

Requesting Department:

Development Services



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Erik Swanson, Planning Administrator
Christine Sheehy, Principal Planner

RE: Public Hearing and Possible Action on cases P19-0191 and P19-0192 U-Haul Conditional Use Permit and Site Plan, a request from Joe Krueger (U-Haul) for a Conditional Use Permit (CUP) for exterior vehicle storage and Site Plan approval on approximately 4.96 acres located south of the southeast corner of Pecos and Power roads.

DATE: October 14, 2020

STAFF RECOMMENDATION

Staff recommends approval of cases P19-0191 and P19-0192 U-Haul Outdoor Storage Conditional Use Permit and Site Plan, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to recommend approval of cases P19-0191 and P19-0192 U-Haul Outdoor Storage Conditional Use Permit and Site Plan, subject to the Conditions of Approval included in this report.

SUMMARY

This proposal consists of a request for Conditional Use Permit and Site Plan approval for a self-storage building and outdoor vehicle storage north of the existing U-Haul facility, located south of the southeast corner of Pecos and Power roads.

HISTORY

May 31, 1990: The subject site was provided the equivalent Maricopa County industrial zoning designation of EMP-A (Office/Industrial Park) when the Town incorporated (Ordinance 7-90).

PROJECT INFORMATION

Project Name	U-Haul Site Plan (P19-0191) and Conditional Use Permit (P19-0192).
Site Location	South of the SEC corner of Power and Pecos roads.
Current Zoning	EMP-A (Office/Industrial Park)
General Plan Designation	Commercial
Surrounding Zoning Designations:	
North	Union Pacific Railroad, Pecos Road, City of Mesa, P1 (Public and Semi-Public) and LI (Light Industrial)
South	Existing U-Haul Moving and Storage Center (EMP-A)
East	Union Pacific Railroad, EMP-A, City of Mesa, LI (Light Industrial)
West	Power Road, Town of Gilbert, SC (Shopping Center)
Net Acreage	4.96 acres
Building Area (Total)	112,802 s.f. (approx.)
Lot Coverage	24% (51,881 s.f) provided 80% (172,846 s.f) allowed
Open Space/Landscaping	38,312 s.f. (17%) provided 21,606 s.f. (10%) required
Parking	
Required:	23 spaces
Provided:	28 spaces and 2 accessible

DISCUSSION

The proposed project is for a self-storage building with a Conditional Use Permit (CUP) for exterior vehicle storage on approximately 4.96 acres located south of the southeast corner of Pecos and Power roads. This proposal is an expansion of the adjacent U-Haul Moving and Storage Center located at 7175 S. Power Road south of the subject site. The proposed project consist of a (3) three-story climate-controlled building totaling 112,802 square feet (approx.). The height of the building is 44-feet to the top of the tallest parapet, which is below the EMP-A ordinance allowed height of 48-feet. This building will provide a 2,945 s.f. showroom/retail area that offers moving supplies and allows customers to work directly with a service representative to complete their rental transactions. The balance of the building will provide 938 individual customer secured storage lockers, a storage area for portable containers and a bay that provides for the installation of personal vehicle and truck hitches. A total of 28 parking spaces are provided along with 2 accessible spaces, meeting code requirements.

The equipment rentals that will be offered includes vans, pickup trucks, box moving trucks in a variety of sizes, trailers (open and closed) and vehicle dollies. The provided equipment for this location is used for in-town and one-way customer moves. All rental equipment shall be staged within the noted "Equipment Sharing" area for each work day transaction on the north side of the building in front of the entrance to the building. The proposed loading dock is in the far northeast corner of the site and is screened from public view.

Located behind this building and screened from street view by a 8-foot wall is asphalted surface parking with 10 uncovered and 10 covered outdoor storage spaces for customer vehicles, RV's and/or boats. A Conditional Use Permit (CUP) is required for the outdoor storage of vehicles. Standard hours are Monday through Thursday 7am to 8 pm, Friday 7am to 9 pm, Saturday 8 am to 6 pm and Sunday 9 am to 5 pm.

The project's design concept will complement the surrounding neighborhood by utilizing similar colors, textures, materials, desert themed landscaping and varied building massing to provide architectural enhancements visible along Power Road and create a welcoming environment. The proposed building materials include stucco panels on concrete tilt walls, metal accent panels, a stone wainscot and metal cap cornices. Awnings and canopies over doors and windows will provide shade and a covered walkway area. The architecture of the proposed building is consistent with the existing U-Haul building to the south that includes a stucco finish, brick wainscot and metal awnings.

Three-foot screen walls and landscaping along the west property line will create additional buffers between the site's parking areas and Power Road. Additionally, an 8-foot-high wall is proposed to screen the east side of the property along the railroad. A six-foot screen wall will run along the north parking lot area and step down to the 3-foot screen wall to create additional screening of the parking and vehicle staging areas in front of the entrance to the building. The proposed climate-controlled building will be three stories high and will screen the covered RV parking canopies that are 17.66-feet tall on the east side of the property.

Access is provided by an entry drive at the end of a deceleration lane on Power Road and is situated at approximately the mid-point of the site. The site provides 38,312 square feet of landscaping (17% of the site, where 10% is required). Landscaping material is primarily low water use and desert themed to match the adjacent property. The tree planting along the frontage of the property is consistent with the planting materials used along Power Road that will continue the existing street tree planting them.

ANALYSIS

Conditional Use Permit (CUP) Review: The proposed outdoor vehicle storage in an EMP-A zoning district requires the processing of a Conditional Use Permit according to Table 4.6-1 of the Zoning Ordinance. Article 3.5 of the Zoning Ordinance lists nine (9) criteria for evaluating a proposed Conditional Use. The following summarizes how the proposed outdoor vehicle storage meets the ordinance criteria.

1. The proposed conditional use for exterior vehicle storage is in compliance with all regulations of zoning district (EMP-A), provisions of Article 4 and Article 5 of the Zoning Ordinance.
2. The proposed exterior vehicle storage conforms to the industrial and commercial character of the neighborhood as demonstrated with the landscape and architectural materials illustrated on the site plan included with the CUP.
3. Adequate water and wastewater infrastructure will be connected to the subject property. Access and circulation for the public and for emergency vehicles is provided as illustrated on the site plan. The project will also meet all fire safety requirements of Town codes and State Law.

4. A driveway on Power Road provides ingress and egress to the site and a deceleration lane along Power Road is designed to minimize traffic hazards and traffic congestion.
5. The proposed use is not noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.
6. There is no information to indicate that the proposed use will be injurious to the use and enjoyment of the property in the immediate vicinity, nor substantially diminish or impair the property values within the neighborhood.
7. The establishment of the proposed use will not impede the orderly development and improvement of the surrounding commercial and industrial properties for the uses permitted within those zoning districts.
8. As demonstrated in the application the establishment, maintenance, and operation of the proposed use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.
9. The public interest and welfare supporting the proposed conditional is sufficient. There is no evidence that individual interests would be adversely affected by the establishment of the proposed use.

General Plan Review: The current General Plan designation for this property is Commercial. The request is in conformance with the property's General Plan Land Use designation.

Zoning Review: This property is zoned EMP-A (Office/Industrial Park). The proposed exterior vehicle storage is permitted within the EMP-A zoning district with the approval of a Conditional Use Permit.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Signage: Proposed signage will be reviewed and approved as part of a separate Sign Permit application.

PUBLIC PARTICIPATION

With the outbreak of COVID-19, in-person Neighborhood Meetings have been temporarily suspended. Input from the surrounding community is important to the overall public hearing process, and the Town recognizes the vital importance that public comment provides. As such, the applicant sent a notification letter to all property owners within the 1200-foot notification area along with specific details of the case. On July 21st a sign was posted on the site with information pertaining to the proposed application, including contact information for the applicant and the Town representative, and a link to Town's Planning website that had the proposed project's information.

Staff received two calls from the public one was for general information and the other was concerned about how U-Haul's vehicles would be screened from view along Power Road. The staff worked with the applicant to ensure that the storage of vehicles would be screened with landscaping and 3-foot walls along Power Road in addition to screen walls along the north and

east parking areas ranging from six (6) to eight (8) feet in height. Staff has received no other public input to date.

CONDITION OF APPROVAL

1. This project shall be developed in accordance with the plans attached to cases P19-0191 and P19-0192 and all the provisions of the Zoning Ordinance applicable to these cases.

