



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Erik Swanson, Interim Planning Administrator
Sarah Clark, Senior Planner/Project Manager

RE: Public Hearing and Possible Action on P19-0162/P19-0235 Fry's Fuel Station Conditional Use Permit and Site Plan , a request from Alan Beaudoin of Norris Design for Conditional Use Permit and Site Plan approval for a fuel station and convenience store located in the future Fry's Marketplace commercial center at the northeast corner of Ellsworth and Riggs roads.

DATE: May 13, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0162/P19-02335 Fry's Fuel Station Conditional Use Permit and Site Plan, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to recommend approval of P19-0162/P19-02335 Fry's Fuel Station Conditional Use Permit and Site Plan, subject to the Conditions of Approval included in this report.

SUMMARY

This proposal consists of a request for Conditional Use Permit and Site Plan approval to facilitate the development of a fuel station and convenience store in the future Fry's Marketplace commercial center (QC Commons), located at the northeast corner of Ellsworth and Riggs roads.

HISTORY

August 15, 2002: The subject site was zoned to C-1/PD and R1-35/RUPD in Maricopa County.

September 18, 2019: Town Council approved Ordinance 709-19 "NEC Ellsworth & Riggs Annexation", annexing 36 acres, which included the subject site, into the Town and approved Ordinance 710-19 "NEC Ellsworth & Riggs Rezone", which rezoned the subject site to C-2.

PROJECT INFORMATION

Project Name	Fry's Fuel Station Conditional Use Permit (P19-0162) and Site Plan (P19-0235)
Site Location	NEC of Ellsworth and Riggs roads
Current Zoning	C-2
General Plan Designation	Commercial
Surrounding Zoning Designations:	
North	R1-35
South	Riggs Road Sonoqui Wash R1-35 (Orchard Ranch)
East	R1-35
West	Ellsworth Road C-2/PAD (Pecan Plaza and Tractor Supply)
Gross Acreage	1.24 acres
Building Area (Total)	Convenience store - 960 sf Fuel canopy – 6,880 sf
Parking	
Required:	1.5 spaces
Provided:	7 spaces

DISCUSSION

The proposed site consists of a 960 square foot convenience store and 10 fuel pumps (20 fueling stations in total) which are covered by a 6,880 square foot 19-foot tall fuel canopy on an 1.24-acre site. The fuel station site is located on a pad site along Ellsworth Road approximately 450-foot north of the Ellsworth and Riggs roads intersection, within the QC Commons commercial center.

The convenience store and fuel station incorporate the same colors, materials, and architecture included in the elevations of the commercial center. Materials include groundface CMU block, hardie panel vertical siding, and split face CMU block. The convenience store also incorporates the same block massing, landscaping green screens, and covered awnings that are utilized in the Fry's Marketplace elevations.

The fuel canopy includes hardie panel siding at the canopy with split face CMU block columns. Fuel canopy columns are located on the outside of the fuel pumps in an effort to screen them from the street. Gas vent piping is hidden within the canopy and will not be visible. All fuel canopy lighting is recessed into the canopy.

Access is provided by an access point off of Ellsworth Road, situated at the southern end of the site; the site can also be accessed by the center's internal drive-aisles. The site provides 14,633 square feet of landscaping (27% of the site, where 15% is required). Landscaping material is

consistent with the planting material used throughout the commercial center. The applicant has provided two rows of trees along Ellsworth Road to help screen the fuel pumps and canopy from street view. A three-foot screen wall along Ellsworth Road is provided to screen vehicles and pumping stations. The wall matches the screen wall used throughout the center.

A Neighborhood Meeting was held on December 16, 2019. No members of the public were in attendance. Staff has not received any additional inquiries or comments on the proposed project.

ANALYSIS

Conditional Use Permit Review:

The proposed gasoline station is considered “In-Vehicle Service Facilities” according to Article 6.10 of the Zoning Ordinance. All “In-Vehicle Service Facilities” are subject to a Conditional Use Permit review procedure.

Conditional Uses are those land uses that may be desirable in a community, but may by their nature, require special site and design considerations in order to insure that they are compatible with adjacent uses and community standards. The Planning Commission and ultimately the Town Council are charged with determining whether or not a proposed location is suitable for such uses. The purpose of the Conditional Use Permit is to have an additional tool to maintain development standards.

Conditional Use review in the Zoning Ordinance sets forth the following approval criteria for evaluating a proposed Conditional Use (as outlined in Article 3.5 of the Zoning Ordinance):

1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response: *The proposed conditional use is in compliance with all regulations of the applicable zoning district (C-2), provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards set forth in Article 6 of this Ordinance. The C-2 zone allows for vehicular fuel stations, subject to approval of a conditional use permit. The accompanying site plan application details how all Town standards are being met.*

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type, and height of the buildings or structures and the type and extent of landscaping and screening on the site.

Response: *The Fry’s Fueling Center is being proposed concurrently with the processing of an overall site plan for the 19.6-acre commercial property. As such, the location, type, and height of buildings are all part of a single, integrated plan that has been designed to function effectively in every aspect. Landscaping and screening will be consistent with the rest of the center and will provide for a quality, cohesive feel.*

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response: *The fueling station is part of an integrated commercial center which provides for adequate utilities, access roads, drainage, fire protection and other necessary facilities. Adequate water and wastewater infrastructure are adjacent to the site and will be connected to the subject property as demonstrated in the preliminary water and wastewater plans provided with the concurrent site plan application. Adequate access and circulation for the public and for emergency vehicles will be provided and the fueling center will meet all fire safety requirements of Town codes and State Law.*

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response: *Adequate measures have been taken to provide ingress and egress in a way that minimizes traffic hazards and traffic congestion on the public roads. The fueling station is conveniently located adjacent to Ellsworth Road and is accessed as follows:*

- 1) *From a right-in, right-out drive on Ellsworth Road approximately 405 feet north of Riggs Road. This driveway will include a dedicated deceleration lane to minimize congestion on Ellsworth Road.*
- 2) *Additionally, vehicles may access the fueling station from within the QC Commons commercial center via two driveways easily accessed through the main shopping center parking lot, one of which connects to the center's principle drive. This main drive will include a fully signalized intersection at Ellsworth Road at a location 660 feet north of Riggs Road.*

Vehicle stacking will not occur onto the public right-of-way nor onto internal drives.

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Response: *The proposed use is not noxious or offensive by reason of vibration, noise, odor dust, smoke or gas. No vibration, inordinate amount of noise, odor, dust smoke or gas are created by the proposed use. All Town codes and state laws will be met.*

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood.

Response: *The proposed use is not injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor does it substantially diminish or impair the property values within the neighborhood. The fueling station is part of the larger 19.6-acre QC Commons commercial center and, as such, will be surrounded by other commercial buildings. The fueling station is also compatible with current and future developments in the area, including the commercial center located across Ellsworth*

Road to the west. Current and future residential neighborhoods in the area are not adjacent to the fueling center and will not be adversely impacted in any way.

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Response: *The fueling station is proposed as part of an integrated plan for QC Commons. As such, the approval of a conditional use permit will not impede the orderly development and improvement of the surrounding property.*

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response: *The establishment, maintenance, or operation of the proposed use is neither detrimental to nor does it endanger the public health, safety, morals, comfort or general welfare. The fueling station will be built and operated in accordance with all applicable codes and requirements.*

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response: *The applicant is not aware of any individual interests in the area which would be adversely affected by the establishment of the proposed use. The benefits of adding the fuel station to this busy corner include: 1) New sales taxes for Queen Creek on products sold within the convenience store, 2) New jobs for Queen Creek residents, 3) An additional fueling option for Queen Creek residents, 4) Trip reduction due to its location within a major commercial center, and 5) Convenience for Fry's Marketplace and other shopping center customers.*

General Plan Review: The current General Plan designation for this property is Commercial. The request is in conformance with the property's General Plan Land Use designation.

Zoning Review: This property is zoned C-2 "General Commercial". The proposed fuel station and associated convenience store is permitted within the C-2 district with the approval of a Conditional Use Permit.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Signage: Proposed signage will be reviewed and approved as part of a separate Comprehensive Sign Plan that will be presented before the Planning Commission at a future date.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. The development shall meet all conditions of approval as provided in Ordinance 710-19.
3. Gasoline tank vent piping shall be screened from arterial streets and public view.

ATTACHMENTS

1. Aerial Exhibit
2. Zoning Exhibit
3. Site Plan
4. Landscape Plan
5. Elevations
6. Project Narrative

Project Name: Fry's Fuel Station CUP and Site Plan Aerial Exhibit

Case Numbers: P16-0162 & P19-0235

Hearing Date: May 13 2020 (Planning Commission)

May 20, 2020 (Town Council)

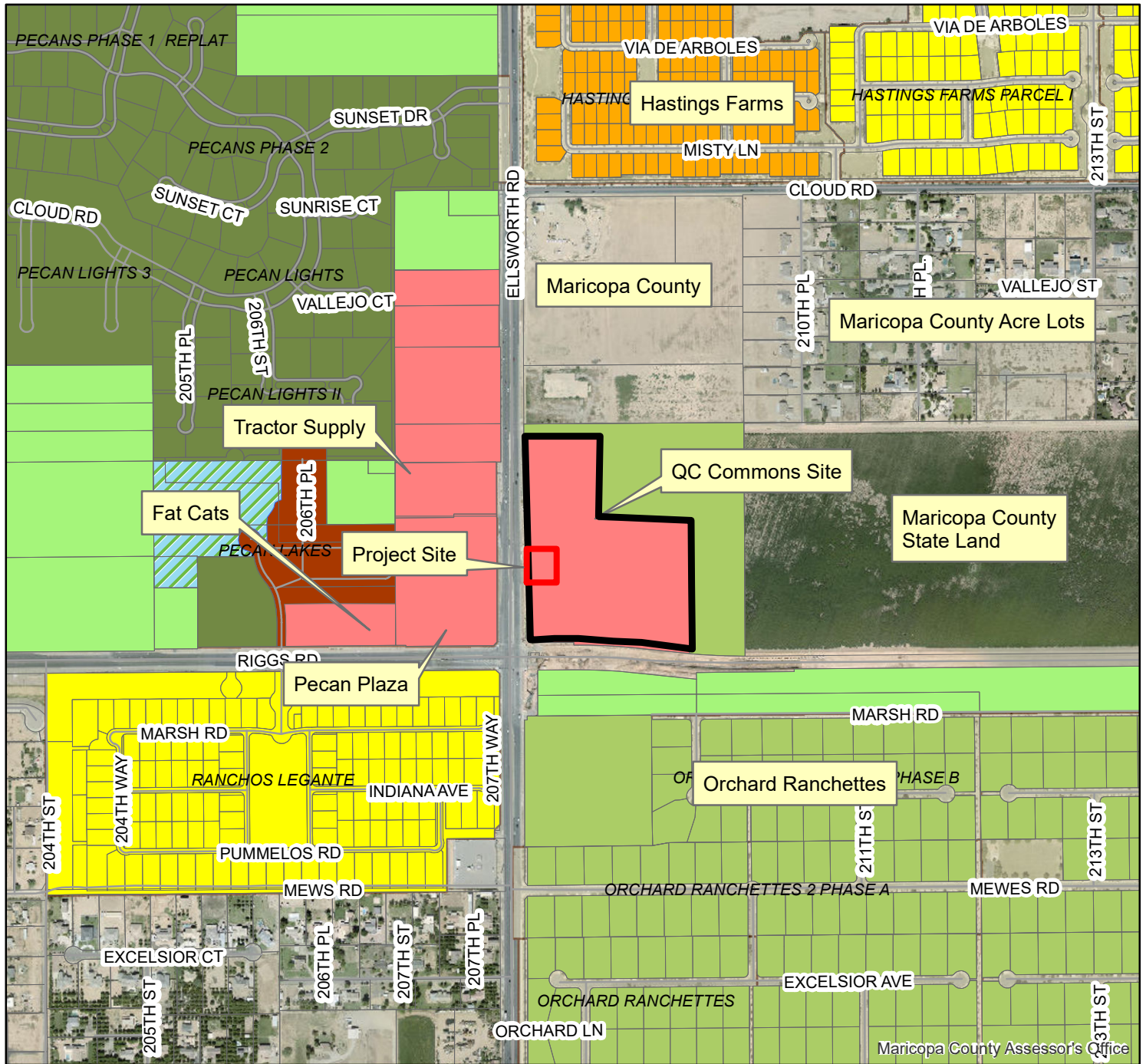


Project Name: Fry's Fuel Station CUP and Site Plan Zoning Exhibit

























Case Numbers: P16-0162 & P19-0235

Hearing Date: May 13 2020 (Planning Commission)

