



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

**FROM: Erik Swanson, Planning Administrator
Steven Ester, Planner II**

RE: Public Hearing and Possible Action on P20-0062 and P20-0063 QC Station South Phase II Rezone and Site Plan, a request by Seth Keeler (W Holdings) to rezone approximately 12.6 acres from R1-43 (Rural Estate) to C-2 (General Commercial) for a phased retail and office development, located at the southeast corner of Ellsworth Loop and Walnut roads.

DATE: October 14, 2020

STAFF RECOMMENDATION

Staff recommends approval of P20-0062 and P20-0063 QC Station South Phase II Rezone and Site Plan, subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to recommend approval of P20-0062 and P20-0063 QC Station South Phase II Rezone and Site Plan, subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS

 Secure Future

 Effective Government

SUMMARY

This proposal consists of a request by Seth Keeler (W Holdings) to rezone approximately 12.6 acres from R1-43 (Rural Estate) to C-2 (General Commercial) for a phased retail and office development, located at the southeast corner of Ellsworth Loop and Walnut roads.

HISTORY

May 31, 1990: The project site is incorporated into the Town of Queen Creek with R1-43 zoning applied.

September 5, 2018: Town Council approved Ordinance 676-18 “Queen Creek Station Phase I: Rezone (P18-0027), Conditional Use Permit (P18-0026), and Site Plan (P18-0029)” for a commercial development immediately north of Walnut Road.

PROJECT INFORMATION

Project Name:	QC Station South Phase II Rezone and Site Plan
Site Location:	Southeast corner of Ellsworth Loop and Walnut roads
Current Zoning:	R1-43 (Rural Estate District)
Proposed Zoning:	C-2 (General Commercial District)
General Plan Designation:	Neighborhood
Surrounding Zoning:	
North	C-2 (General Commercial)
South	EMP-B (General Industrial)
East	R1-8/PAD (Urban Development Type A) R1-12/PAD (Suburban Development Type B)
West	MU/PAD (Mixed Use)
Gross Acreage:	12.6 acres
Net Acreage:	9.7 acres total <ul style="list-style-type: none"> • 3.8 acres for retail phase I • 5.9 acres for office phase II
Open Space Acreage:	Required – 15% (25,028 SF) Provided – 32% (54,047 SF)
Building Square Footage:	15,140 SF
Lot Coverage:	Allowed – 60% Proposed – 9%
Parking:	Required – 150 spaces Provided – 162 spaces

DISCUSSION

This proposal consists of a request by Seth Keeler (W Holdings) to rezone approximately 12.6 acres from R1-43 (Rural Estate) to C-2 (General Commercial) for a phased retail and office development, located at the southeast corner of Ellsworth Loop and Walnut Roads.

The subject site is currently zoned R1-43 (Rural Estate). The property to the south is zoned EMP-B (General Industrial) and is currently developed as the QCUSD Bus Barn. The vacant property to the west across Ellsworth Loop Road is zoned MU/PAD (Mixed-Use). Queenland Manor east of the subject site features both R1-8/PAD and R1-12/PAD zoning as part of the residential subdivision. To the north across Walnut Road is the existing Black Rock Coffee and inline retail space zoned C-2 (General Commercial). Notably, this property to the north went through a similar Rezone and Site Plan request back in September of 2018, and was considered by the applicant to be the first piece of the overall QC Station South development envisioned for the north and south sides of Walnut Road. In terms of surrounding General Plan land use designations, the properties to the north, east, and south are all designated as Neighborhood on the 2018 General Plan. Across Ellsworth Loop Road to the west, the area is designated as Urban.

The applicant is requesting the subject site be rezoned to C-2 (General Commercial) to allow for a mixture of retail and future office uses. The first phase of the overall site consists of a 15,140 square foot inline retail building with eight (8) different tenant spaces identified. In particular, the southern end cap space will be a drive-thru restaurant that features a 320' long queueing lane for adequate vehicle stacking and circulation. The proposed site plan, building elevations, and landscape plans are all in conformance with the Zoning Ordinance and satisfy all associated improvement standards.

The character and design of the subject site is complementary to the existing commercial building to the north, as this site was intended to be an extension of the northern development. Architecturally, the inline retail building uses elements from farm styles and contemporary agrarian design aesthetics. Building materials consist of stucco, brick, splitface CMU, standing seam metal canopies, and steel accenting. The colors selected include rich earth tones that coordinate closely with the landscape and match the existing building across Walnut Road.

The Zoning Ordinance requires commercial uses to provide 15% (25,028 SF) of open space, where this development provides a total of 32% (54,057 SF) on the first retail phase. The landscape palette for the development includes red push pistache, fan-tex ash, desert willows, and ironwood trees to remain consistent with the commercial site to the north and the existing street tree theme. Thirty (30') foot landscape buffers are provided on the north, west, and east edges of the site. Along the southern edge of the first phase, a hedge of sage bushes is included within a continuous landscaping strip. This southern hedge will serve as a screening element until the second phase with the office buildings begins to develop, at which point in time, additional site and landscaping improvements will be installed to complete the overall development as conceptualized.

Screen walls are provided along Ellsworth Loop, Walnut, and Old Ellsworth roads to properly screen the drive-thru queueing lane and parking areas. These 3'-8" tall walls feature three (3) different building materials with decorative columns to complement the primary architecture. Additionally, a canopy is also shown over the drive-thru pick up window to further aid in the visual buffering of the drive-thru lane and area. Both the wall and canopy designs continue the existing theme of the commercial site to the north.

Access to the site is provided at two (2) points along Old Ellsworth Road and one (1) point along Walnut Road. Each of these access points already exist, as they were previously located and installed with a past Town improvement project. Because the lower half of the overall site is the second phase office portion, the first phase retail will utilize the access along Walnut Road and only one (1) of the entrances along Old Ellsworth Road, until the office develops and incorporates the other entrance further south.

In terms of the project's phasing, the applicant has stated the timing and demand for the office type uses are unknown. Accordingly, the QC Station South Phase II development is proposed to be broken into two (2) phases of its own to allow for the 15,140 square feet inline retail building with a drive-thru to develop on the northern portion of the site. At this time, the applicant has provided an overall Site Plan showing both the retail and office components in their respective phase. Building elevations and the associated improvement plans for the first phase retail portion of the site are included as a part of the request. The applicant has specified the office portion as the second phase on the plans that will ultimately return under a separate Site Plan application for its own additional review and administrative approval at a later date.

ANALYSIS

General Plan Review: The current 2018 General Plan designation for this property is Neighborhood. The proposed C-2 (General Commercial) zoning is consistent with the current General Plan designation.

Zoning Review: The current zoning designation of the property is R1-43 (Rural Estate). The applicant is requesting C-2 zoning to allow the proposed retail and office space. Both uses (including the drive-thru restaurant) are permitted in compliance with the Zoning Ordinance and its associated standards.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the subject property is within the Town's water and wastewater service areas.

Engineering, Utilities and Transportation Review: The project has been reviewed by the Engineering, Utilities, and Transportation departments. Conditions of Approval have been added to address development requirements for this project.

In-Vehicle Service (Drive-Thru) Review: The Zoning Ordinance requires a minimum 160-feet of vehicle stacking distance for drive-thru restaurants (80 feet of stacking distance between pick-up windows and order-placing speakers and 80 feet of stacking

distance between order-placing speakers and the entry to the drive-through lane). The proposed Site Plan exceeds this requirement with a queue lane nearly double the minimum length requirement. All other in-vehicle performance standards as referenced in Section 6.5 of the Zoning Ordinance are met.

Landscape / Open Space Review: For the proposed C-2 zoning, a total of 15% (25,028 SF) open space is required for the first phase retail portion of the site. A total of 32% (54,047 SF) open space is proposed. Additional landscape plans for the second phase will be reviewed in accordance with the Zoning Ordinance standards at the time of its future Site Plan submittal.

PUBLIC PARTICIPATION

With the outbreak of COVID-19, in-person Neighborhood Meetings have been temporarily suspended. Input from the surrounding community is crucial to the overall public hearing process, and the Town recognizes the importance of public comment. As such, a digital Neighborhood Meeting link was posted online on August 7th, 2020 for public info and comment. All property owners within 1,200' of the site received notification via mailed letters, in addition to the signage posted on-site in accordance with the Zoning Ordinance requirements.

Staff received one (1) inquiry from a resident regarding notification and the documents available to view online. No other public input has been received to date.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. Monument signage and building signage will be reviewed and approved under a separate permit.
3. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, or roof mounted, shall be screened from view and painted to match the building(s).
4. For offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or a bond to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount shall be determined by an engineer's estimate during the Construction Document review phase. Construction assurance shall be deposited with the Town prior any permits being issued.