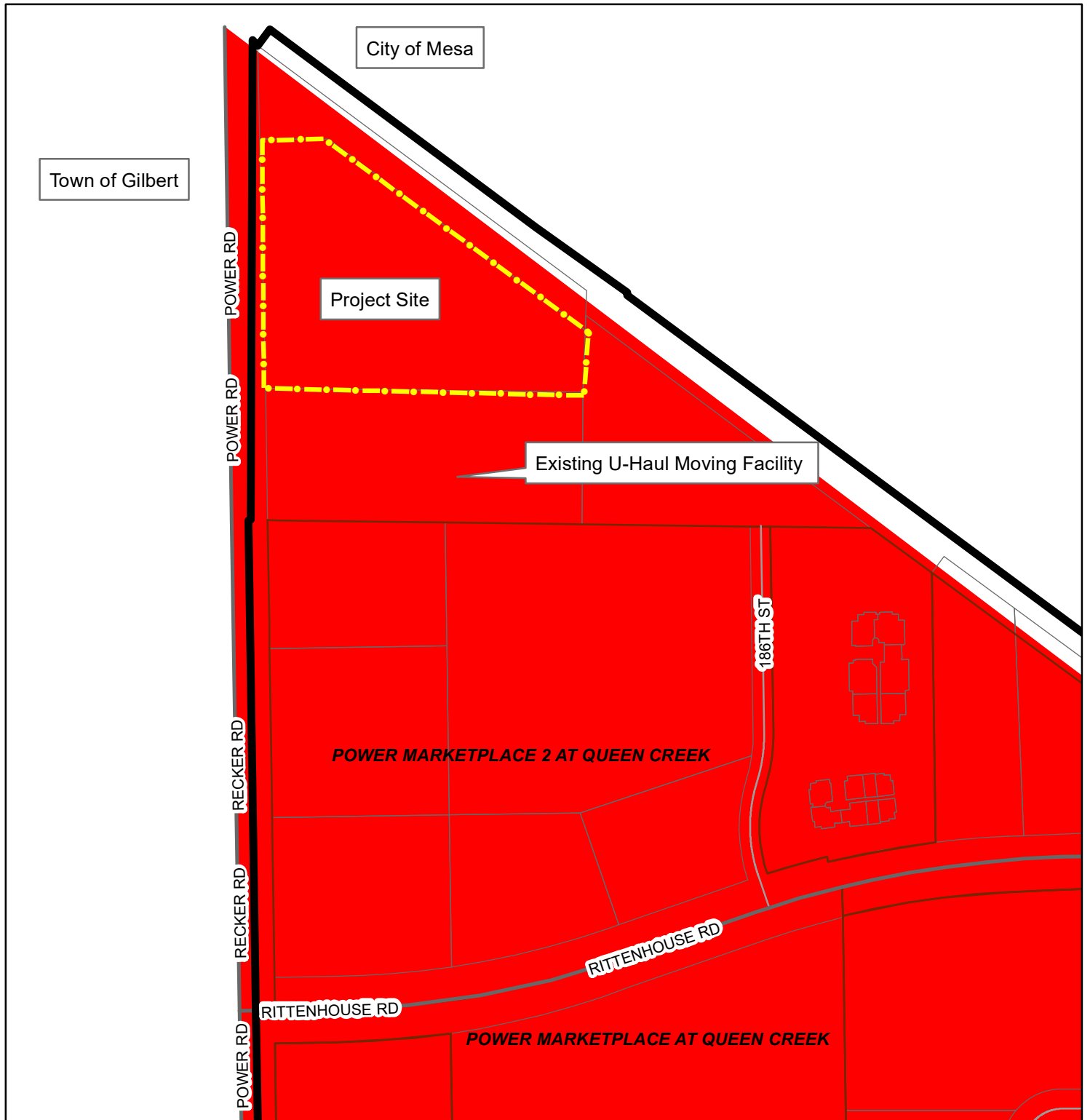
ATTACHMENTS

1. Aerial Exhibit
2. General Plan
3. Zoning Exhibit
4. Site Plan
5. Landscape Plan
6. Elevations
7. Project Narrative

Project Name: U-Haul Site Plan and Conditional Use Permit Aerial Exhibit
Case Numbers: P19-0191 and P19-0192
Hearing Date: October 14, 2020 (Planning Commission)
November 4, 2020 (Town Council)



Project Name: U-Haul Site Plan and Conditional Use Permit General Plan Exhibit
 Case Numbers: P19-0191 and P19-0192
 Hearing Date: October 14, 2020 (Planning Commission)
 November 4, 2020 (Town Council)



























General Plan Land Use

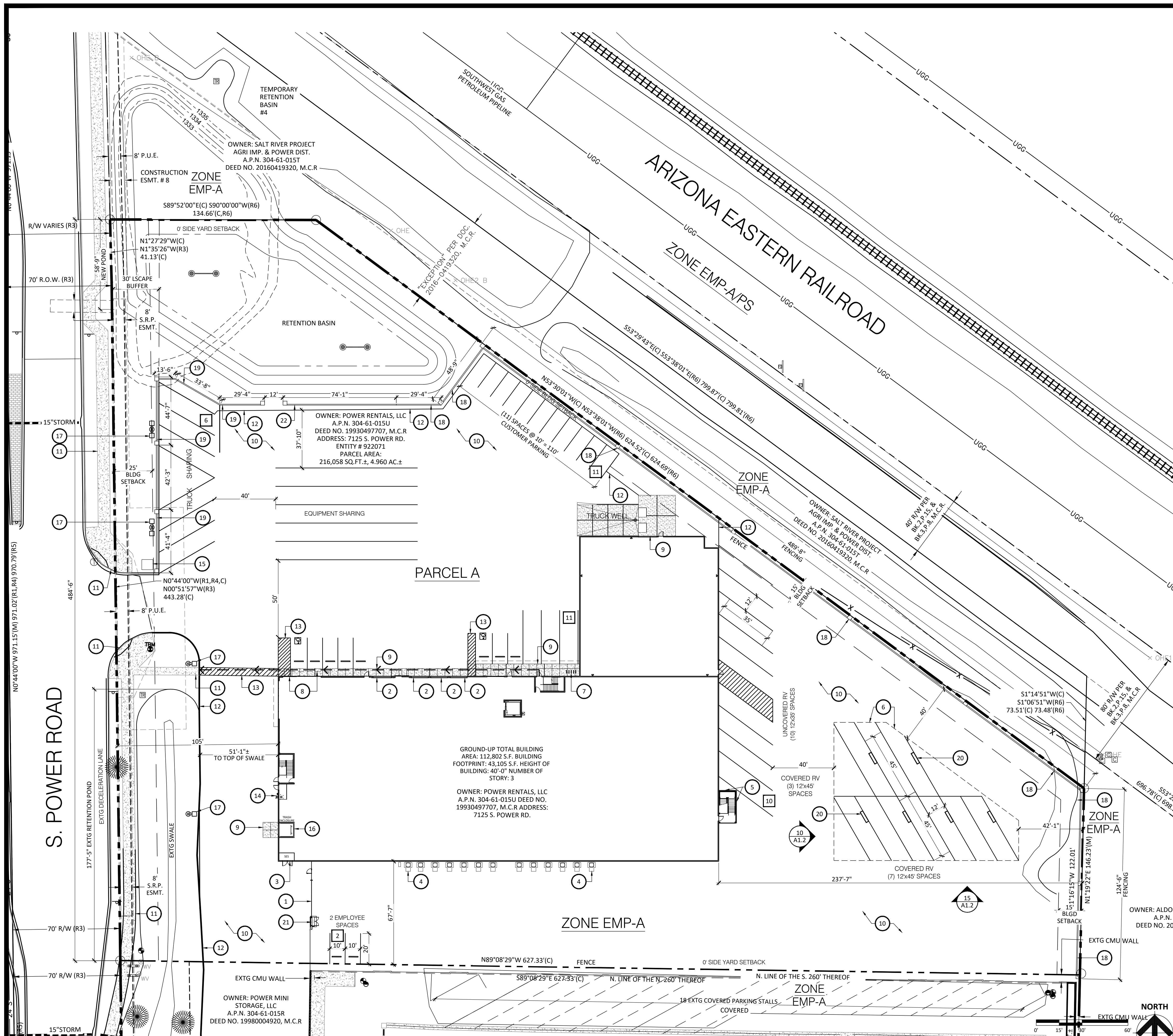
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|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |

Project Name: U-Haul Site Plan and Conditional Use Permit Zoning Exhibit
Case Numbers: P19-0191 and P19-0192
Hearing Date: October 14, 2020 (Planning Commission)
November 4, 2020 (Town Council)



Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment



GENERAL NOTES

- COORDINATE WITH RICH BARANSKI AT (602) 263-6502 EXT. 516801 OR ERIC TAYLOR EXT. 516802. FOR ALL LOW VOLTAGE CONDUIT RUNS AND POWER REQUIREMENTS FOR COMMUNICATION CLOSETS.
- ALL LOW VOLTAGE UNDERGROUND & POWER REQUIREMENTS TO BE INCLUDED IN THE GENERAL CONTRACTORS FINAL BID PROPOSAL.
- REFER TO CIVIL DRAWINGS FOR ADDITIONAL SITE DIMENSIONS, INFORMATION AND PARKING DIMENSIONS.

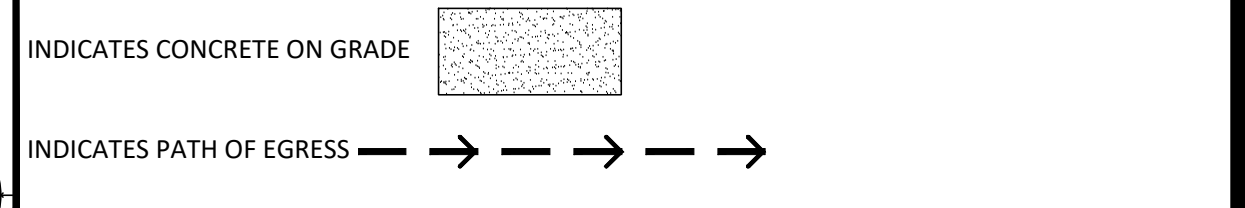
SITE DATA

ZONING INFORMATION		
PROJECT NAME:	U-Haul of Power Ranch	
MUNICIPALITY:	Town of Queen Creek	
PROJECT ADDRESS:	7125 S Power Rd, Queen Creek, AZ 85142	
PARCEL AREA & SIZE:	Parcel A (APN # 304-61-0154), 4.96 ac / 216,058 sf net / 249,536 sf gross	
ZONE:	EMP-A - Office / Industrial	
ADJACENT ZONING:	EMP-A - Employment A / PS - Semi-Public (City of Mesa) E - Employment A C-2 - General Commercial W - Shopping Center (City of Gilbert) / SF-D - Single Family Detached (City of Gilbert)	
PERMITTED USES:	Self-Storage & Equipment Rental Services (Conditions) Retail RV & Vehicle Storage (CUP)	
SETBACKS:	REQUIRED	PROVIDED
FRONT YARD:	25 ft.	105 ft.
SIDE YARD:	0 ft.	10'-4"
REAR YARD:	15 ft.	237'-7"
HEIGHT LIMIT:	48 ft. allowed / 42'-0" proposed	
TOTAL BUILDING AREA:	104,231 sf	
FAR:	Allowed 1.0 or 249,536 sf	Provided = .42 or 104,231 sf
ISR:	Allowed 0.8 or 172,846 sf	Provided = .82 or 177,746 sf
Lot Coverage:	Allowed 80% or 172,846 sf	Provided = 24% or 51,231sf
Open Space:	10% minimum or 21,606 sf	Provided = 17% or
PARKING:	Retail = 1 sp. / 300 sf of GFA = 10 spaces required Self-Storage = 11 sp required + 2 employee sp = 13 Total Sp Required = 23 Total Sp Provided = 40	
LANDSCAPE CALCULATIONS:	Gross Site Area: 249,536 sf Net Site Area: 216,058 sf Landscape Coverage Required: 10% or 21,606 sf Landscape Coverage Provided: 43,754 sf Ground Floor Building Square Footage: 8,127 sf Canopy Square Footage: 8,127 sf Lot Coverage: 24% or 51,881 sf	

