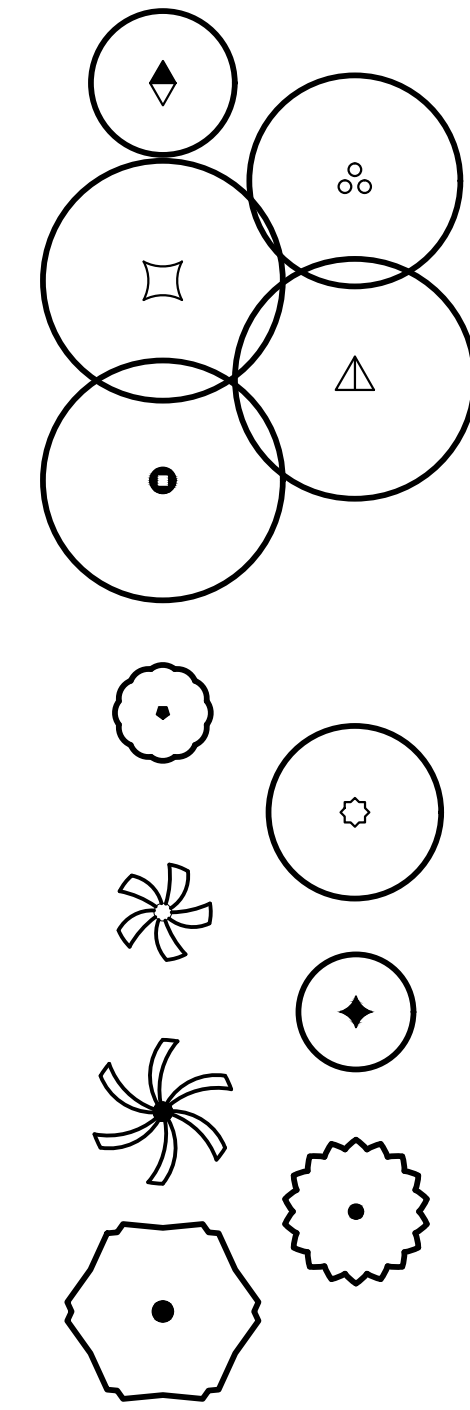


## LANDSCAPE PALETTE



- SHADE TREES**
- ITEM
- Fraxinus greggii*  
LITTLE LEAF ASH
- Parkinsonia x 'Desert Museum'*  
DESERT MUSEUM PALO VERDE
- Pistacia x 'Red Push'*  
RED PUSH PISTACHE
- Prosopis glandulosa 'Thornless AZT'*  
THORNLESS HONEY MESQUITE
- Ulmus parvifolia 'Sempervirens'*  
CHINESE EVERGREEN ELM
- ACCENT/ORNAMENTAL TREES**
- ITEM
- Bauhinia lunarioides*  
ANACACHO ORCHID
- Caesalpinia cacalaco 'Smoothie' TM*  
CASCALOTE
- Chamaerops humilis*  
MEDITERRANEAN FAN PALM
- Pistacia lentiscus*  
MASTIC TREE
- Phoenix dactylifera*  
DATE PALM
- Sophora secundiflora*  
TEXAS MOUNTAIN LAUREL
- Vitex agnus-castus*  
CHASTE TREE

## SHRUBS, ACCENTS, GROUNDCOVER

- SHRUBS**
- Bougainvillea x 'Torch Glow'*  
TORCH GLOW BUSH BOUGAINVILLEA
- Caesalpinia mexicana*  
MEXICAN BIRD-OF-PARADISE
- Caesalpinia pulcherrima*  
RED BIRD-OF-PARADISE
- Calliandra californica*  
RED BAJA FAIRY DUSTER
- Cassia artemisioides*  
FEATHERY CASSIA
- Cassia phyllodes*  
SILVERY CASSIA
- Dodonaea viscosa 'Green'*  
GREEN HOPSEED BUSH
- Eremophila glabra carnososa*  
WINTER BLAZE EMU BUSH
- Eremophila maculata 'Valentine'*  
VALENTINE BUSH
- Leucophyllum laevigatum*  
CHIHUAHUA SAGE
- Leucophyllum langmaniae 'Lynn's Legacy'*  
LYNN'S LEGACY TEXAS SAGE
- Muhlenbergia capillaris 'Regal Mist' TM*  
REGAL MIST DEER GRASS
- Ruellia penninsularis*  
DESERT RUELLIA
- Tecoma x 'Orange Jubilee'*  
ORANGE JUBILEE TECOMA BELLS
- Tecomaria capensis*  
CAPE HONEYSUCKLE

- ACCENTS**
- Aloe striata*  
CORAL ALOE
- Aloe x 'Blue Elf'*  
BLUE ELF ALOE
- Hesperaloe funifera*  
GIANT HESPERALOE
- Hesperaloe parviflora*  
RED YUCCA
- Hesperaloe parviflora 'Perpe'*  
BRAKELIGHTS RED YUCCA
- Muhlenbergia emersleyi*  
EL TORO GRASS
- Muhlenbergia lindheimeri*  
'AUTUMN GLOW'
- Yucca pallida*  
PALE LEAF YUCCA

- GROUNDCOVERS**
- Acacia redolens 'Desert Carpet' TM*  
DESERT CARPET ACACIA
- Eremophila glabra 'Mingenev Gold'*  
OUTBACK SUNRISE
- Lantana camara 'New Gold'*  
NEW GOLD LANTANA
- Lantana montividesis*  
PURPLE TRAILING LANTANA

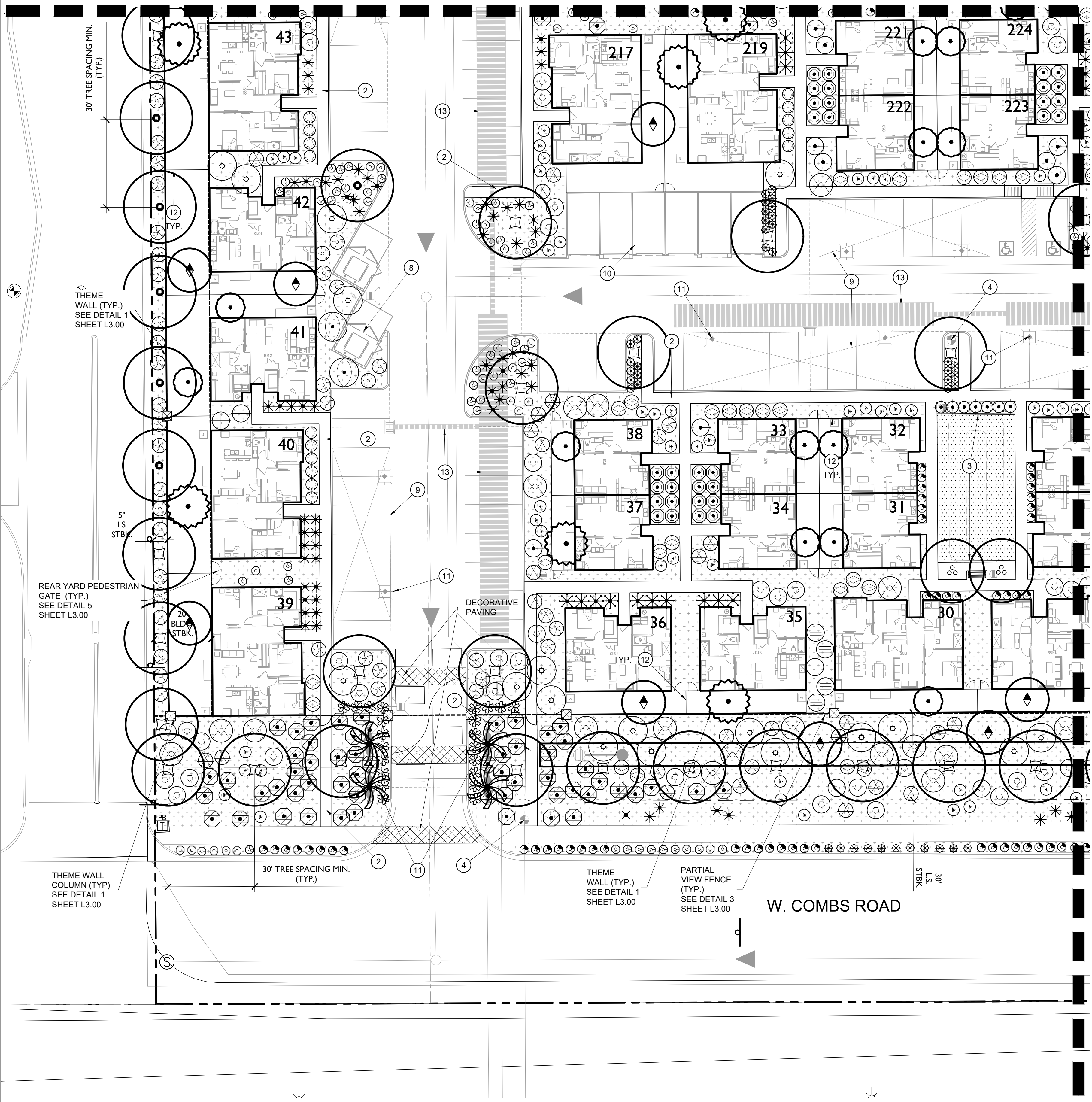
- MISCELLANEOUS**
- ITEM
- Cynodon dactylon 'Midiron'*  
BERMUDA GRASS
- ARTIFICIAL TURF
- ROCK MULCH
- PALO VERDE BROWN GRANITE

## LANDSCAPE KEYNOTES

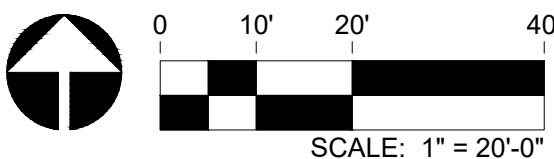
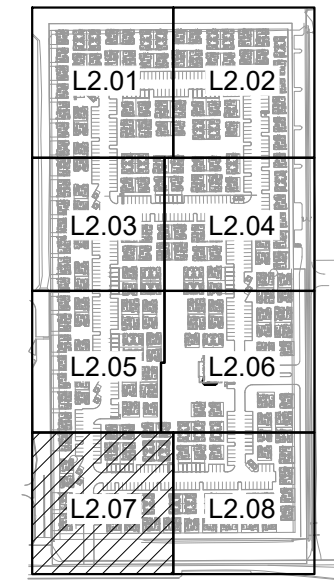
- 1 VISIBILITY EASEMENT. ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0".
- 2 LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 3 CONCRETE HEADER
- 4 FIRE HYDRANT - TREES AND SHRUBS TO MAINTAIN A 3'-0" CLEARANCE
- 5 ENTRY MONUMENT
- 6 POOL
- 7 CLUBHOUSE
- 8 TRASH ENCLOSURE, TYP.
- 9 PARKING CANOPY, TYP.
- 10 GARAGE, TYP.
- 11 LIGHT FIXTURE-SEE LIGHTING PLAN, TYP.
- 12 BUILDER WALL TO BE BUILT WITH CONSTRUCTION OF UNIT, BY OTHERS, TYP.
- 13 UNDERGROUND UTILITY / STORM DRAIN PER CIVIL

MATCHLINE, SEE SHEET L2.05

MATCHLINE, SEE SHEET L2.08



## KEY MAP



# THE BUNGALOWS AT GANTZEL & COMBS QUEEN CREEK, ARIZONA

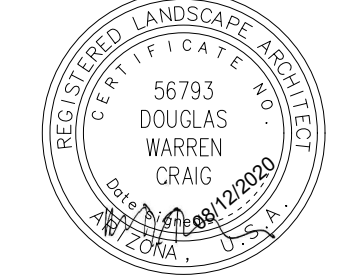
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DATE: 08/12/2020  
DRAWN: TEAM  
REVIEWED: MD

REVISIONS

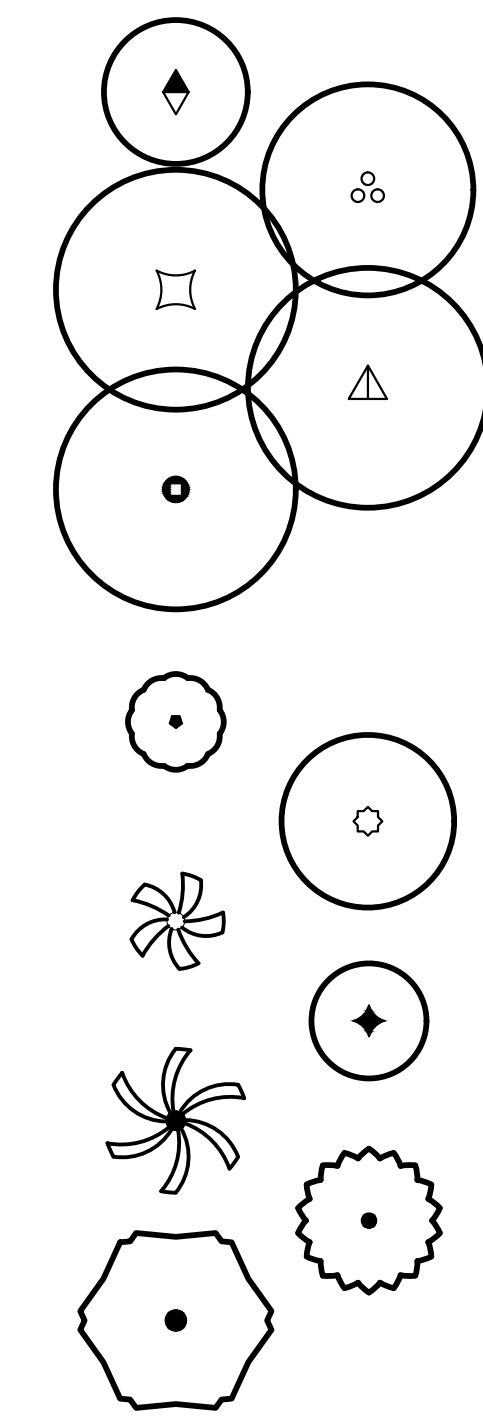
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## PLANTING PLAN

# L2.07



## LANDSCAPE PALETTE

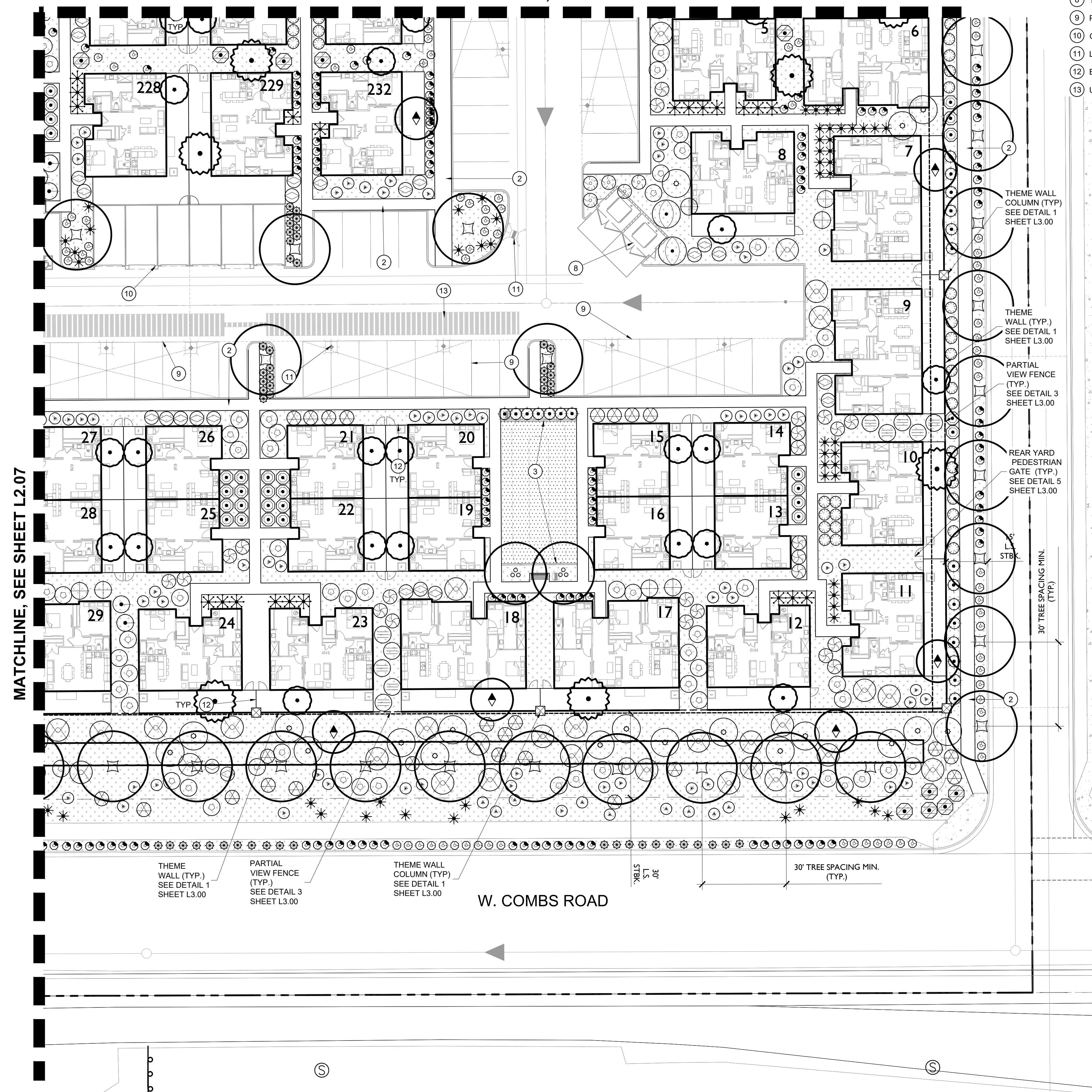


- SHADE TREES**  
ITEM  
*Fraxinus greggii*  
LITTLE LEAF ASH  
*Parkinsonia x 'Desert Museum'*  
DESERT MUSEUM PALO VERDE  
*Pistacia x 'Red Push'*  
RED PUSH PISTACHE  
*Prosopis glandulosa 'Thornless AZT'*  
THORNLESS HONEY MESQUITE  
*Ulmus parvifolia 'Sempervirens'*  
CHINESE EVERGREEN ELM
- ACCENT/ORNAMENTAL TREES**  
ITEM  
*Bauhinia lunarioides*  
ANACACHO ORCHID  
*Caesalpinia cacalaco 'Smoothie' TM*  
CASCALOTE  
*Chamaerops humilis*  
MEDITERRANEAN FAN PALM  
*Pistacia lentiscus*  
MASTIC TREE  
*Phoenix dactylifera*  
DATE PALM  
*Sophora secundiflora*  
TEXAS MOUNTAIN LAUREL  
*Vitex agnus-castus*  
CHASTE TREE
- SHRUBS, ACCENTS, GROUNDCOVER**  
ITEM  
**SHRUBS**  
*Bougainvillea x 'Torch Glow'*  
TORCH GLOW BUSH BOUGAINVILLEA  
*Caesalpinia mexicana*  
MEXICAN BIRD-OF-PARADISE  
*Caesalpinia pulcherrima*  
RED BIRD-OF-PARADISE  
*Calliandra californica*  
RED BAJA FAIRY DUSTER  
*Cassia artemisioides*  
FEATHERY CASSIA  
*Cassia phyllodes*  
SILVERY CASSIA  
*Dodonaea viscosa 'Green'*  
GREEN HOPSEED BUSH  
*Eremophila glabra carnososa*  
WINTER BLAZE EMU BUSH  
*Eremophila maculata 'Valentine'*  
VALENTINE BUSH  
*Leucophyllum laevigatum*  
CHIHUAHUA SAGE  
*Leucophyllum langmaniae 'Lynn's Legacy'*  
LYNN'S LEGACY TEXAS SAGE  
*Muhlenbergia capillaris 'Regal Mist' TM*  
REGAL MIST DEER GRASS  
*Ruellia penninsularis*  
DESERT RUELLIA  
*Tecoma x 'Orange Jubilee'*  
ORANGE JUBILEE TECOMA BELLS  
*Tecomaria capensis*  
CAPE HONEYSUCKLE
- ACCENTS**  
*Aloe striata*  
CORAL ALOE  
*Aloe x 'Blue Elf'*  
BLUE ELF ALOE  
*Hesperaloe funifera*  
GIANT HESPERALOE  
*Hesperaloe parviflora*  
RED YUCCA  
*Hesperaloe parviflora 'Perpe'*  
BRAKELIGHTS RED YUCCA  
*Muhlenbergia emersleyi*  
EL TORO GRASS  
*Muhlenbergia lindheimeri*  
'AUTUMN GLOW'  
*Yucca pallida*  
PALE LEAF YUCCA
- GROUNDCOVERS**  
*Acacia redolens 'Desert Carpet' TM*  
DESERT CARPET ACACIA  
*Eremophila glabra 'Mingenew Gold'*  
OUTBACK SUNRISE  
*Lantana camara 'New Gold'*  
NEW GOLD LANTANA  
*Lantana montivivensis*  
PURPLE TRAILING LANTANA
- MISCELLANEOUS**  
ITEM  
*Cynodon dactylon 'Midiron'*  
BERMUDA GRASS  
ARTIFICIAL TURF  
ROCK MULCH  
PALO VERDE BROWN GRANITE

## LANDSCAPE KEYNOTES

- 1 VISIBILITY EASEMENT. ALL TREE CROWNS SHALL BE MIN. 6'-0" TO BOTTOM OF CANOPY. ALL SHRUBS AND GROUNDCOVERS SHALL HAVE A MAX. HEIGHT OF 2'-0".
- 2 LOCATION OF SIDEWALK, REFER TO ENGINEERING PLANS FOR MORE INFORMATION.
- 3 CONCRETE HEADER
- 4 FIRE HYDRANT - TREES AND SHRUBS TO MAINTAIN A 3'-0" CLEARANCE
- 5 ENTRY MONUMENT
- 6 POOL
- 7 CLUBHOUSE
- 8 TRASH ENCLOSURE, TYP.
- 9 PARKING CANOPY, TYP.
- 10 GARAGE, TYP.
- 11 LIGHT FIXTURE-SEE LIGHTING PLAN, TYP.
- 12 BUILDER WALL TO BE BUILT WITH CONSTRUCTION OF UNIT, BY OTHERS, TYP.
- 13 UNDERGROUND UTILITY / STORM DRAIN PER CIVIL

MATCHLINE, SEE SHEET L2.06



THEME WALL COLUMN (TYP.) SEE DETAIL 1 SHEET L3.00

THEME WALL (TYP.) SEE DETAIL 1 SHEET L3.00

PARTIAL VIEW FENCE (TYP.) SEE DETAIL 3 SHEET L3.00

REAR YARD PEDESTRIAN GATE (TYP.) SEE DETAIL 5 SHEET L3.00

30' TREE SPACING MIN. (TYP.)

THEME WALL (TYP.) SEE DETAIL 1 SHEET L3.00

PARTIAL VIEW FENCE (TYP.) SEE DETAIL 3 SHEET L3.00

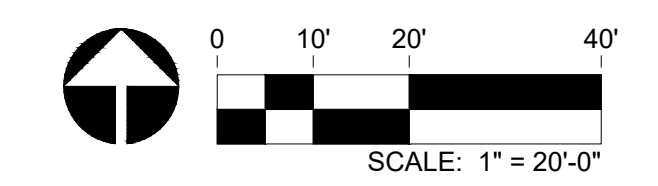
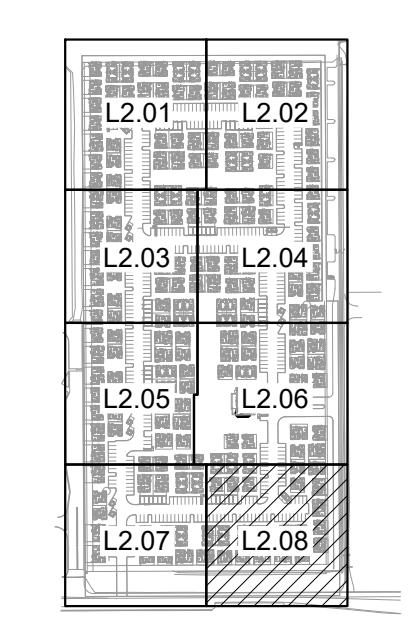
THEME WALL COLUMN (TYP.) SEE DETAIL 1 SHEET L3.00

W. COMBS ROAD

30' L.S. STBK.

30' TREE SPACING MIN. (TYP.)