ATTACHMENTS

1. Aerial Exhibit
2. General Plan Exhibit
3. Current Zoning Map Exhibit
4. Proposed Zoning Map Exhibit
5. Project Narrative
6. Site Plan
7. Landscape Plan
8. Building Elevations

Project Name: QC Station South Phase II Aerial Exhibit

Case Number: P20-0062, P20-0063

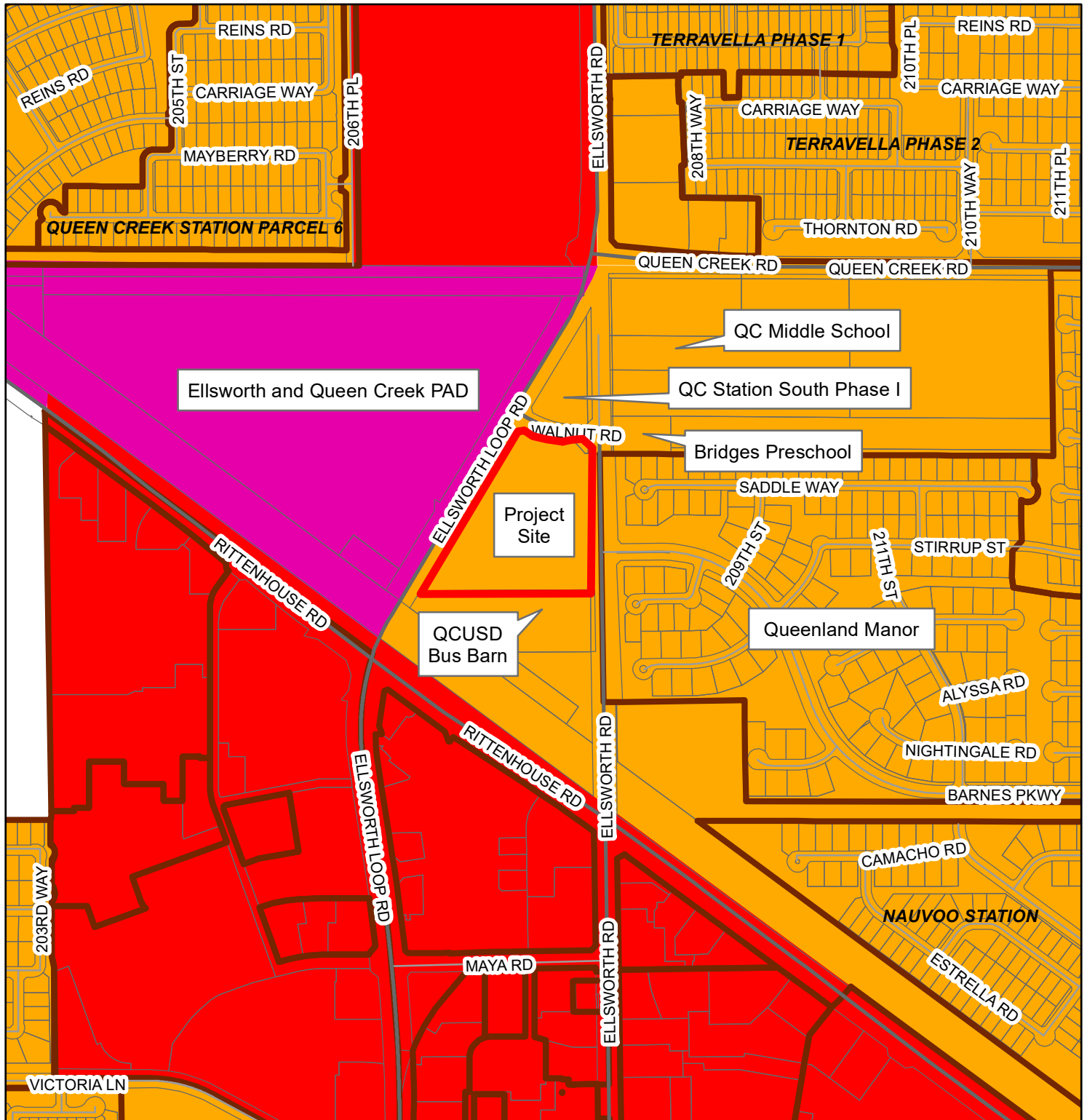
Hearing Date: October 14, 2020 (Planning Commission)



Project Name: QC Station South Phase II General Plan Exhibit

Case Number: P20-0062, P20-063

Hearing Date: October 14, 2020 (Planning Commission)



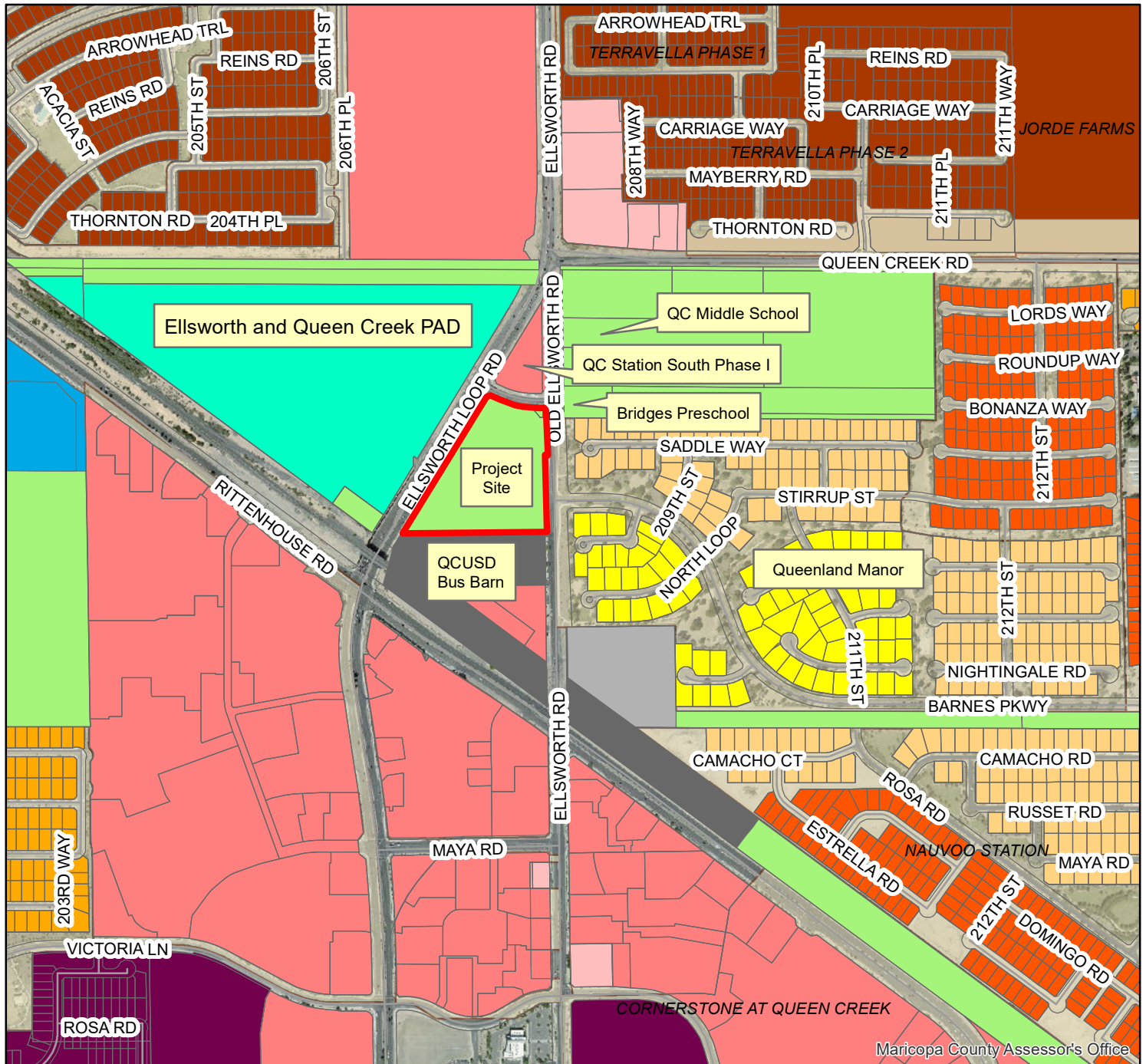
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |


























Project Name: QC Station South Phase II Current Zoning Map Exhibit

Case Numbers: P20-0062, P20-0063

Hearing Date: October 14, 2020 (Planning Commission)



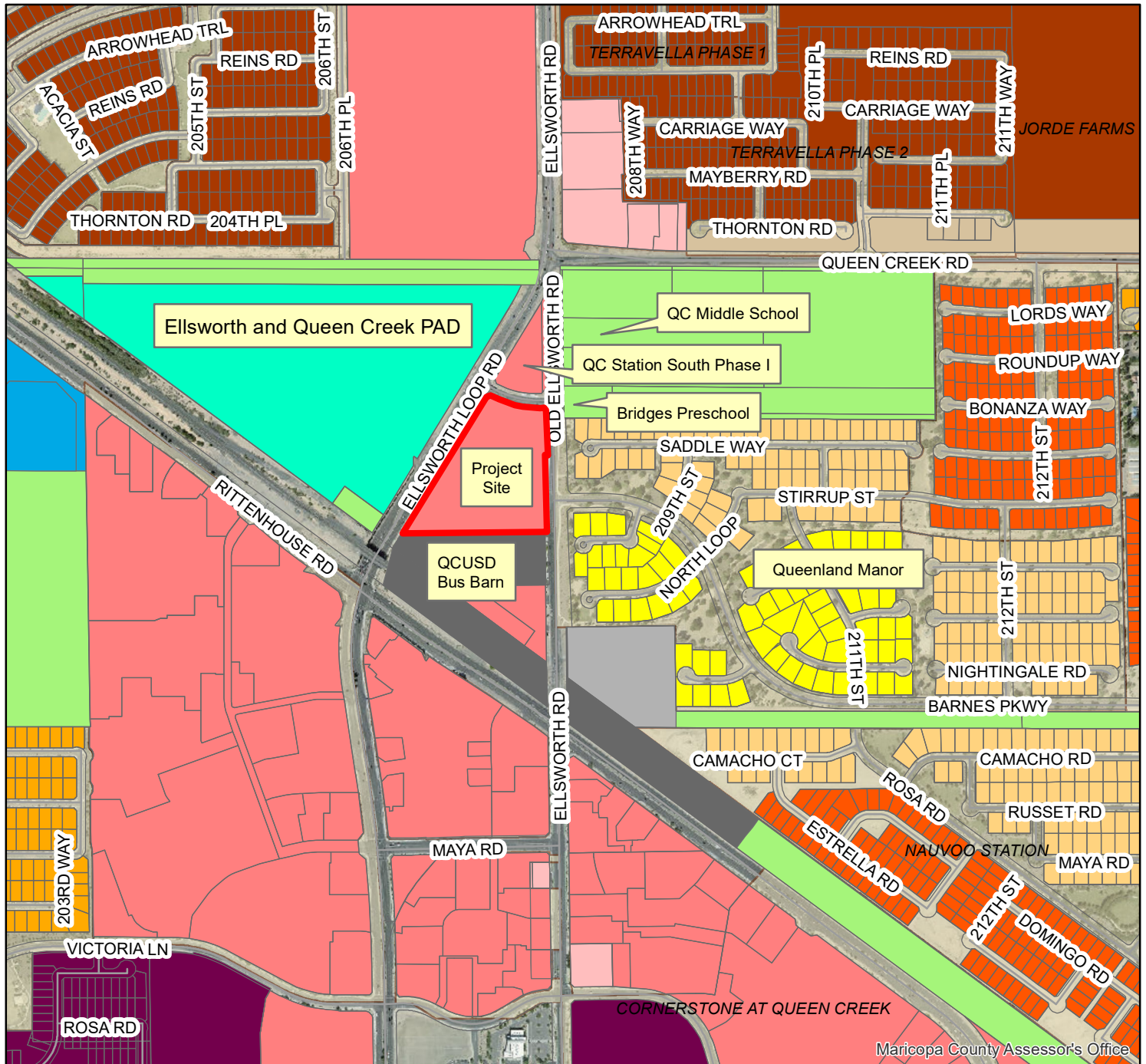
Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use


