SITE DATA

- NOTES:
- AUTOMATIC GATE WILL BE EQUIPPED WITH DUAL HEAD PREEMPTION RECEIVER AND KNOX KEY SWITCHES INSIDE AND OUTSIDE THE GATE - SEE DETAIL 16/A1.2
 - PER CITY DESIGN STANDARDS: ROLL-UP DOORS SHALL BE RECESSED A MINIMUM OF 12" INTO THE BUILDING
 - ELECTRICAL SES TO BE PAINTED TO MATCH BUILDING
 - GROUND MOUNTED HVAC EQUIPMENT
 - SCREENING OF EXTERIOR STAIRS TO MATCH EXTERIOR OF BUILDING
 - CANOPY FASCIA AROUND PERIMETER OF CANOPY PAINTED TO MATCH BUILDING
 - BIKE RACK - SEE DETAIL 1/A1.4
 - PRIMARY BUILDING ENTRANCE W/ SHADE PROTECTION CANOPY
 - CONCRETE PAVING - SEE CIVIL DRAWINGS
 - ASPHALT PAVING - SEE CIVIL DRAWINGS
 - EXISTING SIDEWALK - SEE CIVIL DRAWINGS
 - CONCRETE CURB - SEE CIVIL DRAWINGS
 - 4" STRIPING - SEE CIVIL DRAWINGS
 - FIRE RISER AND KNOX BOX LOCATION - SEE FLOOR PLANS
 - TRANSFORMER LOCATION - SEE ELECTRICAL DRAWINGS
 - REFUSE AREA
 - LIGHT POLE - SEE DETAIL 10/A1.4 AND ELECTRICAL DRAWINGS
 - 8" HIGH MASONRY WALL - SEE DETAIL 14/A1.2 AND STRUCTURAL DRAWINGS
 - 3" HIGH MASONRY SCREEN WALL - SEE DETAIL 6/A1.2 AND STRUCTURAL DRAWINGS
 - UNDER CANOPY LIGHTING - SEE ELECTRICAL DRAWINGS
 - GATE OPERATING EQUIPMENT - BY OTHERS
 - 6" HIGH MASONRY WALL

KEY NOTES



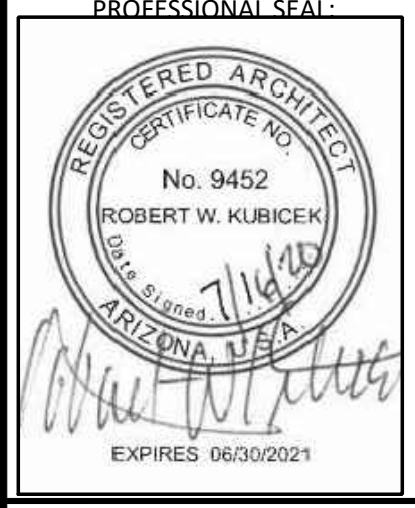
SITE LEGEND

SHEET NOTES:

SEE A0.1 A0.2 SHEETS FOR STORAGE CONSTRUCTION DETAILS.
 CONTRACTOR SHALL CONFIRM STORAGE LAYOUT PRIOR TO CONSTRUCTION. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES.
 REFER TO SHEET A7.1 FOR DOOR TYPES AND RELATED NOTES.
 REFER TO SHEET A7.2 FOR WINDOW TYPES, FINISH SCHEDULE AND RELATED NOTES.
 REFER TO SHEET A2.1 FOR WALL TYPES
 ALL DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF OPENING
 REFER TO U-HAUL INTERNATIONAL STANDARD SPECIFICATIONS FOR MATERIAL AND INSTALL REQUIREMENTS.
 SEE UH FACILITY IMAGING AND DIRECTIONAL SIGNAGE IMAGING BOOK FOR ADDITIONAL INFORMATION/REQUIREMENTS, AND FINAL COLOR SELECTION.
 ALL SELECTIONS ARE SUBJECT TO APPROVAL BY OWNER-N/O SUBSTITUTIONS.

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	06-30-20		1ST REVIEW COMMENTS
2			
3			
4			
5			
6			
7			
8			