## KEY MAP



# THE BUNGALOWS AT GANTZEL & COMBS QUEEN CREEK, ARIZONA

PROJECT NO: 19002953  
DATE: 08/12/2020  
DRAWN: TEAM  
REVIEWED: MD

REVISIONS

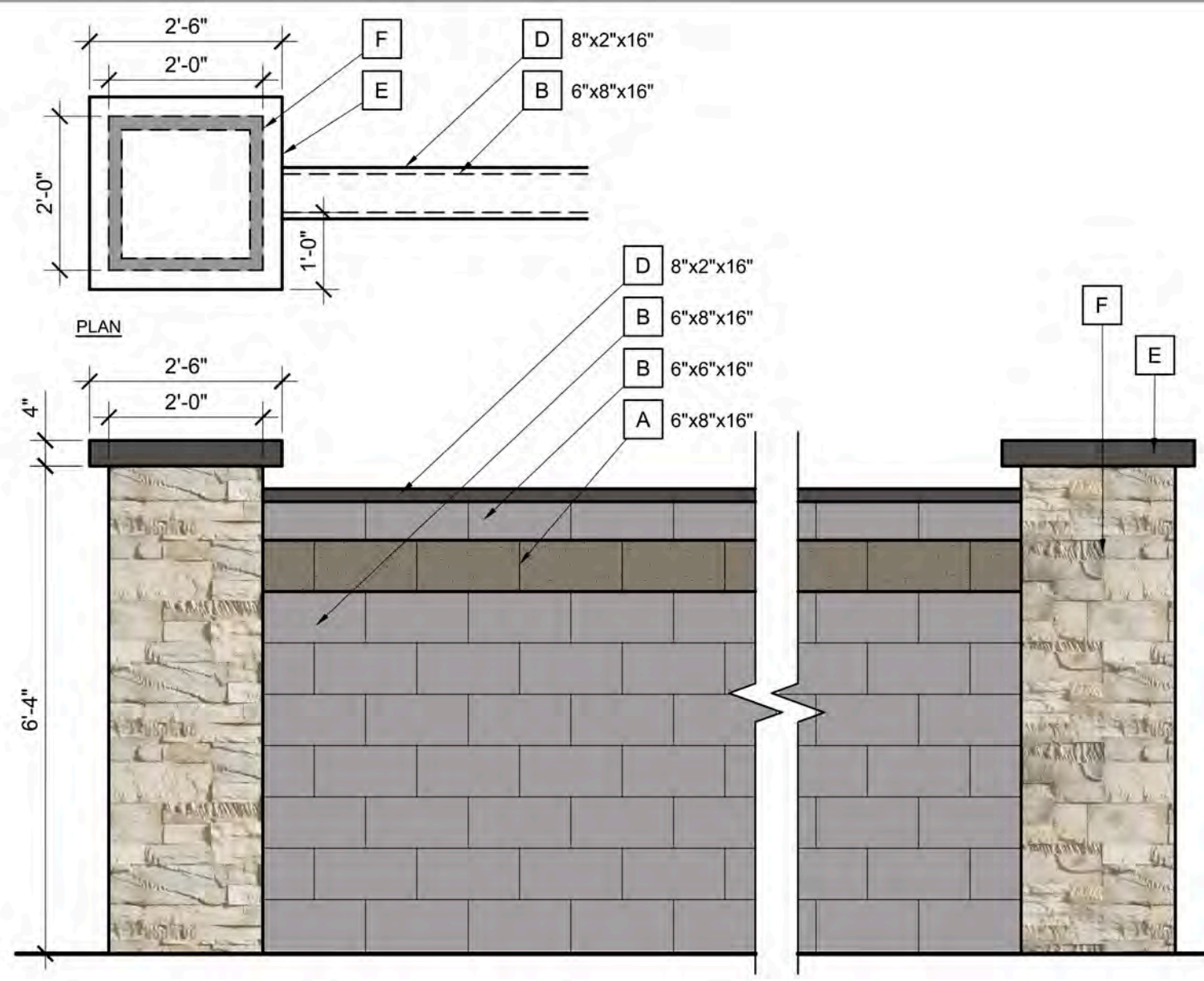
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## PLANTING PLAN

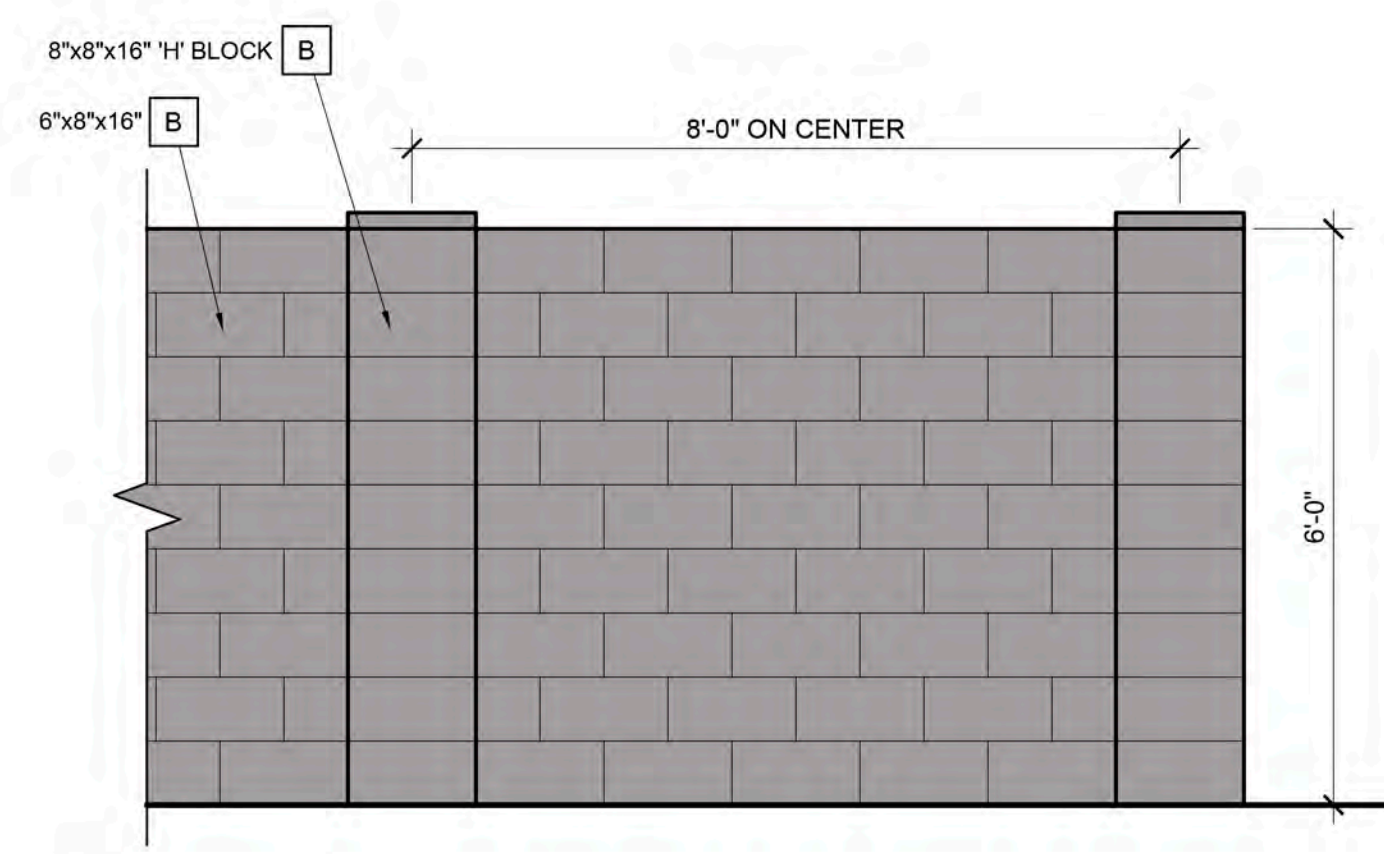
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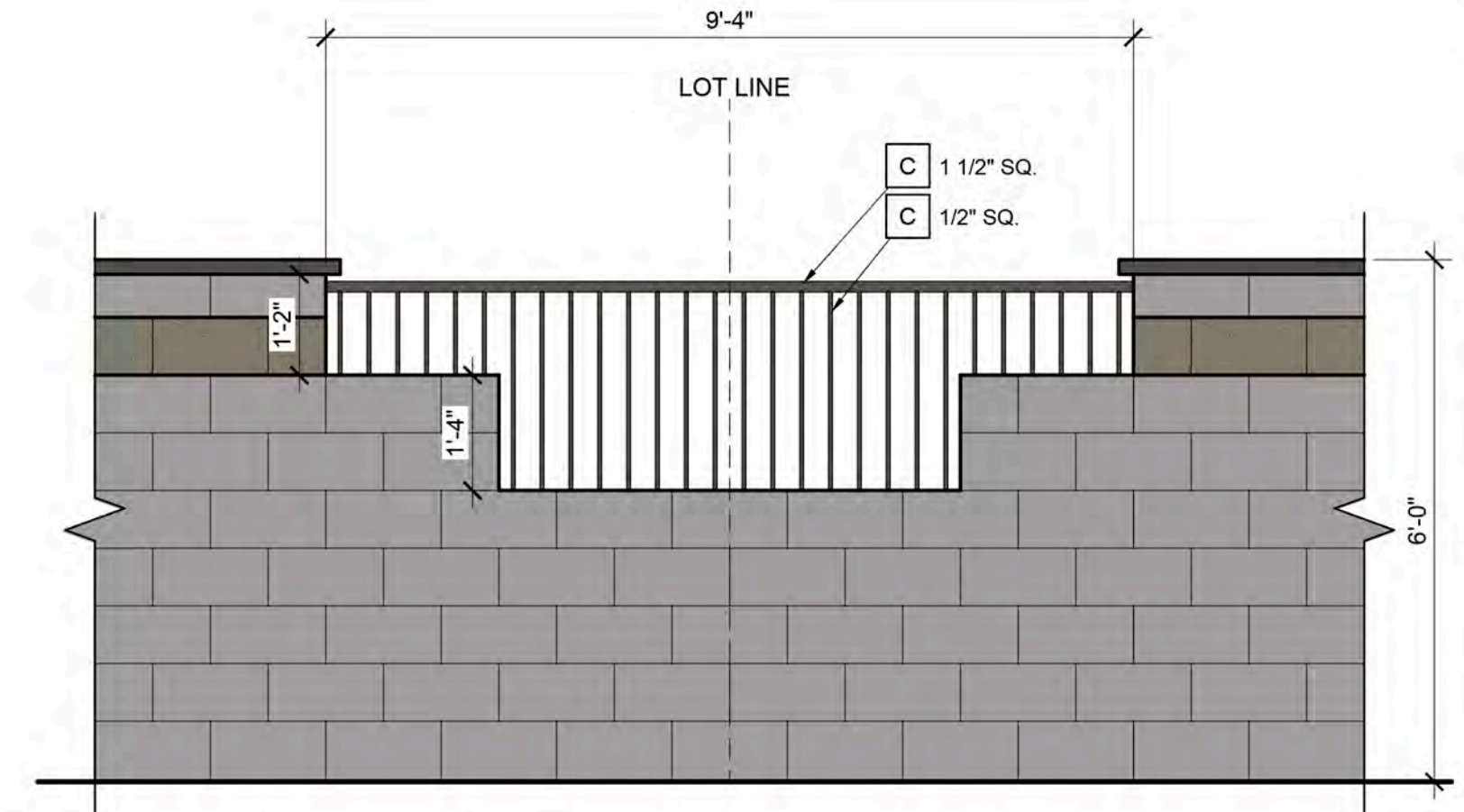




**1 6' Ht. Theme Wall and Column Elevation**  
SCALE: 1/2" = 1'-0"



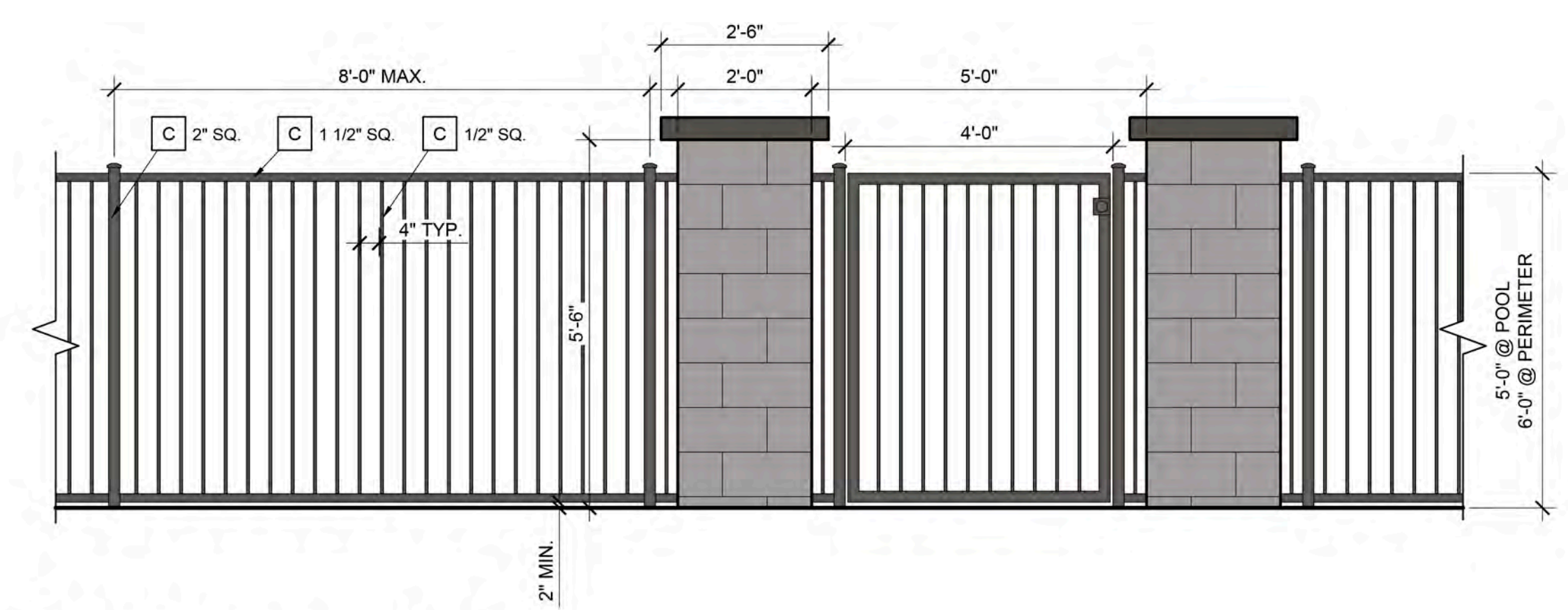
**2 Builder Wall**  
SCALE: 1/2" = 1'-0"



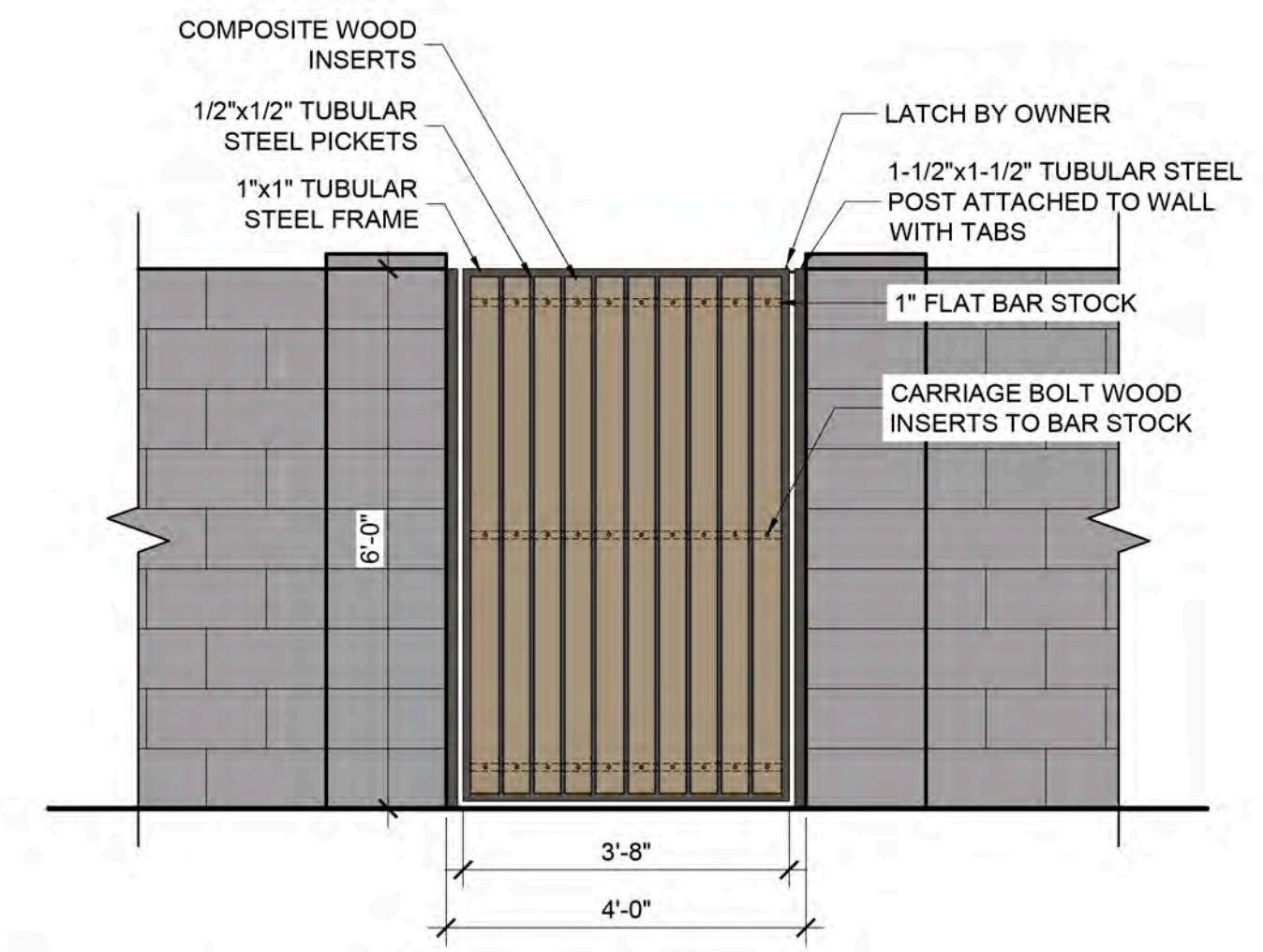
**3 Partial View Wall**  
SCALE: 1/2" = 1'-0"

	COLOR: 'URBANE BRONZE' SW7048 USED ON: MASONRY CAP, TUBE STEEL, MAILBOX		COLOR: 'GAUNTLET GREY' SW7019 USED ON: SMOOTH FACE BLOCK		COLOR: 'ANONYMOUS' SW7046 USED ON: SPLIT FACE BLOCK		STONE VENEER COLOR: 'TIMBERWOLF CRAFT SPLIT MODULAR' USED ON: ENTRY MONUMENT
--	--	--	---	--	--	--	--

HARDSCAPE SCHEDULE	
<b>A</b>	<b>ITEM</b> SPLIT FACE BLOCK <b>COLOR FINISH SPECIFICATIONS</b> SW7046 'ANONYMOUS' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>B</b>	<b>ITEM</b> SMOOTH FACE BLOCK <b>COLOR FINISH SPECIFICATIONS</b> SW7019 'GAUNTLET GREY' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>C</b>	<b>ITEM</b> TUBULAR STEEL <b>COLOR FINISH SPECIFICATIONS</b> SW7048 'URBANE BRONZE' SATIN FINISH PAINT ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S. <b>MANUFACTURER</b> TUBULAR STEEL LOCAL SOURCE
<b>D</b>	<b>ITEM</b> MASONRY CAP <b>COLOR FINISH SPECIFICATIONS</b> SW7048 'URBANE BRONZE' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>E</b>	<b>ITEM</b> CAST IN PLACE CAP <b>COLOR FINISH SPECIFICATIONS</b> SW7048 'URBANE BRONZE'
<b>F</b>	<b>ITEM</b> STONE VENEER <b>COLOR FINISH SPECIFICATIONS</b> TIMBERWOLF CRAFT SPLIT MODULAR STANDARD GRAY GROUT & MORTAR WASH. INSTALL PER MFR'S SPEC'S. <b>MANUFACTURER</b> CREATIVE MINES
<b>G</b>	<b>ITEM</b> CAST IN PLACE CONCRETE WALL <b>COLOR FINISH SPECIFICATIONS</b> NATURAL GRAY
<b>H</b>	<b>ITEM</b> LETTERING <b>COLOR FINISH SPECIFICATIONS</b> BLACK STANDARD 12" HEIGHT, PINNED AND BACKLIT <b>MANUFACTURER</b> LOCAL SIGN MFR.
<b>I</b>	<b>ITEM</b> CLUSTER BOX <b>COLOR FINISH SPECIFICATIONS</b> SW7048 'URBANE BRONZE' N/A 20 DOOR USPS CLUSTER BOX UNIT (3416D-20BRZ) <b>MANUFACTURER</b> INSTALL PER MFR. SPEC'S. SALSBURY INDUSTRIES (www.mailboxes.com, 800.624.5269)



**4 View Fencing and Gate**  
SCALE: 1/2" = 1'-0"



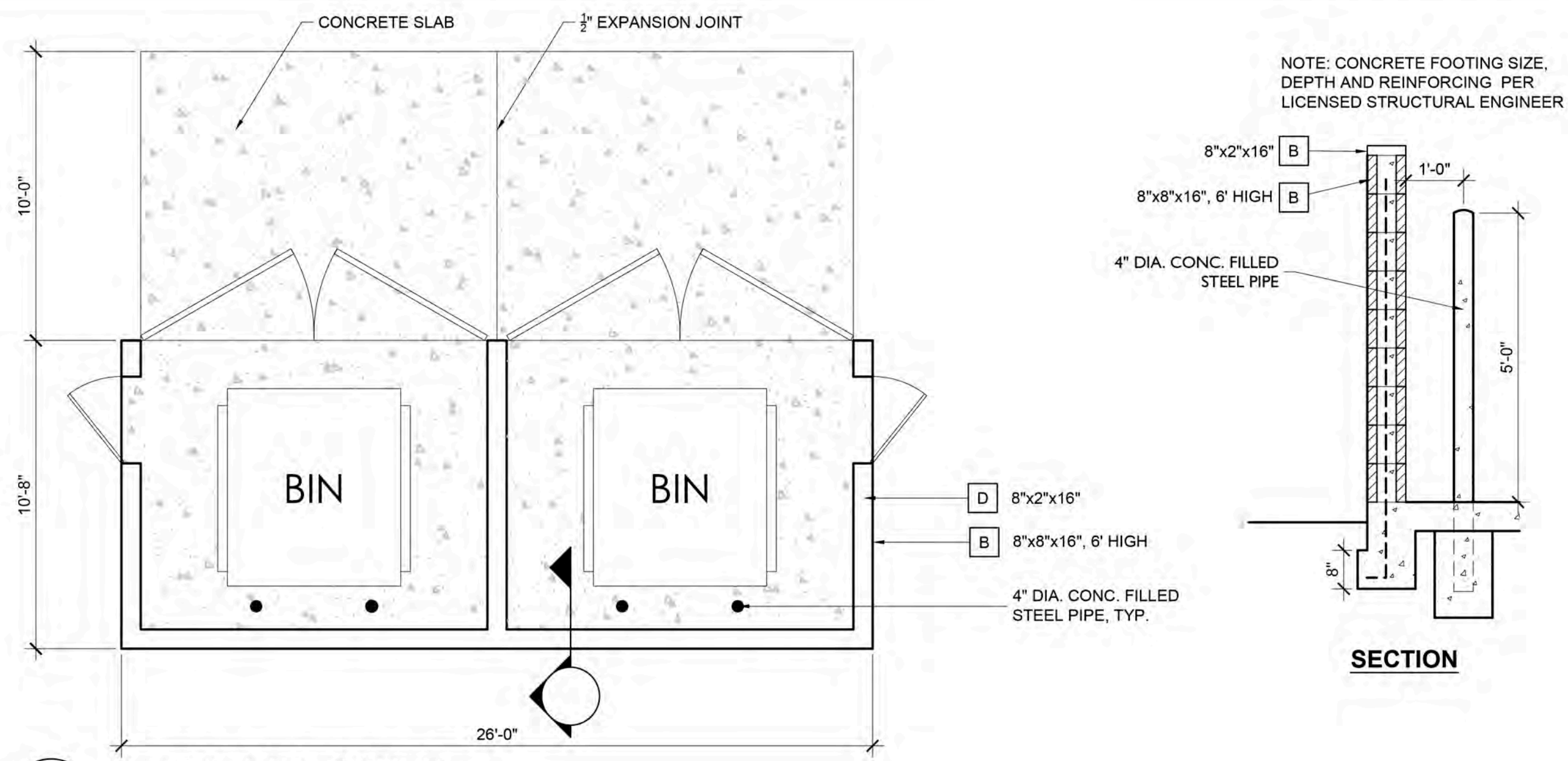
**5 REAR YARD PEDESTRIAN GATE**  
SCALE: 1/2" = 1'-0"