Project Name: QC Station South Phase II Proposed Zoning Map Exhibit

Case Numbers: P20-0062, P20-0063

Hearing Date: October 14, 2020 (Planning Commission)



Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment
			 MU - Mixed Use

QUEEN CREEK STATION

South Parcel/Phase II
Rezone & Site Plan
P20 - 0062 & 0063

Submitted by:

W Holdings
1121 West Warner Road, Suite 109
Tempe, Arizona 85284

Submitted on Behalf of:

Daniel W. Thelander Trust
1121 West Warner Road, Suite 109
Tempe, Arizona 85284

Submitted to:

Town of Queen Creek
22358 South Ellsworth Road
Queen Creek, Arizona 85242

July 2020

QUEEN CREEK STATION

DEVELOPMENT TEAM

Architect:

Finn Architects, llc
1810 W. Loemann Drive
Queen Creek, AZ 85142
480-206-8229

Engineer:

Bowman Consulting Group, Ltd.
1295 W. Washington St., Suite 108
Tempe, Arizona 85282
480-629-8830

Traffic Consultant:

ASJ Engineering Consultants LLC
1490 S Price Road, Ste 214
Chandler, AZ 85286
480-678-8212

Landscape Architect:

TJ McQueen & Associates
8433 East Cholla St., Suite 101
Scottsdale, AZ 85260
602-265-0320

QUEEN CREEK STATION

1. REQUEST

Phase I

In early 2018 W holdings submitted an application to build a 7,000 sq ft retail building on a small +/- 2 acre parcel located on the north side of Ellsworth Loop Rd and Walnut Rd. This building was recently completed and is now home to Black Rock Coffee. Tenant improvements are underway for a dentist/orthodontist company.

Phase II

Directly south at the same intersection is a +/- 10 acre parcel that is the subject of this application. W Holdings is proposing a multi tenant shop with a drive-through on the north portion and an office condo development on the southern portion of the site. The architecture and themes in both phases will be compatible with each other.

This project will be sensitive to adjacent residential areas. Queen Creek Station Phase II will provide compatibility through building height, size and orientation, site design, site access and perimeter techniques which include large setbacks, landscaping and screen walls.

The full request includes the following applications:

- Rezoning from R1-43 to C-2.
- Site Plan Review for the northern retail portion of the site.

The Site Plan is only for the north portion of the site comprising the multi tenant shop. The southern portion will come in a separate site plan submittal.

2. BACKGROUND

This +/- 10 acre site is composed of 4 parcels: 304-89-941, 304-89-940, 304-89-942A and 304-66-008Z. There was a relocation of the old Ellsworth Road and the Walnut Rd intersection. There were extra parcels created as part of this relocation.

Historically, the project area has been used for agricultural purposes and farming.

The proposal will allow a land use designation that is fully compatible and complementary with adjacent uses, providing for smoother transitions between existing and new development and varying intensities of uses.

QUEEN CREEK STATION

3. RELATIONSHIP TO SURROUNDING PROPERTIES

This site is bound on the west by Ellsworth Loop Road, on the east by Old Ellsworth Road, on the north by Walnut Road and on the south by Rittenhouse. The 2018 Draft General Plan Land Use classifications, along with the existing zoning and uses for the adjacent parcels, are listed below:

Adjacent Land Uses

Direction	General Plan Land Use	Existing Zoning	Existing Use
North	Commercial	C-2	Queen Creek Station Phase 1
East	Public/Quasi-Public and Medium-Density Residential (0-3 DU/AC)	R1-8, R1-12 and R1-43	Single Family Residential/ Queen Creek Middle School
West	Public/Quasi-Public and Commercial	PQP, C-2, TC	Southern Pacific Railroad , Queen Creek Marketplace, Canyon State Academy
South	Public/Quasi-Public and Town Center Mixed Use	EMP B and C-1	Queen Creek School District bus barn

IMPACT ON SURROUNDING PROPERTIES

This request will have a positive impact on surrounding properties because it will improve a vacant lot and provide convenient commercial uses and office condos much needed for this area.

The location is centralized and easily accessible by pedestrians or vehicles. The site will have adequate vehicular parking and there will be no negative environmental impacts. The existing signal at Ellsworth Loop Road and Walnut will enable vehicles to more safely enter and exit the site. There is no direct vehicular access onto Ellsworth Loop Road from the site.

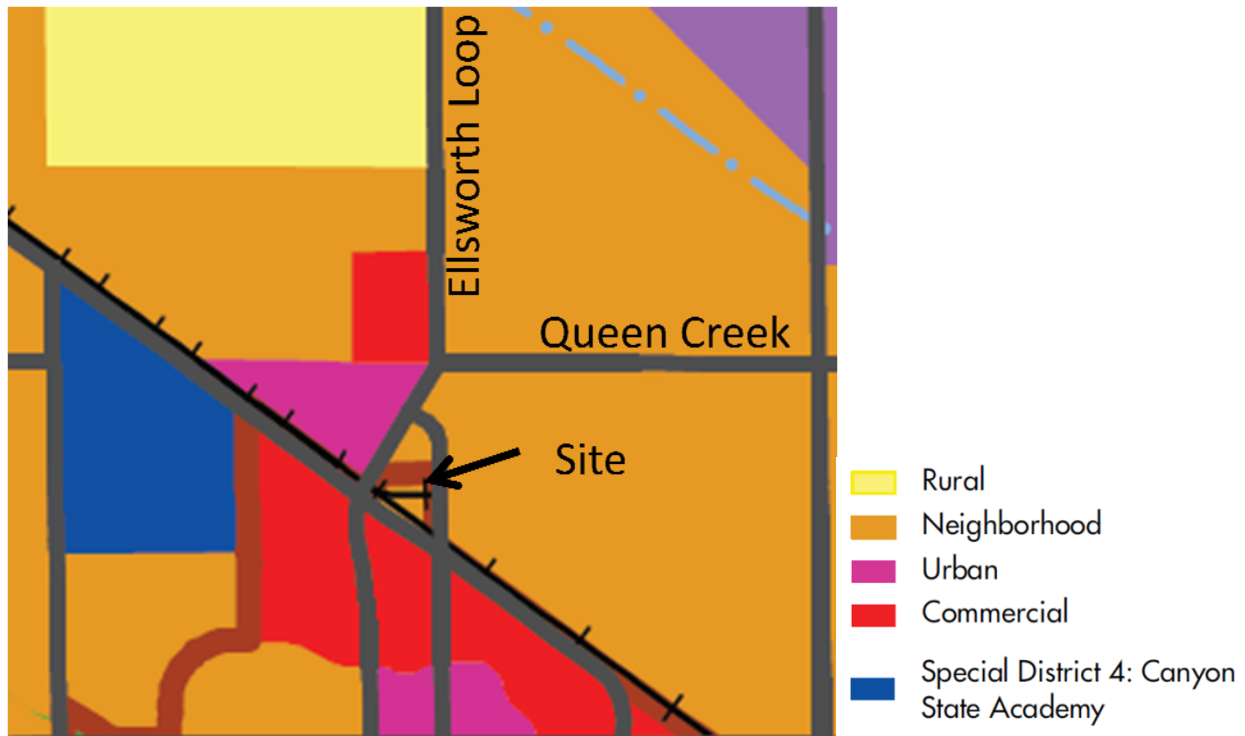
The proposed rezone is compatible with the surrounding properties.

5. CONSISTENCY WITH THE GENEGAL PLAN

The proposed Queen Creek Station Phase II is in compliance with the General Plan, which 2018 General Plan Update was approved by Town Council on September 20, 2017. Queen Creek voters ratified the General Plan in the May 2018 election cycle by a significant 84% majority (www.queencreek.org, May 17, 2018).

QUEEN CREEK STATION

Figure 1 – Existing General Plan Land Use Map



The General Plan category is Neighborhood.

Land Use Element Goals and Strategies

Queen Creek Station will be a destination center where people will desire to visit due to its uniqueness, character, and spirit that will differ from other places in Town, and to which they will have convenient access.

Maintain the Town's unique community character:

Goal 1 – Strategy 1.A

This project will bring additional retail and shopping opportunities to the town along with office condos for small businesses. This project will promote the Town's history, location and amenities with development of a unique, attractive, desirable and economically sustainable community.

