



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Erik Swanson, Interim Planning Administrator
Kyle Barichello, Senior Planner

RE: Public Hearing and Possible Action on Cases P19-0242 and P20-0040, The Academy PAD Rezone and Site Plan, request for a PAD rezone from R1-43 to Medium Density Residential (MDR)/PAD and Site Plan approval for 220 units on approximately 21.73 acres, located east of the northeast corner of Meridian and Combs Roads

DATE: April 8, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0242 and P20-0040 The Academy PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P19-0242 and P20-0040 The Academy PAD Rezone and Site Plan, subject to the Conditions of Approval included in this report.

RELEVANT COUNCIL GOAL(S)



Secure Future

SUMMARY

The proposal request for a PAD rezone from R1-43 to Medium Density Residential (MDR)/PAD and Site Plan approval for 220 units on approximately 21.73 acres. The proposal includes attached and detached single family units in a gated residential rental community with a density of 10.65 du/ac. The property is located east of the northeast corner of Meridian and Combs Roads and is immediately adjacent to the American Leadership Academy (ALA) to the east and an LDS Church to the west.

HISTORY

September 5, 1989 The subject property has remained zoned as R1-43 since the Town’s incorporation.

PROJECT INFORMATION

The Academy Project Information	
Project Name	The Academy PAD Rezone and Site Plan
Site Location	East of the northeast corner of Meridian and Combs Roads
Current Zoning	R1-43
Proposed Zoning	Medium Density Residential (MDR)/PAD
Surrounding Zoning Designations:	
North	Suburban Ranch (SR) (Vacant, Unincorporated Pinal County)
South	CR-5 (The Parks, Unincorporated Pinal County)
East	R1-43 (ALA Academy)
West	R1-43 (LDS Church)
Total Lots/Units	220 units
Size	22.73 Acres
Proposed Density	10.65 du/ac
Open Space	
Required:	30%, 4.13 acres
Proposed:	35.8%, 7.39 acres
DISCUSSION	

The Academy development is a single-family attached and detached gated residential luxury rental community with approximately 220 units and a density of approximately 10.65 units per net acre. The proposed multi-family development functions similar to a single-family neighborhood with attached and detached homes with private backyards resembling small cottages rather than traditional apartment buildings.

The main entrance for The Academy will be located off of Combs Road, which will include a covered-portal architectural feature, stamped concrete, and landscaped median that establishes a prominent entryway in accordance with the Zoning Ordinance. A limited, secondary gated access is located further west on Combs Road. Traffic circles are provided throughout the development and serve as traffic calming measures. Tree-lined streets and driveway aisles are provided to enhance the residential character, further creating a neighborhood feel and design similar to traditional single family subdivisions.

The proposed development features a large central open space area and includes other amenities such as a pool, large shaded ramada area, BBQ amenities, clubhouse, lawn areas, and gathering areas with seating and shade trees. Additionally, each individual unit has a private backyard enclosure. Both the private and common open space maintenance will be maintained by the community's property management association.

The main open space amenity will be surrounded by pathways, creating a continuous pedestrian network with centralized gathering spaces. The pedestrian pathway also includes an outer three-quarter (3/4) mile circuit pathway connected to both the individual units and the central amenity areas. Colored and stamped pavement material has been proposed at all pedestrian crossings throughout the community.

Landscape Buffers

As shown on the submitted preliminary plans, the required 30-foot landscape buffer is provided along Combs Road consisting of trees and landscaping along the Property's perimeter. Additionally, a six-foot wall is provided as required by the Zoning Ordinance. The tree species proposed within the landscape buffer will be a combination of Pistache and Acacia trees.

Along the Property's north boundary, 10-feet of landscaping will be provided on the outside of the proposed development's perimeter wall, which will be maintained by the community's property management association. The preliminary plans show enclosed backyards that are approximately 20 feet deep, totaling 30 feet of combined enclosed and open landscaping.

Along the west property line, the buffer requirement is met in the 20-foot access easement along the west boundary that includes landscape material on both sides of an access drive that benefits residents to the north. The landscaping will create a buffer along that edge without obstructing the easement. Due to the location of the easement, ground cover and shrubs will be the only thing planted in this area, as trees will obstruct the underground utilities. Adjacent to the easement and buffer, 15-foot deep rear yards of housing units will back-up to the easement and contain Acacia trees further buffering the property from the west. The property will be enclosed by minimum 6-foot screen walls.

Along the Property's east boundary, 5 feet of onsite landscaping will be provided on the outside of the proposed development's perimeter walls, which will be maintained by the property owner. The preliminary plans show enclosed backyards that are approximately 15 feet deep, which will be a total of 20 feet of combined enclosed and open landscaping. The eastern wall will have three materials as required by public facing walls to arterial roadways. The tree species proposed within the landscape buffer will be a combination of Pistache and Acacia trees as well as additional Acacia trees in the private backyards. Although trees will not be planted in the 5' strip, two trees will be planted within the private backyards.

It is important to note that the proposed development exceeds the open space requirement by approximately 6%. The additional open space is accommodated in the main open space amenity area and throughout the other open space areas within the development.

Design Standards

Architecturally, the design team approached the individual units much like single-family homes and has provided elements of four-sided architecture. Craftsman and Farmhouse architectural themes are incorporated into the proposed buildings, which will be designed with sloped gable and hip roof patterns that improve upon the flat roofing systems seen in other projects.

Other design elements included in the architectural design include brick veneer, standing seam roofing, shutters, varying column designs, different stucco finishes, and a variety of roof lines. The units are designed to be either stand-alone units or as duplexes.

Covered parking canopies are provided throughout the community. To ensure that the fascia on the parking canopies and apartment homes are provided and maintain a consistency with the architectural design of the development a condition has been added requiring the design to be evaluated further at the time of building permit submittal.

Proposed Zoning Ordinance Deviations

Three deviations to the Zoning Ordinance are requested by the applicant:

- **The first request is to reduce the required building separation of fifteen (15) feet to ten (10) feet.** Per the Design Standards, multi-family buildings shall be separated by a minimum of fifteen (15). The applicant requests the deviation stating that the development is not designed like a traditional multi-story development where the separation between large buildings is appropriate, but rather due to the single story design and that the units are detached (with the exception of the duplexes) the units look and function like single-family buildings where a ten (10) foot separation is commonplace. This deviation is consistent with other developments similar in design.
- **The second request is to reduce the required buffer area to the north from 15' to 10'.** As required by the Zoning Ordinance, the total landscape buffer required is 30' between multi-family and single family residential. However, this distance is intended to be shared by both property owners at 50% or 15' on each property. Given this, the required landscape buffer share for The Academy project would be 15'. The applicant has requested a reduction of 5' resulting in a total of 10' buffer along the north property line. The applicant's explanation for this deviation is that since this is a unique style of product, the homes resemble that of a single family detached community and provide an additional 20' of private backyard space. Thus, the total distance between buildings and the property line would be 30', which is potentially greater than if two single family developments were adjacent to each other. In addition, the applicant is providing a 10' landscape strip, which is sufficient for a row of trees to be planted to serve as a buffer.

- **The third request is to reduce the required buffer area on the east from 15' to 5'.** As required by the Zoning Ordinance, the total landscape buffer required is 30' between multi-family and commercial. Again, this distance is intended to be shared by adjacent property owners at 50% or 15'. Given this, the required landscape buffer share for The Academy project would be 15'. The applicant has requested a reduction of 10' resulting in a total of 5' buffer along the east property line. However, the applicant has justified this deviation request by explaining that the existing property owner never built out their portion of the landscape buffer. Additionally, there exists a 5' landscape strip immediately to the east of the proposed 5' buffer proposed by the Academy followed by an existing driveway into the ALA school campus. The applicant explains that due to this unique situation and the additional 20' private backyard space, the building separation is appropriate and the proposed landscaping buffer in their 5' portion will be lined with landscaping and maintained by the community association. Although minimal in width, trees will be planted in the 5' strip and within the private backyards of the units.

PUBLIC PARTICIPATION

A neighborhood meeting was held October 3, 2019 with approximately 13 surrounding residents in attendance. A presentation and general information about the development was presented to the residents. The residents asked a number of questions relating to the following items:

- Traffic and deceleration lanes
- Required street improvements
- Traffic at ALA
- Safety of adjacent uses
- What style of development is proposed
- How much open space is provided
- Will this be a gated community

The applicant answered questions from the residents and provided insight on the proposed development. The surrounding residents initially expressed concerns but did not immediately object to the proposed density and development. All concerns were addressed during the neighborhood meeting.

No additional conversations or phone calls were conducted with Town staff and no additional letters of support or opposition have been submitted. Staff has not received any opposition to this request.

ANALYSIS

General Plan Review: The General Plan Land Use designation for this project is Neighborhood allowing for a range of densities to be considered. The request is consistent with the General Plan.

Zoning Review: The proposed zoning is MDR and complies with the General Plan Land Use Designation of Neighborhood and is in conformance with the Multi-Family standards in the Zoning Ordinance and Design Standards. As provided above, three deviations are proposed relating to building separation and landscape buffer areas. Based on the justification provided by the applicant, Staff is supportive of the proposed deviations.

Adequate Public Facilities: In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

Engineering, Utilities, and Traffic Review: The Engineering Division, Traffic Division, and Utilities Department have been involved throughout the review of the request and have not included any conditions of approval.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the zoning ordinance applicable to this case, except as modified herein.
2. The applicant shall ensure the proposed multi-family residential development will actively participate in the Crime Free Housing program, including Crime Prevention through Management.
3. The required building separation of 15' is hereby reduced to 10' as designated by the PAD.
4. The required landscape buffer setbacks share for the subject property are hereby designated as the following:

Direction	Zoning Ordinance	Proposed
North	15'	10'
East	15'	5'

5. All fascia on the parking canopies and apartment homes shall be evaluated further for consistency with the architectural Design Standards at time of building permit submittal.

6. For offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or a bond to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. Construction assurance shall be deposited with the Town prior to Final Plat recordation.
7. The developer shall be responsible for the design and construction of the full half-street improvements for Combs Road adjacent to the project. Half street right-of-way dedication shall be 70 feet for Combs Road for the entire frontage of the property and shall be required to be dedicated to the Town of Queen Creek by way of Map of Dedication prior to any permits being issued.

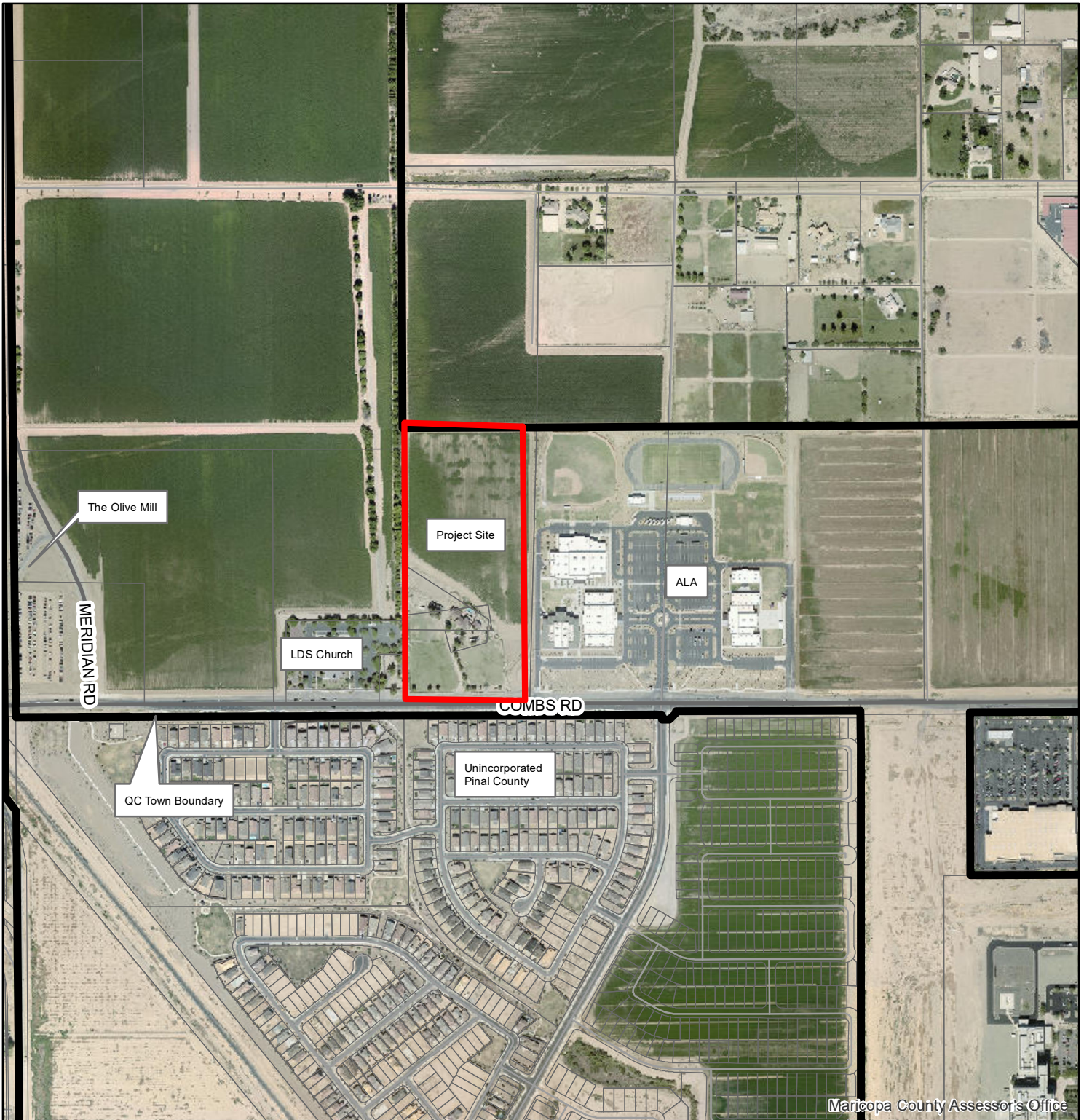
ATTACHMENTS

1. Aerial Photo Exhibit
2. General Plan Exhibit
3. Existing Zoning Exhibit
4. Proposed Zoning Exhibit
5. Site Plan
6. Landscape Plans
7. Wall Plans
8. Floor Plans and Elevations
9. Narrative

Project Name: The Academy Aerial Exhibit

Case Numbers: P19-0242/P20-0040

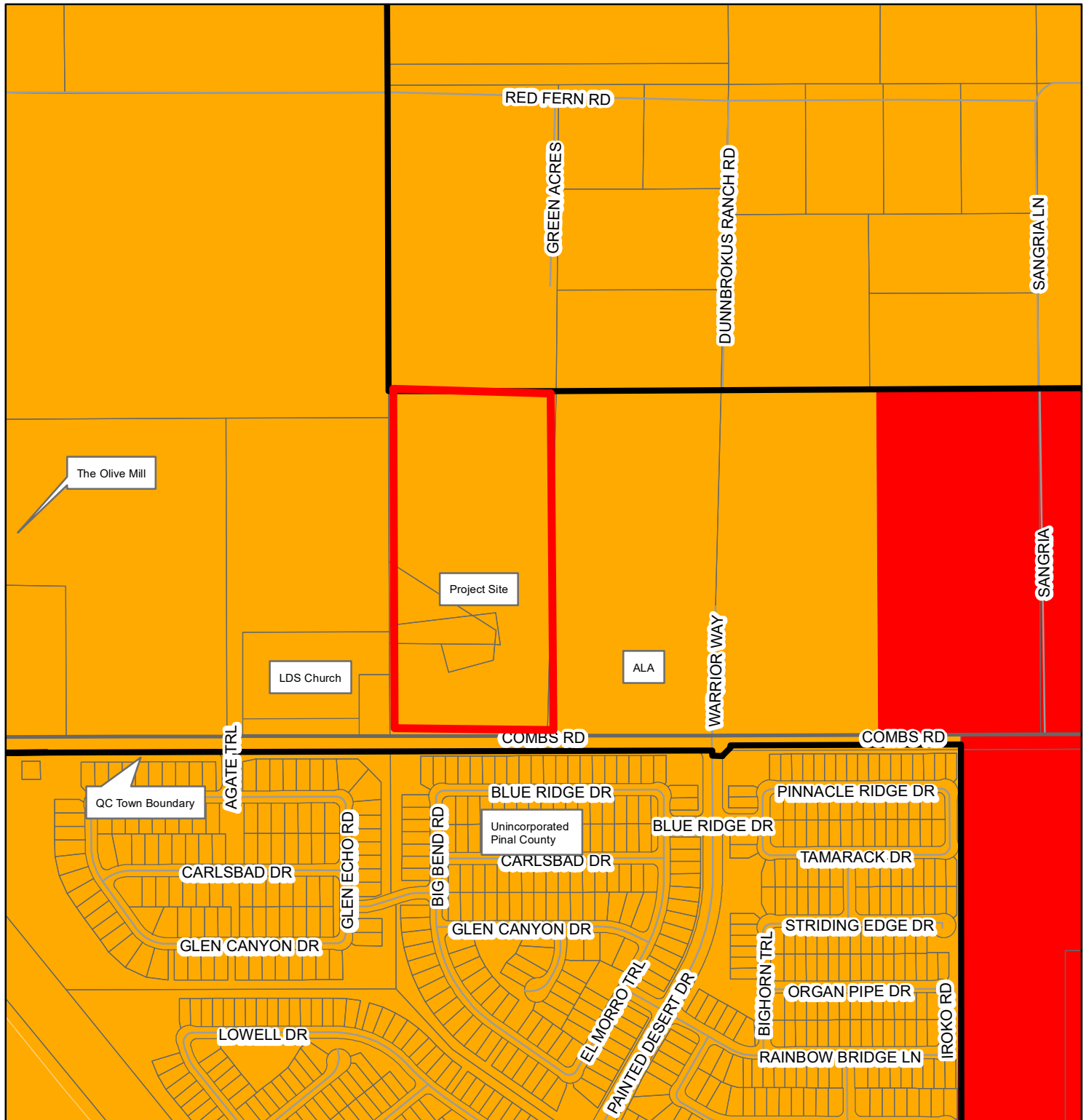
Hearing Date: April 8, 2020 (Planning Commission)



Project Name: The Academy General Plan Exhibit

Case Numbers: P19-0242/P20-0040

Hearing Date: April 8, 2020 (Planning Commission)



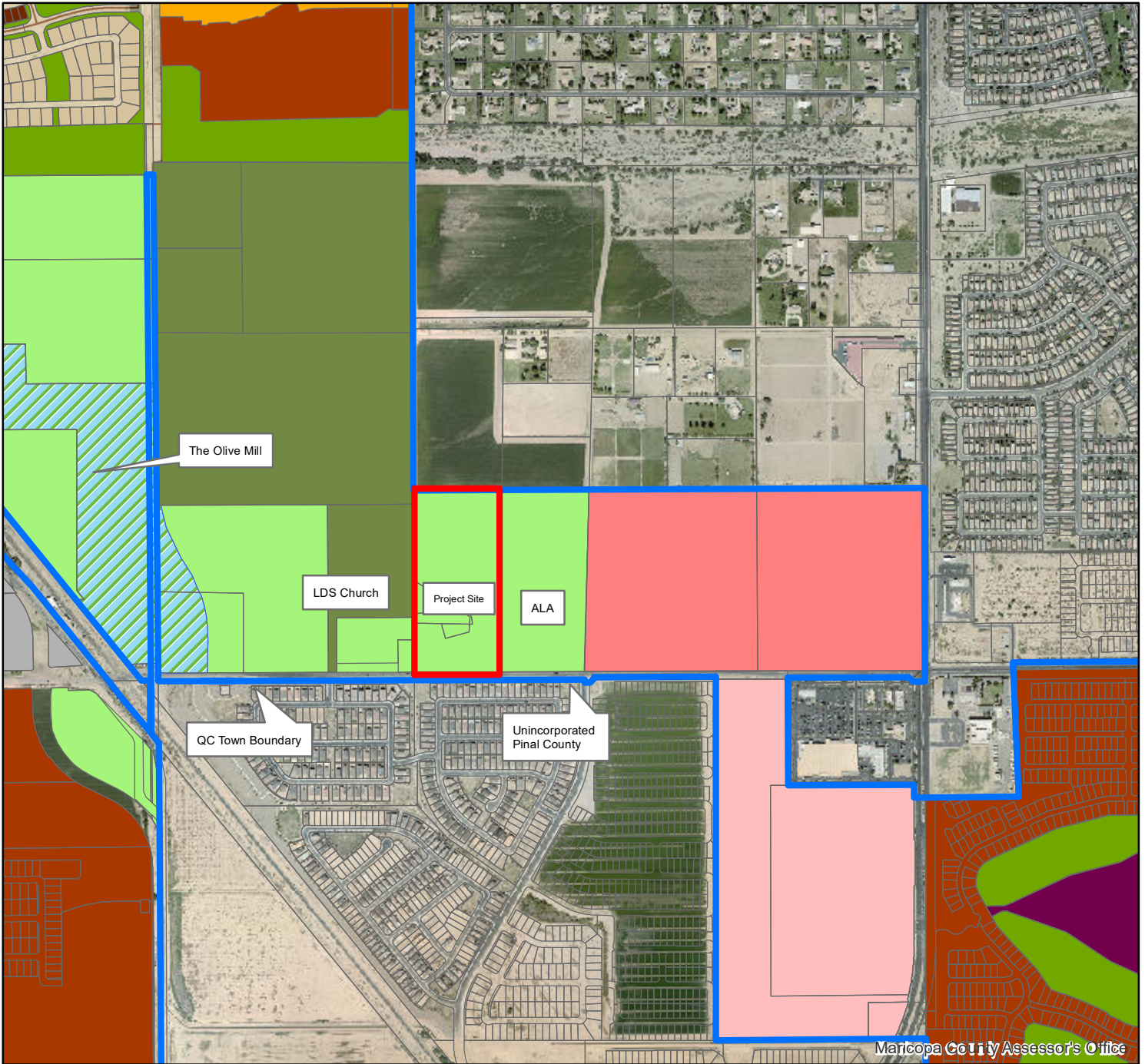
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |

Project Name: The Academy Existing Zoning Exhibit

Case Numbers: P19-0242/P20-0040

Hearing Date: April 8, 2020 (Planning Commission)



Maricopa County Assessor's Office

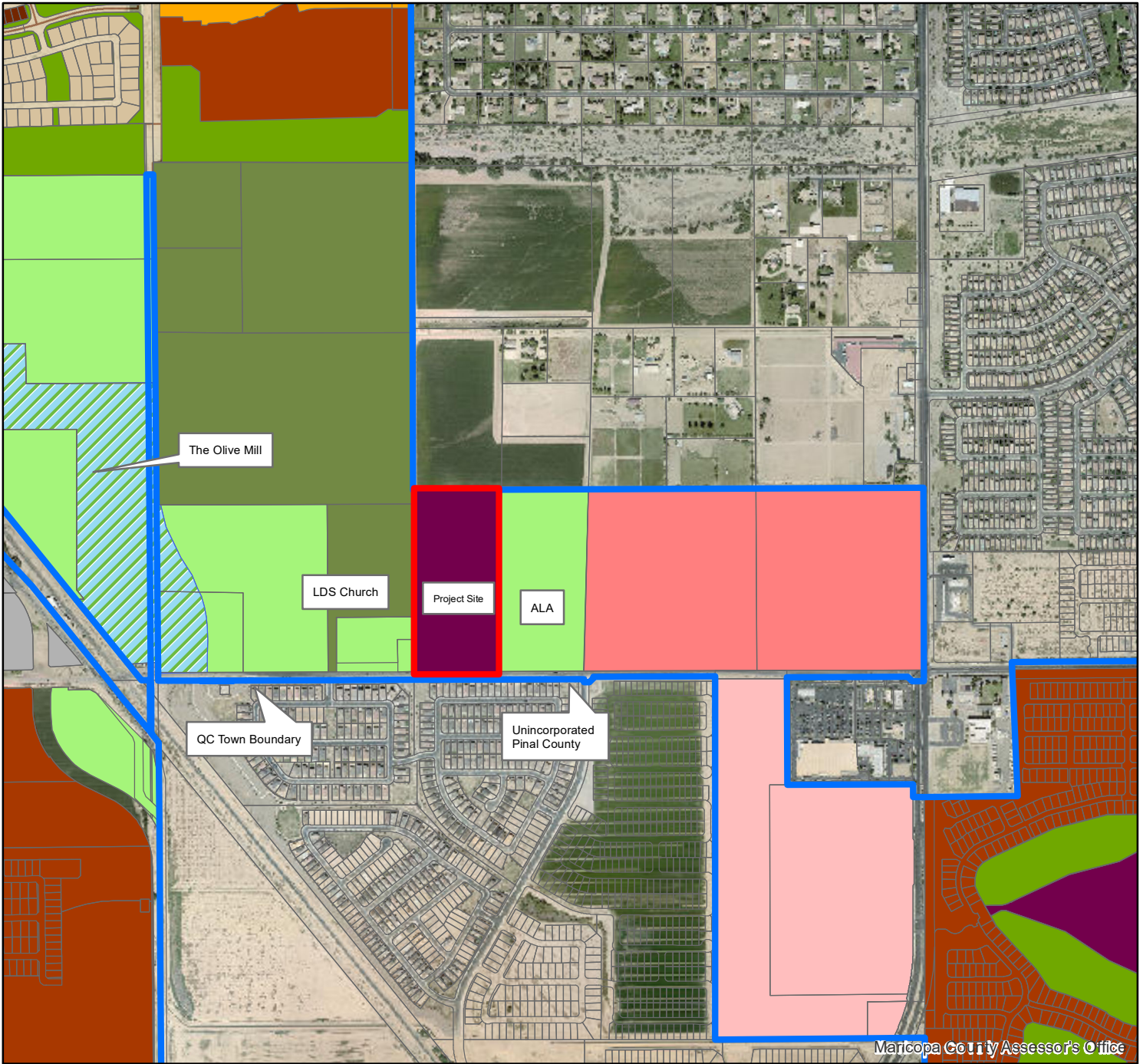
Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
DC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment

Project Name: The Academy Proposed Zoning Exhibit

Case Numbers: P19-0242/P20-0040

Hearing Date: April 8, 2020 (Planning Commission)



Zoning Districts

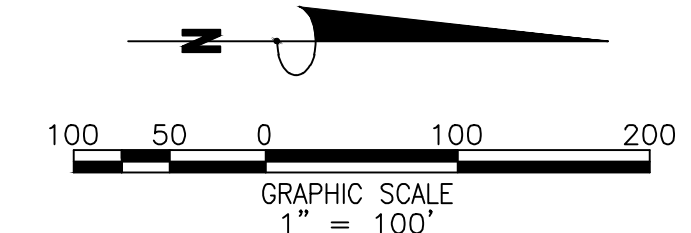
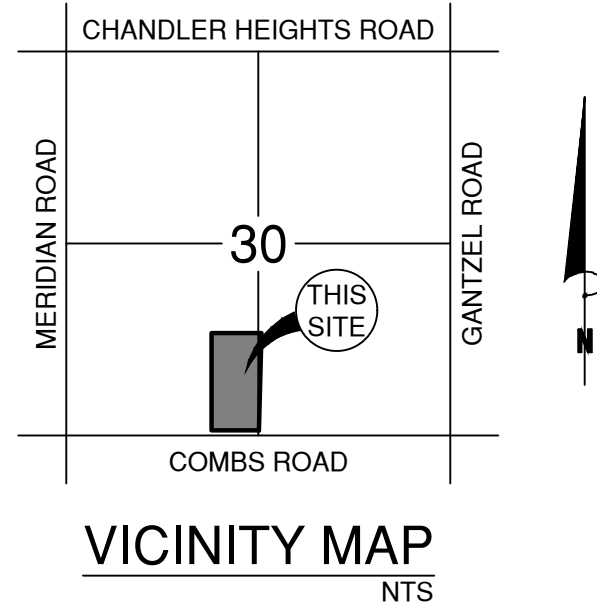
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PLAN OF THE DEVELOPMENT

QUEEN CREEK, AZ

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 NORTH, RANGE 8 WEST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA



LEGAL DESCRIPTION

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA;

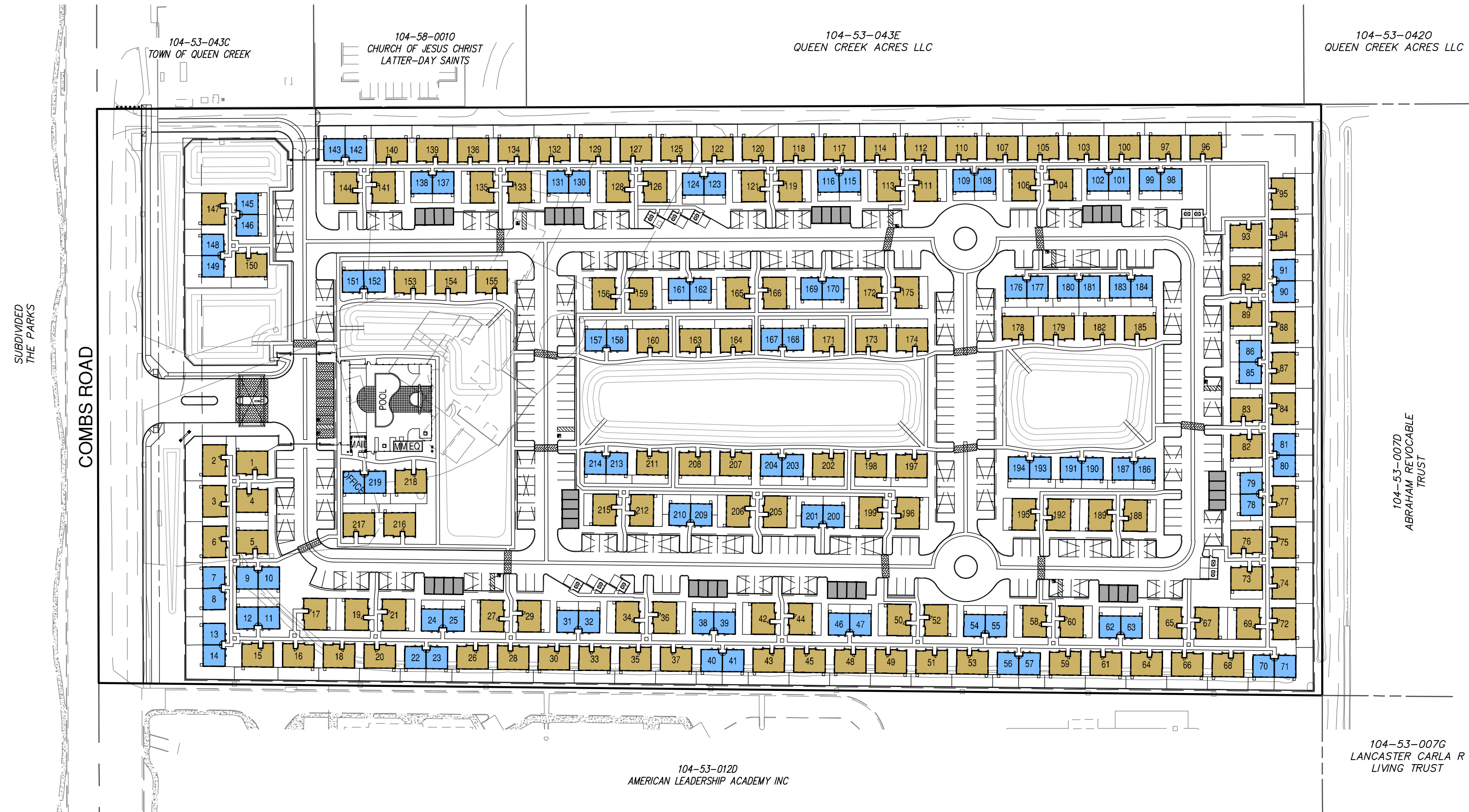
THENCE ALONG THE SOUTH LINE OF SECTION 30, SOUTH 89 DEGREES 49 MINUTES 04 SECONDS WEST, A DISTANCE OF 659.93 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING WESTERLY ALONG SAID LINE, A DISTANCE OF 661.17 FEET;

THENCE NORTH 00 DEGREES 13 MINUTES 23 SECONDS WEST, A DISTANCE OF 1410.76 FEET;

THENCE NORTH 89 DEGREES 53 MINUTES 00 SECONDS EAST, A DISTANCE OF 680.90 FEET;

THENCE SOUTH 00 DEGREES 34 MINUTES 43 SECONDS WEST, A DISTANCE OF 1410.10 FEET TO THE POINT OF BEGINNING.