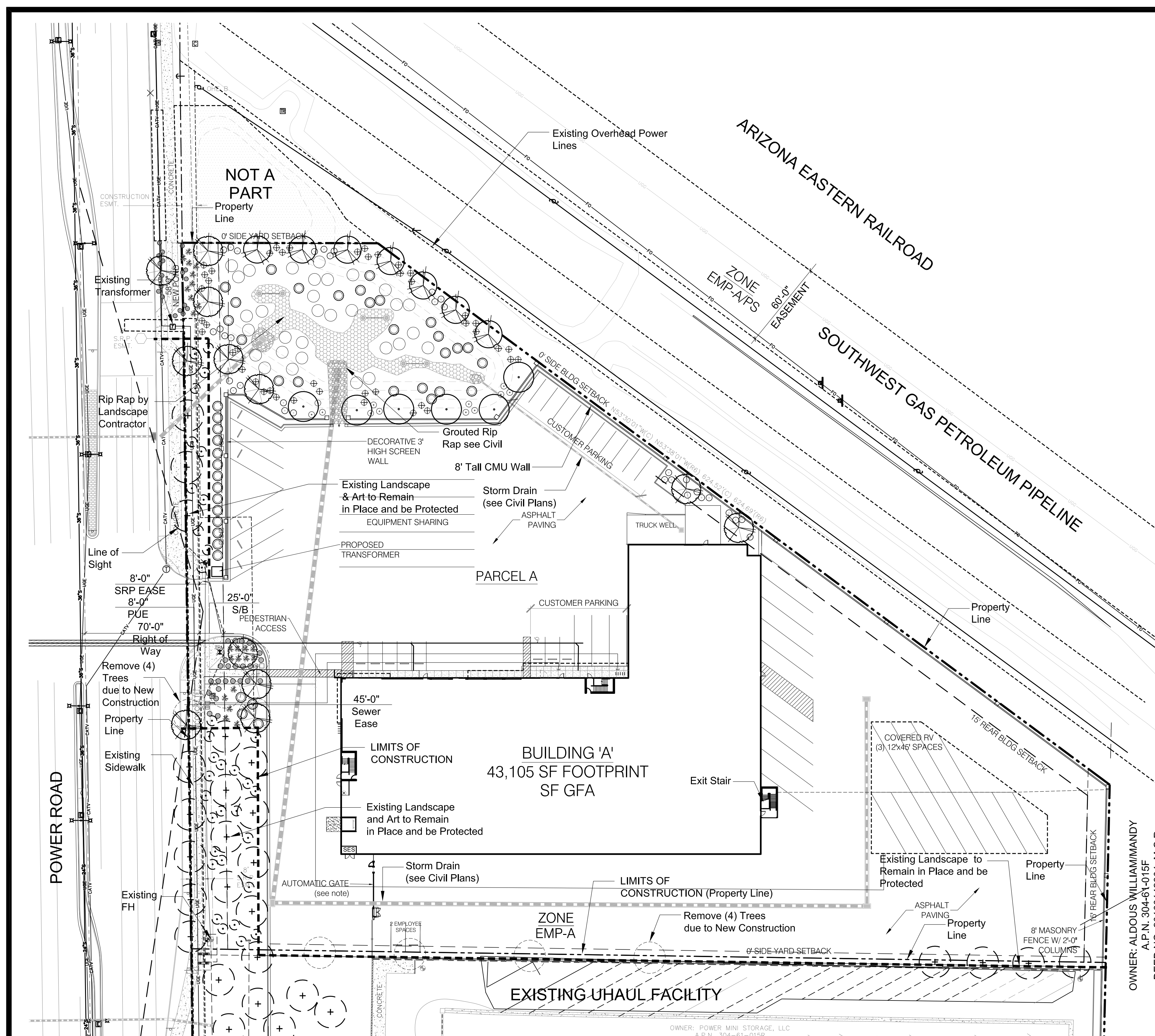


CONSTRUCTION DEPARTMENT 2727 NORTH CENTRAL AVENUE PHOENIX, ARIZONA 85004 PH: (602) 263-6502

SITE ADDRESS:
U-HAUL of POWER RANCH
 7125 S. POWER ROAD
 QUEEN CREEK, AZ. 85124

SHEET CONTENTS:
SITE PLAN

DRAWN:	JN	A1.1
CHECKED:	JR	
DATE:	07-24-20	



LANDSCAPE LEGEND

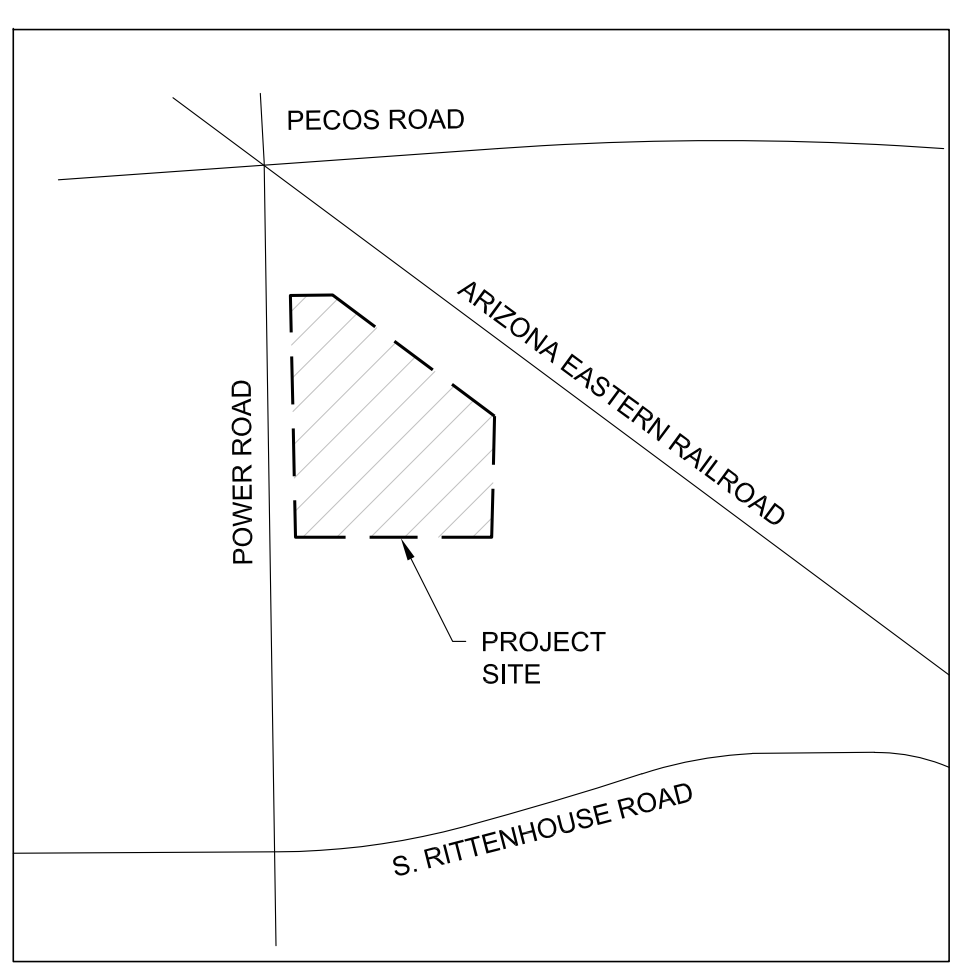
tree heights and calipers will comply with ana specifications for the type and size of tree

TREES	SIZE	QTY:
Prosopis alba 'Leslie Roy' Leslie Roy Thornless	24" Box Multi Trunk	12
Quercus virginiana Southern Live Oak	24" Box Standard	06
Acacia salicina Willow Acacia	24" Box Standard	07
Existing Tree Protect & Remain in Place if Damaged. (Replacement Tree to be 36" Box)		
Existing Tree to be Removed		08

SHRUBS / ACCENTS	SIZE	QTY:
Dasyliiron acrotiche Green Desert Spoon	5 Gallon	33
Calliandra eriophylla Baja Fairy Duster	5 Gallon	12
Leucophyllum frutescens Green Cloud Sage	5 Gallon	58
Muhlenbergia rigens Deer Grass	5 Gallon	18
Tecoma Stans Yellow Bell	5 Gallon	43

GROUNDCOVERS	SIZE	QTY:
Lantana montevidensis Gold Mound Lantana	1 Gallon	42
Nolina microcarpa Bear Grass	1 Gallon	31
Decomposed Granite 5/8" Screened Apache Brown 2" min thickness in all landscape areas		
Grouted 3" - 6" Rip Rap Apache Brown 6" min thickness in all indicated areas		
Non Grouted 3" - 6" Rip Rap Apache Brown 6" min thickness in all indicated areas		

Submit samples to Landscape Architect



VM VICINITY MAP
SCALE: NOT TO SCALE

DESIGN TEAM:

ARCHITECT:
RKAA ARCHITECTS, INC.
ARIZONA OFFICE
2233 EAST THOMAS ROAD - PHOENIX, AZ 85016
OFFICE: (602) 955 - 3900 EXT. 125
CONTACT: JEROD NEGRETTE

LANDSCAPE ARCHITECT:
LASKIN & ASSOCIATES INC.
67 E WELDON AVENUE SUITE 230
PHOENIX, ARIZONA 85012
PH: 602-840-7771
CONTACT: DANIEL DODSON

CIVIL ENGINEER:
ATWELL LLC
4700 E SOUTHERN AVENUE
MESA, ARIZONA 85206
PH: (602)750-4031
CONTACT: RAMZI GEORGES
EMAIL: rgeorges@atwell-group.com

PROJECT DATA:

ZONING INFORMATION

PROJECT NAME: U-Haul of Power Ranch
MUNICIPALITY: Town of Queen Creek
PROJECT ADDRESS: 7125 S Power Rd, Queen Creek, AZ 85142
PARCEL AREA & SIZE: Parcel A (APN # 304-61-0154), 4.96 ac / 216,058 sf net / 249,536 sf gross
ZONE: EMP-A - Office / Industrial

ADJACENT ZONING:
EMP-A - Employment A / PS - Semi-Public (City of Mesa)
E- EMP-A - Employment A
S- EMP-A - General Commercial
W- SC - Shopping Center (City of Gilbert) / SF-D - Single Family Detached (City of Gilbert)

PERMITTED USES: Self-Storage & Equipment Rental Services (Conditions)
Retail
RV & Vehicle Storage (CUP)

SETBACKS:	REQUIRED	PROVIDED
FRONT YARD:	25 ft.	105 ft.
SIDE YARD:	0 ft.	10'-4"
REAR YARD:	15 ft.	237'-7"

HEIGHT LIMIT: 48 ft. allowed / 42'-0" proposed

TOTAL BUILDING AREA: 104,231 sf

FAR:	Allowed 1.0 or 249,536 sf	Provided = .42 or 104,231 sf
ISR:	Allowed 0.8 or 172,846 sf	Provided = .82 or 177,746 sf
Lot Coverage:	Allowed 80% or 172,846 sf	Provided = 24% or 51,231sf
Open Space:	10% minimum or 21,606 sf	Provided = 17% or 38,312 sf

LANDSCAPE CALCULATIONS:

Gross Site Area	249,536 sf
Net Site Area	216,058 sf
Landscape Coverage Required	10% or 21,606 sf
Landscape Coverage Provided	18% or 38,157 sf
Ground Floor Building Square Footage	43,754 sf
Canopy Square Footage	8,127 sf
Lot Coverage	24% or 51,881 sf

L1 CONCEPTUAL LANDSCAPE PLAN
SCALE: 1" = 40'-0"

- PRELIMINARY LANDSCAPE PLAN GENERAL NOTES:**
- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH TOWN OF QUEEN CREEK STANDARDS.
 - ALL TREES WILL BE 24" BOX OR LARGER.
 - AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL LANDSCAPE AREAS.
 - DECOMPOSED GRANITE, 2" MINIMUM THICKNESS, TO BE PLACED IN ALL LANDSCAPE AREAS NOT DESIGNATED FOR RIP-RAP OR LAWN.
 - ALL EARTHWORK WILL BE DONE SO THAT ALL WATER DRAINS AWAY FROM SIDEWALKS, STRUCTURES AND WILL NOT IMPEDE NATURAL DRAINAGE EASEMENTS.
 - STRUCTURES AND LANDSCAPING WITHIN A SIGHT VISIBILITY TRIANGLE OR SIGHT VISIBILITY LINE WILL NOT EXCEED 24" INCHES.
 - FINAL LANDSCAPE PLANS TO MEET OR EXCEED MINIMUM CITY STANDARDS.

EXISTING LANDSCAPING AND IRRIGATION NOTES:

- SITE VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
 - ALL PLANT MATERIAL DESIGNATED AS "EXISTING TO REMAIN" SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY TREE THAT DIES DUE TO LACK OF WATER, MAINTENANCE/CARE, NEGLECT OR VANDALISM SHALL BE REPLACED BY A LIKE TYPE TREE 48" BOX MINIMUM. ALL SHRUBS AND GROUNDCOVER SHALL BE REPLACED WITH 5 GALLON PLANTS. AT NO ADDITIONAL COST TO THE OWNER.
 - LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION SHALL BE REPAIRED WITH NEW DECOMPOSED GRANITE MATCHING EXISTING. BLEND ALL DISTURBED AREAS WITH UNDISTURBED SO THERE IS A SMOOTH TRANSITION BETWEEN ALL EDGES. REPLACE ALL DISTURBED, BROKEN OR DAMAGED HEADERS WITH MATCHING TYPE.
 - ALL EXISTING PLANT MATERIAL AND ADJACENT PLANT MATERIAL SHALL HAVE UNINTERRUPTED WATERING DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: HAND WATERING, TEMPORARY ABOVE GROUND IRRIGATION, EXISTING SYSTEM ETC....
 - EXISTING IRRIGATION SYSTEM SHALL BE PROTECTED, MAINTAINED AND REPAIRED DURING ALL PHASES OF CONSTRUCTION. IF THE EXISTING SYSTEM IS TIED INTO ADJACENT PROPERTIES. ALL EQUIPMENT SUCH AS MAINLINE, WIRES, LATERALS, HEADS, VALVES ETC... SHALL BE REPAIRED AND REPLACED TO MAINTAIN CONTINUOUS WATERING.
 - PROVIDE NEW SCHEDULE 40 SLEEVES AT ALL NEW DRIVES (SEE SLEEVE SCHEDULE)
 - ALL EXISTING TO REMAIN TREES AND SHRUBS, SHALL BE SELECTIVELY PRUNED PER LANDSCAPE ARCHITECTS DIRECTIONS, AND GUARANTEED 100% IRRIGATION COVERAGE DURING ALL CONSTRUCTION PHASES.
 - ALL EXISTING SHRUBS WITHIN THE SIGHT DISTANCE LINES AND VISIBILITY TRIANGLES SHALL BE SELECTIVELY PRUNED TO A MAXIMUM HEIGHT OF 30".
 - ALL EXISTING TREES WITHIN THE SIGHT DISTANCE LINES AND VISIBILITY TRIANGLES SHALL HAVE ITS CANOPY BE LIFTED TO A CLEAR HEIGHT OF 7'.
 - LANDSCAPE CONTRACTOR SHALL BORE UNDER EXISTING SIDEWALK RATHER THAN SAW CUT TO PLACE NEW SLEEVES.
 - L.C. AND G.C. ARE RESPONSIBLE FOR LOCATING ALL EXISTING IRRIGATION SLEEVES PRIOR TO SETTING ANY PAVERS AND/OR CONCRETE.
- FIRE HYDRANT NOTES**
- ENSURE THAT LANDSCAPE AT FULL MATURITY DOES NOT ENCRUCH WITHIN 3' OF FIRE HYDRANTS.

