

Requesting Department:

Development Services



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Erik Swanson, Interim Planning Administrator
Christine Sheehy, Principal Planner

RE: Discussion and Possible Approval of P19-0256 Jorde North Preliminary Plat, a request by Hilgart Wilson for approval of a new 401-lot subdivision zoned R1-5 on approximately 94.48 acres, located west of Crismon Road and south of Germann Road.

DATE: May 13, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0256 Jorde North Preliminary Plat, subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to approve P19-0256 Jorde North Preliminary Plat, subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS



Secure Future

SUMMARY

This proposal consists of a request by Hilgart Wilson for approval of a new 401-lot subdivision zoned R1-5 on approximately 94.48 acres, located west of Crismon Road and south of Germann Road. On December 16, 2015, the Town Council approved the rezoning of this site from R1-43 to R1-5, case RZ15-039 North Specific Area Plan Rezone.

HISTORY

December 15, 2015: The Town Council approved Ordinance 582-15, RZ15-039 North Specific Area Plan Rezone, changing the subject site's zoning from R1-43 to R1-5.

PROJECT INFORMATION

Project Name:	Jorde North Preliminary Plat
Site Location:	W/SWC of Germann & Crismon Roads
Current Zoning:	R1-5 (Urban Development District) and EMP-A
General Plan Designation:	Neighborhood (0-20 du/ac)
Surrounding Zoning:	
North	Industrial (City of Mesa)
South	R1-5/PAD
East	EMP A/PAD
West	R1-5/PAD
Gross Acreage:	94.48 acres
Net Acreage:	92.99 acres
Total Lots/Units:	401 lots
Density:	4.2 du/ac (gross) 4.4 du/ac (net)
Open Space Acreage:	Required – 20% (18.60 acres) Provided – 21.6% (20.12 acres)
Minimum Lot Area:	5,000 SF (50' x 100') – Required 5,000 SF (50' x 100') – Provided

DISCUSSION

This proposal consists of a request by Hilgart Wilson for approval of a new 401-lot subdivision zoned R1-5 on approximately 94.48 acres, located west of Crismon Road and south of Germann Road. In total, the proposed 401-lot development amounts to a net density of 4.4 dwelling units per acre, which is consistent with the 2018 General Plan land use designation of Neighborhood (0-20 du/ac). Each proposed lot meets all dimensional standards for the R1-5 zoning district per the Zoning Ordinance.

The R1-5 zoning district has a total open space requirement of 20%, where 30% of the total is required to be active open space. The proposed development provides 20.12 acres (21.6%) of open space that includes the required 30' landscape buffer along Germann Road at the entrance and an amenity features such as a community pool, playground and trails.

All Zoning Ordinance and Subdivision Standards have been met.

GENERAL ANALYSIS

General Plan Review: The current General Plan designation for this Property is “Neighborhood” that allows a range of residential densities up to a maximum of 20 dwelling units per acre along with limited commercial service uses. The Medium-High Density Residential (MHDR) (0-5 du/ac) Zoning District is considered an appropriate use for the General Plan Neighborhood designation. The project is consistent with the General Plan land use designations.

Zoning Review: The current zoning designation of the property is R1-5 (Urban Development District)/Planned Area Development(PAD). The project is in conformance with the standards set by the Zoning Ordinance. The subject property was zoned R1-5/PAD in December of 2015 as part of the North Specific Area (NSAP) Plan Rezone RZ15-039. The Applicant is proposing a 401 lot, two-phased subdivision containing two lots sizes: 50’ x 100’ and 50 x 120’. The proposed project meets both the standards for the NSAP and the conditions of approval established by the NSAP Plan Rezone RZ15-039 (Ordinance 582-18).

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the Applicant has provided information regarding the project’s potential impact on public facilities. Staff’s review of those reports indicates that adequate public facilities will be provided by the project. Appropriate internal circulation and improvements to the existing arterial streets are provided. The Town of Queen Creek will be the potable water and waste water service provider for the property. The Applicant is also in the process of working with the Queen Creek Unified School District on an agreement for a per lot donation in conjunction with the first final plat.

Engineering Review: The project has been reviewed by the Engineering and Transportation Divisions. Conditions of Approvals were added to this report to address both Engineering and Transportation requirements for this project.

Landscape/Open Space Review: A total of 18.60 acres (20%) of Open Space is required, 30% of which must be active. The Applicant is proposing to provide a total of 20.12 acres (21.6%) of open space which includes both common area and active open space. The active open space totals 15.32 acres (78.1%). Active open space amenities include trails, a playground and a centralized park with a community pool and restroom facilities. The linear trail system that is provided throughout the community connects to perimeter trails along the southern property line and Germann Road.

Wall/Fencing Plan: The development will be surrounded by a decorative theme wall and columns. The primary entrance on Germann Road includes an enhanced primary entry monument. A secondary entry monument is proposed on Crismon Road. The walls, fences and entry feature meet the Zoning Ordinance and Design Standards requirements.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with all Conditions of Approval outlined in Ordinance 582-15, RZ15-039 North Specific Area Plan Rezone.
2. This project shall be developed and constructed in accordance with all exhibits and attachments submitted by the applicant in conjunction with this case (P19-0256).
3. Developer shall create a Home Owners Association for the maintenance of all landscaping within all open spaces, tracts, trails, collector, and arterial rights-of-way as shown on the Open Space Plan for this project.
4. The Applicant is working with the Queen Creek Unified School District (QCUSD) for a donation on a per lot basis. An agreement shall be signed prior to Final Plat approval and recorded with the Final Plat.
5. The developer shall provide notice by way of the subdivision plat and CC&Rs, that this project is located near the Phoenix-Mesa Gateway Airport and due to its proximity is likely to experience noises normally and usually associated with the overflight of aircraft.
6. Final plats shall note the potential for objectionable aircraft noise. Specifically, the plat shall note the following: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals. The mix of aircraft consists of cargo, commercial, charter, corporate, general aviation and military aircraft."
7. Sales offices for new single family residential projects shall provide notice to prospective buyers that the project is located within an Overflight Area. Such notice shall consist of a sign at least 2-foot x 3-foot installed at the entrance to the sales office or leasing office at the residential project. The sign shall be installed prior to commencement of sales and shall not be removed until the sales office is permanently closed. The sign shall state the following in letters of at least one inch (1") in height: "This subdivision, due to its proximity to Phoenix-Mesa Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals. The mix of aircraft consists of cargo, commercial, charter, corporate, general aviation and military aircraft. For additional information contact the Arizona Department of Real Estate at: 602-468-1414 or Phoenix-Mesa Gateway Airport Public Relations Office at: 480-988-7600."
8. Public reports filed with the Arizona Department of Real Estate shall disclose the location of the Airport and potential aircraft overflights. The following statement shall be included in the public report: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals."
9. The construction, alteration, moving, and substantial repair of any human occupied building or structure in the new project shall achieve an exterior to interior Noise Level Reduction (NLR) of 20 decibels (dB) or an exterior to interior NLR that results in an interior noise level of 45 DNL or less. The developer shall submit a signed and sealed

letter from a registered architect or engineer certifying that construction materials, methods and design employed to achieve the required noise reduction. A copy of the certification shall be submitted with the application for a building permit.

10. The owners of the new project, including mortgagees, other lien holders and easement holders, shall execute an avigation easement prior to or concurrently with the recordation of any final plat or approval of a final site plan for the new project. The easement shall be in a form approved by the Director of Planning.
11. The Applicant is working with the adjacent property owner to the east to secure a 10-foot landscape easement to meet the required 20-foot landscape setback along a portion of the east property line. If the Applicant is unsuccessful, prior to Final Plat approval, the road will be moved to the west to accommodate the required 20-foot landscape buffer along the east property line.
12. Provide two 1 1/4 " quad ducts in accordance with TOQC standards along the Crismon Road frontage terminating in no.7 pullboxes.
13. Provide two 1 1/4 " quad ducts in accordance with TOQC standards along the Germann Road frontage terminating in no.7 pullboxes.
14. Provide for a left turn bay along North Bound Crismon Road. Provide R.O.W. if necessary.
15. For offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or a bond to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount shall be determined by an engineer's estimate during the Construction Document review phase. Construction assurance shall be deposited with the Town prior to final plat recordation.
16. For onsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), bond, or a signed C of O hold agreement to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. Construction assurance shall be deposited with the Town prior to final plat recordation.
17. Full 1/2 street improvements shall be required to be designed and constructed for Crismon Road and Germann Road for all portions of the Right-of-Way adjacent to the property frontage. Road improvements shall be to the centerline of the improved road and shall include removal and replacement of all asphalt to the centerline. Improvements shall also include all appropriate roadway tapers as required by the Town's Traffic Department.
18. 55' of half street of Right-of-Way for Crismon Road shall be dedicated on the Final Plat.

19. 70' of half street of Right-of-Way for Germann Road shall be dedicated on the Final Plat.

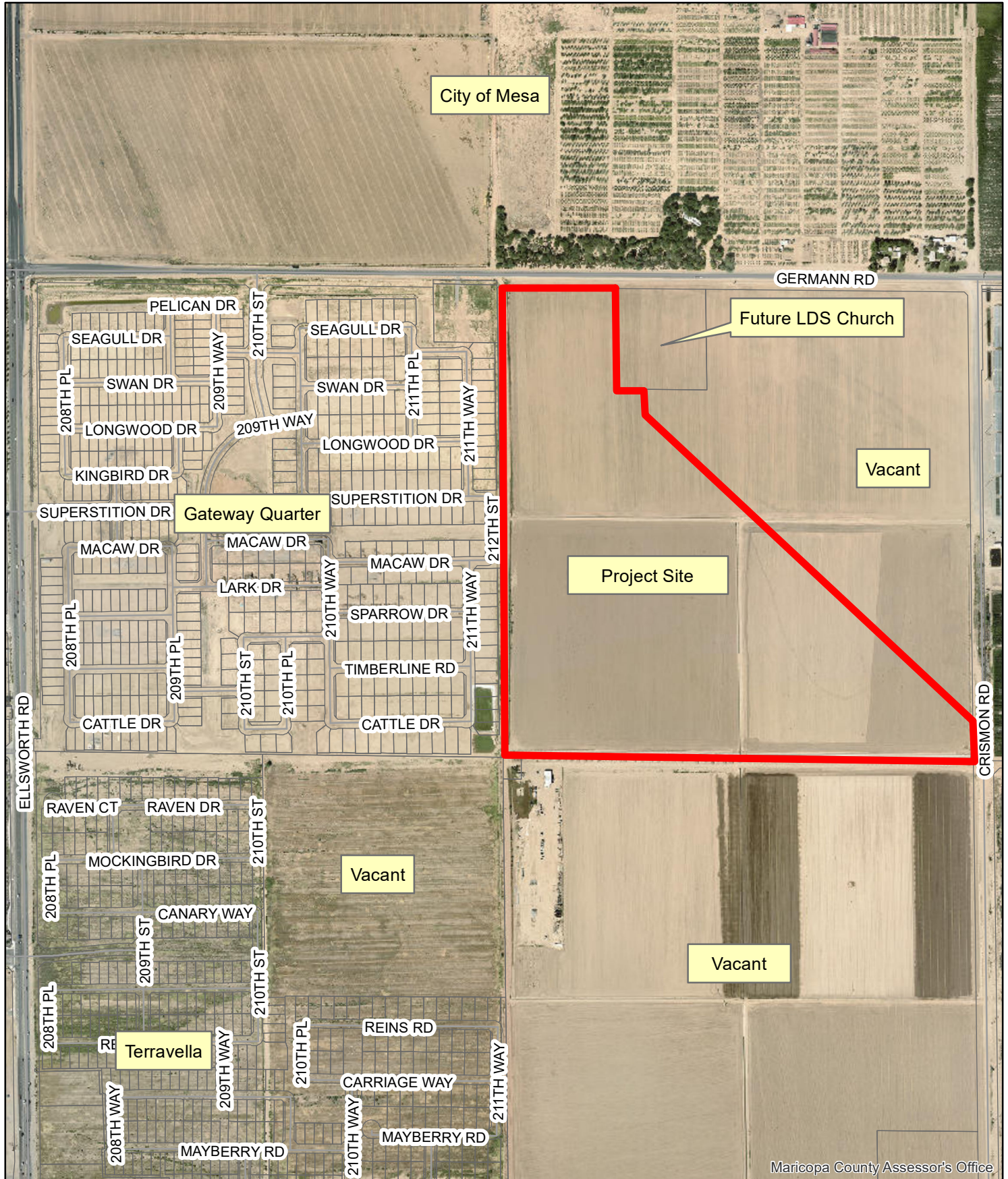
ATTACHMENTS

1. Jorde North Aerial Exhibit
2. Jorde North General Plan Exhibit
3. Jorde North Zoning Map Exhibit
4. Jorde North Preliminary Plat
5. Jorde North Landscape Plans

Project Name: Jorde Farms North Preliminary Plat Aerial Exhibit

Case Number: P19-0256

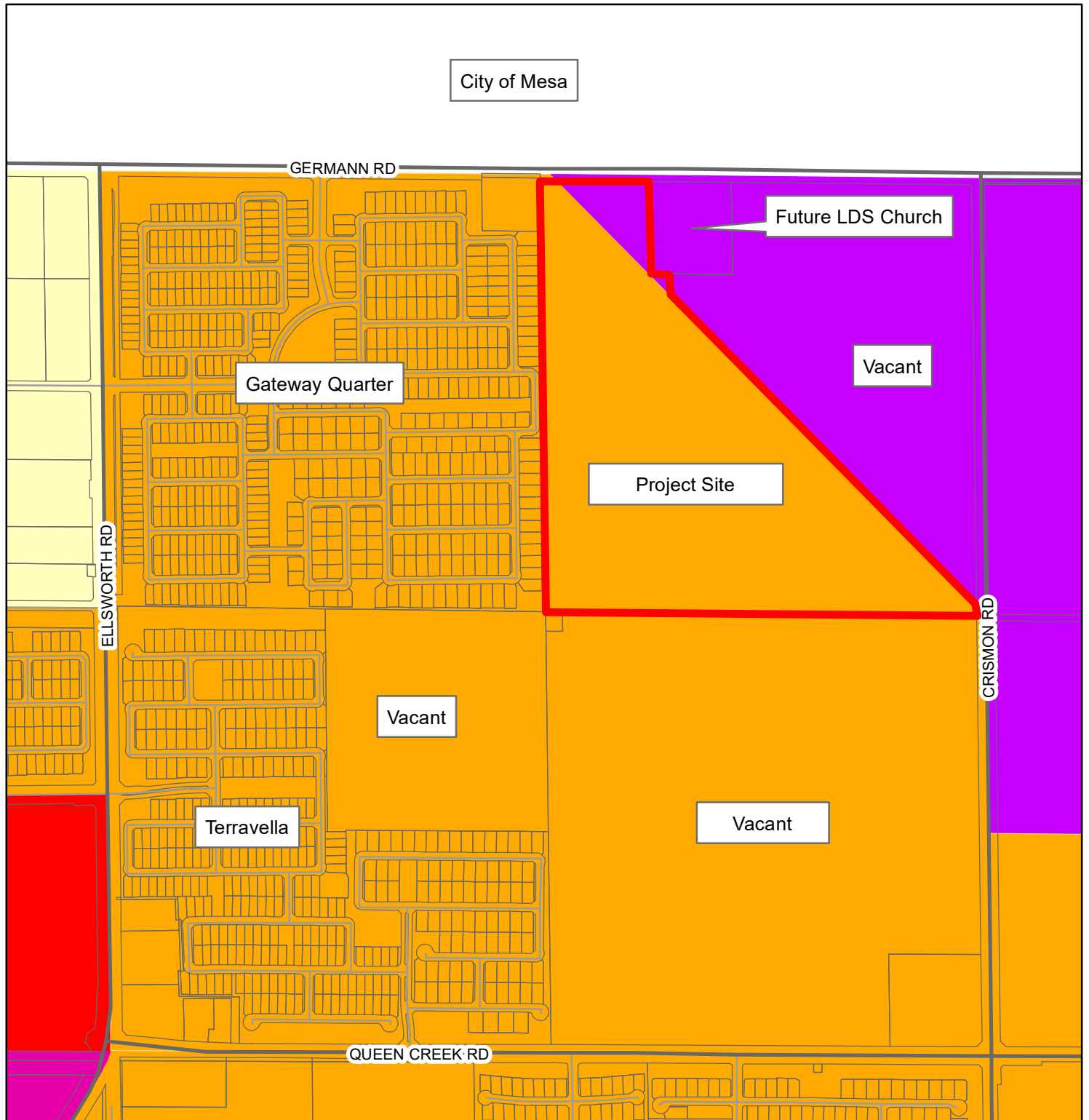
Hearing Date: May 13, 2020 (Planning Commission)



Project Name: Jorde Farms North Preliminary Plat General Plan Exhibit

Case Number: P19-0256

Hearing Date: May 13, 2020 (Planning Commission)



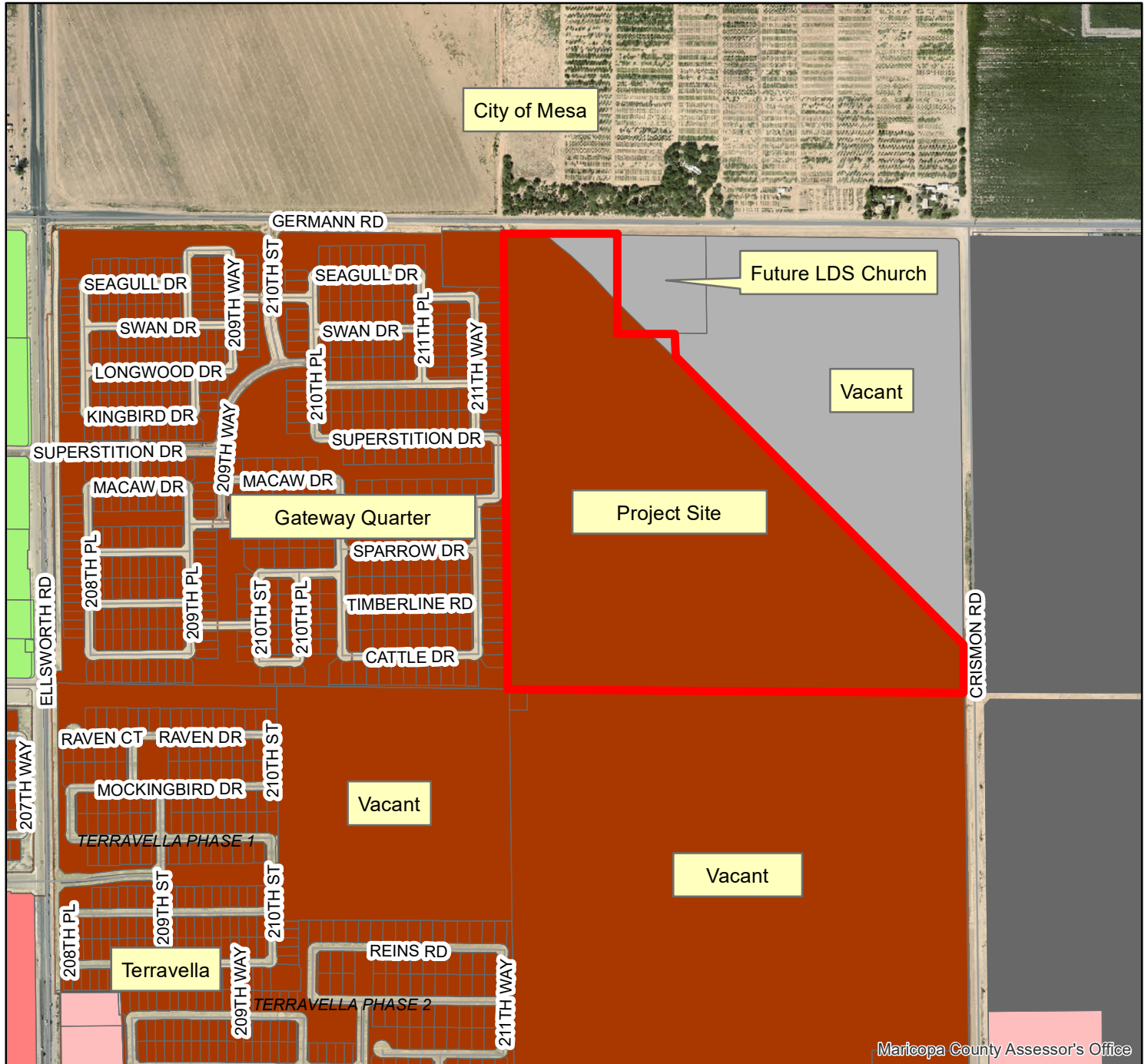
General Plan Land Use

- | | | | |
|---|--|--|--|
|  Rural |  Commercial |  Special District 1 |  Special District 4 |
|  Neighborhood |  Industrial |  Special District 2 | |
|  Urban |  Open Space |  Special District 3 | |

























Project Name: Jorde Farms North Preliminary Plat Zoning Map Exhibit

Case Numbers: P19-0256

Hearing Date: May 13, 2020 (Planning Commission)



Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment

TITLE REFERENCE

THIS SURVEY IS BASED UPON THE TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE NO. 55001750-055-KG2-DW, DATED OCTOBER 8, 2019.

HILGARTWILSON, LLC HAS RELIED SOLELY UPON THE INFORMATION CONTAINED WITHIN THE TITLE COMMITMENT AND SCHEDULE B DOCUMENTS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY AS LISTED HEREON. HILGARTWILSON, LLC AND BRIAN BENEDICT (RLS) MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT REPORT.

LEGAL DESCRIPTION

A PORTION OF LAND BEING SITUATED WITHIN DOCKET 14491, PAGE 94 RECORDS OF MARICOPA COUNTY, ARIZONA LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 3 INCH BRASS CAP IN HAND HOLE ACCEPTED AS THE NORTH QUARTER CORNER OF SAID SECTION 10, FROM WHICH A FOUND REBAR WITHOUT IDENTIFICATION ACCEPTED AS THE CENTER THEREOF, BEARS SOUTH 00°42'17" EAST, 2640.13 FEET; THENCE SOUTH 89°24'27" EAST, 640.16 FEET ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER TO THE EAST LINE OF THE WEST 640.00 FEET OF SAID NORTHEAST QUARTER BEING THE WEST LINE OF THAT PARCEL DESCRIBED IN DOCUMENT 2017-0965975, RECORDS OF MARICOPA COUNTY; THENCE SOUTH 00°42'17" EAST, 620.16 FEET ALONG SAID WEST LINE TO THE SOUTHWEST CORNER OF SAID PARCEL, AND THE SOUTH LINE OF THE NORTH 620.00 FEET OF SAID NORTHEAST QUARTER; THENCE SOUTH 89°24'27" EAST, 311.57 FEET ALONG SAID SOUTH LINE; THENCE LEAVING SAID SOUTH LINE, SOUTH 00°42'17" EAST, 133.74 FEET; THENCE SOUTH 47°13'33" EAST, 138.65 FEET; THENCE SOUTH 47°42'48" EAST, 313.08 FEET; THENCE SOUTH 47°06'15" EAST, 168.24 FEET; THENCE SOUTH 44°31'18" EAST, 486.65 FEET; THENCE SOUTH 44°31'03" EAST, 1076.37 FEET; THENCE SOUTH 89°33'40" EAST, 142.34 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE SOUTH 00°41'59" EAST, 361.53 FEET ALONG SAID WEST LINE TO THE EAST QUARTER CORNER OF SAID SECTION 10; THENCE NORTH 89°33'40" WEST, 2627.85 FEET ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER TO THE CENTER OF SAID SECTION 10; THENCE NORTH 00°42'17" WEST, 2640.13 FEET ALONG THE WEST LINE OF SAID NORTHEAST QUARTER TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS A COMPUTED AREA OF 4,115,521 SQ. FT. (94.479 ACRES) MORE OR LESS AND BEING SUBJECT TO ANY EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY OF RECORD OR OTHERWISE.

THE DESCRIPTION SHOWN HEREON IS NOT TO BE USED TO VIOLATE ANY SUBDIVISION REGULATION OF THE STATE, COUNTY AND/OR MUNICIPALITY OR ANY LAND DIVISION RESTRICTIONS.