SITE PLAN YIELD

GROSS AREA	±946,415 SF / ±21.727 AC
NET AREA	±900,098 SF / ±20.663 AC
DENSITY PROVIDED	220 UNITS/21.727 AC=10.126 DU/ GROSS AC

PROJECT DESCRIPTION

CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM SINGLE STORY RENTAL PROPERTY

PROJECT DATA

YIELD DATA

UNIT TYPE	YIELD	TOTAL # BEDS	UNIT SQUARE FEET	TOTAL SQUARE FEET	MIX %
1 BEDROOM	88	88	640.84	56,394	40%
2 BEDROOM	132	264	997.37	131,653	60%
UNITS PROVIDED	220	352		188,047	100%
PARKING CANOPIES				37,624	
MAIL, RESTROOMS & EQUIPMENT ROOM				784	
GARAGES				9,000	
TOTAL LOT COVERAGE				235,455	

LOT COVERAGE INCLUDING ALL STRUCTURES AND BUILDINGS 235,455 SQ FT/20.66'43,560= 60%
MAXIMUM LOT COVER ALLOWED 60%

APN NUMBER 103-27-005G
104-53-012H
104-53-012F
104-53-012E
104-53-012J

ALLOWED HEIGHT 2 STORY/30'
PROPOSED HEIGHT 1 STORY/17'8"

CURRENT ZONING R1-43
PROPOSED ZONING MDR PAD
CURRENT USE UNDEVELOPED RESIDENTIAL
PROPOSED USE MULTI-FAMILY

PARKING SPACES REQUIRED 330 SPACES
SPACES/UNIT=220x1.5 408 SPACES
TOTAL SPACES PROVIDED 408 SPACES
COVERED PARKING PROVIDED 236 SPACES
GARAGE PARKING 40 SPACES
UNCOVERED PARKING 132 SPACES

ACCESSIBLE SPACES REQUIRED (3 COVERED) = 5 SPACES
ACCESSIBLE SPACES PROVIDED (3 COVERED) = 5 SPACES

COMMON AREA OPEN SPACE PROVIDED (353,743 SQ FT/20.66 AC * 43,560) = 39%
COMMON AREA REQUIRED MINIMUM 20% OF GROSS AREA

ACTIVE OPEN SPACE SUMMARY:
ACTIVE OPEN SPACE CALCULATION:
POOL 8,538 SF
AMENITY OPEN SPACE 138,219 SF
TOTAL PROVIDED ACTIVE OPEN SPACE (SUM) 146,757 SF
OPEN SPACE (ACTIVE AS A PERCENTAGE OF REQUIRED COMMON) 78.9%

PRIVATE OPEN SPACE:
REAR YARD OPEN SPACE 105,985 SF
21% OF OPEN SPACE, 535 SF/UNIT

COMMON OPEN SPACE:
20% OF NET OPEN SPACE REQUIRED 180,020 SF
20% OF NET OPEN SPACE PROVIDED 321,905 SF

USABLE COMMON OPEN SPACE:
400 SF/UNIT REQUIRED 88,000 SF
400 SF/UNIT PROVIDED 139,316 SF
30% OF 20% NET OPEN SPACE REQUIRED 36,006 SF
30% OF 20% NET OPEN SPACE PROVIDED 139,316 SF

LANDSCAPE OPEN SPACE OUTSIDE PROJECT:
OPEN SPACE OUTSIDE PERIMETER WALL 55,979 SF
11% OF OPEN SPACE, 127 SF/UNIT

NOTES:
1. SEE LANDSCAPE PLAN FOR WALL ELEVATIONS

ZONING STIPULATIONS

ZONING STIPS

PROJECT CONSULTANT TEAM

OWNER

FAULKNER WAYNE H TR
1449 N WOODSIDE RD
CHANDLER, AZ 85224

GOMEZ ERIC S & AME F
920 W COMBS RD
QUEEN CREEK, AZ 85140

DEVELOPER

HANCOCK COMMUNITIES, LLC
2600 N 44TH STREET, SUITE A-200
PHOENIX, AZ 85008
(480) 285-1300
CONTACT: BOBBI JOHNSON
EMAIL: BOBBI@HANCOCK-AZ.COM

CIVIL/APPLICANT

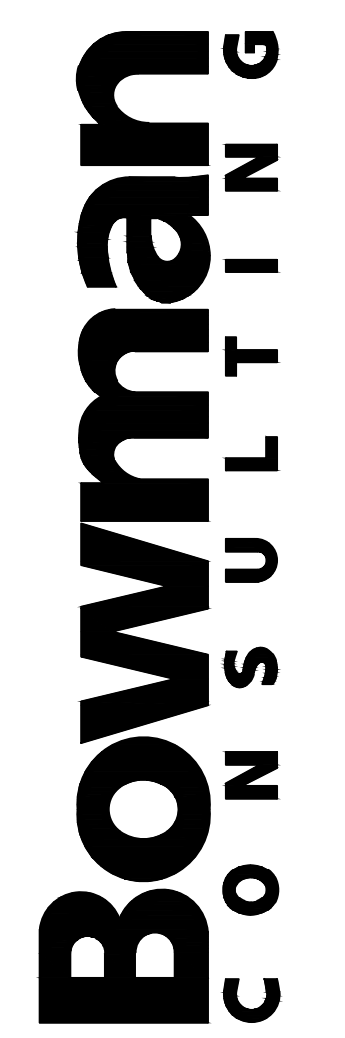
BOWMAN CONSULTING GROUP
CONTACT: ROBERT W SCHLICHER, P.E.
1295 W WASHINGTON STREET
SUITE: 108

TEMPE, AZ 85281
EMAIL: RSCHLICHER@BOWMANCONSULTING.COM
PHONE: (480) 629-8830

LEGEND

	HANDICAP PARKING		SECTION LINE
	PROPOSED FIRE HYDRANT		STREET CENTERLINE
	BRASS CAP IN HAND HOLE		RIGHT OF WAY LINE
	PROPERTY CORNER		EASEMENT LINE
	ELECTRIC VAULT		SUBJECT PROPERTY
	STREET LIGHT JUNCTION BOX		CHAIN LINK FENCE
	STREET LIGHT		IRON FENCE
	WATER VALVE		SANITARY SEWER LINE
	FIRE HYDRANT		UNDERGROUND CATV LINE
	WATER MANHOLE		UNDERGROUND ELECTRIC LINE
	SEWER MANHOLE		UNDERGROUND TELCO LINE
	GATE		WATERLINE
	MAILBOX		
	COVERED PARKING		
	TRASH ENCLOSURE		

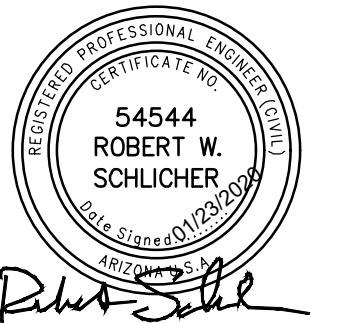
ACCEPTED		
BY:	_____	TOWN ENGINEER
BY:	_____	TOWN PLANNING ADMINISTRATOR
BY:	_____	TOWN FIRE MARSHALL
BY:	_____	TOWN UTILITIES DEPARTMENT
BY:	_____	TOWN TRAFFIC DIVISION



Bowman Consulting Group, Ltd.
1295 West Washington, Ste 108
Tempe, Arizona 85281
Phone: (480) 629-8830
www.bowmanconsulting.com
Bowman Consulting Group, Ltd.

SITE PLAN
HANCOCK -THE ACADEMY
 COVER SHEET
 MARICOPA COUNTY
 QUEEN CREEK, AZ

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION		
PM DESIGN	DAB	RWS	CHKD
SCALE	H:	V:	
JOB No.	050703-01-001		
DATE :	01/23/2020		

SP01
SHEET 01 OF 04



DEVELOPER
 HANCOCK COMMUNITIES LLC
 2600 N 44TH STREET, SUITE A-200
 PHOENIX, AZ 85008
 CONTACT: GREG HANCOCK
 EMAIL: GREG@HANCOCK.COM

LANDSCAPE ARCHITECT
 WESTLAND RESOURCES, INC.
 2020 N. CENTRAL ST.
 PHOENIX, AZ 85004
 CONTACT: SHARON MILLER, RLA

SHEET 1 OF 8
 JANUARY 23, 2020

NOTES:
 PLAN SHOWN IS SCHEMATIC IN NATURE. REFER TO THE LANDSCAPE PLANTING
 PLANS FOR ACTUAL PLANTING DESIGN, LOCATION AND DENSITIES. PLANTING
 PLAN HAS BEEN CONCURRENTLY SUBMITTED FOR REVIEW.
 REFER TO SHEET 2 OF 8 FOR CONCEPTUAL PLANT PALETTE.

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920 W Combs Road, Queen Creek AZ

Conceptual Landscape Plan

Westland Resources
 2020 N. Central Avenue
 Suite 695
 Phoenix, Arizona 85004
 602.768.7000

POOL AMENITY AND ENTRY DRIVE ENLARGEMENT



GENERAL LANDSCAPE NOTES

1. TREES: THE MINIMUM SIZE SHALL BE 15 GALLONS, 6' IN HEIGHT, AND A CALIPER OF 1" MEASURED 4" ABOVE THE SOIL LINE. FIFTY PERCENT (50%) OF THE REQUIRED NUMBER OF STREET FRONTAGE TREES ARE TO BE 24" BOX SIZE OR LARGER, 6' IN HEIGHT, AND A CALIPER OF 1 1/2" MEASURED 4" ABOVE SOIL LINE.
2. SHRUBS SHALL MEASURE A MINIMUM OF FIVE (5) GALLON SIZE UPON INSTALLATION.
3. ORGANIC GROUND COVERS SHALL BE A MINIMUM OF ONE (1) GALLON SIZE UPON INSTALLATION.
4. INORGANIC GROUND COVERS SHALL BE USED AND SHALL CONSIST OF DECOMPOSED GRANITE (MINIMUM SIZE 3/4" MINUS OR SCREENED, EXCEPT QUARTER INCH (1/4") MINUS SHALL BE USED ON ALL EQUESTRIAN TRAILS) OR TURF. WHERE BOULDERS SHALL BE BURIED.
5. ALL LANDSCAPED AREAS SHALL BE FINISHED WITH A NATURAL TOPPING MATERIAL WHICH MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING: TURF, GROUND COVER PLANTING, DECOMPOSED GRANITE TWO INCHES (2") MINIMUM IN DEPTH, RIVER RUN ROCK, OR EXPANDED SHALE.

KEY NOTES

1. COVERED RAMADA WITH FIRE FEATURE AND TV.
2. BIKE RACK
3. COOL DECK
4. ACCENT PAVER DECK

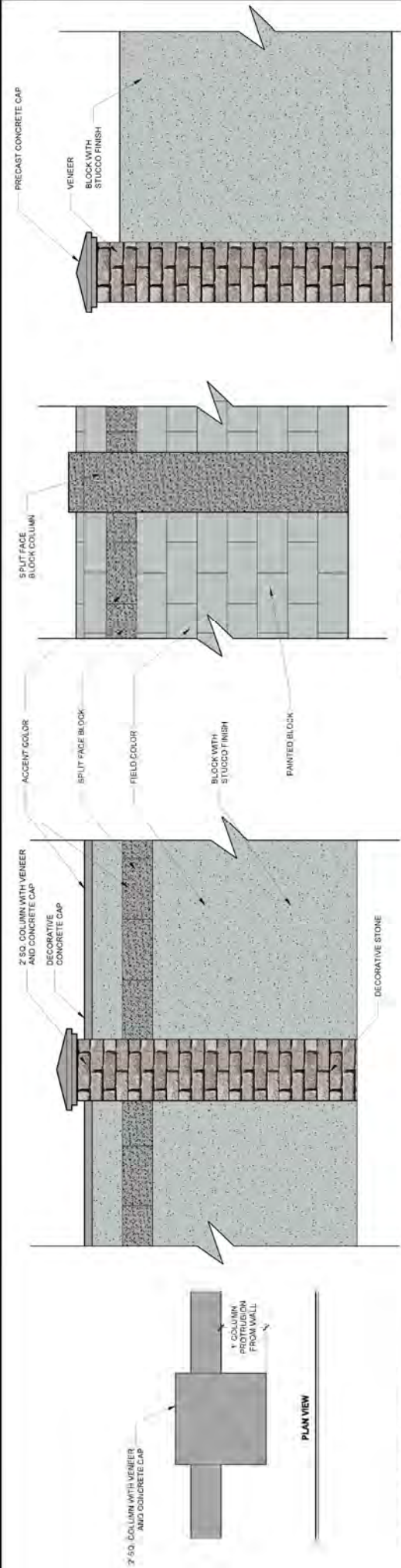
COMMUNITY PLANT SCHEDULE

TREES	BOTANICAL NAME	ACCENTS	BOTANICAL NAME
	ACACIA ANEURA		ACACIA ANEURA
	ACACIA SALICINA		ALOE X 'BLUE ELF'
	BAUHINIA X BLAKEANA		CHAMAEROPS HUMILIS
	CAESALPINA MEXICANA		DASYLIRION QUADRANGULATUM
	CERCIDIUM X 'DESERT MUSEUM'		DIERIS VEGETA
	PHOENIX DACTYLIFERA		HEPESALOE 'PINK PARADE'
	PISTACIA CHINENSIS 'RED PUSH'		HEPESALOE PARVIFLORA
	PISTACIA LENTISCUS		MULLENBERGIA RIGENS
	QUERCUS VIRGINIANA		BOTANICAL NAME
	TRUANA TIPU		CARISMA MACROCARPA 'GREEN CARPET'
	ULMUS PARVIFOLIA		EREMOPHILA PROSTRATA 'OUTBACK SUNRISE'
	BOTANICAL NAME		EREMOPHILA SUBTERRIFOLIA
	CAESALPINA PULCHERRIMA		LANTANA X 'NEW GOLD'
	CALLISTEMON CITRINUS 'BETTER JOHN'		TETRAHEURIS ACAULIS
	CHRYSACTINIA MEXICANA		TEUCRIUM CHAMMEDIUS 'PROSTRATUM'
	DOONAEVA VISCOSA		TRADESCANTIA PALLIDA
	EREMOPHILA GLABRA 'WINNER BLAZE'		BOTANICAL NAME
	EREMOPHILA HYGROPHANA		ANNUAL FLOWERS
	EREMOPHILA MACULATA 'VALENTINE'		CYNODON DACTYLON 'MIDIRON (IN UREIN SPACE AREA)
	ILEX VOMITORIA 'STONES DAMM'		DECOMPOSED GRANITE
	JUSTICIA SPICIGERA		SYNTHETIC TURF (AT POOL AREAS LABELLED ON THIS SHEET)
	LEICOPHYLLUM FRUTESCENS 'GREEN CLOUD'		
	MERTENSIA PACIFICA		
	NERIUM OLEANDER 'PETITE PINK'		
	PITTOSPORIUM TOBIKA 'WHEELER'S DREAM'		
	PLUMBAGO CAPENSIS		
	RUELLIA BRITTONIANA		
	RUSSELLIA EQUISETIFORMIS		
	TECOMA 'SPARKY'		
	TECOMA X 'ORANGE JUBILEE'		

HANCOCK - THE ACADEMY

920 W Combs Road, Queen Creek AZ

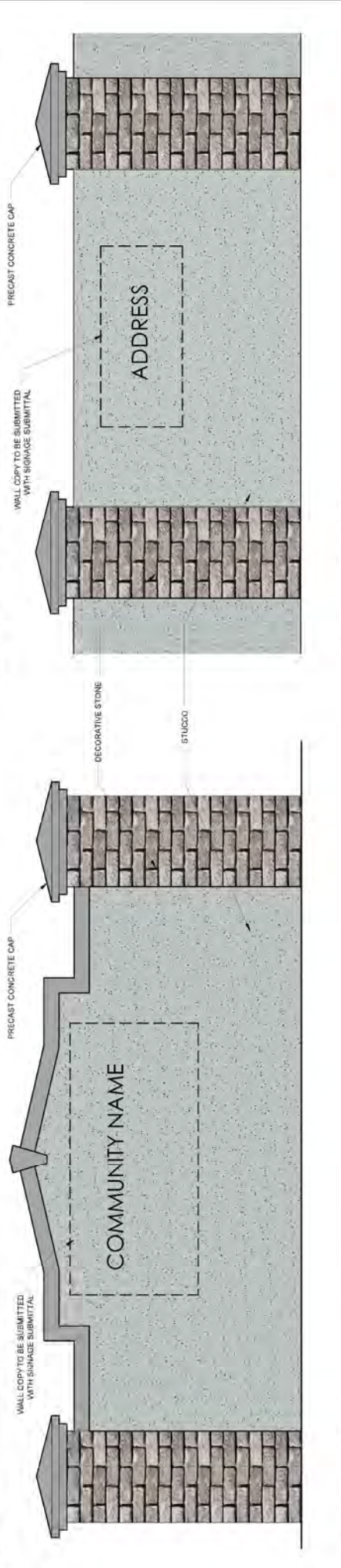
COMMUNITY DETAILS



1 ELEVATION: THEME WALL & THEME PIER SCALE 1/4" = 1'-0"

2 ELEVATION: PERIMETER WALL & PIERS SCALE 1/4" = 1'-0"

3 ELEVATION: ENTRY WALL & PIER SCALE 1/4" = 1'-0"



3 ELEVATION: ENTRY MONUMENT SCALE 1/4" = 1'-0"

4 ELEVATION: ADDRESS WALL SCALE 1/4" = 1'-0"

NOTE:
 MONUMENT WALL AND ADDRESS WALL ARE SHOWN FOR INFORMATION ONLY. SEPARATE SUBMITTAL AND PERMIT ARE REQUIRED FOR ALL SIGNAGE.

HANCOCK - THE ACADEMY

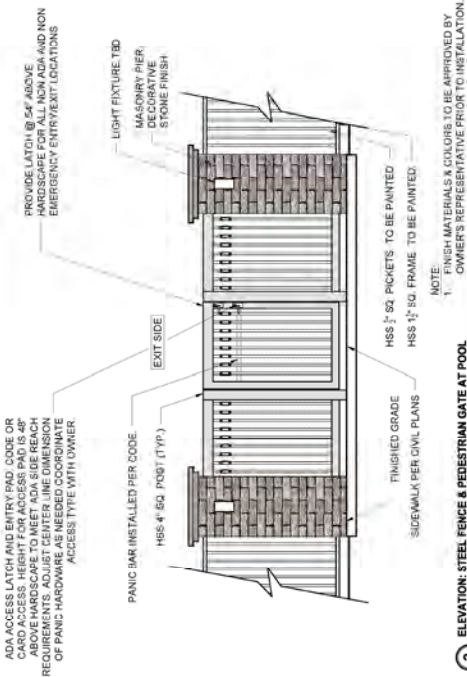
920 W Combs Road, Queen Creek AZ

COMMUNITY DETAILS

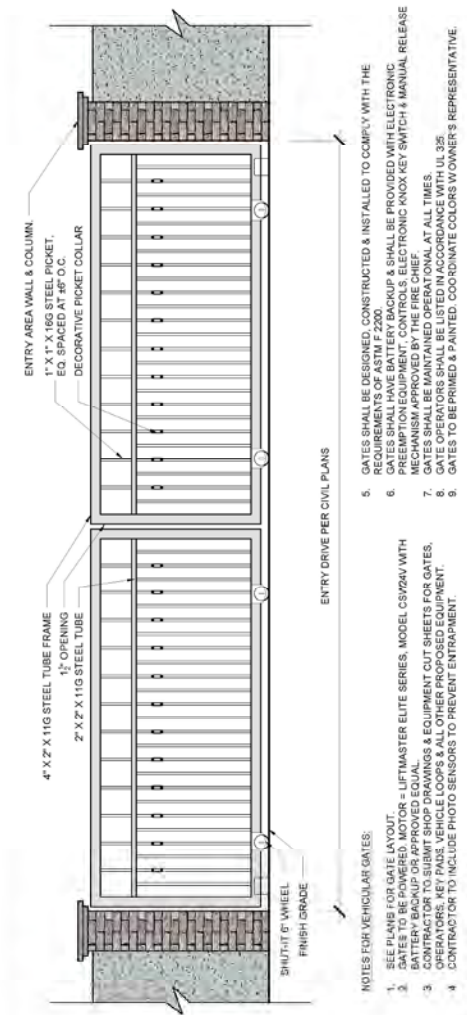
HANCOCK - THE ACADEMY

920 W Combs Road, Queen Creek AZ

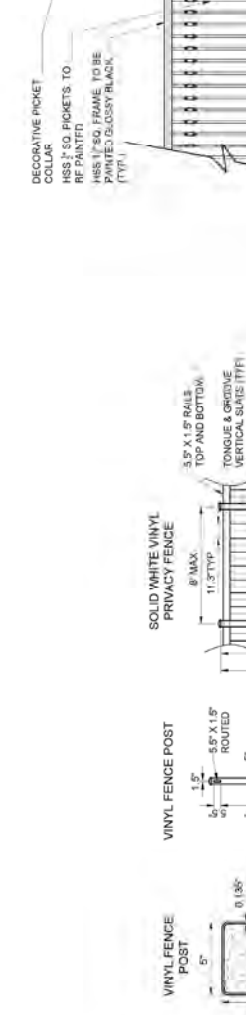
COMMUNITY DETAILS



2 ELEVATION: STEEL FENCE & PEDESTRIAN GATE AT POOL
SCALE: 1/4" = 1'-0"



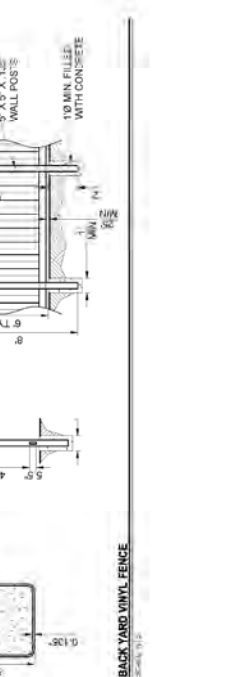
1 ELEVATION: THEMED VEHICULAR GATE
SCALE: 1/4" = 1'-0"



4 ELEVATION: STEEL FENCE AT POOL
SCALE: 1/4" = 1'-0"



3 BACK YARD VINYL FENCE
SCALE: 1/4" = 1'-0"



6 BIKE RACK BOLLARDS
SCALE: 1/4" = 1'-0"

- NOTES FOR VEHICULAR GATES:
- SEE PLANS FOR GATE LAYOUT.
 - GATES TO BE POWERED. MOTOR = LIFTMASTER ELITE SERIES, MODEL CS3WAY WITH PREEMPTION/EQUIPMENT CONTROLS. ELECTRONIC KNOX KEY SWITCH & MANUAL RELEASE TO BE PROVIDED BY OWNER.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS & EQUIPMENT CUT SHEETS FOR GATES, OPERATORS, KEY PADS, VEHICLE LOOPS & ALL OTHER PROPOSED EQUIPMENT.
 - CONTRACTOR TO INCLUDE PHOTO SENSORS TO PREVENT ENTRAPMENT.
 - GATES SHALL BE DESIGNED, CONSTRUCTED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.
 - GATES SHALL HAVE BATTERY BACKUP & SHALL BE PROVIDED WITH ELECTRONIC PREEMPTION/EQUIPMENT CONTROLS, ELECTRONIC KNOX KEY SWITCH & MANUAL RELEASE TO BE PROVIDED BY OWNER.
 - GATES SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES.
 - GATE OPERATORS SHALL BE LISTED IN ACCORDANCE WITH UL 335.
 - GATES TO BE PRIMED & PAINTED. COORDINATE COLORS W OWNER'S REPRESENTATIVE.