Goal 1 – Strategy 1.C

This project will reflect the Town's historic rural character in its design and appearance. The Town's Design Standards will be implemented, and the agrarian character of the Town will be reflected in the elevations, colors, materials, and overall design of the community.

Goal 1 – Strategy 1.D

This project will encourage the development of a walkable town center.

QUEEN CREEK STATION

Effectively manage the Town's growth:

Goal 2 - Strategy 2.A

This rezone will encourage development patterns that maximize efficient use of land by providing commercial/retail uses that are located off of major roadways in a centralized location.

Ensure long-term employment diversity and economic stability:

Goal 3 - Strategy 3.A

This project will develop and promote long term employment and economic development opportunities by proposing retail and office uses.

Introducing private investment and the attraction of new private sector developments that reflect the land use and design goals for Queen Creek's approved General Plan.

Promote seamless development between the Town and adjacent jurisdictions:

Goal 4 - Strategy 4.A

The project will incorporate sidewalk paths for pedestrian and non-motorized access. It will provide connectivity to the Town's residential areas such Queenland Manor to the east and activity centers to the south such as Queen Creek Marketplace. Sidewalks along Ellsworth Road and Ellsworth Loop Road will contribute to this connection.

6. CIRCULATION

This development will facilitate any necessary improvements to the perimeter roadways. Access to the +/- 10 acre commercial property on the east side of Ellsworth Loop Road will primarily be from E. Walnut Rd. which has an existing signal at Ellsworth Loop Road with secondary access points onto old Ellsworth Road.

7. DEVELOPMENT PLAN

Queen Creek Station Phase II consists of +/- 10 net acres which is planned to be developed into a multi-tenant shops parcel with a drive-through and office condos. The large setbacks, landscaping and screen walls will provide a buffer to adjacent uses. The southwest corner of the site contains an easement that benefits the Town of Queen Creek as recorded in Fee #2007-0533491.

8. DESIGN GUIDELINES

The design proposed for the Queen Creek Station Phase II will be consistent with the requirements of the Town of Queen Creek Design Standards. The architecture will use elements from farm style design and a contemporary agrarian design aesthetic. The materials will consist of stucco, metal siding, brick and timber canopies that will provide shade to patios. The color palette will include rich earth tones that complement the landscape and surrounding Queen Creek environment.

QUEEN CREEK STATION

9. PUBLIC UTILITIES AND SERVICES

Utilities and services will be provided as follows:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	Southwest Gas
Cable:	Cox Communications
Telephone:	Qwest/Century Link
Police:	Maricopa County Sheriff
Fire:	Town of Queen Creek
School:	Queen Creek Unified School District

Water

Potable water is proposed to be provided by the Town. From information obtained from the Town of Queen Creek Utilities Department, there is an existing 8-inch water main in Old Ellsworth Road.

Existing water lines near the project boundaries can be tapped and new lines extended within and around the development to serve the project's potable water demand.

The proposed water system improvements will be designed and developed in accordance with Town's 2015 Water Master Plan and ADEQ's requirements.

Wastewater

Sewer service will be provided by the Town's sewer system. From information obtained from the Town of Queen Creek Utilities Department, there is an existing sewer stub on the north side of the property from Old Ellsworth Road that will be utilized for this development.

State of Arizona Air & Water Quality Standards

Queen Creek Station will be designed and constructed in adherence to all relevant State of Arizona air and water quality standards. During project construction, measures will be taken to control any dust generated by activities on the Property and to control any unscreened storm water discharge to adjacent waterways. After the project infrastructure is completed, dust control and storm water management practices will remain in place until all lots within the project have been developed.

10. GRADING AND DRAINAGE

Currently the site is vacant and has no surface improvements on the site. The local topography is generally well graded, due to the prior agricultural land use. According the USGS Quadrangle maps, the site generally slopes to the west.

The site will be designed in accordance with the current Town of Queen Creek Design Standards and Procedures Manual.

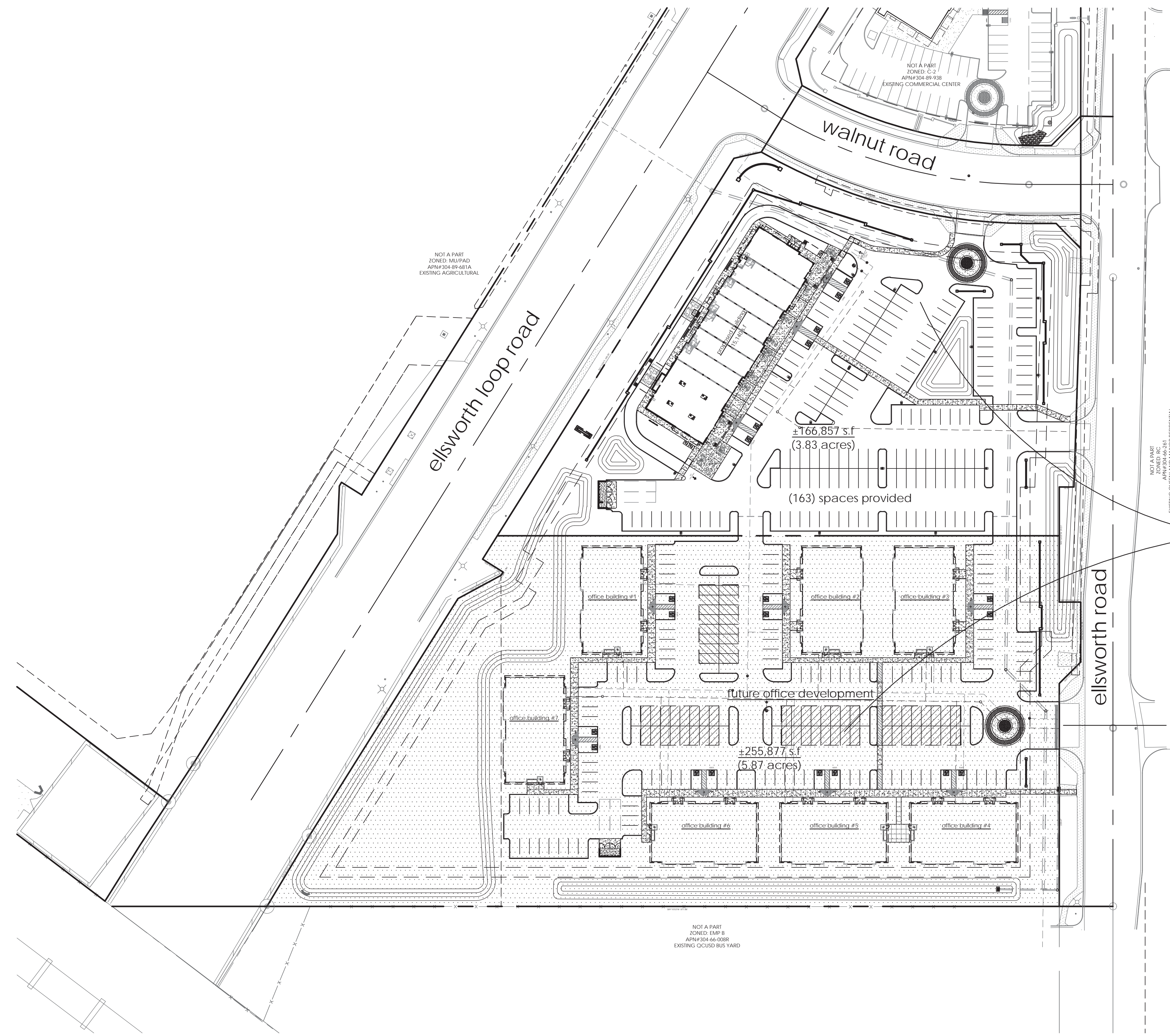
QUEEN CREEK STATION

11. PUBLIC PARTICIPATION

While this request has already been discussed with several of the adjacent property owners, the project team will be implementing neighborhood outreach efforts. A neighborhood meeting will be conducted inviting nearby property owners, consistent with the Town's public participation procedures, to address any questions they may have and bring them to the attention of the Town. The project team is committed to continuing public participation efforts throughout the entitlement process.

12. CONCLUSION

Queen Creek Station Phase II is designed to take into account the surrounding development, circulation, economics, and future vision of Queen Creek living.



LEGEND

- CENTERLINE
- PROPERTY LINE
- - - SETBACK LINE
- - - EASEMENT LINE
- CURB
- EXISTING CURB
- PAINT STRIPING
- 10'x20' VISIBILITY TRIANGLE
- RAMP, VARIES SEE PLAN
- SITE WALL
- EXISTING SITE WALL
- SITE FENCING
- EXISTING SITE FENCING
- UTILITY TRANSFORMER
- CONCRETE SIDEWALK
- ACCESSIBLE ROUTE
- BIKE RACK
- RIP RAP, VARIES SEE PLANS
- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- FDC
- FIRE RISER
- LIGHT POLE
- EXISTING LIGHT POLE

PROJECT DATA

SCOPE: NEW NEIGHBORHOOD COMMERCIAL
 ADDRESS: SEC. OF ELLSWORTH LOOP & WALNUT RD, QUEEN CREEK, AZ
 SITE AREA: +/549,269 S.F. (+/-12.60 AC.) - GROSS
 +/422,734 S.F. (+/-9.70 AC.) - NET
 +/166,857 S.F. (+/-3.83 AC.) - PHASE 1
 ZONING: R1-43 REZONE TO C-2 (COMMERCIAL)
 GENERAL PLAN DESIGNATION: COMMERCIAL
 SEE AT.1. FOR PHASE 1 DATA

NOT: PHOENIX-MESA GATEWAY AIRPORT (AQA) IS AIRPORT OVERLIGHT AREA.
 THIS PROPERTY, DUE TO ITS PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT, WILL EXPERIENCE AIRCRAFT OVERLIGHTS, WHICH ARE EXPECTED TO GENERATE NOISE LEVELS THAT MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AVIATION ACTIVITIES AND TYPES OF AIRCRAFT EXPECTED TO BE LOCATED AND OPERATED AT THE AIRPORT NOW AND IN THE FUTURE INCLUDE: SCHEDULED AND UNSCHEDULED COMMERCIAL CHARTERS, COMMERCIAL AIR CARRIES AND COMMERCIAL AIR CARGO OPERATIONS, ALL OF WHICH ARE EXPECTED TO USE LARGE COMMERCIAL AIRCRAFT. GENERAL AVIATION ACTIVITY USING CORPORATE AND EXECUTIVE JETS, HELICOPTERS, AND PROPELLER AIRCRAFT. AVIATION FLIGHT TRAINING SCHOOLS USING TRAINING AIRCRAFT, AND MILITARY ACTIVITY USING HIGH PERFORMANCE MILITARY JETS. THE SIZE OF AIRCRAFT AND FREQUENCY OF USE OF SUCH AIRCRAFT MAY CHANGE OVER TIME DEPENDING ON MARKET AND TECHNOLOGY CHANGES.