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	14-22-20	DMD	REVIEWER COMMENTS TO PRELIMINARY LS PLANS
2	17-09-20	SMB	REVIEWER COMMENTS TO PRELIMINARY LS PLANS
3	17-15-20	SMB	REVIEWER COMMENTS TO PRELIMINARY LS PLANS
4	18-17-20	SMB	REVIEWER COMMENTS TO PRELIMINARY LS PLANS
5	19-03-20	SMB	REVIEWER COMMENTS TO PRELIMINARY LS PLANS
6			
7			
8			

PROFESSIONAL SEAL:

ARCHITECT LOGO:

LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
PH: (602) 263-6502

SITE ADDRESS:
7125 S Power Road
Queen Creek, Arizona

SHEET CONTENTS:
CONCEPTUAL LANDSCAPE PLAN

DRAWN:	DMD	CLP 01
CHECKED:	HAL	
DATE:	09/12/2020	

AMERCO REAL ESTATE COMPANY



Project Summary Narrative

for

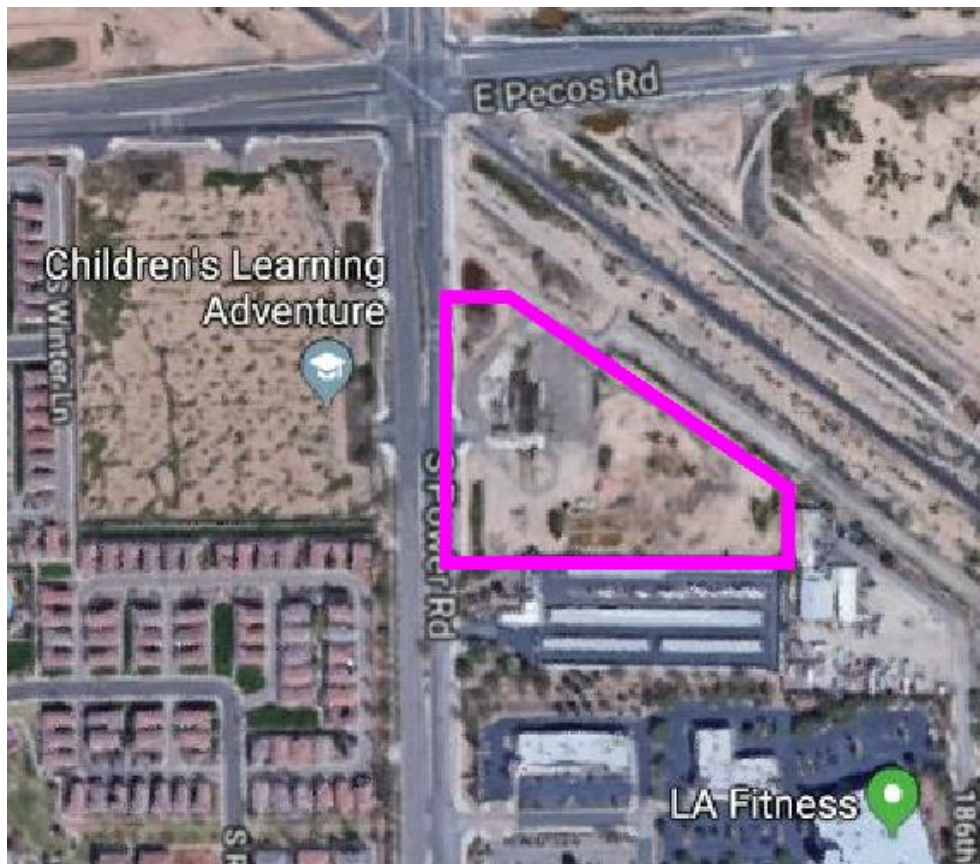
U-Haul of Power Ranch

7125 S Power Road

Queen Creek, AZ 85142

Project No 922071

July 14, 2020



Site Location & Size

The proposed development area for U-Haul Power Ranch is 4.96 acres of vacant land located adjacent to the existing U-Haul Moving and Storage Center located at 7175 S. Power Road, Queen Creek AZ. This property is noted with the County Assessor's as Parcel (APN) 304-61-015U adjacent to the existing U-Haul center. The property is located within the Commercial Business District and is zoned EMP-A.

General Description of Proposal

U-Haul at Power Ranch is proposing to expand its current business operation with development of a state-of-the-art Moving and Self-Storage center. This development is requiring an application for Site Plan approval and a Conditional Use Permit for Outdoor Storage.

As part of the development we are proposing to build a (3) three-story climate-controlled building totaling 114,907 square feet. This building will provide a 2,945 SF Showroom / Retail area that offers moving supplies and allows our customers to work directly with service representative to complete their rental transactions of specific equipment needed for their move. We are proposing a 5ft striped pedestrian connection from Power Road to the main entrance into the building. The balance of the building will provide 837 individual customer secured storage lockers, a storage area for our U-Boxes or portable containers and a bay that provides the installation of personal vehicle and truck hitches.

The equipment rentals that we offer range from vans, pickups, box moving trucks ranging in a series of different sizes, trailers (open and closed) and vehicle dollies. The provided equipment for this location is used for in-town and one-way customer moves. Local demand and traffic control will determine what equipment will be needed for the next business day. All rental equipment shall be staged within the noted "Equipment Sharing" area for each work day transaction.

Located behind this building and screened from street view by 8ft CMU walls are 10 uncovered and 10 covered outdoor storage spaces for customer vehicles, RV's and/or boats. The surface parking area shall be asphalt. A conditional use permit application is being provided for this use.

Display spaces for 6 pieces of U-Haul equipment is located adjacent to the entrance of our site. This display area provides the drive-by awareness of our business.

Customer parking spaces are provided at strategic location. 23 total customer parking spaces are required per town code and 23 spaces including 2 accessible spaces are being provided. Per landscape requirements, we are providing landscape islands per 12 parking stalls. Landscape island are a min. size of 10'x20'.

U-Haul operations do require the need for a loading dock. The proposed loading dock is in the far northeast corner of the site and will not visible from both street and public view. We have expanded the landscape area to add additional screening next this loading

dock. Operations will not provide service windows or bays that are visible from the right-of-way; hence no added screening is required.

Policy prohibits for a business to be operated from a U-Haul storage unit. Our trash and recycling containers are located within a secure area of the building and will be placed for pick-up the day of and immediately returned after pickup. Policy requires that both customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so and are assessed a fee. Other policies include strict adherence that items which may not be stored include chemicals, flammables and paints. Consequently, all storage centers are non-smoking facilities. Standard hours are Monday through Thursday 7am to 8pm, Friday 7am to 9pm, Saturday 8am to 6pm and Sunday 9am to 5pm.

Engineering:

The retention basin has been designed per the Towns design standards. Parking areas have a min. 1% pavement slope conveying water to the basin. Preliminary Grading and Drainage plans have been submitted with this narrative. These plans show the locations of basins, easement and flows. We are also providing our Preliminary Drainage report, Geotechnical report, Title report, Phase 1 Environmental and ALTA Survey.

As requested from the Pre-application review comments, coordination with the City of Gilbert has begun, Approval documents shall be provided from the City of Gilbert during the construction plan submittal.

Fire:

Fire protections shall provide stand pipes on both the second and third floors. Covered parking greater than 3,000 square feet shall be provided with fire sprinkler systems and our proposed automatic entry gate into the covered parking area will be equipped with dual head preemption receiver and Knox key switches inside and outside the gate.

In conclusion, for more than 75 years, U-Haul has incorporated sustainable practices into its everyday operations. Today we remain focused on reducing waste and are dedicated to manufacturing reusable components and recyclable products. Our commitment to sustainability, through our products, services, and design philosophy, has helped us to reduce our impact on the environment. At U-Haul, we are committed to sustainable development through environmental protection, social responsibility, and economic efficiency.

Every year U-Haul develops many properties across the United States and Canada – from ground-up projects to existing building remodels. All projects utilize sustainable building techniques – from site selection in high-growth areas to using recyclable building materials where possible. We have made much headway into introducing sustainable building practices in the building and remodeling of our projects and more innovative design techniques available for our site planning. The use of this existing in-fill property is a prime example.

In conclusion, U-Haul is excited to continue its services to the Town of Queen Creek. We look forward to receiving support and development feedback for our Site Plan and CUP request for Outdoor Storage.

Conditional Use Criteria:

U-Haul of Power Ranch satisfies the conditional use permit requirements for conditional use permit approval as proscribed in the following Conditional Use Criteria:

1. The proposed Conditional Use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response: This project will adhere to all regulations of the applicable zoning district, the provisions of Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

2. The proposed Conditional Use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type and height of buildings or structures and the type and extent of landscaping and screening on the site.