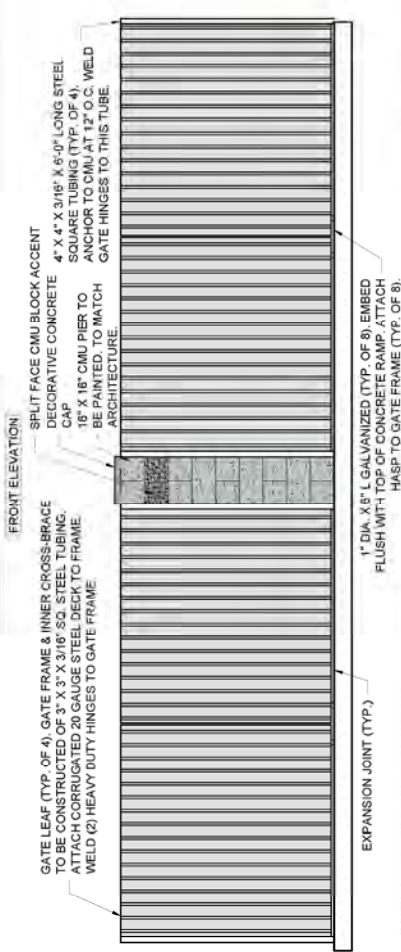
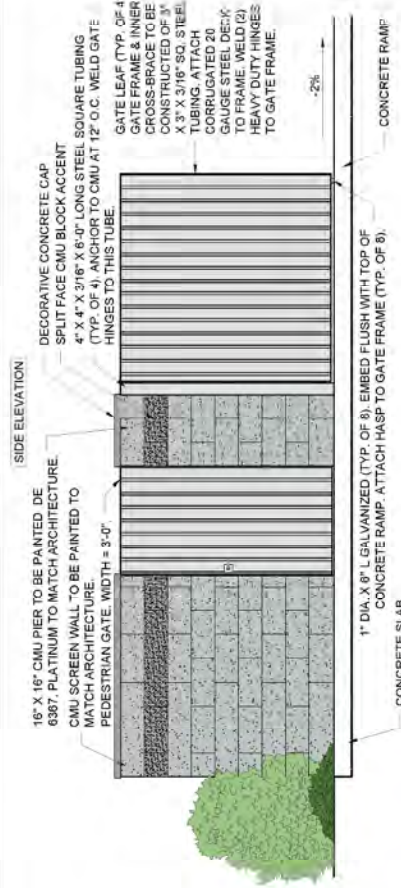
NOTE: PROVIDE 3 BIKE RACK BOLLARDS POWER COATED TO MATCH POOL FENCING

HANCOCK - THE ACADEMY

920 W Combs Road, Queen Creek AZ

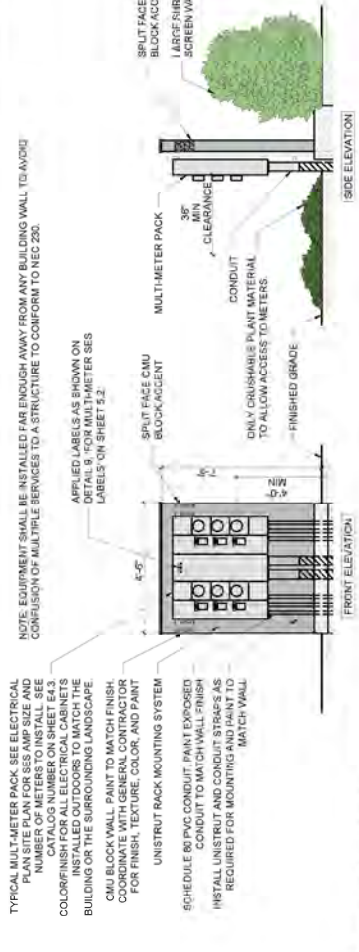
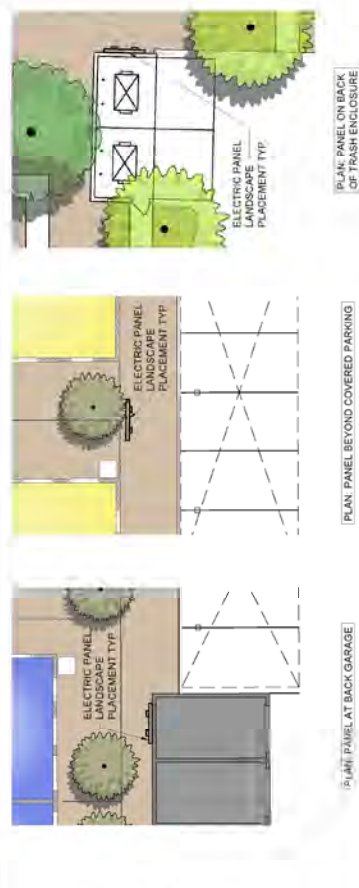
COMMUNITY DETAILS

WestLand Resources
2400 N. Central Avenue
Suite 605
Phoenix, Arizona 85004
(602) 588-7000



1 ELEVATION: TRASH ENCLOSURE
SCALE: 1/2\"/>

DOUBLE CONTAINER ENCLOSURE NOTES
 1. CONCRETE SLAB FOR ENCLOSURE SHALL SLOPE AT 1% TO GATE OPENING.
 2. CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW & APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 3. ALL CMU & STEEL TO BE PRIMED AND PAINTED W (2) COATS OF COLOR. COLOR TO BE REVIEWED & APPROVED BY OWNER'S REPRESENTATIVE.



2 ELECTRICAL METER PACK WALLS
SCALE: 1/2\"/>

NOTE: EQUIPMENT SHALL BE INSTALLED FAR ENOUGH AWAY FROM ANY BUILDING WALL TO AVOID COMPRESSION OF MULTIPLE SERVICES TO A STRUCTURE TO CONFORM TO NEC 250.
 APPLIED LABELS AS SHOWN ON DETAILS FOR MULTI-METER SES
 ONLY CRUSHABLE PLANT MATERIAL TO ALLOW ACCESS TO METERS.
 UNISTRUT BACK MOUNTING SYSTEM
 SCHEDULE 80 PVC CONDUIT, PAINT EXPOSED CONDUIT TO MATCH WALL FINISH
 INSTALL UNISTRUT AND CONDUIT STRAPS AS REQUIRED FOR MOUNTING AND PAINT TO MATCH WALL



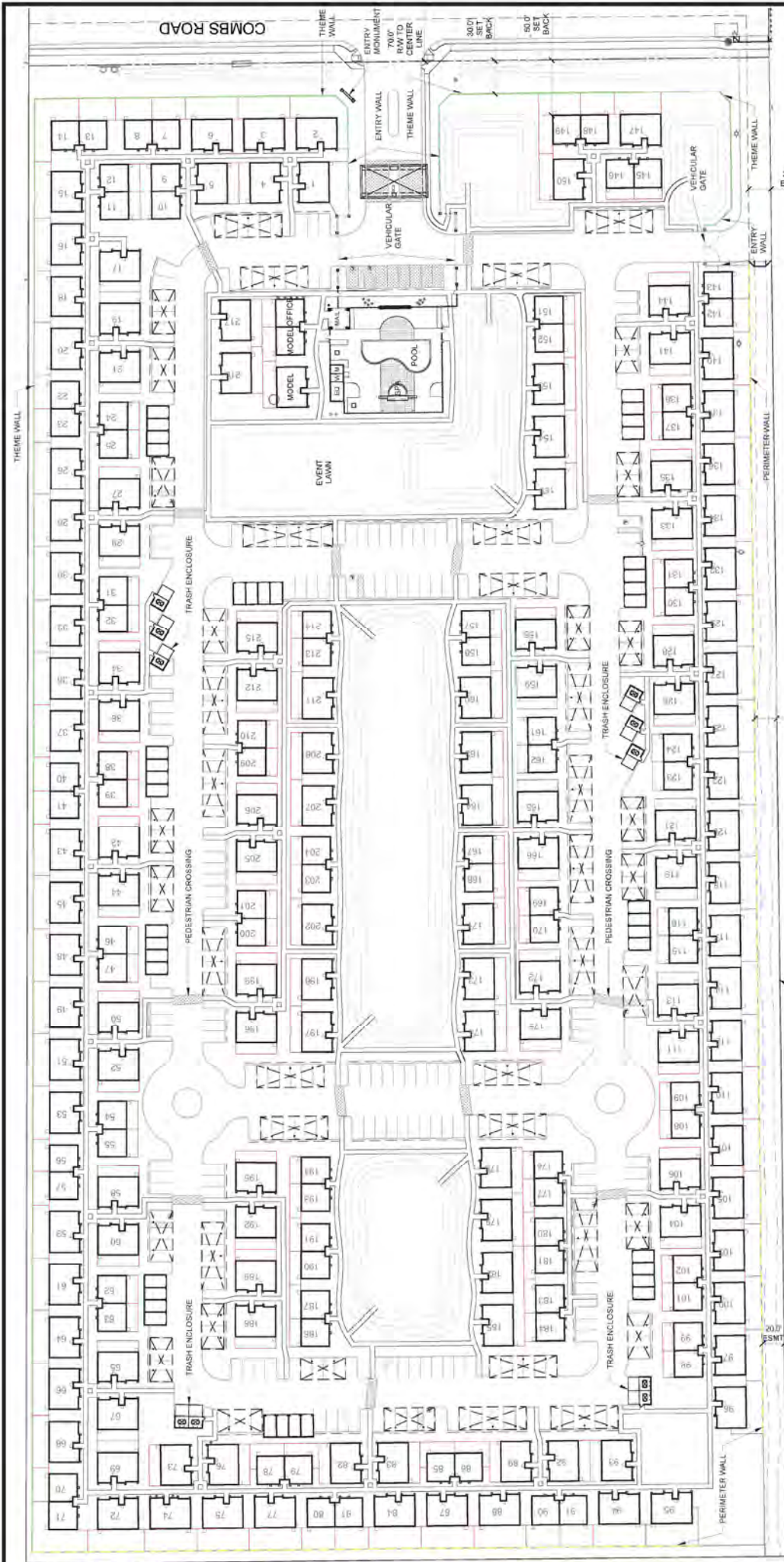
3 COMMUNITY MAIL BOX
SCALE: 1/2\"/>

NOTE: FINISH MATERIALS & COLORS TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

HANCOCK - THE ACADEMY

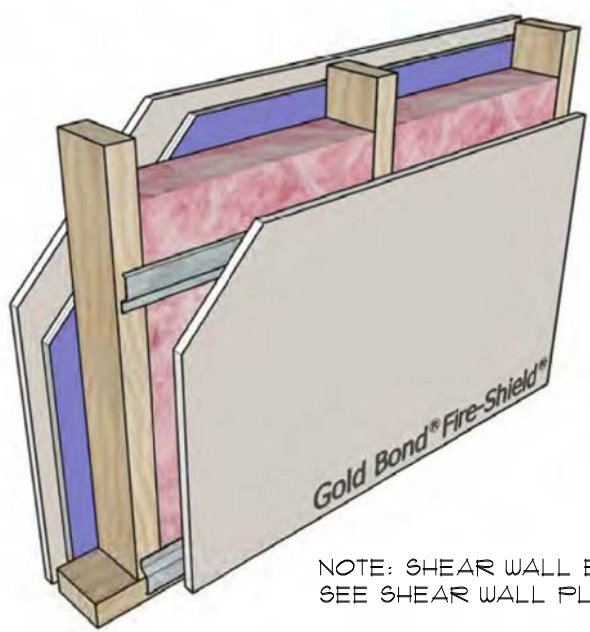
920 W Combs Road, Queen Creek AZ

Preliminary Wall Plan



LEGEND

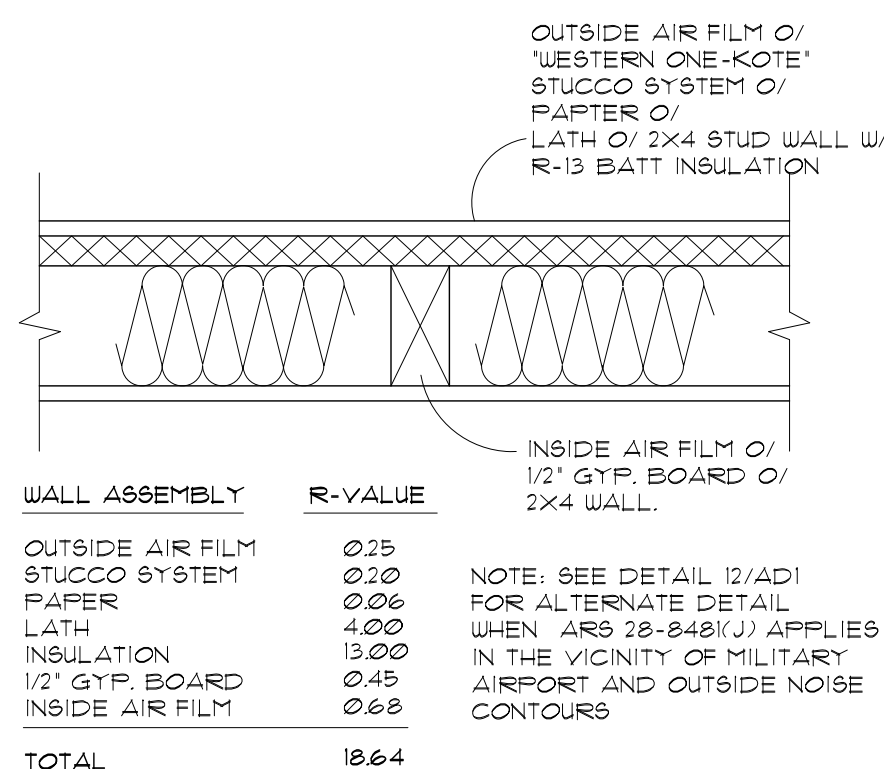
- THEME WALL HEIGHT = 6' SEE DETAIL 1 SHEET 4
- PERIMETER WALL SEE DETAIL 2 SHEET 4
- ENTRY AREA WALL SEE DETAIL 3 SHEET 4
- EXISTING MASONRY WALL TO REMAIN
- V/NYL PRIVACY FENCE SEE DETAIL 3 SHEET 5
- ELECTRICAL PANEL SUPPORT WALL SEE DETAIL 2 SHEET 6
- 30' LANDSCAPE SET BACK
- SOLID WASTE CONTAINER ENCLOSURES SEE DETAIL 1 SHEET 6



NOTE: SHEAR WALL EACH SIDE
SEE SHEAR WALL PLAN

STC-58 **NGC 2011067**

Framing: 2x4 wood studs, 16" o.c.
Insulation: 3-1/2" glass fiber
Side 1: 5/8" Fire-Shield Gypsum Board on
5/8" SoundBreak XP Gypsum Board
Side 2: 5/8" Fire-Shield Gypsum Board on RC-1
UL Design: U305 - 1 hour



WALL ASSEMBLY	R-VALUE
OUTSIDE AIR FILM	0.25
STUCCO SYSTEM	0.20
PAPER	0.06
LATH	4.00
INSULATION	13.00
1/2" GYP. BOARD	0.45
INSIDE AIR FILM	0.68
TOTAL	18.64

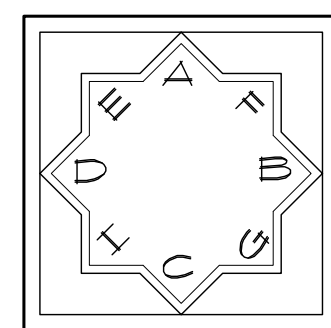
NOTE: SEE DETAIL 12/AD1
FOR ALTERNATE DETAIL
WHEN ARE 28-B48(J) APPLIES
IN THE VICINITY OF MILITARY
AIRPORT AND OUTSIDE NOISE
CONTOURS

1 EXT. WALL ASSEMBLY

GLAZING NOTE:
GLAZING SHALL COMPLY WITH CURRENT CODES.
GLAZING IN DOORS.
GLAZING ADJACENT DOORS.
GLAZING IN WINDOWS.

SQUARE FOOTAGE LEGEND	
650 SQ. FT.	UNIT 1 RIGHT SIDE
650 SQ. FT.	UNIT 1 LEFT SIDE
1300 SQ. FT.	TOTAL HABITABLE SPACE UNIT 1
48 SQ. FT.	TOTAL FRONT PORCH
1348 SQ. FT.	TOTAL UNDER ROOF

NOTE: TOTAL FOOTPRINT WITH OVERHANGS = 1511 SF.



ROOM
DESIGNATION
KEY

2 SEPERATION WALL ASSEMBLY

NOTE: THERE ARE TO BE NO ELECTRICAL BOXES WITHIN
THE SAME 24" OF THE BOXES ON THE OPPOSITE SIDE OF
THE WALL. (R302.4.2)

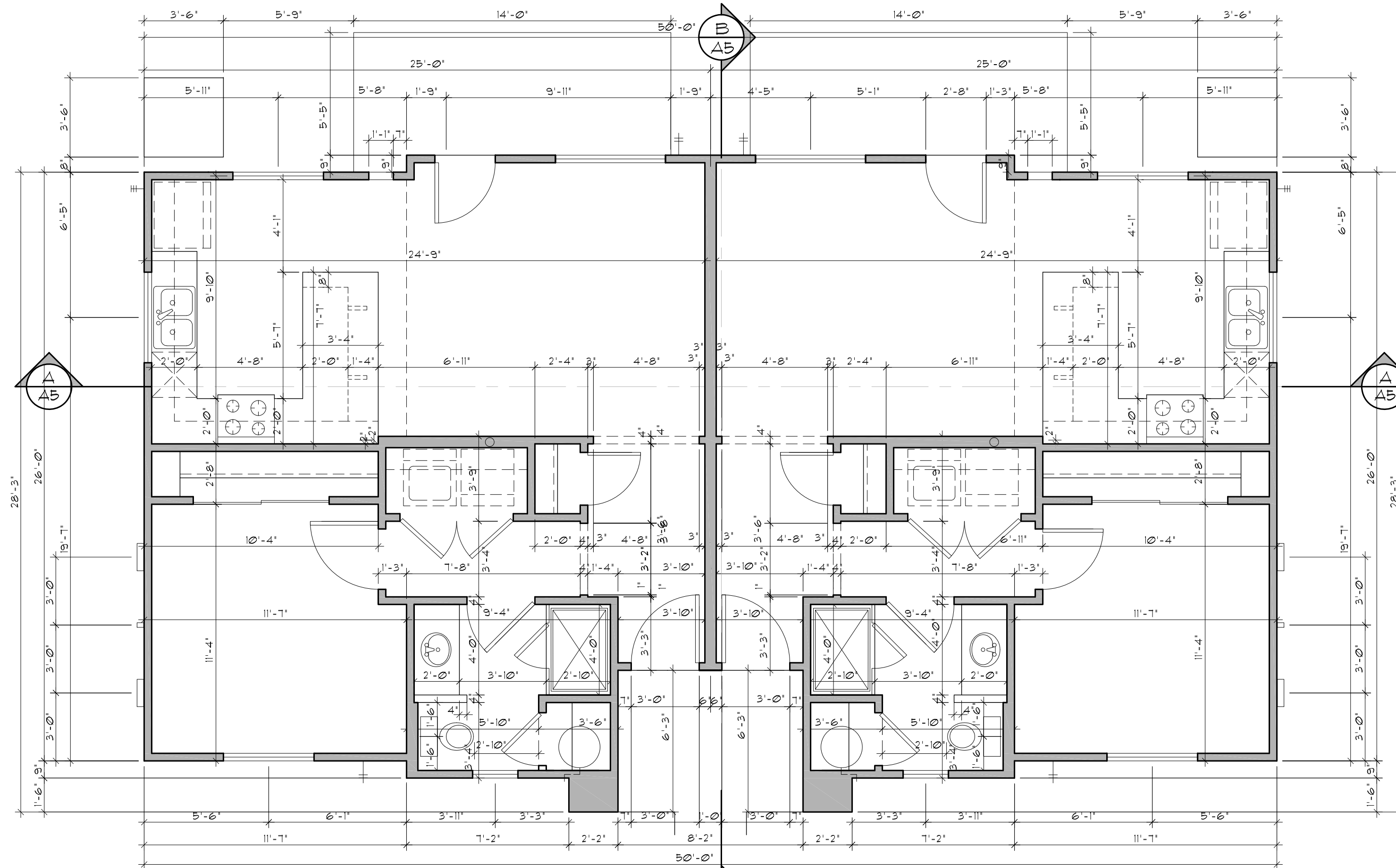
NOTE: USE 1/2" RC-2 CHANNELS WITH ISO PADDING TAPE
ILO OF 1/2" RC-1 CHANNELS SHOWN IN DETAIL.

ASSEMBLY SHALL COMPLY WITH R302.3 WALL FOUNDATION
TO UNDERSIDE ROOF SHEATHING

R302.3 Two-Family Dwellings
Dwelling units in two-family dwellings shall be separated from
each other by wall and/or floor assemblies having not less
than a 1-hour fire-resistance rating when tested in accordance
with ASTM E 119 or UL 263. Fire-resistance-rated floor/ceiling
and wall assemblies shall extend to and be tight against the
exterior wall, and wall assemblies shall extend from the
foundation to the underside of the roof sheathing.

Exceptions:
1. A fire-resistance rating of 1/2 hour shall be permitted in
buildings equipped throughout with an automatic sprinkler
system installed in accordance with NFPA 13.
2. Wall assemblies need not extend through attic spaces when
the ceiling is protected by not less than 5/8-inch (15.9 mm)
Type X gypsum board and an attic draft stop constructed as
specified in Section R302.12.1 is provided above and along the
wall assembly separating the dwellings. The structural
framing supporting the ceiling shall also be protected by not
less than 1/2-inch (12.1 mm) gypsum board or equivalent.

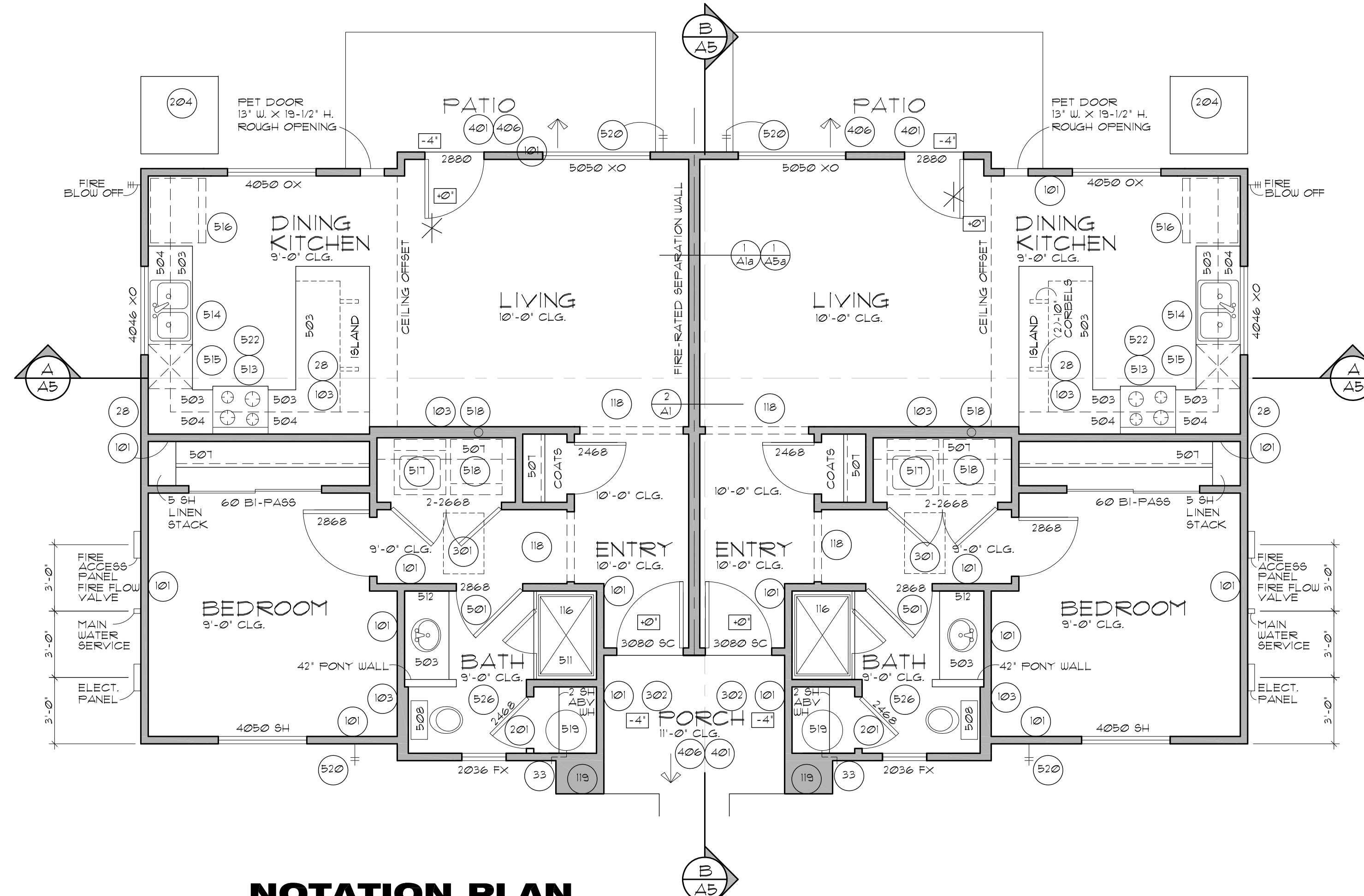
NOTE: See detail 1/A5a for alternate separation wall detail.



DIMENSION PLAN

UNIT 1 - FLOOR PLAN "A"

SCALE: 1/4" = 1'-0"



NOTATION PLAN

UNIT 1 - FLOOR PLAN "A"

SCALE: 1/4" = 1'-0"

CRAFTSMAN STYLE

MASTER KEYNOTES

101	2x4 STUD WALL
102	2x6 STUD WALL
103	6" FLUOR WALL
104	INTERIOR BEARING WALL - SEE FRAMING PLANS
105	MIN. 1-3/8" SELF CLOSING SELF LATCHING SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS
106	PRESSURE TREATED BOTTOM PLATE
107	DOUBLE TOP PLATE
108	WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/AD1
109	PAINT CONCRETE STEM BELOW TO MATCH BLDG.
110	R-13 + R33 BATT INSUL. AT 2X4 WALL, R-19 AT 2X6 WALL
111	2X FIRE BLOCKING
112	1/2" GYPSUM BOARD, 9/16" RESISTANT ON CEILINGS
113	SLOPE TOP 1/4" PLF
114	STUCCO - Ultrakote ESR 1471
115	SOFFIT
116	WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 1/2" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 1/2" TYPE X GYPSUM BOARD OR EQUIVALENT. THE STRUCTURE SUPPORTING THE SEPARATION ASSEMBLY SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV.
117	CRITICAL FINISHED DIMENSION. (SEE DIMENSION NOTE UNDER 'GENERAL FLOOR PLAN NOTES' ON THIS SHEET.)
118	NICHE - SEE INTERIOR ELEVATIONS
119	OPENING - SEE INTERIOR ELEVATIONS
120	COLUMN - (SEE FRMG FOR WOOD, FIRE-CAST, OR STEEL)
121	CRIPPL WALL
122	HARDIEPLANK + HARDIEPANEL ICC-ESR-2290
201	WATER HEATER PLATFORM 18"
202	FLOOR MATERIAL CHANGE
203	FLOOR DRAIN
204	A/C PAD - SEE MECHANICAL PLANS
301	30x22 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE
302	EXTERIOR GYP. BOARD, ICC - ESR-1938 OR EQUAL
303	2X FASCIA WITH 1X TRIM
304	ROOF SLOPE - SEE EXT. ELEVATIONS
305	PREFAB TRUSSES 24" O.C. UNO (SEE ROOF FRAMING PLAN)
306	GIRDER TRUSS - SEE ROOF FRAMING
307	2X RAFTERS - SEE FRAMING
308	1/2" OSB SHEATHING
309	BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING
310	FURRED CEILING
311	BEAM - SEE FRAMING PLAN
312	2X4 LOOKOUTS AT 48" O.C.
313	R-38 BATT INSULATION
314	BORAL CONG. TILE ROOF ESR-1641 OR APPROVED EQUAL TO BE USED OVER TYPE 30 UNDERLAYMENT
315	1X CONVENTIONAL OVERSHEATHING
316	STRUCTURAL GABLE END TRUSS
317	WOOD CORBELS W/PAIN PER BLDG SPEC.-SEE 3/AD1
401	STOOP
402	CONG. SLAB OVER 4" OF ABC O.TERMITE CREATED SOIL TYPICAL-SEE STRUCT. FOR THICKNESS
403	KEYED STEM
404	6" CONCRETE
405	SLOPE 1/8" PLF.
406	8" TURNDOWN
407	EXPANSION JOINT
408	FRAMING OR STONE PER BUILDER
409	PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX.
410	PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
501	MIRRORS + MEDICINE CABINETS PER BUILDER SPEC.
502	CITY / COUNTY APPROVED FIREPLAGE
503	BASE CABINET - SEE INTERIOR ELEVATIONS
504	UPPER CABINET - SEE INTERIOR ELEVATIONS
505	STONE VENEER-ESR-2998 OR EQUAL
506	PREF-AB SHUTTERS
507	SHELVES + RODS PER BUILDER SPEC.
508	WATER CLOSET
509	TUB + SHOWER WITH ROD
510	GARDEN TUB PER SPEC
511	SHOWER - SEE FLR. PLAN FOR SIZE
512	LAVATORY'S PER BUILDER SPEC.
513	RANGE OVEN
514	DOUBLE SINK W/DISPOSAL
515	DISHWASHER
516	REFRIGERATOR WITH ICE MAKER
517	WASHER
518	DRYER WITH DRYER VENT-SEE GENERAL NOTES
519	WATER HEATER
520	HOSE BIBBS
521	HOSE BIBBS W/S/OV
522	MICROWAVE
523	3 SHELVES
524	SERVICE SINK (OPTIONAL)
525	COOKTOP
526	TOUEL BARS, RINGS, + T.P. HOLDERS PER OWNER
1	REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES + MATERIAL SPECS
2	SEE EXTERIOR ELEVATIONS FOR ALL POROFS AND VENEERS
3	SEE SITE PLAN FOR CONT. OF WALKS + DRIVES
4	SEE MECHANICAL FOR A/C OR FAU UNITS
5	SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS
6	SEE FRAMING PLANS FOR FOOT SIZES AND LOCATIONS
7	SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS.
8	SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
20	INSULATION - UNO
21	R-38 ROOF
22	R-19 BATTIS + EXT. 2X4 WALLS
23	R-19 BATTIS + EXT. 2X6 WALLS
24	ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS
25	MAX. SILL HGT. 44"
26	MIN. 5" SOFT OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS
27	SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR
28	ALL PLUMBING FIXTURES TO COMPLY WITH STATE LOW FLOW REQUIREMENTS
29	SEE SHEET C-1 FOR GYP. BOARD INSTALLATION.
30	MANUFACTURERS INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON O/C CLEARANCE INSTALLATION
31	DRYER VENT - CONFORM TO IMC DRYER VENT LIMITATIONS. SEE SHEET C-1.
32	ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 5' OF DOORS SHALL BE SAFETY GLASS
33	SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER TUB WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL
34	INTERIOR LAUNDRY ROOMS AND BATHROOMS REQUIRE MECHANICAL VENTILATION OF FIVE AIR CHANGES HOUR
35	FIRE SEPARATION AT GARAGE WITH UNO OR FURNACE, NO PLUMBING PIPE OR REFRIGERANT LINE INSULATION TO PENETRATE FIREWALL. NO SUPPLY AIR OR OTHER DUCT OPENINGS IN GARAGE WITHOUT FIRE DAMPERS, INCLUDING DUCT VIBRATION ISOLATORS.
36	TIP RELIEF VALVE TO BE FULL SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TIP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS.
37	ALL FLOOR MATERIALS PER OWNER SPEC.
38	DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

revisions

1	
2	
3	

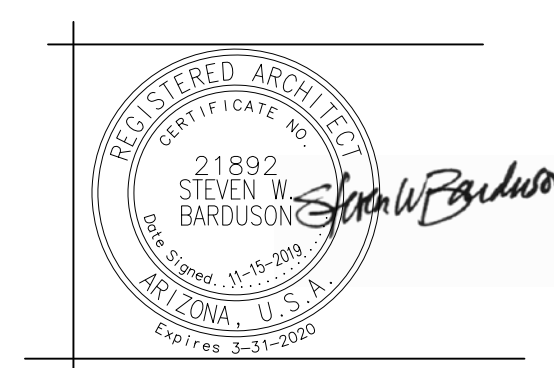
VILLAS

THE ACADEMY

QUEENCREEK

UNIT 1

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practicing design community

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phoenix
arizona 85044
T 480 233 7777
F 480 460 2263
date: 11-15-2019
project no:

DR 1

FLOOR PLANS-A

CRAFTSMAN STYLE

UNIT 1

revisions

1	
2	
3	



FRONT



LEFT



RIGHT



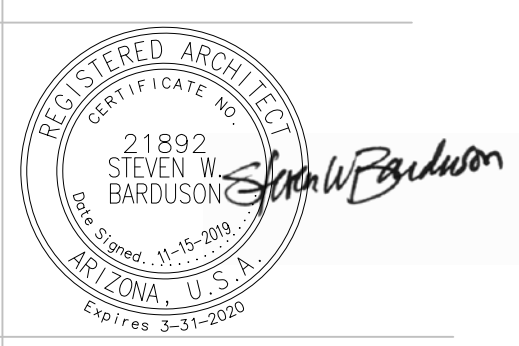
REAR

VILLAS

THE ACADEMY QUEENCREEK

UNIT 1

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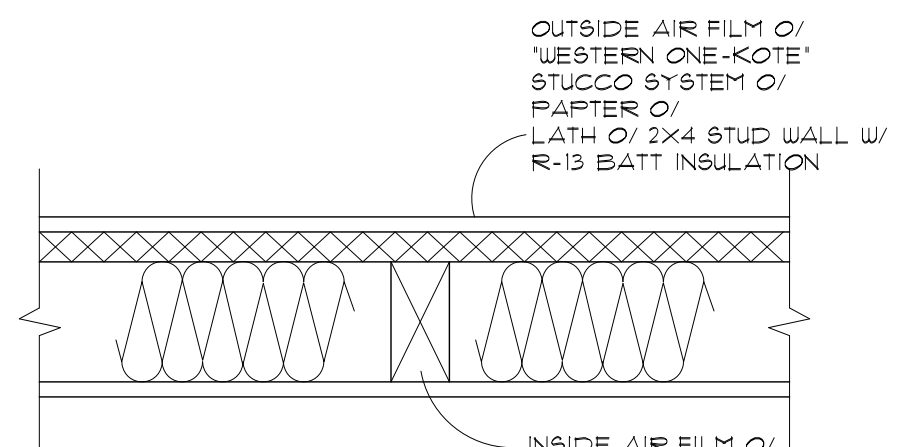
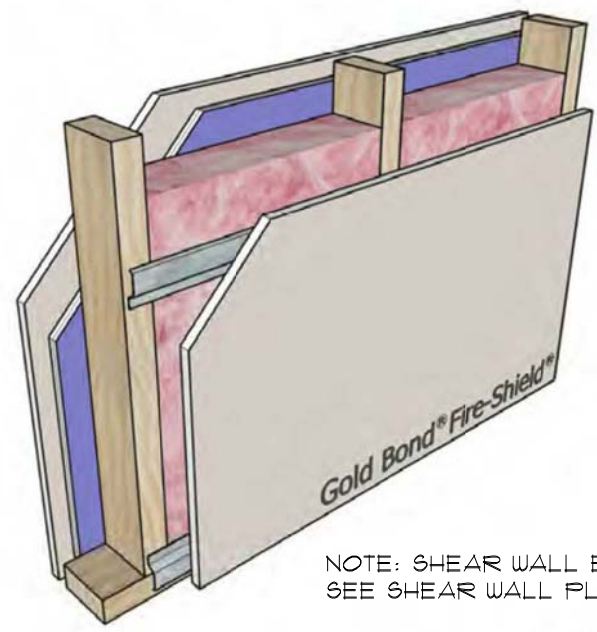
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phoenix
arizona 85044
T 480 233 7777
F 480 460 2263

date: 11-15-2019
project no:

DR2

UNIT 1 ALL SIDES - CRAFTSMAN

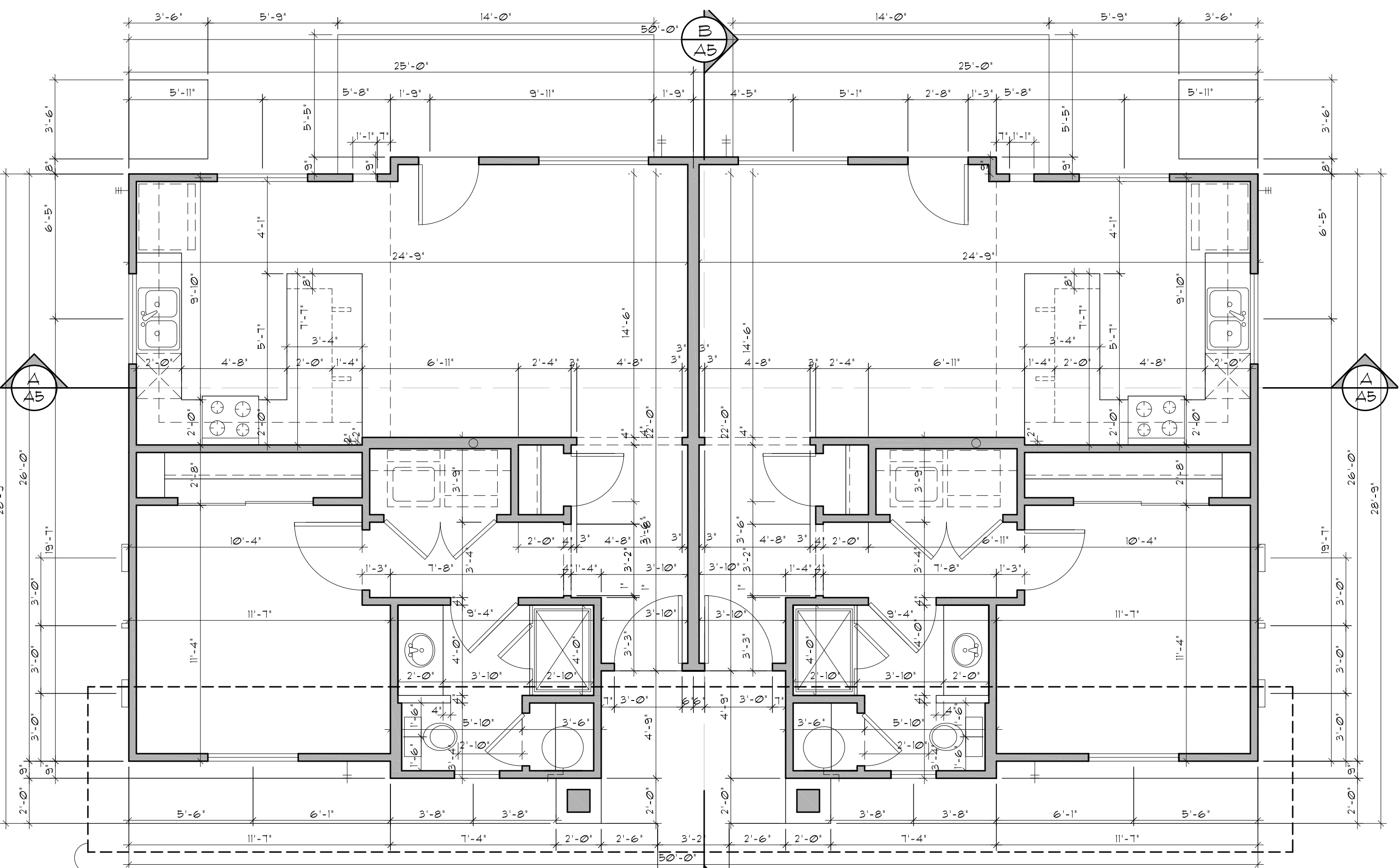


WALL ASSEMBLY	R-VALUE
OUTSIDE AIR FILM	0.25
STUCCO SYSTEM	0.20
PAPER	0.06
LATH	4.00
INSULATION	13.00
1/2" GYP. BOARD	0.45
INSIDE AIR FILM	0.68
TOTAL	18.64

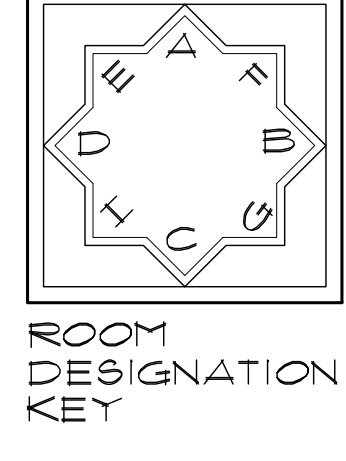
1 EXT. WALL ASSEMBLY

GLAZING NOTE:
 * GLAZING SHALL COMPLY WITH CURRENT CODES.
 * GLAZING IN DOORS.
 * GLAZING ADJACENT DOORS.
 * GLAZING IN WINDOWS.

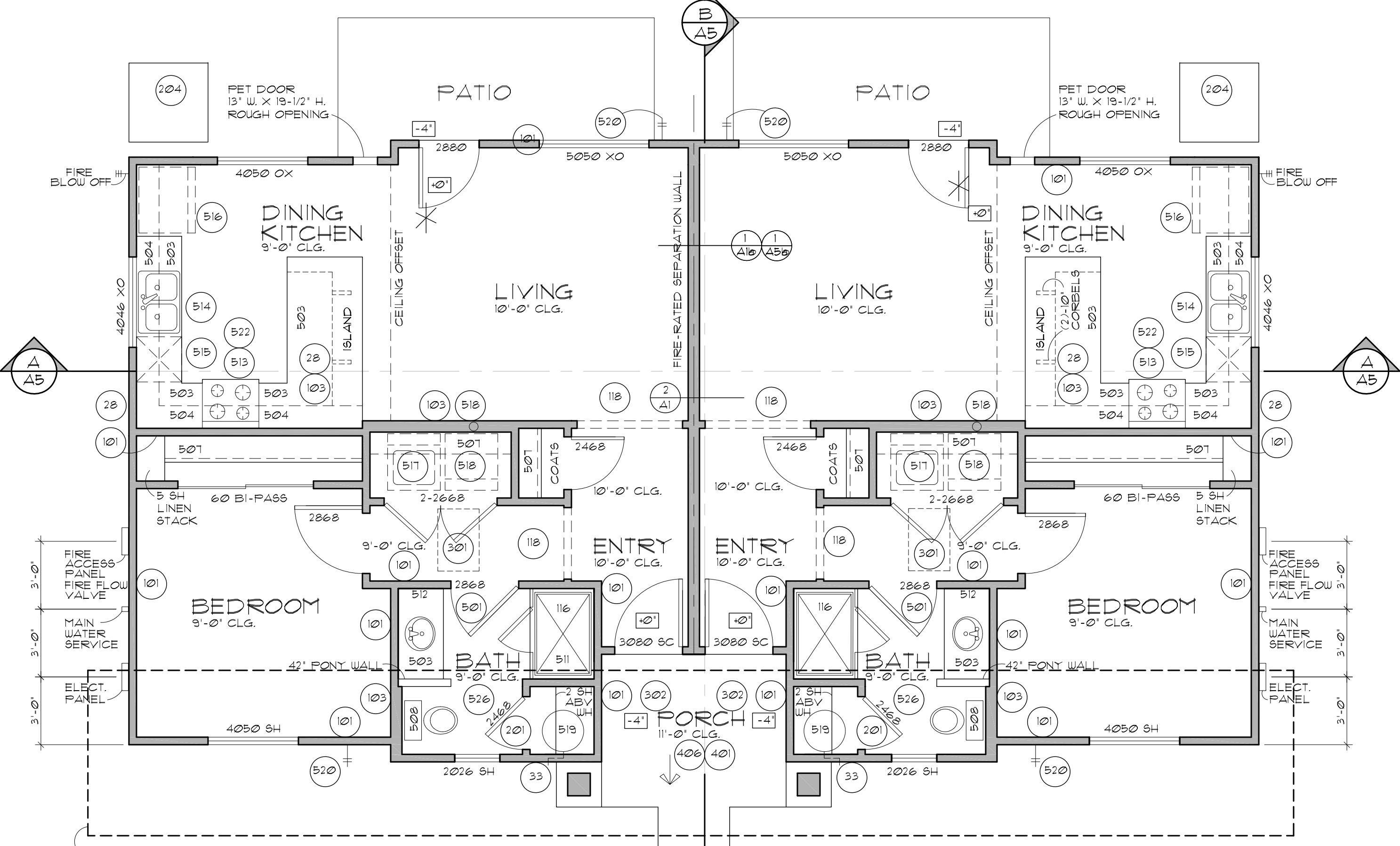
SQUARE FOOTAGE LEGEND	
642 SQ. FT.	UNIT 1 RIGHT SIDE
642 SQ. FT.	UNIT 1 LEFT SIDE
1284 SQ. FT.	TOTAL HABITABLE SPACE UNIT 1
39 SQ. FT.	TOTAL FRONT PORCH
1323 SQ. FT.	TOTAL UNDER ROOF



DIMENSION PLAN
UNIT 1 - FLOOR PLAN "B"
 SCALE: 1/4" = 1'-0"



ROOM DESIGNATION KEY



NOTATION PLAN
UNIT 1 - FLOOR PLAN "B"
FARMHOUSE STYLE
 SCALE: 1/4" = 1'-0"

STC-58 **NGC 2011067**
 Framing: 2x4 wood studs, 16" o.c.
 Insulation: 3-1/2" glass fiber
 Side 1: 5/8" Fire-Shield Gypsum Board on 5/8" SoundBreak XP Gypsum Board
 Side 2: 5/8" Fire-Shield Gypsum Board on RC-1 UL Design: U305 - 1 hour

2 SEPERATION WALL ASSEMBLY

NOTE: THERE ARE TO BE NO ELECTRICAL BOXES WITHIN THE SAME 24" OF THE BOXES ON THE OPPOSITE SIDE OF THE WALL. (R302.4.2)
 NOTE: USE 1/2" RC-1 CHANNELS WITH 150 PADDING TAPE I/O OF 1/2" RC-1 CHANNELS SHOWN IN DETAIL.

ASSEMBLY SHALL COMPLY WITH R302.3 WALL FOUNDATION TO UNDERSIDE ROOF SHEATHING

R302.3 Two-Family Dwellings
 Dwelling units in two-family dwellings shall be separated from each other by wall and/or floor assemblies having not less than a 1-hour fire-resistance rating when tested in accordance with ASTM E 119 or UL 263. Fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.

Exceptions:
 1. A fire-resistance rating of 1/2 hour shall be permitted in buildings equipped throughout with an automatic sprinkler system installed in accordance with NFPA 13.
 2. Wall assemblies need not extend through attic spaces when the ceiling is protected by not less than 5/8-inch (15.9 mm) Type X gypsum board and an attic draft stop constructed as specified in Section R302.121 is provided above and along the wall assembly separating the dwellings. The structural framing supporting the ceiling shall also be protected by not less than 1/2-inch (12.1 mm) gypsum board or equivalent.

NOTE: See detail 1/A5 (a, b, or c respectively) for alternate separation wall detail.

SHOWER NOTE
 Shower compartments require a non-absorbent finish to 6" A.F.F. If another nonabsorbent finish is used than ceramic tile, the water-resistant gypsum backing shall be in compliance with ASTM C1396, C1178, or C1278 with edges sealed per manufacturer.
 Shower compartments require a non-absorbent finish to 6" A.F.F. When ceramic tile is used at the shower compartment or tub, the backing shall be cement, fiber-cement or glass mat gypsum in compliance with ASTM C1288, C1325, C1178, or C1278 with edges sealed per manufacturer.

FIXTURE NOTE:
 Fixture clearances - 15" on water closet, 21" in front of water closet and sinks. 24" clearance in front of shower opening. R307.1 figure P2705

MASTER KEYNOTES	
01	2x4 STUD WALL
02	2x6 STUD WALL
03	6" FLUMBALL
04	INTERIOR BEARING WALL - SEE FRAMING PLANS
05	MIN. 1-3/8" SELF CLOSING SELF LATCHING SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS
06	PRESSURE TREATED BOTTOM PLATE
07	DOUBLE TOP PLATE
08	WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/AD1
09	PAINT CONCRETE STEM BELOW TO MATCH BLDG.
10	R-13 + R-38 BATT INSUL. AT 2X4 WALL, R-13 AT 2X6 WALL
11	2X FIRE BLOCKING
12	1/2" GYPSUM BOARD, 94G RESISTANT ON CEILINGS
13	SLOPE TOP 1/4" PLF
14	STUCCO - Ultrakote ESR 1471
15	SOFFIT WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 1/2" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 1/2" TYPE X GYPSUM BOARD OR EQUIVALENT. WHEN THE ROOMS SHARING A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV.
16	CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER GENERAL FLOOR PLAN NOTES) ON THIS SHEET.)
17	NICHE - SEE INTERIOR ELEVATIONS
18	OPENING - SEE INTERIOR ELEVATIONS
19	COLUMN - (SEE FRMG FOR WOOD, FIRE-CAST, OR STEEL)
20	CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER GENERAL FLOOR PLAN NOTES) ON THIS SHEET.)
21	HARDIFLOAK 4 HARDIFANELL ICC-ESR-2290
22	WATER HEATER PLATFORM 48"
23	FLOOR MATERIAL CHANGE
24	FLOOR DRAIN
25	A/C PAD - SEE MECHANICAL PLANS
26	30x32 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE
27	EXTERIOR GYP. BOARD, ICC - ESR-1338 OR EQUAL
28	2X FASCIA WITH 1X TRIM
29	ROOF SLOPE - SEE EXT. ELEVATIONS
30	PREFAB TRUSSES 24" O.C. UNO (SEE ROOF FRAMING PLAN)
31	GIRDER TRUSS - SEE ROOF FRAMING
32	2X RAFTERS - SEE FRAMING
33	1/2" OSB SHEATHING
34	BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING
35	FURRED CEILING
36	BEAM - SEE FRAMING PLAN
37	2X4 LOOKOUTS AT 48" O.C.
38	R-38 BATT INSULATION
39	BORAL CONC. TILE ROOF ESR-1641 OR APPROVED EQUAL TO BE USED OVER TYPE 30 UNDERLAYMENT
40	2X CONVENTIONAL OVERBRACING
41	STRUCTURAL GABLE END TRUSS
42	WOOD CORBELS W/PAIN PER BLDGR SPEC.-SEE 3/AD1
43	STOP
44	CONC. SLAB OVER 4" OF ABC OTERMITE
45	CREATED SOL. TYPICAL-SEE STRUCT. FOR THICKNESS
46	KEYED STEM
47	6" CONCRETE
48	SLOPE 1/8" PLF.
49	8" TURNDOWN
50	EXPANSION JOINT
51	CONC. OR STONE PER BUILDER
52	PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX.
53	PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
54	MIRRORS + MEDICINE CABINETS PER BUILDER SPEC.
55	CITY / COUNTY APPROVED FIRE-RATED
56	BASE CABINET - SEE INTERIOR ELEVATIONS
57	UPPER CABINET - SEE INTERIOR ELEVATIONS
58	STONE VENEER-ESR-2938 OR EQUAL
59	PREFAB SHUTTERS
60	SHELVES + RODS PER BUILDER SPEC.
61	WATER CLOSET
62	TUB + SHOWER WITH ROD
63	GARDEN TUB PER SPEC
64	SHOWER - SEE FLR. PLAN FOR SIZE
65	LAVATORY'S PER BUILDER SPEC.
66	RANGE OVEN
67	DOUBLE SINK W/DISPOSAL
68	DISHWASHER
69	REFRIGERATOR WITH ICE MAKER
70	WASHER
71	DRYER WITH DRYER VENT-SEE GENERAL NOTES
72	WATER HEATER
73	HOSE BIBBS
74	HOSE BIBBS W/S/OV
75	MICROWAVE
76	3 SHELVES
77	SERVICE SINK (OPTIONAL)
78	COOKTOP
79	TOEL BARS, RINGS, 4 TP. HOLDERS PER OWNER
80	REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES + MATERIAL SPEC'S
81	SEE EXTERIOR ELEVATIONS FOR ALL PORCHES AND VENEERS
82	SEE SITE PLAN FOR CONT. OF WALKS + DRIVES
83	SEE MECHANICAL FOR A/C OR FAU UNITS
84	SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS
85	SEE FRAMING PLANS FOR FOOT SIZES AND LOCATIONS
86	SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS.
87	SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
88	INSULATION - UNO
89	R-38 ROOF
90	R-13 BATT @ EXT. 2X4 WALLS
91	R-13 BATT @ EXT. 2X6 WALLS
92	ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS
93	MAX. SILL HGT. 44"
94	MIN. 5'10" OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS
95	SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR
96	ALL PLUMBING FIXTURES TO COMPLY WITH STATE FLOW REQUIREMENTS
97	SEE SHEET C-1 FOR GYP. BOARD INSTALLATION
98	A/C UNIT TO BE INSTALLED ON A CONCRETE SLAB WHICH COMPLETELY SUPPORTS THE EQUIPMENT ELEVATED AT LEAST 3" ABOVE ADJACENT GROUND LEVEL.
99	MANUFACTURER'S INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON 10% CLEARANCE INSTALLATION
100	DRYER VENT - CONFORM TO IMC DRYER VENT LIMITATIONS. SEE SHEET C-1.
101	ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 24" OF GARAGE SHALL BE SAFETY GLASS
102	SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER ROD WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL. SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TRP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS.
103	ALL FLOOR MATERIALS PER OWNER SPEC.
104	DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

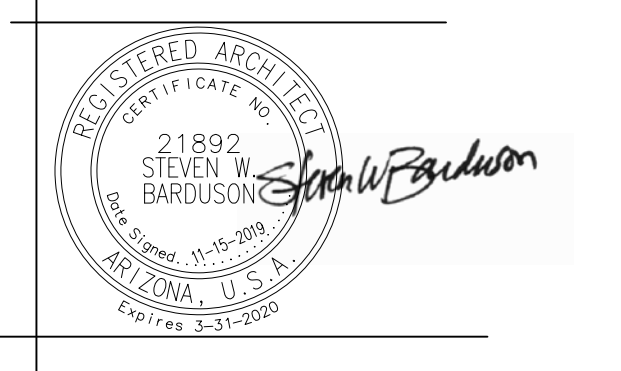
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UNIT 1

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FLOOR PLANS-B

FARMHOUSE

UNIT 1



FRONT



LEFT



RIGHT



REAR

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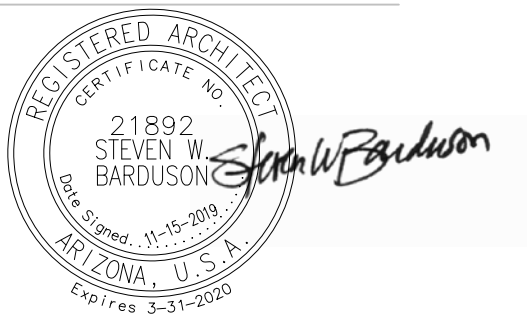
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VILLAS

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UNIT 1

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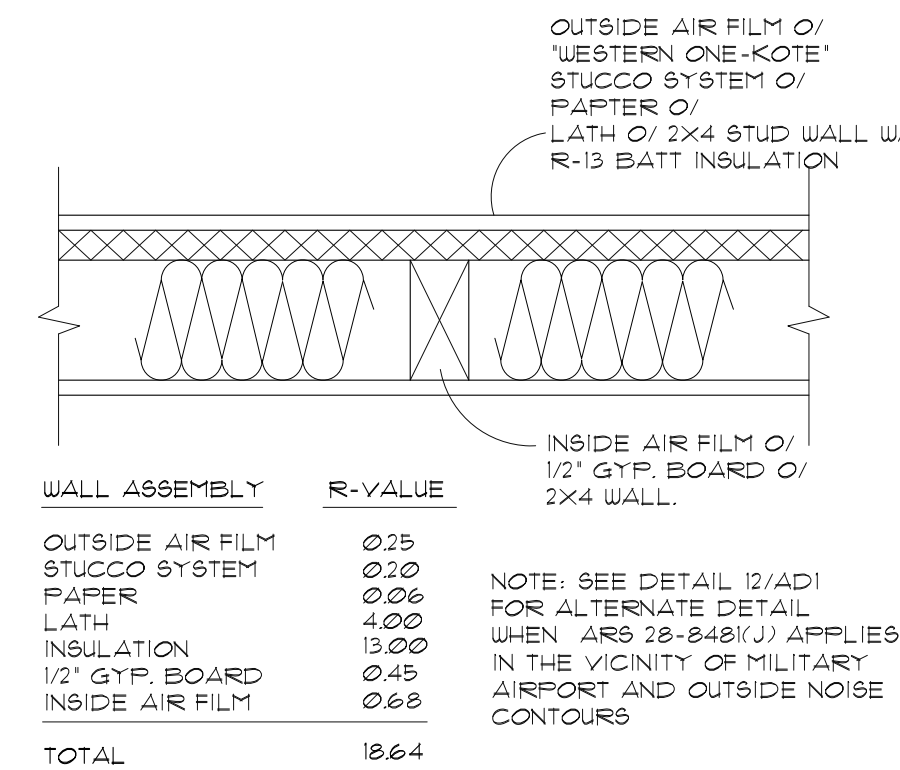
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UNIT 1 ALL SIDES - FARMHOUSE

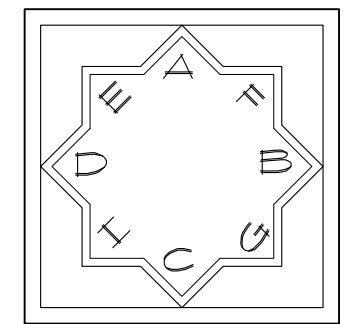


1 EXT. WALL ASSEMBLY

GLAZING NOTE:
GLAZING SHALL COMPLY WITH CURRENT CODES.
GLAZING IN DOORS.
GLAZING ADJACENT DOORS.
GLAZING IN WINDOWS.

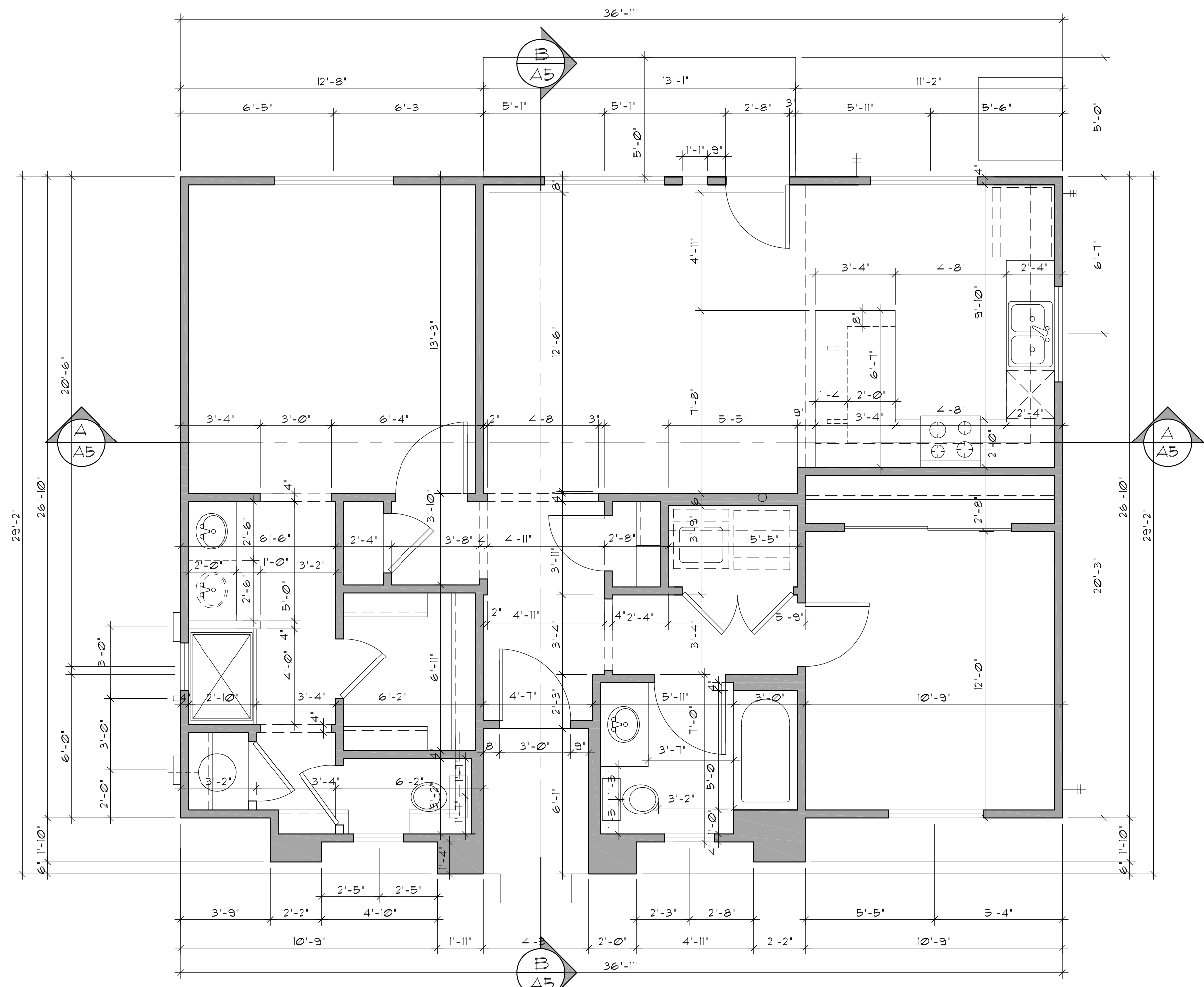
SQUARE FOOTAGE LEGEND	
995 SQ. FT.	TOTAL HABITABLE SPACE
21 SQ. FT.	FRONT PORCH
1022 SQ. FT.	TOTAL UNDER ROOF

NOTE: TOTAL FOOTPRINT WITH OVERHANGS = 1140 SF.