BENCHMARK

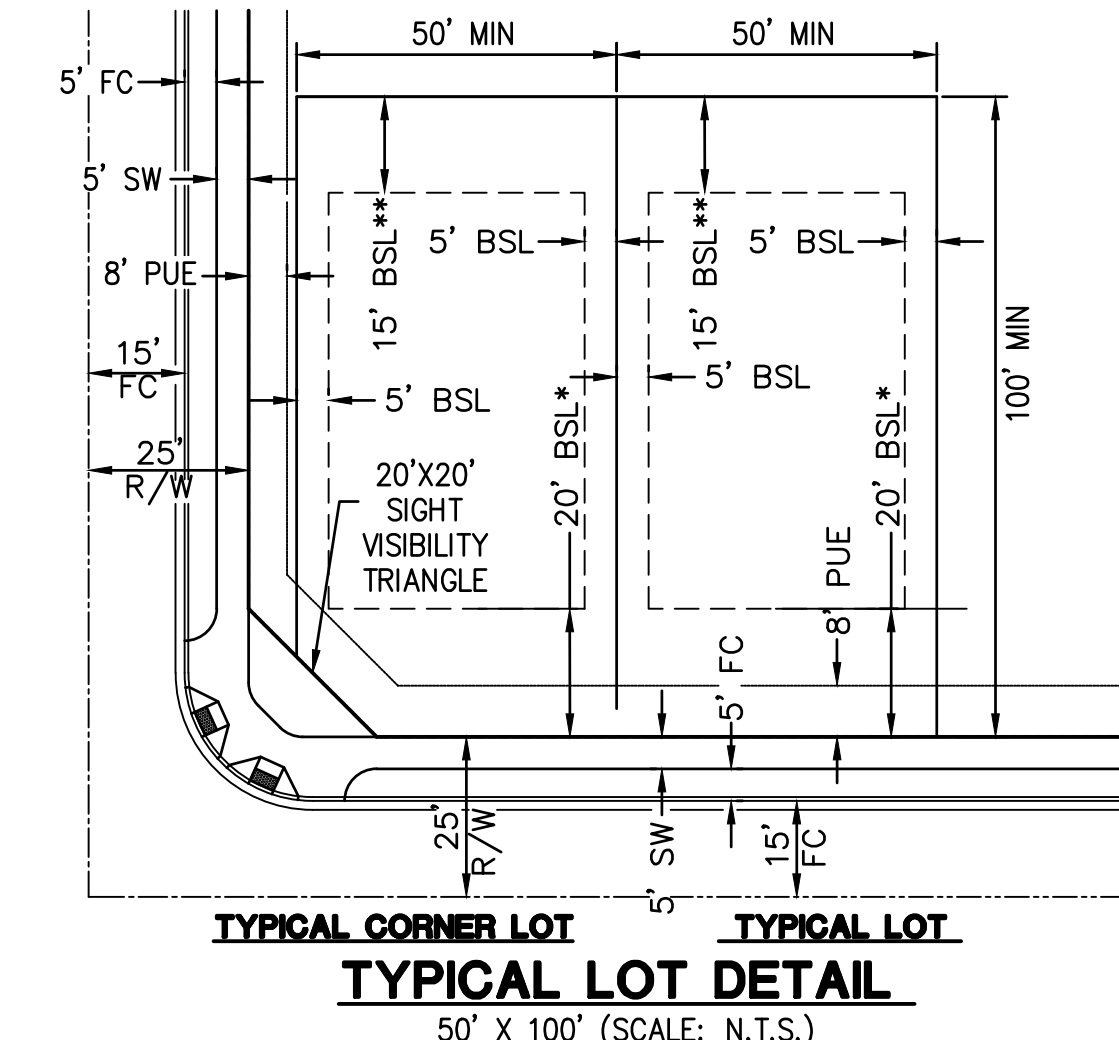
FOUND NAIL W/BRASS TAG "COM BM" AT THE NORTHWEST CORNER OF SOSSAMAN ROAD AND GERMAN ROAD ON BRIDGE PER CITY OF MESA BENCHMARK LIST. ELEVATION: 1356.84' DATUM: NAVD88

BASIS OF BEARING

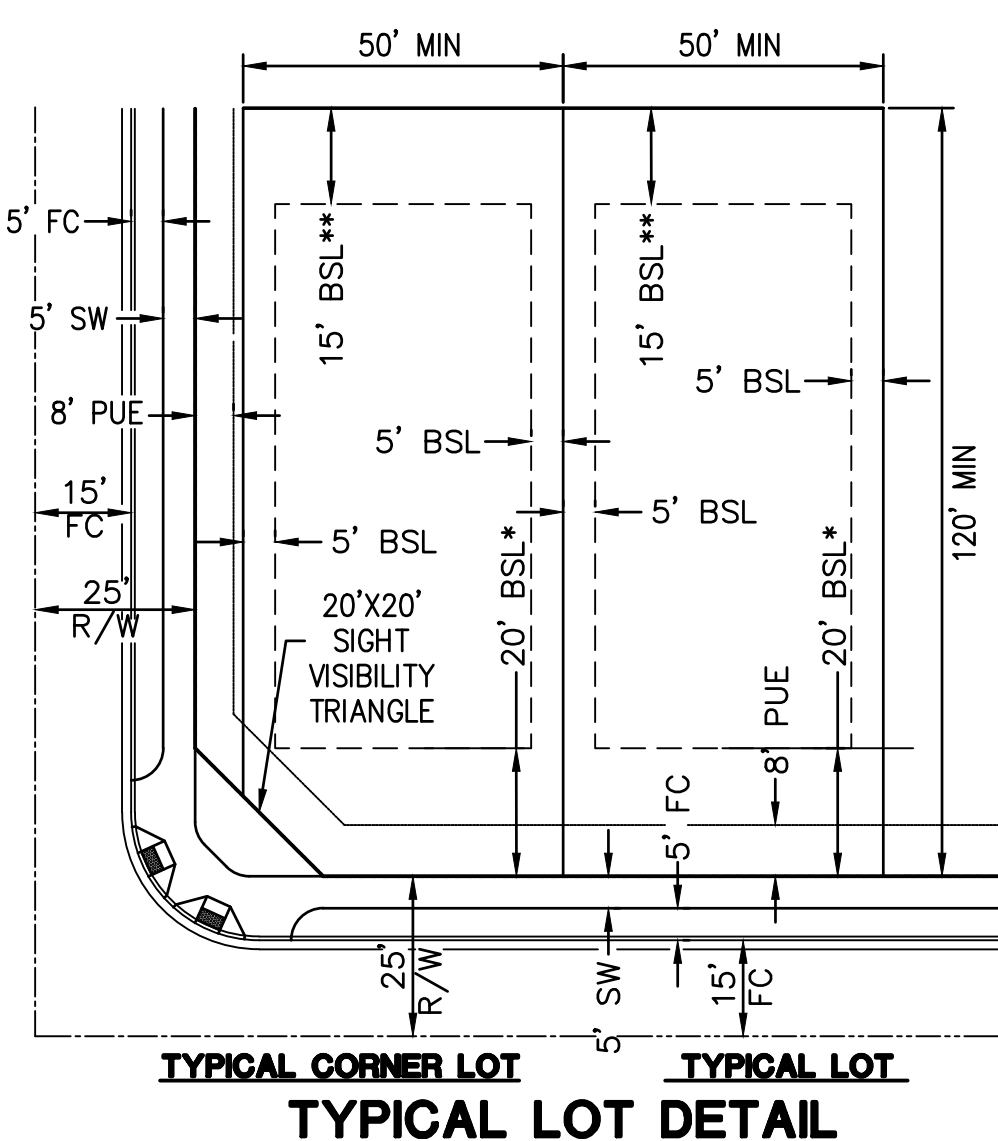
BASIS OF BEARING IS S00°42'17"E ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BETWEEN THE MONUMENTS AS SHOWN HEREON.

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY LIES WITHIN SHADED ZONE "X" WITH A DEFINITION OF: 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN, AREAS OF 1-PERCENT-ANNUAL-CHANCE (BASE FLOOD) SHEET FLOW FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT, AREAS OF BASE FLOOD STREAM FLOODING WITH A CONTRIBUTING DRAINAGE AREA OF LESS THAN 1 SQUARE MILE, OR AREAS PROTECTED FROM THE BASE FLOOD BY LEVEES. NO BEFS OR DEPTHS ARE SHOWN IN THIS ZONE, AND INSURANCE PURCHASE IS NOT REQUIRED. DESIGNATION DETERMINED BY FEMA FLOOD ZONE MAP 04013C2790L, PANEL 2790 OF 3705 AND 04013C2770L, PANEL 2770 OF 3705, EFFECTIVE DATE OCTOBER 16, 2013.



SETBACK NOTE:
*THE FRONT YARD BSL IS 20' TO FRONT OF GARAGE (FRONT ENTRY); 10' TO FRONT OF GARAGE (SIDE ENTRY) AND LIVING AREA; 10' TO COVERED FRONT PORCH.
**THE REAR BSL IS 20' FOR TWO STORY HOMES; 15' FOR SINGLE STORY HOMES AND/OR COVERED PORCHES.



SHEET INDEX

- PP01 PRELIMINARY PLAT - COVER SHEET
- PP02-PP07 PRELIMINARY PLAT
- PP08 PRELIMINARY PLAT TABLES
- PP09 PRELIMINARY PLAT SECTIONS
- PP10 PRELIMINARY PLAT OFFSITE TURN LANE DETAILS

LEGEND

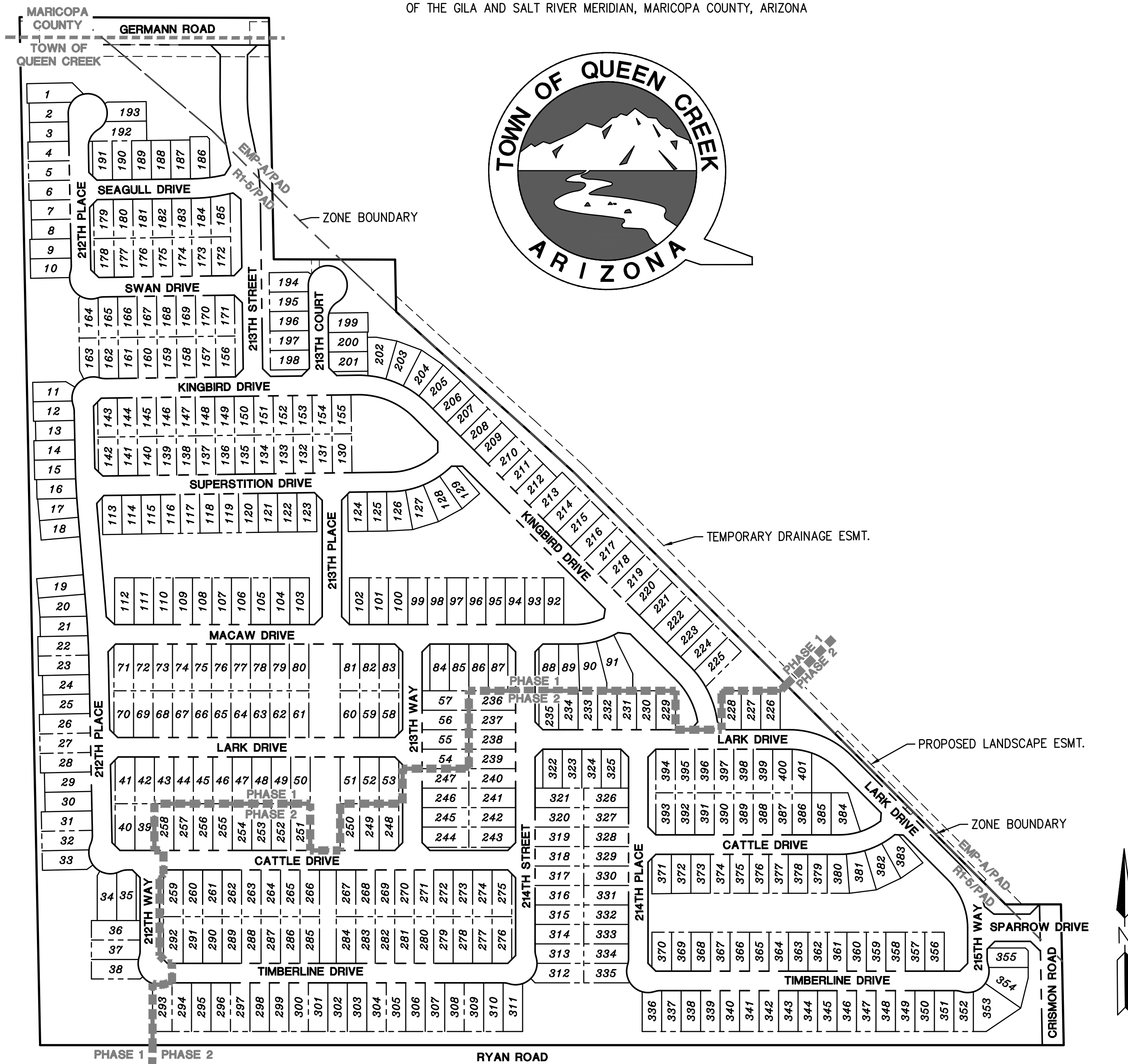
- PARCEL BOUNDARY
- - - LOT LINE
- - - RIGHT OF WAY (TRACT)
- - - CENTER LINE
- - - PUBLIC UTILITY EASEMENT (WIDTH PER PLANS)
- - - SEWER EASEMENT (WIDTH PER PLANS)
- - - WATER EASEMENT (WIDTH PER PLANS)
- - - SIGHT VISIBILITY TRIANGLE (20'X20' SVT)
- 8" W --- 8" WATER (UNLESS NOTED OTHERWISE) WITH WATER VALVES AND TEES
- 8" S --- 8" SEWER WITH MANHOLES AND FLOW DIRECTION
- PROPOSED FIRE HYDRANT WITH WATER VALVE AND TEE
- █ GRADING RETAINING WALLS
- ▤ PRIVATE TRAIL
- FENCE LINE
- RETENTION BASIN
- STORM DRAIN
- CATCH BASIN

PRELIMINARY PLAT

JORDE FARMS

TOWN OF QUEEN CREEK, ARIZONA

A PORTION OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA

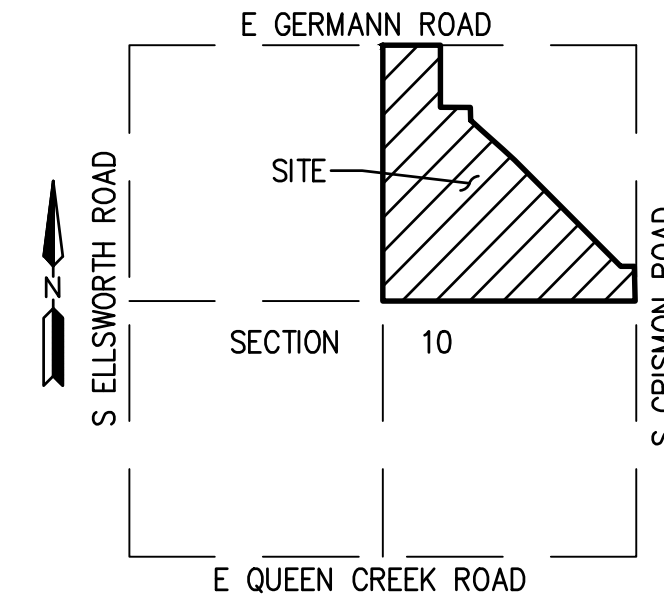


ENGINEER

HILGARTWILSON, LLC
2141 E. HIGHLAND AVE., STE 250
PHOENIX, AZ 85016
PHONE: 602.490.0535
FAX: 602.368.2436
CONTACT: PAUL HAAS, PE

OWNER/CLIENT

SHEA HOMES
8800 NORTH GAINEY CENTER DRIVE, SUITE 350
SCOTTSDALE, ARIZONA 85258
CONTACT: MATT TELBAN



VICINITY MAP
NOT TO SCALE

SITE DATA

ZONING:	R1-5/PAD AND EMP A/PAD
TOTAL LOTS (DU):	401
TOTAL GROSS AREA (A):	94,479 AC
TOTAL R/W FOR ARTERIAL & COLLECTOR (a):	1,485 AC
TOTAL NET AREA (EXCLUSIVE OF ARTERIAL R/W):	92,994 AC
TOTAL OPEN SPACE AREA (R1-5 & EMP-A):	21,561 AC
TOTAL OPEN SPACE IN EMP-A (NON-USEABLE):	1,434 AC
(TRACT A, FF, HH & II)	
TOTAL OPEN SPACE IN R1-5 OPEN (OS):	20,127 AC (21.64% OF NET AREA)
ACTIVE OPEN SPACE IN R1-5 ZONE:	15,327 AC
(76.15% OF OPEN SPACE IN R1-5 ZONE)	
TOTAL COMMERCIAL LAND AREA (C):	0.0 AC
TOTAL INDUSTRIAL LAND IN EMP-A ZONE (I):	1,995 AC
(OPEN SPACE IN EMP-A: 1,434 AC & ONSITE ROAD ROW IN EMP-A: 0.561 AC)	
TOTAL AREA RESERVED FOR SCHOOL SITE (S):	0.0 AC
MAXIMUM NET DENSITY (D=DU/[A-(C+I+S+a)]):	4.407 DU/AC

SITE DATA - PHASE 1

ZONING:	R1-5/PAD AND EMP A/PAD
TOTAL LOTS:	225
TYPICAL LOT SIZE:	50' X 100' & 50' X 120'
MINIMUM LOT SIZE:	5000 SF
MAXIMUM LOT SIZE:	7005 SF
AVERAGE LOT SIZE:	5580 SF

SITE DATA - PHASE 2

ZONING:	R1-5/PAD AND EMP A/PAD
TOTAL LOTS:	176
TYPICAL LOT SIZE:	50' X 100' & 50' X 120'
MINIMUM LOT SIZE:	5000 SF
MAXIMUM LOT SIZE:	9505 SF
AVERAGE LOT SIZE:	5726 SF

NOTES:

- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE TOWN AND THE CERTIFICATION OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THIS SUBDIVISION SHALL COMPLY WITH THE ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.
- THIS PROJECT IS WITHIN AN AIRPORT IMPACT OVERLAY DISTRICT.
- ALL ONSITE PRIVATE IRRIGATION DITCHES ARE TO BE ABANDONED.
- THIS PROPERTY IS LOCATED IN PROXIMITY TO ADJACENT LAND DESIGNATED FOR DEVELOPMENT AS INDUSTRIAL, COMMERCIAL, AND/OR MULTI-FAMILY USES AND MAY BE SUBJECT TO POTENTIAL NOISE INTRUSION VIBRATIONS DUST AND ALL OTHER EFFECTS THAT MAY BE ASSOCIATED WITH SUCH USES. THE OWNER DOES RELEASE AND DISCHARGE THE TOWN OF QUEEN CREEK, THE DEVELOPER, AND THE HOMEOWNER FROM ANY LIABILITY FROM ANY CLAIMS FOR FUTURE DAMAGES AND COMPLAINTS OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE FROM THE DEVELOPMENT OF SUCH USES.
- THIS PROPERTY IS LOCATED IN PROXIMITY TO LAND DESIGNATED FOR DEVELOPMENT AS INDUSTRIAL, COMMERCIAL, AND/OR MULTI-FAMILY USES AND MAY BE SUBJECT TO POTENTIAL NOISE INTRUSION VIBRATIONS DUST AND ALL OTHER EFFECTS THAT MAY BE ASSOCIATED WITH SUCH USES.
- MAINTENANCE OF ALL COMMON AREAS, TRACTS AND LANDSCAPING IN ALL RIGHTS-OF-WAY ON ALL LOCAL, ARTERIAL AND COLLECTOR ROADWAYS IS THE RESPONSIBILITY OF THE HOME OWNER'S ASSOCIATION.
- SPEED HUMPS/BUMPS WILL BE USED WHERE TANGENT LENGTHS EXCEED 900'.

REV: _____

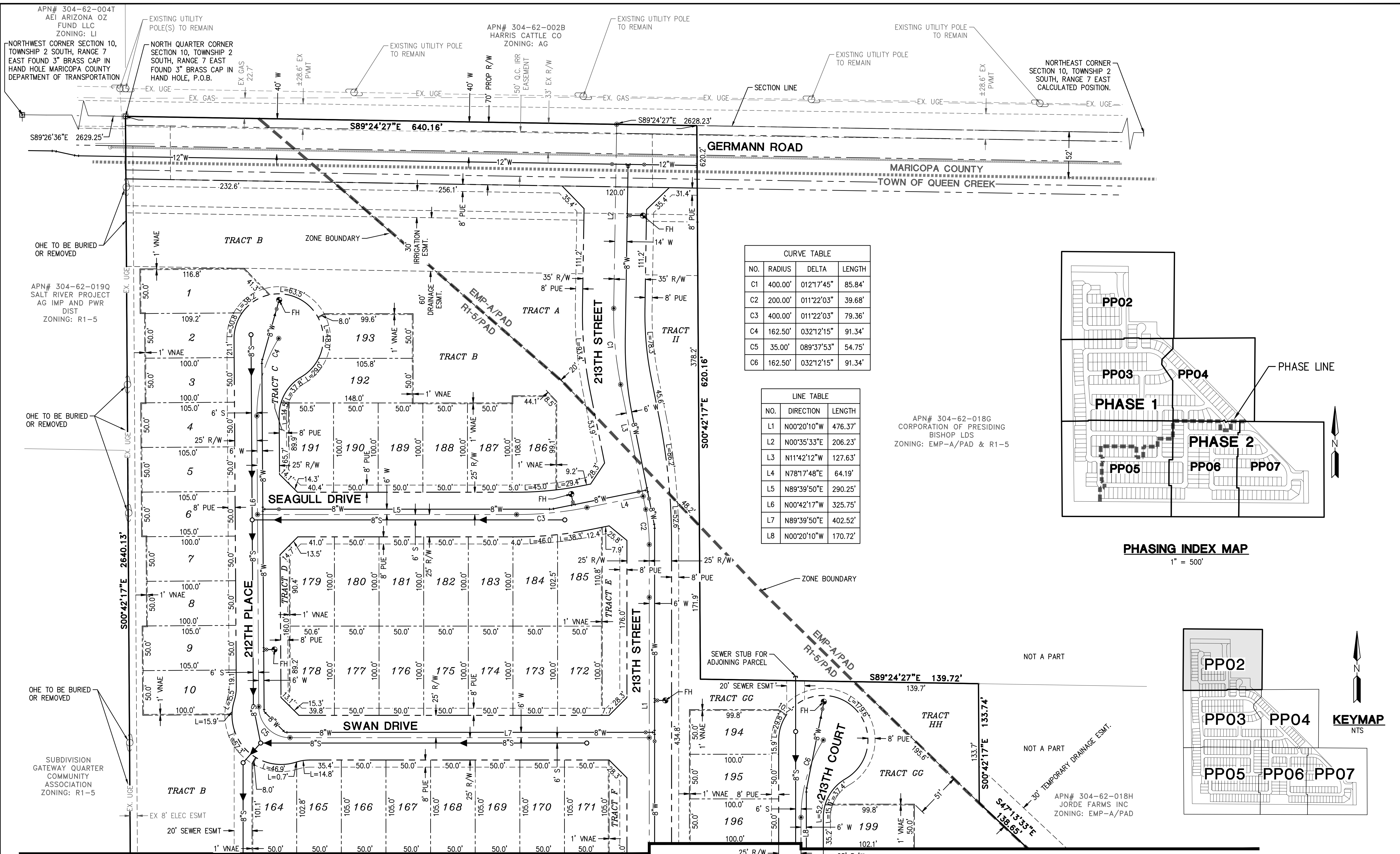
HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE
2141 E. HIGHLAND AVE., STE. 250 | PHOENIX, AZ 85016
www.hilgartwilson.com



