 0.50 FEET IN A DIRT HOLE STAMPED "307105", BEARS AS A BASIS OF BEARINGS NORTH 00° 11' 04" WEST, A DISTANCE OF 2618.89 FEET;

THENCE NORTH 00° 11' 04" WEST ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 3, A DISTANCE OF 480.12 FEET TO A COTTON PICKER SPINDLE AND THE CENTERLINE OF HUNT HIGHWAY;

THENCE ALONG THE CENTERLINE OF HUNT HIGHWAY FOR THE FOLLOWING FOUR COURSES AND DISTANCES:

THENCE NORTH 80° 28' 33" WEST, A DISTANCE OF 1674.74 FEET;

THENCE NORTH 80° 27' 31" WEST, A DISTANCE OF 1004.49 FEET TO A POINT ON THE EASTERLY LINE OF THE NORTHWEST QUARTER OF SAID SECTION 3;

THENCE NORTH 80° 26' 08" WEST, A DISTANCE OF 1741.30 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE NORTHEASTERLY, WHOSE RADIUS POINT BEARS NORTH 09° 33' 52" EAST, A DISTANCE OF 1200.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 80°10'59", AN ARC DISTANCE OF 1679.35 FEET TO THE INTERSECTION OF HUNT HIGHWAY AND ELLSWORTH ROAD AND A POINT OF TANGENCY;

THENCE NORTH 00° 15' 09" WEST ALONG THE CENTERLINE OF ELLSWORTH ROAD, A DISTANCE OF 114.78 FEET;

THENCE DEPARTING SAID CENTERLINE SOUTH 89° 44' 51" WEST, A DISTANCE OF 40.04 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00° 12' 19" EAST, A DISTANCE OF 260.01 FEET;

THENCE SOUTH 89° 19' 51" WEST, A DISTANCE OF 26.42 FEET TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE EASTERLY, WHOSE RADIUS POINT BEARS NORTH 83° 11' 54" EAST, A DISTANCE OF 1275.00 FEET;

THENCE NORTHERLY ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 08°32'57", AN ARC DISTANCE OF 146.74 FEET TO A POINT OF TANGENCY;

THENCE NORTH 00° 15' 09" WEST, A DISTANCE OF 69.53 FEET;

THENCE NORTH 45° 27' 39" WEST, A DISTANCE OF 28.16 FEET;

THENCE SOUTH 89° 19' 51" WEST, A DISTANCE OF 304.45 FEET;

THENCE NORTH 00° 40' 09" WEST, A DISTANCE OF 25.00 FEET;

THENCE NORTH 89° 19' 51" EAST, A DISTANCE OF 389.59 FEET TO THE TRUE POINT OF BEGINNING, AND EXCEPTING THEREFROM, ALL COAL, OIL, GAS, AND OTHER MINERAL DEPOSITS, AS RESERVED IN THE PATENT RECORDED IN BOOK 41, PAGE 26 OF DEEDS.

LEGAL DESCRIPTION PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE WITH FILE NO. INCS-1010114-SBANT, HAVING AN EFFECTIVE DATE OF APRIL 06, 2009, AT 5:00 AM