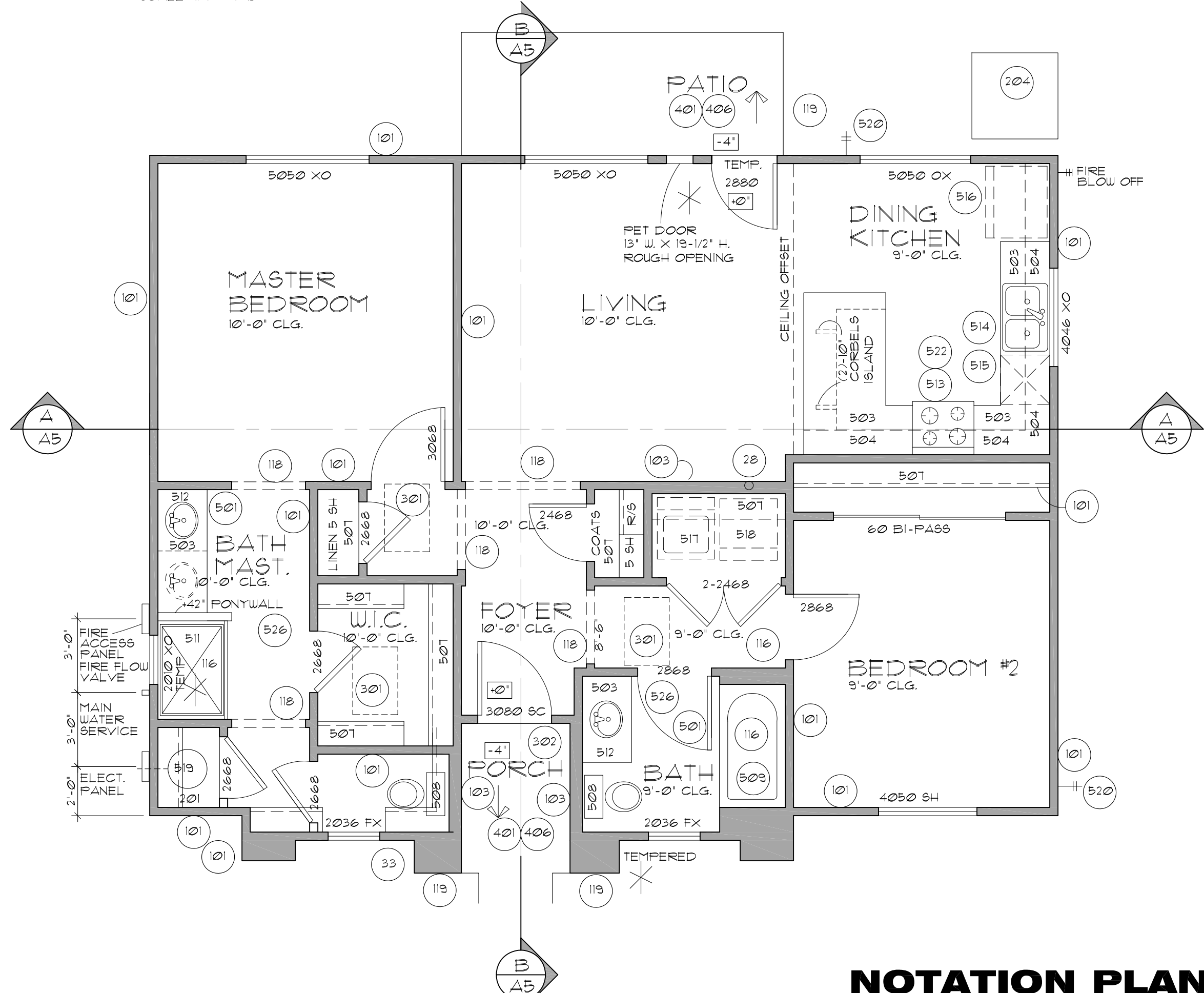


SHOWER NOTE
Shower compartments require a non-absorbent finish to 6" A.F.F. If another nonabsorbent finish is used than ceramic tile, the water-resistant gypsum backing shall be in compliance with ASTM C1396, C1178, or C1278 with edges sealed per manufacturer.
Shower compartments require a non-absorbent finish to 6" A.F.F. When ceramic tile is used at the shower compartment or tub, the backing shall be cement, fiber-cement or glass mat gypsum in compliance with ASTM C1288, C1325, C1178, or C1278 with edges sealed per manufacturer.

FIXTURE NOTE:
Fixture clearances - 15" on water closet, 21" in front of water closet and sinks. 24" clearance in front of shower opening.
R307.1 figure P2705



UNIT 2 - FLOOR PLAN "A"
SCALE: 1/4" = 1'-0"



UNIT 2 - FLOOR PLAN "A"
SCALE: 1/4" = 1'-0"
CRAFTSMAN STYLE

MASTER KEYNOTES	
01	2x4 STUD WALL
02	2x6 STUD WALL
03	6" FLUKE WALL
04	INTERIOR BEARING WALL - SEE FRAMING PLANS
05	MIN. 1-3/8" SELF CLOSING SELF LATCHING SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS
06	PRESSURE TREATED BOTTOM PLATE
07	DOUBLE TOP PLATE
08	WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/AD1
09	PAINT CONCRETE STEM BELOW TO MATCH BLDG.
10	R-19 + R33 BATT INSUL. AT 2X4 WALL, R-19 AT 2X6 WALL
11	2X FIRE BLOCKING
12	1/2" GYPSUM BOARD, 94G RESISTANT ON CEILINGS
13	SLOPE TOP 1/4" PLF
14	STUCCO - Ultrakote ESR 1471
15	SOFFIT
16	WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 3/4" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 3/4" TYPE X GYPSUM BOARD OR EQUIVALENT. WHEN THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 3/4" GYPSUM BOARD OR EQUIV.
17	CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER 'GENERAL FLOOR PLAN NOTES' ON THIS SHEET.)
18	NICHE - SEE INTERIOR ELEVATIONS
19	OPENING - SEE INTERIOR ELEVATIONS
20	COLUMN - (SEE FRMG FOR WOOD, FKE-CAST, OR STEEL)
21	CRIPPLE WALL
22	HARD/EPLANK + HARD/E PANEL ICC-ESR-2290
23	WATER HEATER PLATFORM #8'
24	FLOOR MATERIAL CHANGE
25	FLOOR DRAIN
26	A/C PAD - SEE MECHANICAL PLANS
27	30x22 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE
28	EXTERIOR GYP. BOARD, ICC - ESR-1338 OR EQUAL
29	2X FASCIA WITH X TRIM
30	ROOF SLOPE - SEE EXT. ELEVATIONS
31	PREFAB TRUSSES 24' O.C. UNO (SEE ROOF FRAMING PLAN)
32	GIRDER TRUSS - SEE ROOF FRAMING
33	2X RAFTERS - SEE FRAMING
34	1/2" OSB SHEATHING
35	BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING
36	FURRED CEILING
37	BEAM - SEE FRAMING PLAN
38	2X4 LOOKOUTS AT 48" O.C.
39	R-38 BATT INSULATION
40	BORAL CONC. TILE ROOF ESR-1641 OR APPROVED EQUAL TO BE USED OVER TYPE 30 UNDERLAYMENT
41	2X CONVENTIONAL OVERHANGING STRUCTURAL GABLE END TRUSS
42	WOOD CORBELS W/PAIN PER BLDGR SPEC-SEE 3/AD1
43	STOOP
44	CONC. SLAB OVER 4" OF ABC OTERMITE
45	CREATED SOIL TYPICAL-SEE STRUCT. FOR THICKNESS
46	KEYED STEM
47	6" DEPRESS
48	SLOPE 1/8" PLF.
49	8" TURNDOWN
50	EXPANSION JOINT
51	PAVERS OR STONE PER BUILDER
52	PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX.
53	PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
54	MIRRORS + MEDICINE CABINETS PER BUILDER SPEC.
55	CITY / COUNTY APPROVED FIREPLAGE
56	BASE CABINET - SEE INTERIOR ELEVATIONS
57	UPPER CABINET - SEE INTERIOR ELEVATIONS
58	STONE VENEER-ESR-2598 OR EQUAL
59	PREFAB SHALTERS
60	SHELVES + RODS PER BUILDER SPEC.
61	WATER CLOSET
62	TUB + SHOWER WITH ROD
63	GARDEN TUB PER SPEC
64	SHOWER - SEE FLR. PLAN FOR SIZE
65	LAVATORY'S PER BUILDER SPEC.
66	RANGE OVEN
67	DOUBLE SINK W/DISPOSAL
68	DISHWASHER
69	REFRIGERATOR WITH ICE MAKER
70	WASHER
71	DRYER WITH DRYER VENT-SEE GENERAL NOTES
72	WATER HEATER
73	HOSE BIBBS
74	HOSE BIBBS W/SOV
75	MICROWAVE
76	3 SHELVES
77	SERVICE SINK (OPTIONAL)
78	COOKTOP
79	TOUEL BARS, RINGS, + T.P. HOLDERS PER OWNER
80	REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES + MATERIAL SPEC'S
81	SEE EXTERIOR ELEVATIONS FOR ALL POROUPS AND VENEERS
82	SEE SITE PLAN FOR CONT. OF WALKS + DRIVES
83	SEE MECHANICAL FOR A/C OR FAU UNITS
84	SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS
85	SEE FRAMING PLANS FOR FOOT SIZES AND LOCATIONS
86	SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS.
87	SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
88	INSULATION - UNO
89	R-38 ROOF
90	R-19 BATTIS + EXT. 2X4 WALLS
91	R-19 BATTIS + EXT. 2X6 WALLS
92	ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS
93	MAX. SILL HGT. 44"
94	MIN. 5' SOFT OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS
95	SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR
96	ALL PLUMBING FIXTURES TO COMPLY WITH STATE LOW FLOW REQUIREMENTS
97	SEE SHEET C-1 FOR GYP. BOARD INSTALLATION.
98	A/C UNIT TO BE INSTALLED ON A CONCRETE SLAB WHICH COMPLETELY SUPPORTS THE EQUIPMENT ELEVATED AT LEAST 3" ABOVE ADJACING GROUND LEVEL.
99	MANUFACTURERS INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON 7' CLEARANCE FIREPLAGE INSTALLATION
100	DRYER VENT - CONFORM TO MC DRYER VENT LIMITATIONS, SEE SHEET C-1.
101	ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 24" OF DOORS SHALL BE SAFETY GLASS
102	SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER ROD WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL.
103	INTERIOR LAUNDRY ROOMS AND BATHROOMS REQUIRE MECHANICAL VENTILATION OF FIVE AIR CHANGES HOUR
104	FIRE SEPARATION AT GARAGE WITH UNO OR FURNACE, NO PLASTIC PIPE OR REFRIGERANT LINE INSULATION TO PENETRATE FIREWALL. NO SUPPLY AIR OR OTHER DUCT OPENINGS IN GARAGE WITHOUT FIRE DAMPERS, INCLUDING DUCT VIBRATION ISOLATORS.
105	TIP RELIEF VALVE TO BE FULL SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TIP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS.
106	ALL FLOOR MATERIALS PER OWNER SPEC.
107	DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

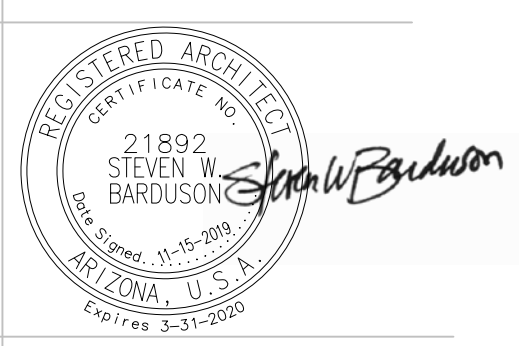
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UNIT 2

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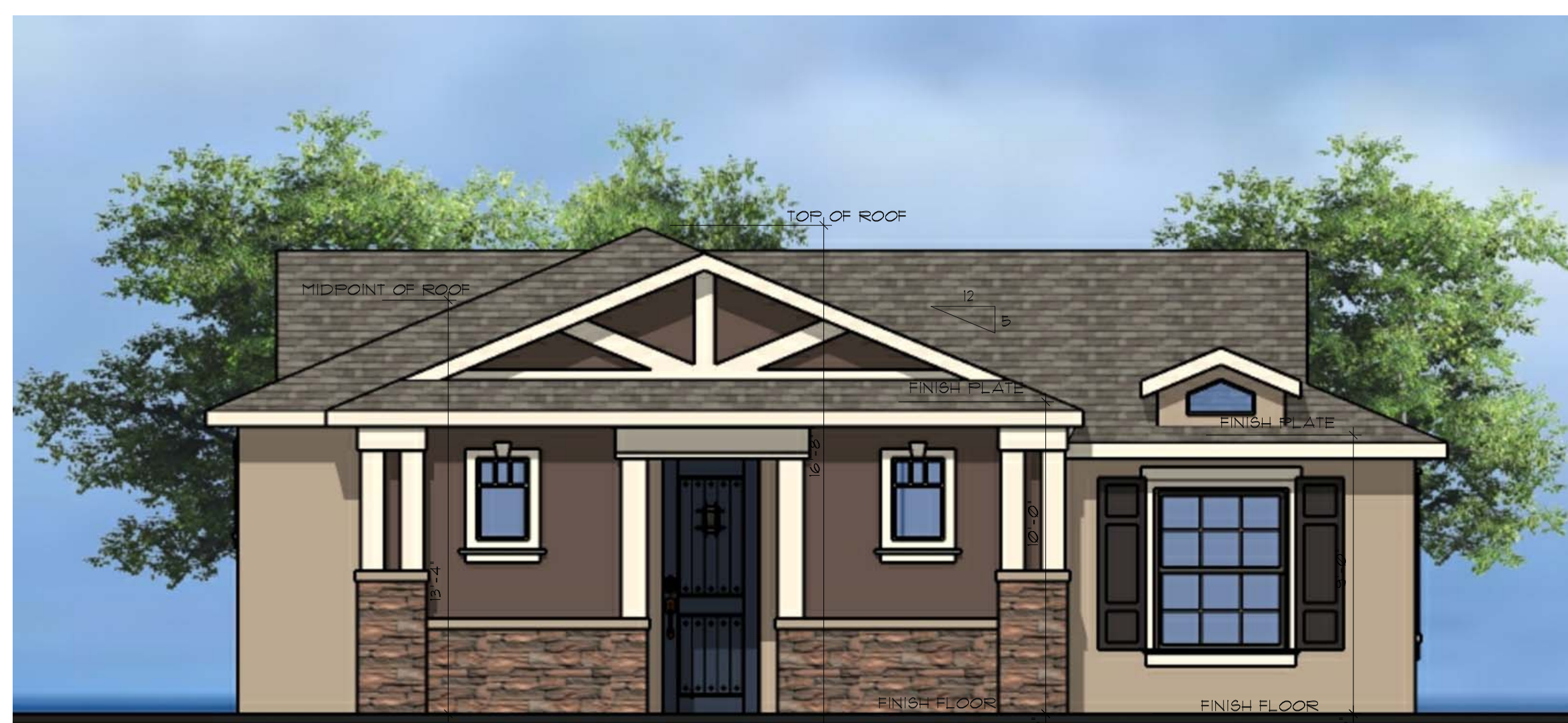
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FLOOR PLANS-A

CRAFTSMAN STYLE

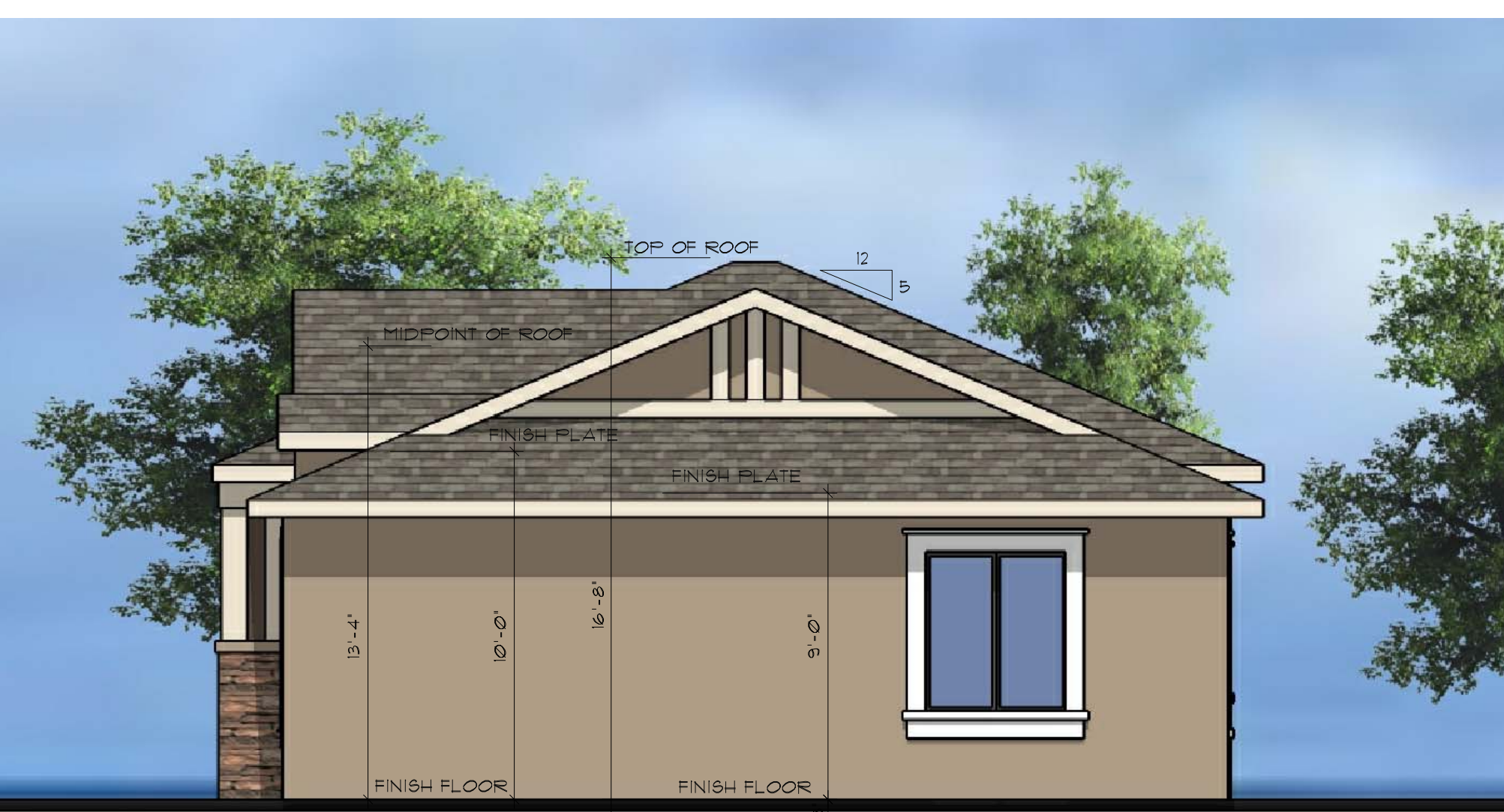
UNIT 2



FRONT



LEFT



RIGHT



REAR

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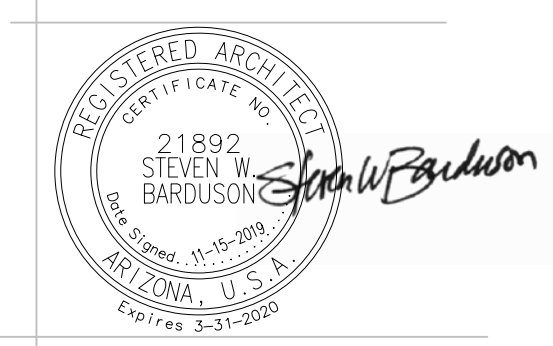
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UNIT 2

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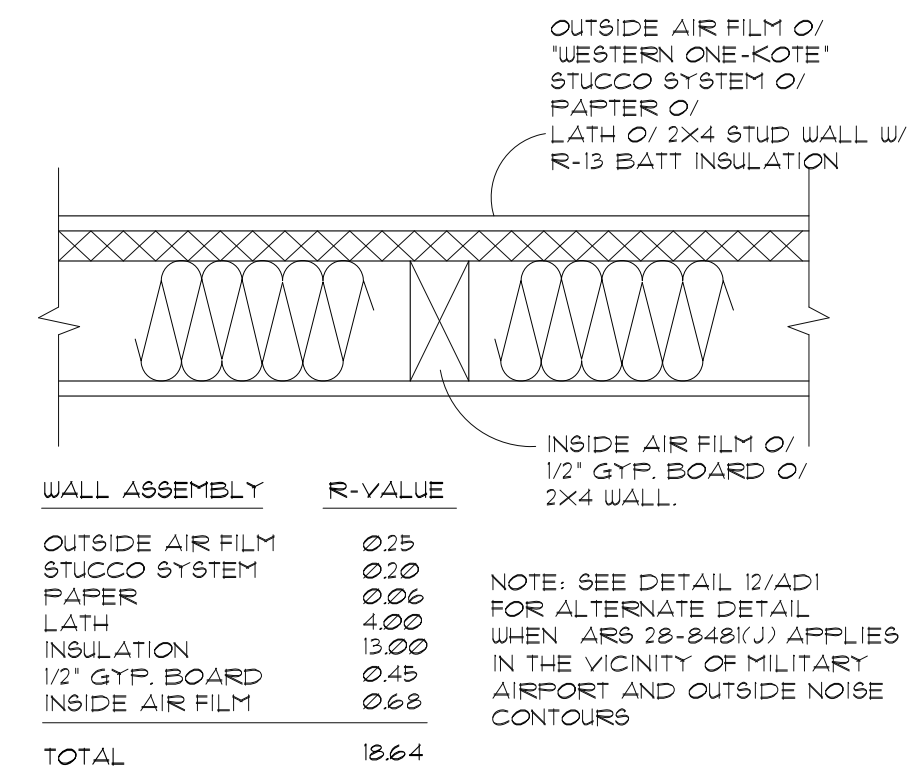
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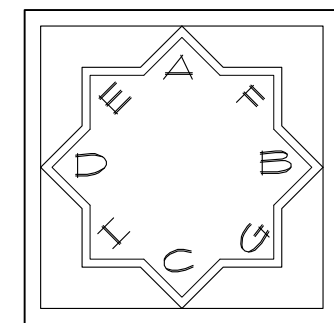
UNIT 2 ALL SIDES - CRAFTSMAN



1 EXT. WALL ASSEMBLY

GLAZING NOTE:
 * GLAZING SHALL COMPLY WITH CURRENT CODES;
 GLAZING IN DOORS;
 GLAZING ADJACENT DOORS;
 GLAZING IN WINDOWS.

SQUARE FOOTAGE LEGEND	
935 SQ. FT.	TOTAL HABITABLE SPACE
21 SQ. FT.	FRONT PORCH
1016 SQ. FT.	TOTAL UNDER ROOF



ROOM DESIGNATION KEY

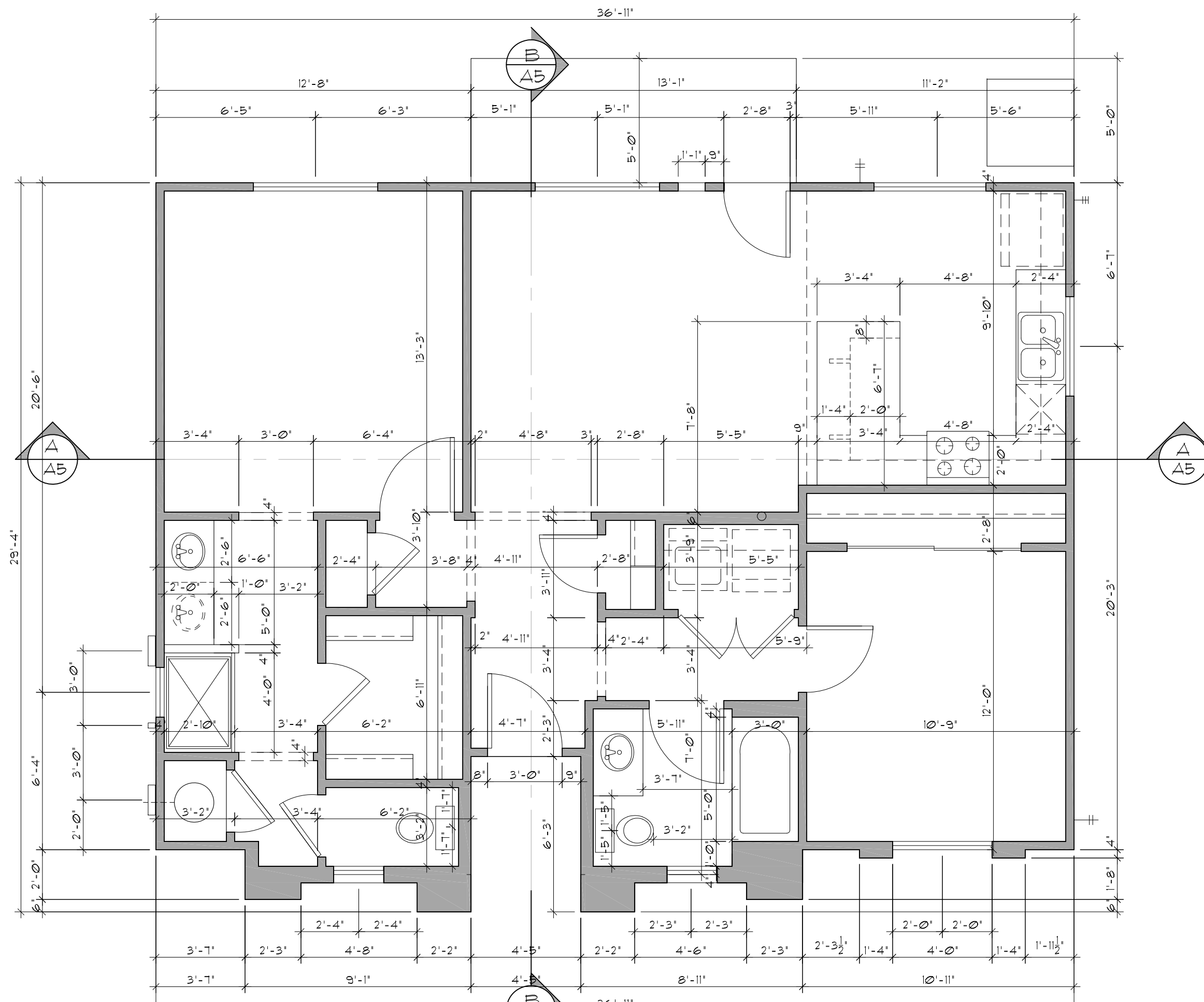
SHOWER NOTE

Shower compartments require a non-absorbent finish to 6" A.F.F. If another nonabsorbent finish is used than ceramic tile, the water-resistant gypsum backing shall be in compliance with ASTM C1396, C1178, or C1278 with edges sealed per manufacturer.

Shower compartments require a non-absorbent finish to 6" A.F.F. When ceramic tile is used in the shower compartment or tub, the backing shall be cement, fiber-cement or glass mat gypsum in compliance with ASTM C1288, C1325, C1178, or C1278 with edges sealed per manufacturer.