JORDE FARMS
GERMANN ROAD & CRISMON ROAD
QUEEN CREEK, ARIZONA
PRELIMINARY PLAT - COVER SHEET

HILGARTWILSON
PROJ NO.: 2149
DATE: APR 2020
SCALE: AS SHOWN
DRAWN: DF
DESIGNED: DR
APPROVED: PH
DWG. NO. **PP01**
SHT. 1 OF 10

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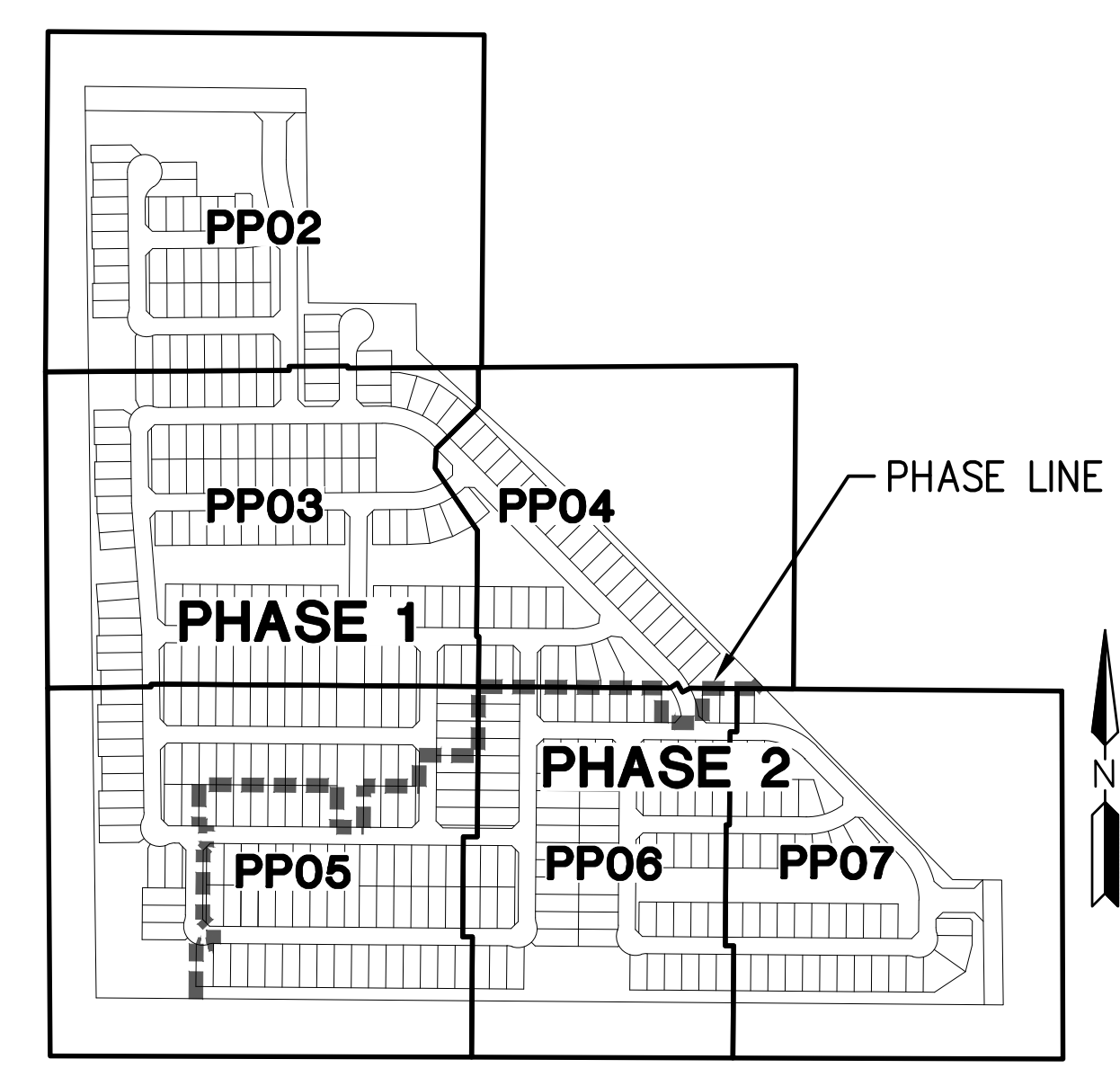
CURVE TABLE

NO.	RADIUS	DELTA	LENGTH
C1	400.00'	012°17'45"	85.84'
C2	200.00'	011°22'03"	39.68'
C3	400.00'	011°22'03"	79.36'
C4	162.50'	032°12'15"	91.34'
C5	35.00'	089°37'53"	54.75'
C6	162.50'	032°12'15"	91.34'

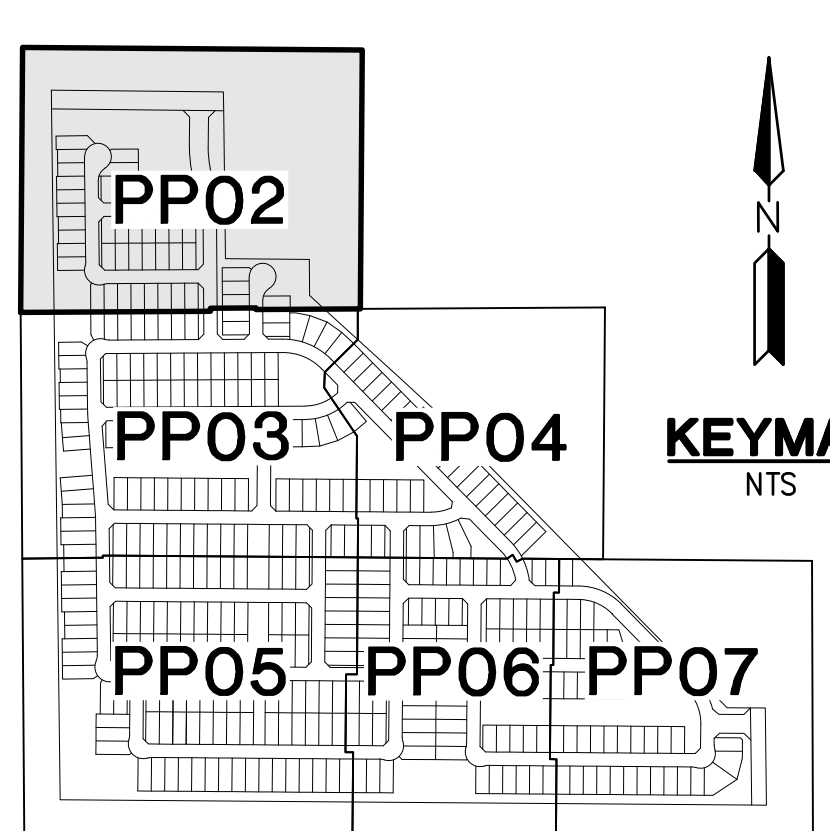
LINE TABLE

NO.	DIRECTION	LENGTH
L1	N00°20'10"W	476.37'
L2	N00°35'33"E	206.23'
L3	N11°42'12"W	127.63'
L4	N78°17'48"E	64.19'
L5	N89°39'50"E	290.25'
L6	N00°42'17"W	325.75'
L7	N89°39'50"E	402.52'
L8	N00°20'10"W	170.72'

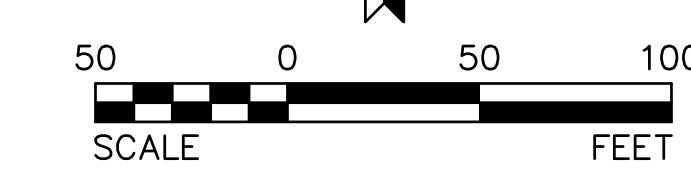
APN# 304-62-018G
CORPORATION OF PRESIDING
BISHOP LDS
ZONING: EMP-A/PAD & R1-5



PHASING INDEX MAP
1" = 500'



KEYMAP
NTS



REV:

HILGARTWILSON
ENGINEER | PLANNING | SURVEY | MANAGEMENT
2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016
www.hilgartwilson.com

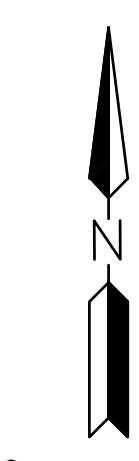


JORDE FARMS
GERMANN ROAD & CRISMON ROAD
QUEEN CREEK, ARIZONA
PRELIMINARY PLAT

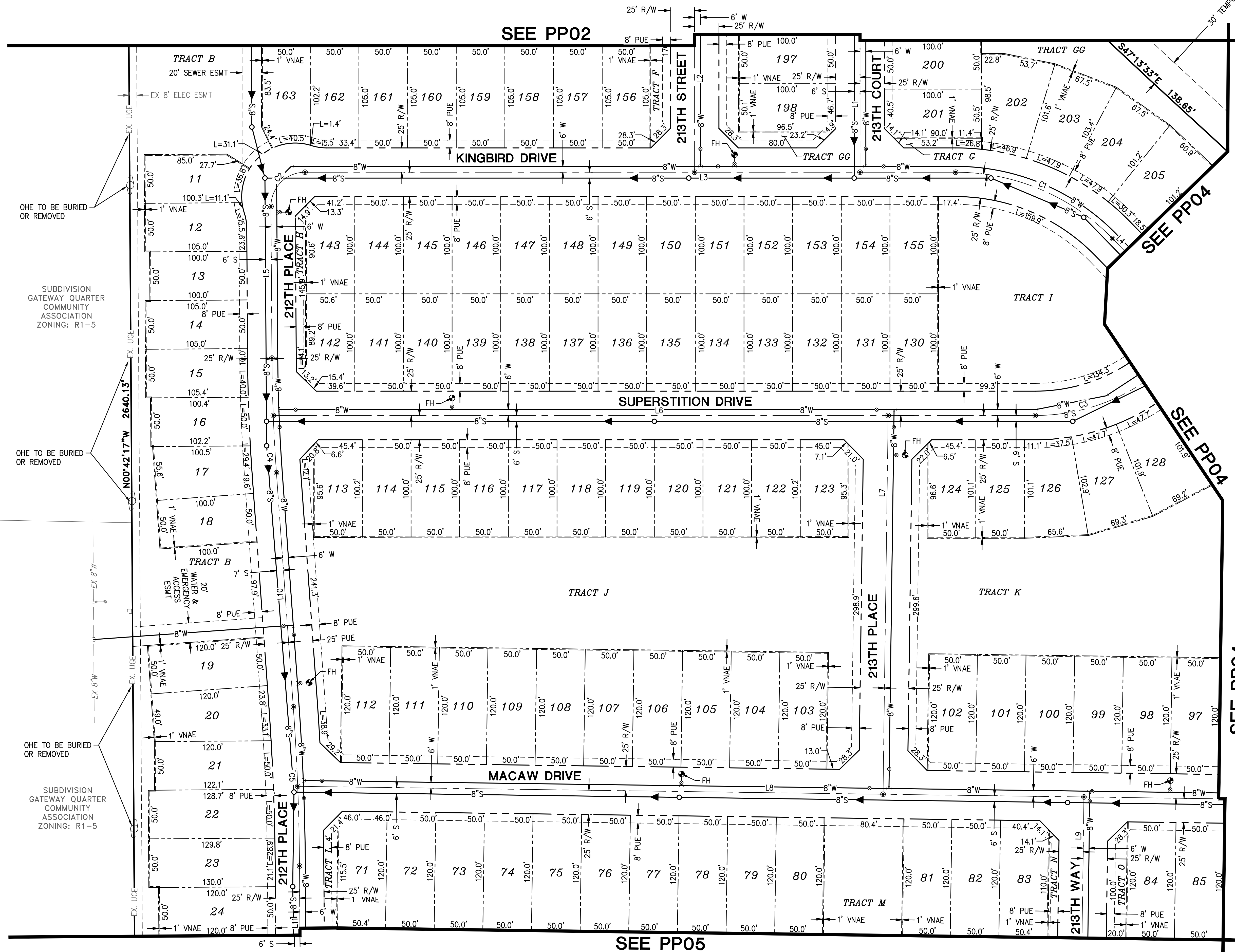
HILGARTWILSON
PROJ NO.: 2149
DATE: APR 2020
SCALE: 1" = 50'
DRAWN: DF
DESIGNED: DR
APPROVED: PH

DWG. NO.
PP02

SHT. 2 OF 10



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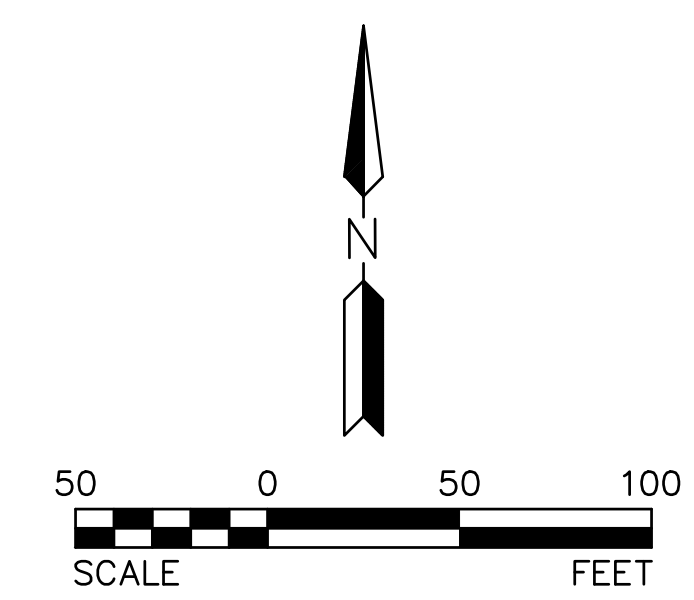
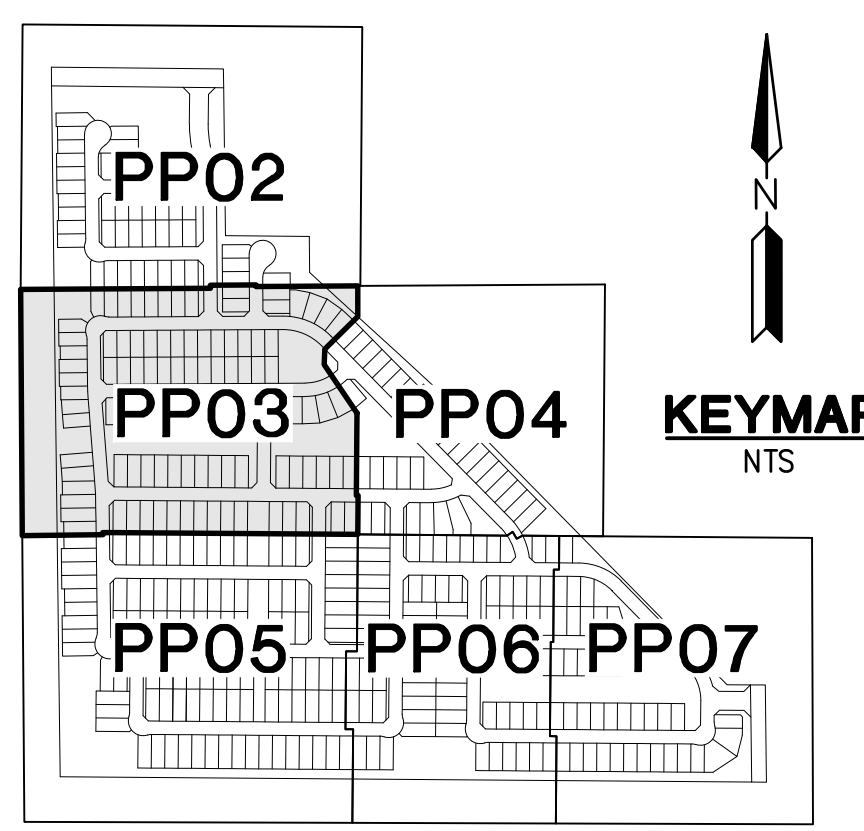


LINE TABLE

NO.	DIRECTION	LENGTH
L1	N00°20'10"W	170.72'
L2	N00°20'10"W	476.37'
L3	N89°39'50"E	668.62'
L4	S44°31'59"E	951.93'
L5	N00°42'17"W	100.00'
L6	N89°39'50"E	783.12'
L7	N00°26'20"E	389.27'
L8	S89°33'40"E	1225.35'
L9	N00°26'20"E	580.00'
L10	N04°27'22"W	241.28'
L11	N00°42'17"W	463.94'

CURVE TABLE

NO.	RADIUS	DELTA	LENGTH
C1	225.00'	045°48'11"	179.87'
C2	35.00'	090°22'07"	55.20'
C3	200.00'	044°11'49"	154.28'
C4	1800.00'	003°45'05"	117.85'
C5	2500.00'	003°45'05"	163.69'



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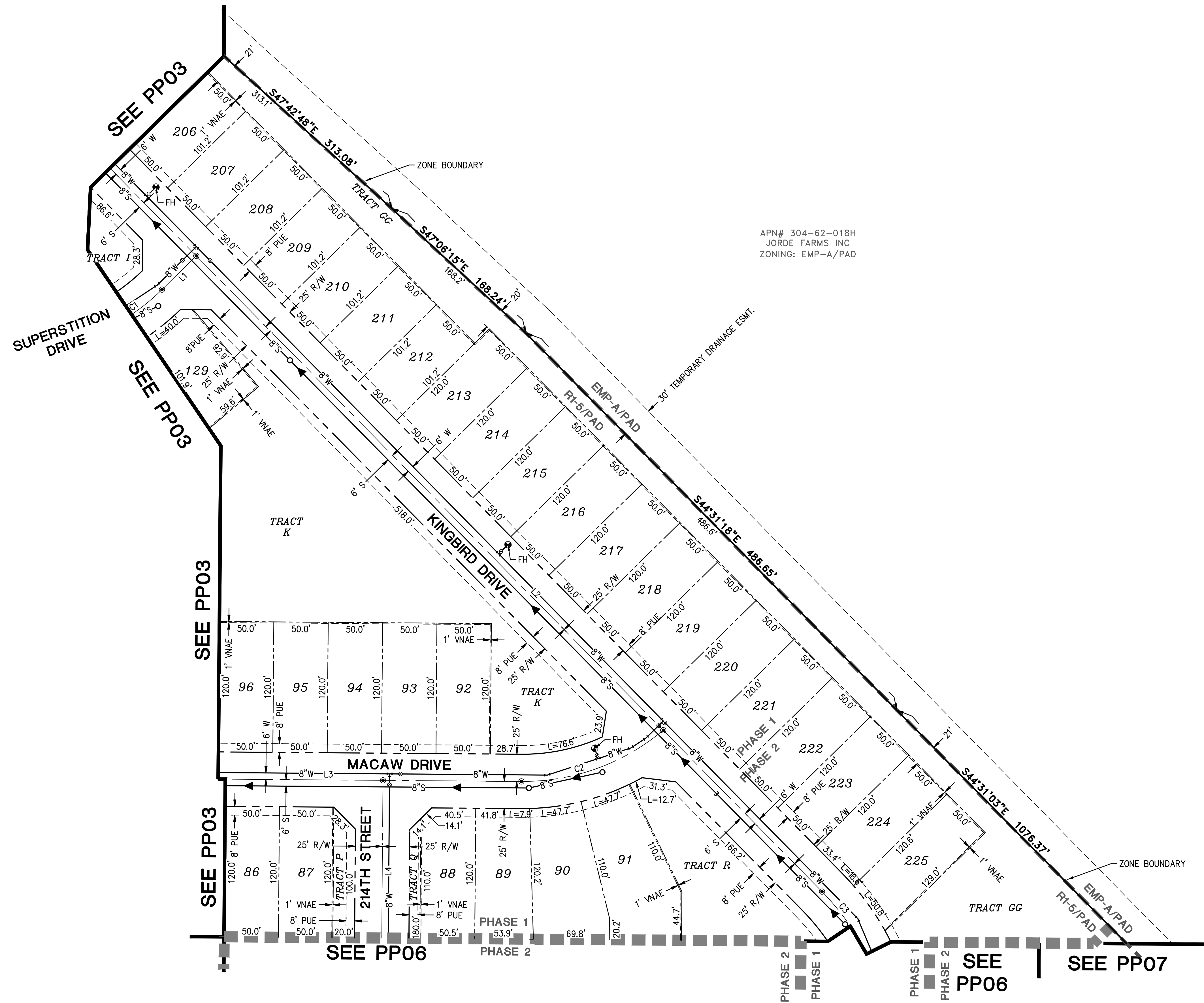
JORDE FARMS
 GERMANN ROAD & CRISMON ROAD
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PRELIMINARY PLAT

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 PROJ NO.: 2149
 DATE: APR 2020
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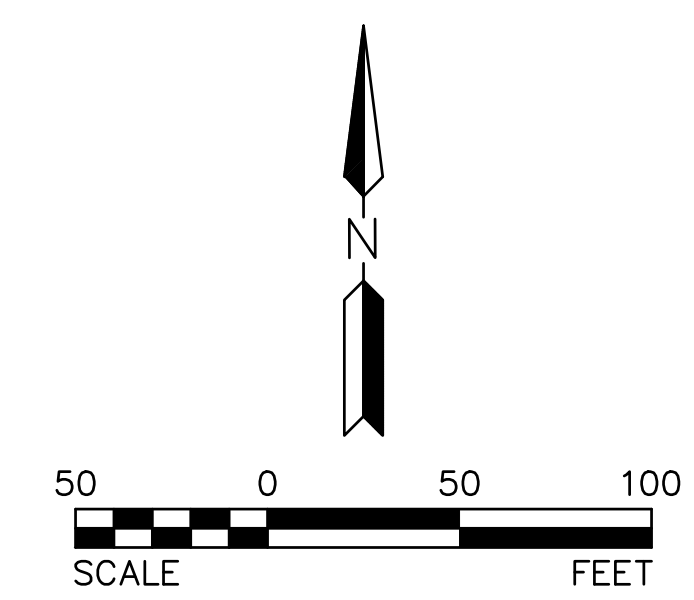
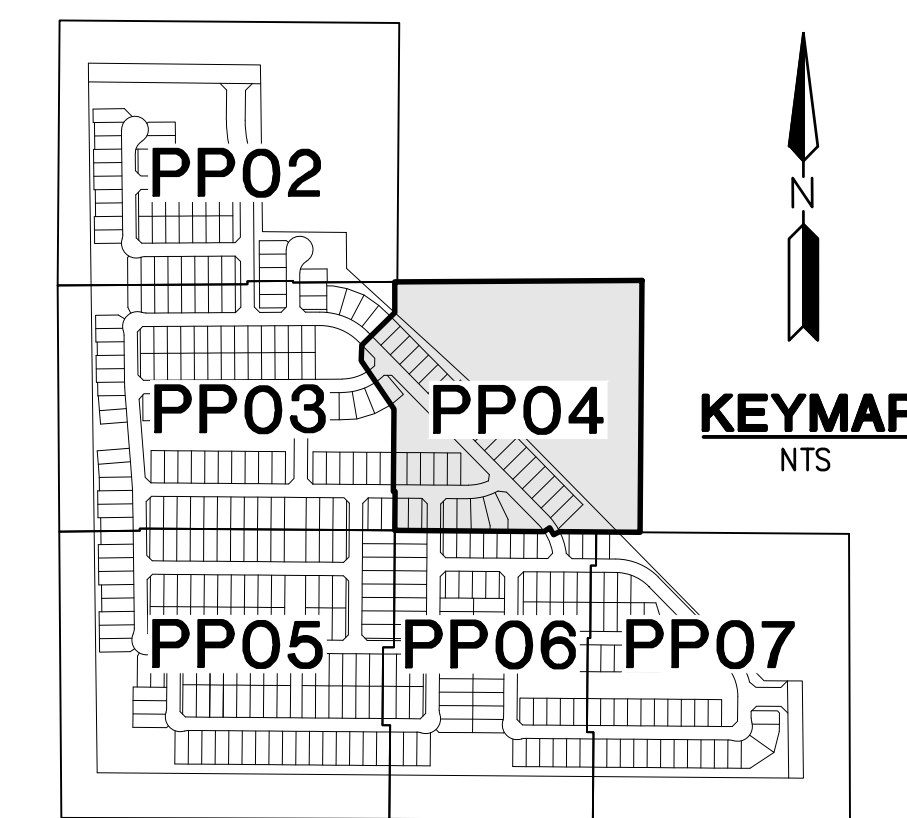
DWG. NO.
PP03
 SHT. 3 OF 10

CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	200.00'	044°11'49"	154.28'
C2	200.00'	040°33'41"	141.59'
C3	225.00'	044°58'19"	176.60'

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	N45°28'01"E	44.32'
L2	S44°31'59"E	951.93'
L3	S89°33'40"E	1225.35'
L4	N00°26'20"E	835.00'



APN# 304-62-018H
 JORDE FARMS INC
 ZONING: EMP-A/PAD



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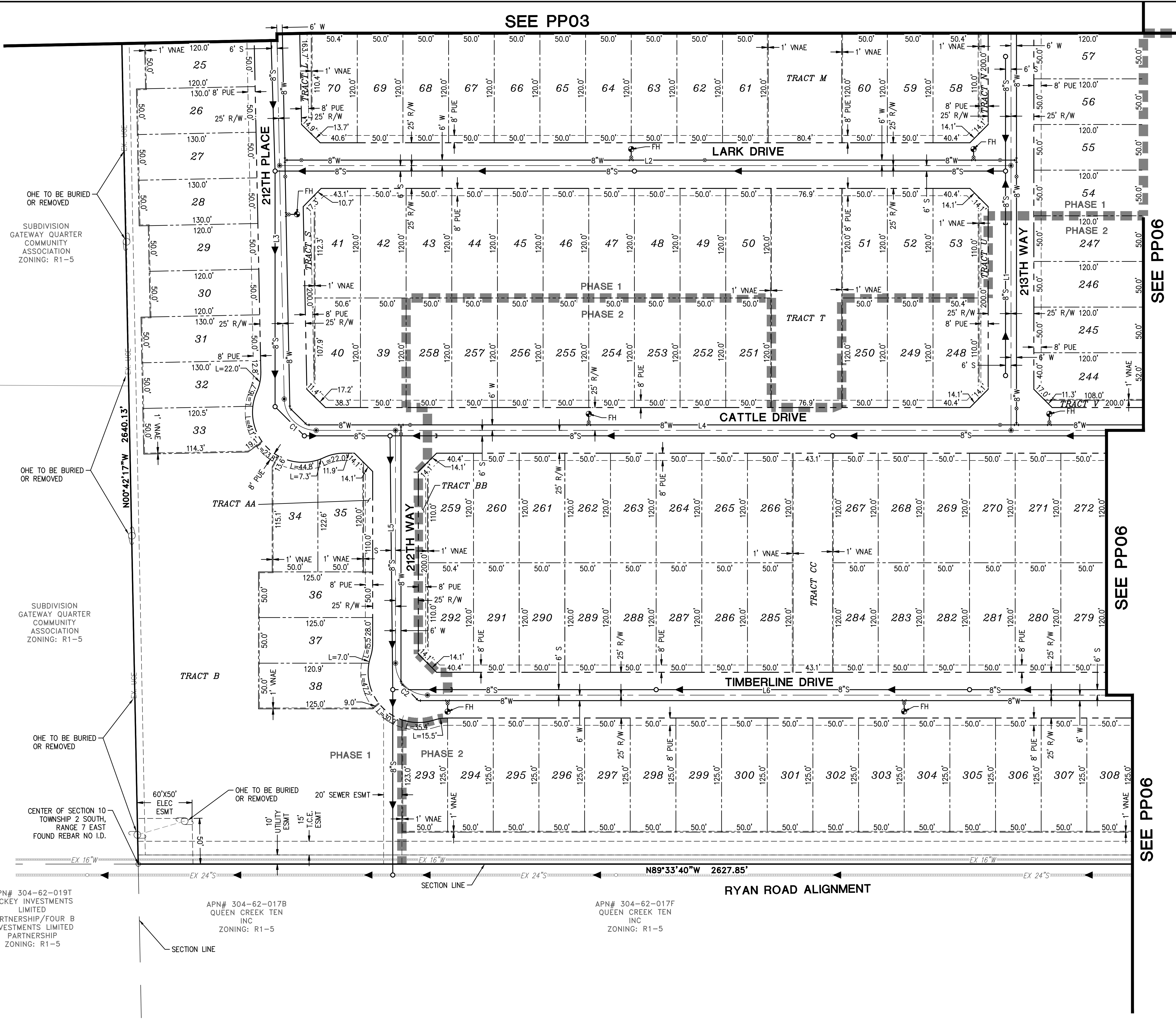
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DWG. NO.
PP04

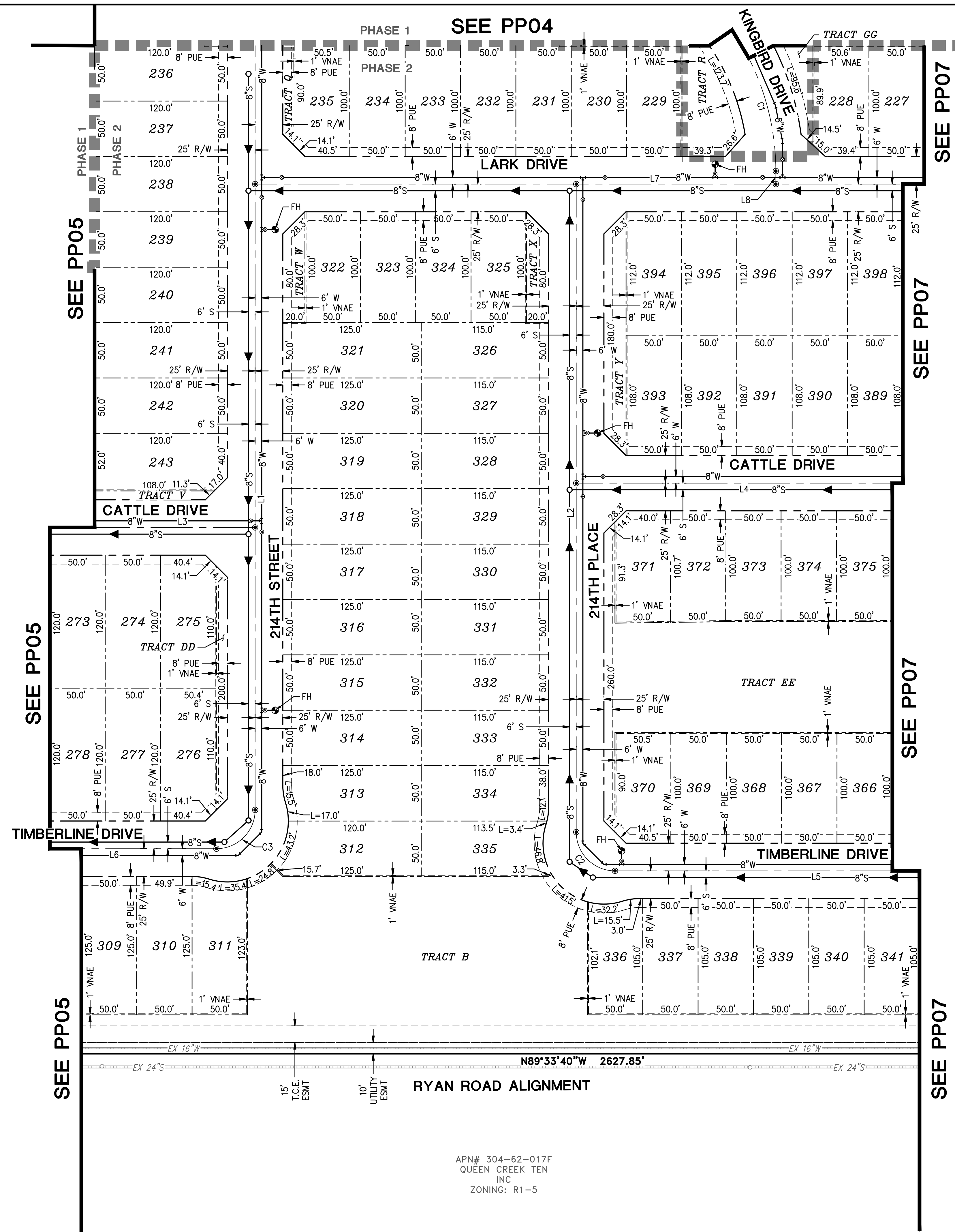
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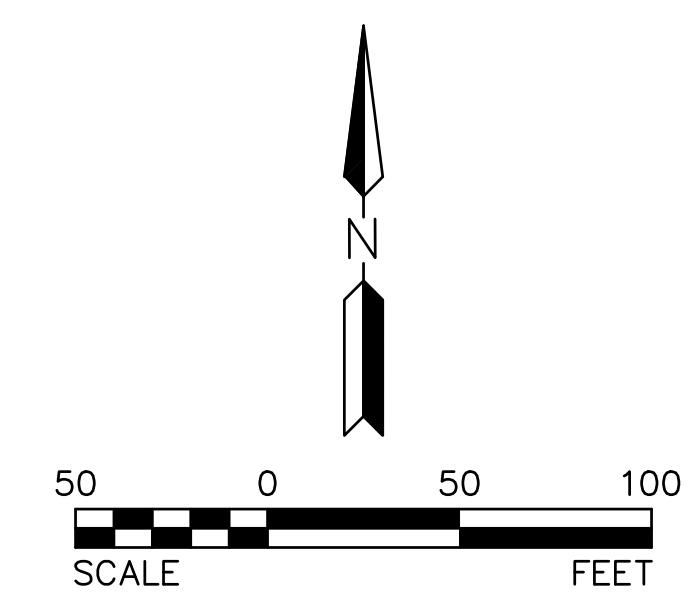
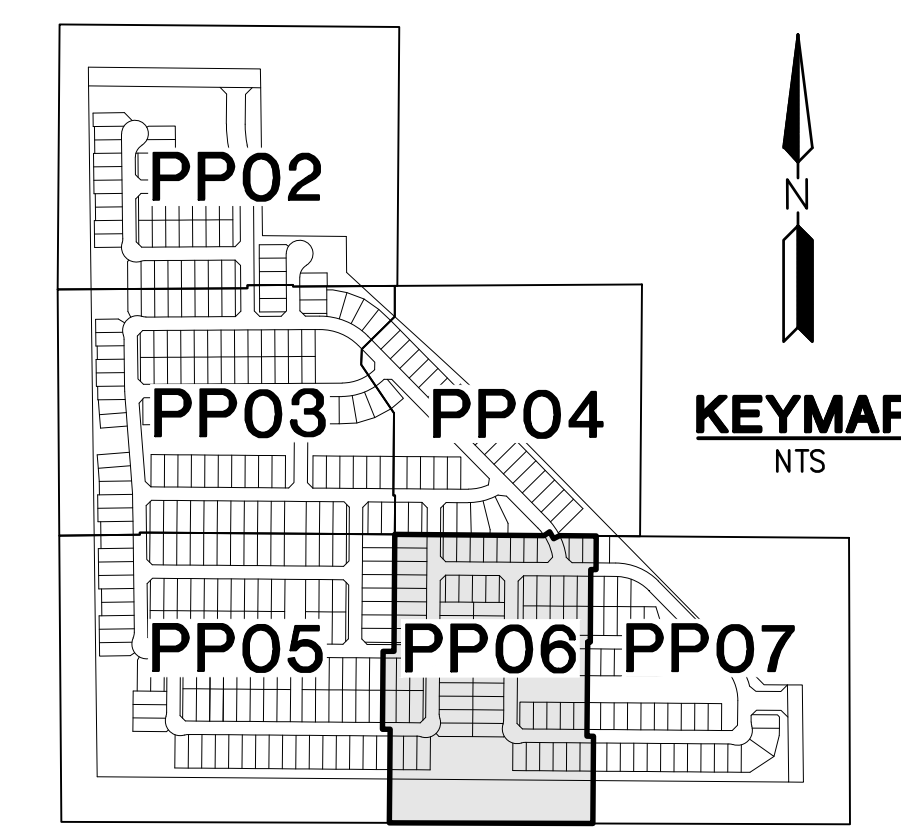


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CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	225.00'	044°58'19"	176.60'
C2	35.00'	090°00'00"	54.98'
C3	35.00'	090°00'00"	54.98'

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	N00°26'20"E	835.00'
L2	N00°26'20"E	585.00'
L3	S89°33'40"E	1050.87'
L4	S89°33'40"E	516.63'
L5	S89°33'40"E	800.41'
L6	S89°33'40"E	893.98'
L7	S89°33'40"E	677.31'
L8	S00°26'20"W	11.76'



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 PROJ NO.: 2149
 DATE: APR 2020
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 DRAWN: DF
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DWG. NO. **PP06**
 SHT. 6 OF 10

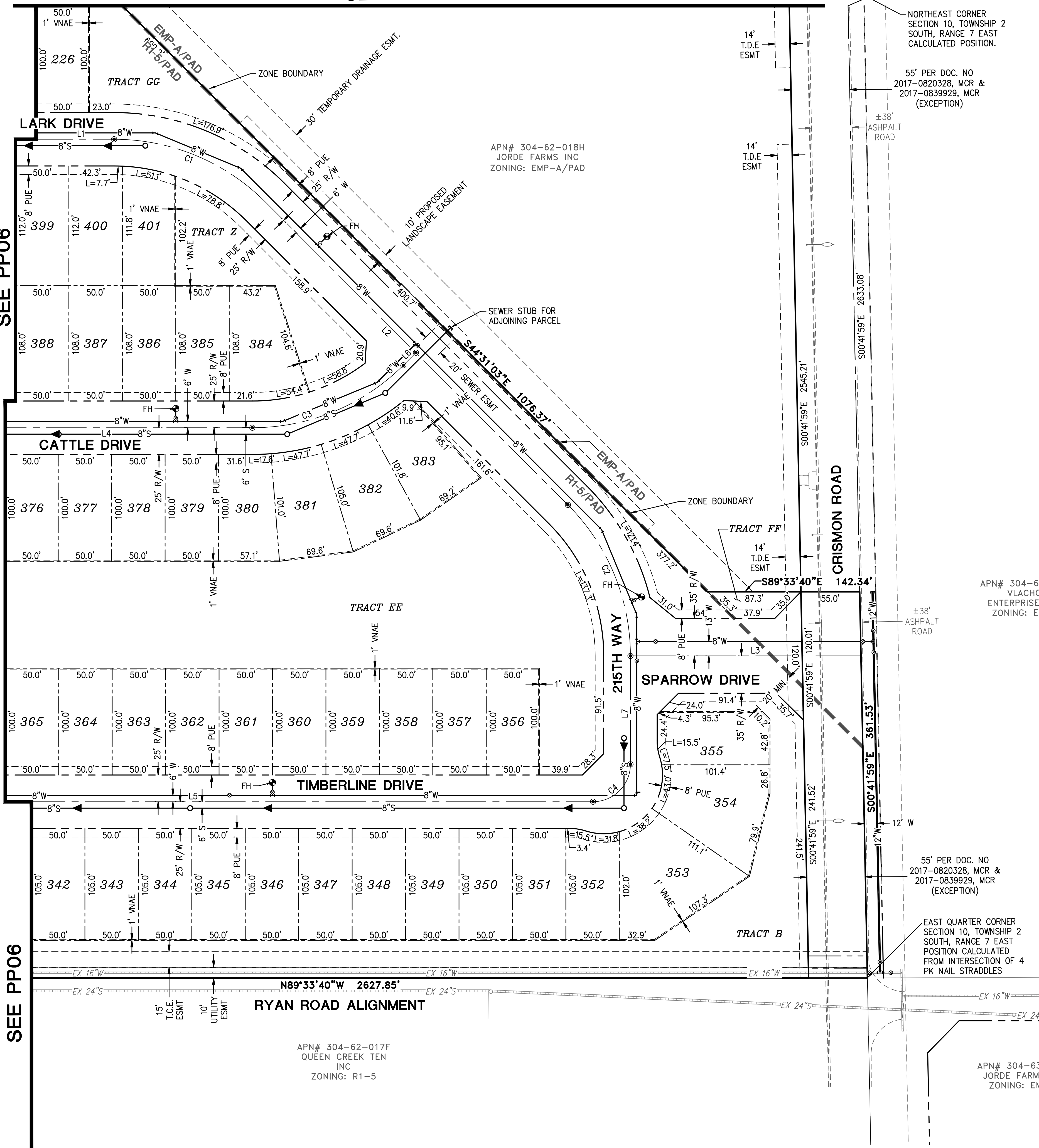
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SEE PP04

SEE PP06

SEE PP06

SEE PP06

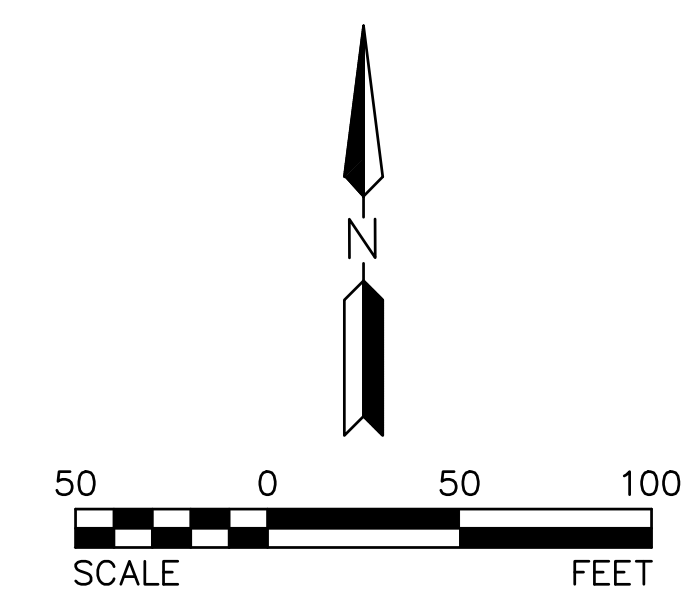
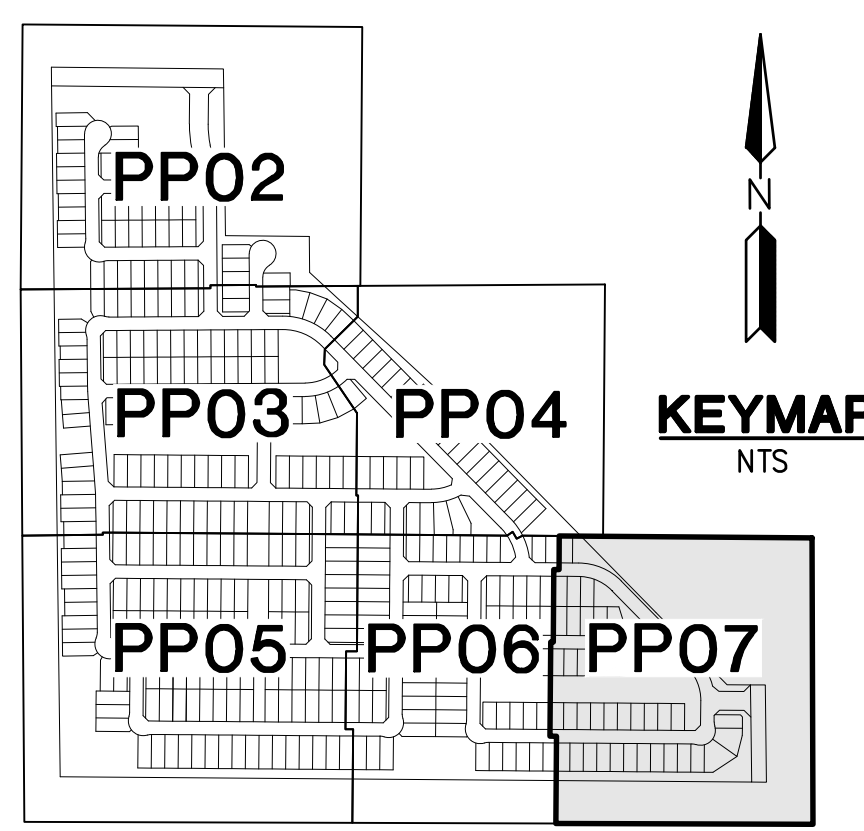
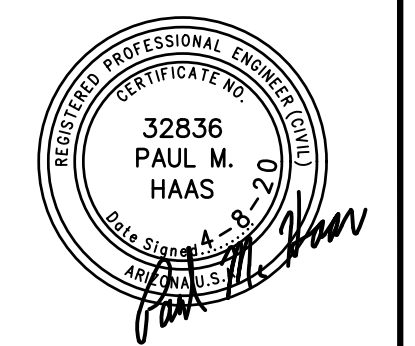


CURVE TABLE			
NO.	RADIUS	DELTA	LENGTH
C1	200.00'	045°02'37"	157.23'
C2	200.00'	044°57'23"	156.93'
C3	200.00'	044°57'23"	156.93'
C4	35.00'	090°00'00"	54.98'

LINE TABLE		
NO.	DIRECTION	LENGTH
L1	S89°33'40"E	677.31'
L2	S44°31'03"E	199.38'
L3	S89°33'39"E	215.72'
L4	S89°33'40"E	516.63'
L5	S89°33'40"E	800.41'
L6	N45°28'57"E	16.63'
L7	S00°26'20"W	101.46'

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HILGARTWILSON	PROJ NO.: 2149
	DATE: APR 2020
	SCALE: 1" = 50'
	DRAWN: DF
	DESIGNED: DR
	APPROVED: PH
DWG. NO. PP07	
SHT. 7 OF 10	

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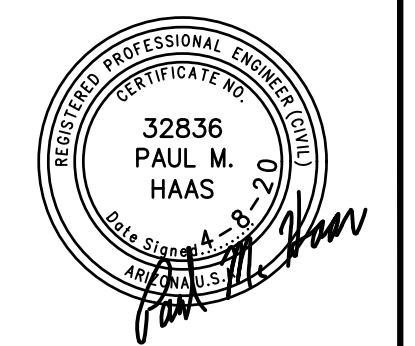
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LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)
1	6441	0.148	21	6059	0.139	41	6046	0.139	61	6000	0.138	81	6000	0.138	101	6000	0.138	121	5000	0.115	141	5000	0.115	161	5250	0.121
2	5085	0.117	22	6469	0.148	42	6000	0.138	62	6000	0.138	82	6000	0.138	102	6000	0.138	122	5005	0.115	142	5000	0.115	162	5235	0.120
3	5000	0.115	23	6498	0.149	43	6000	0.138	63	6000	0.138	83	6000	0.138	103	6000	0.138	123	5002	0.115	143	5015	0.115	163	5000	0.115
4	5250	0.121	24	6000	0.138	44	6000	0.138	64	6000	0.138	84	6000	0.138	104	6000	0.138	124	5047	0.116	144	5000	0.115	164	5112	0.117
5	5250	0.121	25	6000	0.138	45	6000	0.138	65	6000	0.138	85	6000	0.138	105	6000	0.138	125	5057	0.116	145	5000	0.115	165	5240	0.120
6	5250	0.121	26	6500	0.149	46	6000	0.138	66	6000	0.138	86	6000	0.138	106	6000	0.138	126	5768	0.132	146	5000	0.115	166	5250	0.121
7	5000	0.115	27	6500	0.149	47	6000	0.138	67	6000	0.138	87	6000	0.138	107	6000	0.138	127	5909	0.136	147	5000	0.115	167	5250	0.121
8	5000	0.115	28	6500	0.149	48	6000	0.138	68	6000	0.138	88	6010	0.138	108	6000	0.138	128	5873	0.135	148	5000	0.115	168	5250	0.121
9	5250	0.121	29	6000	0.138	49	6000	0.138	69	6000	0.138	89	6211	0.143	109	6000	0.138	129	5409	0.124	149	5000	0.115	169	5250	0.121
10	5174	0.119	30	6000	0.138	50	6000	0.138	70	6000	0.138	90	7504	0.172	110	6000	0.138	130	5000	0.115	150	5000	0.115	170	5250	0.121
11	5032	0.116	31	6500	0.149	51	6000	0.138	71	6037	0.139	91	8596	0.197	111	6000	0.138	131	5000	0.115	151	5000	0.115	171	5250	0.121
12	5198	0.119	32	6347	0.146	52	6000	0.138	72	6000	0.138	92	6000	0.138	112	6000	0.138	132	5000	0.115	152	5000	0.115	172	5000	0.115
13	5000	0.115	33	6125	0.141	53	6000	0.138	73	6000	0.138	93	6000	0.138	113	5004	0.115	133	5000	0.115	153	5000	0.115	173	5000	0.115
14	5250	0.121	34	6081	0.140	54	6000	0.138	74	6000	0.138	94	6000	0.138	114	5005	0.115	134	5000	0.115	154	5000	0.115	174	5000	0.115
15	5256	0.121	35	6375	0.146	55	6000	0.138	75	6000	0.138	95	6000	0.138	115	5000	0.115	135	5000	0.115	155	5000	0.115	175	5000	0.115
16	5061	0.116	36	6250	0.143	56	6000	0.138	76	6000	0.138	96	6000	0.138	116	5000	0.115	136	5000	0.115	156	5250	0.121	176	5000	0.115
17	5232	0.120	37	6216	0.143	57	6000	0.138	77	6000	0.138	97	6000	0.138	117	5000	0.115	137	5000	0.115	157	5250	0.121	177	5000	0.115
18	5000	0.115	38	6182	0.142	58	6000	0.138	78	6000	0.138	98	6000	0.138	118	5000	0.115	138	5000	0.115	158	5250	0.121	178	5000	0.115
19	6000	0.138	39	6000	0.138	59	6000	0.138	79	6000	0.138	99	6000	0.138	119	5000	0.115	139	5000	0.115	159	5250	0.121	179	5012	0.115
20	6352	0.146	40	6000	0.138	60	6000	0.138	80	6000	0.138	100	6000	0.138	120	5000	0.115	140	5000	0.115	160	5250	0.121	180	5000	0.115