Response: The project's design concept will complement the surrounding neighborhood by utilizing similar colors, textures, materials, lush desert landscaping and varied building massing to provide architectural enhancements visible along Power Road and create a welcoming environment. Screen walls and landscaping will create additional buffer between the uses along Power Road. Additionally, an 8-foot-high wall is proposed to screen the east side of the property along the rail road. The proposed climate-controlled building (Building A) will be three stories high and screens the covered RV parking canopies a clear height of 14 feet on the east side of the property. As the demand for residential and commercial storage has increased, so has the need for facilities that supply it. The proposed storage and RV parking facility will add value to a long-standing vacant Property and will galvanize the community with an attractive and refreshing neighborhood-friendly service that has little impact on the area.

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response: This project will adhere to the Town of Queen Creek guidelines and requirements. The project will provide retention for the 100-year, 2-hour storm event. Water and wastewater infrastructure requirements will be determined, designed and constructed in accordance with the city's code requirements. Utilities, access roads and fire protection are provided and designed to code.

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response: The proposed use of this project is a low-traffic generating use. One new 38-foot-wide drive is proposed along Power Road.

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke or gas.

Response: The proposed use will not generate noxious or offensive vibration, noise, odor, dust smoke or gas. The proposed use will not generate significant activity, light or noise. Furthermore, the proposed buildings, screen walls and enhanced landscaping will vastly improve the site's current vacant condition.

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted nor substantially diminish or impair the property values within the neighborhood.

Response: The proposed use will not cause harm to any of the properties in the immediate vicinity. The proposed use will not diminish the property values within the neighborhood.

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

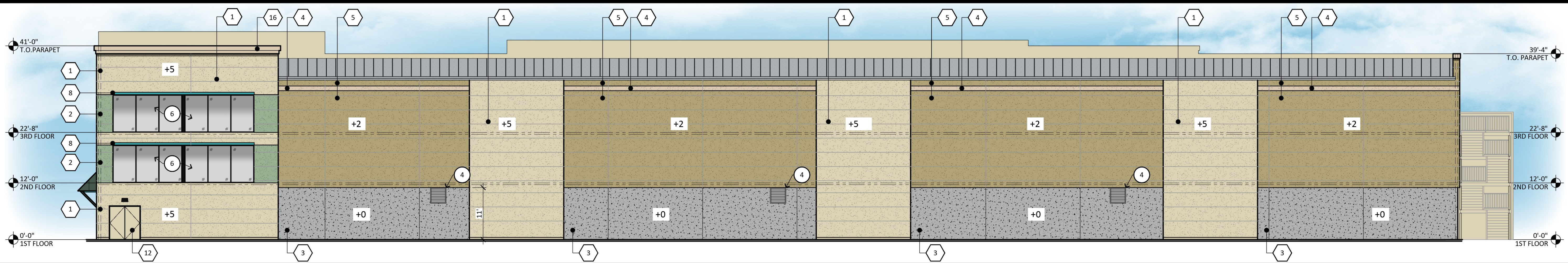
Response: The proposed use will not impede the orderly development and improvement of the surrounding property for uses permitted within the zoning district.

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response: The establishment, maintenance or operation of the proposed use will not affect or endanger the public health, safety, morals, comfort or general welfare of the area.

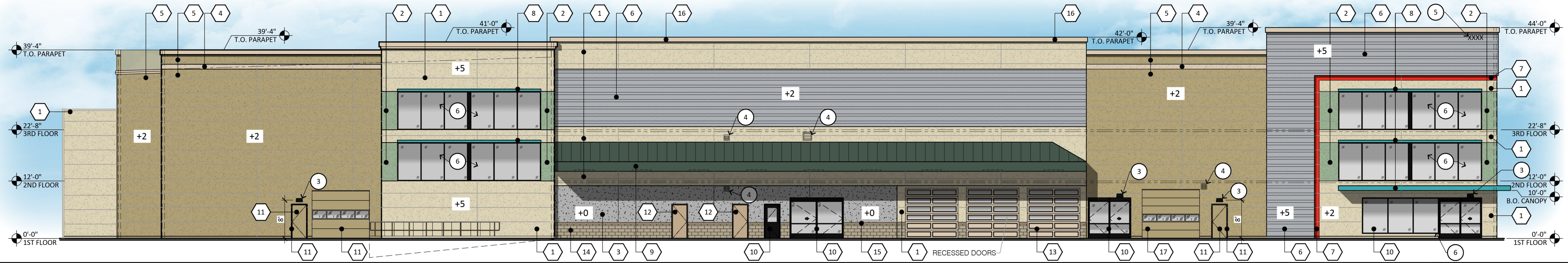
9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response: The proposed project shall benefit the public interest and welfare of the neighboring community. The proposed use is ideal for the location of the property, it is an expansion to the south adjacent parcel. The property is adjacent to the railroad on the north with surrounding industrial uses. The development proposed will incorporate safe and convenient walking and biking connections. Additionally, the proposed use will provide a valuable service to support the needs of area residents and commercial users that comply with the Town's General Plan.



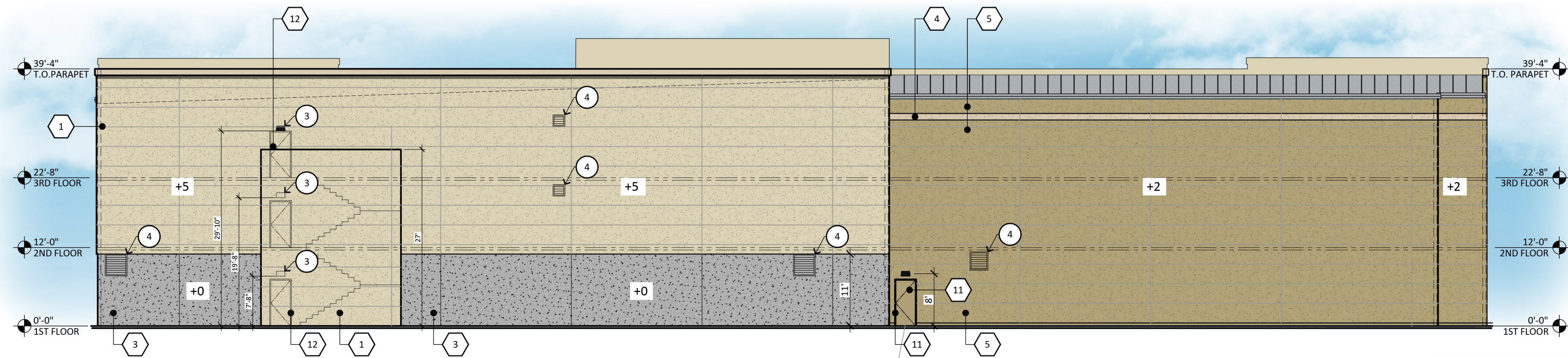
1 SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



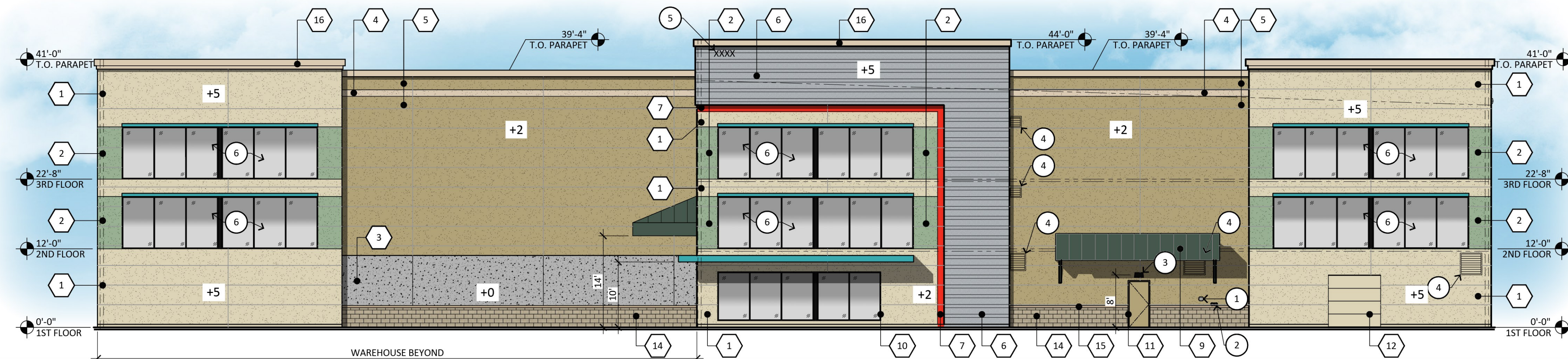
2 NORTH ELEVATION

SCALE: 3/32" = 1'-0"



3 EAST ELEVATION

SCALE: 3/32" = 1'-0"



4 WEST ELEVATION

SCALE: 3/32" = 1'-0"

- GENERAL NOTES**
- A. ADDRESS NUMBERS SHALL BE 12" HIGH. NUMBERS TO BE PAINTED IN CONTRASTING COLOR TO THE COLOR OF THE WALL ON WHICH THEY ARE MOUNTED. ALL NUMBERS MUST BE VISIBLE FROM ALL STREET FRONTS.
 - B. ALL SIGNAGE UNDER SEPARATE PERMIT
 - D. ALL METAL COPING TO BE PREFINISHED - SEE FINISH SCHEDULE.
 - E. ALL PARAPET CAP FLASHING COLOR TO MATCH EXTERIOR SIDE OF WALL IT SITS ON.