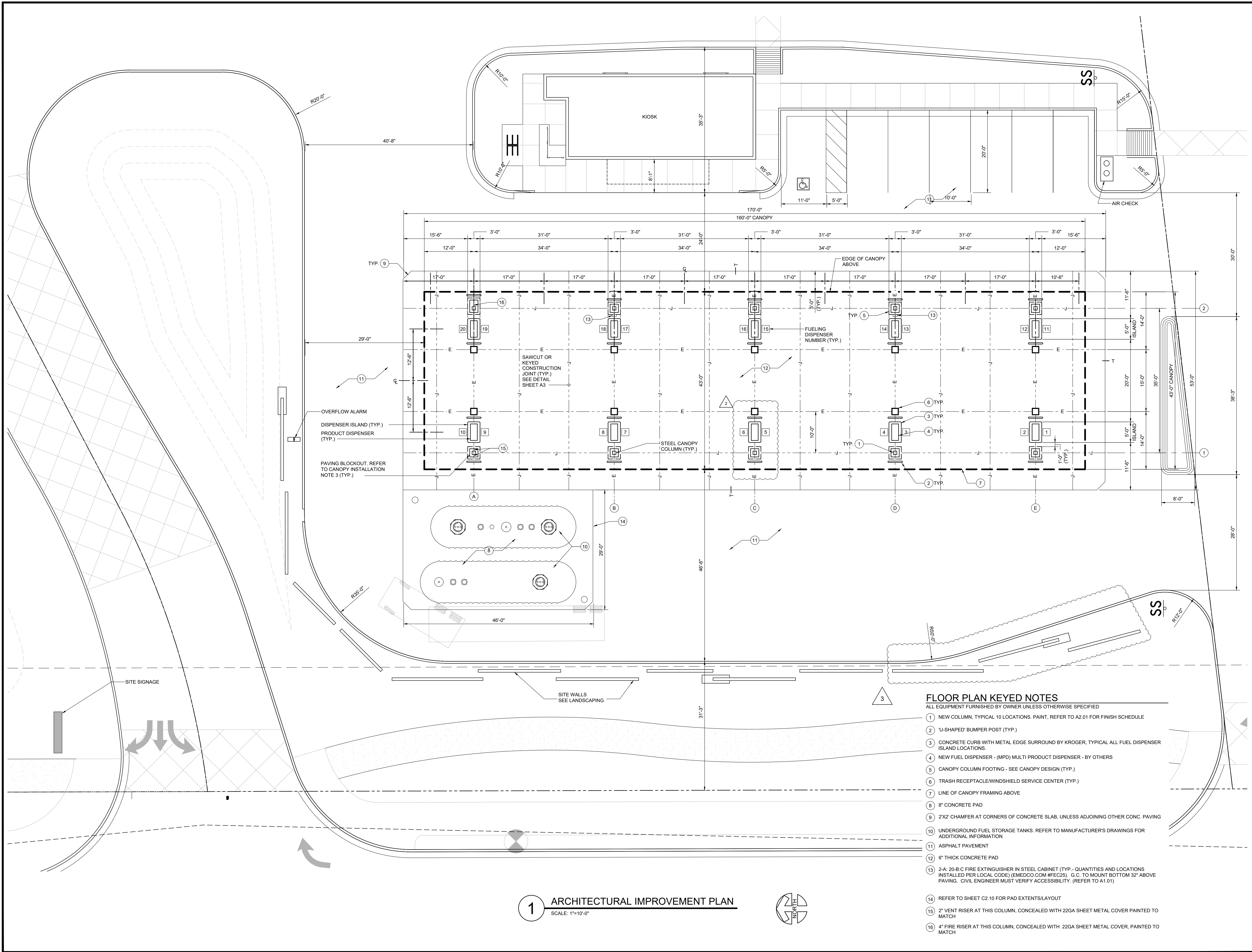
May 20, 2020 (Town Council)



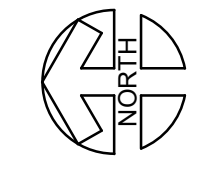
Zoning Districts

 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment

Z:\SHARED\10 PROJECTS\FRYFRYS 693 GS QUEEN CREEK 190326\11 CAD (SEG)\11-1 ENTITLEMENT-PLANNING\A1.01 CANOPY.DWG

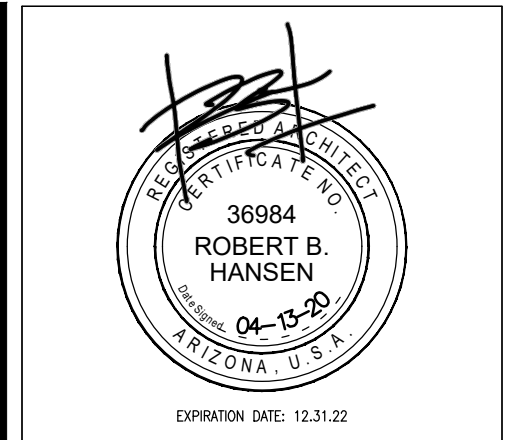


1 ARCHITECTURAL IMPROVEMENT PLAN
SCALE: 1"=10'-0"



FLOOR PLAN KEYED NOTES

- ALL EQUIPMENT FURNISHED BY OWNER UNLESS OTHERWISE SPECIFIED
- 1 NEW COLUMN, TYPICAL 10 LOCATIONS. PAINT, REFER TO A2.01 FOR FINISH SCHEDULE
 - 2 'U-SHAPED' BUMPER POST (TYP.)
 - 3 CONCRETE CURB WITH METAL EDGE SURROUND BY KROGER, TYPICAL ALL FUEL DISPENSER ISLAND LOCATIONS.
 - 4 NEW FUEL DISPENSER - (MPD) MULTI PRODUCT DISPENSER - BY OTHERS
 - 5 CANOPY COLUMN FOOTING - SEE CANOPY DESIGN (TYP.)
 - 6 TRASH RECEPTACLE/WINDSHIELD SERVICE CENTER (TYP.)
 - 7 LINE OF CANOPY FRAMING ABOVE
 - 8 8" CONCRETE PAD
 - 9 2'X2' CHAMFER AT CORNERS OF CONCRETE SLAB, UNLESS ADJOINING OTHER CONC. PAVING
 - 10 UNDERGROUND FUEL STORAGE TANKS. REFER TO MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION
 - 11 ASPHALT PAVEMENT
 - 12 6" THICK CONCRETE PAD
 - 13 2-A: 20-B-C FIRE EXTINGUISHER IN STEEL CABINET (TYP. - QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE) (EMEDCO #FEC25). G.C. TO MOUNT BOTTOM 32" ABOVE PAVING. CIVIL ENGINEER MUST VERIFY ACCESSIBILITY. (REFER TO A1.01)
 - 14 REFER TO SHEET C2.10 FOR PAD EXTENTS/LAYOUT
 - 15 2" VENT RISER AT THIS COLUMN, CONCEALED WITH 22GA SHEET METAL COVER PAINTED TO MATCH
 - 16 4" FIRE RISER AT THIS COLUMN, CONCEALED WITH 22GA SHEET METAL COVER, PAINTED TO MATCH



SEG
8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEG.COM TEL: 480.388.7226

fruits
FOOD & DRUG STORES
Fruit's Food Stores of Arizona
1355 E. Camelback Road, Suite A
Queen Creek, AZ 85209
Phone (480) 994-0145
Fax (602) 907-1974

Kroger
The Kroger Co.
1025 E. Camelback Road, Suite A
Denver, CO 80239
Phone (303) 715-5917
Fax (303) 715-5905

PROJECT: QUEEN CREEK COMMONS COMMERCIAL DEVELOPMENT
LOCATION: NEC RIGGS ROAD AND ELLSWORTH ROAD QUEEN CREEK, AZ

DRAWN: CPA
DESIGNED: CPA
CHECKED: CHECKED
PROJ. MGR: CPA
DATE: 08/28/2019
ISSUED FOR: DRB

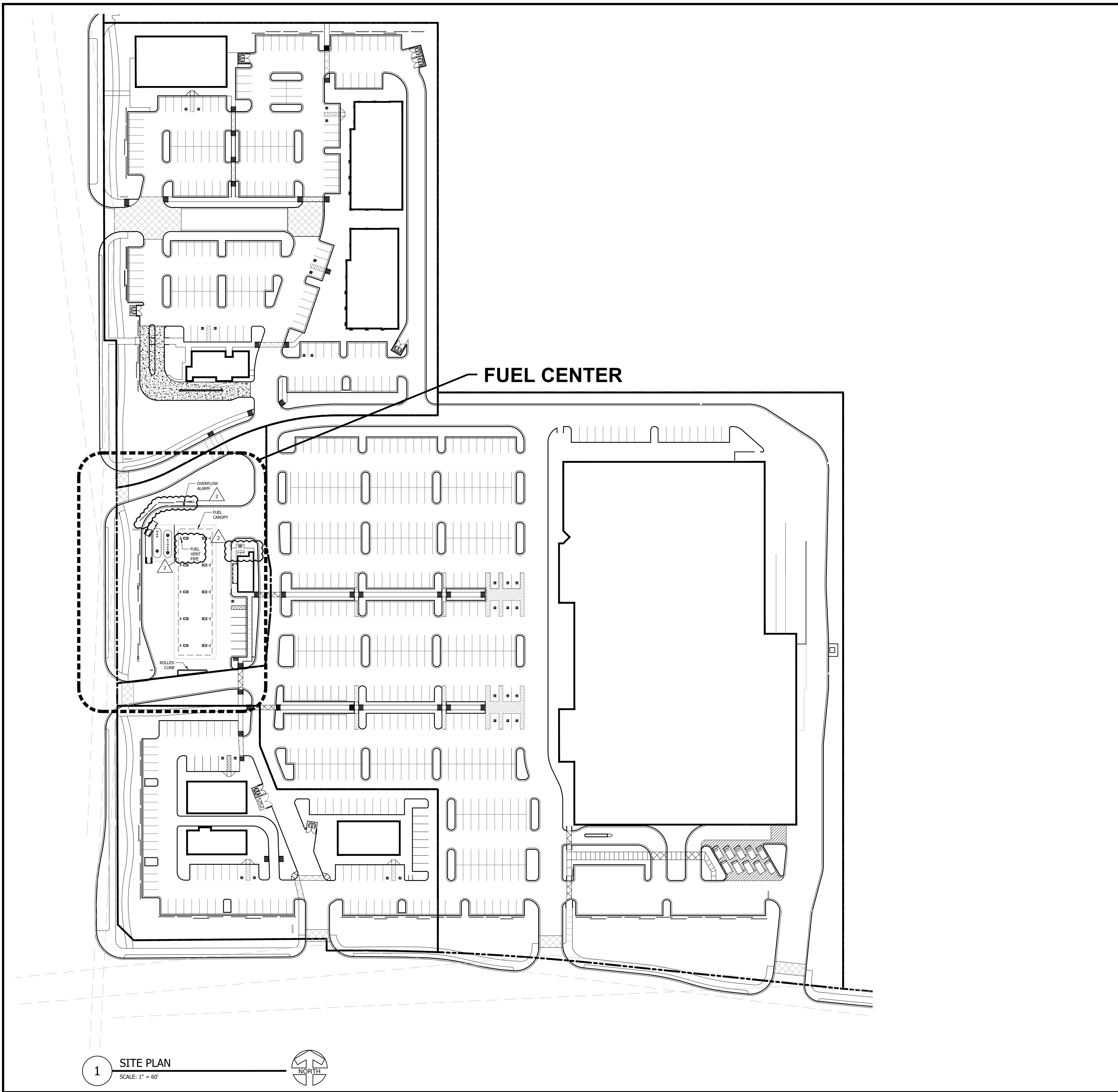
REVISION NO.	DATE
△ CITY COMMENTS	11/11/19
△ CITY COMMENTS	02/14/20
△ CITY COMMENTS	03/16/20