LOT TABLE			LOT TABLE			LOT TABLE		
LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)	LOT NO.	AREA (SQ.FT)	AREA (ACRES)
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362	5000	0.115	382	5988	0.137			
363	5000	0.115	383	5854	0.134			
364	5000	0.115	384	6378	0.146			
365	5000	0.115	385	5400	0.124			
366	5000	0.115	386	5400	0.124			
367	5000	0.115	387	5400	0.124			
368	5000	0.115	388	5400	0.124			
369	5000	0.115	389	5400	0.124			
370	5000	0.115	390	5400	0.124			
371	5000	0.115	391	5400	0.124			
372	5017	0.115	392	5400	0.124			
373	5000	0.115	393	5400	0.124			
374	5000	0.115	394	5600	0.129			
375	5000	0.115	395	5600	0.129			
376	5000	0.115	396	5600	0.129			
377	5000	0.115	397	5600	0.129			
378	5000	0.115	398	5600	0.129			
379	5000	0.115	399	5600	0.129			
380	5318	0.122	400	5600	0.129			

TRACT TABLE			TRACT TABLE		
TRACT	AREA (ACRES)	USE	TRACT	AREA (ACRES)	USE
TRACT A	0.7710	LANDSCAPE & DRAINAGE, (EMP-A UNUSABLE)	TRACT U	0.0482	LANDSCAPE
TRACT B	8.1940	ACTIVE OPEN SPACE, LANDSCAPE & DRAINAGE	TRACT V	0.0382	LANDSCAPE
TRACT C	0.0197	LANDSCAPE	TRACT W	0.0413	LANDSCAPE
TRACT D	0.0383	LANDSCAPE	TRACT X	0.0413	LANDSCAPE
TRACT E	0.1265	LANDSCAPE	TRACT Y	0.0918	LANDSCAPE
TRACT F	0.0872	LANDSCAPE	TRACT Z	0.2837	LANDSCAPE
TRACT G	0.0198	LANDSCAPE	TRACT AA	0.0264	LANDSCAPE
TRACT H	0.0390	LANDSCAPE	TRACT BB	0.0482	LANDSCAPE
TRACT I	0.7835	ACTIVE OPEN SPACE, LANDSCAPE & DRAINAGE	TRACT CC	0.2377	ACTIVE OPEN SPACE, LANDSCAPE
TRACT J	1.6995	ACTIVE OPEN SPACE, LANDSCAPE & DRAINAGE	TRACT DD	0.0482	LANDSCAPE
TRACT K	2.1276	ACTIVE OPEN SPACE, LANDSCAPE & DRAINAGE	TRACT EE	2.2856	ACTIVE OPEN SPACE, LANDSCAPE & DRAINAGE
TRACT L	0.0619	LANDSCAPE	TRACT FF	0.0359	LANDSCAPE (EMP-A UNUSABLE)
TRACT M	0.4432	LANDSCAPE & DRAINAGE	TRACT GG	2.2468	LANDSCAPE & DRAINAGE
TRACT N	0.0482	LANDSCAPE	TRACT HH	0.2144	LANDSCAPE & DRAINAGE (EMP-A UNUSABLE)
TRACT O	0.0505	LANDSCAPE	TRACT II	0.4130	LANDSCAPE & DRAINAGE (EMP-A UNUSABLE)
TRACT P	0.0505	LANDSCAPE			
TRACT Q	0.0436	LANDSCAPE			
TRACT R	0.3835	LANDSCAPE			
TRACT S	0.0488	LANDSCAPE			
TRACT T	0.4238	LANDSCAPE			

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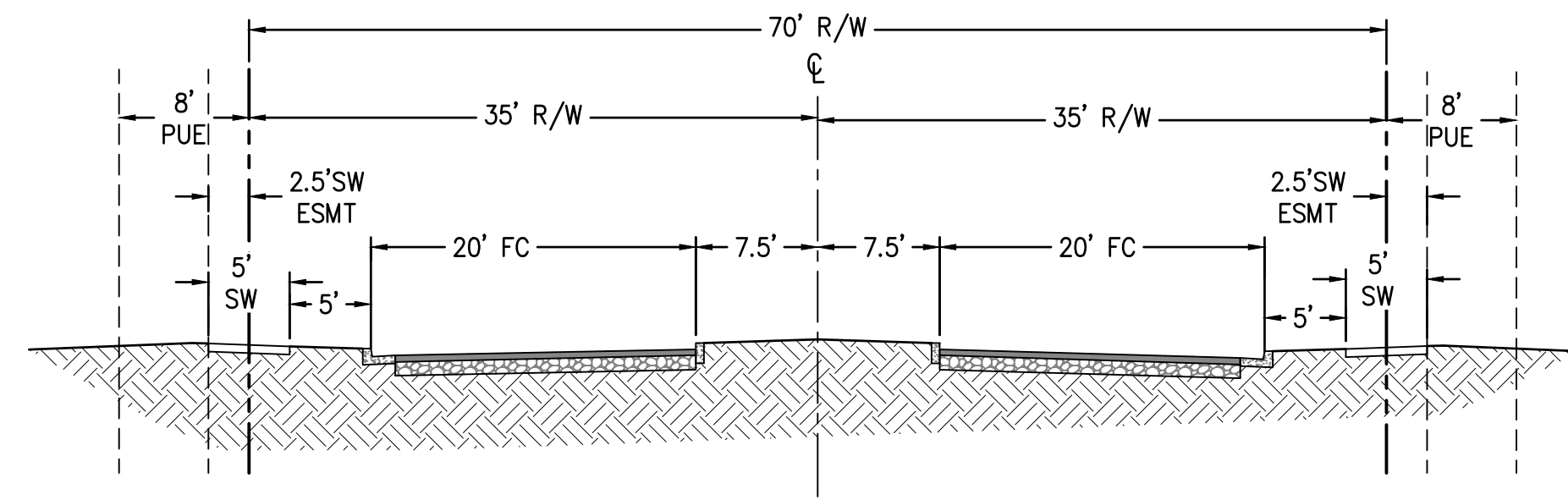


JORDE FARMS
 GERMANN ROAD & CRISON ROAD
 QUEEN CREEK, ARIZONA
PRELIMINARY TABLES

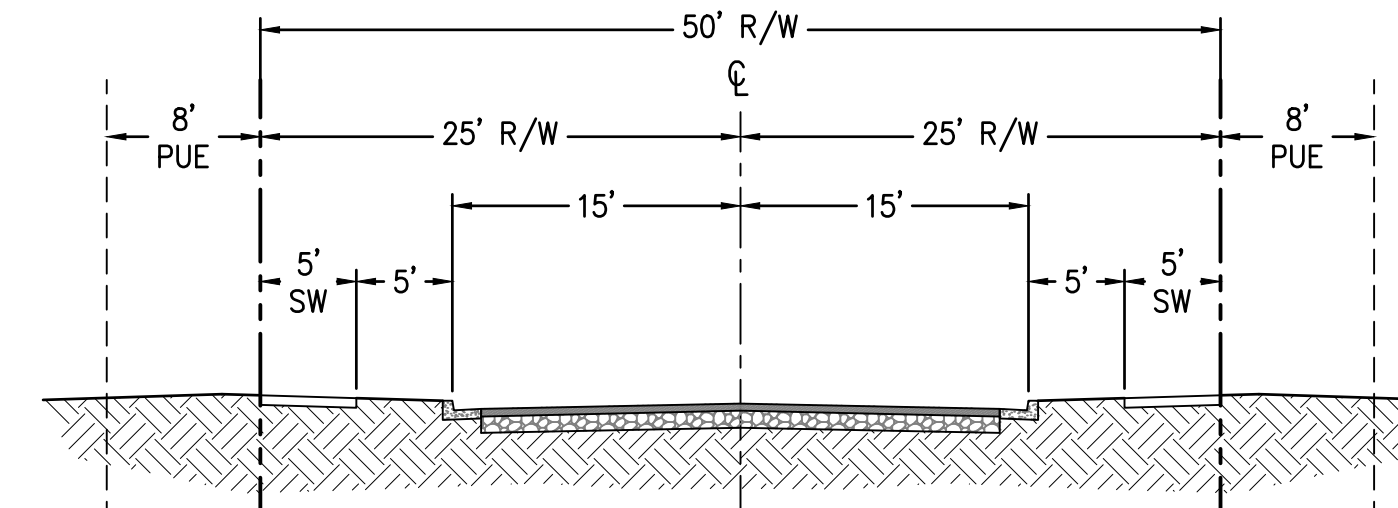
HILGARTWILSON
 PROJ NO.: 2149
 DATE: APR 2020
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 DESIGNED: DR
 APPROVED: PH
 DWG. NO.
PP08
 SHT. 8 OF 10

- COMMON AREAS MAY INCLUDE OPEN SPACE, LANDSCAPING, PEDESTRIAN PATHS AND/OR AMENITIES.
- SPECIFIC EASEMENTS THAT ARE BEING DEDICATED AS PART OF THIS PLAT ARE FULLY DELINEATED.
- THE EASEMENTS ON THIS SHEET ONLY AFFECT A PORTION OF THE TRACT WITH WHICH THEY ARE LISTED, AND ARE FULLY DELINEATED ON THE PLAT. OTHER "USES" LISTED ABOVE ARE COMMON AREA.

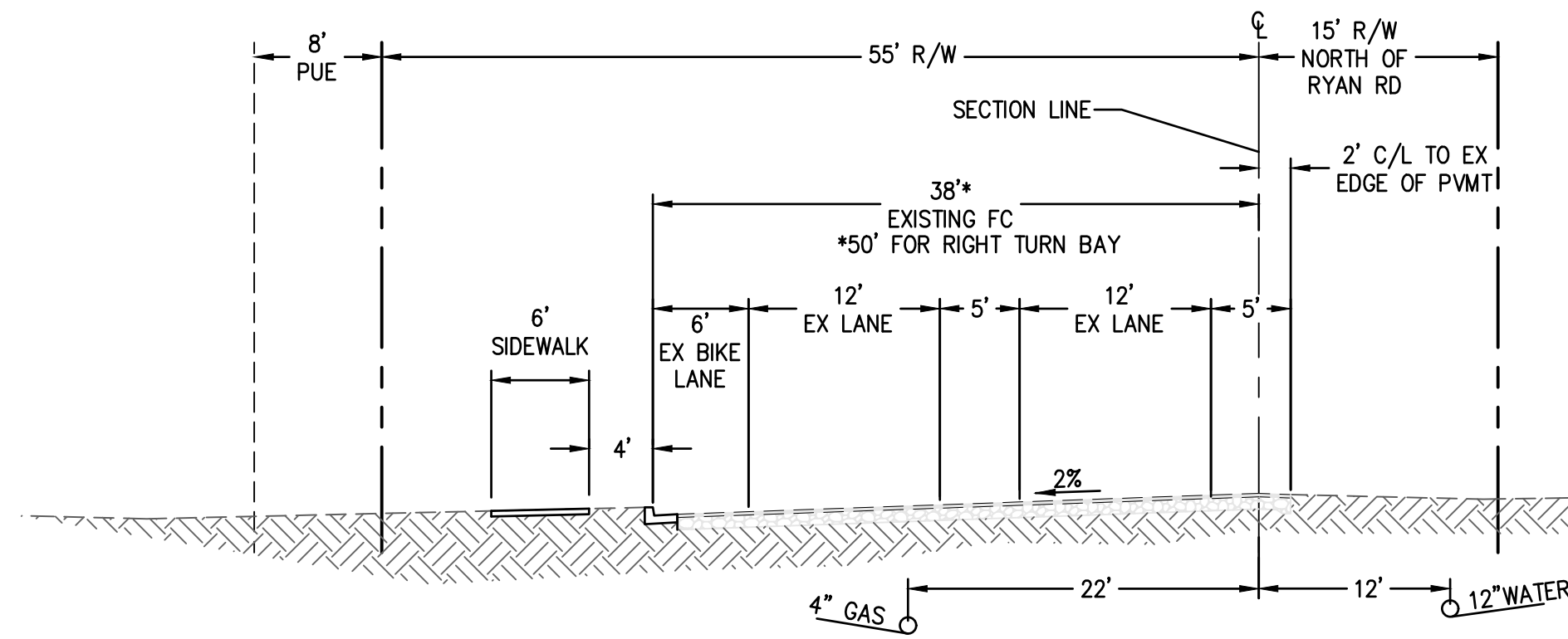
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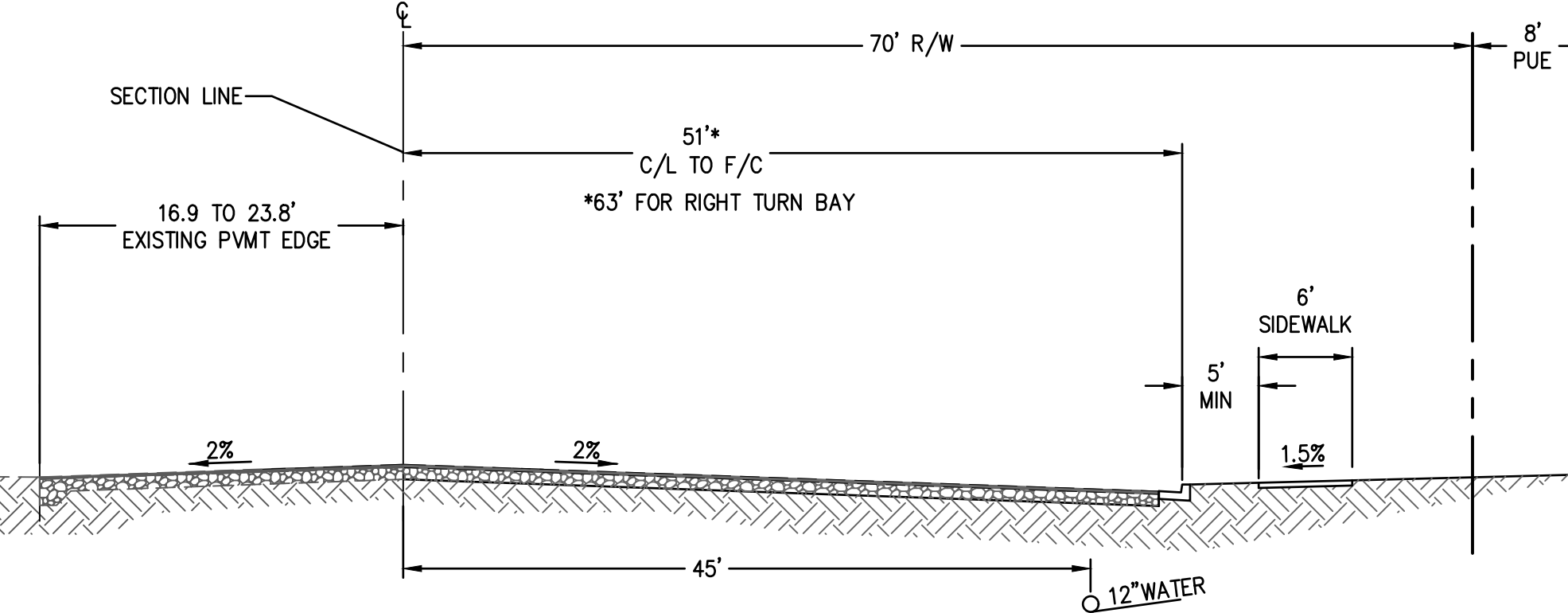
URBAN LOCAL ENTRY ROADWAY SECTION
 N.T.S.



URBAN LOCAL ROADWAY SECTION
 N.T.S.



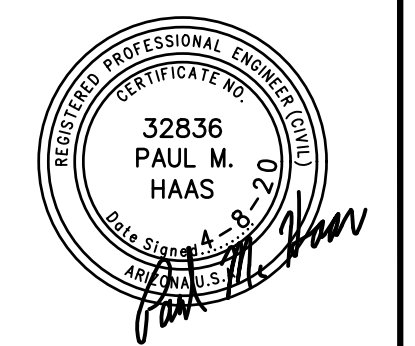
PRINCIPAL ARTERIAL
 CRISMON ROAD
 (LOOKING NORTH)
 SCALE: N.T.S.



PRINCIPAL ARTERIAL
 GERMANN ROAD
 (LOOKING EAST)
 SCALE: N.T.S.

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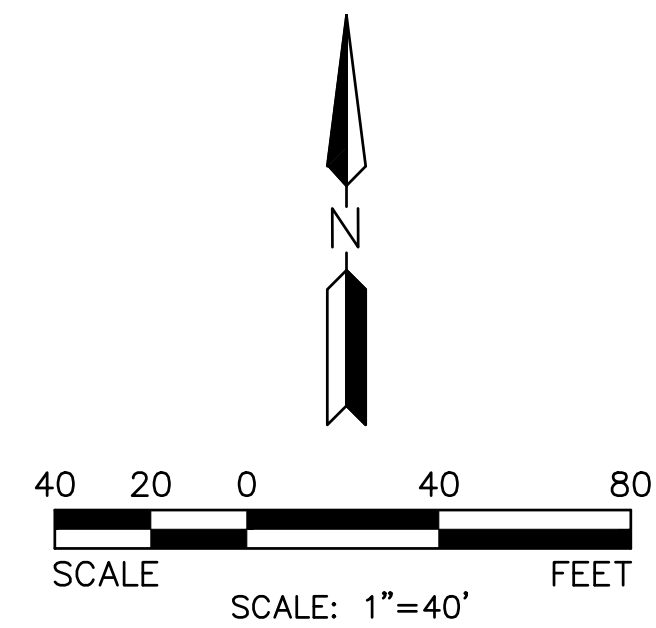
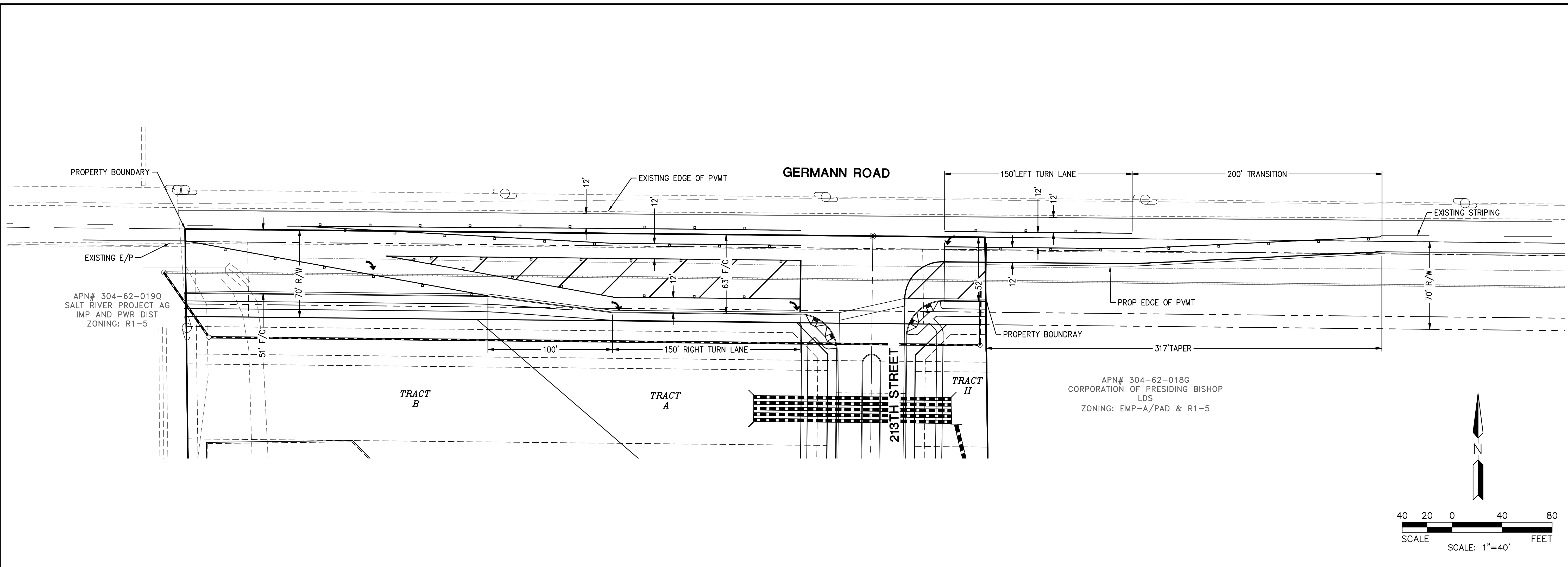
PRELIMINARY SECTIONS

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	DATE: APR 2020
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	DESIGNED: DR
	APPROVED: PH

DWG. NO.
PP09

SHT. 9 OF 10

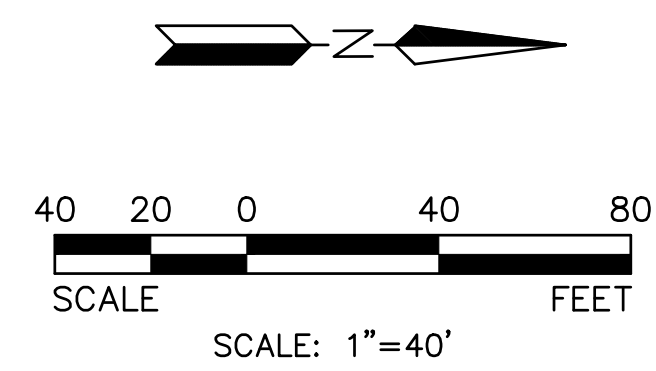
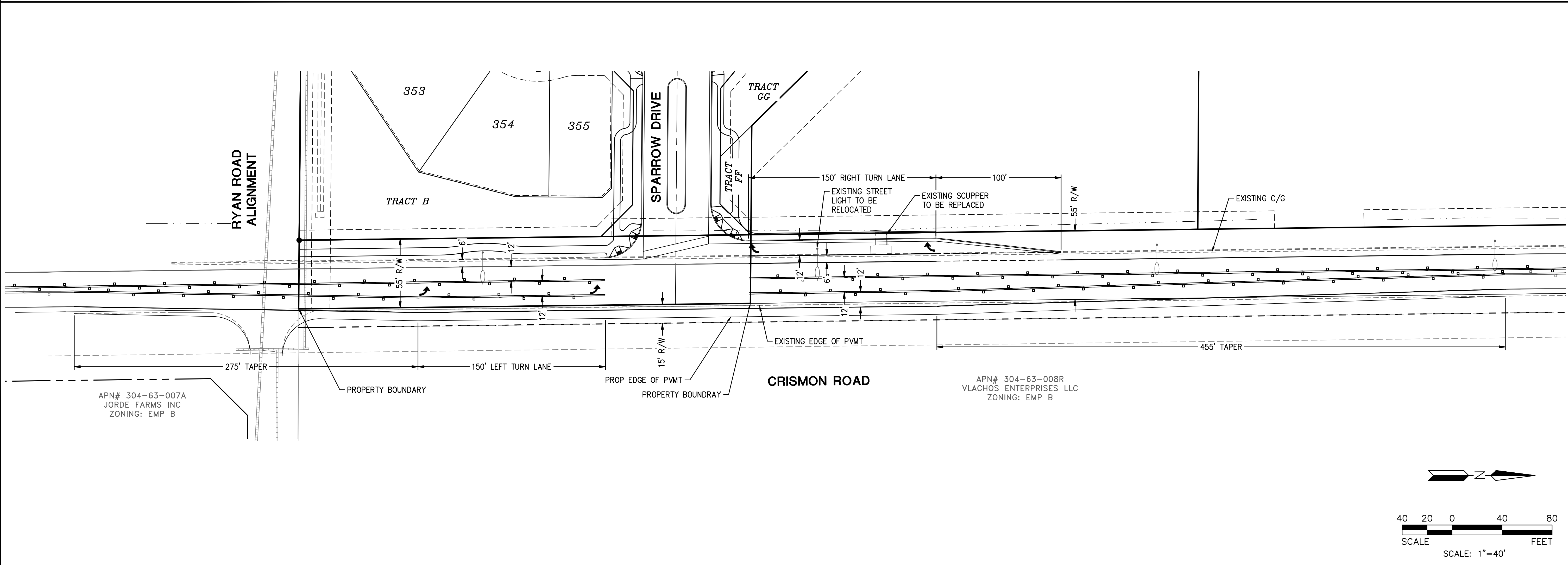
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QUEEN CREEK, ARIZONA

PRELIMINARY OFFSITE TURN LANE DETAILS

HILGARTWILSON
PROJ NO.: 2149
DATE: APR 2020
SCALE: 1" = 40'
DRAWN: DF
DESIGNED: DR
APPROVED: PH

DWG. NO.
PP10

SHT. 10 OF 10

JORDE FARMS NORTH

Queen Creek, Arizona
LANDSCAPE PLANS - PRELIMINARY PLAT

GENERAL NOTES:

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY: CIVIL ENGINEER.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
 - BLUE STAKE (ARIZONA) 1-602-657-7500
 - UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
 - ARIZONA PUBLIC SERVICE COMPANY (ARIZONA) 1-800-240-2014
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS, DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK BY OTHERS. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.