**6 Entry Monument Elevation**  
SCALE: 1/2" = 1'-0"

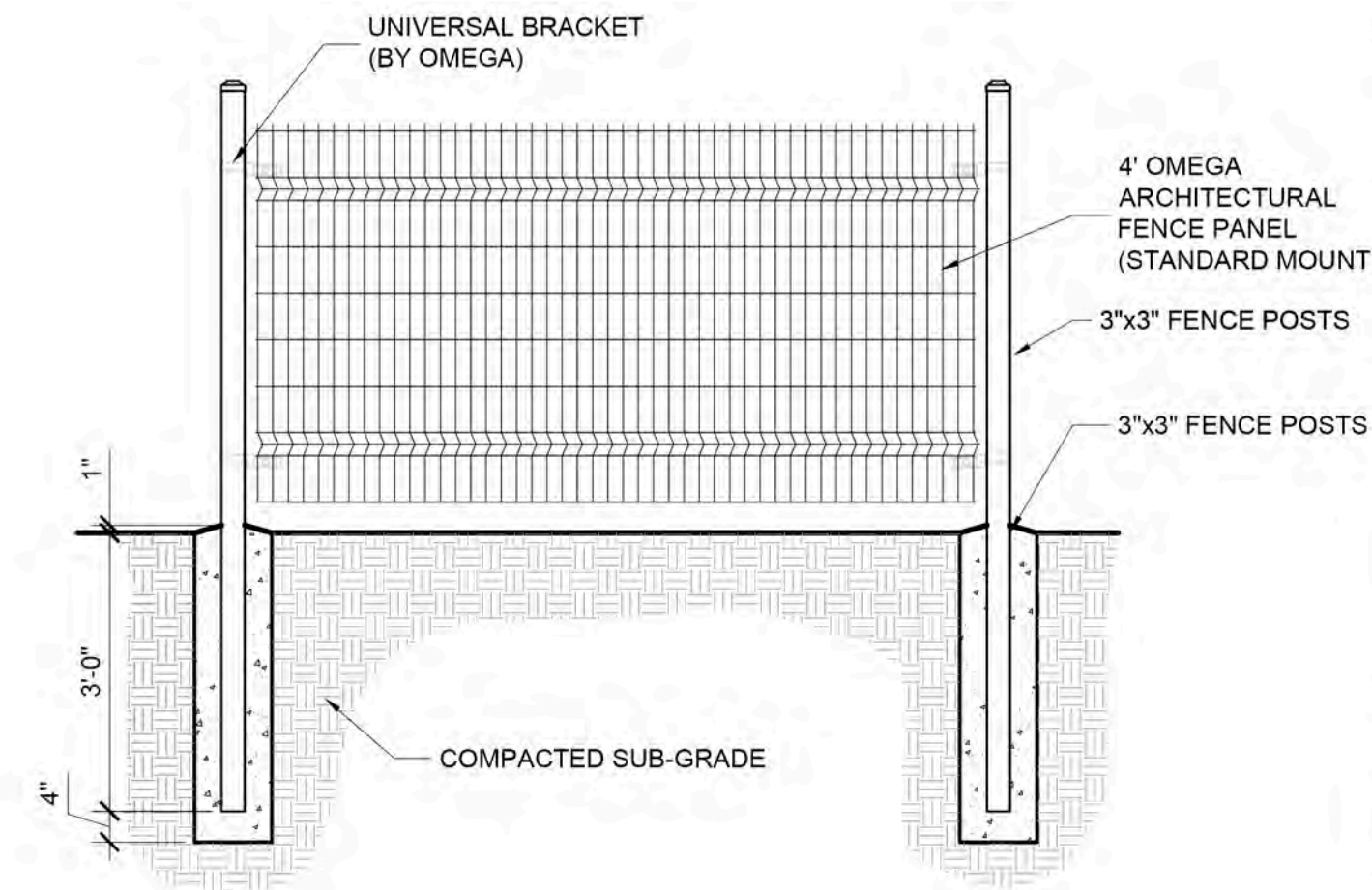
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3RD SUBMITTAL



**1 REFUSE ENCLOSURE**  
SCALE: 1/4" = 1'-0"

**2 Dog Park Fence**  
SCALE: 1/2" = 1'-0"



HARDSCAPE SCHEDULE	
<b>A</b>	<b>ITEM</b> SPLIT FACE BLOCK <b>COLOR</b> SW7046 'ANONYMOUS' <b>FINISH</b> STANDARD GREY BLOCK / SATIN FINISH PAINT <b>SPECIFICATIONS</b> ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>B</b>	<b>ITEM</b> SMOOTH FACE BLOCK <b>COLOR</b> SW7019 'GAUNTLET GREY' <b>FINISH</b> STANDARD GREY BLOCK / SATIN FINISH PAINT <b>SPECIFICATIONS</b> ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>C</b>	<b>ITEM</b> TUBULAR STEEL <b>COLOR</b> SW7048 'URBANE BRONZE' <b>FINISH</b> SATIN FINISH PAINT <b>SPECIFICATIONS</b> ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S. <b>MANUFACTURER</b> LOCALLY SOURCED
<b>D</b>	<b>ITEM</b> MASONRY CAP <b>COLOR</b> SW7048 'URBANE BRONZE' <b>FINISH</b> STANDARD GREY BLOCK / SATIN FINISH PAINT <b>SPECIFICATIONS</b> ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER MFR'S SPEC'S. <b>MANUFACTURER</b> SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
<b>E</b>	<b>ITEM</b> CAST IN PLACE CAP <b>COLOR</b> SW7048 'URBANE BRONZE'
<b>F</b>	<b>ITEM</b> STONE VENEER <b>COLOR</b> TIMBERWOLF CRAFT SPLIT MODULAR <b>FINISH</b> STANDARD GRAY GROUT & MORTAR WASH. INSTALL PER MFR'S SPEC'S. <b>MANUFACTURER</b> CREATIVE MINES
<b>G</b>	<b>ITEM</b> CAST IN PLACE CONCRETE WALL <b>FINISH</b> NATURAL GRAY
<b>H</b>	<b>ITEM</b> LETTERING <b>COLOR</b> BLACK <b>FINISH</b> STANDARD <b>SPECIFICATIONS</b> 12" HEIGHT, PINNED AND BACKLIT <b>MANUFACTURER</b> LOCAL SIGN MFR.
<b>I</b>	<b>ITEM</b> CLUSTER BOX <b>COLOR</b> SW7048 'URBANE BRONZE' <b>FINISH</b> N/A <b>SPECIFICATIONS</b> 20 DOOR USPS CLUSTER BOX UNIT (3416D-20BRZ) <b>MANUFACTURER</b> INSTALL PER MFR. SPEC'S. SALSBURY INDUSTRIES (www.mailboxes.com, 800.624.5269)

**RVI**  
120 S. Ash Avenue  
Tempe, Arizona 85281  
Tel: 480.994.0994  
www.rviplanning.com

EXPIRES 03/31/20

REGISTERED LANDSCAPE ARCHITECT  
56793  
DOUGLAS  
WARREN  
CRAGG  
ARIZONA  
U.S.A.

Contact Arizona 811 at least two full working days before you begin excavation

**ARIZONA 811**  
Call 811 or click Arizona811.com

**THE BUNGALOWS**  
AT GANTZEL & COMBS  
QUEEN CREEK, ARIZONA

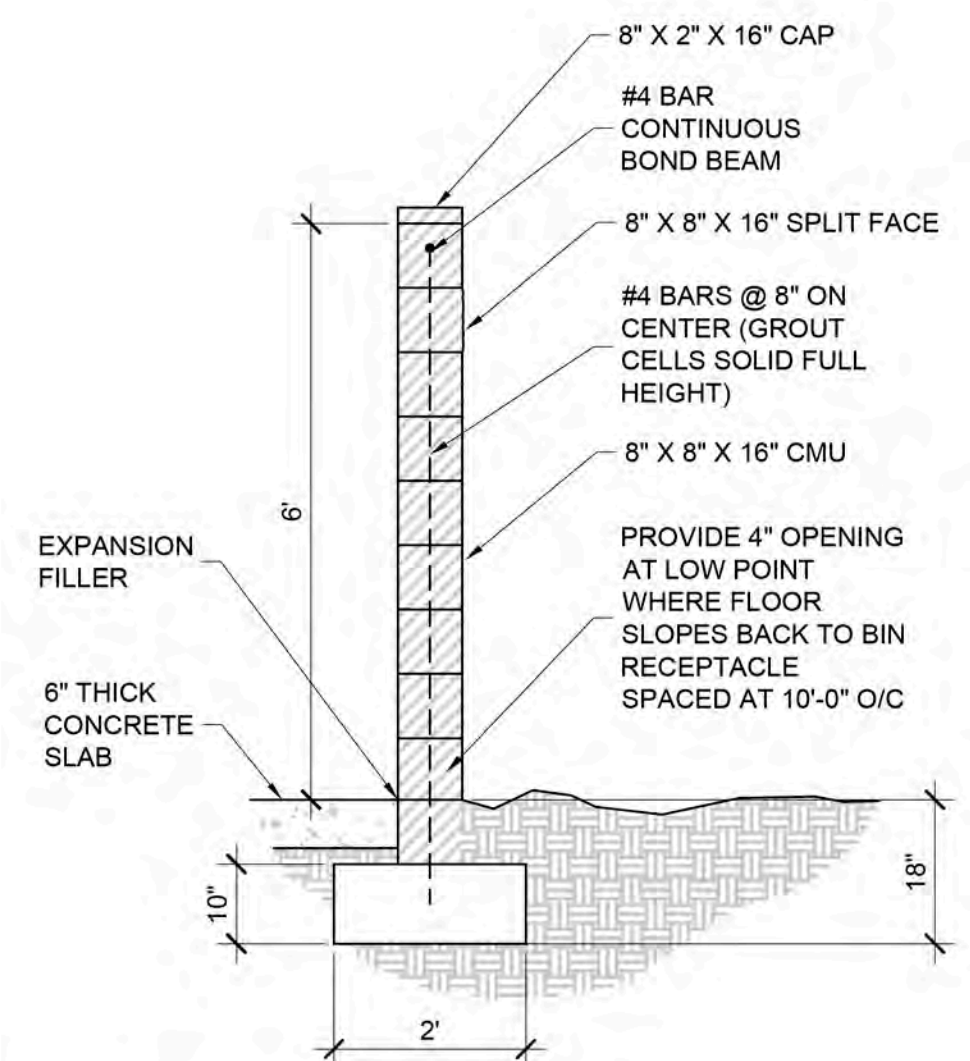
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DATE: 08/12/2020  
DRAWN: TEAM  
REVIEWED: MD

REVISIONS

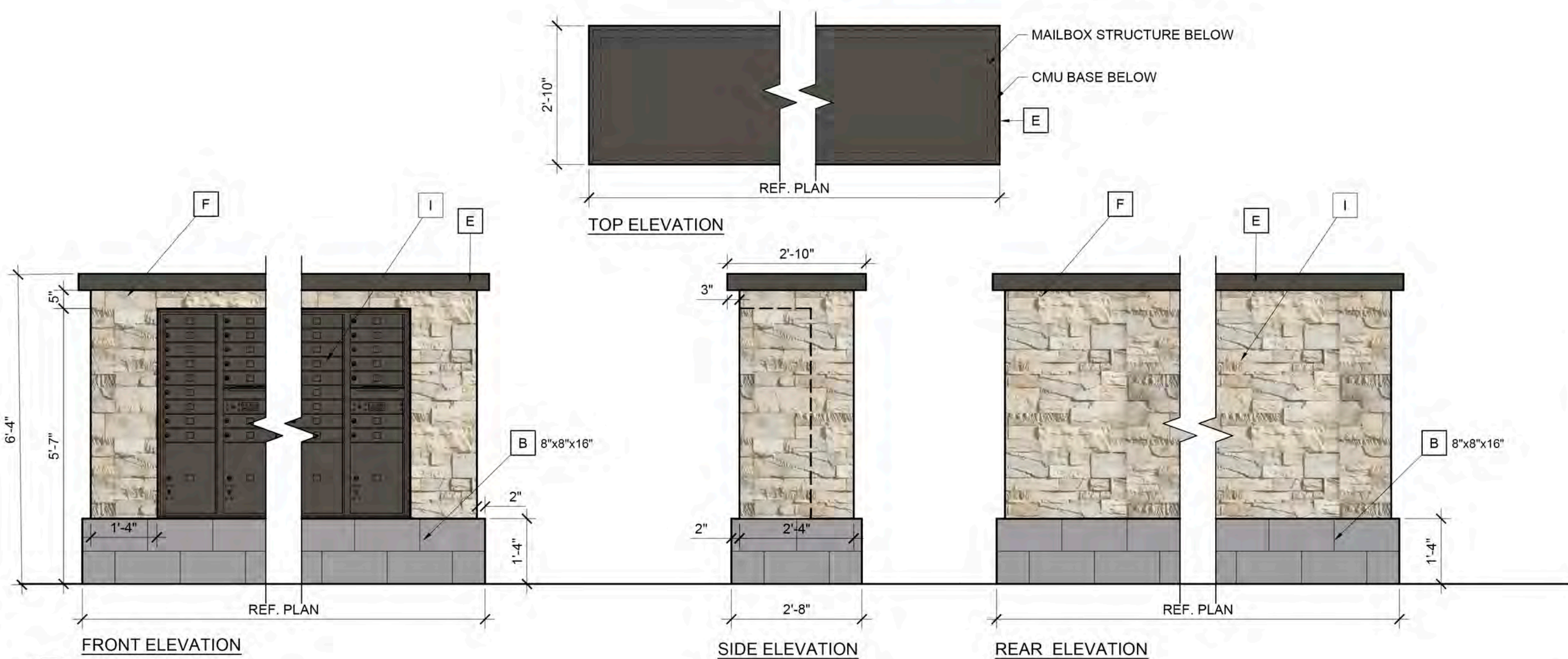
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**HARDSCAPE DETAILS**

**L3.01**

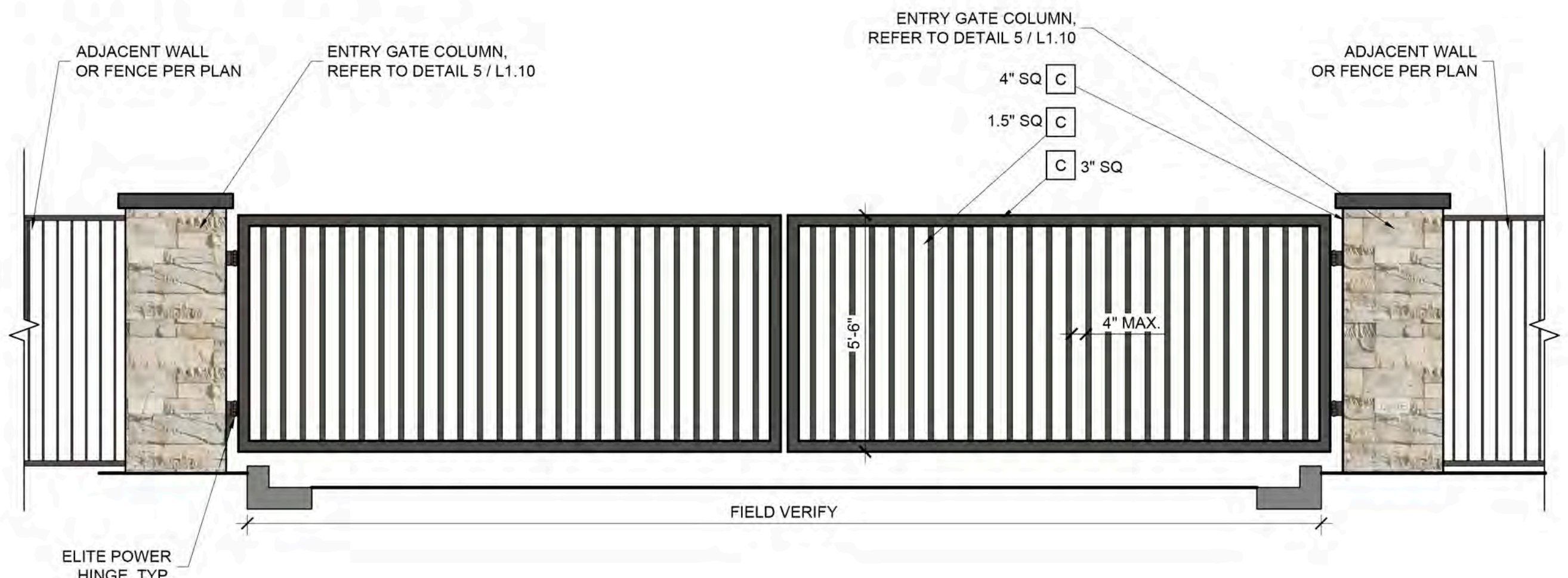


**3 REFUSE ENCLOSURE**  
SCALE: 1/2" = 1'-0"



**4 Mailbox**  
SCALE: 1/2" = 1'-0"

NOTE: VERIFY EACH GATE CONDITION- COLUMN LOCATIONS, ADJACENT WALLS/FENCING, ETC.



**4 Typical Vehicle Access Gate**  
SCALE: 3/8" = 1'-0"

**COLOR: 'URBANE BRONZE' SW7048**  
USED ON: MASONRY CAP, TUBE STEEL, MAILBOX

**COLOR: 'GAUNTLET GREY' SW7019**  
USED ON: SMOOTH FACE BLOCK

**COLOR: 'ANONYMOUS' SW7046**  
USED ON: SPLIT FACE BLOCK

**STONE VENEER**  
COLOR: TIMBERWOLF CRAFT SPLIT MODULAR  
USED ON: ENTRY MONUMENT













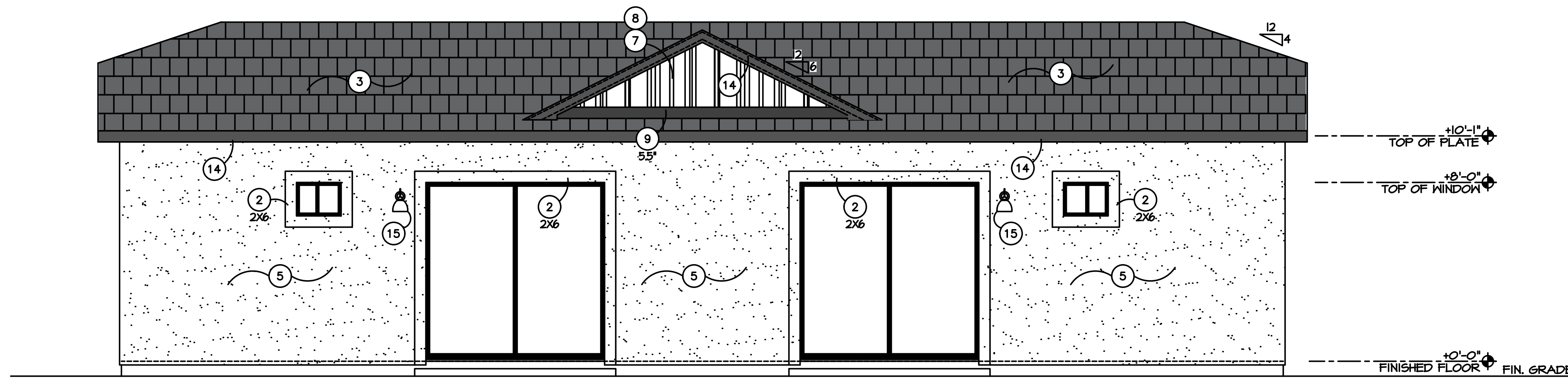


- Images are for illustrative purposes only; actual design may differ for Bungalows at Gantzel & Combs. Please see the submitted architectural elevations for details.

ELEVATION KEYNOTES

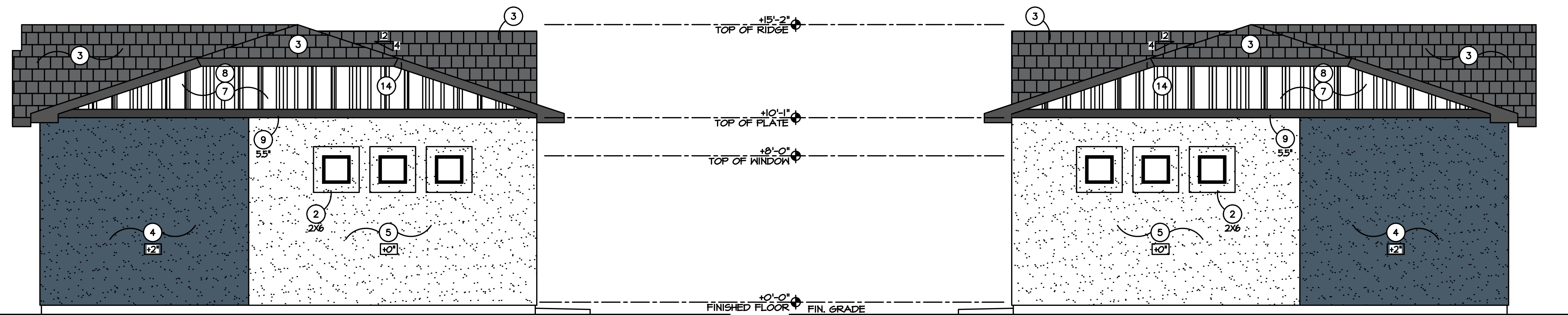
- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SAND FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 10 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 11 SHUTTERS - (3) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 12 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 13 SMOOTH FINISH FASCIA PER DETAIL
- 14 SOUNCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 15 WINDOW GRID PER ELEVATION
- 16 SOLDIER COURSE BRICK VENEER SILL SILL TO PROJECT 2-1/2" FROM WALL FINISH - VERIFY STYLE AND COLOR
- 17 BOARD & BATTEN STYLE VINYL SHUTTER

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - RAINCLOUD CRAFT CANNERY BRICK W/ WHITE GROUT
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	MAIN BODY STUCCO	B.M. - BLUE SPRUCE 1637
5	MAIN BODY STUCCO	B.M. - LIGHT PEWTER 1464
6	STUCCO WINDOW TRIM	B.M. - CHANTILLY LACE 2121-70
7 & 8	BOARD & BATTEN	B.M. - LIGHT PEWTER 1964
14	FASCIA BOARD	B.M. BLACK 2132-10
18	SHUTTERS	B.M. - CHANTILLY LACE 2121-70
19	DOOR	B.M. BLACK 2132-10



REAR ELEVATION

SCALE = N.T.S.

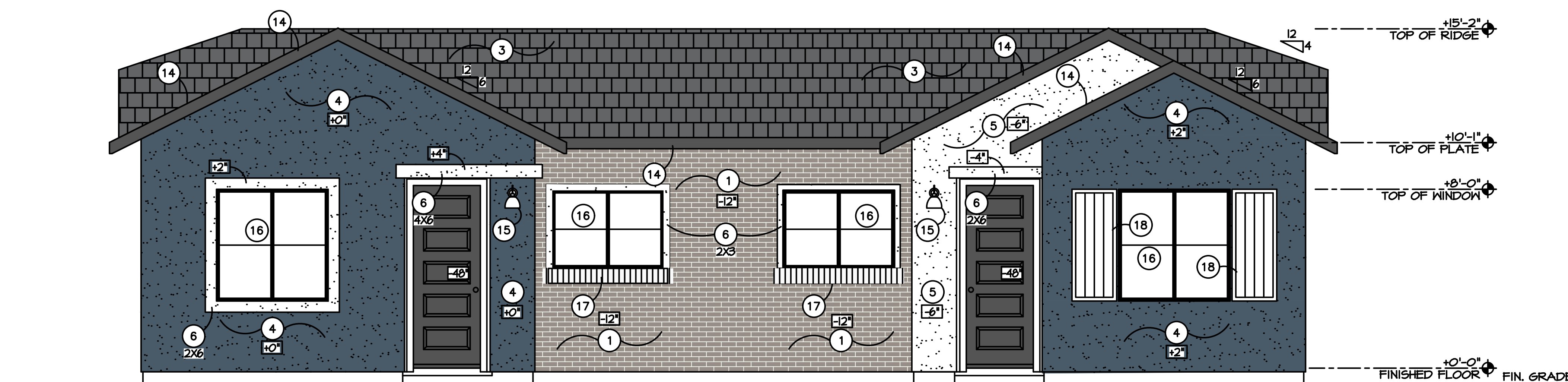


RIGHT ELEVATION

SCALE = N.T.S.

LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

**MOORADIAN & ASSOCIATES**  
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BID SET  
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 CONSTRUCTION

Project: **BUNGALOWS AT COMBS & GANTZEL**  
 Queen Creek, Arizona  
 Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

PROJECT NO.: 10959a  
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 CHECKED BY: D.C.  
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**1-BEDROOM FRONT ENTRY**

Drawing No.:  
**1BFE**  
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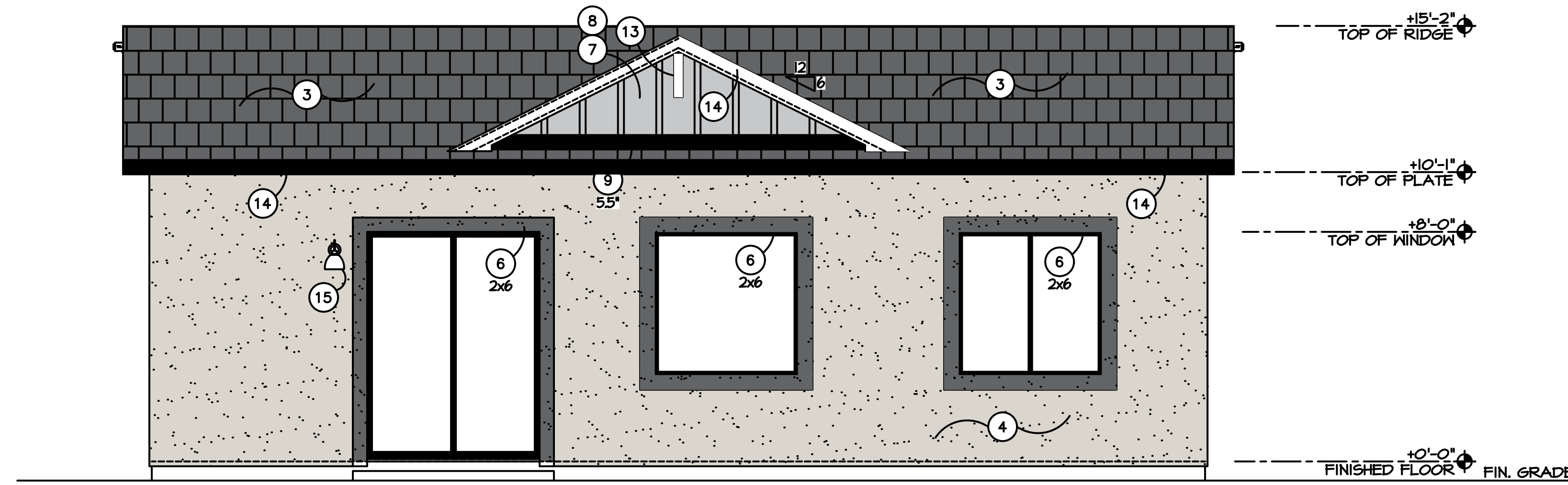
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ELEVATION KEYNOTES

- 1 NOT USED
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHUTTERS - (3) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCOSCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 FRONT DOOR

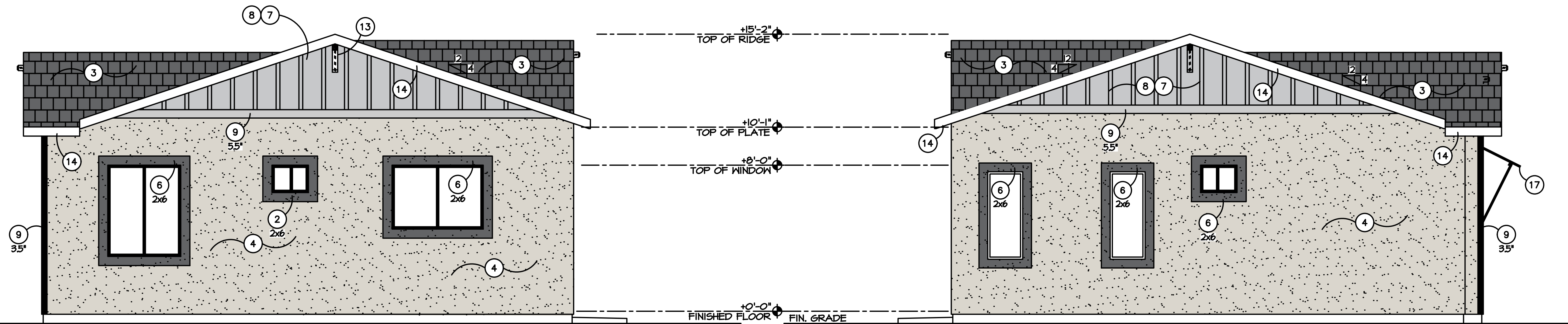
COLOR & MATERIALS TABLE

KEYNOTE	MATERIAL	BRAND / COLOR
3	ROOF TILE	EAGLE - SLATE RANGE 4697
5	MAIN BODY STUCCO	B.M. - LIGHT PEWTER 1464
6	STUCCO WINDOW TRIM	B.M. - LEAD GRAY 2131-30
7 & 8	BOARD & BATTEN	B.M. - WINTER SOLSTICE 1605
13 & 14	FASCIA BOARD	B.M. - CHANTILLY LACE 2121-70
17	AWINING	BLACK
18	DOOR	B.M. - LEAD GRAY 2131-30



REAR ELEVATION

SCALE = N.T.S.

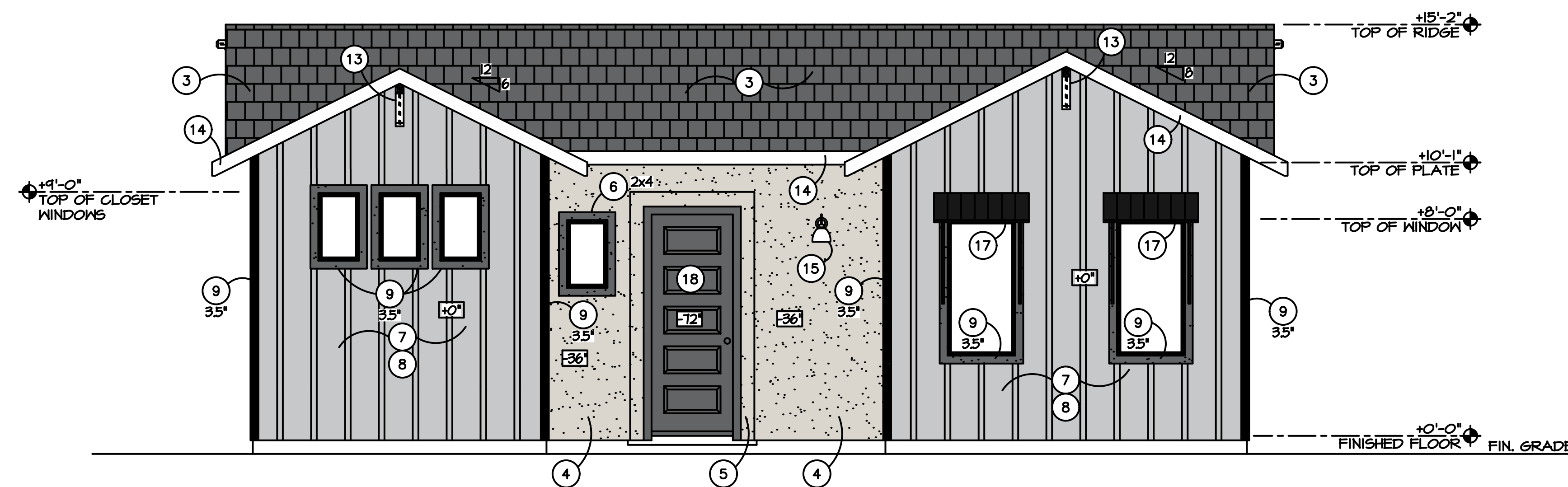


RIGHT ELEVATION

SCALE = N.T.S.

LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

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Client: **CAVAN PROPERTIES**

CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
		02/20/20			

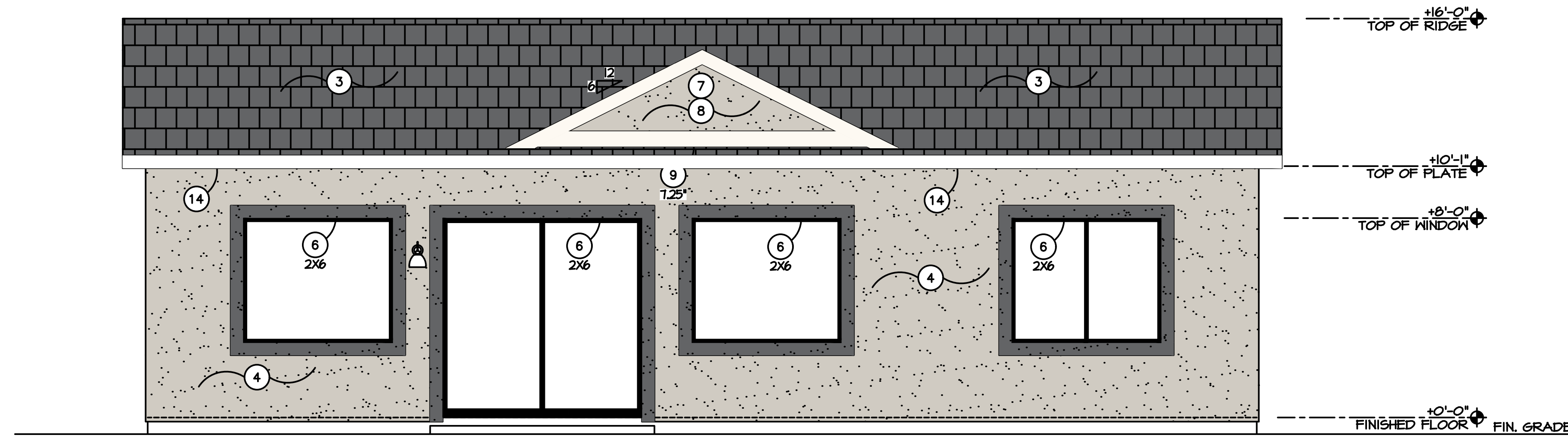
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**2-BEDROOM**

Drawing No.:  
**2B**  
 SHEET OF

ELEVATION KEYNOTES

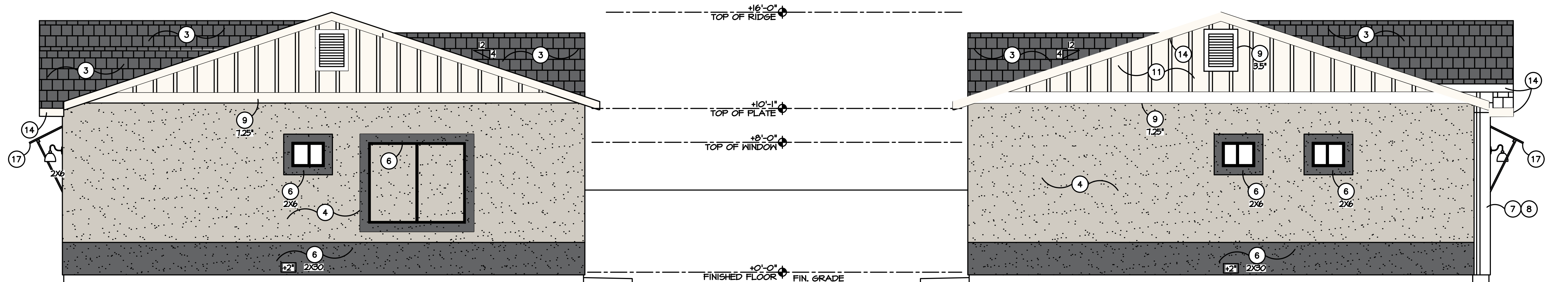
- 1 STONE VENEER - VERIFY STYLE AND COLOR
- 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHUTTERS - (4) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCOSCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 FRONT DOOR

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	CULTURED STONE	CREATIVE MINES - BLACK TRUFFLE
		CRAFT SPLIT MODULAR
3	ROOF TILE	EAGLE - SLATE RANGE 297
5	MAIN BODY STUCCO	D.E. - DET625 RECLAIMED WOOD
6	STUCCO WINDOW TRIM	D.E. - DE6370 CHARCOAL SMUDGE
7 & 8	BOARD & BATTEN	D.E. - DEW341 SWISS COFFEE
14	FASCIA BOARD	D.E. - DEW341 SWISS COFFEE
12 & 18	DOOR & SHUTTERS	B.M. - WASHINGTON BLUE CW-630
17	AWNING	BLACK



REAR ELEVATION

SCALE = 1/4"=1'-0"

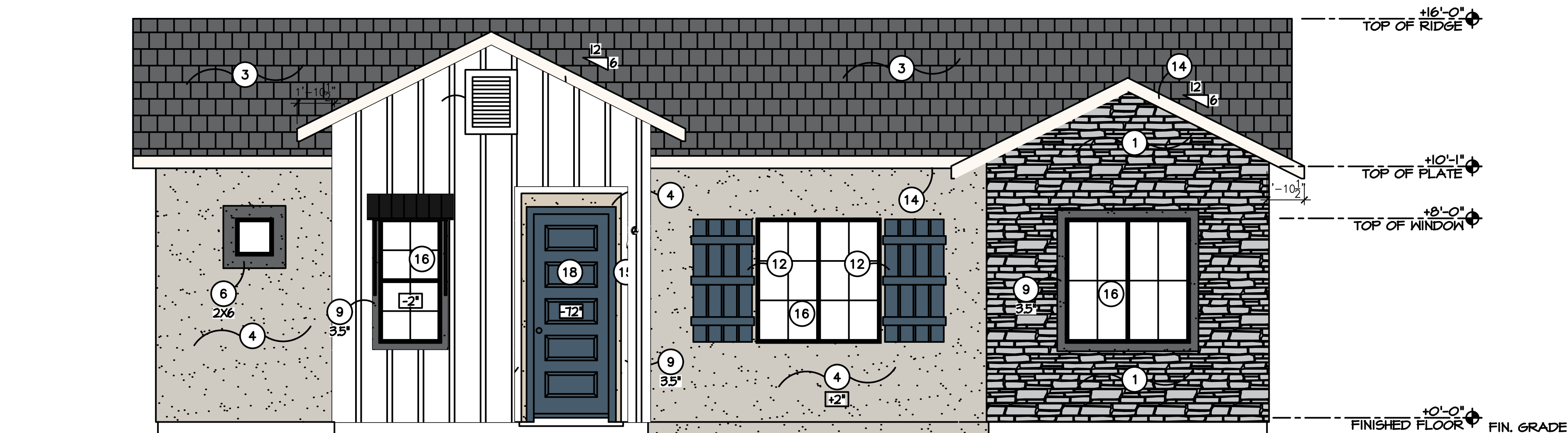


RIGHT ELEVATION

SCALE = 1/4"=1'-0"

LEFT ELEVATION

SCALE = 1/4"=1'-0"



FRONT ELEVATION

SCALE = 1/4"=1'-0"

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		02/20/20			

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**3-BEDROOM**

Drawing No.:  
**3B**  
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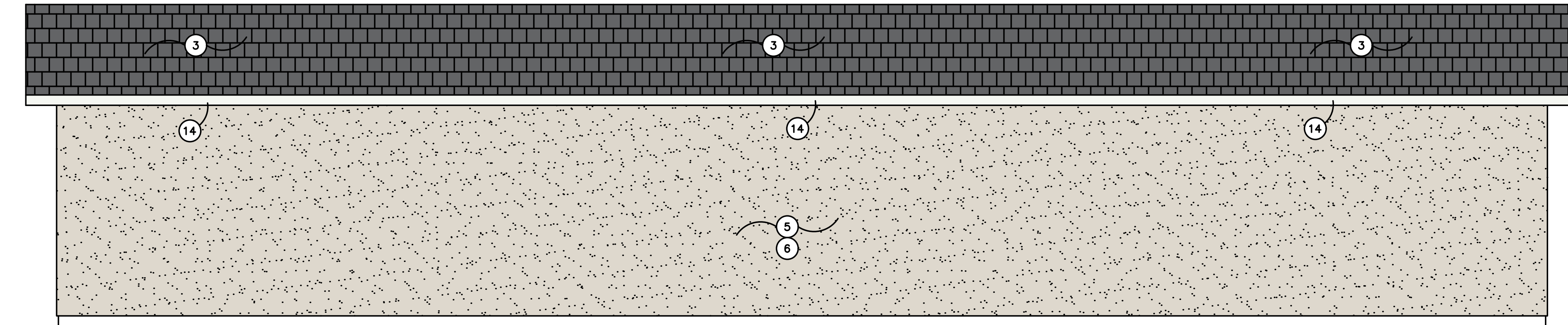


ELEVATION KEYNOTES

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 STEEL DOOR
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 ARCHITECTURAL GARAGE DOOR
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 REAR OR GARAGES FACES TO THE BUNGALOWS AND ARE NOT VISIBLE FROM THE ROADWAYS
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 NOT USED
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SPOUNCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE

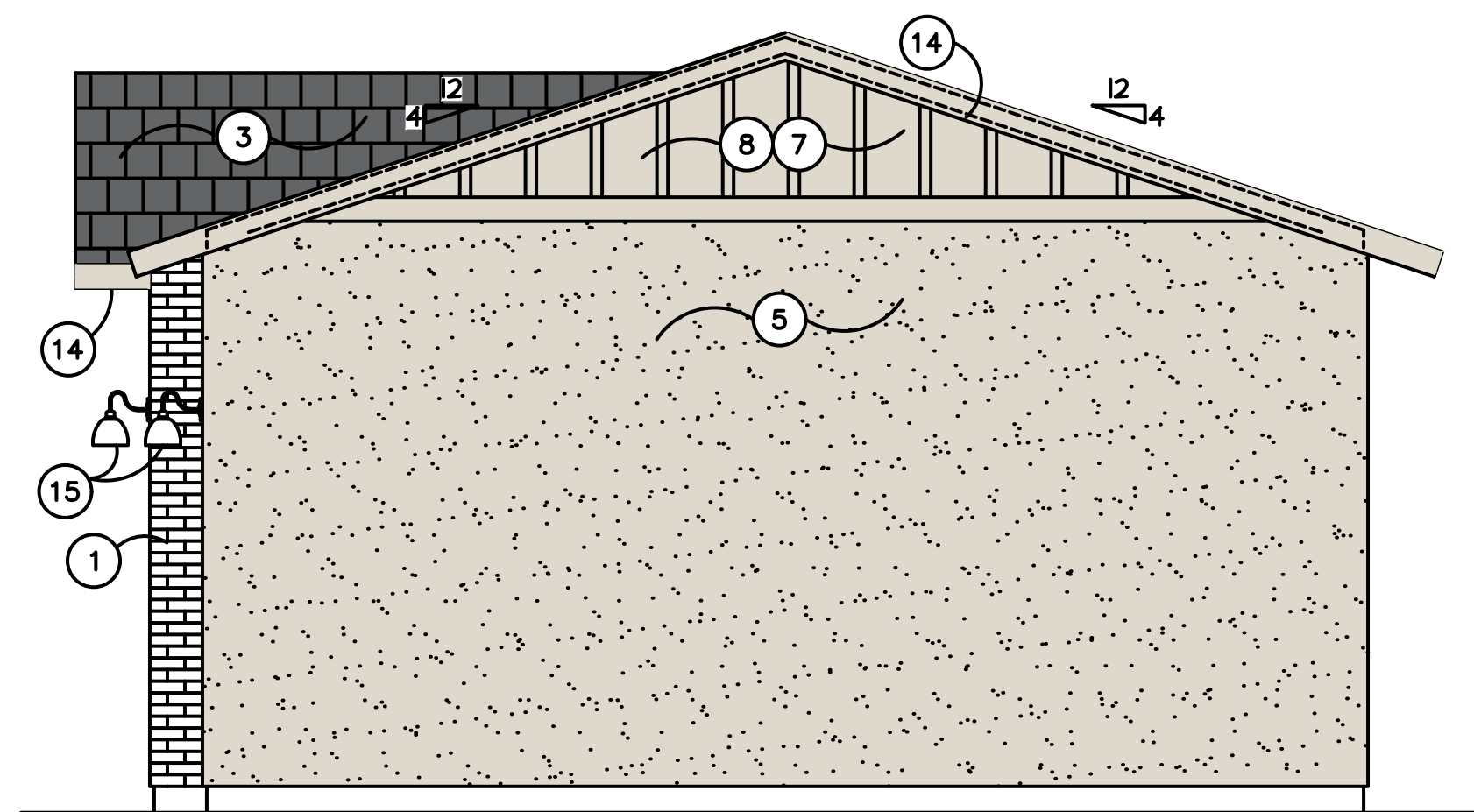
COLOR & MATERIALS TABLE

KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STEEL DOOR & TRIM	D.E. CHARCOAL SMUDGE DE6370
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	GARAGE DOOR	D.E. CHARCOAL SMUDGE DE6370
5	MAIN BODY STUCCO	B.M. PALE OAK OC-20
7 & 8	BOARD & BATTEN	B.M. PALE OAK OC-20
9	TRIM BOARD	B.M. PALE OAK OC-20
14	FASCIA BOARD	B.M. PALE OAK OC-20



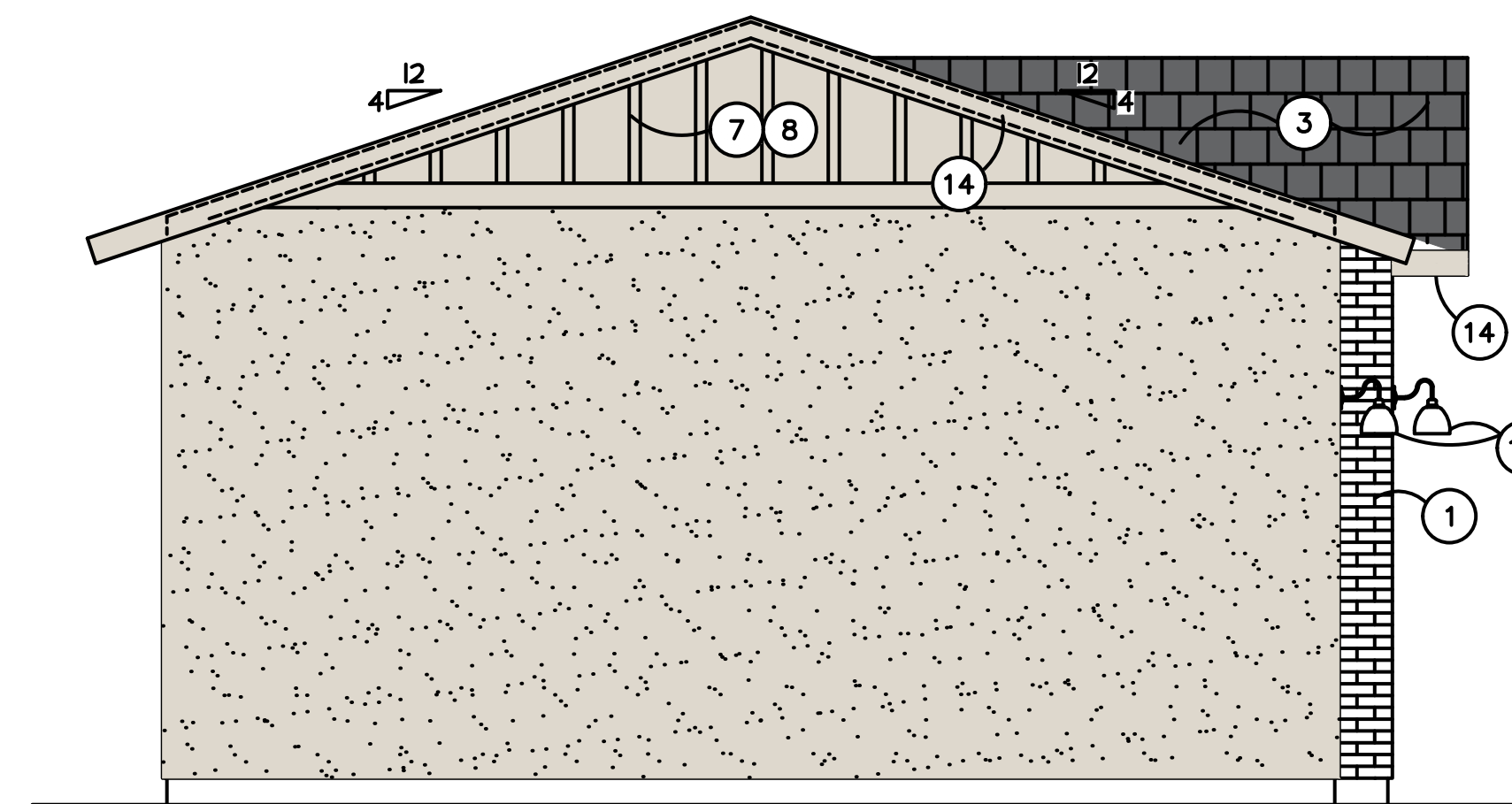
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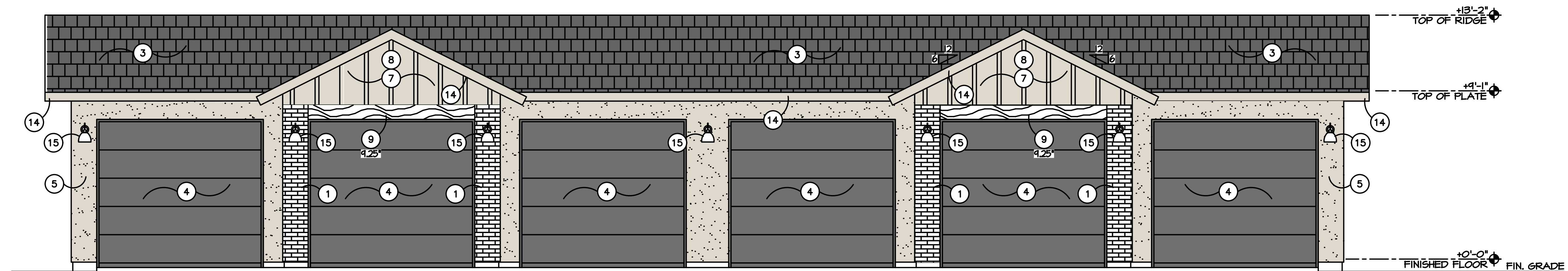
RIGHT ELEVATION

SCALE = N.T.S.



LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

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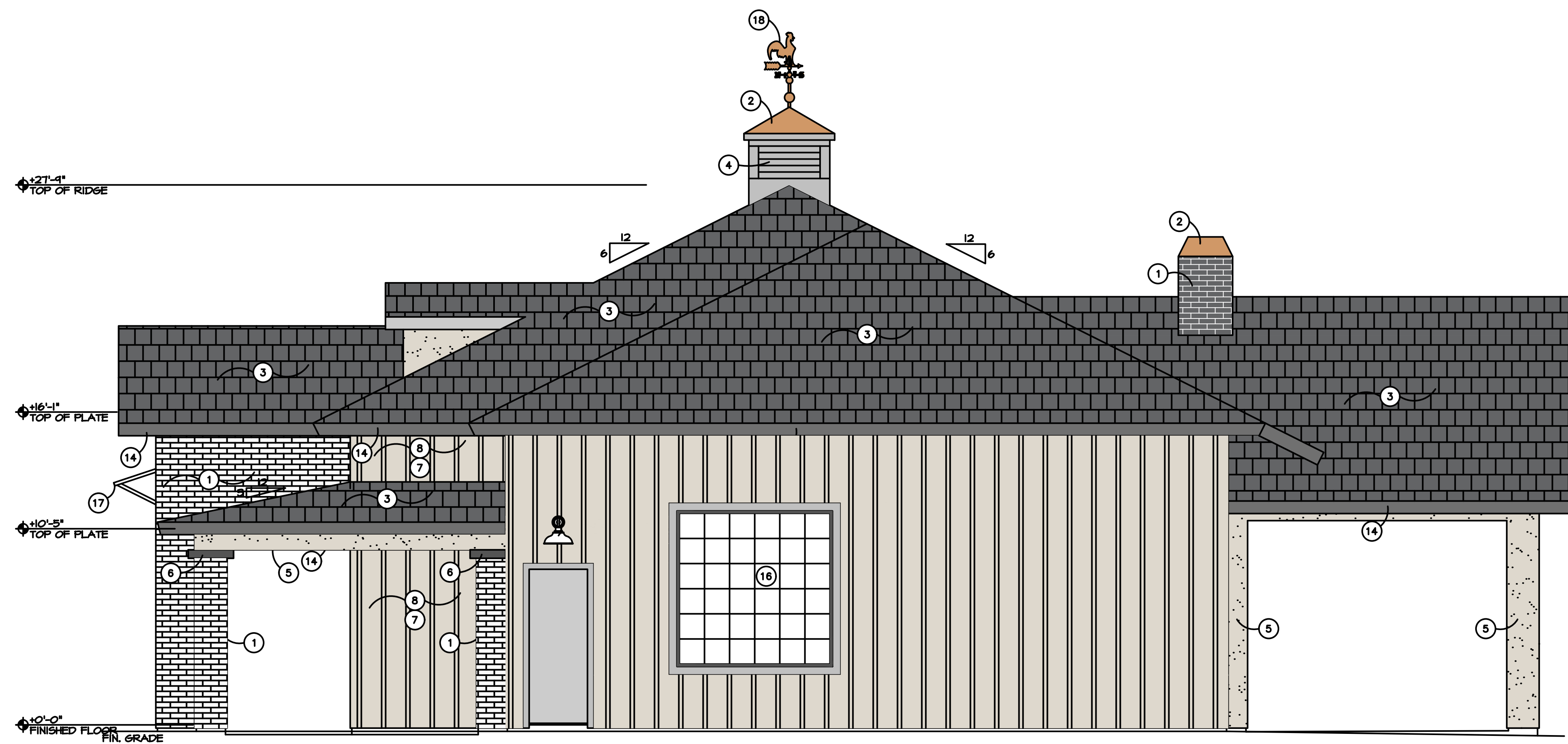
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**4-CAR GARAGE WITH STORAGE**

Drawing No.:  
**4GS**  
 SHEET OF

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**RIGHT SIDE ELEVATION**

SCALE = 1/4"=1'-0"

CLUBHOUSE

**ELEVATION KEYNOTES**

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SHEET COPPER ROOF ON CUPOLA
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 LOUVERED VENT WITH INSET SCREEN
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 2x4 SAND FINISH STUCCO POP-OUT
- 7 HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 FYPON BRACKET BKT12X18X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCONCE @ +84" TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 COPPER ROOSTER WEATHERVANE W/ GROUNDING PROTECTION

**COLOR & MATERIALS TABLE**

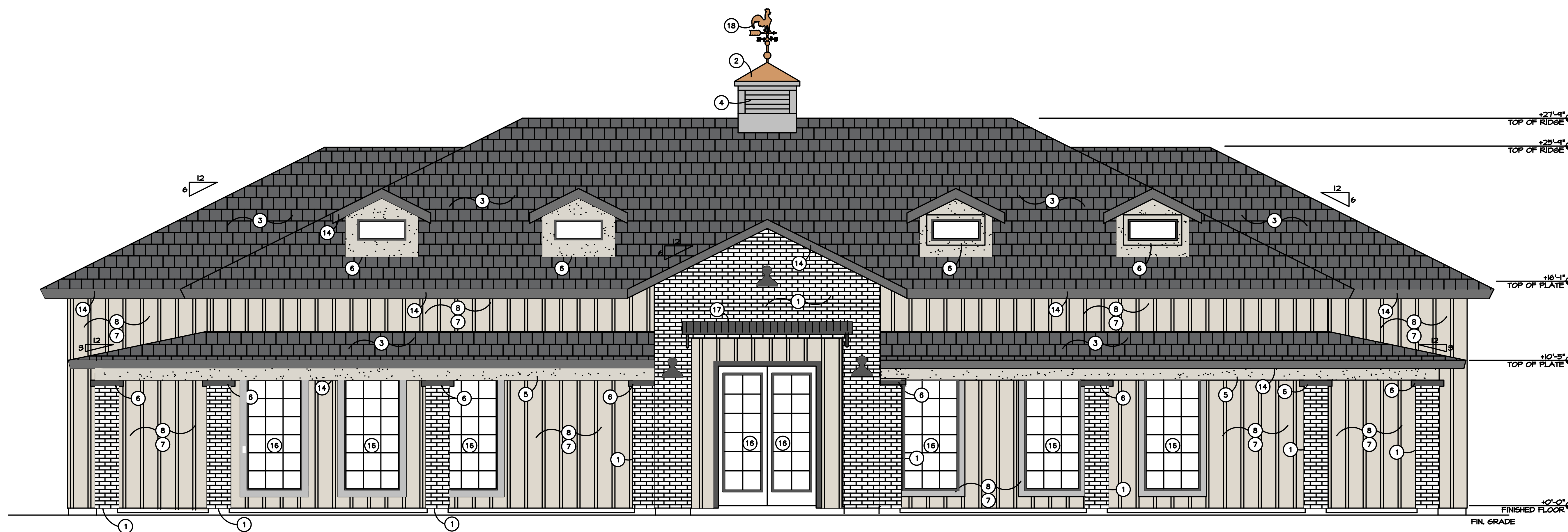
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STANDING SEAM ROOF	AGED COPPER SHEET
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	LOUVERED VENT	B.M. CHANTILLY LACE 2121-70
5	MAIN BODY STUCCO	B.M. - PALE OAK OC20
7 & 8	BOARD & BATTEN	B.M. CHANTILLY LACE 2121-70
12	SHUTTERS	B.M. BLACK 2132-10
14	FASCIA BOARD	D.E. CHARCOAL SMUDGE DE6370
17	ALUMINUM AWNING	AGED COPPER SHEET

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 Queen Creek, Arizona

Client: **CAVAN PROPERTIES**



**FRONT ELEVATION**

SCALE = 1/4"=1'-0"

CLUBHOUSE

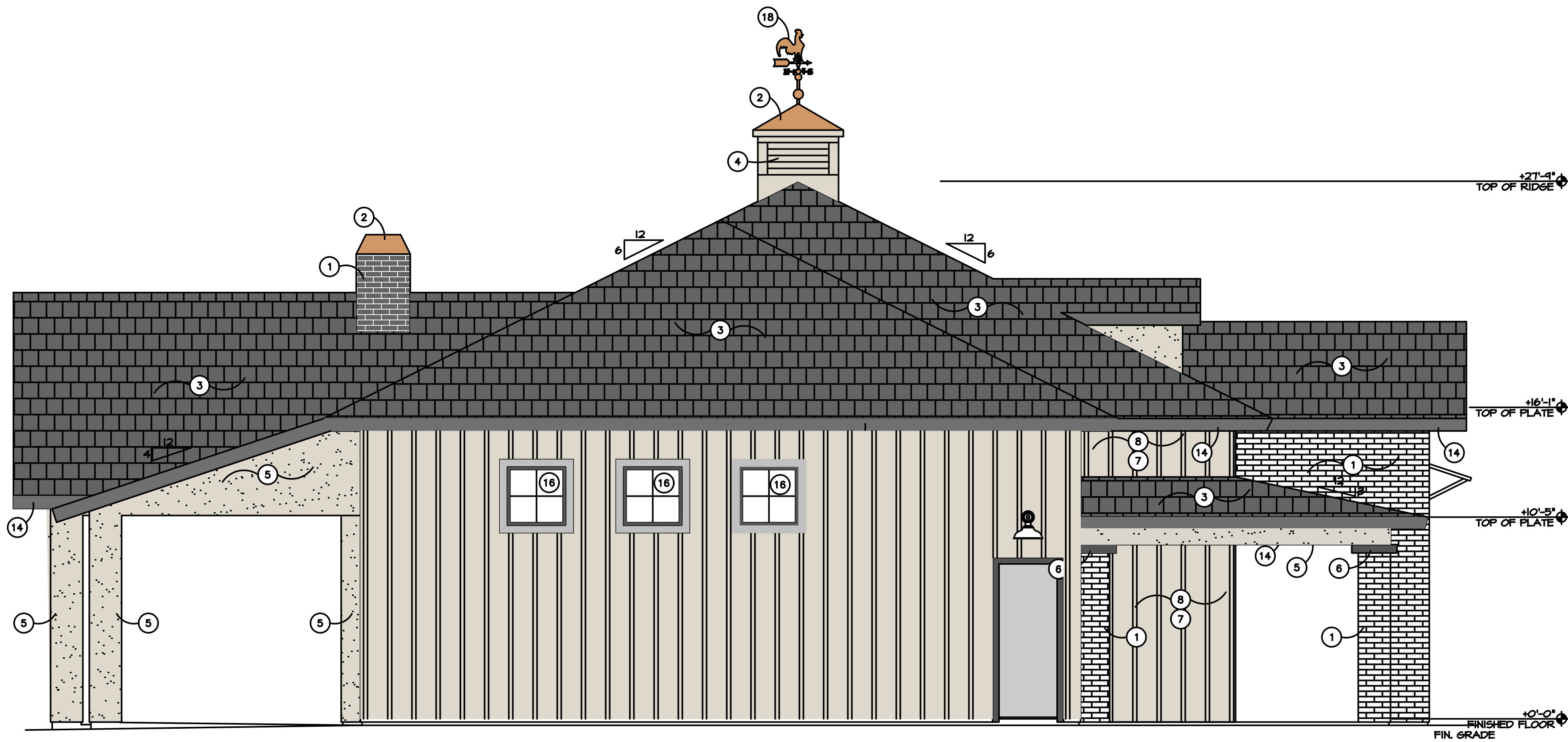
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 SCALE: AS NOTED  
 Sheet Title:  
**4-CAR GARAGE WITH STORAGE**

Drawing No.:  
**4GS**

SHEET OF

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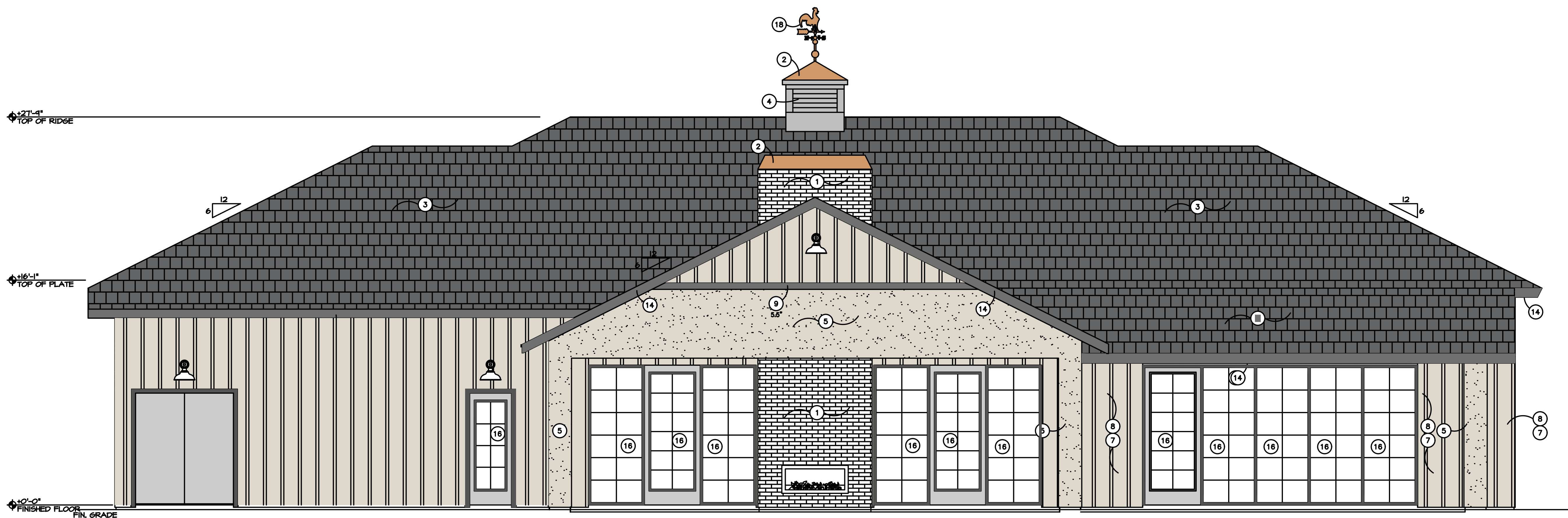


**LEFT SIDE ELEVATION**  
 SCALE = 1/4"=1'-0"  
 CLUBHOUSE

**ELEVATION KEYNOTES**

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SHEET COPPER STANDING SEAM ROOF ON CUPOLA
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 LOUVERED VENT WITH INSECT SCREEN
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 2x4 SAND FINISH STUCCO POP-OUT
- 7 HARDEE PANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDEE TRIM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDEE TRIM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 NOT USED
- 11 NOT USED
- 12 NOT USED
- 13 FYPON BRACKET BKT12X16X1X1S (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCORCE # +84" TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 COPPER ROOSTER WEATHERVANE W/ GROUNDING PROTECTION

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STANDING SEAM ROOF	AGED COPPER SHEET
3	ROOF TILE	EAGLE - SLATE RANGE 4697
4	LOUVERED VENT	B.M. PALE OAK OC-20
5	MAIN BODY STUCCO	B.M. - PALE OAK OC20
7 & 8	BOARD & BATTEN	B.M. PALE OAK OC-20
12	SHUTTERS	B.M. BLACK 2132-10
14	FASCIA BOARD	D.E. CHARCOAL SMUDGE DE6370
17	ALUMINUM AWNING	AGED COPPER SHEET



**REAR ELEVATION**  
 SCALE = 1/4"=1'-0"  
 CLUBHOUSE

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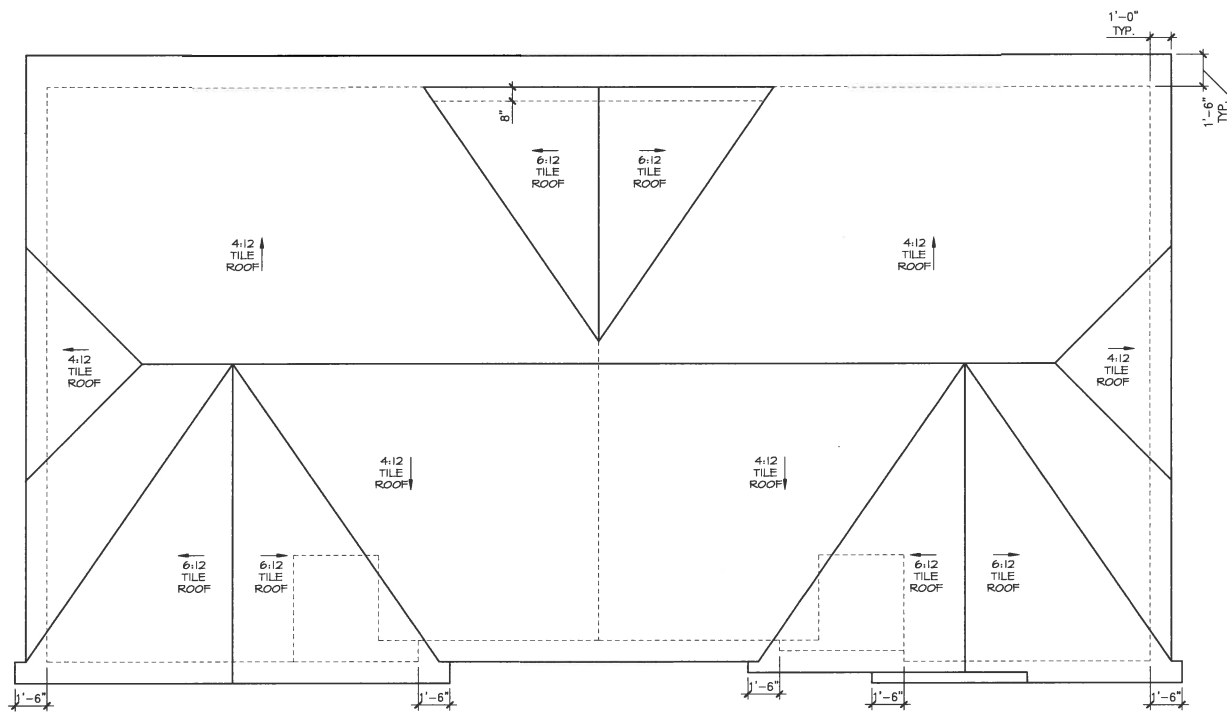
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CD	MARK	DATE	COLOR	EXHIBIT	DESCRIPTION
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 SCALE: AS NOTED  
 Sheet Title:  
**4-CAR GARAGE WITH STORAGE**

Drawing No.:  
**4GS**  
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**ROOF PLAN**

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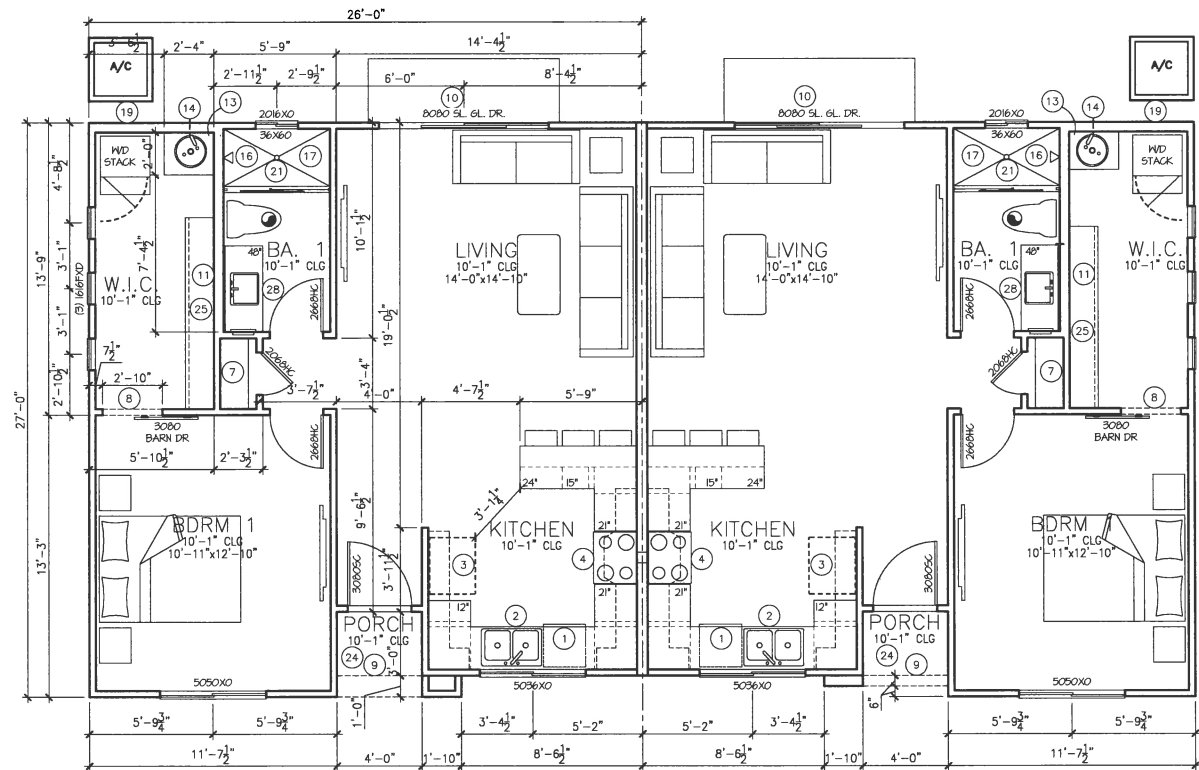
**FLOOR PLAN NOTES**

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED B148) (ASTM E84 CLASS A FLAME SPREAD NO. 25)
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
- ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

**FLOOR PLAN KEYNOTES**

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 38" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GRADE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING.
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT.
- T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +22" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL, VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
- 2X6 WALL FOR WASHER BOX AND 14 1/2" X 12" X 12" RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSET ROD AND 16" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT +28"
- 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSET RODS/SHELVING PER DETAIL 11/4A.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN.
- VANTY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.O.
- HOSE BIBB WITH BACKFLOW PREVENTER;
- SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 16D OR FRAMING NAILS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL
- MEDICINAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
- HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE

AREA CALCULATIONS	
LIVABLE (PER UNIT)	676
FRONT PORCH (LEFT UNIT)	18
FRONT PORCH (RIGHT UNIT)	15
TOTAL FOOTPRINT (TWO UNITS)	1385



**676 SQ. FT. FLOOR PLAN FRONT ENTRY**

SCALE = 1/4"=1'-0"

1-BDRM DUPLEX

**MOORADIAN & ASSOCIATES**  
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 T: (520) 408-8117 F: (520) 408-8028

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Project: Bungalows

Client: CAVAN COMPANIES

MARK	DATE	CLIENT DELIVERY	DESCRIPTION

PROJECT NO.: 10900o  
 CAD FILE: 10900A-676F-A101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**1-BEDROOM FLOOR PLAN**