JOB NO.: 190326

SHEET TITLE: CANOPY PLAN

SHEET NO.: A1.01

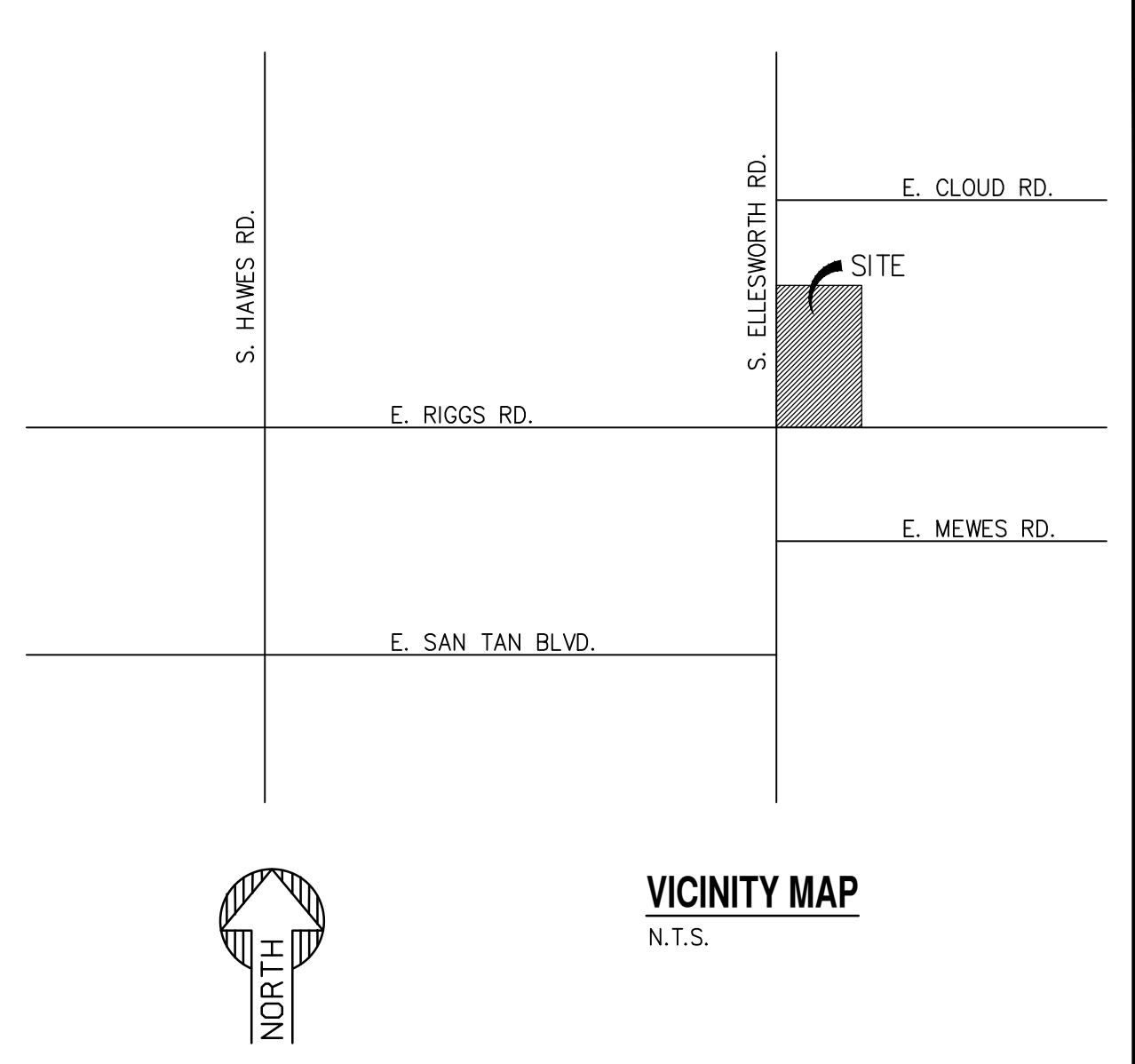
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF SUSTAINABILITY ENGINEERING GROUP, AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT IS PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.



1 SITE PLAN
SCALE: 1" = 60'



VICINITY MAP



PROJECT INFORMATION

PROJECT DESCRIPTION
THIS PROJECT IS A PROPOSED FUEL CENTER, THE FUEL CENTER WILL INCLUDE A 43' X 160'-0" PREFABRICATED FUEL CANOPY, AN 20'-8" X 46'-0" WALK-IN KIOSK WITH FIRE RISER ROOM, TEN (10) FUEL DISPENSER AND TWO (2) UNDERGROUND FUEL TANKS.

PROJECT LOCATION
SITE ADDRESS: N.E.C. S. RIGGS RD. & S. ELLESWORTH RD.
QUEEN CREEK, AZ 85142
ASSESSOR PARCEL NUMBER: 304-91-003

LEGAL DESCRIPTION
S/T/R: 27 2S 7E

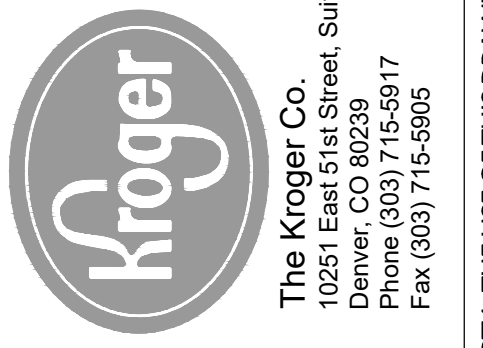
PROJECT TEAM

DEVELOPER/OWNER
RIGGS ELLSWORTH 40, LLC
20 S. KYRENE ROAD
CHANDLER, ARIZONA 85226
PHONE (480) 889-0010
ATTN: MIKE NOTHUM

SITE PLANNING
NORRIS DESIGN
901 EAST MADISON STREET
PHOENIX, ARIZONA 85034
PHONE: 602-254-9600
ATTN.: JENNIFER MEYERS

CIVIL ENGINEER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR, SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE 480-237-2510
ATTN. ALI FAKIH

ARCHITECTURE - FUEL CENTER
SUSTAINABILITY ENGINEERING GROUP
8280 E. GELDING DR, SUITE 101
SCOTTSDALE, ARIZONA 85260
PHONE 480-237-2510
ATTN. ROBERT B. HANSEN, R.A.



PROJECT
QUEEN CREEK COMMONS
COMMERCIAL DEVELOPMENT

LOCATION
NEC RIGGS ROAD AND
ELLESWORTH ROAD
QUEEN CREEK, AZ

DRAWN: _____ CPA
DESIGNED: _____ CPA
CHECKED: _____ CHECKED
PROJ. MGR: _____ CPA

DATE: 08/28/2019
ISSUED FOR: DRB

REVISION NO.:	DATE:
△ CITY COMMENTS	11/11/19
△ CITY COMMENTS	02/14/20
△	
△	

JOB NO.: 190326
SHEET TITLE: SITE PLAN

SHEET NO.: A0.1

8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEEG.COM TEL: 480.588.7226



PLANT SCHEDULE FUEL CENTER			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	ACACIA ANEURA MULGA	24" BOX	2
	OLEA EUROPAEA 'WILSONII' WILSON OLIVE	24" BOX	3
	PISTACIA X 'RED PUSH' PISTACHE	24" BOX	8
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	9
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	DASYLIRION QUADRANGULATUM MEXICAN GRASS TREE	5 GAL	21
	DODONAEA VISCOSA HOPSEED BUSH	5 GAL	40
	EREMOPHILA HYGROPHANA 'BLUE BELLS' BLUE BELLS	5 GAL	42
	HEPERALOE PARVIFLORA RED YUCCA	5 GAL	6
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	5 GAL	12
GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY
	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE MUHLY GRASS	5 GAL	14
	MUHLENBERGIA LINDHEIMERI 'AUTUMN GLOW' TM LINDHEIMER'S MUHLY	5 GAL	44
GROUNDCOVER	BOTANICAL / COMMON NAME	SIZE	QTY
	EREMOPHILA MACULATA 'OUTBACK SUNRISE EMU' OUTBACK SUNRISE EMU	5 GAL	5
	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5 GAL	94
SUCCULENTS	BOTANICAL / COMMON NAME	SIZE	QTY
	NOLINA MICROCARPA BEAR GRASS	5 GAL	10
VINES/PALIER	BOTANICAL / COMMON NAME	SIZE	QTY
	BOUGAINVILLEA X 'BARBARA KARST' BARBARA KARST BOUGAINVILLEA	5 GAL	5

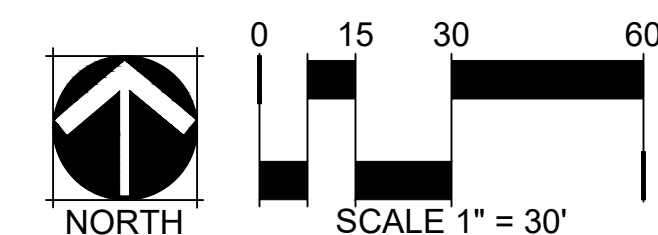
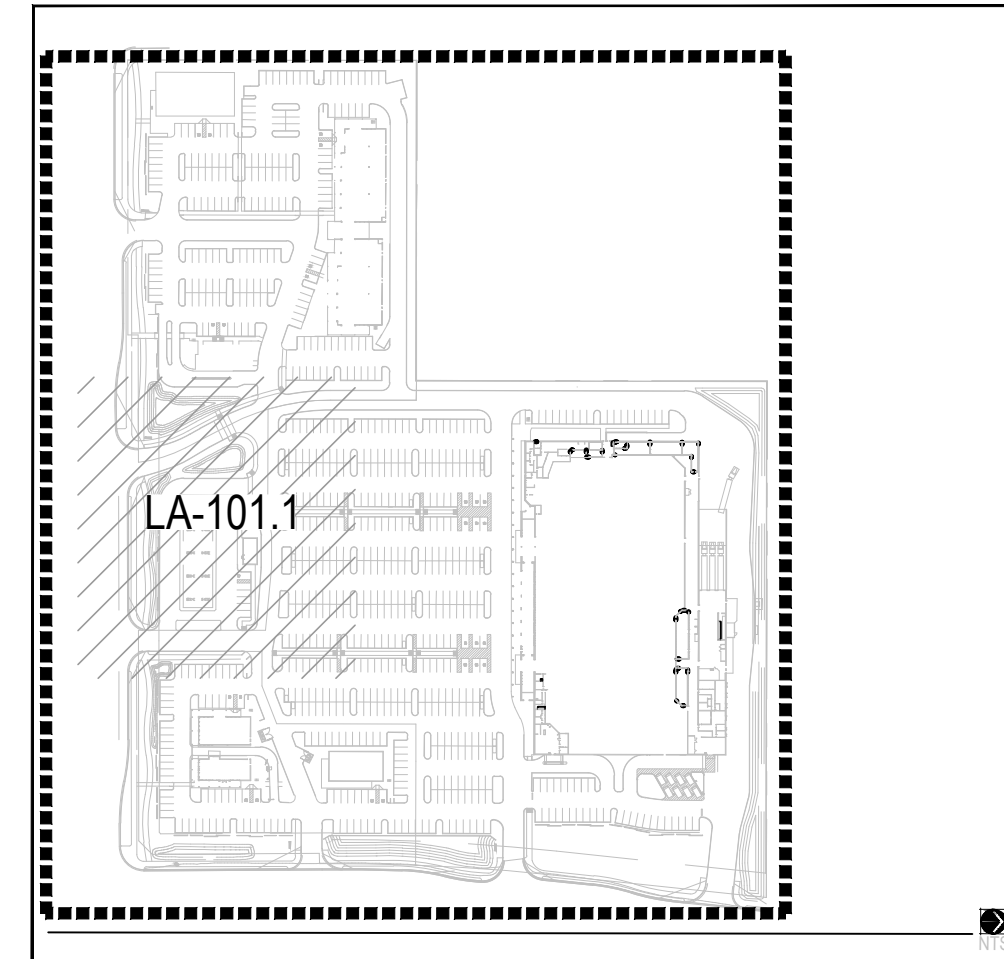
TOPDRESS SCHEDULE

MATERIAL	
	DECOMPOSED GRANITE: 1/2" SCREENED COLOR: APACHE BROWN
	MULTI-USE TRAIL DECOMPOSED GRANITE: 1/4" MINUS STABILIZED COLOR: APACHE BROWN

NOTES:

- CONTRACTOR IS TO FIELD VERIFY FINAL QUANTITY OF DECOMPOSED GRANITE TOPDRESS (SQUARE FOOTAGE AND TONNAGE).
- DECOMPOSED GRANITE TOPDRESS TO BE PLACED IN THE BOTTOMS AND SIDE SLOPES OF ALL BASINS.
- ALL DECOMPOSED GRANITE TOPDRESS IN TO MAINTAIN A UNIFORM 2" MINIMUM DEPTH.