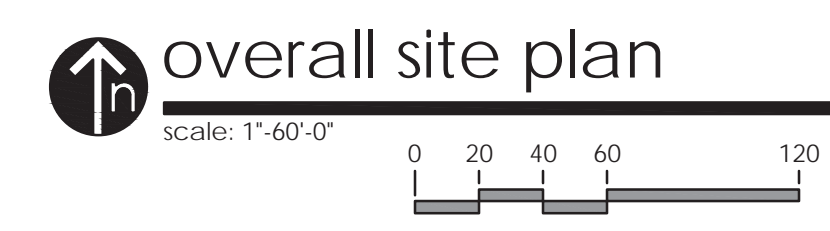
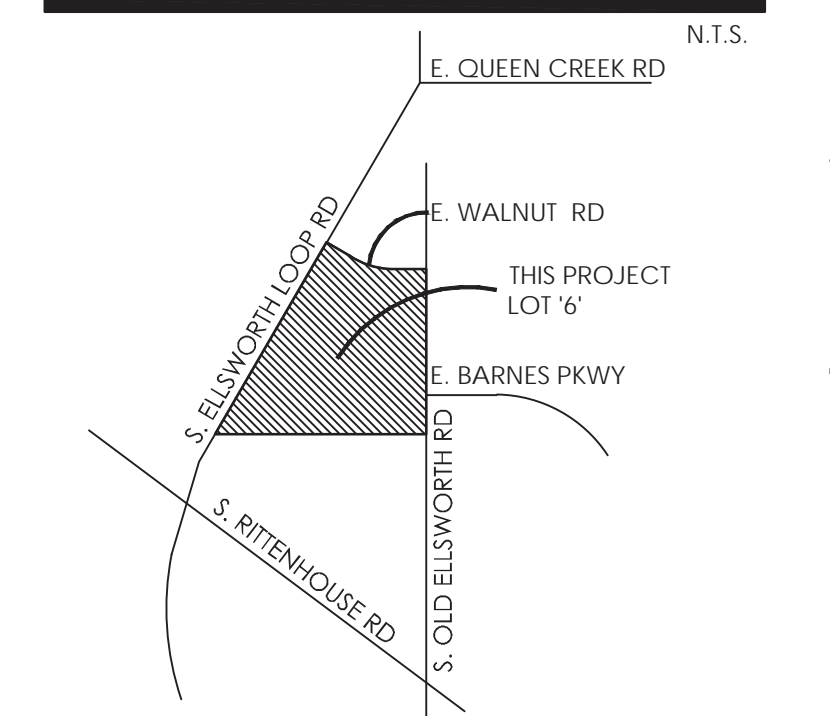
the architectural design, conception and data presented herein represents an instrument of service provided in connection with the design build agreement for the exclusive use of FINN architects, llc. any other use or release or these drawings may result in civil damages.

this plan/site plan has been prepared without the benefit of a survey. depictions may not be accurate or fully reflect all dimensions, data, etc. which may affect the design and usability of this site. all design shown here is strictly conceptual.

december 23, 2019
schematic design
january 03, 2020
schematic design
february 03 04, 2020
schematic design
february 11 18, 2020
schematic design
march 10, 2020
schematic design
june 04, 2020
rezone sp revisions
september 03, 2020
rezone sp revisions



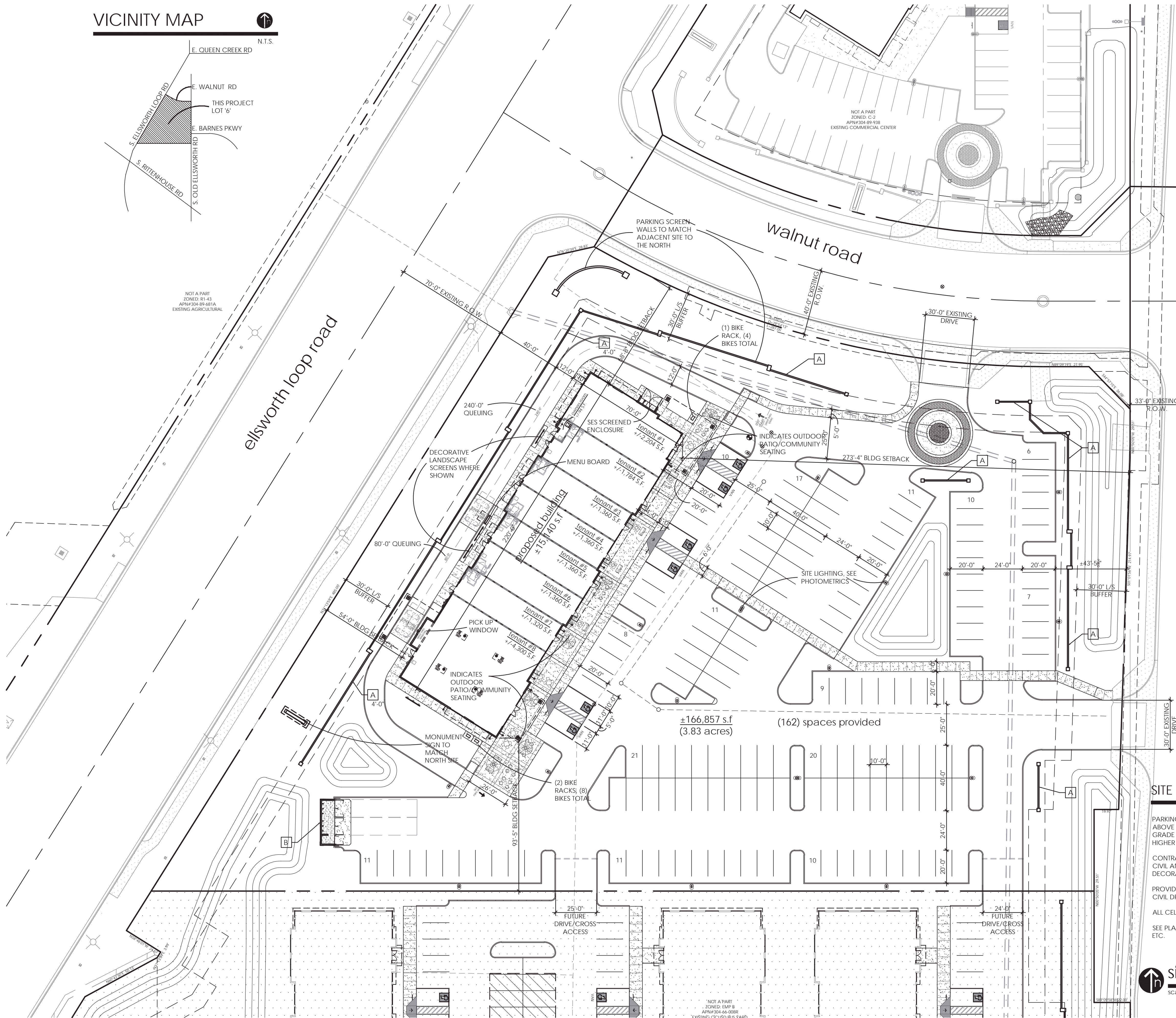
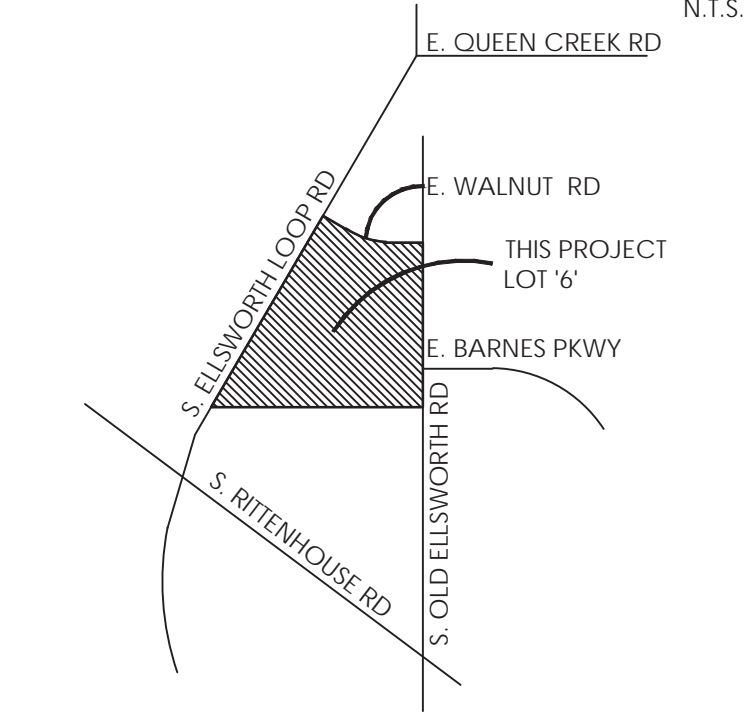
VICINITY MAP



queen creek station south
 sec ellsworth loop and walnut road,
 queen creek, arizona
 REZONE (P20-0062) & SITE PLAN (P20-0063)