GENERAL NOTES

1. KNOX BOX - 3200 SERIES ALUMINUM SURFACE MOUNT - INSTALL PER C.O.Q.C. FIRE DEPT.
2. F.D.C. LOCATION
3. WALL PACK LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS
4. LOUVER VENT - PAINT TO MATCH ADJACENT SURFACE SEE MECHANICAL
5. SIGNAGE (UNDER SEPARATE PERMIT)
6. ALUMINUM STOREFRONT SYSTEM

KEYNOTES

1. MBCI TUFF WALL "LIGHT STONE" STUCCO PANEL TYP. HORIZONTAL - LRV=51.50
2. MBCI TUFF WALL "SW 6451 NURTURE GREEN" STUCCO PANEL TYP. HORIZONTAL - LRV=40.0
3. CONCRETE TILT WALL - LRV= 35
4. MBCI TUFF WALL "SW 6141 SOFTER TAN" STUCCO PANEL TYP. HORIZONTAL - LRV=60.0
5. MBCI TUFF WALL "MEDIUM BEIGE" STUCCO PANEL TYP. HORIZONTAL - LRV=33.23
6. MBCI METAL PANEL SILVER METALLIC - LRV=39.18
7. MBCI TUFF WALL SHERWIN WILLIAMS "SIERRA SUNSET" STUCCO PANEL TYP. HORIZONTAL - LRV=22.0
8. METAL CANOPY PAINTED SW 6767 "AQUARIUM" - LRV=32.0
9. METAL CANOPY/ROOF MBCI FERN GREEN - LRV=6.0
10. ANODIZED "BLACK" ALUMINUM FRAME - LRV=6.0
11. MATCH EXTERIOR WALL - SW6143 BASKET BEIGE - LRV=42.0
12. MATCH EXTERIOR WALL - SW6141 SOFTER TAN - LRV=60.0
13. DOORS TO MATCH ADJACENT WALL SW6141 SOFTER TAN- LRV=60.0
14. WAINGSCOTT THIN SET MESASTONE - SIERRA TAN - LRV=49.13
15. CAP FORM BOARD CONCRETE PAINTED SW6143 BASKET BEIGE - LRV=42.0
16. CORNICHE/METAL CAP SW6141 SOFTER TAN - LRV=60.0
17. FACTORY FINISH TO MATCH MEDIUM BEIGE OR SW6143 BASKET BEIGE - LRV=42.0

MATERIAL / COLOR LEGEND

SHEET NOTES:

SEE A9.1-A9.2 SHEETS FOR STORAGE CONSTRUCTION DETAILS.

CONTRACTOR SHALL CONFIRM STORAGE LAYOUT PRIOR TO CONSTRUCTION. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES.

REFER TO SHEET A7.1 FOR DOOR TYPES AND RELATED NOTES.

REFER TO SHEET A7.2 FOR WINDOW TYPES, FINISH SCHEDULE AND RELATED NOTES.

REFER TO SHEET A2.1 FOR WALL TYPES

ALL DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF OPENING

REFER TO U-HAUL INTERNATIONAL STANDARD SPECIFICATIONS FOR MATERIAL AND INSTALL REQUIREMENTS.

SEE UHI FACILITY IMAGING AND DIRECTIONAL SIGNAGE IMAGING BOOK FOR ADDITIONAL INFORMATION/REQUIREMENTS, AND FINAL COLOR SELECTION.

ALL SELECTIONS ARE SUBJECT TO APPROVAL BY OWNER-NO SUBSTITUTIONS.

REVISIONS:

NO.	DATE	INITIALS	REVISION COMMENTS
1	06-30-20		1ST REVIEW COMMENTS
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:

REGISTERED ARCHITECT
 CERTIFICATE NO. 9452
 ROBERT W. KUBICEK
 ARIZONA, U.S.A.
 EXPIRES: 06/30/2021

ARCHITECT LOGO:

RKAA
 ARCHITECTS
 2233 EAST THOMAS ROAD,
 PHOENIX, ARIZONA 85004
 602-955-3900 RKAA.com

AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT 2727 NORTH CENTRAL AVENUE PHOENIX, ARIZONA 85004 PH: (602) 263-6502

SITE ADDRESS:
U-HAUL of POWER RANCH
 7125 S. POWER ROAD
 QUEEN CREEK, AZ. 85124

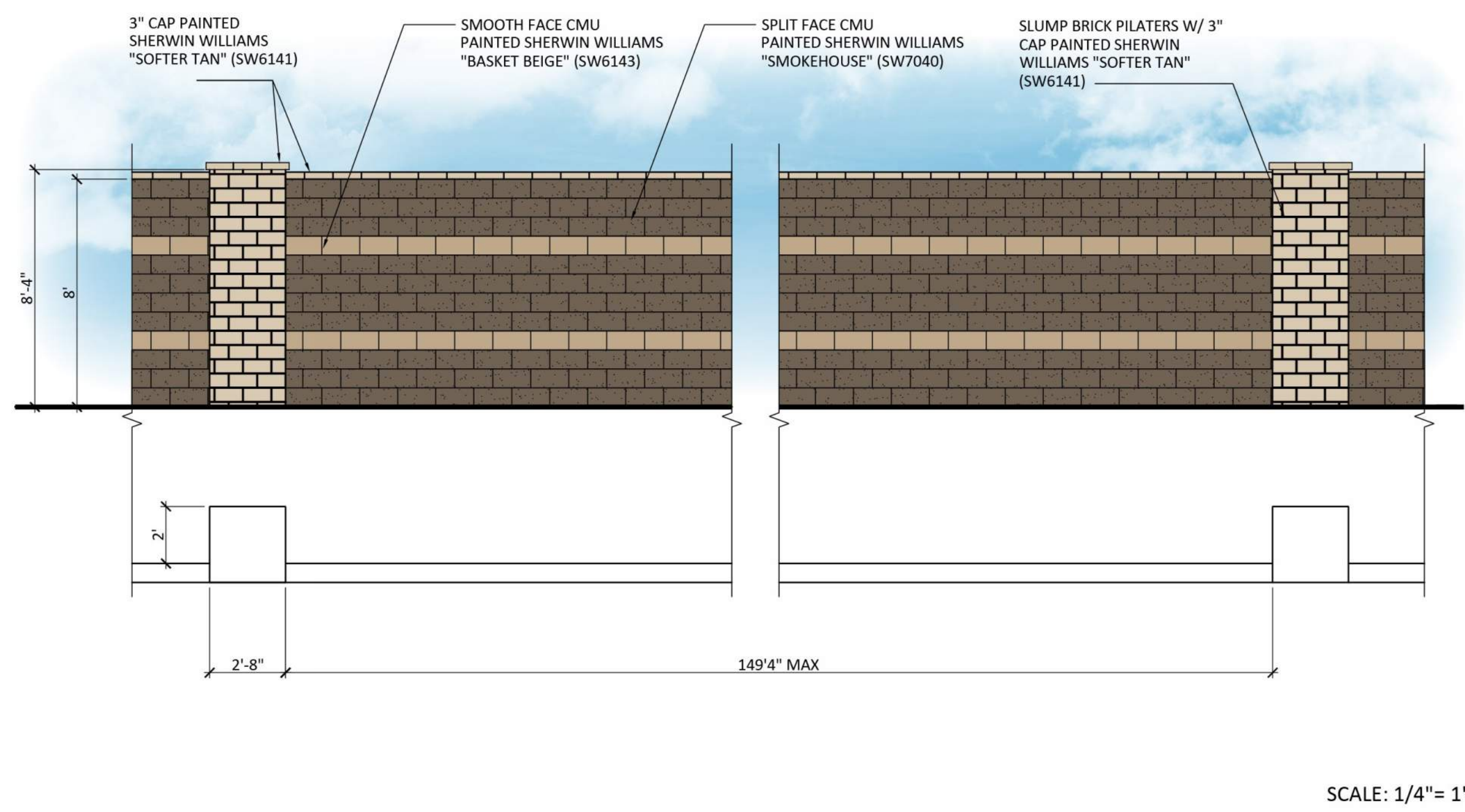
SHEET CONTENTS:

EXTERIOR ELEVATIONS

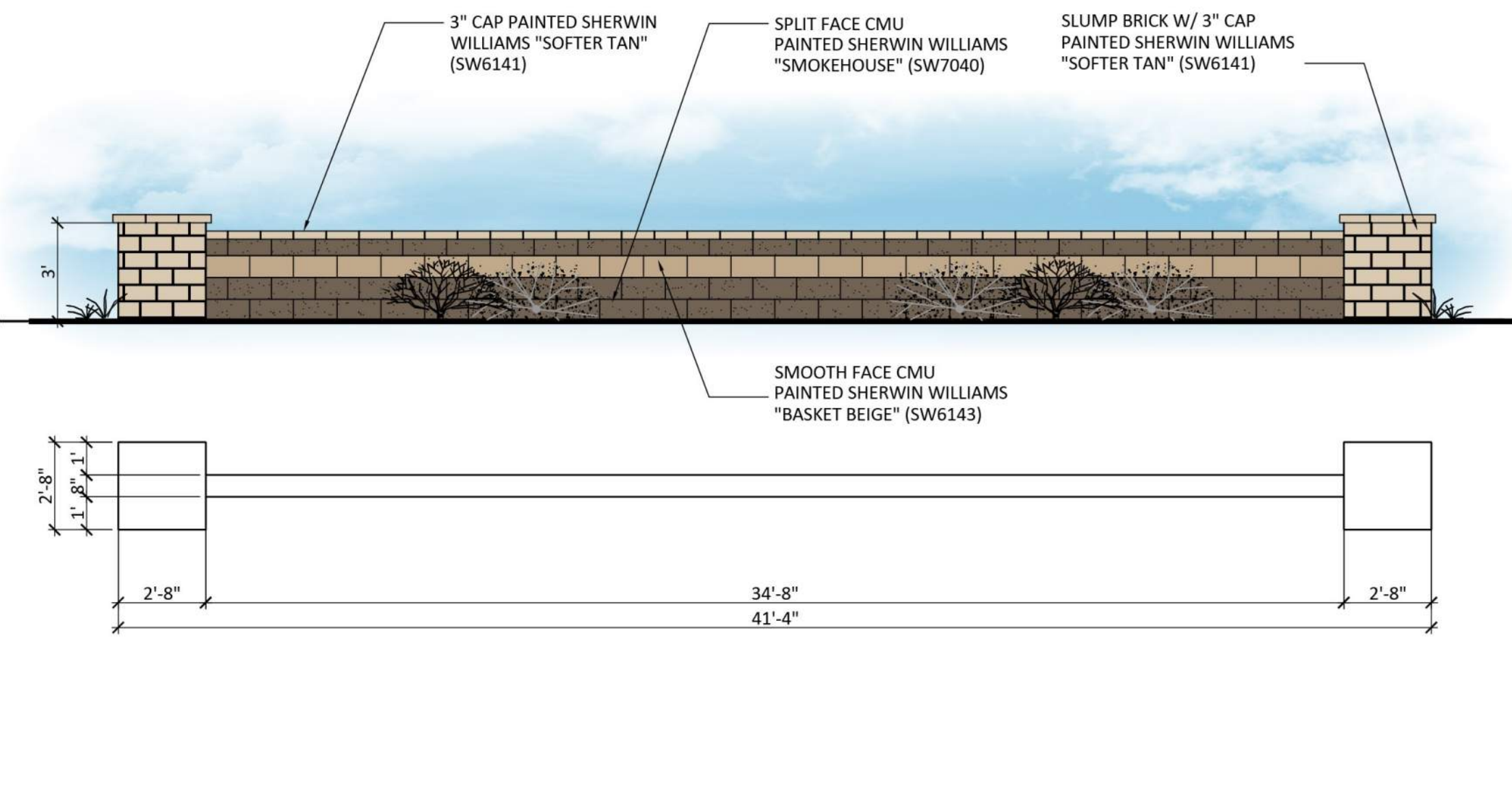
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 CHECKED: JR
 DATE: 07-24-20