Drawing No.:  
**A1.1**  
 SHEET OF

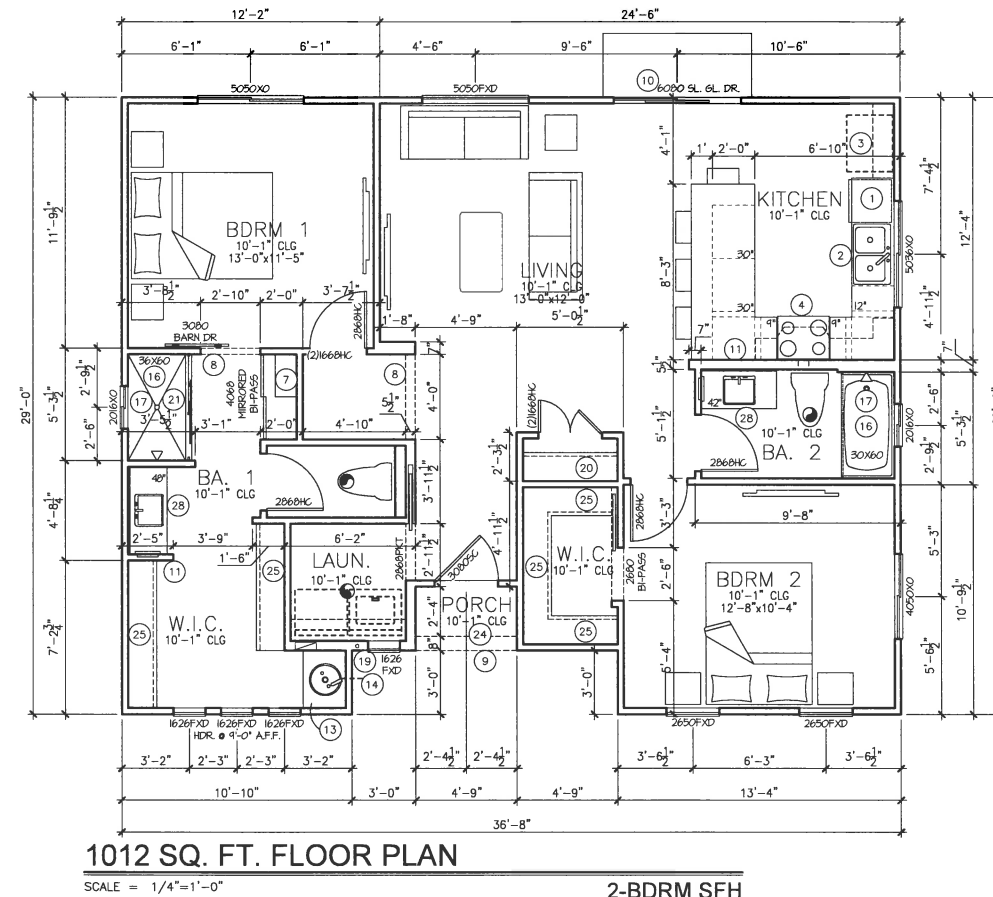
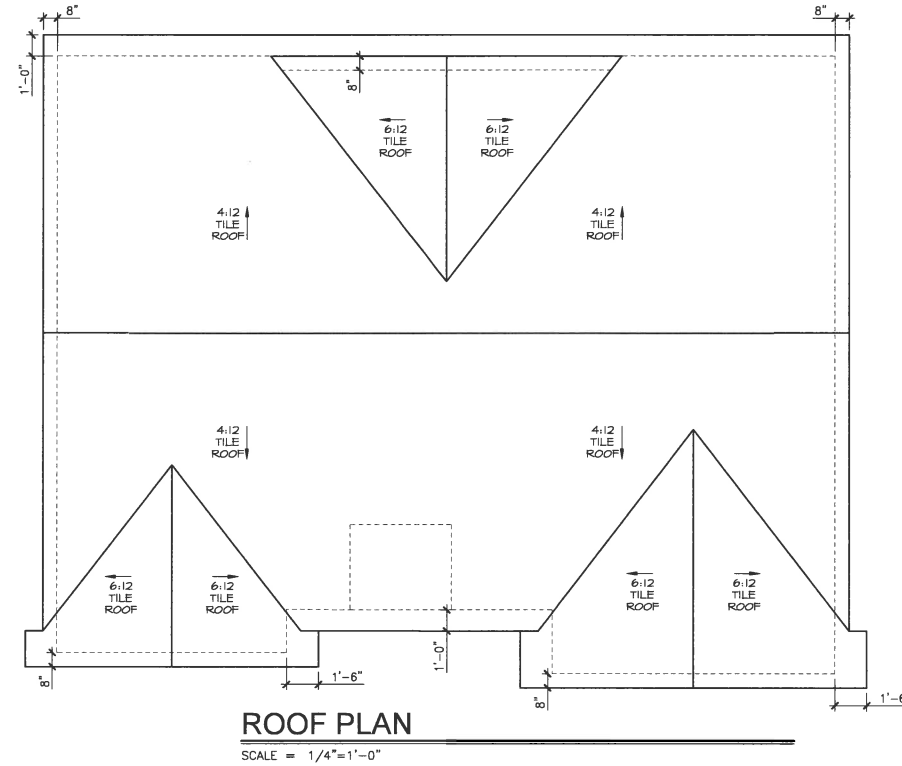
FLOOR PLAN NOTES

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8146) (ASTM E84 CLASS A; FLAME SPREAD NO. 25)
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (D.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
- ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

AREA CALCULATIONS	
LIVABLE	1012
FRONT PORCH	14
<b>TOTAL FOOTPRINT</b>	<b>1026</b>

FLOOR PLAN KEYNOTES

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 38" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
- 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
- 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GARAGE TO HOSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT
- T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +72" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL. VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRLPOOL TUB
- 2X6 WALL FOR WASHER BOX AND 14 1/2"W. X 12"H. RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSET ROD AND 16" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT +28"
- 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSET RODS/SHELVING PER DETAIL 11/44.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
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- SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
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- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL
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- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
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- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE



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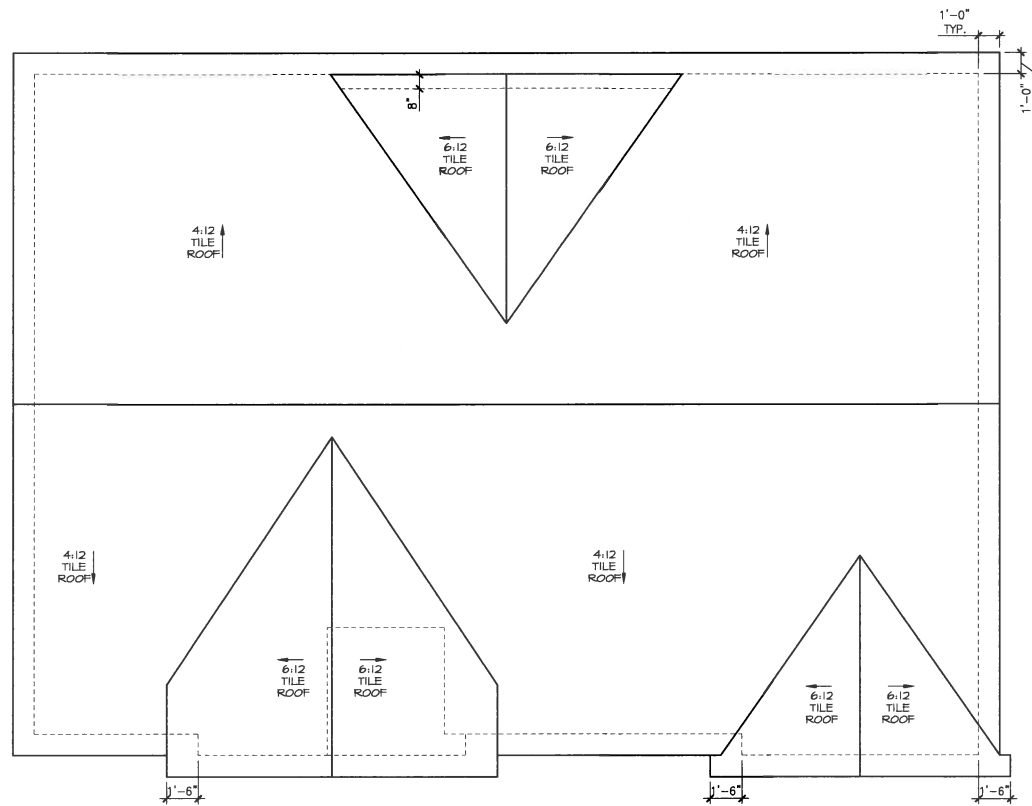
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Project: **Bungalows**  
Client: **CAVAN COMPANIES**

MARK	DATE	DESCRIPTION
CD	-/-	CLIENT DELIVERY

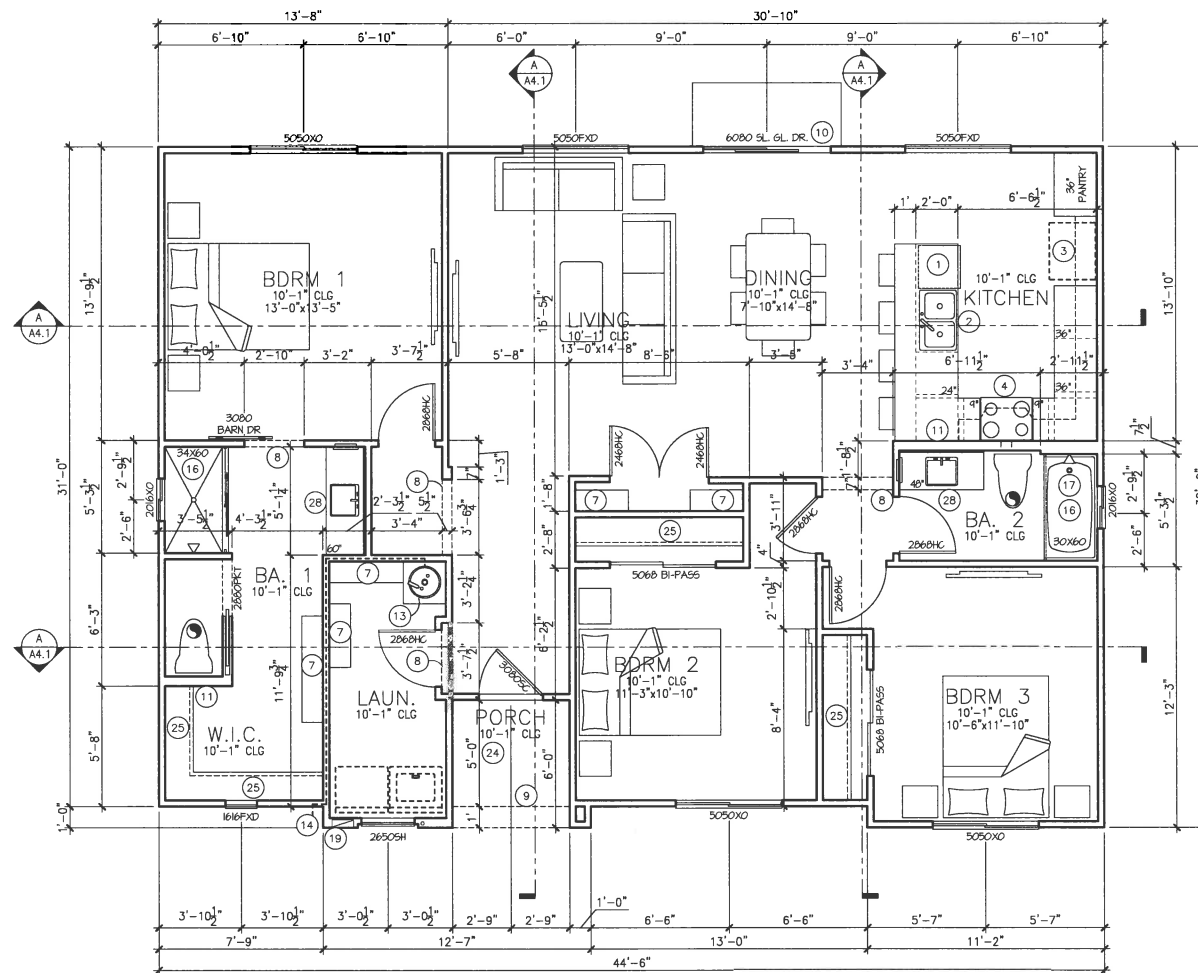
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DRAWN BY: D.C.  
CHECKED BY: D.C.  
SCALE: AS NOTED  
Sheet Title:  
**2-BEDROOM FLOOR PLAN**  
Drawing No.:  
**A1.1**  
SHEET OF

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 Layout: 2/1/1



**ROOF PLAN**

SCALE = 1/4"=1'-0"



**1355 SQ. FT. FLOOR PLAN**

SCALE = 1/4"=1'-0"

3-BDRM SFH

**FLOOR PLAN NOTES**

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8145) (ASTM E84 CLASS A FLAME SPREAD NO. 25)
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- ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

AREA CALCULATIONS	
LIVABLE	1369
FRONT PORCH	34
<b>TOTAL FOOTPRINT</b>	<b>1403</b>

**FLOOR PLAN KEYNOTES**

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 36" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICE/MAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
- 8" W. X 8" H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- 8" W. X 8" H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINE - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
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- T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
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Project: **Bungalows**

Client: **CAVAN COMPANIES**

MARK	DATE	CLIENT DELIVERY	DESCRIPTION

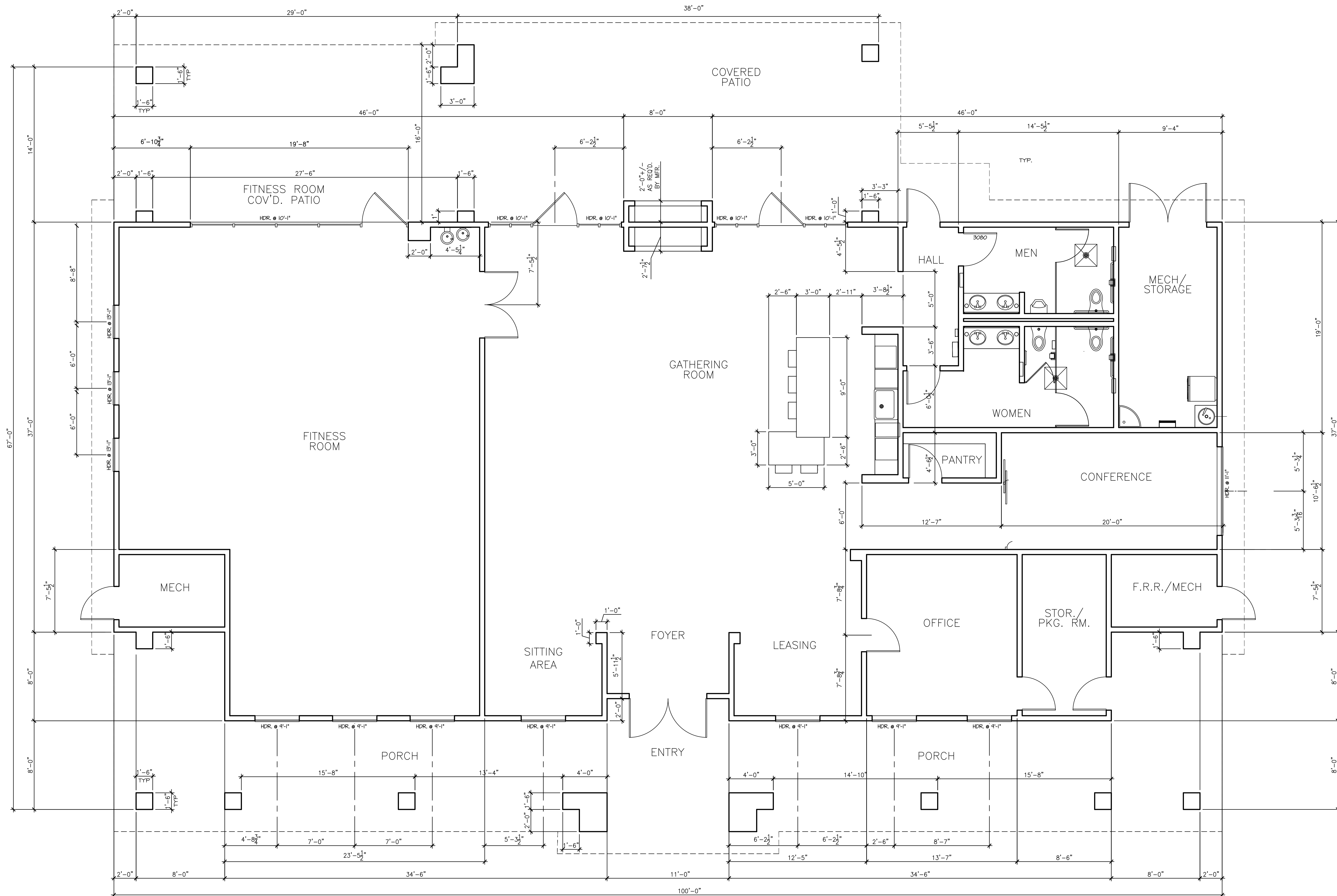
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 CAD FILE: 10900A-1355-A101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED

Sheet Title:  
**3-BEDROOM FLOOR PLAN**

Drawing No.:  
**A1.1**

SHEET OF

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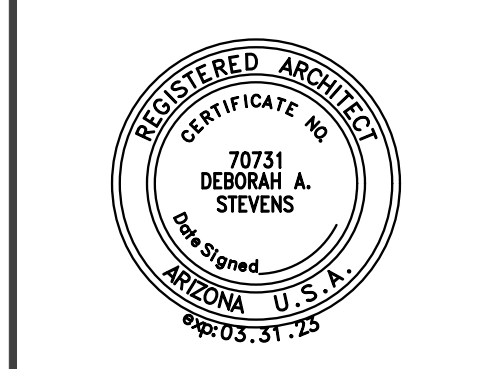


**CLUBHOUSE FLOOR PLAN**

SCALE = 1/4"=1'-0"

CLUBHOUSE

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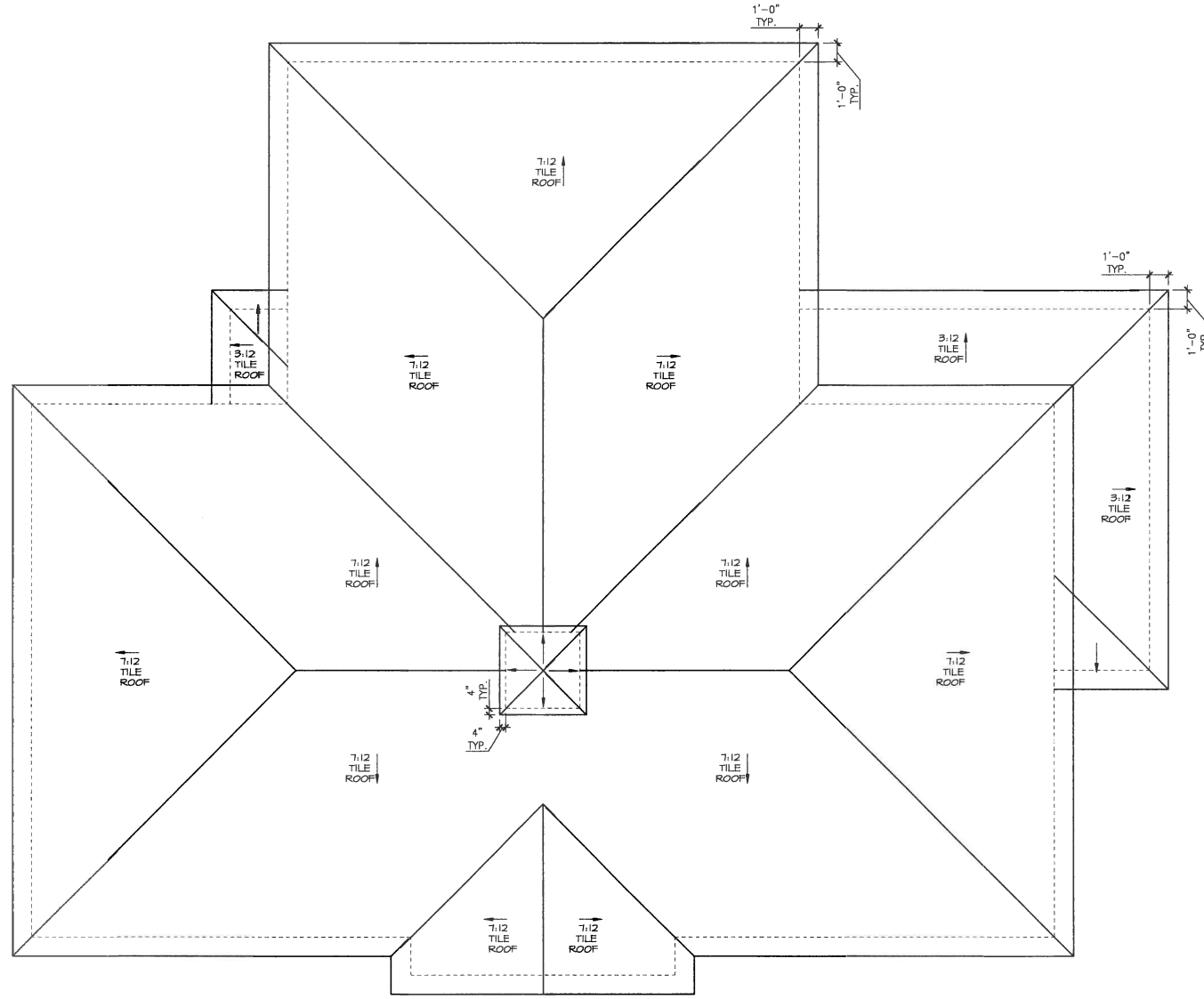
Project: **BUNGALOWS AT GANTZEL AND COMBS CLUBHOUSE**  
 Queens Creek, Arizona  
 Client: **BUNGALOWS COMBS LLC**

CD MARK	DATE	CLIENT DELIVERY	DESCRIPTION
	4/14/20		

PROJECT NO.: 10959a  
 CAD FILE: 10959a-club-a101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**FARMHOUSE FLOOR PLAN**

Drawing No.: **A1.1**  
 SHEET OF

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**ROOF PLAN**

SCALE = 1/4"=1'-0"

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<p>Project: <b>CLUBHOUSE</b></p>	<p>Client: <b>CAVAN COMPANIES</b></p>						
<p>PROJECT NO.: 10900a          CAD FILE: 10900A-CLUB-A101          DRAWN BY: D.C.          CHECKED BY: D.C.          SCALE: AS NOTED          Sheet Title:  <b>ROOF PLAN</b></p>	<p>Drawing No.:  <b>A3.1</b>          SHEET OF</p>						
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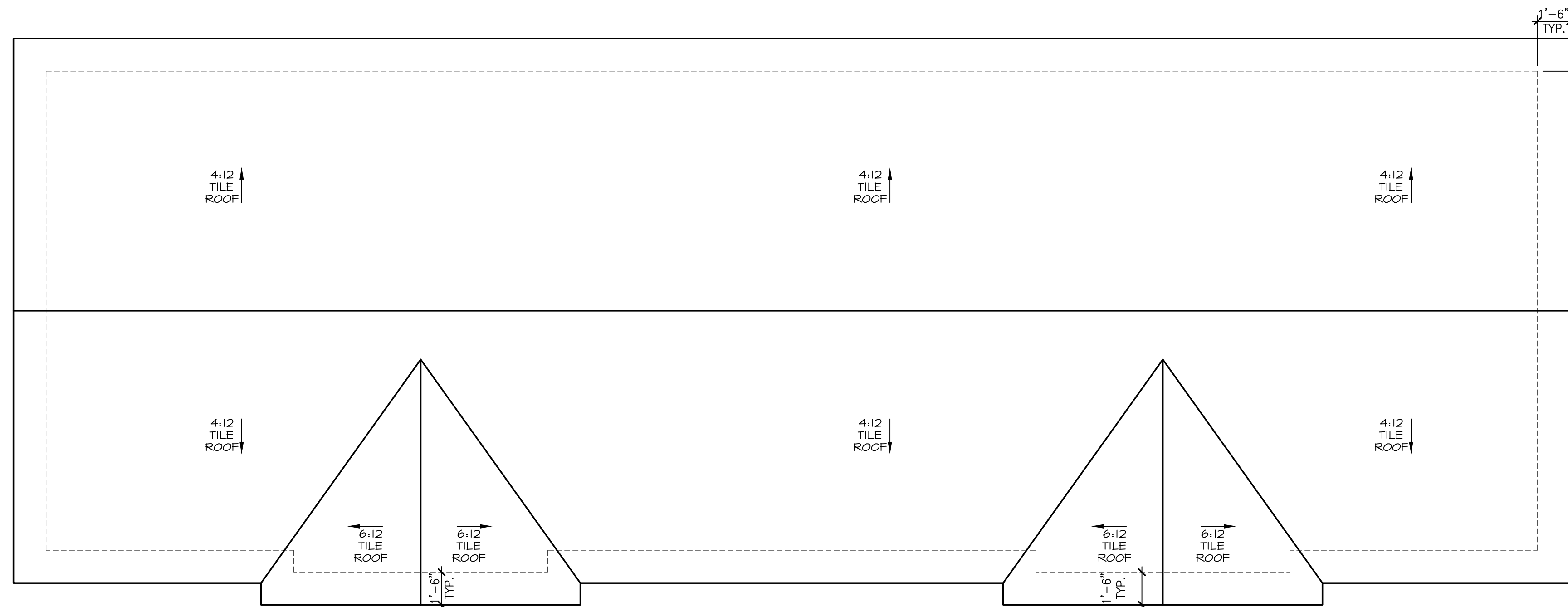
FLOOR PLAN NOTES