PLANTING GENERAL NOTES:

- THE CONTRACTOR SHALL REVIEW PLANTING PLAN WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS, HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 5 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION, AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 5 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY DESIGN/BUILDER AND/OR THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT, SEE HARDPAN DETAIL.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS / FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND CACTI SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 1'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL ARBOR GUARDS AT ALL TREES LOCATED IN TURF AREAS.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION.
- CACTI SHALL BE PLANTED A MINIMUM OF 3'-0" AWAY FROM ALL PEDESTRIAN ROUTES.
- CACTI SHALL BE WELL ROOTED AND NON-SCARRED.
- PLANT MATERIAL MARKED "SALVAGE" SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- IN DISTURBED AREAS INDICATED TO RECEIVE REVEGETATION HYDROSEED AND/OR PLANTING, THE CONTRACTOR SHALL MATCH EXISTING NATURAL DESTINE STONE GROUND COVER CONDITIONS ADJACENT TO THE PROJECT.
- NATIVE REVEGETATION AREAS AND PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- THE CONTRACTOR SHALL PROVIDE A 50'-0" BY 50'-0" TYPICAL MOCK-UP OF NATIVE REVEGETATION AREAS FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

INERT GENERAL NOTES:

ANGULAR GRANITE RIP-RAP

- INSTALL GRANITE RIP-RAP IN ALL DRAINAGE SWALES, AND WHERE INDICATED ON PLANS (TYPICAL). REFER TO MATERIALS SCHEDULE / PLANTING LEGEND FOR COLOR AND SIZE OF GRANITE RIP-RAP.
- THE CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.

DECOMPOSED GRANITE

- DECOMPOSED GRANITE IS REQUIRED IN ALL PLANTING AREAS, EXCEPT AREAS OF TURF AND GRANITE RIP-RAP. AND SHALL EXTEND UNDER PLANT MATERIAL UNLESS NOTED OTHERWISE ON PLANS. REFER TO MATERIALS SCHEDULE / PLANTING LEGEND.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF DECOMPOSED GRANITE, THROUGHOUT (TYPICAL).
- CONTRACTOR SHALL SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

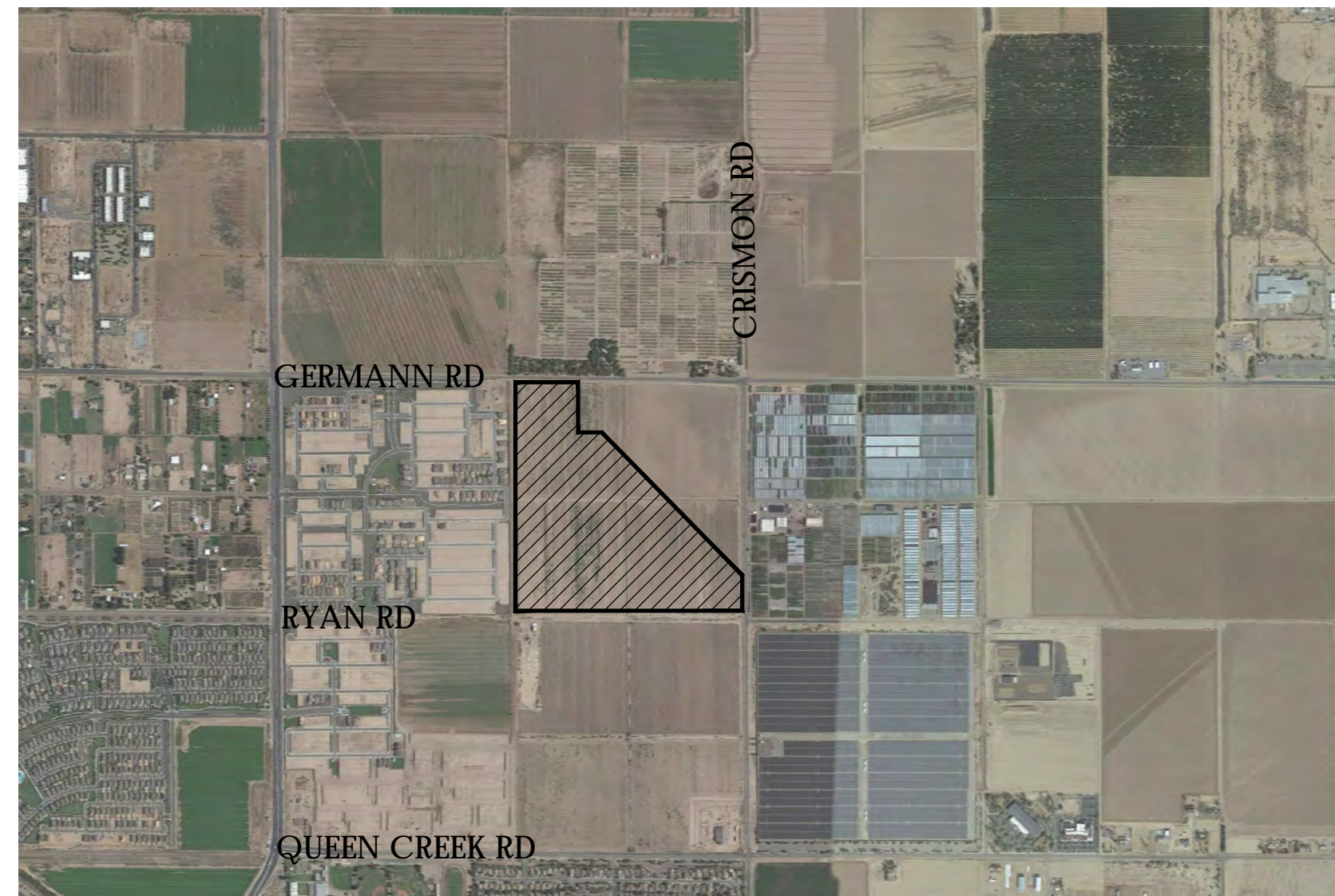
IRRIGATION GENERAL NOTES:

- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULL IRRIGATION COVERAGE OF ALL PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT FULL PIPING PLANS, AFTER FIELD VERIFICATION, DEPICTING POINT OF CONNECTION, METER LOCATION AND SIZE, BACKFLOW PREVENTER LOCATION AND SIZE, AND PIPE ROUTING AND SIZES.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL THE SPECIFIED SYSTEM IN ACCORDANCE WITH THE ATTACHED SCHEDULES, NOTES, DETAILS, AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR TO SITE VERIFY PRESSURE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DIFFERENCES PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. IF CLARIFICATIONS FAIL TO NOTIFY LANDSCAPE ARCHITECT, HE IS FINANCIALLY RESPONSIBLE FOR ANY NECESSARY SYSTEM ALTERATIONS THAT RESULT.
- THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY EXISTING TAP LOCATIONS, INSTALL NEW METERS PER THE ATTACHED IRRIGATION SCHEDULE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING OF ASPHALT AND CONCRETE AS REQUIRED FOR SLEEVE INSTALLATION ACCORDING TO THE IRRIGATION SCHEDULE.
- CONTROLLER TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTROLLER SIZE AND QUANTITIES TO BE DETERMINED BY THE VALVE REQUIREMENTS AND POINTS OF CONNECTION. INSTALL ONE (1) CONTROLLER AT EACH POINT OF CONNECTION.
- INSTALL PVC MAINLINE AND LATERALS ACCORDING TO THE IRRIGATION AND PIPING SCHEDULES.
- ALL VALVE FLOWS SHALL NOT EXCEED MANUFACTURER'S SPECIFICATIONS.
- VALVE BOXES SHALL BE SQUARE TO ADJACENT WALKS OR CURBS AND FLUSH WITH THE FINAL GRADE.
- WORK SHALL CONFORM TO ALL CONSTRUCTION CODES AND REGULATIONS.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL GREEN VALVE BOXES IN TURF AREAS AND TAN VALVE BOXES IN DISCOMPOSED GRANITE AREAS (TYPICAL).
- REFER TO THE IRRIGATION NOTES FOR THE CALCULATED PRESSURE AT THE WATER METER. REFER TO NOTE #4 IF PRESSURE DIFFERS FROM THAT NOTED.
- THE LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING ON PROJECT TO VERIFY INSTALLATION CONDITIONS.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CONTACT BLUE STAKE TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE EFFECTED BY HIS WORK, AND HE SHALL BE RESPONSIBLE FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF HIS IRRIGATION INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER AND/OR THE OWNER'S REPRESENTATIVE FOR ANY DESIGN CHANGES MADE AS A RESULT OF DEVIATION BY THE CONTRACTOR FROM THE PLANS AND SPECIFICATIONS OR DUE TO ERRORS, FAULTY MATERIAL OR FAULTY WORKMANSHIP.
- INSTALL ALL MAINLINES WITH A MINIMUM OF 20" OF COVER.
- INSTALL ALL LATERALS WITH A MINIMUM OF 12" OF COVER.
- ALL PIPE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND ASTM STANDARD D 2774.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. USE LIQUID TEFLON ON METAL PIPE THREADS ONLY.
- FLUSHING OF ALL LINES PRIOR TO INSTALLATION OF SPRINKLERS AND EMITTERS IS REQUIRED.
- INSTALL ALL SPRINKLERS, EMITTERS, AND RELATED MATERIAL PER IRRIGATION SYSTEM SPECIFICATIONS AND DETAILS.
- INSTALL ALL ELECTRICAL JOINTS WITH 3-M WATERPROOF CONNECTORS.
- ALL ELECTRICAL CONNECTIONS SHALL BE MADE AT THE REMOTE CONTROL VALVE BOXES, CONTROLLER ENCLOSURES AND VALVE BOXES SPECIFICALLY FOR ELECTRICAL CONNECTIONS.
- A CERTIFIED ELECTRICIAN SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING FROM THE CIRCUIT BREAKER AT THE 120 VOLT SOURCE LOCATION TO AUTOMATIC CONTROLLER.
- ALL 120 VOLT VOLT POWER WIRE TO BE INSTALLED PER LOCAL CODE AND THE N.E.C.
- INSTALL ALL VALVE WIRING IN MAINLINE TRENCH AS DETAILED.
- INSTALL ALL REMOTE CONTROL VALVES AT HEIGHT INDICATED ON DETAILS, AS HIGH AS POSSIBLE BUT ALLOWING CLEARANCE BETWEEN VALVE BOX LID AND FLOW CONTROL HANDLE ON REMOTE CONTROL VALVE.
- INSTALL ALL MAINLINE GATE VALVES IN A ROUND PLASTIC VALVE BOX PER DETAILS.
- ALL PVC SOLVENT WELD FITTINGS SHALL BE LASCO OR APPROVED EQUAL.
- THE MAINLINE, LATERAL PIPE, AND VALVES ARE SHOWN SCHEMATICALLY AND SHALL BE INSTALLED WITHIN THE LANDSCAPE AREA, OUTSIDE R.O.W. AND P.U.E., ADJACENT TO SIDEWALK OR CURB AND OFFSET 18" WHEREVER POSSIBLE.
- SUPPLY THE FOLLOWING MATERIAL TO THE OWNER:
 - TWO WRENCHES FOR DISASSEMBLY AND ADJUSTING OF EACH TYPE OF SPRINKLER HEAD AND VALVE SUPPLIED.
 - TWO KEYS FOR EACH OF THE CONTROLLERS.
 - TWO COUPLERS WITH MATCHING HOSE BIBS AND SHUT-OFF VALVE.
 - TWO VALVE BOX KEYS.
- ALL MAINLINE FITTINGS FOR PIPE 3" AND LARGER SHALL BE CAST OR DUCTILE IRON FOR PVC; SCHEDULE 80 PVC FOR 2 1/2" AND SMALLER.
- ALL MAINLINE PIPE SHALL BE A MINIMUM OF SCHEDULE 40.
- SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- ALL MAINLINE AND IRRIGATION EQUIPMENT SHALL BE PLACED IN THE LANDSCAPED AREAS.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE #14 OR BETTER, BUNDLED OR WRAPPED A MINIMUM OF EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED IN ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNITED PRIOR TO TRENCH FILL IN.
- DRIP SYSTEM FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL DRIP LATERAL RUNS, AS DESCRIBED ON THE DRAWINGS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF TWO (2) INCHES OF PEA GRAVEL.
- PRIOR TO PLACING ANY IRRIGATION SYSTEM IN SERVICE, AN ARIZONA CERTIFIED BACKFLOW DEVICE TESTER SHALL TEST THE BACKFLOW PREVENTION DEVICE AND GIVE A COPY OF THE PASSED TEST RESULTS TO THE MARICOPA COUNTY INSPECTOR OR MAIL IT TO THE MARICOPA COUNTY DEPARTMENT OF PUBLIC WORKS INSPECTION STATION.
- AFTER INITIAL TESTING, ALL BACKFLOW DEVICES SHALL BE TESTED ANNUALLY.
- BACKFLOW DEVICES SHALL BE A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
- ALL BACKFLOW PREVENTION DEVICES SHALL HAVE A MINIMUM 24"x36"x4" CLASS B CONCRETE SLAB WITH PIPE SLEEVES. IF A SECURITY CAGE IS INSTALLED, CONCRETE SHALL BE SIX (6") INCHES LARGER ON ALL SIDES THAN THE SECURITY CAGE.
- ALL PIPE CROSSINGS IN THE RIGHT-OF-WAY SHALL BE MARKED ON EACH SIDE OF THE CURB WITH A NON-DESTRUCTIBLE MARKING.

GRADING GENERAL NOTES:

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEER'S PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
 - FINISH GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
 - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
 - TURF AND ANNUAL AREAS [6" DEPTH].
 - PLANT BACKFILL [CAN BE SCREENED ON-SITE SOIL].
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALCICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER, THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALCICHE MATERIAL SHOULD A SUITABLE LOCATION ON SITE NOT EXIST. THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALCICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS, THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

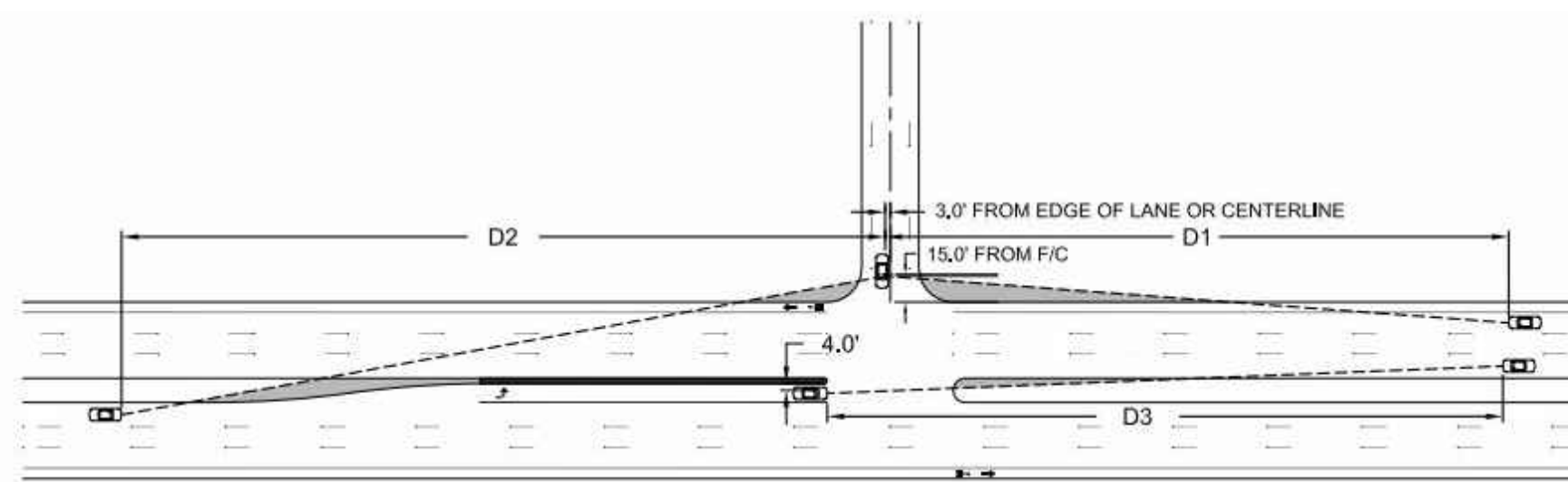
VICINITY MAP:



HARDSCAPE GENERAL NOTES:

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY GOOKIN ENGINEERS. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'x4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE, 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" ON CENTER AND EXPANSION JOINTS AT 20'-0" ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADII TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

CITY OF QUEEN CREEK SIGHT DISTANCE REQUIREMENTS:



NOTES:

- SIGHT DISTANCE VALUES ASSUME GRADES DO NOT EXCEED 4%, FOR STEEPER GRADES, ADJUST PER EXHIBIT 9-33 OF AASHTO'S "A" POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS (2004 EDITION).
- SIGHT DISTANCE VALUES ARE CALCULATED USING THE FOLLOWING ASSUMPTIONS:
 - DESIGN VEHICLE IS A SINGLE UNIT TRUCK.
 - CATEGORY 'A' ROADWAYS HAVE ONE LANE TO BE CROSSED.
 - CATEGORY 'B' ROADWAYS HAVE TWO LANES TO BE CROSSED.
 - CATEGORY 'C' ROADWAYS HAVE THREE LANES TO BE CROSSED.
- THE SIGHT DISTANCE TARGET SHALL BE THE CENTER OF THE NEAREST APPROACHING LANE.

CATEGORY	POSTED SPEED (MPH)	DESIGN SPEED (MPH)	RIGHT TURN ONLY DRIVEWAY OPPOSITE RASSED MEDIAN (D1) FT	FULL ACCESS STREET/DRYWAY (D1) FT	FULL ACCESS STREET/DRYWAY (D2) FT	LEFT TURN MEDIAN BREAK (D3) FT
A	25	30	290	375	420	290
B	30	35	335	510	565	410
B	35	40	385	585	645	465
C	40	45	430	705	770	570
C	45	50	480	780	855	635

Note: For local to local streets use a 20'x20' sight visibility triangle. For local to collector streets use a 30'x30' sight visibility triangle.

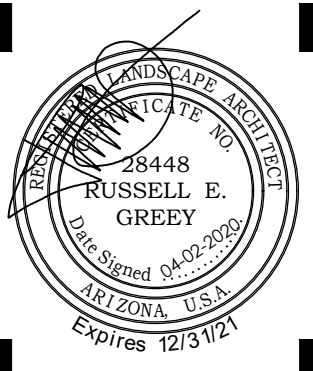
DEPARTMENT APPROVAL(S):

This plat was approved as to form by the Town Engineering Manager and the Town Planning Manager.