VICINITY MAP



NOTE: PHOENIX-MSA GATEWAY AIRPORT (AOA) III AIRPORT OVERFLIGHT AREA
THIS PROPERTY, DUE TO ITS PROXIMITY TO PHOENIX-MSA GATEWAY AIRPORT, WILL EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH ARE EXPECTED TO GENERATE NOISE LEVELS THAT MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AVIATION ACTIVITIES AND TYPES OF AIRCRAFT EXPECTED TO BE LOCATED AND OPERATED AT THE AIRPORT NOW AND IN THE FUTURE INCLUDE: SCHEDULED AND UNSCHEDULED COMMERCIAL CHARTERS, COMMERCIAL AIR CARRIERS AND COMMERCIAL AIR CARGO OPERATIONS, ALL OF WHICH ARE EXPECTED TO USE LARGEST COMMERCIAL AIRCRAFT, GENERAL AVIATION ACTIVITY USING CORPORATE AND EXECUTIVE JETS, HELICOPTERS, AND PROPPELLER AIRCRAFT; AVIATION FLIGHT TRAINING SCHOOLS USING TRAINING AIRCRAFT; AND MILITARY ACTIVITY USING HIGH PERFORMANCE MILITARY JETS. THE SIZE OF AIRCRAFT AND FREQUENCY OF USE OF SUCH AIRCRAFT MAY CHANGE OVER TIME DEPENDING ON MARKET AND TECHNOLOGY CHANGES.

LEGEND

- CENTERLINE
PROPERTY LINE
SETBACK LINE
EASEMENT LINE
CURB
EXISTING CURB
PAINT STRIPING
10'x20' VISIBILITY TRIANGLE
RAMP, VARIES SEE PLAN
SITE WALL
EXISTING SITE WALL
SITE FENCING
EXISTING SITE FENCING
UTILITY TRANSFORMER
BIKE RACK
FIRE HYDRANT
EXISTING FIRE HYDRANT
FDC
FIRE RISER
LIGHT POLE
EXISTING LIGHT POLE

PROJECT DATA

SCOPE: NEW NEIGHBORHOOD COMMERCIAL
ADDRESS: SEC OF ELLSWORTH LOOP & WALNUT RD, QUEEN CREEK, AZ
SITE AREA: +/-549,269 S.F. (+/-12.60 AC.) - GROSS
ZONING: R1-43 REZONE TO C-2 (COMMERCIAL)
GENERAL PLAN DESIGNATION: COMMERCIAL
LOT COVERAGE: 9.1%
BUILDING AREA: +/-15,140 S.F.
BUILDING FOOTPRINT: +/-15,140 S.F.
STORIES: (1) STORY
CONSTRUCTION TYPE: V-B w/ A.F.E.S
OCCUPANCY: M/A/B
ALLOWABLE AREA: UNLIMITED, 60' YARDS
CLEAR HEIGHT: 14'-0"
BUILDING HEIGHT: 26'-4"
PARAPET SCREENING: 50' PARAPET WALLS

BUILDING AREA

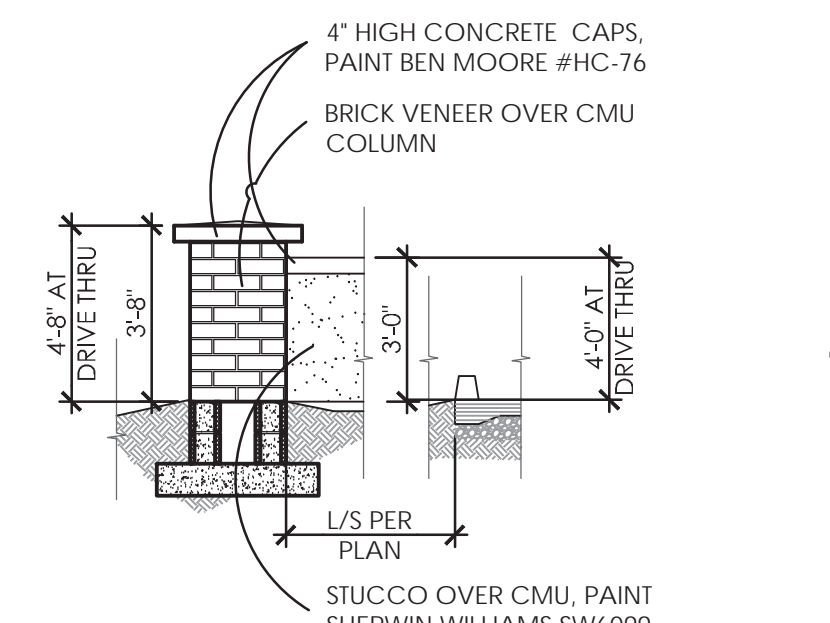
Table with 3 columns: AREA, GROUND FLOOR, 2nd FLOOR. Rows for COMMERCIAL and TOTAL.

PARKING DATA

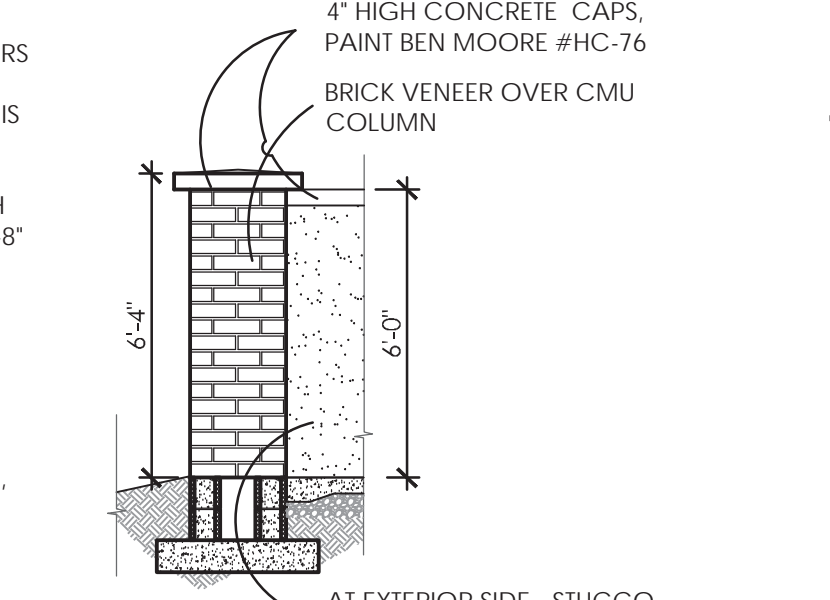
Table with 4 columns: USE, S.F., RATIO, REQUIRED. Rows for RETAIL, RESTAURANT, RESTAURANT PATIO, and TOTAL REQUIRED.

SITE SCREEN WALL SCHEDULE

1/4" = 1'-0"
WALL TYPE [A] PARKING SCREEN WALL

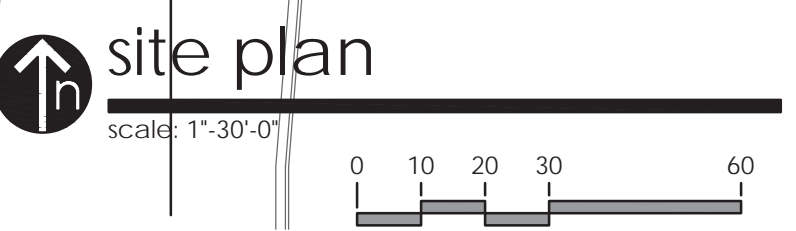


WALL TYPE [B] TRASH ENCLOSURE SCREEN WALL



SITE SCREEN WALL NOTES

PARKING SCREEN WALLS ARE TO BE 36"/48"/72" AS OCCURS ABOVE PAVED/PARKING AREA OR HIGHEST FINISHED GRADE OF PARKING AREA OR STREET CURB, WHICHEVER IS HIGHER U.N.O. PER PLAN.
CONTRACTOR TO COORDINATE STEPPED FOOTINGS WITH CIVIL AND STRUCTURAL DRAWINGS. PROVIDE STEPS AT 2'-8" DECORATIVE PIERS.
PROVIDE WEEPS, OPENINGS IN WALLS AS REQUIRED. SEE CIVIL DRAWINGS.
ALL CELLS BELOW GRADE TO BE GROUTED SOLID/
SEE PLANS, CIVIL AND STRUCTURAL FOR STEPS, FOOTINGS, ETC.