A4.1

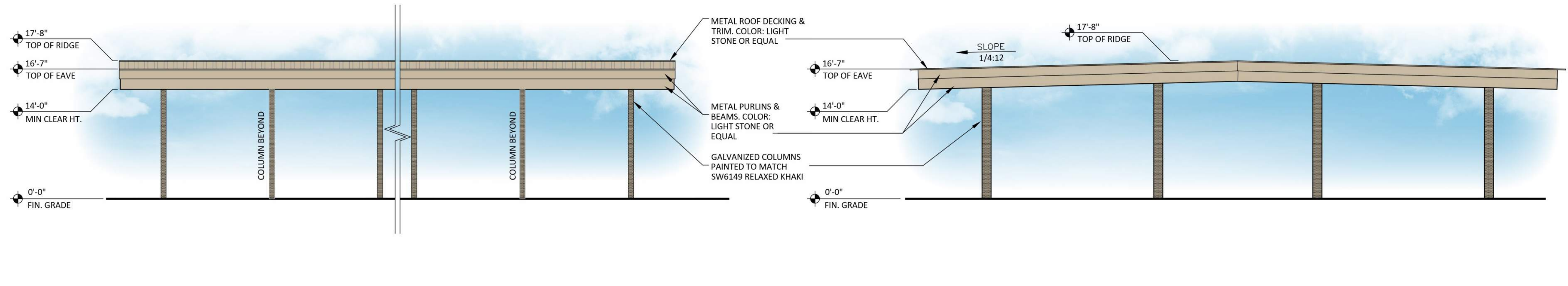
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14 8' HIGH CMU PERIMETER FENCE W/ CAP & 2' ARTICULATING PILASTERS SCALE: 1/4" = 1'-0"



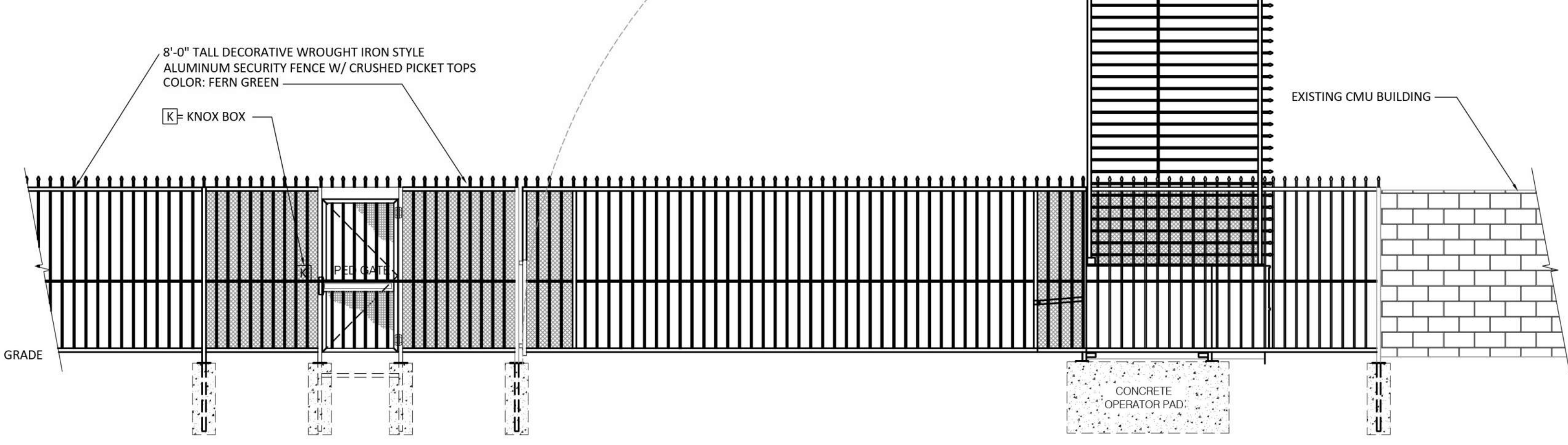
6 3' HIGH DECORATIVE WALL AT S. POWER RD. R.O.W. SCALE: 1/4" = 1'-0"



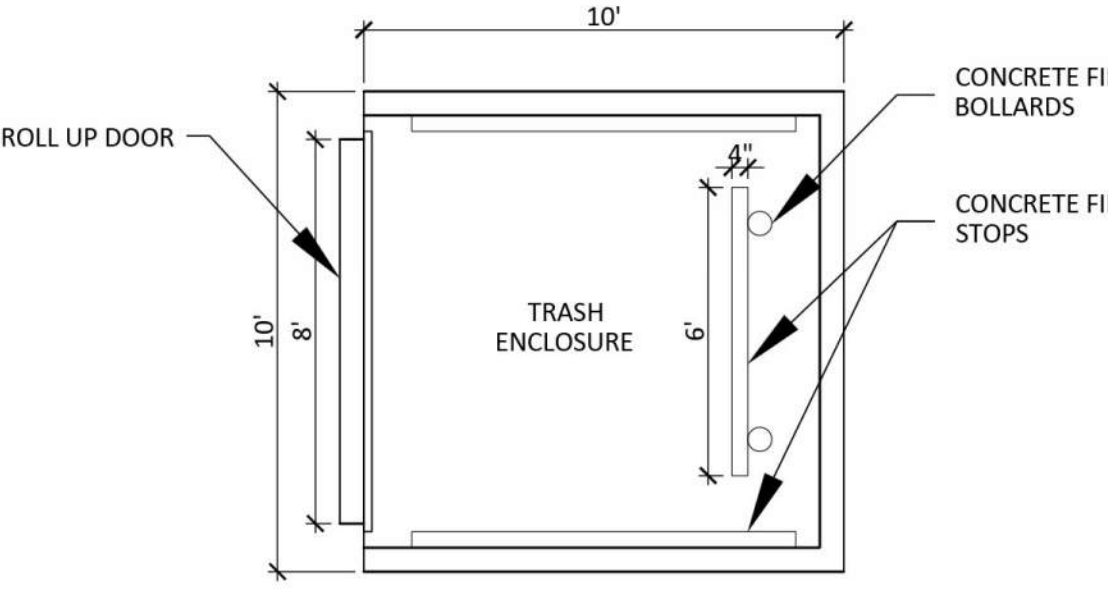
15 TYPICAL PARTIAL LONGITUDINAL ELEVATION SCALE: 1/8" = 1'-0"

10 TYPICAL END ELEVATION - DOUBLE SLOPE ROOF SCALE: 1/8" = 1'-0"

1. OPERATOR EQUIPPED WITH MARINE BATTERY BACK-UP. IN AN A/C POWER FAILURE EVENT, GATE TO AUTO OPEN AND STAY OPEN UNTIL MANUALLY OVERRIDDEN.
2. GATE EQUIPPED WITH EMS SIREN-OPERATED SENSOR AND/OR STROBE - ACCESS SWITCH.
3. GATE IS COUNTER BALANCED ALLOWING FOR MANUAL OPENING VIA BY-PASS OPERATOR ACCESSED BY KNOX BOX KEY.



16 ACCESS CONTROL GATE SCALE: 1/4" = 1'-0"

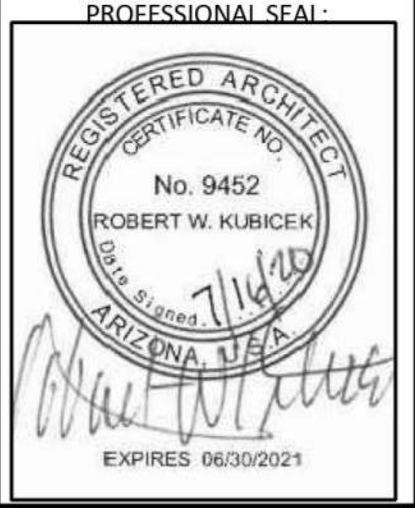


17 TRASH ENCLOSURE SCALE: 1" = 1'-0"

SHEET NOTES:
 SEE A9.1-A9.2 SHEETS FOR STORAGE CONSTRUCTION DETAILS.
 CONTRACTOR SHALL CONFIRM STORAGE LAYOUT PRIOR TO CONSTRUCTION. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES.
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 ALL SELECTIONS ARE SUBJECT TO APPROVAL BY OWNER-NO SUBSTITUTIONS.

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ARCHITECT LOGO:
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SHEET CONTENTS:
SITE DETAILS

DRAWN: JN
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A12
 20053.00

AMERCO REAL ESTATE COMPANY