By: _____ Date: _____
Town Engineering Manager

By: _____ Date: _____
Town Planning Manager

GREY PICKETT
landscape architecture community design
7144 e stevens drive, suite 205
scottsdale, arizona 85251
480.609.0009 480.609.0009



JORDE FARMS NORTH
Preliminary Plat
Landscape Construction Documents
QUEEN CREEK, ARIZONA



revisions:

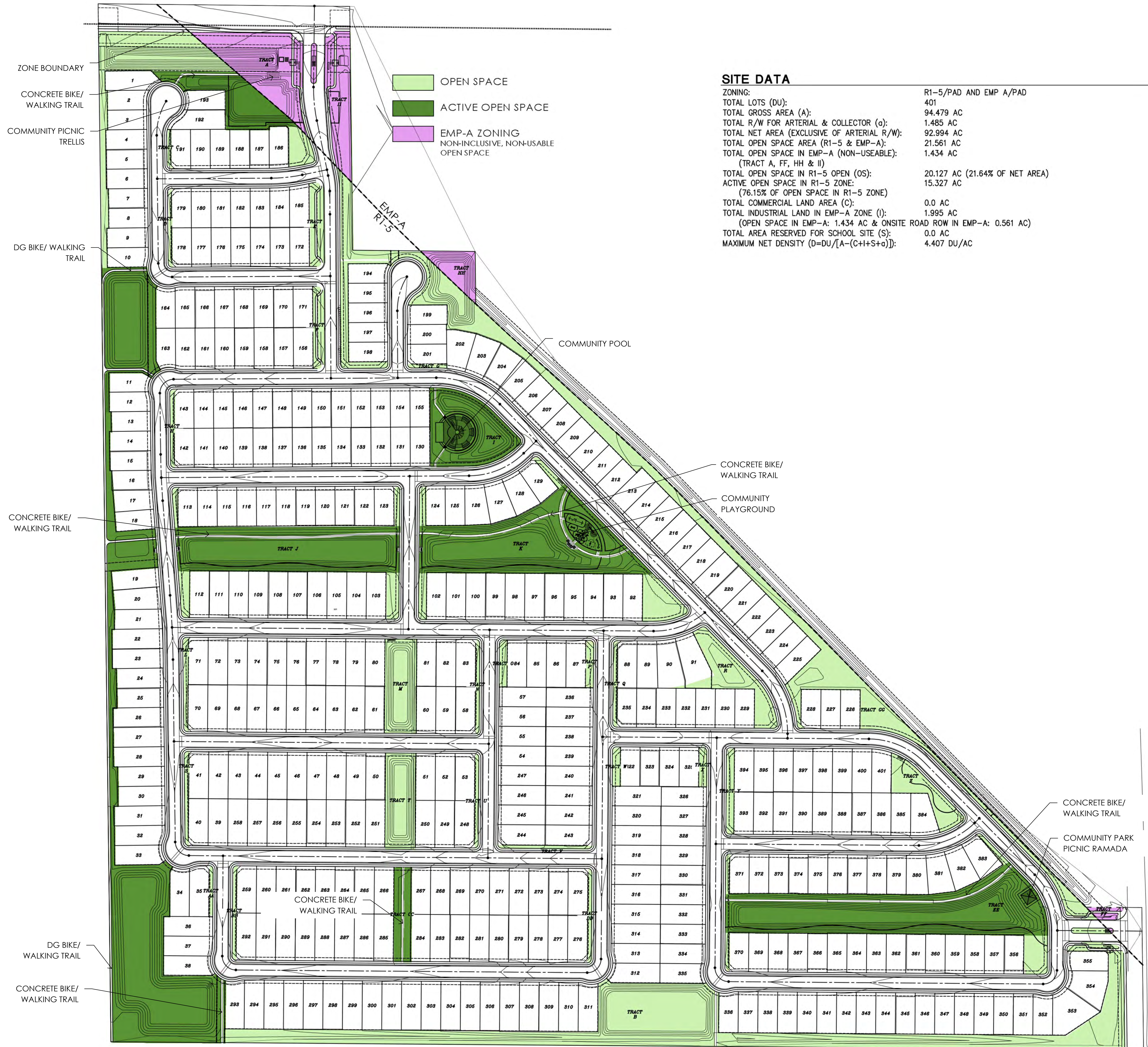


project #: SHE 241
scale: NTS
issued for REVIEW
drawn by: Team
date: 04.02.2020
drawing: Cover Sheet

sheet #

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of -

Open Space Graphic and Table:



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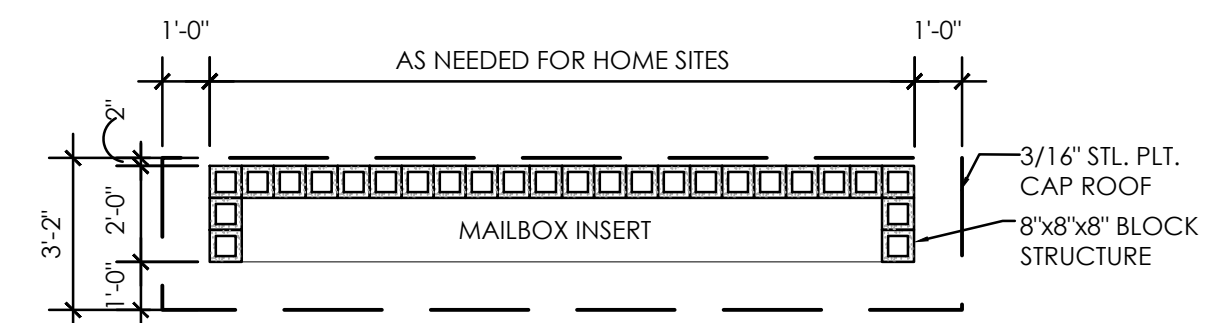
JORDE FARMS NORTH
Preliminary Plat
 Landscape Construction Documents
 QUEEN CREEK, ARIZONA



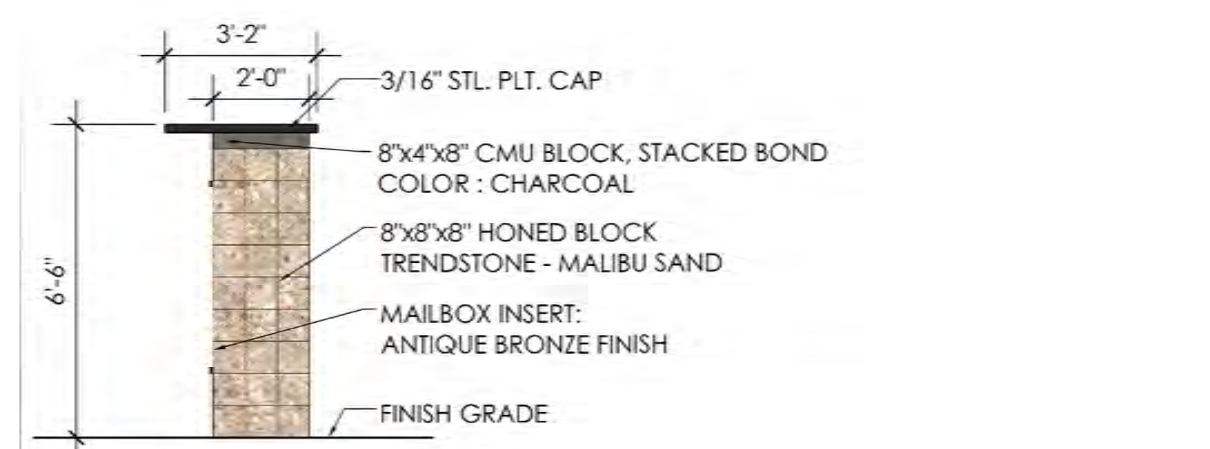
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 issued for: REVIEW
 drawn by: Team
 date: 04.02.2020
 drawing: Open Space Exhibit

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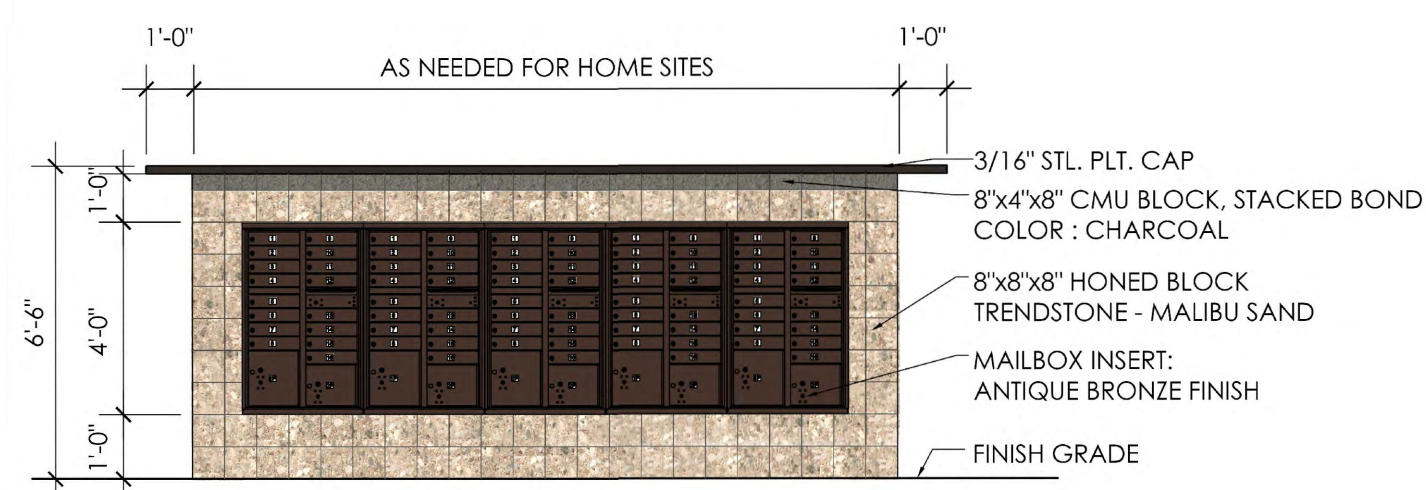
GERMANN ROAD



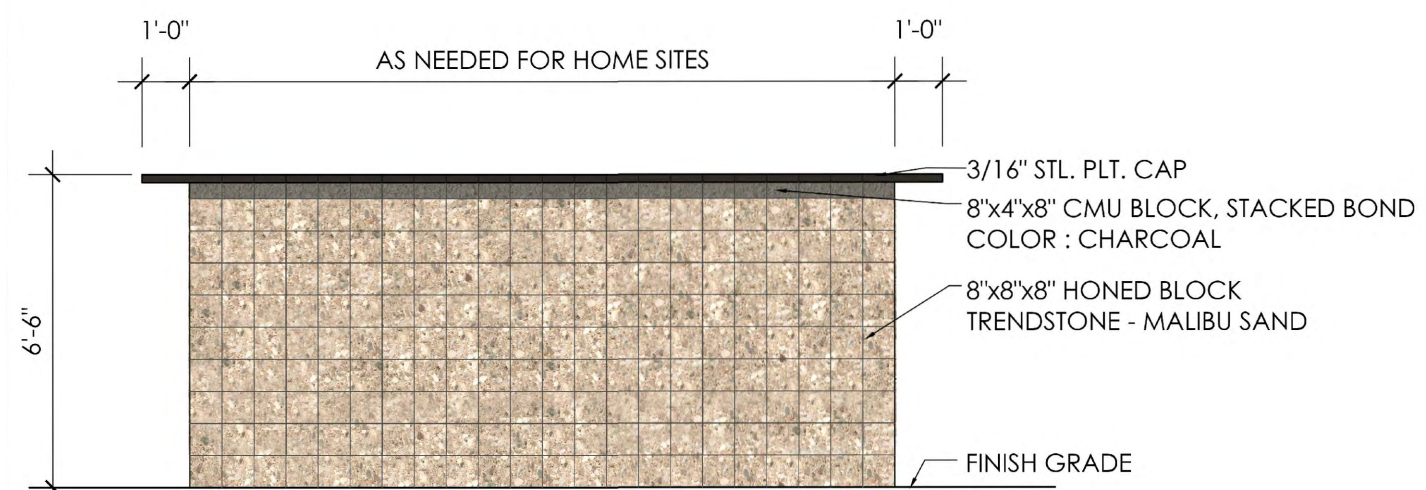
1.1 Mailbox Cluster - Plan
Scale: 3/8" = 1'-0"



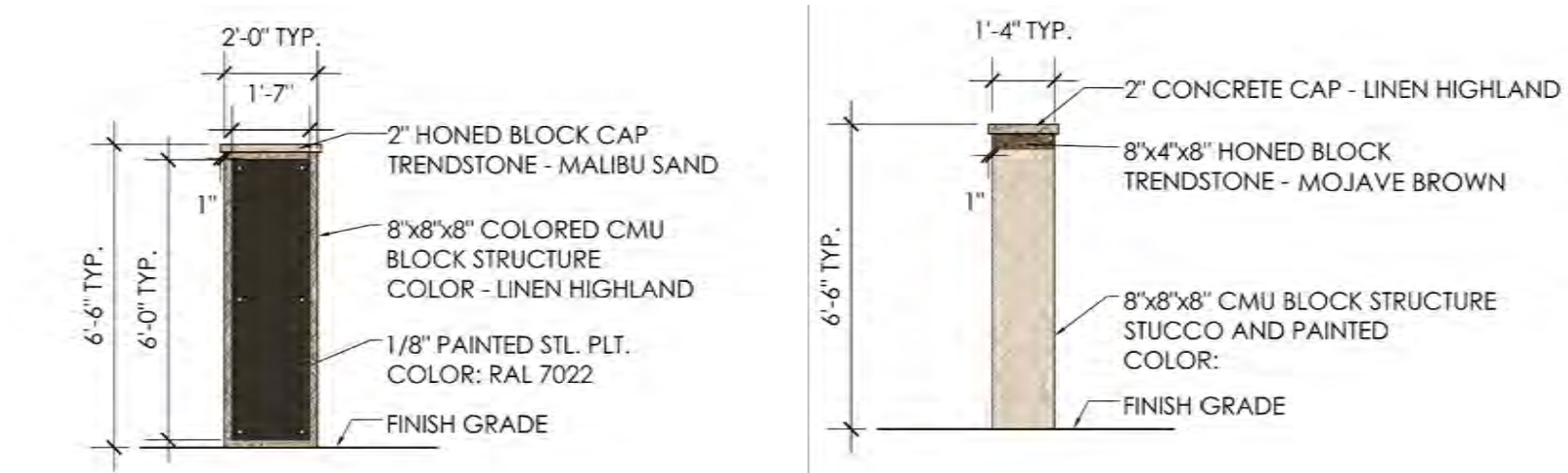
1.2 Mailbox Cluster - Side Elevation
Scale: 1/4" = 1'-0"



1.3 Mailbox Cluster - Front Elevation
Scale: 1/4" = 1'-0"

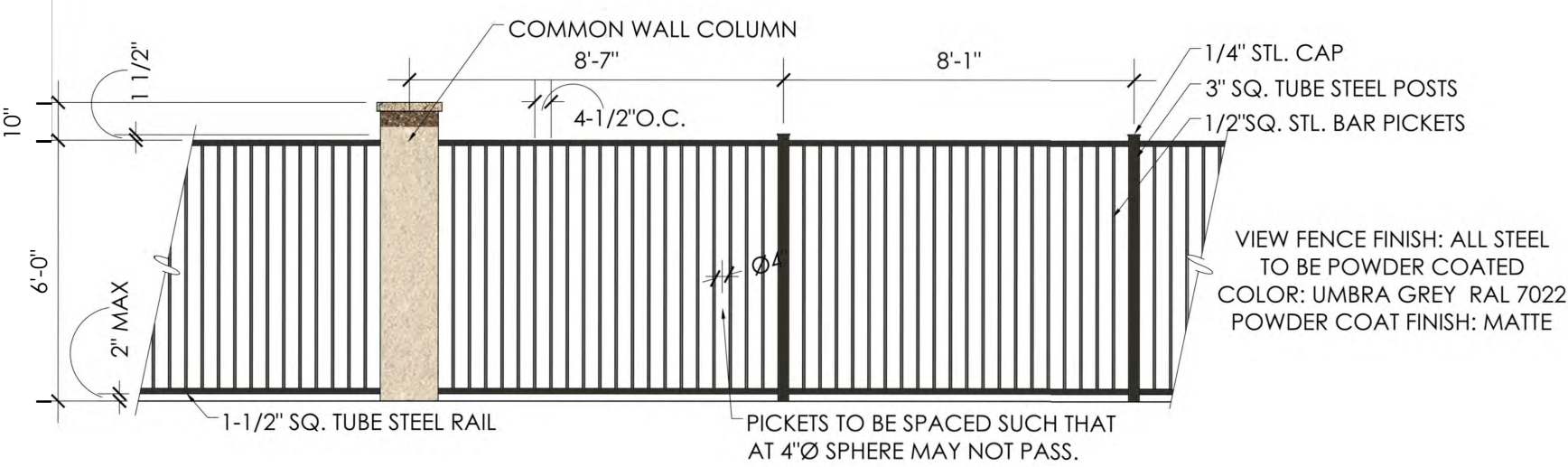


1.4 Mailbox Cluster - Rear Elevation
Scale: 1/4" = 1'-0"

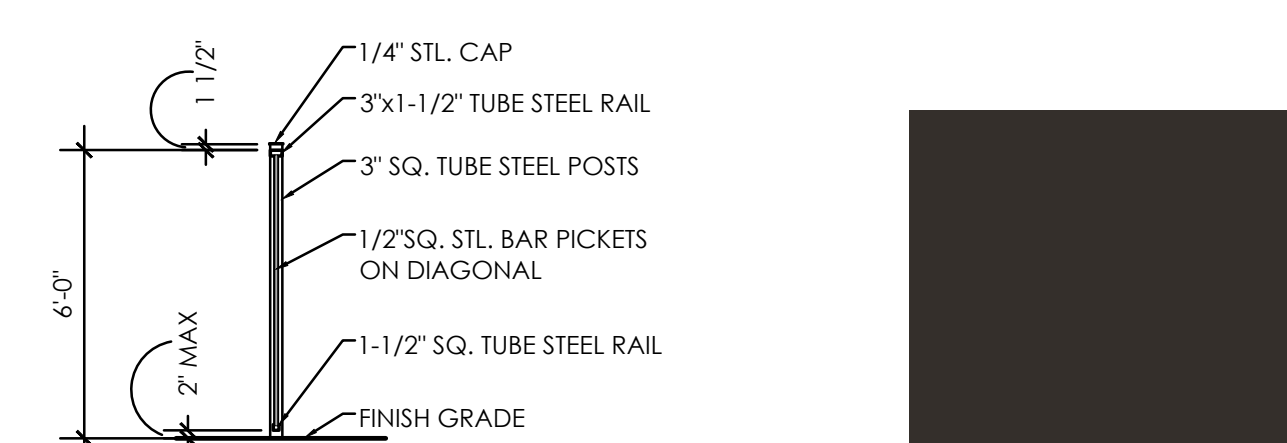


FWC Feature Wall Column
Scale: 1/4" = 1'-0"

CWC Common Wall Column
Scale: 1/4" = 1'-0"

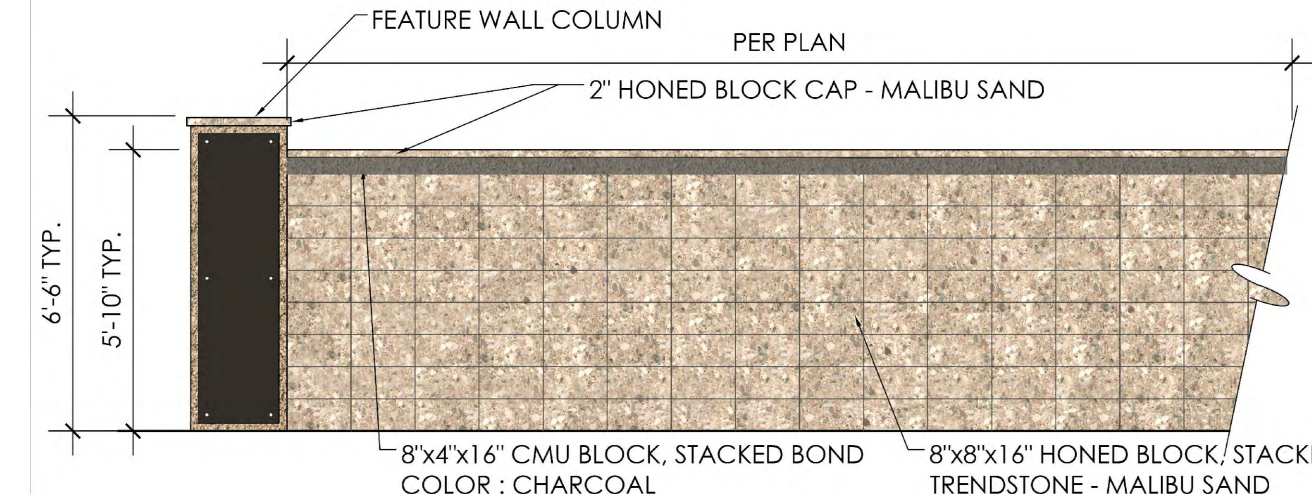
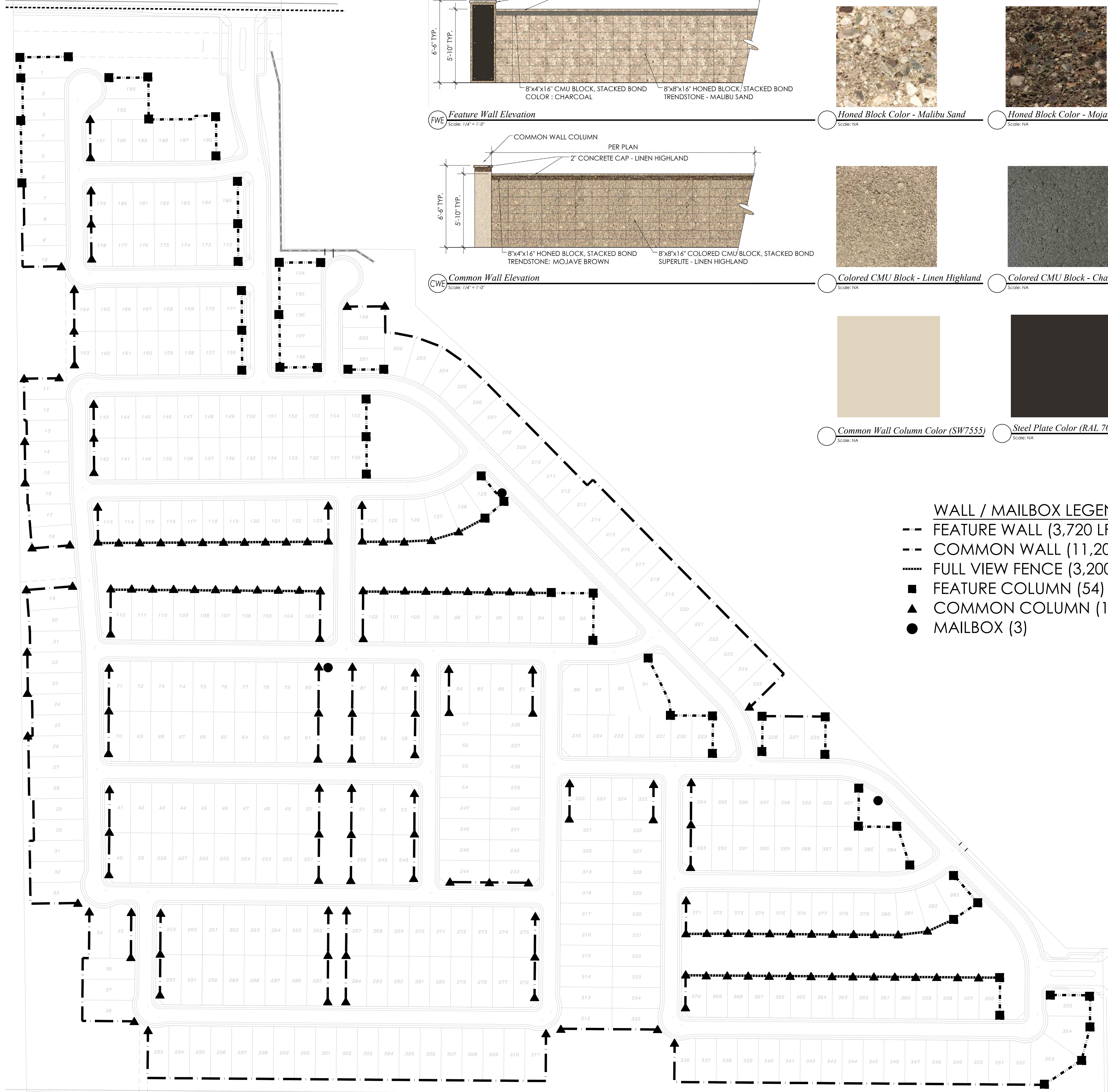


VFE View Fence Elevation
Scale: 1/4" = 1'-0"

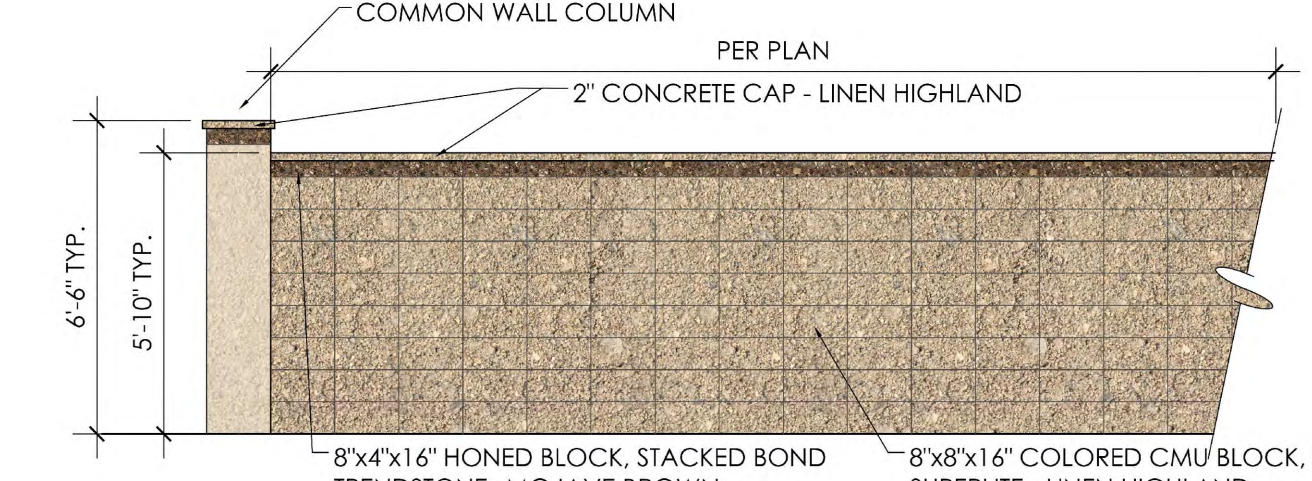


VFS View Fence Section
Scale: 1/4" = 1'-0"

View Fence Color (RAL 7022)
Scale: NA



FWE Feature Wall Elevation
Scale: 1/4" = 1'-0"



CWE Common Wall Elevation
Scale: 1/4" = 1'-0"



Honed Block Color - Malibu Sand
Scale: NA



Honed Block Color - Mojave Brown
Scale: NA



Colored CMU Block - Linen Highland
Scale: NA



Colored CMU Block - Charcoal
Scale: NA



Common Wall Column Color (SW7555)
Scale: NA



Steel Plate Color (RAL 7022)
Scale: NA

- WALL / MAILBOX LEGEND**
- FEATURE WALL (3,720 LF)
 - COMMON WALL (11,200 LF)
 - FULL VIEW FENCE (3,200 LF)
 - FEATURE COLUMN (54)
 - ▲ COMMON COLUMN (158)
 - MAILBOX (3)

GREY PICKETT
landscape architecture community design
7144 e sterson drive, suite 203
scottsdale, arizona 85251
480.609.0009p 480.609.0009f



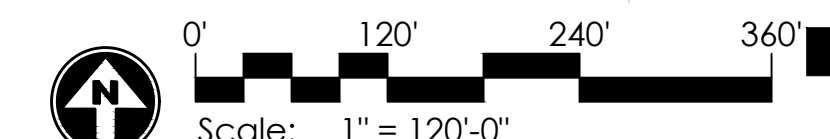
JORDE FARMS NORTH
Preliminary Plat
Landscape Construction Documents
QUEEN CREEK, ARIZONA



revisions:
project #: SHE 241
scale: 1" = 40'-0"
issued for: REVIEW
drawn by: Team
date: 04.02.2020
drawing: Wall Plan

sheet #
L2.0
of

JORDE FARMS NORTH - WALL PLAN



COMMUNITY PARK RAMADA



PLAY SURFACING COLORS

- PLAY SURFACING, COLOR "RED/BEIGE/BLACK MIX". SEE MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING, COLOR "LT. GREEN 104". SEE MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING, COLOR "ORANGE". SEE MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING BY TOT TURF, COLOR "YELLOW". MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING BY TOT TURF, COLOR "RED". MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING BY TOT TURF, COLOR "BLUE". MATERIAL SCHEDULE, SHEET L0.1.
- PLAY SURFACING BY TOT TURF, COLOR "PURPLE". MATERIAL SCHEDULE, SHEET L0.1.