KEY MAP



KEY NOTES

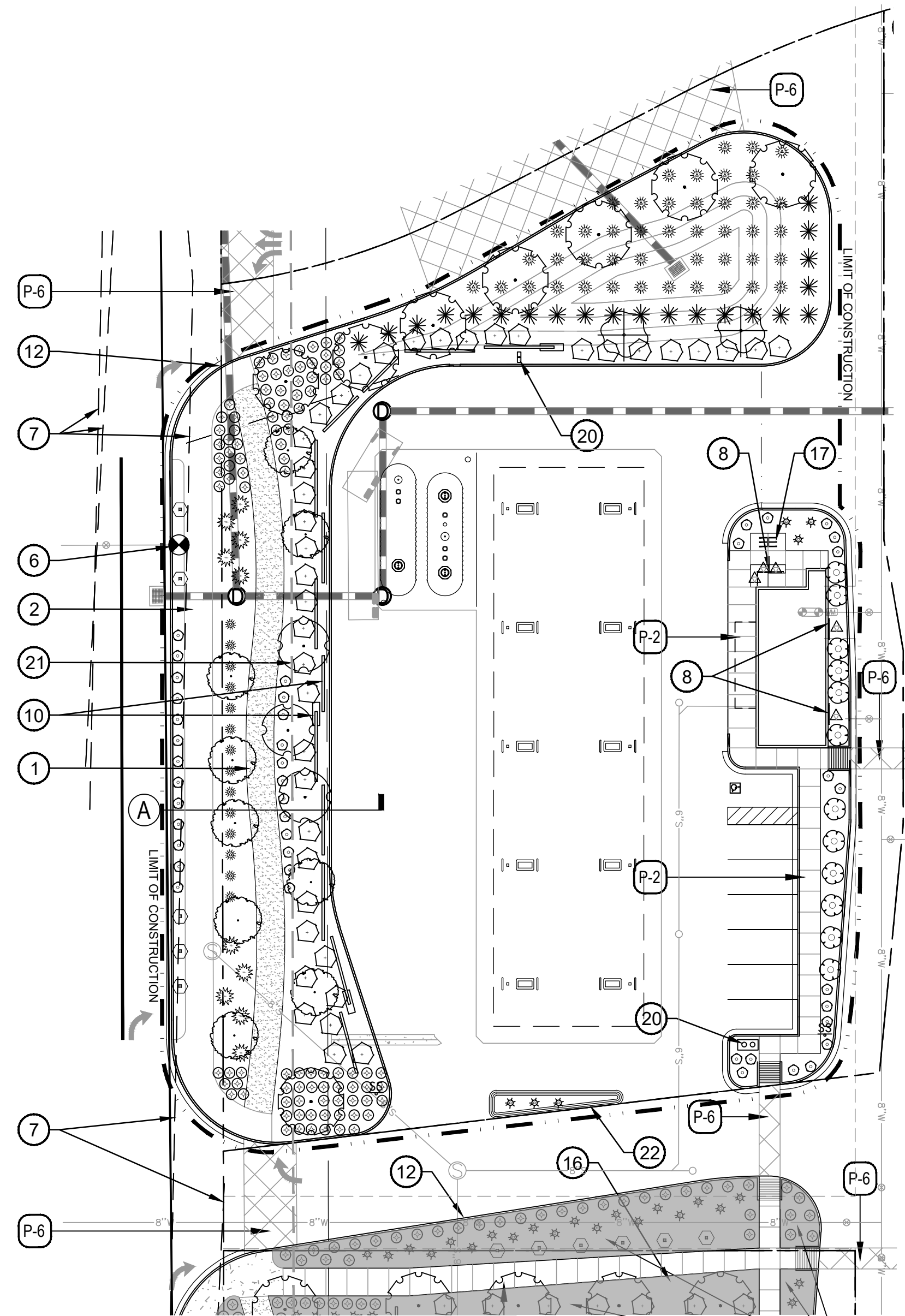
- 8' M.U. TRAIL - SEE TOPDRESS SCHEDULE
- 8' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- 6' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- MULTI-TENANT MONUMENT SIGN - SEE ARCHITECTURE SITE PLAN
- TRASH ENCLOSURE - SEE ARCHITECTURE SITE PLAN
- FIRE HYDRANT - SEE ARCHITECTURE SITE PLAN
- SIGHT VISIBILITY TRIANGLE - SEE CIVIL PLANS
- TRELLIS PER ARCHITECTURAL SITE PLAN
- CART CORRAL - SEE ARCHITECTURE SITE PLAN
- SCREEN WALL - SEE ARCHITECTURAL SITE PLAN
- TRASH RECEPTACLE - SEE DETAIL 6/LA-103
- CURBING - SEE CIVIL PLANS
- SEATING BENCH - SEE DETAIL 1/LA-103
- SEATING PLANTER - SEE DETAIL 3/LA-103
- BOLLARD LIGHTING - SEE DETAIL 2/LA-103
- PARKING LOT LIGHTS - SEE ELECTRICAL ENGINEERING PLANS
- BIKE RACK - SEE DETAIL 4/LA-103
- 2'-8" TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- 4' TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- FUEL CENTER EQUIPMENT SEE FUEL CENTER SITE PLAN. ITEMS TO BE SCREENED WITH LANDSCAPE MATERIAL
- 20' LANDSCAPE SETBACK FROM PROPERTY LINE
- ROLLED CURB - SEE CIVIL PLANS

PAVING SCHEDULE

- P-1 TYPE 1 - CONCRETE BANDING**
 FINISH: MEDIUM BROOM
 COLOR: DAVIS DARK GRAY 8084
 TYPE: PEDESTRIAN RATED
 SEE DETAIL 5/LA-103
- P-2 TYPE 2 - CONCRETE SIDEWALKS**
 FINISH: MEDIUM BROOM
 COLOR: STANDARD GRAY
 TYPE: PEDESTRIAN RATED
 SCORE PATTERN: SPACING TO MATCH WIDTH OF SIDEWALK
 SEE DETAIL 5/LA-103
- P-3 TYPE 3 - CONCRETE FIELD**
 FINISH: MEDIUM BROOM
 COLOR: STANDARD GRAY
 TYPE: PEDESTRIAN RATED
 SCORE PATTERN: 4' X 4' SPACING AT 45 DEGREES FROM BUILDING
 SEE DETAIL 5/LA-103
- P-4 TYPE 4 - CONCRETE FIELD**
 FINISH: MEDIUM BROOM
 COLOR: STANDARD GRAY
 TYPE: PEDESTRIAN RATED
 SCORE PATTERN: AS SHOWN PER PLAN
 SEE DETAIL 5/LA-103
- P-5 TYPE 3 - CONCRETE FIELD**
 FINISH: MEDIUM EXPOSED AGGREGATE
 COLOR: STANDARD GRAY
 TYPE: PEDESTRIAN RATED
 SCORE PATTERN: 2' X 2' SPACING AT 45 DEGREES FROM BUILDING
 SEE DETAIL 5/LA-103
- P-6 TYPE 3 - CONCRETE FIELD**
 FINISH: MEDIUM BROOM
 COLOR: STANDARD GRAY
 TYPE: VEHICULAR RATED
 SCORE PATTERN: 6' X 6' SPACING AT 45 DEGREES FROM ADJACENT CURB
 SEE DETAIL 7/LA-103

NOTES:

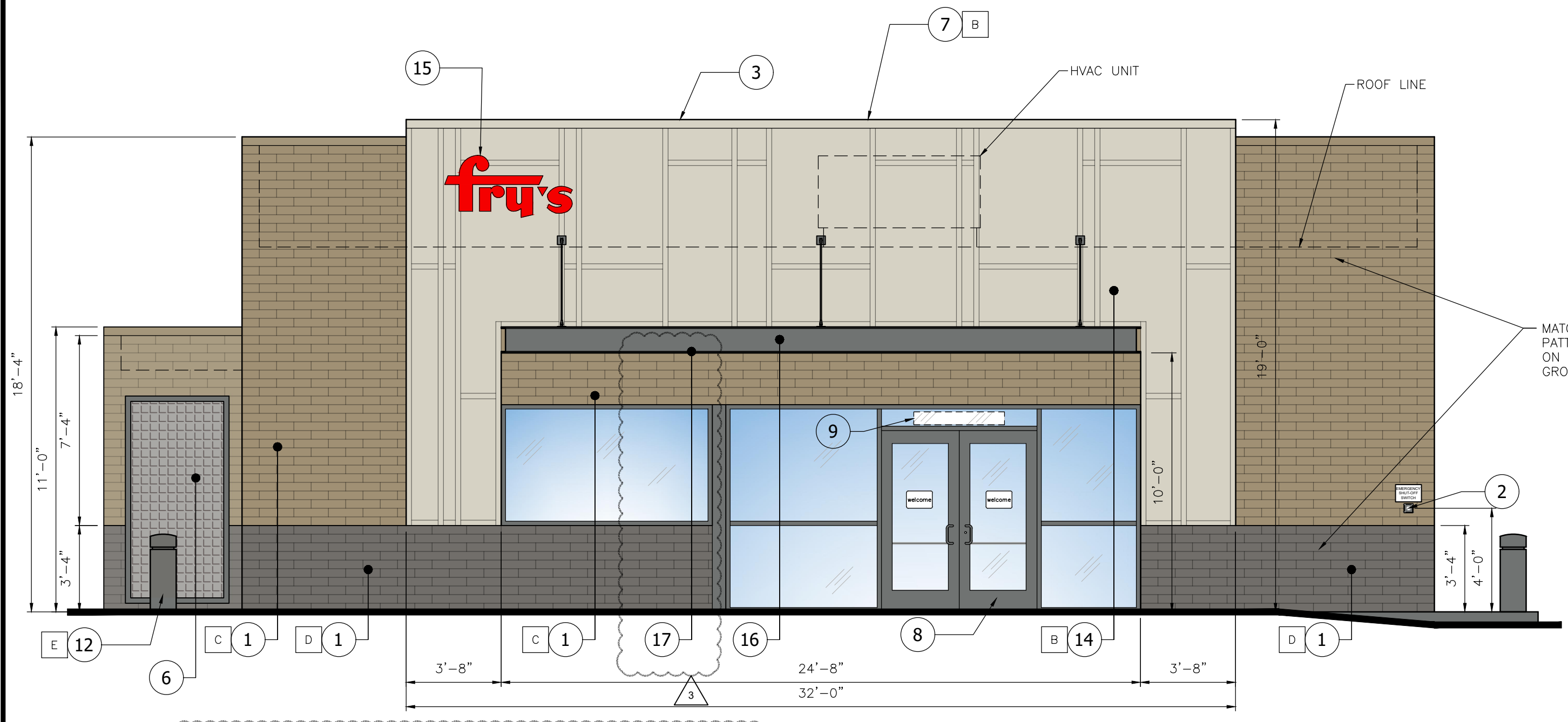
- CONTRACTOR TO PROVIDE SAMPLES OF ALL PAVERS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE 5'x5' MOCKUP OF ALL PAVING MATERIALS AND FINISHES FOR REVIEW AND APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