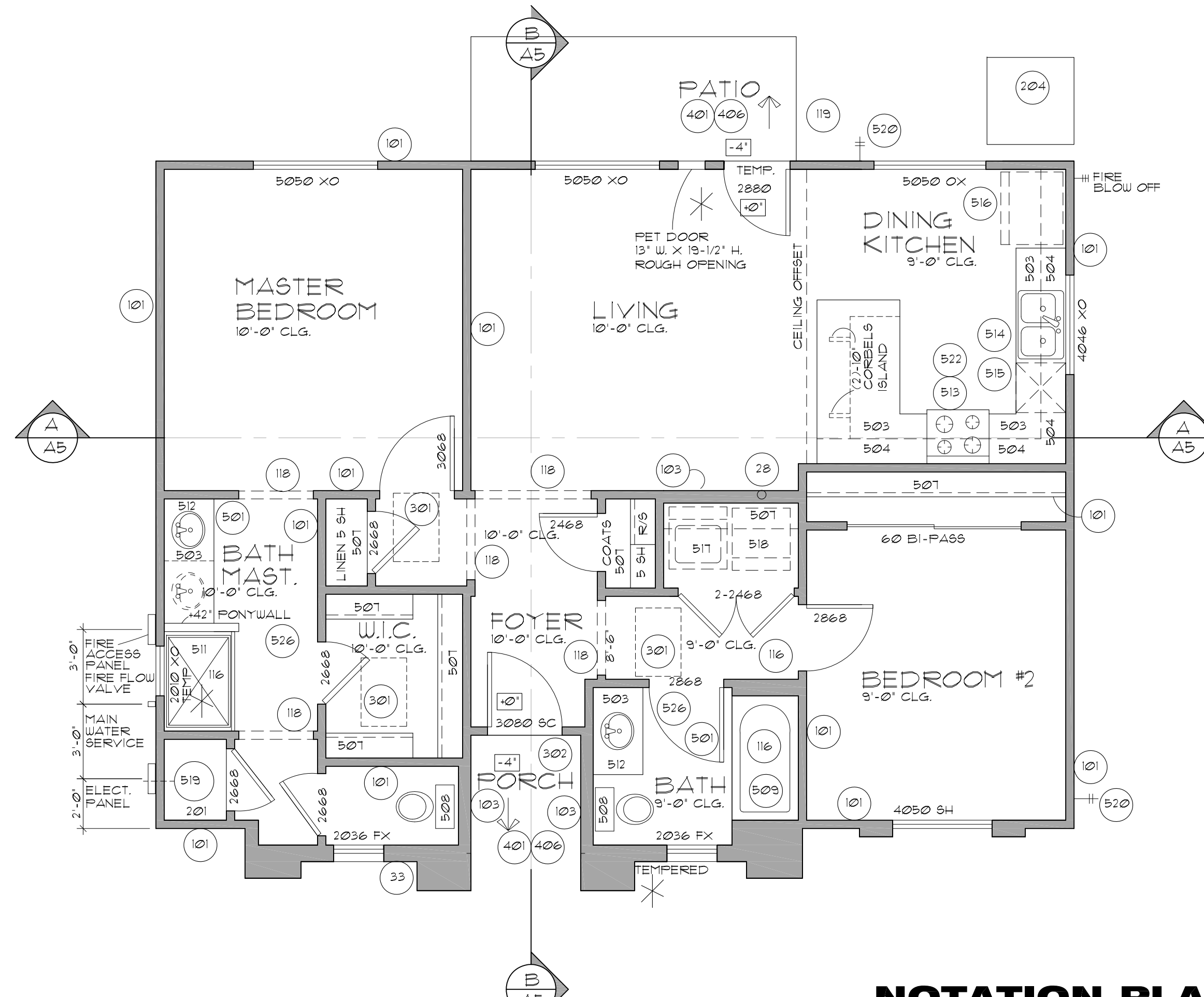
FIXTURE NOTE:

Fixture clearances - 15" on water closet, 21" in front of water closet and sinks, 24" clearance in front of shower opening. R307.1 figure P2705



DIMENSION PLAN UNIT 2 - FLOOR PLAN "B"

SCALE: 1/4" = 1'-0"



NOTATION PLAN

UNIT 2 - FLOOR PLAN "B" FARMHOUSE STYLE

SCALE: 1/4" = 1'-0"

MASTER KEYNOTES	
101	2x4 STUD WALL
102	2x6 STUD WALL
103	6" FLOOR INSULATION
104	INTERIOR BEARING WALL - SEE FRAMING PLANS
105	MIN. 1-3/8" SELF CLOSING, SELF LATCHING, SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS
106	PRESSURE TREATED BOTTOM PLATE
107	DOUBLE TOP PLATE
108	WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/AD1
109	PAINT CONCRETE STEM BELOW TO MATCH BLDG.
110	R-15 + R-30 GYPSUM INSUL. AT 2X4 WALL, R-19 AT 2X6 WALL
111	2X FIRE BLOCKING
112	1/2" GYPSUM BOARD, 94G RESISTANT ON CEILING
113	SLOPE TOP 1/4" PLF
114	STUCCO - Ultrakote ESR 1471
115	SOFFIT
116	WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 5/8" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES, BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHEN THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 5/8" GYPSUM BOARD OR EQUIV.
117	CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER GENERAL FLOOR PLAN NOTES) ON THIS SHEET.
118	NICHE - SEE INTERIOR ELEVATIONS
119	OPENING - SEE INTERIOR ELEVATIONS
120	COLUMN - (SEE FRMG FOR WOOD, FKE-CAST, OR STEEL)
121	CRIPPLE WALL
122	HARD/EPLANK + HARD/EPLANEL ICC-ESR-2290
201	WATER HEATER PLATFORM 48"
202	FLOOR MATERIAL CHANGE
203	FLOOR DRAIN
204	A/C PAD - SEE MECHANICAL PLANS
205	30x22 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE
206	EXTERIOR GYP. BOARD, ICC - ESR-1338 OR EQUAL
207	2X FASCIA WITH X TRIM
208	ROOF SLOPE - SEE EXT. ELEVATIONS
209	PREFAB TRUSSES 24' O.C. UNO (SEE ROOF FRAMING PLAN)
210	GIRDER TRUSS - SEE ROOF FRAMING
211	2X RAFTERS - SEE FRAMING
212	1/2" OSB SHEATHING
213	BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING
214	FURRED CEILING
215	BEAM - SEE FRAMING PLAN
216	2X4 LOOKOUTS AT 48" O.C.
217	R-38 BATT INSULATION
218	BORAL CONC. TILE ROOF ESR-1641 OR APPROVED EQUAL TO BE USED OVER TYPE 30 UNDERLAYMENT
219	2X CONVENTIONAL OVERHANGING
220	STRUCTURAL GABLE END TRUSS
221	WOOD CORBELS W/PAIN PER BLDG SPEC.-SEE 3/AD1
401	STOOP
402	CONC. SLAB OVER 4" OF ABC OTERMITE
403	CREATED SOIL TYPICAL-SEE STRUCT. FOR THICKNESS
404	KEYED STEM
405	6" DEPRESS
406	SLOPE 1/8" PLF.
407	8" TURNDOWN
408	EXPANSION JOINT
409	RAVERS OR STONE PER BUILDER
410	PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX.
411	PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
501	MIRRORS + MEDICINE CABINETS PER BUILDER SPEC.
502	CITY / COUNTY APPROVED FIREPLACE
503	BASE CABINET - SEE INTERIOR ELEVATIONS
504	UPPER CABINET - SEE INTERIOR ELEVATIONS
505	STONE VENEER-ESR-2598 OR EQUAL
506	FRE-FALL SWITCHES
507	SHelves + RODS PER BUILDER SPEC.
508	WATER CLOSET
509	TUB + SHOWER WITH ROD
510	GARDEN TUB PER SPEC
511	SHOWER - SEE FLR. PLAN FOR SIZE
512	LAVATORY'S PER BUILDER SPEC.
513	RANGE OVEN
514	DOUBLE SINK W/DISPOSAL
515	DISHWASHER
516	REFRIGERATOR WITH ICE MAKER
517	WASHER
518	DRYER WITH DRYER VENT-SEE GENERAL NOTES
519	WATER HEATER
520	HOSE BIBBS
521	HOSE BIBBS W/SOV
522	MICROWAVE
523	3 SHelves
524	SERVICE SINK (OPTIONAL)
525	COOKTOP
526	TOEL BARS, RINGS, + TP. HOLDERS PER OWNER
1	REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES + MATERIAL SPEC'S
2	SEE EXTERIOR ELEVATIONS FOR ALL POROUPS AND VENEERS
3	SEE SITE PLAN FOR CONT. OF WALKS + DRIVES
4	SEE MECHANICAL FOR A/C OR FAU UNITS
5	SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS
6	SEE FRAMING PLANS FOR FOOT SIZES AND LOCATIONS
7	SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS.
8	SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
20	INSULATION - UNO
21	R-38 ROOF
22	R-19 BATT'S @ EXT. 2X4 WALLS
23	R-19 BATT'S @ EXT. 2X6 WALLS
24	ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS
25	MAX. SILL HGT. 44"
26	MIN. 57" SOFT OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS
27	SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR
28	ALL PLUMBING FIXTURES TO COMPLY WITH STATE LOW FLOW REQUIREMENTS
29	SEE SHEET C-1 FOR GYP. BOARD INSTALLATION.
30	A/C UNIT TO BE INSTALLED ON A CONCRETE SLAB WHICH COMPLETELY SUPPORTS THE EQUIPMENT ELEVATED AT LEAST 3" ABOVE ADJACENT GROUND LEVEL.
31	MANUFACTURERS INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON 10' CLEARANCE FIREPLACE INSTALLATION
32	DRYER VENT - CONFORM TO MC DRYER VENT LIMITATIONS, SEE SHEET C-1.
33	ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 5' OF DOORS SHALL BE SAFETY GLASS
34	SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER ROD WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL.
35	INTERIOR LAUNDRY ROOMS AND BATHROOMS REQUIRE MECHANICAL VENTILATION OF FIVE AIR CHANGES / HOUR
36	FIRE SEPARATION AT GARAGE WITH UNO OR FURNACE, NO PLASTIC PIPE OR REFRIGERANT LINE INSULATION TO PENETRATE FIREWALL. NO SUPPLY AIR OR OTHER DUCT OPENINGS IN GARAGE WITHOUT FIRE DAMPERS, INCLUDING DUCT VIBRATION ISOLATORS.
37	TIP RELIEF VALVE TO BE FULL SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TIP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS.
38	ALL FLOOR MATERIALS PER OWNER SPEC.
39	DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

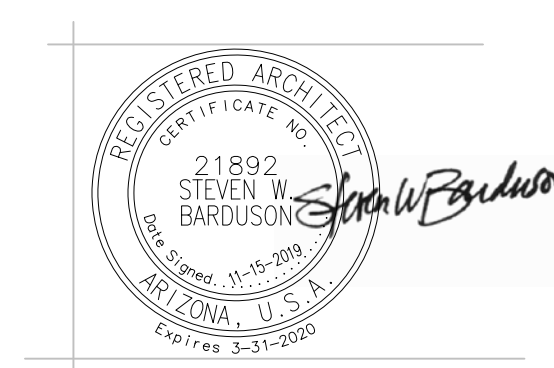
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VILLAS THE ACADEMY QUEENCREEK

UNIT 2

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FLOOR PLANS-C

FARMHOUSE

UNIT 2



FRONT



LEFT



RIGHT



REAR

revisions

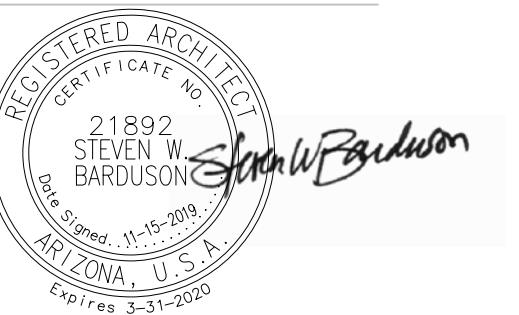
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UNIT 2

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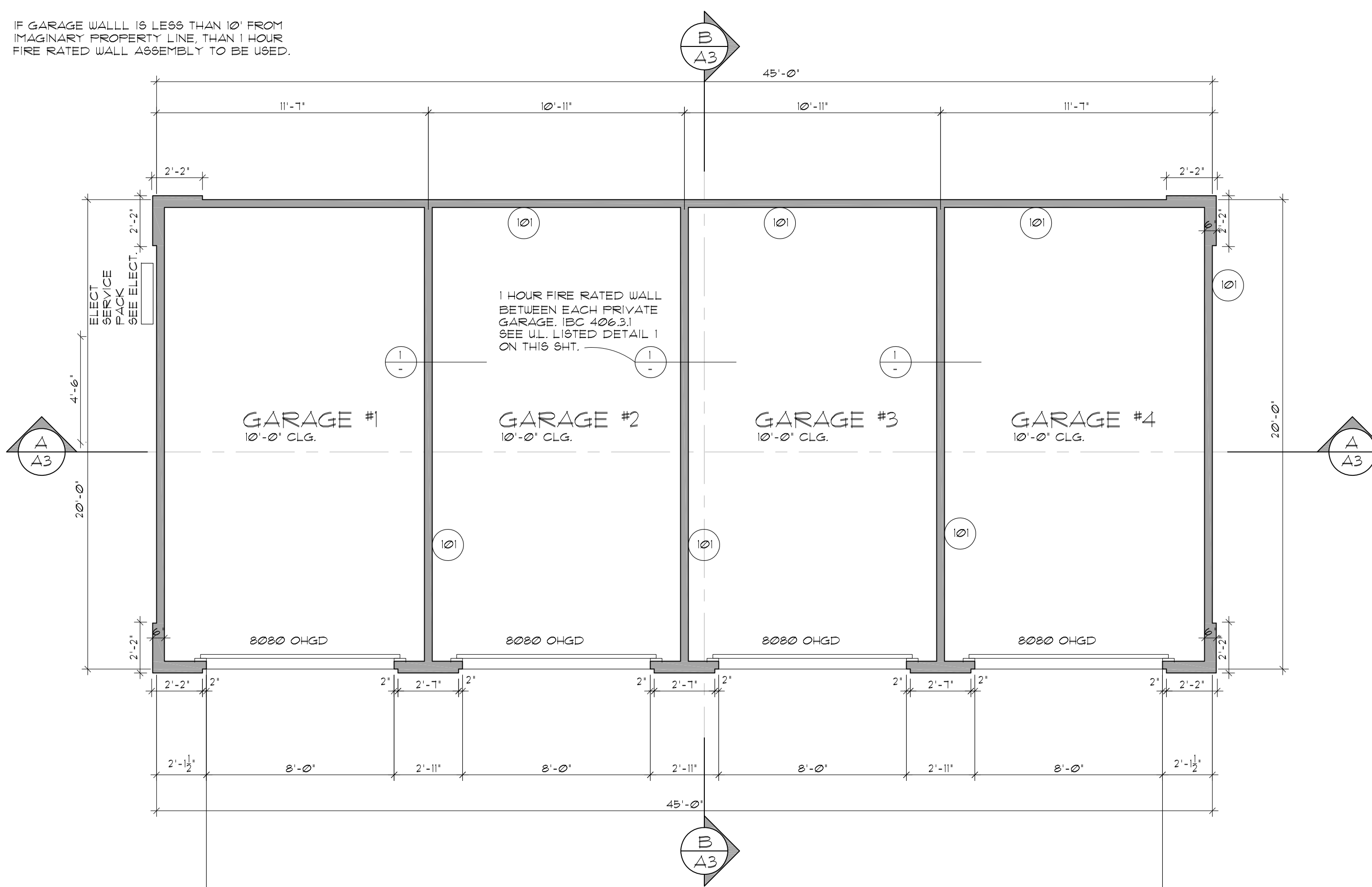
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project no:

DR8

UNIT 2 ALL SIDES - FARMHOUSE

IF GARAGE WALL IS LESS THAN 10' FROM IMAGINARY PROPERTY LINE, THEN 1 HOUR FIRE RATED WALL ASSEMBLY TO BE USED.



GARAGE - STD. FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE LEGEND

900 SQ. FT. TOTAL UNDER ROOF

NOTE: TOTAL FOOTPRINT WITH OVERHANGS = 1034 SF.

SHEAR WALL SCHEDULE	FDN. ANCHORAGE/BILL. PLATE NAILING
1 1/2" G.W.B. w/ 5d @ 1' O.C. OR 5/8" G.W.B. w/ 6d @ 7" O.C.	EXTERIOR: 1/2" DIA. AB'S @ 48" O.C. / 6d NAILS @ 12" O.C. INTERIOR BEARING: HILTI PINS @ 12" O.C. / 6d NAILS @ 12" O.C. INTERIOR NON-BRG: G.W.B. ONE SIDE, HILTI PINS @ 18" O.C. / 6d NAILS @ 18" O.C. G.W.B. BOTH SIDES, HILTI PINS @ 10" O.C. / 6d NAILS @ 9" O.C.
2 1/2" G.W.B. w/ 5d @ 4' O.C. OR 5/8" G.W.B. w/ 6d @ 4' O.C.	EXTERIOR: 1/2" DIA. AB'S @ 48" O.C. / 6d NAILS @ 10" O.C. INTERIOR BEARING: HILTI PINS @ 12" O.C. / 6d NAILS @ 10" O.C. INTERIOR NON-BRG: G.W.B. ONE SIDE, HILTI PINS @ 12" O.C. / 6d NAILS @ 12" O.C. G.W.B. BOTH SIDES, HILTI PINS @ 6' O.C. / 6d NAILS @ 6' O.C.
3 3/8" A.P.A. RATED SHTG. w/ 8d @ 6' O.C. EDGE AND BOUNDARY NAILING	EXTERIOR: 1/2" DIA. AB'S @ 48" O.C. / 6d NAILS @ 12" O.C. INTERIOR: HILTI PINS @ 8' O.C.
4 3/8" A.P.A. RATED SHTG. w/ 8d @ 6' O.C. EDGE AND BOUNDARY NAILING	EXTERIOR: 1/2" DIA. AB'S @ 32" O.C. / 6d NAILS @ 8' O.C. INTERIOR: HILTI PINS @ 5' O.C.
5 3/8" A.P.A. RATED SHTG. w/ 8d @ 4' O.C. EDGE AND BOUNDARY NAILING	EXTERIOR: 1/2" DIA. AB'S @ 24" O.C. / 6d NAILS @ 6' O.C. INTERIOR: HILTI PINS @ 4' O.C.
6 3/8" A.P.A. RATED SHTG. w/ 8d @ 3' O.C. EDGE AND BOUNDARY NAILING	EXTERIOR: 1/2" DIA. AB'S @ 16" O.C. / 6d NAILS @ 4' O.C. INTERIOR: HILTI PINS X-DI 12 @ 3' O.C.
7 3/8" A.P.A. RATED SHTG. w/ 8d @ 2' O.C. STAGGERED EDGE AND BOUNDARY NAILING	EXTERIOR: 1/2" DIA. AB'S @ 12" O.C. / 6d NAILS @ 3' O.C. INTERIOR: ANCHOR BOLTS OR EQUIV. REQUIRED.

NOTE: 1" MIN. HILTI PIN EMBEDMENT ACCEPTABLE HILTI PINS: X-U (ESR-2169)

NOTE: WHEN INSTALLING G.W.B. OVER SHEATHING USE 8d ILO 5d OR 6d.

NOTE: SHEAR WALL #1 REQUIRES FRAMING AT ADJOINING PANEL EDGES TO BE 3 INCHES NOMINAL OR WIDER

NOTE: USE HILTI 1/2" DIA. HUS SCREW ANCHOR (ESR-3071) OR SIMPSON 1/2" DIA. TITEN HD (ESR-2113) AS A ONE FOR ONE REPLACEMENT OF 1/2" DIA. ANCHOR BOLTS.

NOTE: ALL ANCHOR BOLTS ARE TO USE 3"x3"x22" STEEL PLATE WASHERS. AS AN ALTERNATIVE TO ANCHOR BOLTS, SIMPSON MASA CAN BE USED AS A ONE FOR ONE REPLACEMENT.

HOLDOWN SCHEDULE 1,2,4
A) SIMPSON LTT-10B w/ 1/2" DIA. STRONG BOLT 3 @ 6' EMBED. (4 INTERIOR APPLICATIONS) OR 3,6 SIMPSON 1/2" DIA. TITEN HD 2' LONG @ 5" STEM, 6' LONG @ INT. SLAB (ICC-ES, ESR-2113)
B) SIMPSON HTT-4 w/ 5/8" DIA. ALL THREAD w/ 5' EMBED @ INT, 10' MIN EMBED @ EXT. 3,6 USING SIMPSON SET-XP EPOXY (ICC-ES, ESR-1506)
C) SIMPSON LSHD 8 ⁵
D) SIMPSON SHD 10 ⁵
E) SIMPSON CS-16 x 24' STRAP + CLEAR SPAN
F) (2) SIMPSON CS-16 x 24' STRAP + CLEAR SPAN
G) SIMPSON MASA
H) SIMPSON HTT-5 w/ 5/8" DIA. ALL THREAD w/ 10' EMBED @ EXT, 5' EMBED @ INT, USING 3,6 SIMPSON SET-XP EPOXY (ICC-ESR-1506)
I) SIMPSON SHD 14 ⁵
J) (2) SIMPSON CS-14 x 40' STRAP + CLEAR SPAN
K) SIMPSON HDU-SD825 w/ 1/8" DIA. ALL THREAD w/ 15' EMBED USING SIMPSON SET-XP EPOXY 3,6 (ICC-ESR-1506) (D.F. GRADE, 4 1/2" MIN THICK POST, 8" STEM REQUIRED). ALT: SIMPSON SB 1/8" x 24' (18" EMBED) CAST IN PLACE.

NOTE 1: FOUNDATION HOLDOWNS REQUIRE DOUBLE FULL HEIGHT STUDS AT EACH HOLDOWN; THEREFORE LOCATE HOLDOWNS ON KING STUDS OF OPENINGS, NOT TRIMMERS.

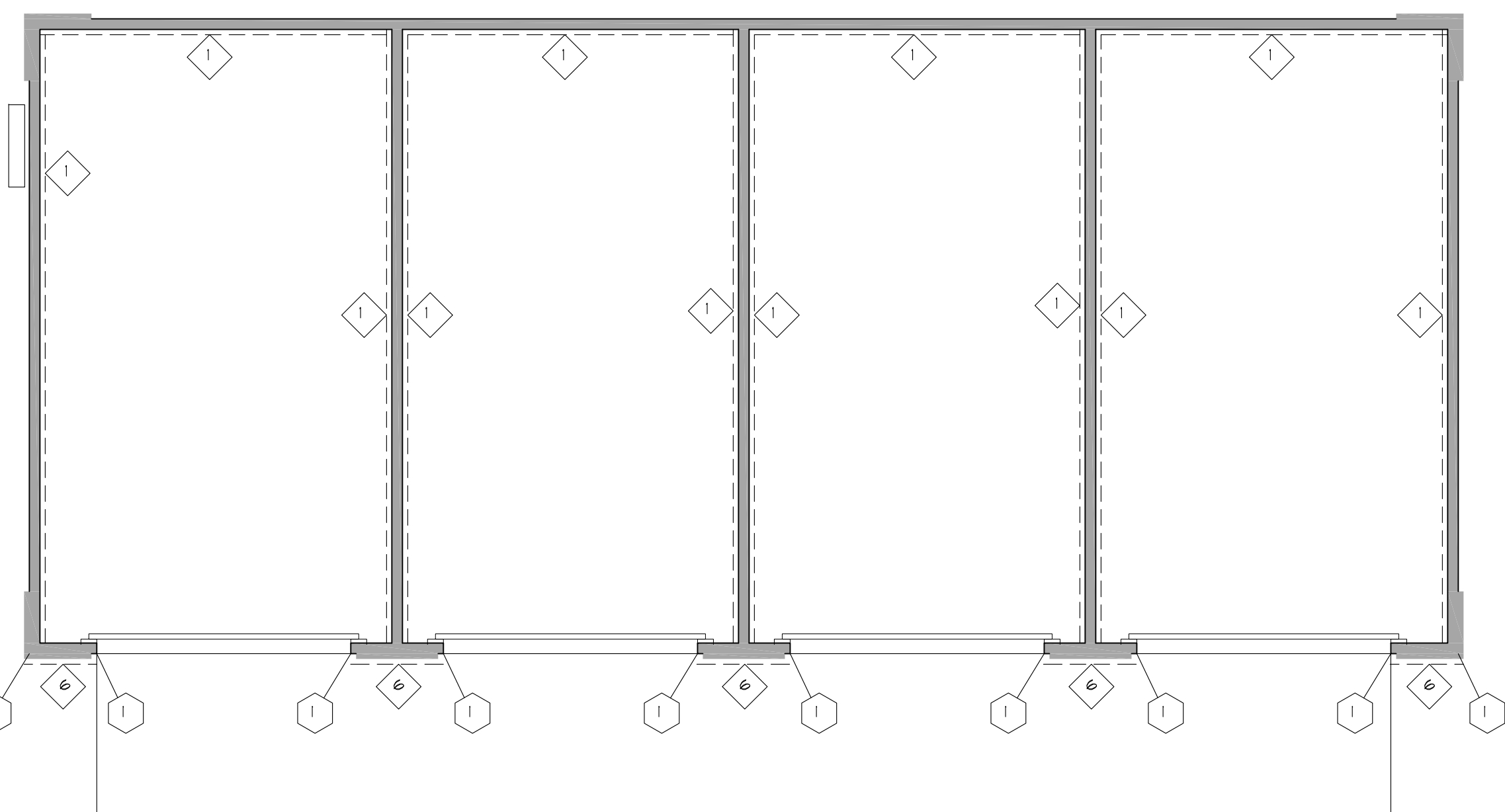
NOTE 2: HOLDOWNS SHALL BE PLACED 8" (MIN) FROM CONCRETE EDGES. EXCEPTION: SIMPSON MASA

NOTE 3: SPECIAL INSPECTION REQUIRED

NOTE 4: 1/2" DIA. SIMPSON TITEN HD w/ 6" EMBED (ESR-2113) AS A ONE FOR ONE REPLACEMENT OF 1/2" DIA. ANCHOR BOLTS.

NOTE 5: WHEN INSTALLING IN POST TENSIONED FOUNDATIONS LOCATE AN 8'-0" LONG 4 BAR DIRECTLY ABOVE EMBEDDED HOOK OF HOLDOWN.

NOTE 6: WHEN INSTALLING IN POST TENSION SLAB, ALWAYS LOCATE AND MARK TENDONS PRIOR TO DRILLING OF SLAB.