Arizona Representative for Landscape Structures is Kevin Solomon with Creative Play Recreation at 480-323-0337, OR approved equal, on Weevos Evos Arch Climber, tunnels, hill climbers, weesaw, and zipkrooz Play Equipment.

Arizona Representative for Bowl Swing - Berliner Play Equipment and Engineered Wood Fiber is Roland Radtke with Dave Bang Associates, Inc. at 480-892-2266, OR approved equa.

Arizona Representative for Tot Turf is Richard Hawley at 602-340-8873, OR approved equal, on play surfacing.

GFRC BALL
COLOR LEGEND:

- B BLUE - SW#6965
- P PURPLE -SW#6983
- O ORANGE - SW#6885
- R RED - SW#6868
- Y YELLOW - SW#6910
- G ENVY - SW#6925

GFRC SPHERES
SIZE LEGEND:

- 48" DIAMETER
- 36" DIAMETER
- 24" DIAMETER
- 18" DIAMETER



Hill - tunnels and climbers



Bowl Swing



Spheres

PLAY EQUIPMENT COLORS



EXCERPLAY PALETTE AC C-LEAF



EXCERPLAY PALETTE AC C-ACORN



EXCERPLAY PALETTE AC C-BROWN

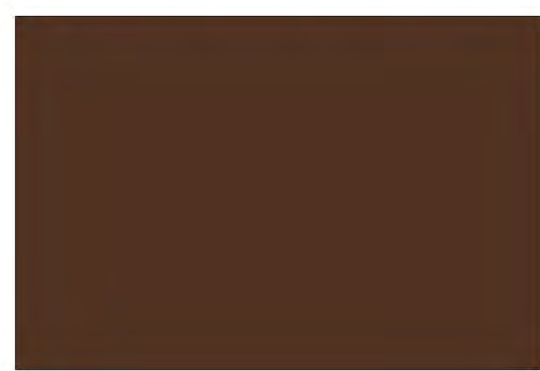
SHADE SAIL COLORS



USA SHADE SHADESURE FABRIC C-ARIZONA



USA SHADE SHADESURE FABRIC C-OLIVE



STEEL POST POWDER COAT C- DARK BROWN



Conceptual Earth Tone Colors



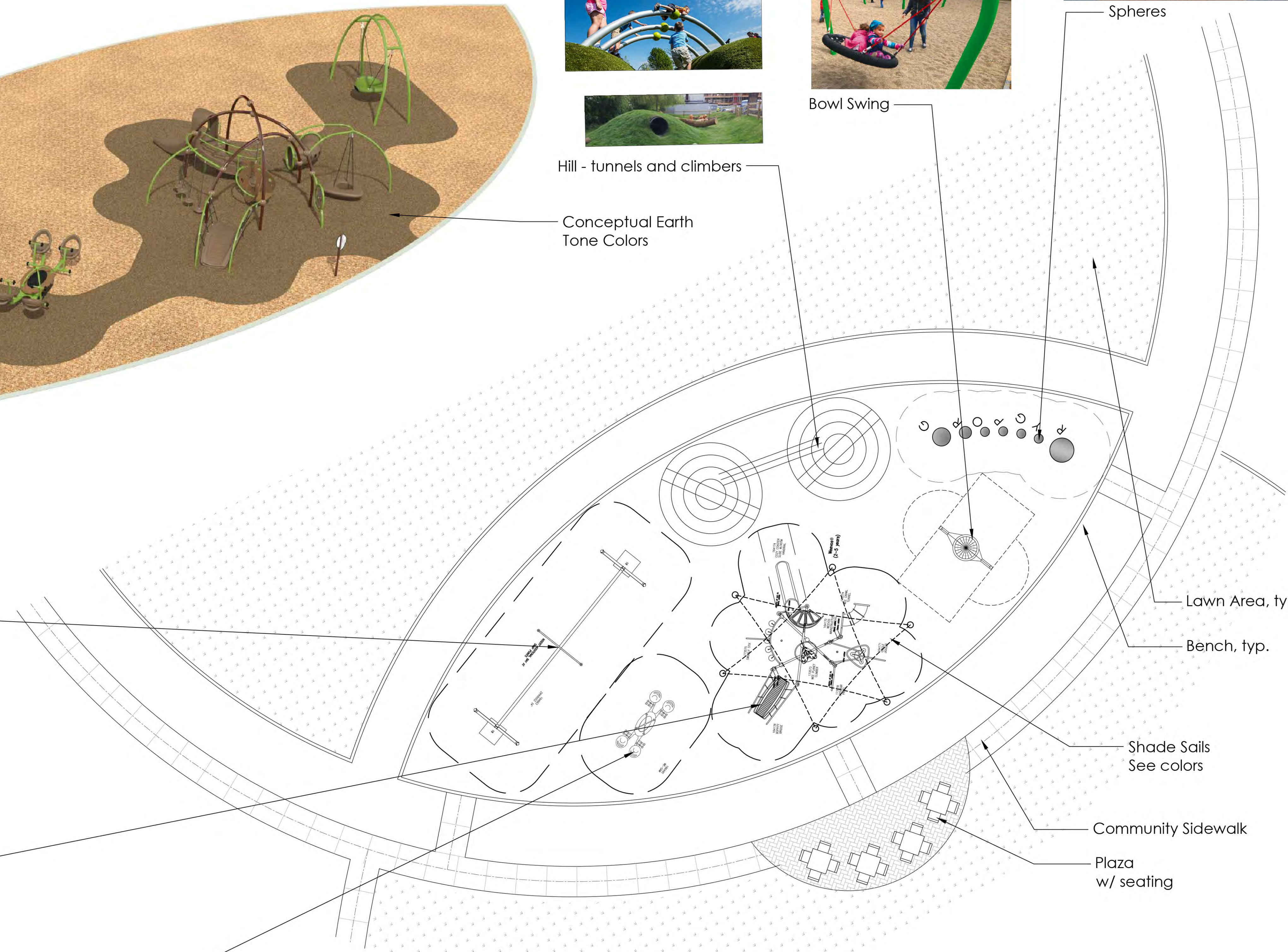
Zip Krooz



Weevos Evos Climber #3802



4 seat Seesaw



Lawn Area, typ.

Bench, typ.

Shade Sails See colors

Community Sidewalk

Plaza w/ seating

1.1 Play Area Layout
Scale: 1/8" = 1'-0"

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JORDE FARMS NORTH
 Preliminary Plat
 Landscape Construction Documents
 QUEEN CREEK, ARIZONA

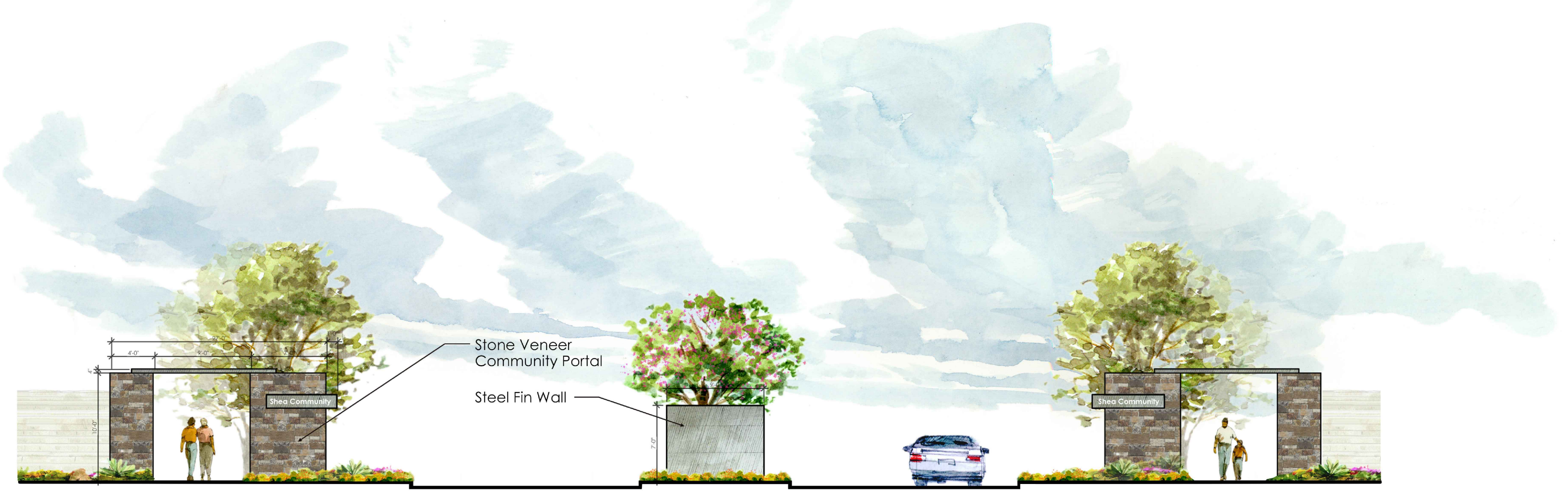
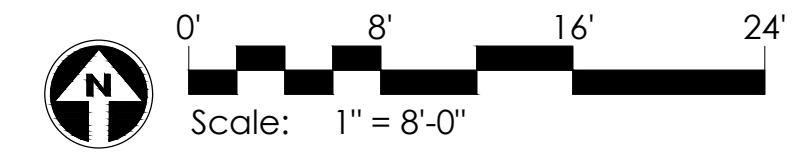


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 scale: As Shown
 issued for: REVIEW
 drawn by: Team
 date: 04.02.2020
 drawing: Park & Amenities

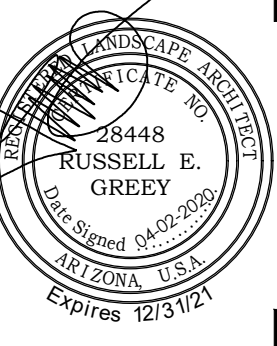
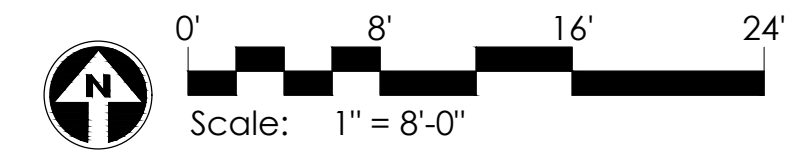
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L2.1
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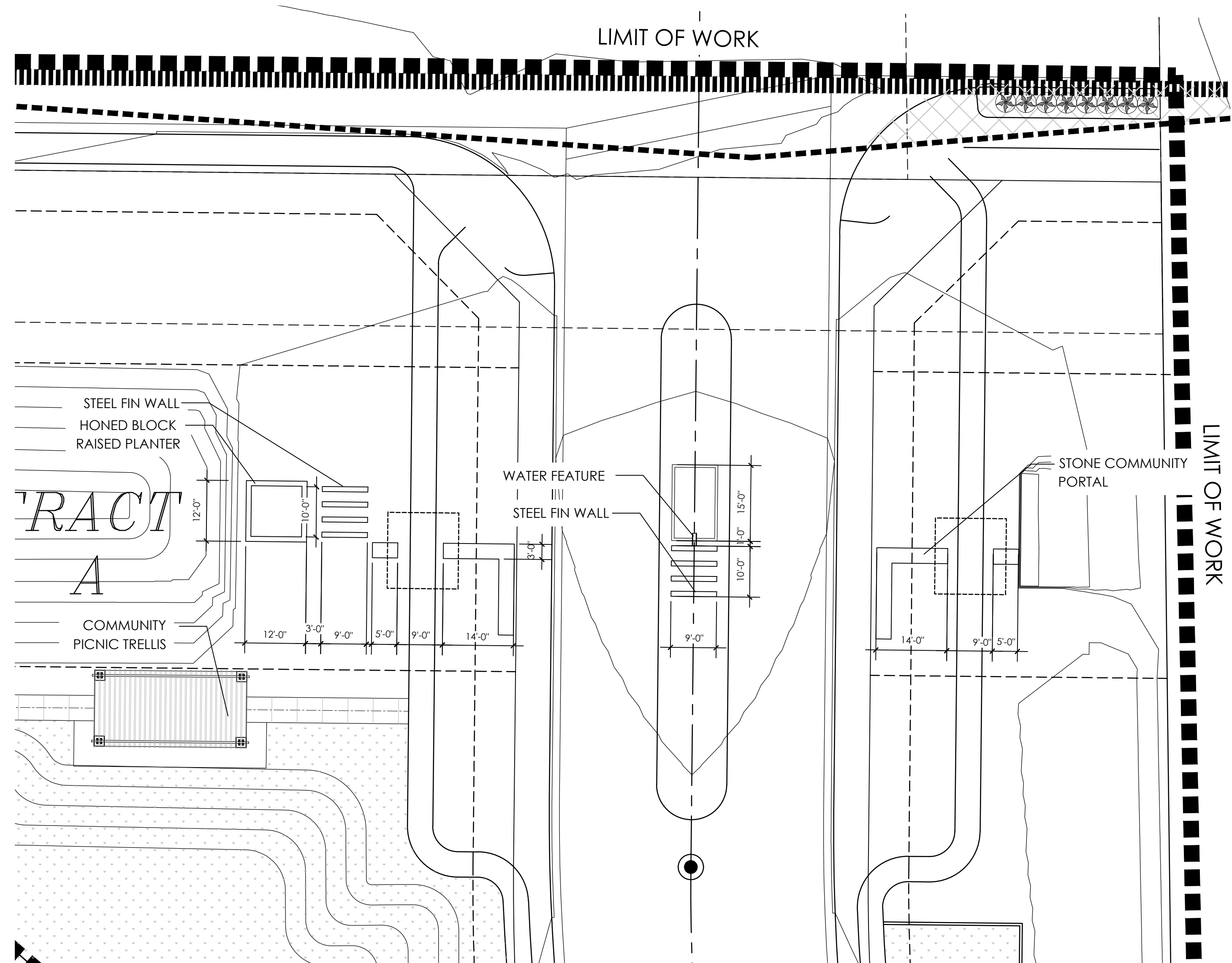
JORDE FARMS NORTH - PRIMARY ENTRY ELEVATION



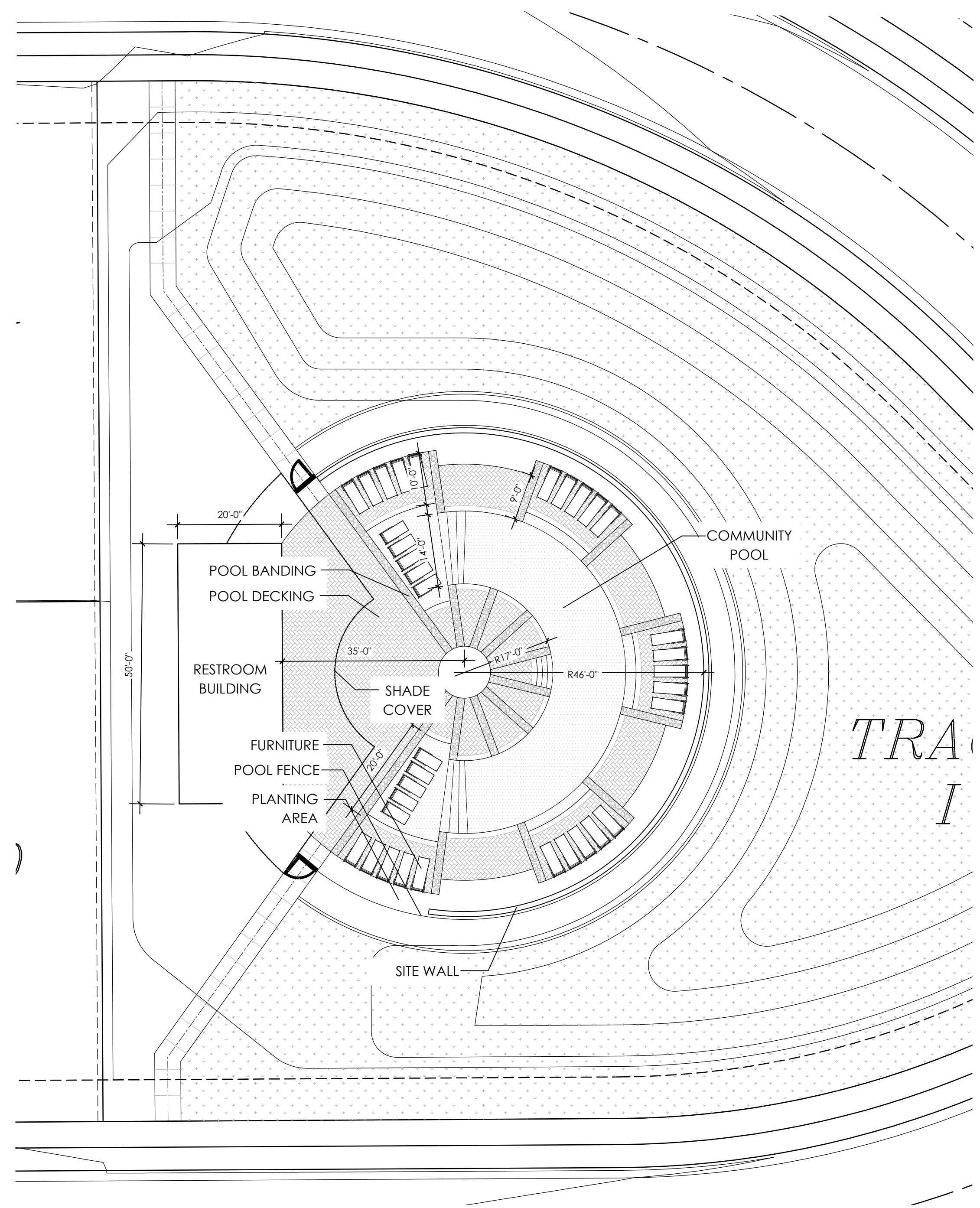
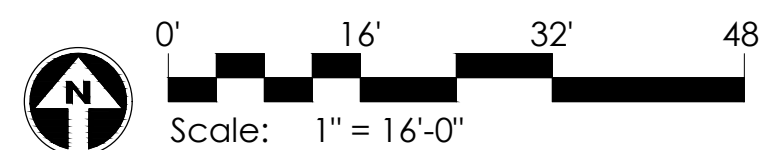
JORDE FARMS NORTH - SECONDARY ENTRY ELEVATION



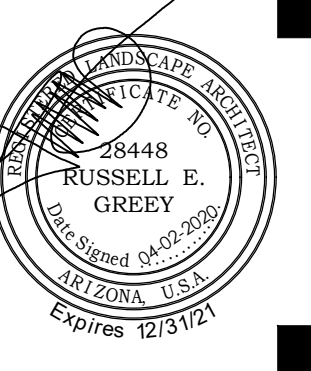
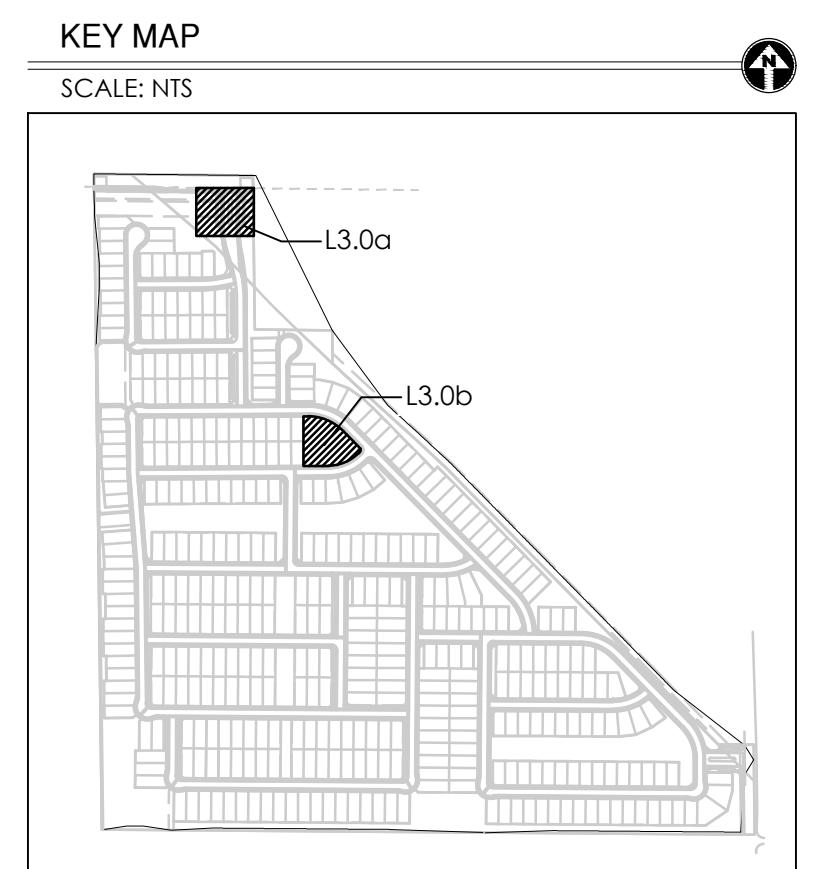
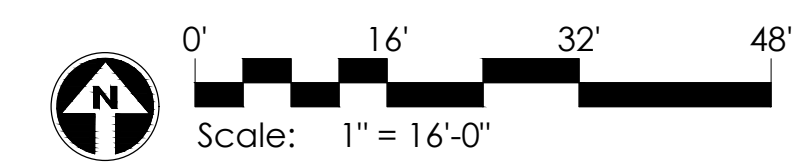
revisions:
 project #: SHE 241
 scale: As Shown
 issued for: REVIEW
 drawn by: Team
 date: 04.02.2020
 drawing: Entry Signage



JORDE FARMS NORTH - ENTRY ENLARGEMENT L3.0a



JORDE FARMS NORTH - POOL PARK ENLARGEMENT L3.0b



revisions:
project #: SHE 241
scale: 1" = 40'-0"
issued for: REVIEW
drawn by: Team
date: 04.02.2020
drawing: Engagements

sheet #
L3.0
of -