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8146) (ASTM E84 CLASS A; FLAME SPREAD NO. 25)
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FLOOR PLAN KEYNOTES

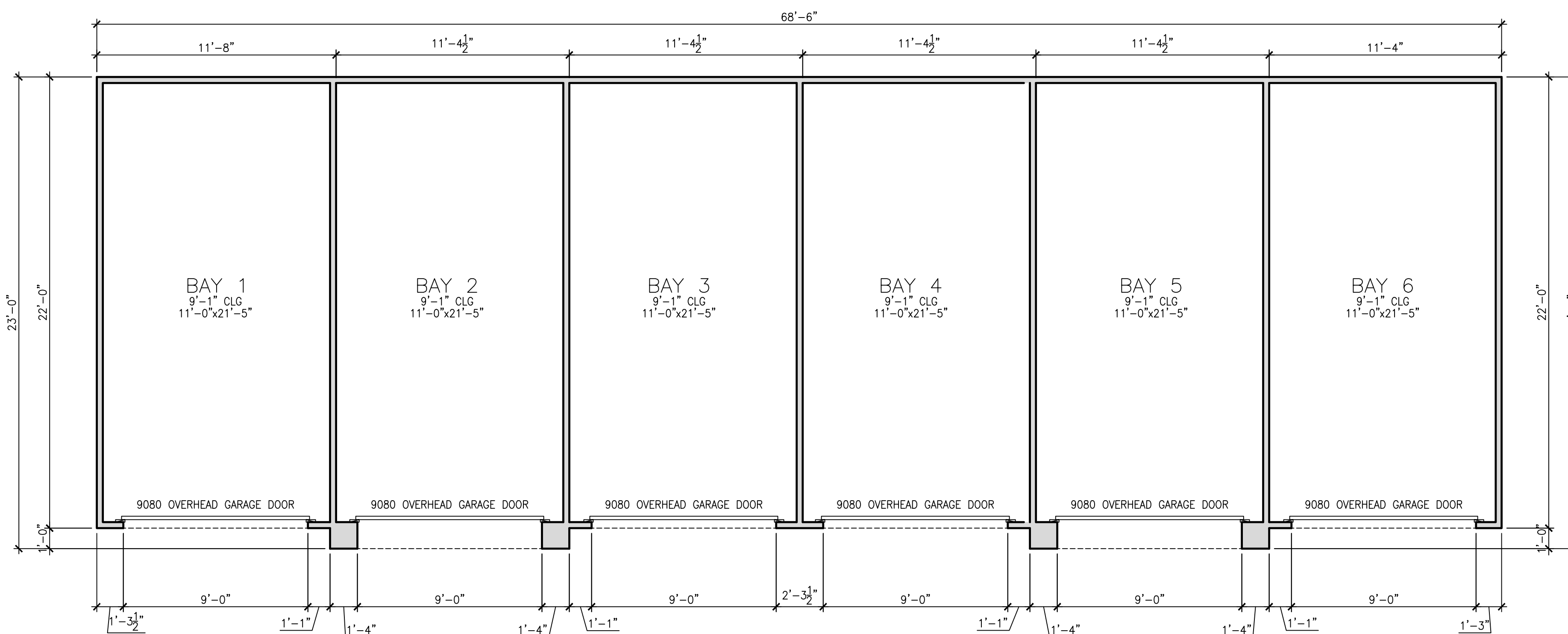
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- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSET RODS/SHELVING PER DETAIL 11/A4.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN
- VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.O.
- HOSE BIBB WITH BACKFLOW PREVENTER; SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 16D OR FRAMING NAILS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL REQUIRED AT FLAT ROOF ELEVATION
- MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
- HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE

AREA CALCULATIONS	
GARAGE BAYS (6)	1530
TOTAL FOOTPRINT	1530



ROOF PLAN

SCALE = 1/4"=1'-0"



6-CAR GARAGE FLOOR PLAN

SCALE = 1/4"=1'-0"

SYMMETRICAL ELEVATION

**MOORADIAN & ASSOCIATES**  
 4578 N. First Avenue, Suite 140  
 Tucson, AZ 85718  
 T: (520) 408-8117 F: (520) 408-8028

Notice: The Contractor shall verify and be responsible for all dimensions. DO NOT rely on dimensions shown on this drawing. All dimensions are based on the specifications of Mooradian & Associates, Inc. immediately. All designs, drawings and specifications are the property of Mooradian & Associates, Inc. Reproduction or use of any part of this drawing for any other than the project for which they have been prepared is strictly prohibited.

Project: **Bungalows**

Client: **CAVAN COMPANIES**

CD	MARK	DATE	CLIENT DELIVERY	DESCRIPTION
-/-	-/-	-/-	-/-	-/-

PROJECT NO.: 10900a  
 CAD FILE: 10900a-G4-A101  
 DRAWN BY: D.C.  
 CHECKED BY: D.C.  
 SCALE: AS NOTED  
 Sheet Title:  
**6-BAY GARAGE FLOOR PLAN**

Drawing No.:  
**A1.2**  
 SHEET OF

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# **BUNGALOWS AT GANTZEL & COMBS**

## **Planned Area Development & Site Plan Review Narrative**

**Submitted by:**

**Pew and Lake, PLC**

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**Submitted to:**

**Town of Queen Creek**

22358 South Ellsworth Road  
Queen Creek, Arizona 85242

September 23, 2020

# BUNGALOWS AT GANTZEL & COMBS

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Existing and Proposed Zoning Map .....	Exhibit C
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Preliminary Floorplans .....	Exhibit L
Preliminary Color-Material Boards.....	Exhibit M

# BUNGALOWS AT GANTZEL & COMBS

## **1. REQUEST**

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Pew & Lake, PLC, on behalf of Advanced Acquisitions, LLC (an affiliate of Cavan Companies), is pleased to submit this narrative and related exhibits in support of a Rezoning and Site Plan Review Application for residential development on the approximately 19.9 acres located west of the northwest corner of Gantzel Road and Combs Road (“Property”) in the Town of Queen Creek (“Town”) (See **Exhibit A, Aerial Vicinity Map**). The specific request is to rezone from C-2 (General Commercial) to Medium Density Residential with a Planned Area Development Overlay (MDR PAD), and Site Plan Review. The applicant is proposing a high-quality single-family for-rent community at a density of approximately 11.9 dwelling units per acre (du/ac). The development will consist of gated, single-story attached and detached residences and open space amenities such as a club house and pool area. This residential rezoning request takes the 19.9-acres out of a previously planned 63-acre commercial development located at the northwest corner of Gantzel Road and Combs Road. The remaining approximately 43.1-acres will be developed with commercial uses and will retain the current C-2 zoning.

The requested MDR PAD zone will help further the goals within the Town’s General Plan by adding diversity to the Town’s housing stock. As currently zoned, the property cannot support 63-acres of commercial development given the because of the limited market area, lack of arterial-arterial frontage, and the relatively narrow lot with a significant lot depth. The remaining 43.5-acres of C-2 zoned property has better access and visibility and approaches a more standard lot size for commercial developments. As designed, it will adequately provide services to the surrounding residences.

The proposed residential and existing commercial zoning will allow for a cohesive blend of uses that complement each other and will result in a successful development at a prime location for a residential use within Queen Creek. Combs Road and Gantzel Road are major vehicular corridors bordering the Town of Queen Creek area with San Tan Valley. The proposed development will bring a new type of housing product and will support the proposed commercial retail services proposed nearby. This request will result in a unique residential community adjacent to non-residential uses including shopping and business services for the residents.

This proposal is compatible with the 2018 General Plan Update (See **Exhibit B Existing Queen Creek General Plan Land Use Map**). In support of the vision in the General Plan, the proposed density and unique qualities of the housing product are needed in the Town to create a more diverse housing platform. Currently, Queen Creek housing supply has been approximately 92% single family detached units. Other cities in the area have report a more diverse mix. Gilbert has 86% single family detached housing, Chandler has 72%, Mesa has 54% and Tempe has 42% (US Census 2012-2016 American Community Survey). A single-family for-rent product would be an appropriate and needed addition to the Queen Creek housing stock.

## **2. BACKGROUND**

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This site is composed of two parcels (Pinal County APNs: 104-53-011B and a portion of 104-53-010) currently zoned General Commercial District (C-2).

The site was annexed in 2008 and the Pinal County PAD C-2 zoning case was grandfathered as Case # ANX08-042. A pre-annexation development agreement was included in the annexation, see Docket 2007-085304. The site was previously approved to be a 63.0-acre commercial center.

# BUNGALOWS AT GANTZEL & COMBS

## **3. CONSISTENCY WITH THE GENERAL PLAN**

The proposed rezoning application meets and exceeds the goals of the 2018 General Plan. Currently, the entirety of the 63.0-acres is designated as Commercial (See **Exhibit B**). As requested, the portion of the development that requires the rezoning request is less than 20 acres, and, therefore, does not trigger a General Plan Amendment.

The Commercial land use General Plan designation characterizes development that generally accommodates existing suburban shopping centers and serves as an adequate transition to abutting designations such as Rural or Neighborhood. The site is also located within a designated Growth Area. The South Specific Area Plan Growth Area (SSAP) reflects ongoing planning for the continued development of the area and helped to create the Town's Agritainment area and identified other areas for future housing and commercial development.

The request to rezone to MDR PAD will allow medium density residential development on the site. As specified in the Comprehensive Plan, a residential land use is lower in intensity than traditionally allowed within a Commercial land use designation, which provides for compatibility with the surrounding land uses. To that end, PAD is an appropriate zoning district within the Commercial land use designation to provide for the necessary design features. The proposed residential development, with a PAD overlay, will serve as a buffer from the residents and schools to the north and west, and the future and existing commercial uses to the east of the site. The proposed Planned Area Development (PAD) demonstrates how this property will be zoned to be in compliance with the 2018 General Plan Update. In addition, it provides development standards consistent with the Town's General Plan's Vision of "convenience of the city, comfort of the country" through the following:

### ➤ **Land Use Element Goals and Strategies**

#### ***Goal 1: Maintain of the Town's unique community character***

##### **Strategy 1.A**

This rezoning will promote the Town's history, location, and amenities with development of a unique, attractive, desirable, and economically sustainable community. Agriculture is an integral part of Queen Creek's heritage and agrarian design concepts will be incorporated into the design of the development. A higher-density single-family residential development is appropriate for this site as it would serve as a buffer between the single-family homes and schools to the west and the commercial uses to the east of the site. Active and passive recreational amenities will be incorporated into the development. These features are also supportive of the SSAP, as discussed further below.

##### **Strategy 1.C**

This rezone will reflect the Town's historic rural character in its design and appearance, which is also a fundamental aspect of the vision for the SSAP (below). The Town's Design Standards will be implemented, and the agrarian character of the Town will be reflected in the elevations, colors, materials, and overall design of the community.

## BUNGALOWS AT GANTZEL & COMBS

### ***Goal 4: Promote seamless development between the Town and adjacent jurisdictions***

#### **Strategy 4.A**

The subject site is located adjacent to Pinal County jurisdiction properties. The site is located partially within a Pinal County Low Intensity Activity Center which allows a mix of uses such as medium to high density residential, office, commercial, and tourism/hospitality uses. The proposal for residential will further not only the goals of the Town's General Plan, but it will further the goals of Pinal County's Comprehensive Plan.

#### ➤ **Housing Element**

This project will provide much-desired higher density residential development while also fulfilling the need for alternative housing options close to employment centers. By providing more housing options, this project will fill an important element for economic development for the Town's existing and future residents

### ***Goal 1: Provide a diverse range of quality housing options for current and future residents***

#### **Strategy 1.A**

This project will create an attractive, high-quality housing product in an open community setting providing an amenity-rich environment. A hierarchy of open space amenities are available in the form of the community's active open space amenities and pathways in the common areas, in addition to the private backyard spaces available to each housing unit.

#### **Strategy 1.C**

Over 20% of Queen Creek developments are renter occupied. The proposed development will provide higher density residential units allowing for a greater mix of housing options. The proposed structures will be designed to replicate single-family living in a large and amenity-rich community that will be maintained by a professional management entity.

#### **Strategy 1.E**

This proposal will bring one of the first hybrid types of housing products to the Town. This type of product will provide the feel of a single-family home with all the amenities of a luxury multi-family development.

#### ➤ **Growth Areas Element – South Specific Area Plan Growth Area**

The proposed rezoning site is located within the South Specific Area Plan Growth Area and is designated as such to reflect ongoing plans for the continued development of the area. A new, higher density single-family residential development will further support growth and development in the area.

### ***Goal 1: Plan for and prepare to guide development within growth areas***

#### **Strategy 1.D**

The site is located north of the Fry's Marketplace and Banner Ironwood Medical Hospital, south of Combs Road. The proposal furthers the General Plan goal that calls for connections between the hospital and nearby destinations. This site will have pedestrian paths and open spaces that lead from the community to Combs Road which could connect residents to the nearby commercial and employment uses, including the hospital campus. The site is also located in an area of interest for a future community park and commuter rail. This request and future proposals for higher density single-family and multi-family developments will draw residents who will utilize and benefit from housing options near to these jobs, amenities and services.

# BUNGALOWS AT GANTZEL & COMBS

## 4. RELATIONSHIP TO SURROUNDING PROPERTIES

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Historically, the subject site has been used for agricultural purposes and is designated as Commercial on the General Plan. North of the subject site are large lot homes located in the Pinal County jurisdiction zoned Suburban Ranch (SR) and designated as Neighborhood in the Queen Creek General Plan. The site is bordered to the west by the American Leadership Academy schools, on property zoned C-2 and Rural Estate District (R1-43) and designated as Commercial and Neighborhood in the Queen Creek General Plan. East of the subject site are agricultural properties zoned C-2 and designated as Commercial in the Queen Creek General Plan. South of the subject site is vacant land, a commercial center, and Banner Ironwood Medical Center in Pinal County Table 1 below summarizes the Property’s and surrounding designations and land uses.

**Table 1 – Adjacent Land Uses**

Direction	General Plan Land Use	Existing Zoning	Existing Use
Property	Commercial	C-2 (Queen Creek)	Vacant, Agricultural
North	Neighborhood	SR (Pinal County)	Single Family Residential and Agricultural
East	Commercial	C-2 (Queen Creek)	Agricultural
South	Commercial	C-1 (Queen Creek) CR-3 (Pinal County)	Fry’s Market Place shopping center
West	Neighborhood and Commercial	C-2 (Queen Creek)	ALA Schools

## IMPACT ON SURROUNDING PROPERTIES

This request will have a positive impact on surrounding properties because it will improve the frontage of Combs Road, serve as a buffer between existing residential and the future commercial uses, economic support for nearby proposed commercial uses, and will provide much needed housing diversity. Given that the subject is site is located within the South Specific Area Plan Growth Area and the demand for quality housing types such as the proposed product, the single-family for-rent product has a high likelihood for success.

## 5. CIRCULATION

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The requested Medium Density Residential development will have two (2) vehicular connections to Combs Road. One directly ties to Combs for secondary access. The other will use Sangria Lane, a shared access drive that will allow this site to connect east to the future commercial development and to Combs Road.

In response to discussions and agreement with neighbors in Unincorporated Pinal County to the north, the Development Plan provides access to those properties along the western and northern Property boundaries. The western boundary will have 5 feet of landscaping to buffer an access easement that will run along American Leadership Academy’s side of the property line. It will turn east at the Property’s northern boundary, where the applicant will preserve a 15-foot access easement that flares to 35 ft. at the property corners to accommodate turning movements. Buffers, setbacks, and landscaping are designed to accommodate transitions to the surrounding properties, as discussed in the Development Standards section of this PAD Narrative.

# BUNGALOWS AT GANTZEL & COMBS

## 6. DEVELOPMENT PLAN

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### ***Site Plan***

As is depicted on the Preliminary Site Plan attached as **Exhibit D**, careful consideration has gone into planning the proposed development. It has been designed as an attractively, aesthetically landscaped, and appropriate use for the site. Bungalows at Gantzel & Combs will be a gated community that will consist of approximately 236 residences at a density of approximately 11.9 du/ac. The community will consist of a mix of one, two, and three-bedroom units, with an appropriate mix of detached and attached units. Unlike traditional apartment complexes where the units are predominantly Studio, 1 and 2 bedrooms, the applicant is proposing more 2 and 3-bedroom residences (30% 1 bedroom, 47% 2 bedrooms, and 24% 3 bedrooms). All units will be one-story in height.

The proposed residential community is similar in form to what would be found in a traditional single-family residential subdivision, and the structures are a lower profile than what would be found in a traditional garden style multi-family development (2-and 3-story buildings) or a commercial development with higher intensity uses. (See **Exhibit H**, *Conceptual Architectural Imagery*.)

The residences are predominately grouped around pedestrian-oriented courtyards to create a sense of arrival, place, and connectivity within the greater context of the community. All homes and garages will be clustered, thus allowing a reduced building separation that enhances the impact of the courtyard design. A unique feature for Bungalows at Gantzel & Combs is that every residence includes a private rear yard enclosed by a 6-foot masonry wall (averaging approximately 300 square feet per unit), with dimensions that comply with the Zoning Ordinance standards. Small-scale pedestrian courtyards and outdoor seating areas are also provided to create a seamless and smooth transition between public and private portions of the community.

### ***Landscaping, Amenities and Open Space***

The landscape design will consist of an enhanced palette that is inspired by luxury single-family living (See **Exhibit E**, *Landscape Plan & Lighting Plan* and **Exhibit F**, *Preliminary Open Space Plan*). The landscape character seeks to create an ornamental palette with plant material on the Town's recommended plant list and vegetation tempered for the Arizona climate using drought tolerant species. The vibrant plant materials and textures used within the landscape will create a community identity unique to the area, adding a fresh approach to the timeless landscape environments epitomized within Arizona's residential communities. The featured design elements create a welcoming and indulgent environment for prospective residents by integrating the character of the architecture at a human scale.

The proposed development has been planned with high-quality, neighborhood-scale amenities, that reflect the development's desire to create an upscale community where residents are able to live, play, relax, and socialize in a comfortable and pleasing environment (See **Exhibit E**). The amenity area will enhance the quality of life for residents by providing recreational opportunities and connectivity through the integration of accessible open spaces. The amenities will be integrated throughout the development to maintain the character of the community. The main amenity area will include a welcoming clubhouse building, resort-style swimming pool and spa, restrooms, turf areas, BBQ amenities, and seating areas for residents to relax and socialize.



## BUNGALOWS AT GANTZEL & COMBS

Typically, common open space requirements are larger in multi-family developments due to the lack of private open space provided. The Bungalows at Gantzel & Combs development will be providing both common and private open spaces in the community (See **Exhibit F**, *Open Space Plan*). The minimum required open space is 20%, or 3.98 acres and minimum active open space is 1.2 acres. The Bungalows at Gantzel & Combs development is proposing approximately 36% of common open space (approx. 7.1 acres), of which a minimum 1.2 acres is active open space. An additional 10% of open space is provided in the proposed backyard enclosures, which reduces the intensity of development in a way that increases compatibility with surrounding properties. The proposed open space data are preliminary in nature and will allow for minor adjustments that may occur during final plans, permitting, and construction stages.

As depicted on the submitted plans, common open space areas will be distributed throughout the site in convenient and accessible locations for residents to use and enjoy. In addition to common open space areas, each unit will have private open space located in the enclosed rear yards for the personal use and enjoyment. The quality and quantity of open space in the community demonstrates an innovative and sophisticated product type.

Pedestrian paths and connections will be provided throughout the site, connecting residents to open space and amenity areas, as well as the adjacent commercial development (See **Exhibit G**, *Preliminary Circulation Plan*). The pedestrian plan creates a hierarchy of space that flows efficiently from private space to semi-private/public to public spaces within the development. This hierarchy creates richness and depth in the open space plan that distinguishes this hybrid type of single-family product with professionally managed open space amenities in rental communities, according to feedback from residents of similar communities.

As shown on the submitted plans, sidewalks and pathways link the various site uses and center on the shared open space amenities and clubhouse/pool amenity, preserving the private feel at each cluster of homes is preferred for safety, quality, and an enhanced lifestyle this development offers.

### **Architecture**

The Bungalows at Gantzel & Combs development is a single-family for-rent product that lives like a single-family residential home. These casita-style homes address the needs of modern families. The homes will be built with energy-efficient and sustainable construction technology. The proposed architectural style for the development is a farmhouse and craftsman design style (See **Exhibit H**, *Conceptual Architectural Imagery*, and **Exhibits K, L, and M**, *Preliminary Elevations, Floorplans, and Colors/Materials*). While this is a unique product to the Town of Queen Creek, careful attention was paid to ensure that the design blended will with the architectural style of nearby developments. Unlike typical multi-family projects where there may be one or two design themes, *The Bungalows on Ash* provides three architectural styles for the homes that are genuinely distinct from another, which will present an appropriate amount of variety for this unique hybrid between multi-family and single-family homes.

Architectural design features will include sloped gable and hip roofing patterns that improve upon the flat roofing systems seen in other projects. The elevations will incorporate undulation, wall recesses, and varied wall planes and roof lines appropriate to the scale of the buildings. Elevations will be punctuated with various design materials, such as natural stone, of brick materials, and

## BUNGALOWS AT GANTZEL & COMBS

concrete roof tile. Details, such as corbels, shutters, awnings, trim, and complementary color schemes will add tasteful variety to the project consistent with related developments in the area. Private patios will transition to the outdoor spaces and private backyards for each unit. Window trim and detailing will have unifying elements across the elevations.

The front elevations of the homes will be the most visible as they will front onto the shared pathways and courtyards. The side and rear elevations, and the rear elevations will be screened by the backyard enclosures, which walls will also connect to the rear of the detached garage buildings. Therefore, these elevations will be hidden from view by the solid walls and landscaping. Nevertheless, the architecture has been designed to provide articulation and variation in exterior materials on the various elevations, which are appropriate to the scale of the homes and functionality of the interior design and floorplans.

Interior spaces will include quality design features, such as ten-foot ceilings, larger scale windows, patios that transition to outdoor spaces, and private backyards. As designed, the project will be ideal for a variety of resident lifestyle options, including families, young professionals, pre-retirees and retirees, pet owners, and other who want the benefits of single-family living with resort-style amenities, and without the maintenance responsibilities of home ownership.

Due to the unique design of the Bungalows at Gantzel & Combs community, detached garages and covered parking spaces will be internalized and screened from adjacent roadways. The garage elevations incorporate similar elements from the residence buildings to create a consistent design throughout the community. Parking canopy covers will be consistent with the building colors and will be architecturally integrated with the surrounding structures.

### **7. ZONING**

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The Town of Queen Creek General Plan serves as a policy guide for orderly growth, land use, transportation, infrastructure, and open space in the Town, while also serving as a basis for the expenditure of municipal funds. Implementation of the General Plan is based on fostering of the overall vision, specific goals, objectives and policies adopted by the community. Zoning of real property is the legal tool frequently used to implement the General Plan vision. While conventional zoning of property is generally reasonable, this type of land use regulation can conversely provide limitations on the ability of a project to creatively promote the goals, objectives and policies of the community.

The requested rezoning will provide for the necessary flexibility need to develop this site and will ensure conformance with the General Plan. The PAD overlay district requires underlying or base zoning districts to establish the framework for use regulations, bulk, and area requirements. The requested base zoning district is Medium Density Residential (MDR) (See **Exhibit C, Existing and Proposed Zoning Map**).

To successfully and sustainably facilitate the vision for this property, MDR with a PAD overlay is proposed. The proposed zone and PAD overlay foster many of the tenants set forth in the Town of Queen Creek Zoning Ordinance provisions and corresponding Design Standards while still allowing for: creative solutions to address a unique and innovative product type; pedestrian connectivity; greatly enhancing the community experience through a unique and elaborate open space and

## BUNGALOWS AT GANTZEL & COMBS

amenity package; and, allowing carefully crafted site development regulations to protect surrounding properties and future residents.

Included with this request is a corresponding PAD exhibits that demonstrate how the request could be implemented and how the requested zoning designation is appropriate. The Preliminary Development Plan should not, however, be construed as a concrete Site Design.

The Preliminary Development Plan for Bungalows at Gantzel & Combs illustrates a diligent and concerted effort by property ownership and the development team to integrate appropriate land use transitioning and buffering to ensure compatibility with adjacent planned uses and existing built form; to incorporate a blend of appropriate densities and corresponding land uses that further goals outlined within the General Plan; and, to create a sense of place through quality open space design that will also promote public health and a higher quality of life for the area by providing active and passive recreational opportunities.