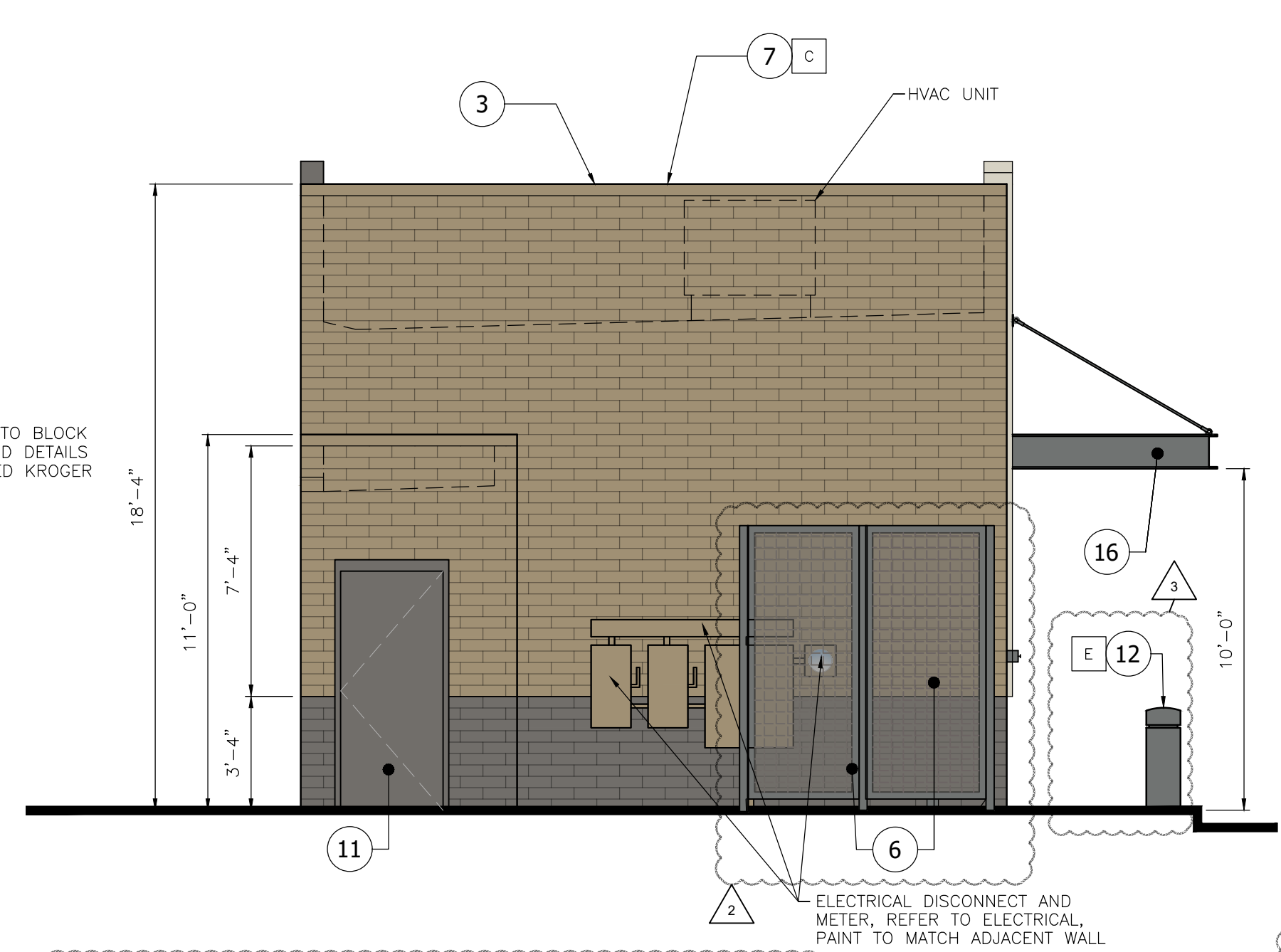
SITE LANDSCAPING SHOWN FOR REFERENCE ONLY. NOT A PART OF THIS SUBMITTAL.

ELLSWORTH RD.

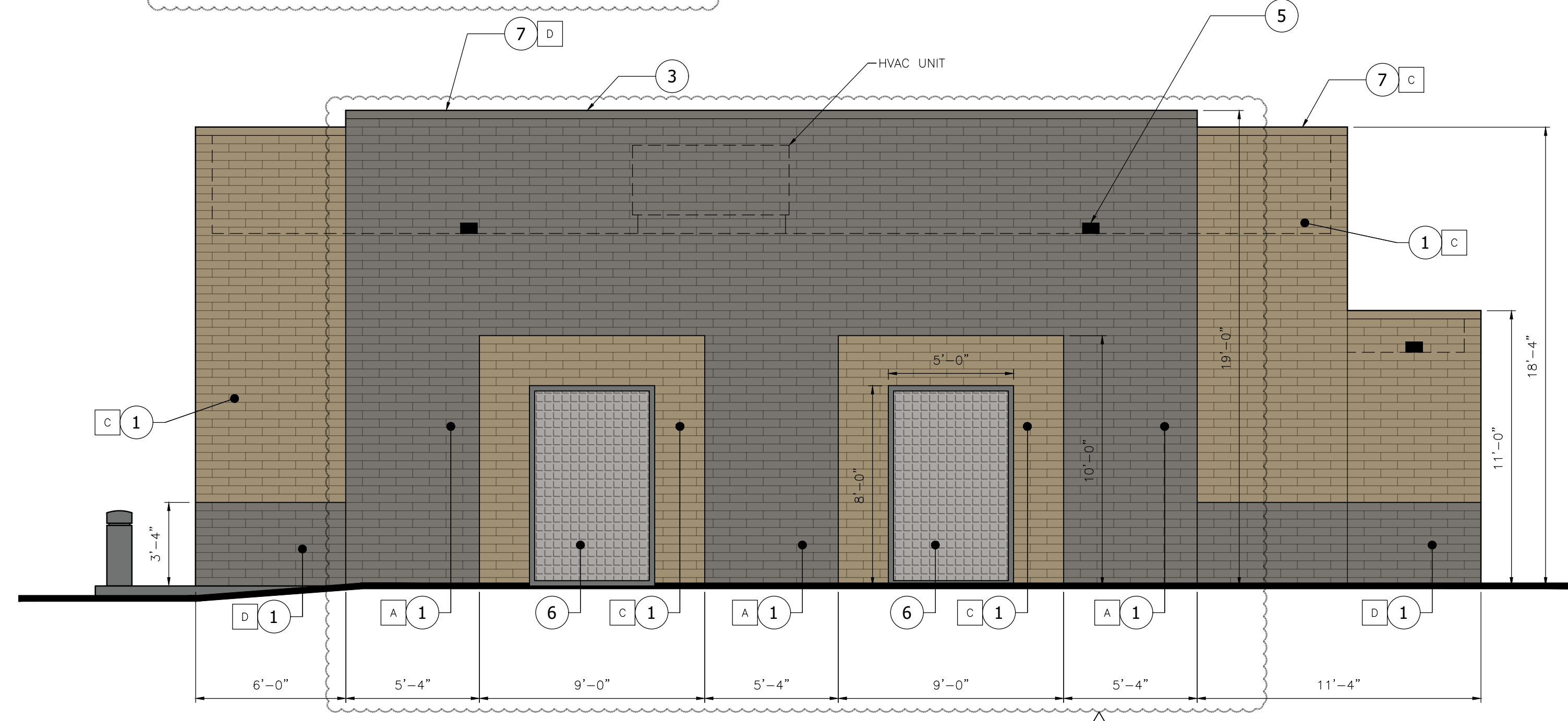
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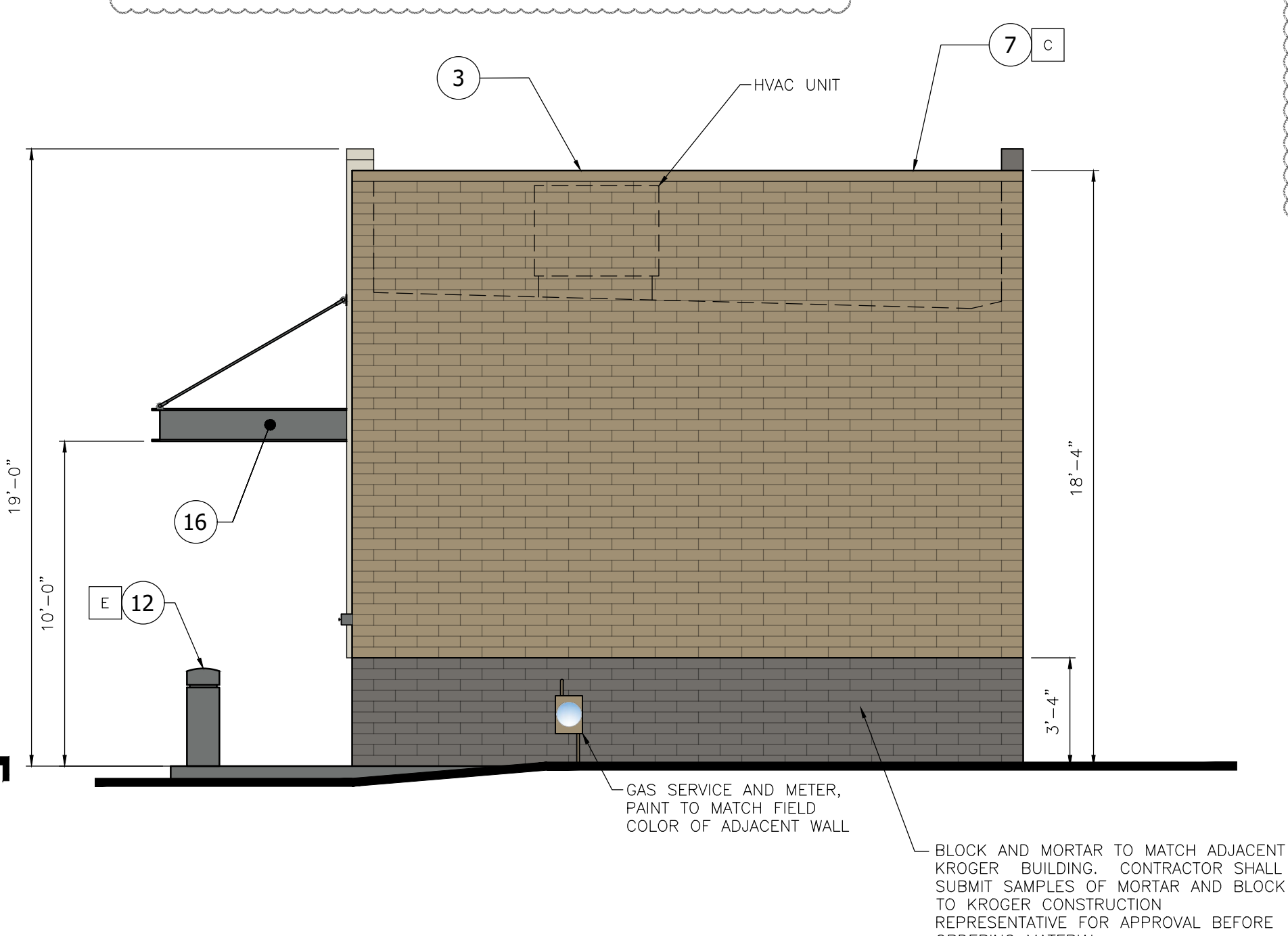
1 FRONT (WEST) ELEVATION
SCALE: 1/4"=1'-0"



2 LEFT (NORTH) ELEVATION
SCALE: 1/4"=1'-0"



3 REAR (EAST) ELEVATION
SCALE: 1/4"=1'-0"



4 RIGHT (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL SUBMIT: FIBER-CEMENT BOARD, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. ALL ONSITE SIGNAGE UNDER SEPARATE PERMIT.

KEYED NOTES:

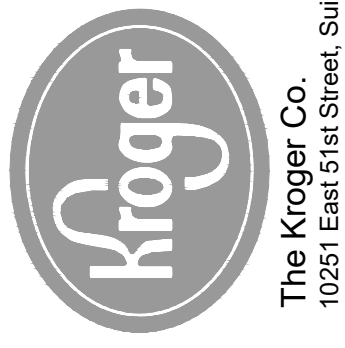
- 1. 8X4X16 CMU BLOCK; RE: COLOR/FINISH LEGEND
- 2. EMERGENCY STOP SWITCH.
- 3. PARAPET AT KIOSK TO BE TALL ENOUGH TO COMPLETELY CONCEAL ROOF MOUNTED MECHANICAL EQUIPMENT.
- 4. NOT USED.
- 5. OVERFLOW SCUPPER, PAINT TO MATCH BLOCK.
- 6. METAL ACCENT TRELLIS TO MATCH STORE.
- 7. METAL PARAPET CAP, RE: COLOR/FINISH SCHEDULE.
- 8. DARK BRONZE ANODIZED ALUM. STOREFRONT
- 9. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH TOWN OF QUEEN CREEK REQUIREMENTS.
- 10. PROVIDE 4" MIN. NO SMOKING SIGNAGE PER TOWN OF QUEEN CREEK AND STATE REQUIREMENTS.
- 11. FIRE RISER ROOM ACCESS, ALARM, KNOX BOX.
- 12. 12" DIAMETER CONC. BOLLARD TO MATCH BOLLARDS AT GROCERY STORE.
- 13. NOT USED.
- 14. HARDIE PLANK VERTICAL SIDING, 48"x120". COMBINE WITH HARDIE TRIM. RE: COLOR/FINISH LEGEND.
- 15. INTERNALLY ILLUMINATED CHANNEL LETTERS (SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR)
- 16. STEEL SECTION CANOPY WITH TIE RODS; PROVIDE NATURAL FINISH W/ CLEAR SEAL COAT.
- 17. B-DECKING W/ HOT DIPPED GALVANIZED FINISH AT CANOPY ROOF.