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- december 23, 2019 schematic design
january 03, 2020 schematic design
february 03/04, 2020 schematic design
february 11/18, 2020 schematic design
march 10, 2020 schematic design
june 04, 2020 rezone | sp revisions
september 03, 2020 rezone | sp revisions



queen creek station south
sec ellsworth loop and walnut road, queen creek, arizona
REZONE (P20-0062) & SITE PLAN (P20-0063)



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december 23, 2019	schematic design
january 03, 2020	schematic design
february 03/04, 2020	schematic design
february 11/18, 2020	schematic design
march 10, 2020	schematic design
rezone 1 sp revisions	
rezone 1 sp revisions	
september 03, 2020	rezone 1 sp revisions
rezone 1 sp revisions	

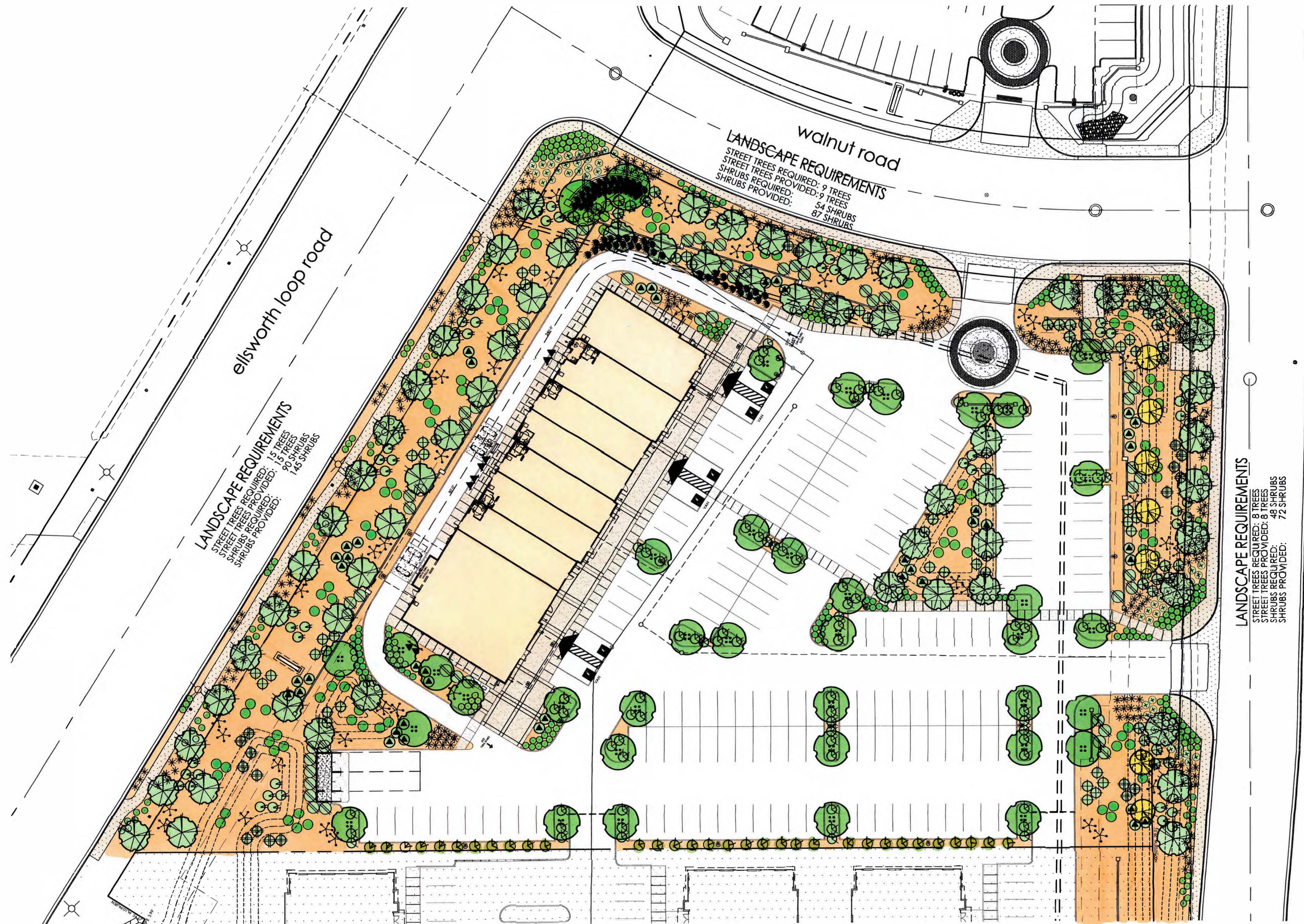


LANDSCAPE LEGEND

- PISTACHE 'RED-PUSH' RED-PUSH PISTACHE 24" BOX (62)
- CHIOPSIS LINEARIS 'LOIS ADAMS' SEEDLESS DESERT WILLOW 15 GALLON (7)
- FRAXINUS VELUTINA FAN TEX ASH 24" BOX (36)
- SPECIMEN TREE (IRONWOOD, CERCIDUM SPP) 36" BOX (2)
- MUHLENBERGIA SP. 'NASHVILLE' NASHVILLE MUHLEY 5 GALLON (70)
- LANTANA MONTEVIDENSIS 'GOLD MOUND' & DALLAS RED 1 GALLON (363) (MIX 50/50)
- LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE 5 GALLON (56)
- SENNA LINDHELMERIANA LINDEIMERS SENNA 5 GALLON (19)
- HESPERALOE PARVIFLORA YELLOW YUCCA 5 GALLON (233)
- HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (45)
- LEUCOPHYLLUM CANDIDUM SILVER CLOUD SAGE 5 GALLON (33)
- LEUCOPHYLLUM FRUTESCENS 'COMPACTA' COMPACT SAGE 5 GALLON (84)
- CAESALPINA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON (53)
- BOUGAINVILLEA TORCH GLOW TORCH GLOW 5 GALLON (42)
- MUHLENBERGIA RIGENS DEER GRASS 5' GALLON (94)
- EUPHORBIA RIGIDA GOPHER PLANT 5 GALLON (72)
- DODONAEA VISCOSA GREEN HOP BUSH 5 GALLON (63)
- BOUGAINVILLEA 'BARBARA KARST' BOUGAINVILLEA 5' GALLON (8)
- 1/2" SCREENED EXPRESSE ROSE DECOMPOSED GRANITE 2' DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE DATA:

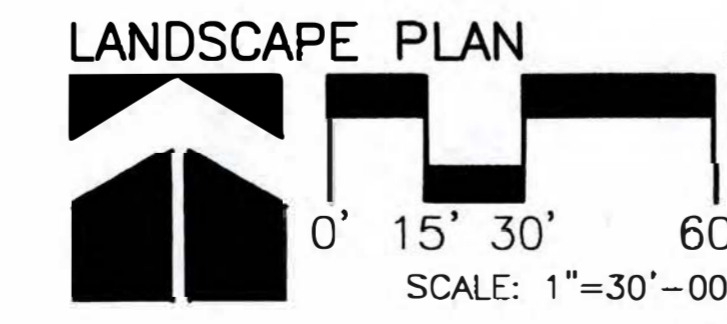
NET SITE AREA: 166,857 SQ.FT.
 LANDSCAPE REQUIRED: 25,028 SQ.FT. (15%)M
 LANDSCAPE PROVIDED: 79,481 SQ.FT. (48%)
 LANDSCAPE COVERAGE: 54,047 SQ.FT (32%)
 BUILDING AREA: 15,140 SQ.FT.
 OPEN SPACE TREES REQUIRED: 25 TREES
 OPEN SPACE TREES PROVIDED: 25 TREES
 OPEN SPACE SHRUBS REQUIRED: 250 SHRUBS
 OPEN SPACE SHRUBS PROVIDED: 283 SHRUBS



LANDSCAPE REQUIREMENTS
 STREET TREES REQUIRED: 15 TREES
 STREET TREES PROVIDED: 20 TREES
 SHRUBS REQUIRED: 145 SHRUBS
 SHRUBS PROVIDED: 145 SHRUBS

LANDSCAPE REQUIREMENTS
 STREET TREES REQUIRED: 9 TREES
 STREET TREES PROVIDED: 54 TREES
 SHRUBS REQUIRED: 87 SHRUBS
 SHRUBS PROVIDED: 87 SHRUBS

LANDSCAPE REQUIREMENTS
 STREET TREES REQUIRED: 8 TREES
 STREET TREES PROVIDED: 48 TREES
 SHRUBS REQUIRED: 72 SHRUBS
 SHRUBS PROVIDED: 72 SHRUBS



T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 10450 N. 74th Street, Suite 120
 Scottsdale, Arizona 85258
 P. (602)265-0320
 EMAIL: timmcqueen@tjmla.net



TOWN OF QUEEN CREEK APPROVAL/SIGNATURE BLOCK:

APPROVED BY TOWN ENGINEER _____ DATE _____

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE RE-APPROVAL. LANDSCAPE INSTALLATIONS TO BE APPROVED BY THE TOWN OF QUEEN CREEK INSPECTION SERVICES BEFORE CERTIFICATE OF OCCUPANCY IS ISSUED.

APPROVED BY PLANNING ADMINISTRATOR _____ DATE _____

ATTENTION:
 THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

MAINTENANCE NOTE:
 All landscape areas and materials shall be maintained in a healthy, neat, clean and weed free condition. It shall be the responsibility of property owner.