### 7.2 PAD DEVELOPMENT STANDARDS AND REGULATIONS

Bungalows at Gantzel & Combs shall utilize the MDR zoning category regulations as set forth within Table 4.7-3 and as established as a part of this PAD document as provided within Section 4.7.C.(5).

Inclusion of Development Standards within the Bungalows at Gantzel & Combs PAD Development Plan protects not only the adjacent property owners, but also the future property owners within the boundaries of the PAD. These standards permit greater flexibility in the development of a higher quality living environment, while preserving the public health, safety and welfare of Queen Creek citizens. The standards contained herein pertain to lot areas, setbacks, building height and lot coverage. They also promote an appropriate transition and compatible land use relationships with the adjacent properties.

The proposed development standards represent the intensity at which the site could develop, in keeping with the long-range plans for the site as specified within the General Plan. The following table is a comparison of the Commercial lot development standards proposed to those identified as minimum requirements in Queen Creek Zoning Ordinance (QCZO). Deviations which are less than the minimum dimensional standard set forth in the QCZO are indicated in **bold, underlined** typeface.

**Table 2 – Development Standards**

<b>Description</b>	<b>Required QCZO MDR</b>	<b>Provided Bungalows at Gantzel &amp; Combs</b>
Total Common Open Space	20% Min. (3.98 ac.)	20% Min. (36% provided, 7.1 ac.)
Total Active Open Space (% of Total)	30% (1.2 ac.)	30% (1.2 ac.)
Maximum Lot Coverage	60% (overall site)	30% (overall site)
Maximum Height	36 ft.	26 feet (single-story)
Minimum Front Yard Setback	10 ft.	10 ft.
Minimum Side Yard Setback	5 ft.	25 ft. total, 5 ft. common
Minimum Rear Yard Setback	10 ft.	25 ft. total, 5 ft. common
Landscape Buffer to Arterial St.	30 ft.	30 ft.

## BUNGALOWS AT GANTZEL & COMBS

Landscape Buffer § 5.3.C.6.a, Table 5.3-1 <ul style="list-style-type: none"> <li>• North Boundary</li> <li>• East Boundary</li> <li>• West Boundary</li> </ul>	15 ft 10 ft. 10 ft.	10 ft. common 20 ft. (10 ft. common, 10 ft. backyard) 15 ft. (5 ft. common, 15 ft. backyard)
Building Separation, § DS.5(C)(1)(a)	15 ft. recommended	<b><u>10 ft.</u></b>
Landscape Buffer (MFR to Residential) <ul style="list-style-type: none"> <li>• North Boundary</li> </ul>	15. ft.	15 ft.
Parking Island Landscaping, § 5.6.A.7.d	1 tree and sufficient shrubs	Nearly every island will have 1 tree, 24-inch box size, except where not feasible over underground drainage storage tanks; all islands will have sufficient shrubs per the submitted landscape plan

### Justification for Modified Development Standards

#### a. Building Separation

Proposed is a minimum 10-foot building separation, which is an essential element of the development's multi-faceted open space plan and its efficient and cohesive design. Parking shade canopies may be closer than 10 feet per building code requirements as they are open accessory structures. Among other things, this modification is justified by the buildings' smaller scale, reduced impact on the surrounding properties, and the generous open space areas that increase the benefits of light, space and views to and from the Property. Individual buildings will be clustered and oriented toward pedestrian and open space open space pathways, and they will comply with all applicable building code requirements. Between the buildings, sidewalks will be laid out with landscaping, shading, and a pattern of shared common area spaces.

#### b. Landscape Buffers

The proposed landscape buffers comply with zoning requirements, as modified in this PAD. They are the result of significant neighborhood outreach. They are requested to benefit the Town and to increase its ability to require future plans to comply with these standards through the PAD. These are also proposed to promote the intents of the General Plan regarding landscape buffers and transitions to surrounding uses.

Along the northern boundary of Bungalows at Gantzel and Combs, a 15-foot wide private access easement is proposed as an agreed-to access from Combs Road to the properties north of the subject site. This access drive will have increased widths of 35 feet at the Property corners to facilitate turning movements. Then, outside of the Bungalows' northern perimeter wall, 3 feet of common landscaping with shrubs and groundcover are proposed. Inside the wall, approximately 7 feet of landscaping is proposed with both trees and shrubs for a combined total of 10 feet. In total, the minimum building setback to the north will be 25 feet. It is noted that in some areas there will be more landscaping and separation.

## **BUNGALOWS AT GANTZEL & COMBS**

To the west and east, given the proposed development is a hybrid between single-family and multi-family uses, proposed are 5 feet (to the west) to 10 feet (to the east) of common landscaping along the western and eastern boundaries of the Property as provided in the table above. That would be followed by minimum 10-foot backyard enclosures on the east and minimum 15-foot of backyard enclosures on the west as summarized in the table. Combined, this exceeds the minimum required onsite landscape buffer requirements, which reduces the intensity of development along the perimeter.

Regarding the west property line, the intent is to enable the west property line to function as a single-family community with backyards that abut the school property. In addition, a 5-foot landscaped area will be provided outside the perimeter wall, which will be maintained by the property owner and its professional management entity.

These buffer standards are compatible with the building setbacks and buffers to the school to the west, the commercial use to the east, and the residential/rural use to the north. The proposed standards will mitigate any impacts on the adjacent properties.

### **c. Parking Lot Landscaping**

Proposed are trees in parking islands that are evenly distributed across each driveway direction. In limited situations where underground storage tank facilities are provided underneath the landscape islands to comply with drainage requirements, only the shrub requirement is met for landscaping islands, not the requirement to have 1 tree, as provided on the submitted landscape plan. Landscape experts have looked at the constraints associated with the underground drainage storage tanks, concrete pedestrian paths, and the lifecycle of the drought-tolerant trees in the proposed landscape plan and determined that proposing trees over the underground tanks would not provide for the trees' long-term sustainability. Every effort has been made to provide a tree where they are required and to create a high quality landscape plan. Also, additional trees will be provided along the edge of the parking area in nearby locations to supplement and ensure the total required tree count is met or exceeded.

This proposed standard is supported by the additional trees that are provided near parking spaces in other areas of the site, such as at the courtyards, sidewalk connections, and open space areas and also the fact that the overall tree count for the site exceeds standards. The 15-gallon parking island tree size is required, where proposed are a minimum 24-inch box size. Additionally, the common open space standards, landscaped strips near parking spaces, and private backyards with trees in them, exceed minimum requirements. Given the site layout, the proposed landscaping increases the natural feel and helps break-up the otherwise imposing nature of a single, large parking area, thus meeting the purposes of the Zoning Ordinance.

### **d. Open Space Amenities Exceed Standards**

The proposed PAD Development Plan exceeds the open space requirements, which increases the quality of the project and provides for consistency with the low-intensity nature of the surrounding area. The hierarchy of public, semi-private, and private open space creates an enhanced feeling in the project that will contribute to a more livable environment and promote neighborhood stability

## **BUNGALOWS AT GANTZEL & COMBS**

and quality for the surrounding area more than would a project that does not exceed open space requirements.

### **e. Exceeds other standards**

The modified standards are further justified by the instances where the project exceeds standards, which is the case in terms of the building height, and building setbacks, and other requirements. The proposed buildings do not exceed a height of 1-story, which is lower than would typically be expected for a multi-family use. This will promote the enhanced feeling of light and space and a low intensity use, which promotes compatibility with the adjacent properties. Instances where the project exceeds minimum building heights and setbacks will decrease the project's intensity along the perimeter of the project and form part of the justification for the modified standards.

### **f. Necessity, Site Constraints**

The modifications described above are requested because the distinct location and design of the proposed development provide such that strict application of zoning provisions in conventional zoning would not enable the development to offer the quality, cohesive design, open space, and creativity needed to promote a vibrant and sustainable community. The development responds to the market conditions in a manner that conventional zoning does not allow by offering single family living with the lifestyle amenities of a professionally managed community. The Development Plan is designed on a relatively narrow site that abuts an arterial roadway, commercial development on the east, unincorporated land to the north, and a high school and elementary school to the west. These features are unique considerations that impose limitations to development on the site.

### **g. Similarity to Single Family Uses**

One of the main premises for the proposed development is to develop a highly desired single-family product in the residential marketplace. Based on the developer's extensive experience in delivering high-quality rental housing, the proposed housing product has proven attractive to residents for many reasons. For one, the project is set up more like single-family homes, which have no units above or below as in the case of traditional apartments, and no common walls for the two-bedroom or three-bedroom units (the one-bedroom units being twin homes with a common wall on one side only). This arrangement allows allow more natural lighting to enter each unit on three to four sides of the buildings. The project design enhances the comfort of the interior spaces and access to the pedestrian pathways and outdoor amenities. As a result, The Bungalows at Gantzel & Combs establishes a cohesive plan and a desirable, resort-like environment that will benefit onsite residents and the surrounding community.

### **h. Health, Safety, and Welfare**

The proposed standards are necessary to achieve the benefits to the Town's health, safety, and welfare. In sum, the proposed development standards are in the best interest of the Town to:

- Provide land use buffers to properties with differing intensities;
- Integrate connectivity of open space areas into the Development Plan;
- Enable the project to develop high quality housing concepts expected by the market;

## BUNGALOWS AT GANTZEL & COMBS

- Establish distinctive design concepts and development themes; and
- Foster the desired economic benefits for the Town’s Agritainment and specialty commercial uses.

### **8. DESIGN GUIDELINES**

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The community design proposed for the Bungalows at Gantzel & Combs PAD will be consistent with the requirements of the Town of Queen Creek Design Standards and the above-referenced project description. The development will be built in 1 phase.

See **Exhibit H** – *Conceptual Architectural Imagery*

#### **THEME WALLS & ENTRY MONUMENTATION**

The entry monument design and wall theming elements are intended to create a unique and distinct character for this community. The primary entrances into the project will be located off of the Queen Creek extension described above and will incorporate alternative paving materials. As depicted on the *Preliminary Wall Plan* - **Exhibit J**, the primary entry monuments combine a variety of materials, walls and vertical elements to create a stately and distinct entry feature.

The perimeter walls have been designed to be complimentary to the entry monument. As illustrated on the *Walls and Monuments* - **Exhibit I**, a variety of wall types, materials, and wall panel heights have been incorporated into the design of the project’s theme walls. This design provides a character and theme for the community that is both consistent with the Town’s rural and agrarian history and can be applied to future residential and non-residential areas nearby. The perimeter theme walls create an aesthetically pleasing edge condition for the surrounding neighborhoods.

### **9. PUBLIC UTILITIES AND SERVICES**

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Utilities and services will be provided as follows:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	Southwest Gas
Telecom:	Cox Communications/ Century Link
Police:	Maricopa County Sheriff’s Office
Fire:	Town of Queen Creek
School:	J.O. Combs Unified School District

#### Water

Potable water is proposed to be provided by the Town. From information obtained from the Town of Queen Creek Utilities Department, there is an existing 12-inch water line in Combs Road and a 12-inch water line in Gantzel Road.

The proposed water lines for the subdivision would connect to these existing lines and loop through the development with 2 ties to the existing systems for the property.

## **BUNGALOWS AT GANTZEL & COMBS**

The proposed water system improvements will be designed as looped systems and developed in accordance with Town's 2015 Water Master Plan and ADEQ's requirements.

### Wastewater

Sewer service will be provided by the Town's sewer system. From information obtained from the Town of Queen Creek Utilities Department, there is an existing 12-inch sewer main in the Combs Road at the east edge of the ALA school.

### State of Arizona Air & Water Quality Standards

The Project will be designed and constructed in adherence to all relevant State of Arizona air and water quality standards. During project construction, measures will be taken to control any dust generated by activities on the Property and to control any unscreened storm water discharge to adjacent waterways. After the project infrastructure is completed, dust control and storm water management practices will remain in place until all lots within the project have been developed.

## **10. PHASING**

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Due to the project size, the development of Bungalows at Gantzel & Combs is proposed to be developed in one phase.

## **11. PUBLIC PARTICIPATION**

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The project team has implemented significant neighborhood outreach efforts for this request, and a summary of the public participation has been submitted to the Town. Consistent with the Town's public participation procedures, a neighborhood meeting was conducted inviting nearby property owners to address any questions they had to and to bring them to the attention of the Town. Additional in-person meetings were held with the property owners to the north to address their questions, which centered primarily on providing for access from those properties to Combs Road. The project team is committed to continuing public participation efforts throughout the entitlement process.

## **12. GRADING AND DRAINAGE**

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Currently the site is being used for agricultural purposes and has no surface improvements on the site aside from farming improvements. The local topography is generally well graded, due to the agricultural land use. According the USGS Quadrangle maps, the site generally slopes to the west.

The site will be designed in accordance with the current Town of Queen Creek Design Standards and Procedures Manual.

## **13. AMENDMENTS**

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### Minor Changes

The Town of Queen Creek Development Services Director may allow minor changes to the approved PAD by way for an administrative approval, provided that such changes are not in conflict with the overall intent as expressed in the PAD document. The following items shall be considered as minor changes to the PAD:

- Changes in configuration of individual development parcel boundaries or configurations;
- Modifications or adjustments to roadway alignments;
- Modifications to the location and size of trails and pedestrian pathways;



## BUNGALOWS AT GANTZEL & COMBS

- Relocation of a park sites, redesign of park amenities;
- Changes to the infrastructure, such as drainage, water and sewer systems which do not have the effect of increasing or decreasing capacity in the PAD, nor change the intent of the PAD;
- Changes or modifications to setbacks of the required development standard in order to accommodate for unique circumstances or specific site constraints, so long as the change does not conflict with Town Building Code or off-street parking requirements as defined in the PAD;
- Any analogous interpretations of the list of permitted, conditional and secondary uses of the property as set forth in the PAD and Town zoning code, as determined by the Development Services Director;
- Increase in residential density up to 35% of maximum units;
- Other changes not identified above, but deemed appropriate by the Development Services Director, as long as the change does not impact the general health, safety, and welfare of the residents of the Town of Queen Creek and does not impact the overall intent of the approved PAD.

### Major Changes

A major change is a change that does not qualify as a minor change as defined above, and that significantly alters the intent of the approved PAD or land use zoning of the approved PAD. Major changes shall comply with the requirements set forth in the Town of Queen Creek Zoning Code and State Statute.

### **14. PROJECT TEAM**

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Owner/Developer:	Advanced Acquisitions, LLC 15300 N. 90 <sup>th</sup> Street, Suite 200 Scottsdale, AZ 85260 Phone: 480-627-7000
Applicant:	Pew & Lake, PLC Attn: Sean Lake 1744 S Val Vista Drive, Suite 217 Mesa, AZ 85207 Phone: 480-461-4670
Engineer:	HilgartWilson, LLC Attn: George Krall 2151 E. Highland Avenue, Suite 250 Phoenix, AZ 85016 Phone: 602-490-0535
Land Planning & Landscape Architect:	RVi Attn: Mark Reddie 120 S. Ash Avenue Tempe, AZ 85281 Phone: 480-586-2349

# BUNGALOWS AT GANTZEL & COMBS

Architect & Planning:

Mooradian & Associates  
4578 N. 1<sup>st</sup> Avenue, Suite 140  
Tucson, AZ 85718  
Phone: 520-408-8117

## **15. CONCLUSION**

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The Bungalows at Gantzel & Combs PAD demonstrates the following qualifications for approval:

1. The requested PAD and the requested underlying Medium Density Residential (MDR) Zoning District for the Healy Faulkner PAD are in the best interest of the Town and are beneficial to the community in that a more appropriate transition may be provided from the predominantly residential zoning to the west, and the commercial zoning areas of the Town Center to the east;
2. Strict adherence to the requirements of the Zoning Ordinance is not required in order to ensure the health, safety and welfare of the future residents and commercial users of the Bungalows at Gantzel & Combs PAD. The project has been designed to implement design standards and practices which provide for a safe and healthy environment;
3. That the strict adherence to the requirements of the Zoning Ordinance is not required in order to ensure that property values of adjacent properties will not be reduced, but enhanced with the improvement of surrounding properties and by providing a guiding document by which the projects quality and design will be developed; and
4. That the proposed Development Plan is consistent with the goals, objectives, and strategies of the Queen Creek General Plan as described within Section 3 of this narrative.

The Bungalows at Gantzel & Combs PAD is designed with the entire Town in mind and takes into account the surrounding development, circulation, economics, and future vision of Queen Creek living.

# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit A – Aerial Parcel Map



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit B- Existing General Plan Land Use Map



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit C – Existing and Proposed Zoning Map



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit D – Preliminary Site Plan



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit E – Preliminary Landscape Plan & Lighting Plan



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit F – Preliminary Open Space Plan





# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit G – Preliminary Pedestrian Circulation Plan



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit H – Conceptual Architectural Imagery



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit I – Preliminary Wall and Monument Details



# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit J – Preliminary Wall Plan

# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit K – Preliminary Elevations

# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit L – Preliminary Floorplans

# **BUNGALOWS AT GANTZEL & COMBS**

Exhibit M – Preliminary Color-Material Boards

# Sun Valley Farms IV HOA

52 W RED FERN ROAD  
QUEEN CREEK, AZ 85140

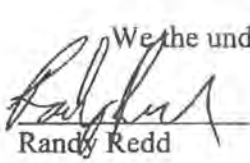
Erik Swanson  
Queen Creek Planning Department  
22358 S. Ellsworth Road,  
Queen Creek, AZ 85142

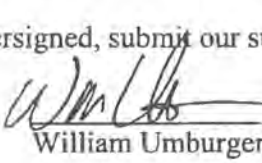
Re: P20-048 and P20-052: Ganzel and Combs Residential Development

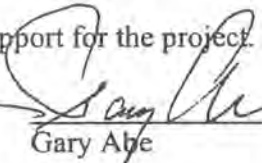
Dear Erik:

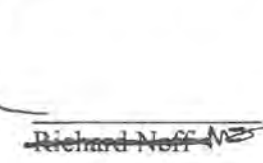
On behalf of Sun Valley Farms IV HOA, we would like to thank the property owner and Sean Lake for working with us regarding the development of their property. We are writing this letter to express our support for their project (attached). We appreciate working with them on the treatment of the north boundary and support the design we (the property owner and the HOA residents) have come up with. This area is shown on the plan, which is a 15 foot alley/road, widening out of the alley/road at the corners to allow a turning movement for horse trailers, a 3 foot landscape strip, the perimeter wall and then their development south of the wall.

We the undersigned, submit our support for the project.

  
Randy Redd

  
William Umburger


  
Gary Abe

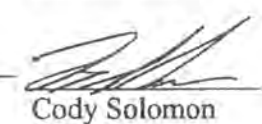
  
~~Richard Neff~~


  
Mike Goodman


  
Linda Dunn

  
Rich Ruiz

  
Mike Dunn

  
Cody Solomon

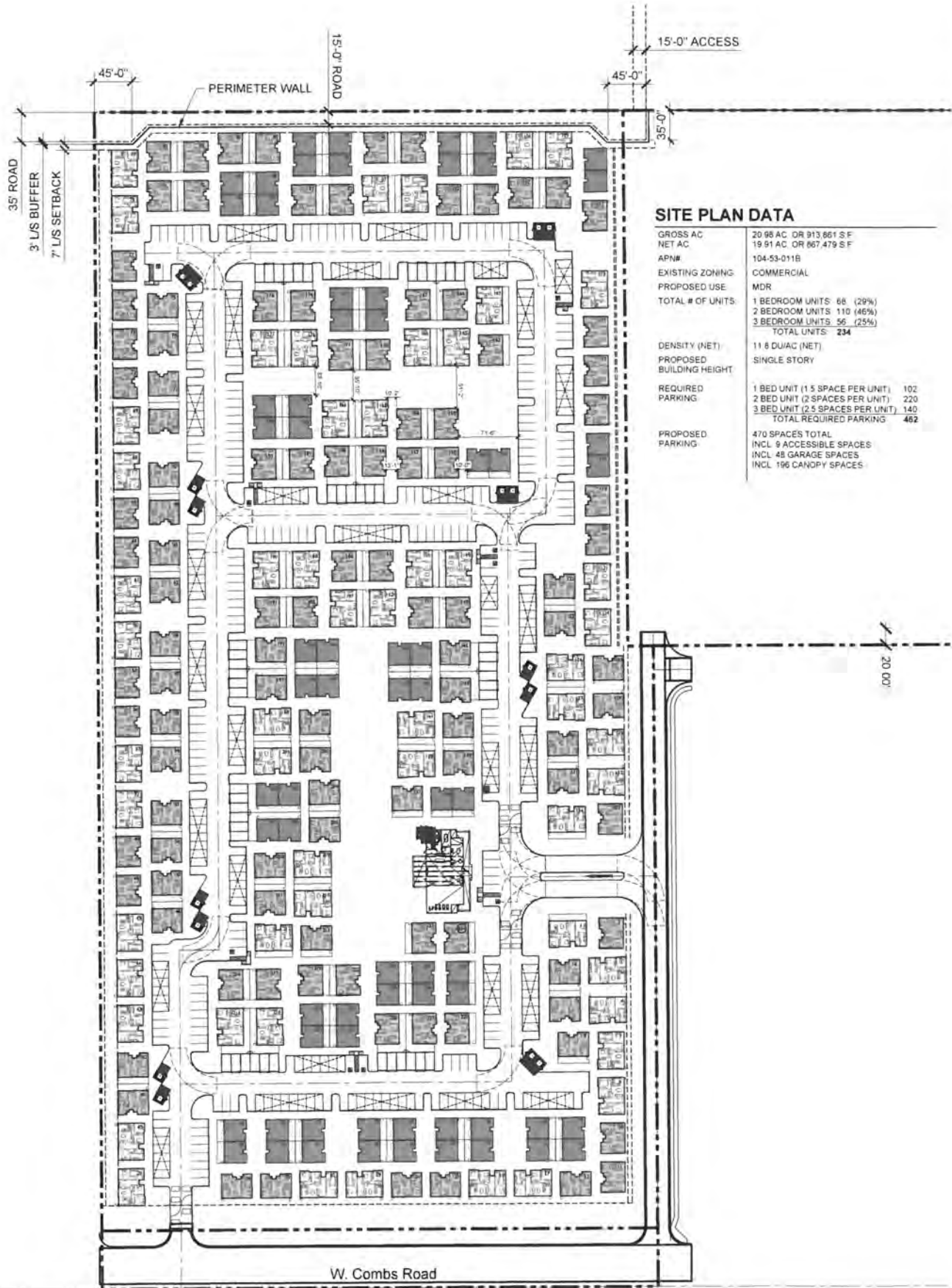
  
Stan Jones

  
Mike Pelts

CC: Sean Lake

Enclosure





### SITE PLAN DATA

GROSS AC	20.98 AC. OR 913,861 S.F.
NET AC	19.91 AC. OR 867,479 S.F.
APN#	104-53-011B
EXISTING ZONING	COMMERCIAL
PROPOSED USE	MDR
TOTAL # OF UNITS:	1 BEDROOM UNITS: 68 (29%) 2 BEDROOM UNITS: 110 (46%) 3 BEDROOM UNITS: 56 (25%) TOTAL UNITS: 234
DENSITY (NET)	11.8 DU/AC (NET)
PROPOSED BUILDING HEIGHT	SINGLE STORY
REQUIRED PARKING:	1 BED UNIT (1.5 SPACES PER UNIT) 102 2 BED UNIT (2 SPACES PER UNIT) 220 3 BED UNIT (2.5 SPACES PER UNIT) 140 TOTAL REQUIRED PARKING 462
PROPOSED PARKING:	470 SPACES TOTAL INCL 9 ACCESSIBLE SPACES INCL 48 GARAGE SPACES INCL 196 CANOPY SPACES

20' 00"

W. Combs Road



### GANTZEL & COMBS • CONCEPT PLAN

QUEEN CREEK, AZ  
 2020-07-29  
 19002963  
 CAVAN



THE BUNGALOWS AT COMBS AND GANTZEL REZONE AND SITE PLAN: LETTER OF SUPPORT

RECEIVED BY TOWN STAFF AUGUST 13, 2020:

Hello Erik,

My name is Cody Solomon. My neighbors and I have been working with Sean Lake in connection with the development of the property east of the ALA School on Combs Road. We have reached an agreement regarding the north property line and how it will look and develop. It is our understanding that the developer will have a 15' alleyway/road running along the north boundary that flares out at the corners to allow for better turning radius. They will also have a 3' landscape strip on the north side of the development wall adjacent to the alleyway/road on the north side of the development. We agree with how this is being addressed on the plan and would support the attached project. See attached plan Sean provided to my neighbors and I in these discussions.

If you have any questions, please feel free to contact me. My cell number is 480-694-6470.

Thanks,

Cody Solomon