COLOR/FINISH LEGEND:

- A. GROUND FACE CMU ECHELON "OPAL"
- B. HARDIE PANEL VERTICAL SIDING, "COBBLESTONE"
- C. SPLIT-FACE CMU ECHELON "MONTEREY STONE"
- D. SPLIT-FACE CMU ECHELON "OPAL"
- E. MATCH COLOR SHERWIN WILLIAMS SW4081 "GRAPHITE"

BUILDING ELEVATION NOTES:

- 1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- 2. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
- 3. ANY ROOF ACCESS LADDERS SHALL BE LOCATED INSIDE THE BUILDING. ROOF DRAINAGE SHALL UTILIZE INTERIOR ROOF DRAINS OR BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING DESIGN. ARCHITECTURALLY INTEGRATED ROOF DRAINS SHALL REQUIRE ADDITIONAL ARTICULATION BEYOND PAINT ACCENTS.
- 4. SCREENING SHALL BE ARCHITECTURALLY INTEGRATED FOR THE SERVICE ENTRANCE SECTION (SES) AND ALL UTILITIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY A CONCRETE OR MASONRY WALL WITH SOLID GATES, TO OR GREATER IN HEIGHT OF THE MECHANICAL EQUIPMENT.
- 5. SIGNS REQUIRE SEPARATE PERMIT.



8280 E GELDING DR #101, SCOTTSDALE, ARIZONA 85260
WWW.AZSEGC.COM TEL. 480.588.7226

Fry's Food Stores of Arizona
1025 E. Camelback Rd., Suite A
Queen Creek, AZ 85209
Phone (480) 994-0145
Fax (602) 907-1974

The Kroger Co.
1025 E. Camelback Rd., Suite A
Denver, CO 80239
Phone (303) 715-5917
Fax (303) 715-5905

PROJECT: QUEEN CREEK COMMONS COMMERCIAL DEVELOPMENT
LOCATION: NEC RIGGS ROAD AND ELLSWORTH ROAD QUEEN CREEK, AZ

DRAWN: CPA
DESIGNED: CPA
CHECKED: CPA
PROJ. MGR.: CPA

DATE: 08/28/2019
ISSUED FOR: DRB

REVISION NO.	DATE
1	11/11/19
2	02/14/20
3	03/16/20

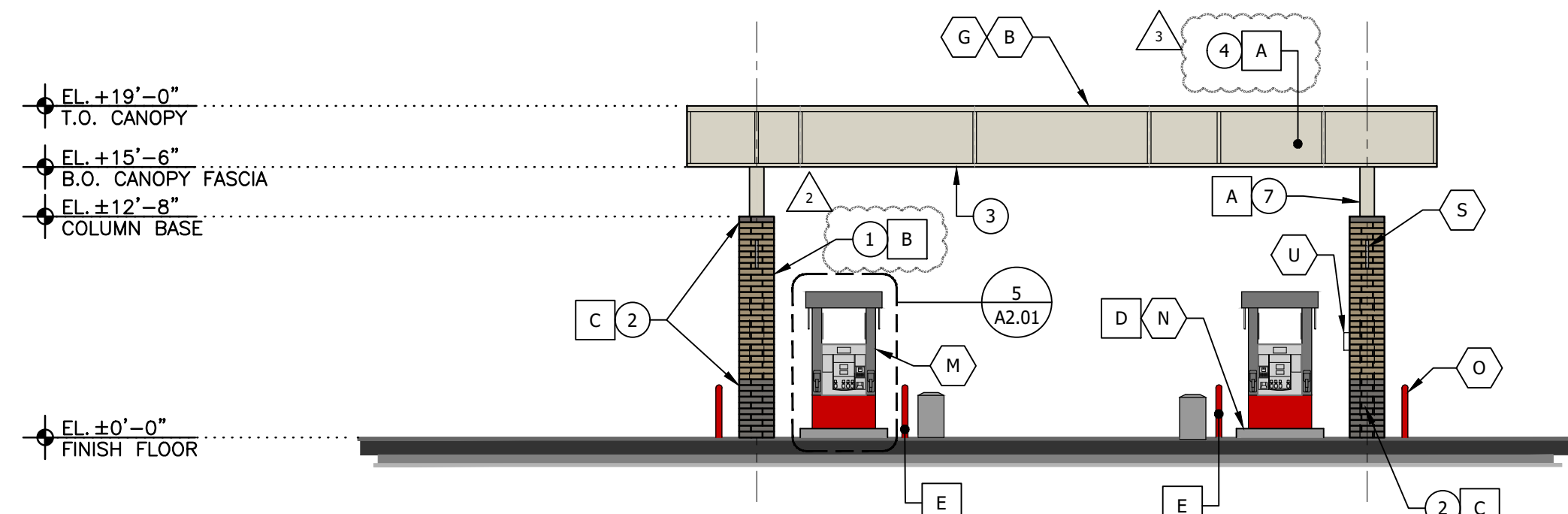
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SHEET TITLE:

EXTERIOR KIOSK ELEVATIONS

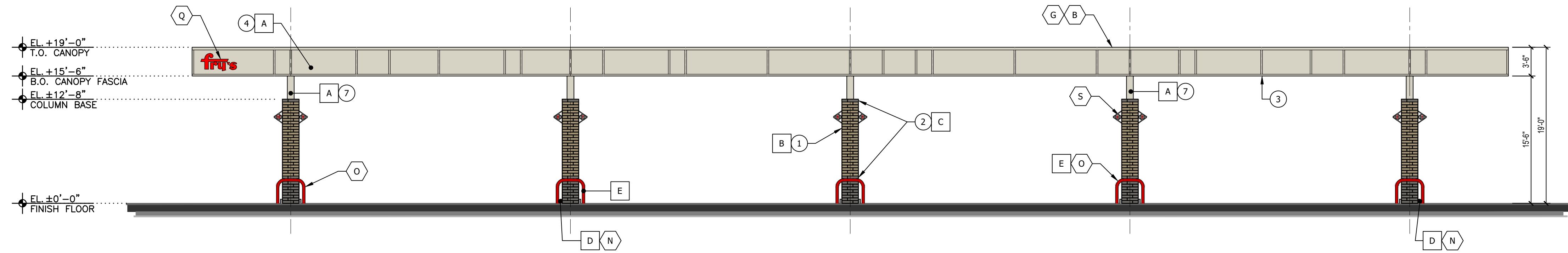
SHEET NO.: A2.0

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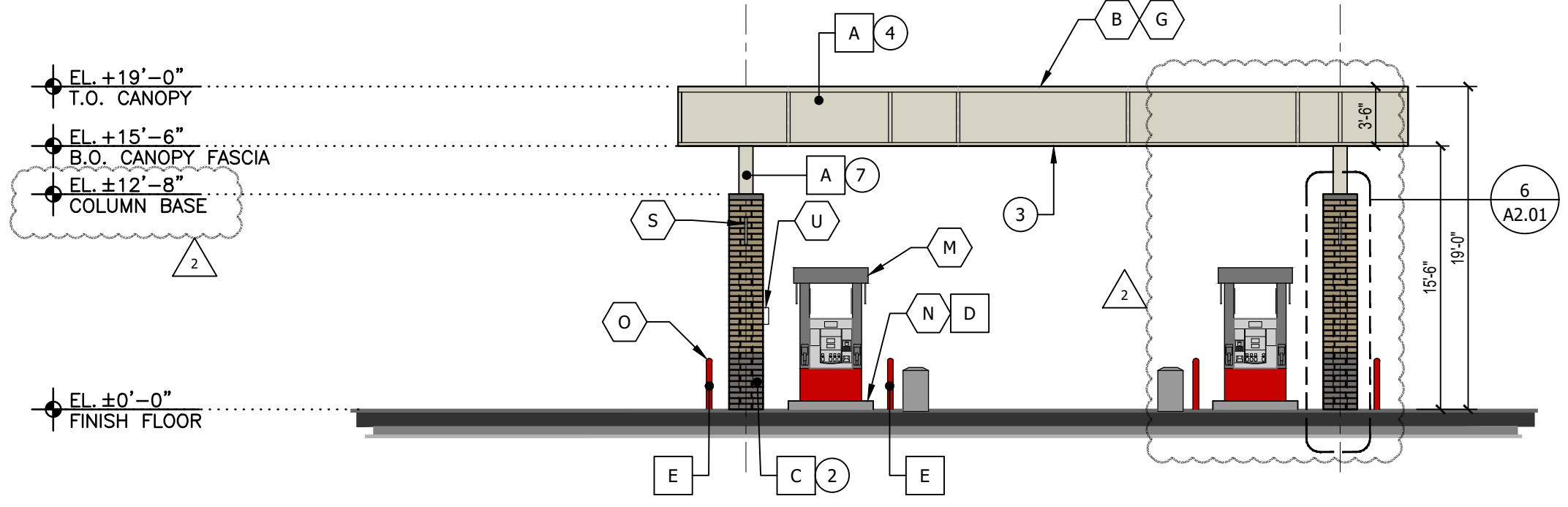
X:\PROJECTS\FRY'S\683 GS QUEEN CREEK (OLD 160293)\11 CAD (SEG)\11.1 ENTITLEMENT-PLANNING\A2.01_CANOPY.DWG



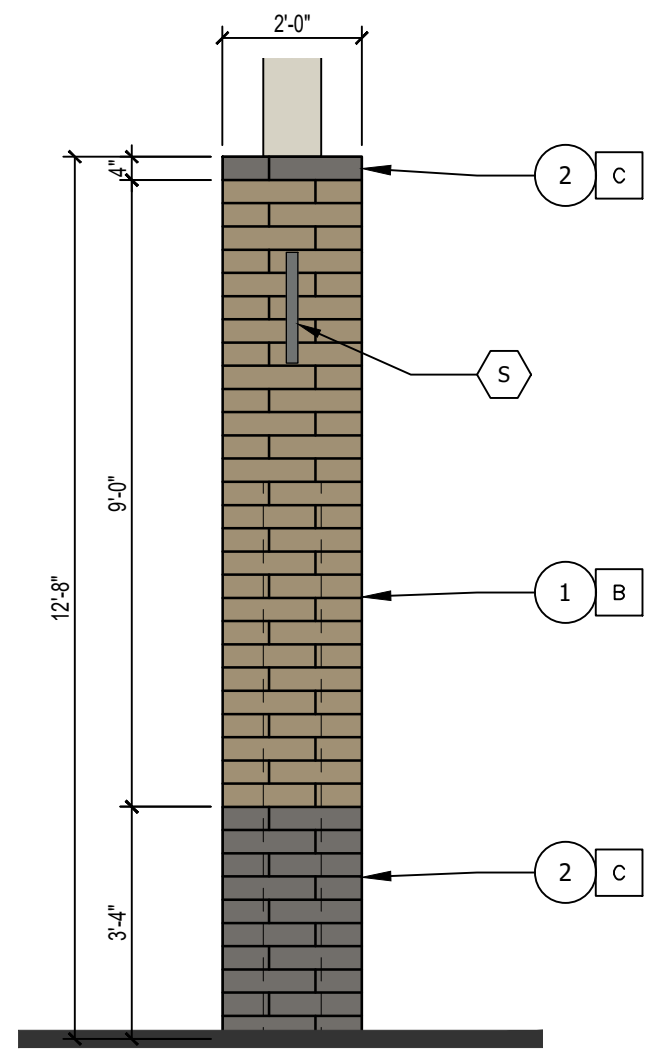
1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



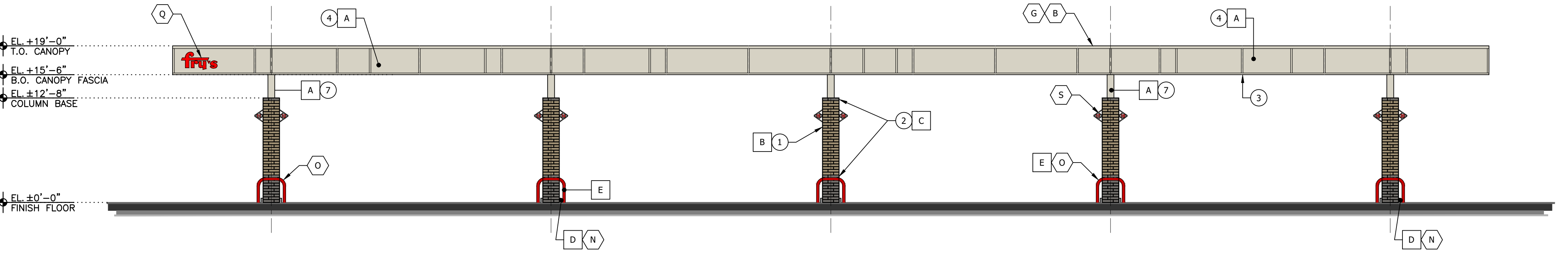
2 WEST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



6 ENLARGED COLUMN ELEVATION
SCALE: 3/8"=1'-0"



4 EAST ELEVATION
SCALE: 1/8"=1'-0"

GENERAL NOTES:

- A. CONTRACTOR SHALL SUBMIT: FIBER-CEMENT SIDING, MASONRY, MORTAR AND PAINT SAMPLES TO FRY'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- B. PREFABRICATED CANOPY PROVIDED BY OTHERS.
- C. ALL ONSITE SIGNAGE SHALL BE SUBMITTED UNDER SEPARATE PERMIT.
- D. FUEL DISPENSERS SHALL COMPLY WITH ACCESSIBLE GUIDELINES.