TOWN OF QUEEN CREEK NOTES:
 1. A Town of Queen Creek permit is required for any landscape or irrigation system. Irrigation lines must be inspected before backfilling. A set of 4 mil Photo Mylar As-Built of the landscape and irrigation plans will be required prior to final town of queen creek acceptance of project.
 2. Prior to Town of Queen Creek's acceptance of any backfill device, a State Certified Backfill Tester must test the device.
 3. Trees & Shrubs must be placed on separate lines and valves.

queen creek station south
 sec ellsworth loop and walnut road,
 queen creek, arizona

PLAN NOTES

SEE STRUCTURAL PLANS FOR LINTELS/INFORMATION

SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS - WHERE CONTROL JOINTS OCCUR BENEATH WALL FINISH SYSTEMS, THE CONTROL JOINT AND WALL FINISH SHALL BE CARRIED THRU - PROVIDE MANUFACTURE APPROVED CONTROL JOINT TRIM, JOINTS AS APPLICABLE PER WALL FINISH

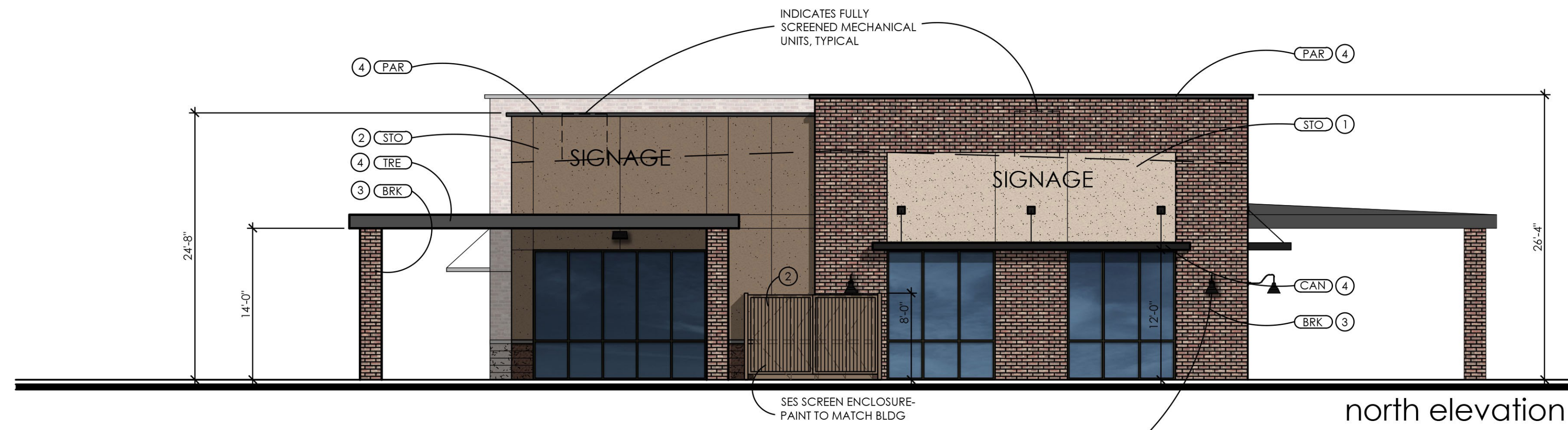
SEE FLOOR PLAN AND SCHEDULES FOR DOOR HEIGHTS, IN CMU WALLS CONFIRM 'FRAMES' COURSE WITH MODULAR CMU HEIGHTS

ALL CMU LINTELS ARE TO BE LINTEL BLOCKS, NO 2 CORE OR HOLLOW CMU ALLOWED

ALL ROOF DRAIN LEADERS ARE TO BE BRASS 'LAMBS' TONGUE, COMPLETE WITH TRIM RING - NO PVC ALLOWED

PRIOR TO PROCURING MATERIALS, CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS, COLORS FOR REVIEW AND APPROVAL BY ARCHITECT AND OWNER

ALL SAMPLES SHALL BE SUBMITTED FOR REVIEW AS A COMPLETE SUBMITTAL, AT ONE TIME. MATERIAL SAMPLES SHALL BE LARGE ENOUGH TO DEPICT THE FINISH, TEXTURE OF 12" SQUARE OR AS APPROPRIATE



north elevation

MATERIAL LEGEND

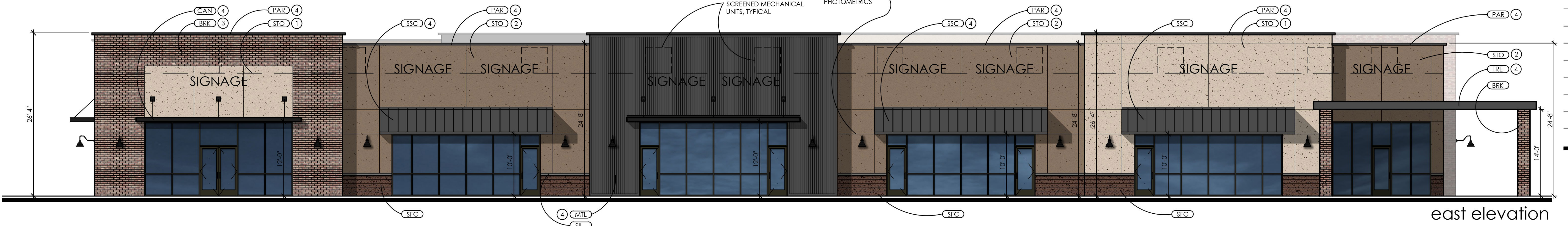
- (STO) STUCCO - SYNTHETIC SYSTEM WITH SAND FINISH OVER CMU WALL
- (SFC) 8x8x16 SPLIT FACE CMU, PAINT TO MATCH SUPERLITE 'AUTUMN'
- (SIL) 12x4x16 SMOOTH FACE CMU SILL BLOCK
- (BRK) BRICK VENEER OVER CMU
- (CAN) STEEL CANOPY WITH TIE BACK RODS
- (SSC) STANDING SEAM METAL CANOPY
- (TRE) METAL TRELLIS CANOPY
- (MTL) PREFINISHED METAL PANELS OVER CMU
- (PAR) PARAPET CAP AND FLASHING

COLOR LEGEND

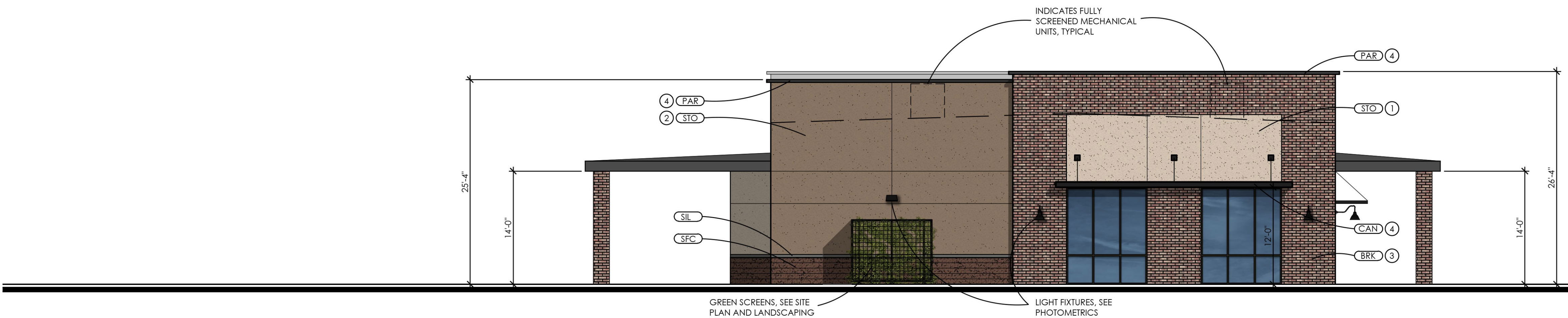
- (1) SHERWIN WILLIAMS - SAND DOLLAR SW6099
 - (2) BENJAMIN MOORE - DAVENPORT TAN HC-76
 - (3) CORONADO STONE - RUSTIC BLEND - SPECIAL USED BRICK
 - (4) PREFINISHED METAL PANELS - DARK GREY
- SEALANTS TO MATCH ADJACENT MATERIAL. COLORS, WHITE OR OFF WHITE SEALANTS ARE NOT ALLOWED
- PAINTER SHALL PROVIDE (2) COATS OF SEALER TO ALL NATURAL BLOCK, PRECAST CONCRETE ITEMS, CONCRETE AND NON-PAINTED SURFACES AND MATERIALS FOR A WEATHER SEALED PROJECT
- PAINTER SHALL PROVIDE CMU, BLOCK, CONCRETE AND OTHER MATERIALS WITH FINISH, PAINT COLOR FOR REVIEW AND APPROVAL PRIOR TO APPLICATION - ANY PAINT FINISHES TO BE APPLIED TO THE ACTUAL BUILDING SHALL BE APPROVED PRIOR BY CONTRACTOR/ARCHITECT FOR LOCATION AND SIZE PRIOR TO APPLICATION

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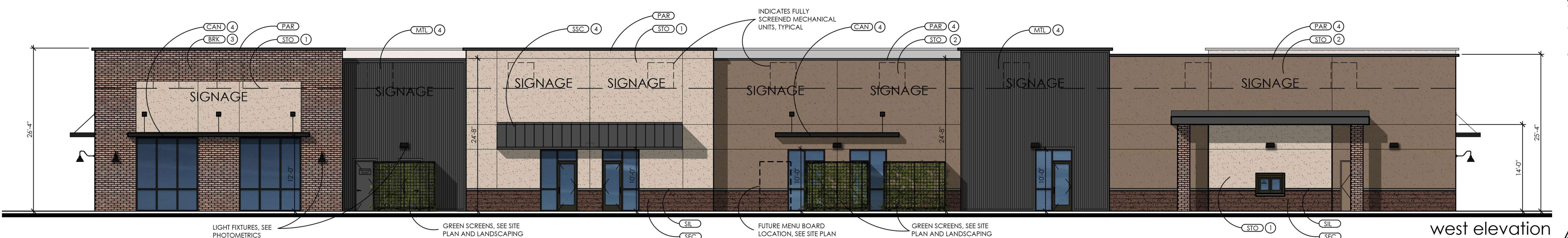
east elevation



south elevation

STOREFRONT | GLAZING SPECIFICATION

- ALUMINUM STOREFRONT SYSTEM:
- ARCADIA AFG451 2" X 4 1/2", CENTER GLAZED NON-THERMAL STOREFRONT
- DARK BRONZE FINISH
 - 1" OVERALL GLAZING . SEE GLAZING BELOW
- 1" INSULATED GLAZING
- OUTBOARD: 1/4" PPG SOLARBAN R100 ON CLEAR #2
 - AIR SPACE: 1/2" SPACER, AIR FILLED
 - INBOARD: 1/4" CLEAR
 - U-FACTOR - 0.0.29, SHGC = 0.23



west elevation

exterior elevations

scale: 1/8"=1'-0"

queen creek station south
 sec ellsworth loop and walnut road,
 queen creek, arizona
 REVISION (P20-0062) & SITE PLAN (P20-0063)