GARAGE - STD. SHEAR WALL STANDARD STYLE

SCALE: 1/4" = 1'-0"

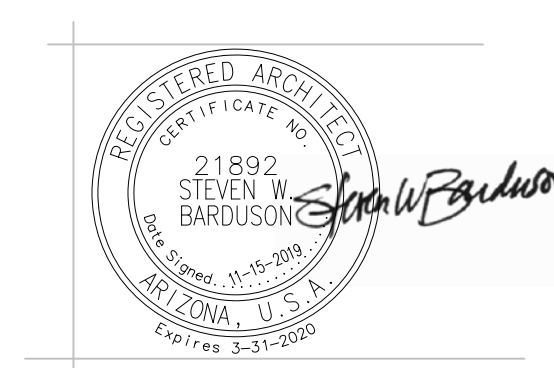
MASTER KEYNOTES	
WALL SYSTEM	101 2x4 STUD WALL 102 2x6 STUD WALL 103 6" FLURB WALL 104 INTERIOR BEARING WALL - SEE FRAMING PLANS 105 MIN. 1-3/8" SELF CLOSING, SELF LATCHING, SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS 106 PRESSURE TREATED BOTTOM PLATE 107 DOUBLE TOP PLATE 108 WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/AD1 109 PAINT CONCRETE STEM BELOW TO MATCH BLDG. 110 R-19 + R33 @ BATT INSUL. AT 2X4 WALL, R-19 AT 2X6 WALL 111 2X FIRE BLOCKING 112 1/2" GYPSUM BOARD, 94G RESISTANT ON CEILING 113 SLOPE TOP 1/4" PLF 114 STUCCO - Ultrakote ESR 1471 115 SOFFIT 116 WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 3/4" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 3/4" TYPE X GYPSUM BOARD OR EQUIVALENT. WHEN THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 3/4" GYPSUM BOARD OR EQUIV. 117 CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER 'GENERAL FLOOR PLAN NOTES' ON THIS SHEET.) 118 NICHE - SEE INTERIOR ELEVATIONS 119 OPENING - SEE INTERIOR ELEVATIONS 120 COLUMN - (SEE FRMG FOR WOOD, FKE-CAST, OR STEEL) 121 CRIPPLE WALL 122 HARDIE PLANK + HARDIE PANEL ICC-ESR-2290
FLOOR SYSTEM	201 WATER HEATER PLATFORM #8' 202 FLOOR MATERIAL CHANGE 203 FLOOR DRAIN 204 A/C PAD - SEE MECHANICAL PLANS 301 30x22 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE 302 EXTERIOR GYP. BOARD, ICC - ESR-1338 OR EQUAL 303 2X FASCIA WITH 1X TRIM 304 ROOF SLOPE - SEE EXT. ELEVATIONS 305 PREFAB TRUSSES 24" O.C. UNO (SEE ROOF FRAMING PLAN) 306 GIRDER TRUSS - SEE ROOF FRAMING 307 2X RAFTERS - SEE FRAMING 308 1/2" OSB SHEATHING 309 BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING 310 FURRED CEILING 311 BEAM - SEE FRAMING PLAN 312 2X4 LOOKOUTS AT 48" O.C. 313 R-38 BATT INSULATION 314 BORAL CONC. TILE ROOF ESR-1641 OR APPROVED EQUAL TO BE USED OVER TYPE 30 UNDERLAYMENT 315 2X CONVENTIONAL OVERHANGING 316 STRUCTURAL GABLE END TRUSS 317 WOOD CORBELS W/PAIN PER BLDG SPEC.-SEE 3/AD1
FOUNDATION SYSTEM	401 STOOP 402 CONC. SLAB OVER 4" OF ABC OTERMITE 403 TREATED SOIL TYPICAL-SEE STRUCT. FOR THICKNESS 404 KEYED STEM 405 6" DEPRESS 406 SLOPE 1/8" PLF. 407 8" TURNDOWN 408 EXPANSION JOINT 409 SAWERS OR STONE PER BUILDER 410 PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX. 411 PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
CABINETS/FIXTURES/APPLIANCES	501 MIRRORS + MEDICINE CABINETS PER BUILDER SPEC. 502 CITY / COUNTY APPROVED FIREPLACE 503 BASE CABINET - SEE INTERIOR ELEVATIONS 504 UPPER CABINET - SEE INTERIOR ELEVATIONS 505 STONE VENEER-ESR-2598 OR EQUAL 506 PREFAB SHUTTERS 507 SHELVES + RODS PER BUILDER SPEC. 508 WATER CLOSET 509 TUB + SHOWER WITH ROD 510 GARDEN TUB PER SPEC 511 SHOWER - SEE FLR. PLAN FOR SIZE 512 LAVATORY'S PER BUILDER SPEC. 513 RANGE OVEN 514 DOUBLE SINK W/DISPOSAL 515 DISHWASHER 516 REFRIGERATOR WITH ICE MAKER 517 WASHER 518 DRYER WITH DRYER VENT-SEE GENERAL NOTES 519 WATER HEATER 520 HOSE BIBBS 521 HOSE BIBBS W/SOV 522 MICROWAVE 523 3 SHELVES 524 SERVICE SINK (OPTIONAL) 525 COOKTOP 526 TOWEL BARS, RINGS, 4 T.P. HOLDERS PER OWNER
CROSS REFERENCE NOTES	1 REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES + MATERIAL SPEC'S 2 SEE EXTERIOR ELEVATIONS FOR ALL POROUPS AND VENEERS 3 SEE SITE PLAN FOR CONT. OF WALKS + DRIVES 4 SEE MECHANICAL FOR A/C OR FAU UNITS 5 SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS 6 SEE FRAMING PLANS FOR ROOF SIZES AND LOCATIONS 7 SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS. 8 SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
GENERAL FLOOR PLAN NOTES	20 INSULATION - UNO R-38 ROOF R-19 BATT'S @ EXT. 2X4 WALLS R-19 BATT'S @ EXT. 2X6 WALLS 21 ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS 22 MAX. SILL HGT. 44" MIN. 5" SOFT OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS 23 SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR 24 ALL PLUMBING FIXTURES TO COMPLY WITH STATE L.O.U. FLOOR REQUIREMENTS 25 SEE SHEET C-1 FOR GYP. BOARD INSTALLATION. 26 A/C UNIT TO BE INSTALLED ON A CONCRETE SLAB WHICH COMPLETELY SUPPORTS THE EQUIPMENT ELEVATED AT LEAST 3" ABOVE ADJOINING GROUND LEVEL. 27 MANUFACTURERS INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON 07 CLEARANCE FIREPLACE INSTALLATION 28 DRYER VENT - CONFORM TO IMC DRYER VENT LIMITATIONS, SEE SHEET C-1. 29 ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 24" OF DOORS SHALL BE SAFETY GLASS 30 SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER ROD WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL. 31 INTERIOR LAUNDRY ROOMS AND BATHROOMS REQUIRE MECHANICAL VENTILATION OF FIVE AIR CHANGES/HOUR FIRE SEPARATION AT GARAGE WITH UN OR FURNACE, NO PLASTIC PIPE OR REFRIGERANT LINE INSULATION TO PENETRATE FIREWALL. NO SUPPLY AIR OR OTHER DUCT OPENINGS IN GARAGE WITHOUT FIRE DAMPERS, INCLUDING DUCT VIBRATION ISOLATORS. 32 TYP RELIEF VALVE TO BE FULL SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TYP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS. 33 ALL FLOOR MATERIALS PER OWNER SPEC. 34 DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

revisions
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3

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GARAGE

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STD. FLOOR PLAN / SHEAR PLAN

STANDARD

GARAGE



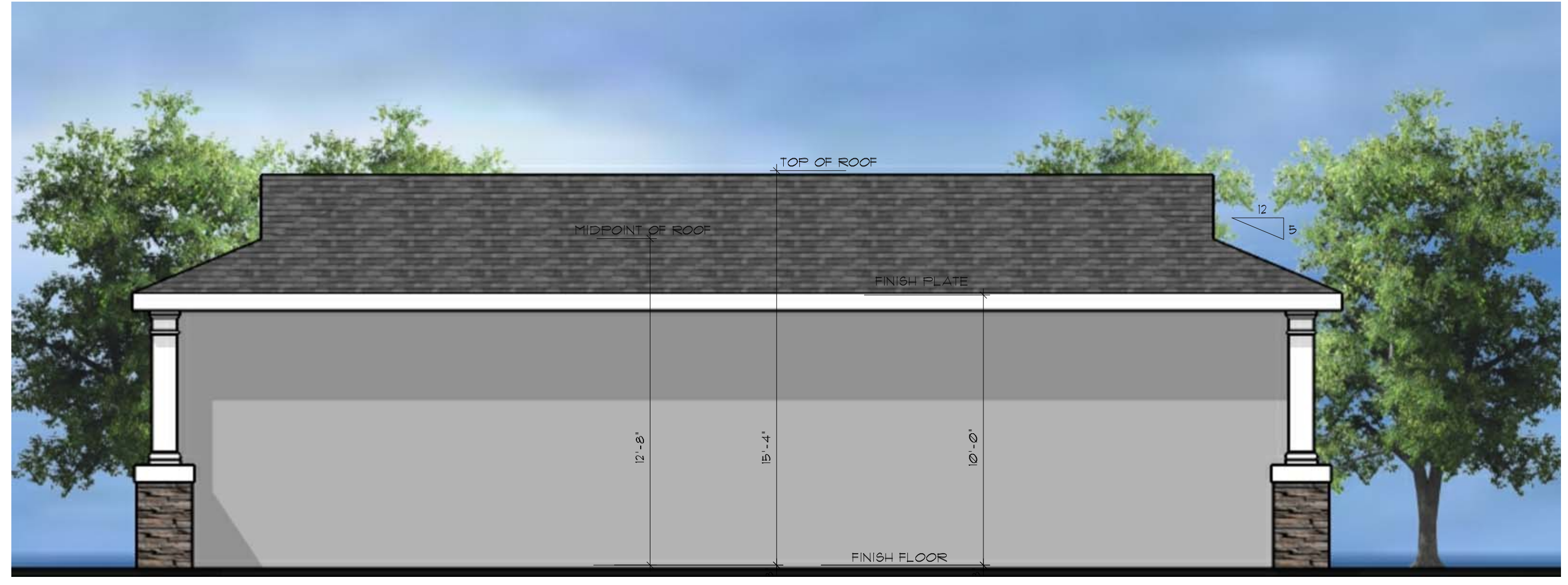
FRONT



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RIGHT



REAR

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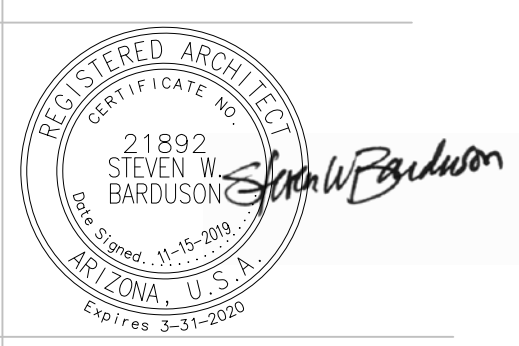
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GARAGE

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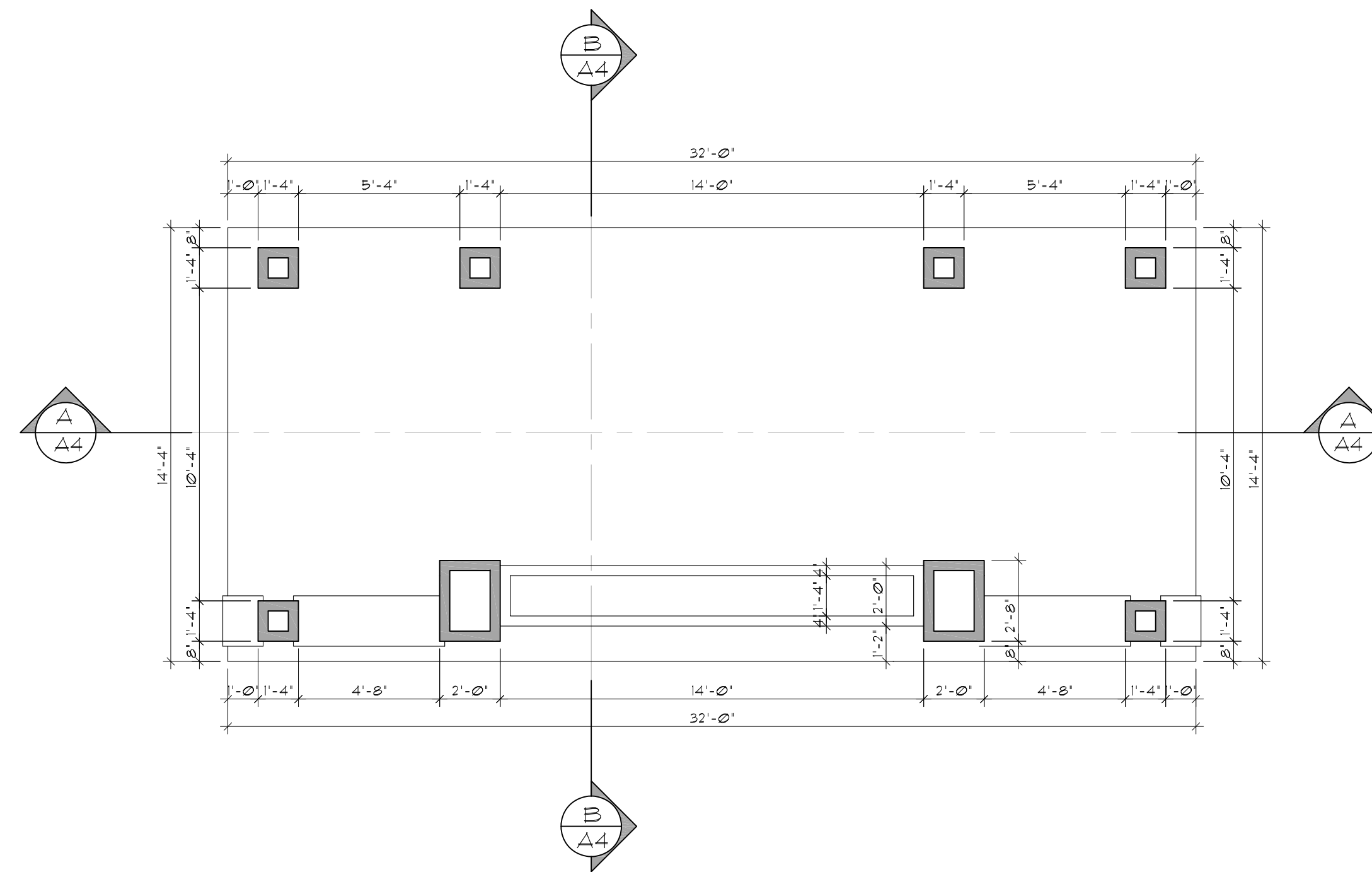
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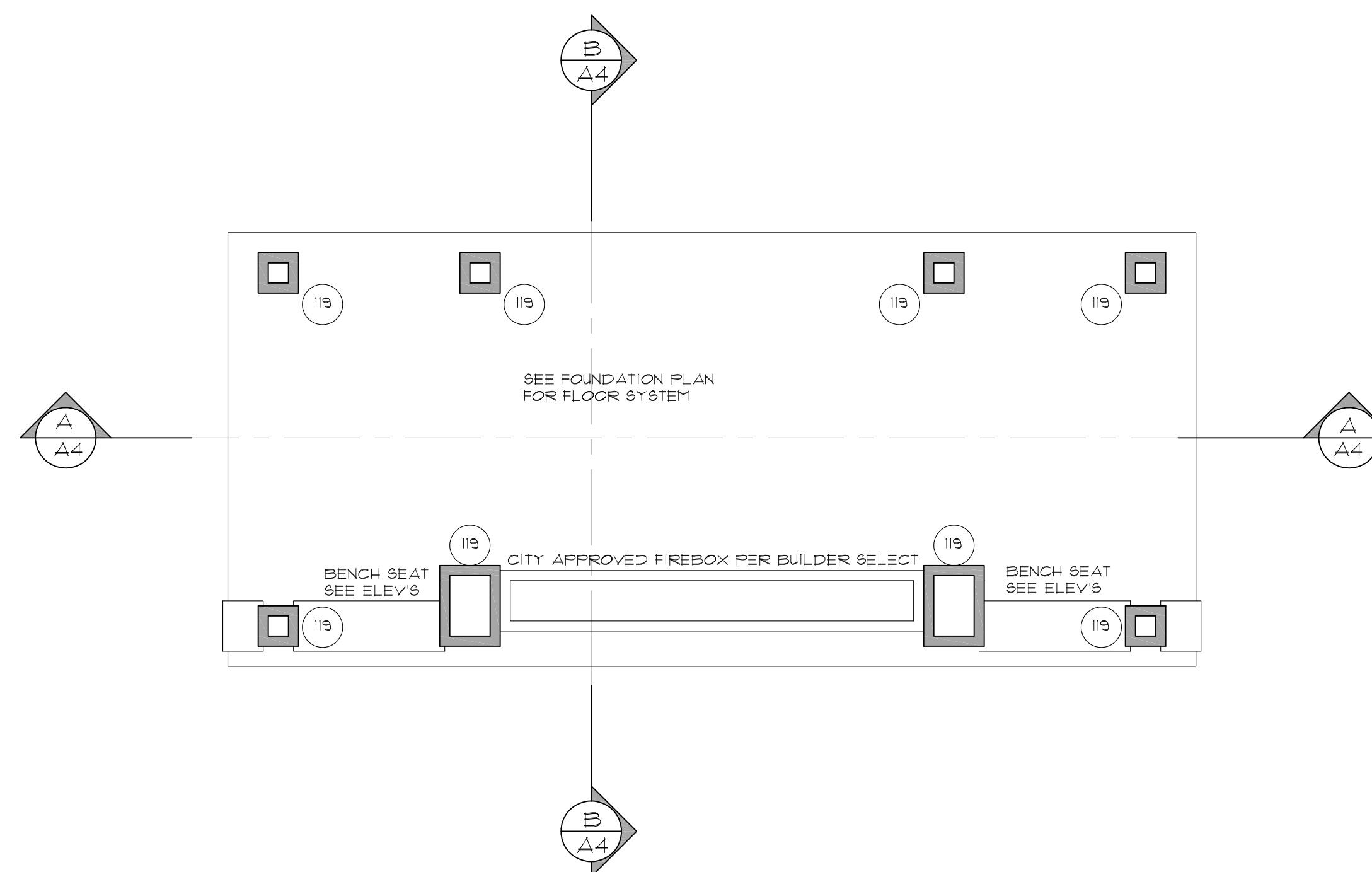
GARAGE ALL SIDES - STANDARD



DIMENSION PLAN

RAMADA - FLOOR PLAN

SCALE: 1/4" = 1'-0"



NOTATION PLAN

RAMADA - FLOOR PLAN

STANDARD STYLE

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE LEGEND	
498 SQ. FT.	RAMADA

NOTE: TOTAL FOOTPRINT WITH OVERHANGS = 501 SF.

MASTER KEYNOTES	
101	2x4 STUD WALL
102	2x6 STUD WALL
103	6" FLUORIBU WALL
104	INTERIOR BEARING WALL - SEE FRAMING PLANS
105	MIN. 1-3/8" SELF CLOSING, SELF LATCHING, SOLID WOOD W/ GASKETS AND SWEEP OR 20 MIN. FIRE-RATED DOORS
106	PRESSURE TREATED BOTTOM PLATE
107	DOUBLE TOP PLATE
108	WEEP SCREED TO MIN. 3/4" BELOW FIN. FLOOR-6 #11/ADI
109	PAINT CONCRETE STEM BELOW TO MATCH BLDG.
110	R-15 BATT INSULATION AT 2X4 WALL, R-19 AT 2X6 WALL
111	2X FIRE BLOCKING
112	1/2" GYPSUM BOARD, 94G RESISTANT ON CEILING
113	SLOPE TOP 1/4" PLF
114	STUCCO
115	SOFFIT
116	WALLS BETWEEN LIVING AREA AND GARAGE MUST BE 3/4" TYPE X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN TWO LAYERS OF 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHEN THE SEPARATION IS A FLOOR CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIV.
117	CRITICAL FINISHED DIMENSION (SEE DIMENSION NOTE UNDER 'GENERAL FLOOR PLAN NOTES' ON THIS SHEET.)
118	NICHE - SEE INTERIOR ELEVATIONS
119	OPENING - SEE INTERIOR ELEVATIONS
120	COLUMN - (SEE FRMG FOR WOOD, FRC-CAST, OR STEEL)
121	CRIPPLE WALL
201	WATER HEATER PLATFORM 18"
202	FLOOR MATERIAL CHANGE
203	FLOOR DRAIN
204	A/C PAD - SEE MECHANICAL PLANS
301	30x22 ATTIC SCUTTLE - ADJUST PER TRUSS DIRECTION PROVIDE 5/8" TYPE X GYP. BD. @ GARAGE SIDE
302	EXTERIOR GYP. BOARD, ICC - ESR-1338 OR EQUAL
303	2X FASCIA WITH X TRIM
304	ROOF SLOPE - SEE EXT. ELEVATIONS
305	PREFAB TRUSSES 24" O.C. UNO (SEE ROOF FRAMING PLAN)
306	GIRDER TRUSS - SEE ROOF FRAMING
307	2X RAFTERS - SEE FRAMING
308	12" OSB SHEATHING
309	BUILT UP ROOF SYSTEM PER SHEET C-1 ON 1/2" PLYWOOD ROOF SHEATHING
310	FURRED CEILING
311	BEAM - SEE FRAMING PLAN
312	2X4 LOOKOUTS AT 48" O.C.
313	R-38 BATT INSULATION
314	MONIER CONC. TILE ROOF ESR-1641 OR APPROVD EQUAL TO BE USED OVER 2 LAYERS TYPE 30 UNDERLAYMENT 2X CONVENTIONAL OVERFRAMING
315	STRUCTURAL GABLE END TRUSS
316	WOOD CORBELS W/PAIN PER BLDG SPEC.-SEE 3/ADI
401	STOOP
402	4" CONC. SLAB OVER 4" OF ABC O/TERRITE
403	CREATED SOIL WITH COOL DECK ON TOP TYP.
404	KEYED STEM
405	6" DEPRESS
406	SLOPE 1/8" PLF.
407	8" TURNDOWN
408	EXPANSION JOINT
409	PAVERS OR STONE PER BUILDER
410	PROVIDE CONTROL JOINT AT 400 SQ. FT. MAX.
411	PROVIDE CONTROL JOINT AT 200 SQ. FT. MAX.
501	MIRRORS & MEDICINE CABINETS PER BUILDER SPEC.
502	CITY / COUNTY APPROVED FIREPLACE (SEE MGR SPEC.)
503	BASE CABINET - SEE INTERIOR ELEVATIONS
504	UPPER CABINET - SEE INTERIOR ELEVATIONS
505	STONE VENEER-ESR-1933 OR EQUAL
506	PREFAB SHUTTERS
507	SHELVES & RODS PER BUILDER SPEC.
508	WATER CLOSET
509	TUB & SHOWER WITH ROD
510	GARDEN TUB PER SPEC
511	SHOWER - SEE FLR. PLAN FOR SIZE
512	LAVATORY'S PER BUILDER SPEC.
513	RANGE OVEN
514	DOUBLE SINK W/DISPOSAL
515	DISHWASHER
516	REFRIGERATOR WITH ICE MAKER
517	WASHER
518	DRYER WITH DRYER VENT-SEE GENERAL NOTES
519	WATER HEATER
520	HOSE BIBBS
521	HOSE BIBBS W/SOV
522	MICROWAVE
523	3 SHELVES
524	SERVICE SINK (OPTIONAL)
525	COOKTOP
526	TOILET BARS, RINGS, & T.P. HOLDERS PER OWNER
1	REFER TO SHEET C1 FOR STRUCTURAL AND ARCHITECTURAL NOTES & MATERIAL SPEC'S
2	SEE EXTERIOR ELEVATIONS FOR ALL POROUPS AND VENEERS
3	SEE SITE PLAN FOR CONT. OF WALKS & DRIVES
4	SEE MECHANICAL FOR A/C OR FAU UNITS
5	SEE EXTERIOR ELEVATIONS FOR HEADER HEIGHTS
6	SEE FRAMING PLANS FOR ROOF SIZES AND LOCATIONS
7	SEE STANDARD PLAN FOR ALL TYPICAL CONDITIONS, NOTATIONS, DIMENSIONS, AND CALLOUTS.
8	SEE SHEAR WALL PLAN FOR SHEAR REQUIREMENTS.
20	INSULATION - UNO
21	R-38 ROOF
22	R-15 BATT @ EXT. 2X4 WALLS
23	R-19 BATT @ EXT. 2X6 WALLS
24	ALL EGRESS WINDOWS SHALL MEET CURRENT CODE REQUIREMENTS
25	MAX. SILL HGT. 44"
26	MIN. SOFT OPENABLE TO OUTSIDE IN ALL SLEEPING AREAS
27	SHOWER HEADS TO BE 80" ABOVE FINISH FLOOR
28	ALL PLUMBING FIXTURES TO COMPLY WITH STATE LOW FLOOR REQUIREMENTS
29	SEE SHEET C-1 FOR GYP. BOARD INSTALLATION
30	A/C UNIT TO BE INSTALLED ON A CONCRETE SLAB WHICH COMPLETELY SUPPORTS THE EQUIPMENT ELEVATED AT LEAST 3" ABOVE ADJACENT GROUND LEVEL. MANUFACTURERS INSTALLATION INSTRUCTIONS AND COPY OF APPLICABLE ICBO RESEARCH REPORT WILL BE MADE AVAILABLE TO INSPECTOR ON O' GARANGE FIREPLACE INSTALLATION
31	DRYER VENT - CONFORM TO IMC DRYER VENT LIMITATIONS, SEE SHEET C-1
32	ALL GLASS IN HAZARDOUS AREAS AND ALL GLASS WITHIN 24" OF DOORS SHALL BE SAFETY GLASS
33	SHOWER ENCLOSURES SHALL BE EITHER A SINGLE SHOWER ROD WITH CURTAIN, TEMPERED GLASS PANEL, OR APPROVED EQUAL
34	INTERIOR LAUNDRY ROOMS AND BATHROOMS REQUIRE MECHANICAL VENTILATION OF FIVE AIR CHANGES / HOUR
35	FIRE SEPARATION AT GARAGE WITH UN OR FURNACE, NO PLASTIC PIPE OR REFRIGERANT LINE INSULATION TO PENETRATE FIREWALL. NO SUPPLY AIR OR OTHER DUCT OPENINGS IN GARAGE WITHOUT FIRE DAMPERS, INCLUDING DUCT VIBRATION ISOLATORS.
36	TIP RELIEF VALVE TO BE FULL SIZE STEEL PIPE OR HARD DRAIN COPPER TUBING EXTENDING TO THE EXTERIOR OF THE BUILDING AND TERMINATING IN A DOWNWARD POSITION NOT MORE THAN SIX INCHES ABOVE GRADE. THE TIP RELIEF LINE SHALL NOT TERMINATE OVER WALKWAYS, PATIOS, CARPORTS OR OTHER SIMILAR AREAS.
37	ALL FLOOR MATERIALS PER OWNER SPEC.
38	DIMENSION NOTE: IN GENERAL, DIMENSIONS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDE OR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSION STRINGS WITH OVERALL DIMENSION STRINGS.

revisions

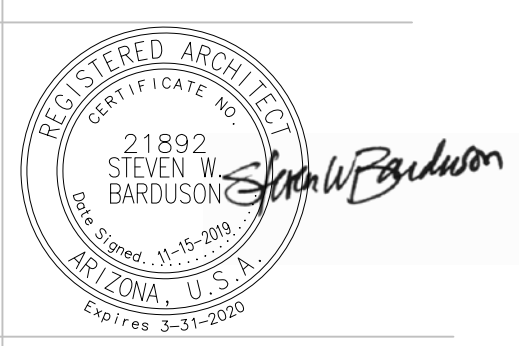
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VILLAS

THE ACADEMY QUEENCREEK

RAMADA

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FLOOR PLANS

PAD Narrative

The Academy

East of the NEC of Meridian Road and Combs Road
Queen Creek, Arizona



Submitted: November 25, 2019

Revised: January 29, 2020

Submitted to:

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22358 South Ellsworth Road
Queen Creek, AZ 85242

Submitted by:

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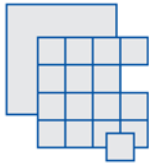
On Behalf of:

Hancock Communities

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- A. Preliminary Site Plan and Details
- B. Preliminary Landscape Plan and Exhibits:
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 - Planting Plan
 - Amenity Elevation and Enlargement Plan
 - Wall, Mailbox, and Details
- C. Preliminary Pedestrian Circulation Plan
- D. Preliminary Open Space Layout
- E. Preliminary Elevations, Floorplans, and Window Details
- F. Color/Material Samples
- G. Preliminary Lighting Plan
- H. Preliminary Grading & Drainage Plan
- I. Preliminary Utility Plan
- J. Preliminary Drainage Report
- K. Preliminary Water Report
- L. Preliminary Wastewater Report
- M. Infrastructure Impact Statement
- N. Traffic Impact Statement



I. Introduction

Pew & Lake, PLC, on behalf of Hancock Communities, is pleased to submit this narrative and related exhibits in support of a Rezoning and Site Plan Review Application for residential development on the approximately 21.7 gross-acre property at 920 W. Combs Road, which is approximately 1,988 feet east of the northeast corner of Meridian Road and Combs Road in Queen Creek (APNs 104-53-012E, F, G, H, and J - together the "Property"). These development requests are for *The Academy*, a professionally managed single-family attached and detached gated community with one-story rental homes. The proposed development incorporates lifestyle amenities and a generous landscape and open space plan that will bring about a high-quality development to complement and enhance the area. The site aerial is depicted below:

Figure 1 - Aerial Context



Our request is for Town of Queen Creek approval of the following:

1. Rezoning from R1-43 to Medium Density Residential (MDR) and Planned Area Development (PAD) overlay; and
2. Site Plan Review

It is understood that a lot merger will be required subsequent to these requests.

II. Existing Zoning and General Plan Designations

As shown in the below Queen Creek General Plan ("General Plan") Land Use Map (Figure 2), the Property is designated as Neighborhood in the Queen Creek General Plan. The Property is zoned R1-43. Figures 3 and 4 below illustrate the existing and proposed zoning.

Figure 2 - Queen Creek General Plan Land Use Map

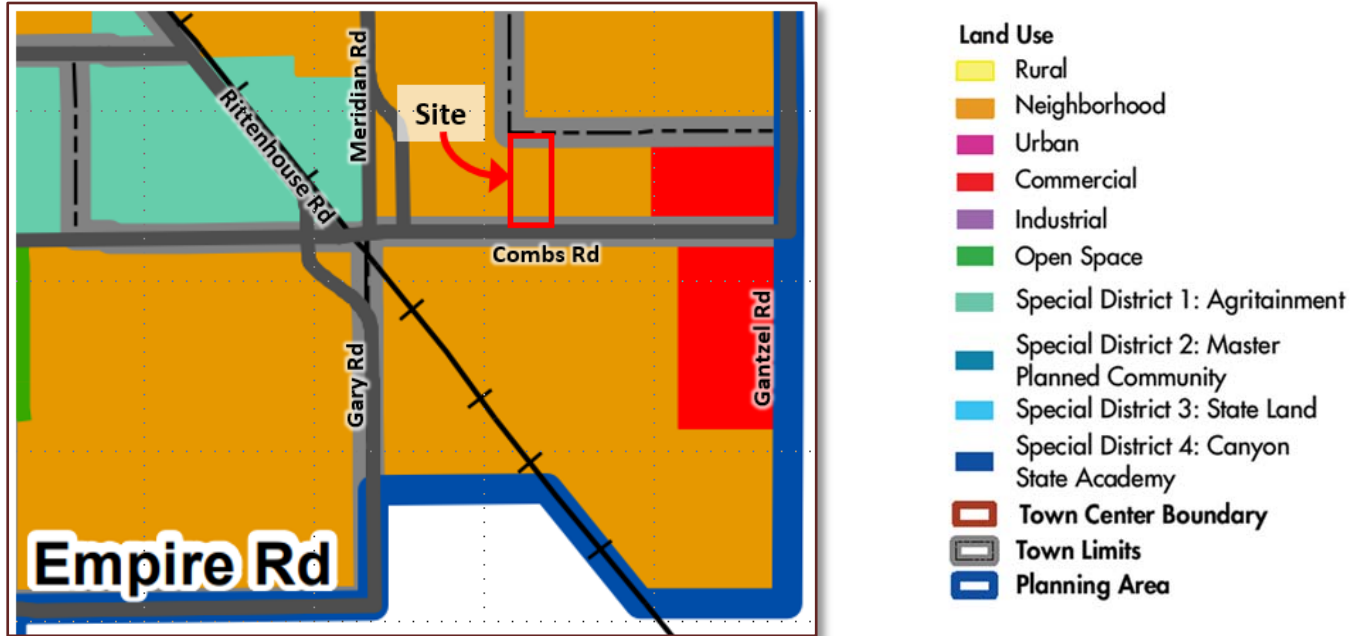


Figure 3 - Existing Zoning Map



Figure 4 - Proposed Zoning Map



III. Existing Site Conditions and Relationship to Surrounding Properties

The Property is mostly vacant and utilized for agricultural purposes and has relatively flat topography. A single family residential dwelling is also located onsite. Abutting the west property line are a church and agricultural land. West of that property are the Olive Mill and realigned intersection of Meridian Road, Rittenhouse Road, and Combs Road, which are near a lumber yard and Schnepf Farms. Agricultural property abuts the Property's north property line. To the east of the Property is the 44-acre American Leadership Academy Ironwood High School and elementary campuses. Combs Road is located to the south, followed by "The Parks" single-family community. Table 1 below summarizes the onsite and surrounding land uses and designations. It notes that the properties to the north and south of the Property are located in unincorporated Pinal County.