KEYED NOTES: #

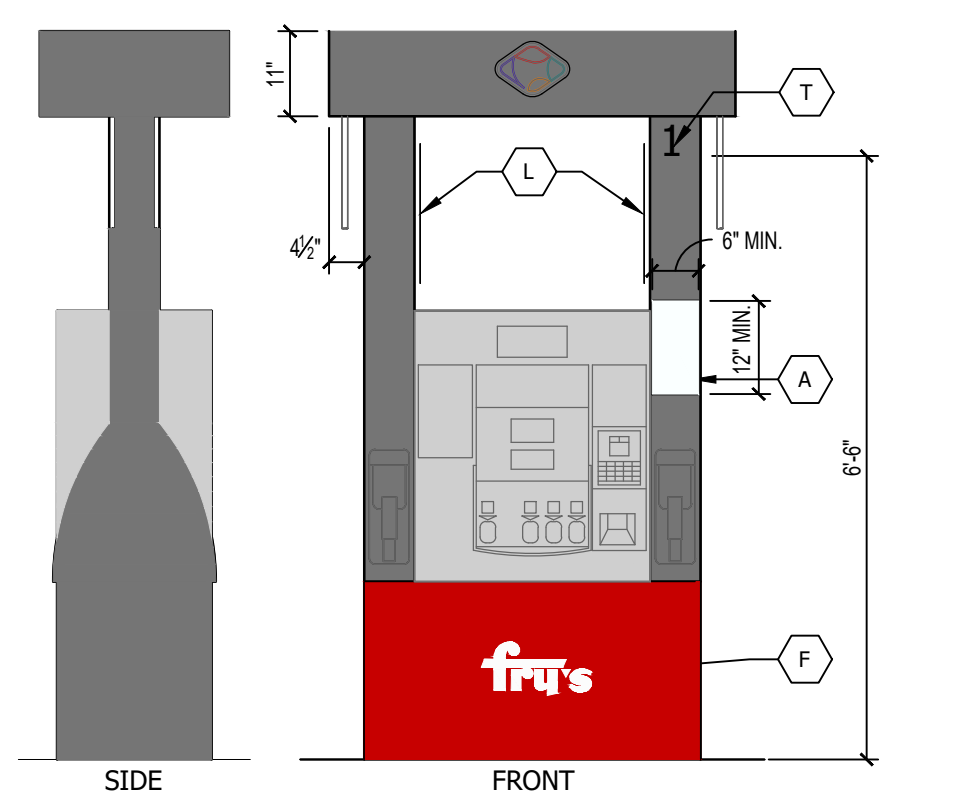
- 1. 8X4X16 SPLIT FACE BLOCK; RE: COLOR/FINISH SCHEDULE.
- 2. 8X4X16 SPLIT FACE BLOCK; RE: COLOR/FINISH SCHEDULE.
- 3. CANOPY LIGHTS SHALL BE FULLY RECESSED DOWNLIGHT FIXTURES. LIGHTS SHALL NOT PROJECT BELOW THE CEILING SURFACE OF THE CANOPY OR CAST LIGHT HORIZONTALLY.
- 4. HARDIPANEL SIDING; RE: COLOR/FINISH SCHEDULE.
- 5. PROVIDE MIN. 12" HIGH W/2" STROKE BUILDING ADDRESS IN CONTRASTING COLOR TO WALL IN ACCORDANCE WITH C.O.A.J. ORDINANCE.
- 6. PROVIDE 4" MIN. NO SMOKING SIGNAGE IN ACCORDANCE WITH T.O.Q.C. NO SMOKING ORDINANCE AND STATE REQUIREMENTS.
- 7. 10" SQUARE CANOPY COLUMN; RE: COLOR/FINISH SCHEDULE.

COLOR/FINISH LEGEND: X

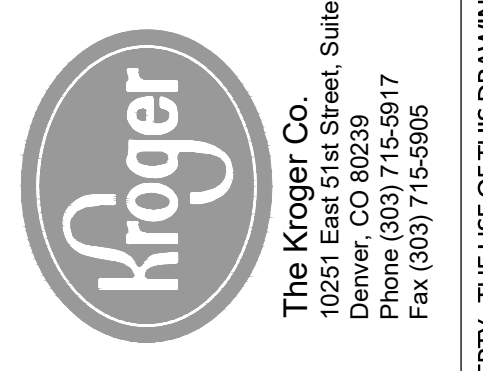
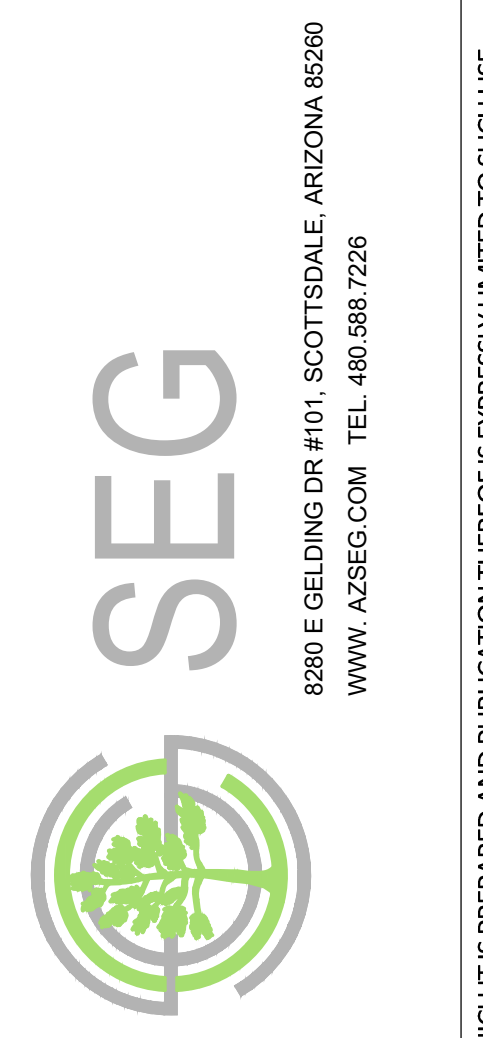
- A MATCH COLOR TO HARDIE PANEL "COBBLESTONE"
- B MATCH STORE COLOR OF ECHELON SPLIT FACE 'MONTEREY STONE'
- C MATCH STORE COLOR OF ECHELON SPLIT FACE 'OPAL'
- D MATCH COLOR SHERWIN WILLIAMS SW4081 "GRAPHITE"
- E MATCH COLOR SHERWIN WILLIAMS SW4081 "SAFETY RED"

EQUIPMENT SCHEDULE

ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	STATIC WARNING DECAL (MIN. 12" H X 6" W)		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
B	CANOPY		MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
C	LOGO - NON-ILLUMINATED (28" H X 37 1/2" W)		DUALITE		OWNER	SIGN INSTALLER
D	ILLUMINATED LOGO SIGN		DUALITE		OWNER	SIGN INSTALLER
E	PRE-CUT BLACK VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
F	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
G	CANOPY FASCIA	PER SCHED.	MADISON		CANOPY FABRICATOR	CANOPY FABRICATOR
H	KIOSK - PREFABRICATED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
I	KIOSK FASCIA - NOT USED	PER SCHED.	SAGEBRUSH		KIOSK FABRICATOR	GENERAL CONTRACTOR
J	ELECTRICAL DISCONNECTS		GENERAL CONTRACTOR		GENERAL CONTRACTOR	GENERAL CONTRACTOR
K	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
L	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
M	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
N	ISLAND FORMS	STAINLESS STEEL	OWNER		GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	U-SHAPED BOLLARD - G.C. TO PAINT, 3'-0" IN HEIGHT	SAFETY RED	RIVERSIDE		OWNER	GENERAL CONTRACTOR
P	3"x2" DOWNSPOUT - INTERNAL		SAGEBRUSH		KIOSK FABRICATOR	KIOSK FABRICATOR
Q	ILLUMINATED CHANNEL LETTERS		DUALITE		OWNER	SIGN INSTALLER
R	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
S	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
T	4" BLACK VINYL DECAL (DISPENSER NUMBER)		OWNER		GENERAL CONTRACTOR	GENERAL CONTRACTOR
U	FIRE EXTINGUISHER		OWNER		GENERAL CONTRACTOR	GENERAL CONTRACTOR



5 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"



PROJECT: QUEEN CREEK COMMONS COMMERCIAL DEVELOPMENT
LOCATION: NEC RIGGS ROAD AND ELLSWORTH ROAD, QUEEN CREEK, AZ

DRAWN: CPA
DESIGNED: CPA
CHECKED: CPA
PROD. MGR.: CPA

DATE: 08/28/2019
ISSUED FOR: DRB

REVISION NO.	DATE
1	11/11/19
2	02/14/20
3	03/16/20

JOB NO.: 190326
SHEET TITLE: CANOPY ELEVATIONS

SHEET NO.: A2.01

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QC COMMONS

CONDITIONAL USE PERMIT APPLICATION FRY'S MARKETPLACE FUELING STATION

1st SUBMITTAL DATE: August 28, 2019

NORTHEAST CORNER OF ELLSWORTH ROAD & RIGGS ROAD
QUEEN CREEK, ARIZONA

QC COMMONS

CONDITIONAL USE PERMIT NARRATIVE FRY'S MARKETPLACE FUELING STATION

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A. INTRODUCTION

Fry's Marketplace is pleased to be anchoring a new commercial center in the Town of Queen Creek at the northeast corner of Ellsworth Road and Riggs Road. Fry's looks forward to becoming an integral part of the Queen Creek community and expects to have a mutually beneficial relationship with the Town and its residents for years to come.

The development will feature a highly anticipated Fry's fueling station, and as such, the applicant respectfully requests a Conditional Use Permit for an "In-Vehicle Service Facility" per Article 3.5 and Article 6.5 of the Zoning Ordinance.

B. PROPERTY DESCRIPTION

This conditional use permit request covers a roughly 1.24-acre portion of Parcel 1 within the 19.6-acre commercial center located at the northeast corner of Ellsworth Road and Riggs Road in the Queen Creek Municipal Planning Area.

Owner	Acreage	Existing Zoning	Proposed Zoning*	Proposed Use
Riggs Ellsworth 40 LLC / JMN Riggs 40 LLC	1.24-acre portion of a 19.6-acre commercial parcel	C-1 and R1-35 (Maricopa County)	C-2 General Commercial (Town of Queen Creek P16-0041)	158,710 SF Grocery-anchored Retail Center with Fueling Station

Surrounding Properties:

SURROUNDING LAND USES AND PROPERTY OWNERSHIP

The subject property is surrounded by commercially and residentially zoned property slated for future development. Most of the surrounding land is currently vacant or being used for agricultural uses. More specifically, the subject property is surrounded by the following accessor parcel numbers, landowners, zoning, and land uses:

ADJACENT AND SURROUNDING PROPERTIES

Direction	APN	Owner	Zoning	Existing Use
<i>North</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN Riggs 40 LLC	R1-35	Vacant land
	304-91-987	and Arizona Thoroughbred Training Center Inc	RU-43	Vacant land
<i>Northeast</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN Riggs 40 LLC	R1-35	Vacant land
<i>East</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN 40 LLC	R1-35	Vacant land
	304-91-986	Arizona State Trust Land (Barnes Farm LLC Agricultural Lease 1-0115)	RU-43	Agriculture

<i>Southeast</i>	304-94-979	Town of Queen Creek	R1-43	South half of Riggs Rd. Right-of-Way and Sonoqui Wash
<i>South</i>	304-91-799A	Town of Queen Creek	R1-43	South half of Riggs Road Right-of-way and Sonoqui Wash
<i>Southwest</i>	304-93-499B Various Parcels	Town of Queen Creek Ranchos Legante	R1-35 R1-12/PAD	Sonoqui Wash Vacant, planned residential
<i>West</i>	304-93-967 and 304-93-968	Houser Holdings AZ LLC and Riggs & Ellsworth NW LLC	C-2	Tractor Supply Company and vacant land planned for Pecan Plaza
<i>Northwest</i>	304-91-102G and 304-91-011S	Meyer Ranch LLC	C-2	Desert Mountain Equine

C. DESCRIPTION OF PROPOSED USE

The proposed Fry’s fueling station is designed to be a convenient option for Queen Creek residents in the area who are either passing by or visiting other shops within the shopping center, including the Fry’s store itself. The fueling station will be part of an integrated Site Plan (concurrently submitted and being processed by the Town of Queen Creek) including a 126,000 SF grocery store and approximately 34,000 of additional commercial shop and pad space.

The fueling station itself will consist of a 960 SF, convenience store (approximately 19’ high) and ten pumps/dispensers providing 20 fueling stations (one on each side of each dispenser). The fuel pad will consist of roughly 7,750 SF covered by a 19’ high canopy. The architecture of the convenience store and the canopy will be consistent with the Fry’s store and compatible with the rest of the shopping center.

In addition to parking under the canopy, seven dedicated parking spaces, including one ADA space, are provided adjacent to the convenience store. There are pedestrian connections from the convenience store to the Fry’s Marketplace via landscaped sidewalks within the principal store’s parking lot. Where walkways cross drive aisles within that parking lot, they will have clear visibility and enriched paving.

The site will be landscaped and screened per Queen Creek standards and will be integrated into the landscaping scheme of the rest of the commercial center. A 30’ landscape setback and a screen wall will be provided along the Ellsworth Road frontage. Site lighting will provide for a safe environment without spillage onto neighboring properties and streets. Pedestrians will be able to access the rest of the shopping center via sidewalks

Signage will be placed on the canopy, the convenience store building, and along Ellsworth Road (utilizing an electronic message board displaying fuel prices in accordance with Town code). All signage will comply with Town code and the comprehensive sign plan to be processed following the commercial center’s site plan application.

An intercom system at each pump will provide information to customers and allow attendants to communicate with customers at the pump in case questions arise during fueling operations. All sound will be localized and will not impact surrounding properties in accordance with Town codes.

Refuse containers will be provided at pump islands and adjacent to the C-Store. Employees will transfer the trash collected to the compactor located adjacent to the Fry's Marketplace building. The fuel station will be equipped with safety features in accordance with federal, state, and local requirements. Likewise, any spills will be promptly cleaned up per applicable health and safety requirements.

Access will be provided as follows:

- 1) From a right-in, right-out drive on Ellsworth Road approximately 405 feet north of Riggs Road. This driveway will include a dedicated deceleration lane to minimize congestion on Ellsworth Road.
- 2) Additionally, vehicles may access the fueling station from within the commercial center via two driveways easily accessed through the main shopping center parking lot, one of which connects to the center's principle drive. This main drive will include a fully signalized intersection at Ellsworth Road at a location 660 feet north of Riggs Road.

As explained in the accompanying traffic study, on-site circulation is adequate for the proposed use and will not result in congestion of on-site or adjacent public and private streets and access ways.

D. CONDITIONAL USE PERMIT REQUIREMENTS

This Conditional Use Permit application meets all of the Approval Criteria required in Section 3.5 of the Queen Creek Zoning Ordinance, as follows:

1. The proposed conditional use shall be in compliance with all regulations of the applicable zoning district, the provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards as set forth in Article 6 of this Ordinance.

Response:

The proposed conditional use is in compliance with all regulations of the applicable zoning district (C-2), provisions of Article 4 and Article 5 of this Ordinance, and any applicable performance standards set forth in Article 6 of this Ordinance. The C-2 zone allows for vehicular fuel stations, subject to approval of a conditional use permit. The accompanying site plan application details how all Town standards are being met.

2. The proposed conditional use shall conform to the character of the neighborhood, within the same zoning district, in which it is located. In making such a determination, consideration shall be given to the location, type, and height of the buildings or structures and the type and extent of landscaping and screening on the site.

Response:

The Fry's Fueling Center is being proposed concurrently with the processing of an overall site plan for the 19.6-acre commercial property. As such, the location, type, and

height of buildings are all part of a single, integrated plan that has been designed to function effectively in every aspect. Landscaping and screening will be consistent with the rest of the center and will provide for a quality, cohesive feel.

3. Adequate utilities, access roads, drainage, fire protection, and other necessary facilities shall be provided.

Response:

The fueling station is part of an integrated commercial center which provides for adequate utilities, access roads, drainage, fire protection and other necessary facilities. Adequate water and wastewater infrastructure are adjacent to the site and will be connected to the subject property as demonstrated in the preliminary water and wastewater plans provided with the concurrent site plan application. Adequate access and circulation for the public and for emergency vehicles will be provided and the fueling center will meet all fire safety requirements of Town codes and State Law.

4. Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads.

Response:

Adequate measures have been taken to provide ingress and egress in a way that minimizes traffic hazards and traffic congestion on the public roads. The fueling station is conveniently located adjacent to Ellsworth Road and is accessed as follows:

- 1) *From a right-in, right-out drive on Ellsworth Road approximately 405 feet north of Riggs Road. This driveway will include a dedicated deceleration lane to minimize congestion on Ellsworth Road.*
- 2) *Additionally, vehicles may access the fueling station from within the QC Commons commercial center via two driveways easily accessed through the main shopping center parking lot, one of which connects to the center's principle drive. This main drive will include a fully signalized intersection at Ellsworth Road at a location 660 feet north of Riggs Road.*

Vehicle stacking will not occur onto the public right-of-way nor onto internal drives.

5. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas.

Response:

The proposed use is not noxious or offensive by reason of vibration, noise, odor dust, smoke or gas. No vibration, inordinate amount of noise, odor, dust smoke or gas are created by the proposed use. All Town codes and state laws will be met.

6. The proposed use shall not be injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor substantially diminish or impair the property values within the neighborhood.

Response:

The proposed use is not injurious to the use and enjoyment of the property in the immediate vicinity for the purposes already permitted, nor does it substantially diminish or impair the property values within the neighborhood. The fueling station is part of the larger 19.6-acre QC Commons commercial center and, as such, will be surrounded by other commercial buildings. The fueling station is also compatible with current and future developments in the area, including the commercial center located across Ellsworth Road to the west. Current and future residential neighborhoods in the area are not adjacent to the fueling center and will not be adversely impacted in any way.

7. The establishment of the proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

Response:

The fueling station is proposed as part of an integrated plan for QC Commons. As such, the approval of a conditional use permit will not impede the orderly development and improvement of the surrounding property.

8. The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

Response:

The establishment, maintenance, or operation of the proposed use is neither detrimental to nor does it endanger the public health, safety, morals, comfort or general welfare. The fueling station will be built and operated in accordance with all applicable codes and requirements.

9. The public interest and welfare supporting the proposed conditional use shall be sufficient to outweigh the individual interests which are adversely affected by the establishment of the proposed use.

Response:

The applicant is not aware of any individual interests in the area which would be adversely affected by the establishment of the proposed use. The benefits of adding the fuel station to this busy corner include: 1) New sales taxes for Queen Creek on products sold within the convenience store, 2) New jobs for Queen Creek residents, 3) An additional fueling option for Queen Creek residents, 4) Trip reduction due to its location within a major commercial center, and 5) Convenience for Fry's Marketplace and other shopping center customers.

In addition to the general Conditional Use Permit Approval Criteria listed above, "In-Vehicle Service Facilities" must meet the following "Performance Standards" described in Section 6.5 of the Queen Creek Zoning Ordinance:

1. Establishments providing in-vehicle service facilities may be permitted in the C-2 and Town Center districts only.

Response:

The proposed fueling station will be located in the planned 19.6-acre QC Commons commercial center. A zoning application requesting C-2 zoning for the commercial center is pending and will be in place prior to the granting of this conditional use permit.

2. Pedestrian walkways should not intersect the drive-through drive aisles, but where they do, they shall have clear visibility, and they must be emphasized by enriched paving, such as products to similar to boomanite, stone, etc.)

Response:

Like most fuel stations, this proposal does not contain dedicated drive-through lanes typical to restaurants and does not contain onsite pedestrian walkways which intersect with drive aisles. There are pedestrian connections from the convenience store to the Fry's Marketplace via landscaped sidewalks within the principal store's parking lot. Where walkways cross drive aisles within that parking lot, they will have clear visibility and enriched paving.

3. Drive-through aisles shall have a minimum twelve-foot (12') width on curves and a minimum eleven foot (11') straight sections.

Response:

Like most fuel stations, this proposal does not contain dedicated drive-through lanes nor curves typical to restaurants. However, the drive aisles adjacent to the pumps are at least 30' wide, when measured from pump to pump.

4. *Vehicle Stacking.* Drive-through lanes for all restaurants shall provide at least 160 total feet of stacking distance (80 feet of stacking distance between pick-up windows and order-placing speakers, and at least 80 feet of stacking distance between order-placing speakers and the entry to the drive-through lane). Distances shall be measured along the centerline of the drive-through lane. Vehicle stacking for all other businesses with drive-through lanes (i.e. banks, car washes, pharmacies, etc.) shall be determined at the time of site planning. For redevelopment areas or unique properties an alternative standard may be approved by the Planning Administrator.

Response:

Like most fuel stations, this proposal does not contain dedicated drive-through lanes, menu boards, or pick-up windows typical to restaurants. The proposal includes 10 pumps (20 fuel positions), which will minimize queuing and provide for efficient operations.

5. Landscaping shall screen drive-through or drive-in aisles, payment, and pick-up windows from the public right-of-way and shall be used to minimize the visual impact of menu boards, and directional signs.

Response:

As a fuel station, the proposal does not include drive-through or drive-in aisles, payment, and pick-up windows. However, it will be surrounded by generous landscaping and will include a minimum 3'-high screen wall along its Ellsworth Road frontage.

6. The building shall be the main element of the overall site plan, and parking shall be oriented on the side or rear of the site.

Response:

Due to the nature of a fueling station, the pumps will be housed under a canopy between the convenience store and Ellsworth Road. The architectural treatment and colors of the canopy and convenience store will be harmonious with the rest of the QC Commons commercial center and will tie into the design of the Fry's Marketplace.

7. Menu boards shall comply with Section 7.2.L of this Ordinance.

Response:

As a fuel station, the proposal does not include menu boards.

8. Drive-through uses within an integrated shopping center shall have an architectural style consistent with the theme established in the center. The architecture of any drive-through use must provide compatibility with surrounding uses in form, materials, colors, scale, etc. Structure plans shall have variation in depth and angle to create a variety and interest in its basic form and silhouette. Articulation of structure surfaces shall be encouraged through the use of opening and recesses, which create texture and shadow patterns. Structure entrances shall be well articulated and project a formal entrance through variation of architectural planes, pavement surface treatment and landscaping plaza.

Response:

The fuel station will be integrated with the rest of the QC Commons shopping center. Care has been taken to ensure that the building, canopy, landscaping, and pavement treatments align with the color, materials, and treatments of the Fry's Marketplace and the surrounding retail buildings.

9. No drive-through aisles shall exit directly onto a public right-of-way.

Response:

Fueling station ingress and egress will occur through driveways connected to the shopping center parking lot or via an entry drive with right-in, right-out access at Ellsworth Road. The gas pump aisles will not directly exit onto a public right of way.

D. CONCLUSION

The proposed fueling station meets all of the requirements of the Town of Queen Creek Zoning Ordinance, including the Approval Criteria outlined in Section 3.5 and the Performance Standards for In-Vehicle Service Facilities listed in Section 6.5.

Approval of the conditional use permit will support development within the Town of Queen Creek of a very valuable retail and commercial services destination. The Fry's Marketplace, the fueling station, and the additional commercial shop and pad space within QC Commons will provide new choices for Queen Creek residents and will generate upfront and recurring tax revenues that broaden the tax base for the entire community.