Table 1 - Existing and Surrounding Land Use Context

Direction	Jurisdiction	General Plan Land Use	Existing Zoning	Existing Use
Property	Queen Creek	Neighborhood	R1-43	Single-Family Residential
North	Pinal County	Neighborhood	SR (Suburban Ranch)	Agricultural
East	Queen Creek	Neighborhood	R1-43	American Leadership Academy, Ironwood High
South	Pinal County	Neighborhood	CR-3 PAD (R1-7 equivalent)	Single-Family Residential (The Parks)
West	Queen Creek	Neighborhood	R1-18, R1-43	Church, Agricultural

IV. Zoning/Planned Area Development

The requested MDR zoning with a PAD overlay allows for the development of a project's innovative design that incorporates creativity, flexibility, and consistency with the General Plan and Zoning Ordinance. *The Academy* is a hybrid housing product that provides enhanced benefits to the Town that will help ensure the health, safety, and welfare of the future residents.

Proposed is a single-family attached and detached gated residential luxury rental community with approximately 220 units and a density of approximately 10.65 units per net acre. While multi-family by nature because of the multiple dwelling rental units on a single parcel, *The Academy* functions more like a nicely designed, single-family community with attached and detached homes. The housing units have the appearance of small cottages, not tall apartment buildings. The overall development has common open space amenities that benefit all, but every individual unit also has a private backyard enclosure. To ensure the highest quality site maintenance, both the private and common open space maintenance will be administered by Hancock Communities. The submitted Preliminary Site Plan and Project Density Summary are depicted in Figure 5 and Table 2 below.

Figure 5 - Preliminary Site Plan

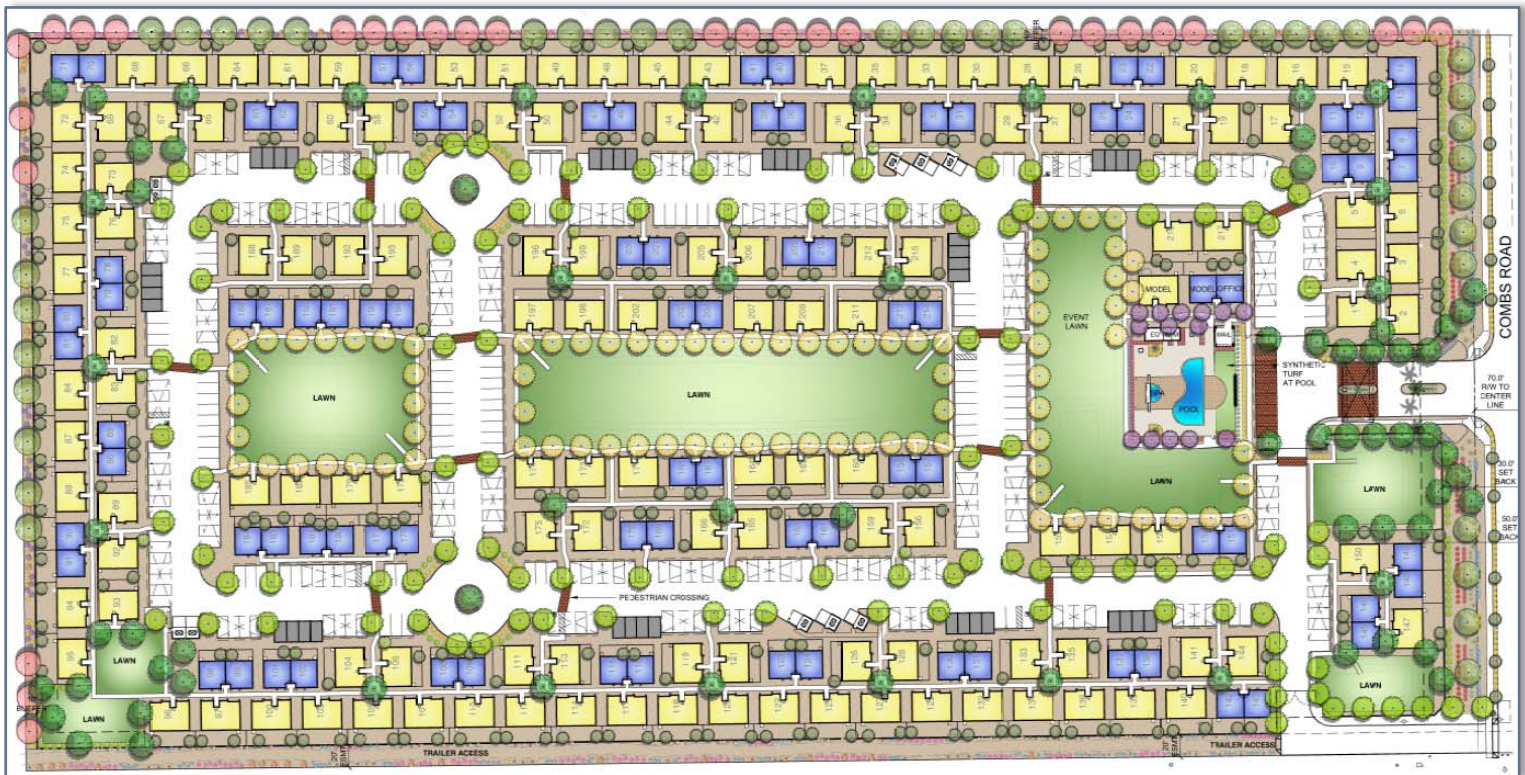


Table 2 – Project Density Summary

Project Area	Acres
Gross Project Area	21.73
Public Streets/ROW	1.07
Non-Residential Uses (Commercial, Schools, Industrial)	0
Net Project Area	20.66
Project Density Calculation	
Total Units	220
Overall Net Density	10.65 du/acre

This proposed hybrid housing product fills a demanded gap in the market for families who are “renters by choice” – those who seek the qualities of a single-family home as well as the benefits of a professionally managed community. Common households this type of project seeks to serve are young professionals (single and/or married) and retirees looking to downsize to a more manageable lifestyle.

The Academy seeks to create a sustainable community where neighbors enjoy proximity to amenities and a strong sense of community. The buildings’ orientation and site amenities create an environment where community can be built among residents. The residential units are designed in a cluster configuration with units oriented toward a shared and connected pedestrian courtyard. Lifestyle amenities and a vast open space area are centrally located for convenient access for all residents.

1. Site Access and Circulation

The development’s location along Combs Road allows convenient access to Schnepf Farms and Queen Creek Olive Mill to the west, the proposed commercial developments in the area, and the Santan Mountains Regional Park to the south.

The main entrance for *The Academy* will be located off of Combs Road, which will include a portal architectural feature and landscaped median that establish a prominent a sense of entry and a statement as to the project’s low-intensity residential character. The entry “Ts” into the central amenity area as a focus point. A limited, secondary gated access is located further west on Combs Road. The Property has a 20-foot access easement along its western boundary, which will be preserved, as shown on plans submitted with this request.

Gated driveways connect to a looped system of private drives that are designed with the requisite width and turning radii to comply with Town Code requirements. Traffic circles are provided along the access drives that likewise comply with requirements, while serving as traffic calming measures.

As submitted, the proposed circulation and parking plan will comply with the applicable Town requirements. The proposed parking plan will offer individual parking garages, covered spaces, and open public parking, which will address the anticipated parking demand

for residents and visitors. To minimize the impact of the waste disposal containers, enclosures will be designed per the Town Code and appropriately located to promote site safety and functionality for the collection vehicles.

2. Open Space and Landscape Design

As shown on the preliminary site plan, the proposed development will offer a generous amount of landscaping, courtyards, amenities, and a connected pedestrian circulation system. Where 20% of common open space is required, approximately 35.8% (net) of common open space is provided with various features that create a resort-style living environment (see the Open Space Summary in Table 3 below). In addition, private open space will be provided in the backyards of each unit, which exceeds the minimum standards for similar uses.

Table 3 - Open Space Summary
Net Area: 20.66 acres

	Required	Proposed
Total Common Open Space		
%	20%	35.8%
Acres	4.13	7.39
Active Open Space		
% of Total	*30%	77.4%
Acres	1.24	2.94

*Computed off required open space.

a. Community Open Space

The Property will feature a central community amenity, which may include, but is not limited to, a pool amenity, large turf lawn, BBQ amenities, lawn areas, and gathering areas with seating and shade trees and structures. For an enhanced gathering space, the pool area will include a prominent shade ramada that is designed with an elongated fire pit, as shown on the submitted preliminary architectural exhibits. Secondary onsite open space amenities may include landscaping and shading, meandering pathways, and outdoor seating.

b. Private Open Space

The private open space areas will make-up approximately 21% of the site area in addition to the common open space shown in Table 3 above. These areas will consist of each housing unit's individual backyard enclosures with minimum 6 feet solid fences. These backyard spaces will enable each owner to enjoy greater privacy, space for pets, and will provide room to locate a table, shade umbrella, seating, and other uses. They will include gates to allow for access and maintenance. Site management will retain the right to enter for purposes of site maintenance. For added convenience, the walls enclosing the yards will be designed with vinyl sections that can be easily removed and replaced to provide access for any maintenance needs.

Figure 6 below depicts representative imagery of the community amenities offered in *The Academy*, which will be modified to be consistent with the proposed character.

Figure 6 - Representative Imagery of Community Amenities



c. Pedestrian Pathways

The Academy incorporates a variety of pathways unique to this type of housing product that will connect the residents to the outdoor environment. Overall sidewalk design will focus connectivity from each semi-private cluster of homes to the common open space amenity areas. The vision is to not connect each cluster together to maintain some level of privacy and a sense of security for residents, which has proven to be a desirable feature to residents in the applicant's experience.

The main open space amenity, however, will be surrounded by pathways, which will create a continuous pedestrian network around these centralized gathering spaces. In addition, an outer three-quarter (3/4) mile circuit pathway will be provided that is connected to both the individual units and the central amenity areas. Throughout the project, colored/stamped pavement material will be provided at pedestrian crossings. The quantity and locations are carefully designed to balance wayfinding, pedestrian safety, and quality design with efficient vehicular circulation.



d. Landscape Buffers

The proposed development will comply with these landscape buffer requirements. As stated in the Zoning Ordinance, the purposes for the buffer areas are to “ensure visual separation between uses when appropriate, “and “create a transition area” (Section 5.3.C.6.a – Landscape Buffer Setbacks and Table 5.3-1). *The Academy’s* landscape and open space design is intended to preserve the agricultural themes of the area, establish natural buffers and transitions between uses, promote multiple modes of travel and active lifestyles, and create an aesthetically pleasing natural environment, as follows:

- *Combs Road Landscape Buffer:* As shown on the submitted preliminary plans, a minimum 50-foot landscape buffer is provided along Combs Road: 30 feet will have trees and landscaping that will soften the feel along the Property’s perimeter, and the remaining approximately 20 feet will comprise the enclosed backyards of housing units along that frontage with minimum 6-foot screening walls. The proposed plan reduces the number of units that back onto Combs Road by integrating open space retention areas that extend further into the Property. Within the perimeter landscaping, vegetation will be arranged in orderly rows with patterns that evoke the themes of agricultural fields. Symmetry, layered geometry, and plant selection will create a textured quality that will provide shade and flourish in the local climate.

North Property Line Landscape Buffer: Along the Property’s north boundary, 10 feet of landscaping will be provided on the outside of the proposed development’s perimeter wall, which will be maintained by the property owner as would the landscaping along Combs Road and throughout the project. The preliminary plans show enclosed backyards that are approximately 20 feet deep, which totals 30 feet of combined enclosed and open landscaping. Notably, the 20-foot rear yards are comparable to rear setbacks in R1-5 single-family zoning.

- *West Property Line Landscape Buffer:* Along the west property line, the buffer requirement is met in the 20-foot access easement along the west boundary that includes landscape material on both sides of an access drive that benefits residents to the north. The landscaping will create a buffer along that edge without obstructing the easement. Following that easement and buffer, approximately 15-foot deep rear yards of housing units will back-up to the easement and will be enclosed by minimum 6-foot screening walls. Notably, the 15-foot rear yards are comparable to rear setbacks in R1-4 single-family zoning.

Trees will be provided in the backyards of each unit to comply with the Town’s tree count requirements. This cross-section of vegetation on the inside and outside of the perimeter wall and the total separation will comply with the purposes of the buffer requirements by providing a “visual separation” and “transition” to the adjacent residential zoning as required under Section 5.3.C.6.a of the Zoning Ordinance.

- *East Property Line Landscape Buffer:* Along the Property’s east boundary, 5 feet of onsite landscaping will be provided on the outside of the proposed development’s perimeter walls, which will be maintained by the property owner as would the landscaping

along Combs Road and throughout the project. The preliminary plans show enclosed backyards that are approximately 15 feet deep, which will be a total of 20 feet of combined enclosed and open landscaping, which exceeds the onsite buffer requirement. The eastern wall will have additional detailing as requested by Town Staff.

As proposed, the buffer areas will create a high quality “visual separation” and “transition” that will increase the compatibility to the adjacent properties.

3. PAD Development Standards

The proposed PAD standards for *The Academy* complies with the Zoning Ordinance’s PAD requirements as they relate to MDR zoning, and they help implement the General Plan goals and policies. *The Academy* PAD will meet or exceed the development standards for MDR zoning, except for minor modifications that are tailored to this development and justified by the unique design characteristics, site constraints, and features that exceed zoning standards. Table 4 below lists the requested modification to development standards, which is shown as **bold** under the “Proposed” column.

Table 4 –Modified Development Standards

Zoning Standard	QCZO Required	Proposed
Distance between multi-family buildings (DS.5 (C)(1)(a))	15 feet recommended	10 ft.
Min. Perimeter Landscape Buffers <ul style="list-style-type: none"> • North and west, (5.3.C.6.a, Table 5.3-1) • East 	<ul style="list-style-type: none"> • North and west: (adjacent to Residential use) 15. ft. onsite • East (adjacent to non-residential use): 10 ft. onsite 	<p>North: 30 ft. total onsite</p> <ul style="list-style-type: none"> • 10 ft. common landscaping • 20 ft. backyard enclosure* <p>West: 35 ft. total</p> <ul style="list-style-type: none"> • 20 ft. common landscaping • 15 ft. backyard enclosure* <p>East: 20 ft. total onsite</p> <ul style="list-style-type: none"> • 5 ft. common landscaping • 15 ft. backyard enclosure*

* Note – The depth of backyard enclosures may be adjusted to accommodate additional common area open space.

Justification for Modified Development Standards

a. Building Separation

Proposed is a minimum 10-foot building separation, which is an essential element of the development’s multi-faceted open space plan and its efficient and cohesive design. Individual buildings will be clustered and oriented toward pedestrian and open space open space pathways, and they will comply with all applicable building code requirements. Between the buildings, sidewalks will be laid out with landscaping, shading, and a pattern

of shared common area spaces. Parking shade canopies may be closer than 10 feet per building code requirements as they are open accessory structures. Among other things, this modification is justified by the buildings' smaller scale, reduced impact on the surrounding properties, and the generous open space areas that increase the benefits of light, space and views to and from the Property.

b. Landscape Buffer

The proposed landscape buffers are described in Table 4 and the prior Section IV.2.d (pp. 11 - 13) of this narrative comply with zoning requirements for landscape buffers. They are requested to benefit the Town and to increase its ability to enforce these enhanced standards through the PAD. These are also proposed to promote the intents of the General Plan regarding landscape buffers and transitions to surrounding uses.

In complying with buffer requirements, it is common for at least a portion of the landscaping in multi-family developments to be located in common landscape areas accessible to any resident in the community. On the other hand, single-family developments frequently allow the backyard enclosures of housing units to back-up to the side and rear property lines. Given the proposed development is a hybrid between single-family and multi-family uses, proposed are 5 feet to 20 feet of common landscaping along the northern, western, and eastern boundaries of the Property as provided in the table above. That would be followed by minimum 15 feet to 20 feet of backyard enclosures as shown in the table. Combined, this exceeds the minimum required landscape setbacks by 100%, which reduces the intensity of development along the perimeter. This will mitigate any the impacts on the adjacent properties as intended by this Zoning requirement.

The abutting properties to the north, west, and east will benefit aesthetically from having a strip of landscaping on this Property's boundaries, followed by a screening wall and more landscaping. This exceeds common circumstances in which a perimeter wall is located on the side and rear property lines of a single family residential use, and in many cases, multi-family uses. To facilitate ease of maintenance, the property owner will be able to access the northern landscape buffer through the access easement on the west property line. And along the east property line, no wall or gate will be constructed, thus maintaining open access to that proposed landscape strip.

c. Open Space Amenities Exceed Standards

The proposed development plan exceeds the open space requirements, which increases the quality of the project and provides for consistency with the low-intensity nature of the surrounding area. The hierarchy of public, semi-private, and private open space creates an enhanced feeling in the project that will contribute to a more livable environment and promote neighborhood stability and quality for the surrounding area more than would a project that does not exceed open space requirements.



d. Exceeds other standards

The modified standards are further justified by the instances where the project exceeds standards, which is the case in terms of the building height, and building setbacks, and other requirements. The proposed buildings in *The Academy* do not exceed a height of 1-story, which is lower than would typically be expected for a multi-family use. This will promote the enhanced feeling of light and space and a low intensity use, which promotes compatibility with the adjacent properties.

In terms of building setbacks, the required 5 feet side building setback and 10-foot rear building setback will be increased by more than 200%. These substantial increases in building setbacks decrease the project's intensity along the perimeter of the project and form part of the justification for the modified standards.

e. Necessity, Site Constraints

The modifications described above are requested because the distinct location and design of the proposed development provide such that strict application of zoning provisions in conventional zoning would not enable the development to offer the quality, cohesive design, open space, and creativity needed to promote a vibrant and sustainable community. The development responds to the market conditions in a manner that conventional zoning does not allow by offering single family living with the lifestyle amenities of a professionally managed community. The development plan is designed on a relatively narrow site that abuts an access easement, a major school and church, and an arterial roadway. These features are unique considerations that impose limitations to development on the site.

f. Similarity to Single Family Uses

One of the main premises for the proposed development is to develop a highly desired single-family product in the residential marketplace. Based on the developer's extensive experience in delivering high-quality rental housing, the proposed housing product has proven attractive to residents for many reasons. For one, the project is set up more like single-family homes, which have no units above or below as in the case of traditional apartments, and no common walls for the two-bedroom or three-bedroom units (the one-bedroom units being twin homes with a common wall on one side only). This arrangement allows allow more natural lighting to enter each unit on three to four sides of the buildings. The project design enhances the comfort of the interior spaces and access to the pedestrian pathways and outdoor amenities. As a result, *The Academy* establishes a cohesive plan and a desirable, resort-like environment that will benefit onsite residents and the surrounding community.

g. Health, Safety, and Welfare

The proposed standards are necessary to achieve the benefits to the Town's health, safety, and welfare. In sum, the proposed development standards are in the best interest of the Town to:

- Provide land use buffers to properties with differing intensities;
- Integrate connectivity of open space areas into the development plan;

- Enable the project to develop the high quality housing concepts expected by the market;
- Establish distinctive design concepts and development themes; and
- Foster the desired economic benefits for the Town's nearby Agritainment and specialty commercial uses.

4. Preliminary Design Themes

The Academy's design and character will celebrate the heritage inherent to Queen Creek. The Town's background is epitomized by a sense of pride in its traditions and values centering on its agrarian history, recreational amenities, quality neighborhoods, and family-oriented communities. The proposed character of *The Academy* will extend this experience to its future residents and visitors through a combination of landscaping, colors, textures, and building materials consistent with the agricultural history.

At the site entry, a landscaped boulevard will create a prominent sense of arrival for the community with specially designed walls, landscaping, street design, and an entry monument. Color paving such as stamped pavement will be incorporated into the entry from Combs Road. The perimeter wall fronting Combs Road will be aesthetically pleasing with appropriately spaced columns and material and color variations in accordance with Town standards. Along the Combs Road frontage, the minimum 30-foot perimeter landscape buffer and will soften the feel along the street. Units backing onto the perimeter buffer will be protected from roadway effects by the proposed backyard enclosures, integration of open space, retention areas, and plant material.

The community entry monument will be designed to complement the colors, materials and architectural style of the proposed development. Situated at a focal point and terminus of the community's primary entry will provide views toward the community pool and shade structure amenity area. View fencing that frames the deep open space area in the background will create an impactful statement when entering the Property. The design of the buildings and landscape plan at the site entry will establish the project's low-intensity residential character and high quality residential design.

Throughout the development, walls, lighting, and structures will be designed comprehensively in accordance with Town standards and the project's design themes. They will be consistent with both safety requirements and the nature of this low-intensity development. For example, along the main private driveways, specially designed traffic circles, site landscaping, and the differentiated orientation of the units creates a more single-family residential feel. The overall design of the project will be pedestrian oriented and provide for enhanced visual interest and sensitivity to nearby uses.

Craftsman and farmhouse architectural themes are incorporated into the proposed buildings, which will be designed with sloped gable and hip roofing patterns that improve upon the flat roofing systems seen in other projects. The architecture of *The Academy* will incorporate undulation, wall recesses, and varied wall planes and roof lines appropriate to the scale of the buildings. Elevations will be punctuated with various design materials including natural stone, a variety of brick materials, and concrete roof tile. Details, such as corbels, shutters,

columns, dormers, trim, and complementary color schemes will add tasteful variety to the project consistent with related developments in the area. Private patios will transition to the outdoor spaces and private backyards for each unit.

Window trim and detailing will have unifying elements across the elevations. In the submitted elevations indicate that the size and design of the windows correspond with the functionality of the interior design and floorplans. They are designed to allow natural lighting to enter the interior spaces from multiple directions and accentuate views to the outdoors. The sizing and styles are consistent with single-family dwellings, in contrast to typical large-scale multi-family projects with rows of units with fewer exterior walls with direct natural lighting.

Interior spaces will also have high-quality features, such as 10-foot ceilings, granite countertops, and a host of new “smart home” technology, including a digital thermostat, lighting controls, doorbell with camera, keyless entry, and a security system – all controlled by a mobile app. As designed, the project will be ideal for families and individuals who enjoy the outdoors and who seek to be long-term residents in the community.

The representative imagery in Figure 7 below gives an indication of the vernacular of the applicant’s project.

Figure 7 - Conceptual Architectural Design



5. Benefits of the PAD

The development plan demonstrates compliance with the criteria for the utilization of the PAD in the zoning process as established in the Zoning Ordinance by:

- Introducing a high-quality planned development into the Town that fosters the General Plan goals and vision;
- Designing appropriate buffers and transitions between residential uses;
- Implementing diversity in residential densities and nonresidential uses that are tailored to the fabric of the Town and surrounding properties;
- Providing layers of landscaping, open space, and amenities that support a pedestrian-oriented environment and residential uses;
- Planning for uses that complement and support the nearby Agritainment uses and local economy;
- Improving the Property in a manner that will sustain the Town's fiscal objectives, including provision of utilities, infrastructure, and institutional services; and
- Preserving the Town's heritage through the proposed uses and agricultural theming in the project design.

V. General Plan Compliance

The proposed development of *The Academy* supports the vision, goals, and policies of the Town of Queen Creek General Plan and the Neighborhood land use designation. Relating to the various General Plan elements, the PAD rezoning request responds to the vision to maintain the Town's unique character by:

1. Maintaining the Town's Unique Community Character and neighborhood stability through the proposed PAD development standards (Land Use Element, Goal 1):
 - Promoting residential development with generous open space and landscape buffers that transition the use from areas of higher intensity and major streets to areas of lower intensity (*Strategy 1.A, Action 1.A.6*).
 - Providing a variety of single-family housing options with carefully planned open space amenities and landscaping, which will promote long-term occupancy, create stability, and maintain the character of the Town (*Strategy 1.A, Action 1.A.7*).
 - Supporting the nearby Agritainment uses within the Town through the development of supportive residential uses within the market area and by providing efficient circulation system to facilitate multi-modal access (*Strategy 1.A, Action 1.A.2*).
 - The proposed single-story building heights, landscape setbacks, and open space plan promote additional compatibility with surrounding properties and contribute to the low-intensity character of the area (*Strategy 1.A, Action 1.A.6*).

2. Providing a diverse range of quality housing options for current and future residents with community amenities in a resort-like environment (Housing Element, Goal 1):
 - Promoting maintenance of high-quality neighborhoods through the professional management of the project, which will ensure a healthy, safe, and attractive environment (Strategy 1.A, Action 1.A.3).
 - Providing a unique housing option that meet the socioeconomic needs of Queen Creek’s residents and employees in response to planned growth in the Town (Strategy 1.C).
3. Facilitating expansion of active open space and recreational opportunities for Queen Creek residents (Recreation, Parks, and Open Space Element, Goal 4):
 - Providing for the private open space amenities to reduce the Town’s burden of park management and operations (Strategy 4.A, Action 4.A.3)
4. Coordinating and providing additional and needed infrastructure (i.e., water, sewer, streets) to accommodate anticipated growth in this area of the Town; developing on a property within the Town limits and within close proximity to services with adequate capacity to serve the proposed use.

VI. Public Utilities and Services

1. Utilities

Utilities will be provided as listed below. The applicant is continuing to analyze the available services and connections, but its preliminary assessment reveals there will be adequate capacity to service the proposed uses in *The Academy*.

- Water: Town of Queen Creek
- Sewer: Town of Queen Creek
- Electric: Salt River Project
- Gas: Southwest Gas
- Telecommunications: Cox Communications; CenturyLink
- Police: Maricopa County Sheriff
- Fire: Town of Queen Creek
- School: Queen Creek Unified School District

2. Water

Details regarding the water design and capacity are discussed further in the Preliminary Water Report submitted with the rezoning request. Potable water service is to be provided by the Town of Queen Creek. Two connections are proposed at the existing 12-inch waterlines in Combs Road, and the onsite system will utilize 4-inch domestic and 6-inch fire lines. Regarding capacity, the existing and planned water facilities will be designed are adequate to service *The Academy* community.

All Town of Queen Creek design standards will be met. The project will be required by the

Town of Queen Creek to enroll as a member of the Central Arizona Groundwater Replenishment District (CAGRD) program with the Arizona Department of Water Services (ADWR) and will obtain an ADWR Certificate of Assured Water Supply.

The calculations of water flows and pipe sizing will be completed during final design and will be based on system design criteria in the Water System Master Plan Update 2017.

3. Wastewater

Information regarding the wastewater demand and capacity are discussed in the Preliminary Wastewater Report submitted with the rezoning request. *The Academy* is currently within the Town of Queen Creek Sewer Service Area, and it has adequate capacity to handle peak demand for the proposed development.

The proposed system will tie-into the existing stub off of the 12-inch main in Combs Road, and according to preliminary plans, main lines for the development will be a minimum of 8 inches. All internal lines will be sized by taking into consideration prospective flows, minimum pipe sizes, and slopes, which will be determined during the final design. The design of the wastewater facilities will comply with Town standards.

4. Drainage

Proposed Drainage for the project will comply with the Town of Queen Creek standards for onsite and offsite drainage and retention. According to the submitted drainage report and grading and drainage plan, the Property has unremarkable topography and generally slopes to the southwest. It falls within FEMA Zone "X" Shaded per the Maricopa County, Arizona and Unincorporated Areas Flood Insurance Rate Map 040132 (FIRM).

Regarding offsite conditions, offsite flows are not anticipated to impact the Property. Along Combs Road, curb and gutter, along with inlet structures, will be installed to convey the half-street runoff along the Property's frontage into onsite retention basins.

Onsite surface retention basins will retain runoff generated onsite from a 100-year, 2-hour storm event, as well as from any proposed offsite improvements. Given the proposed development is single-owner, retention areas will be professionally maintained by a single-owner entity.

5. Other Services

Fire protection and emergency medical services are located within a 3-5 minute drive of *The Academy*. Fire Station #5 is located approximately ¼ mile east of *The Academy* at 980 W. Combs Rd. Moreover, the Banner Ironwood Hospital is located approximately 1.3 miles east of *The Academy*, at 37000 N. Gantzel Road south of Combs Road.

The developer will work with Queen Creek Unified School District to ensure that adequate educational facilities are provided for the community. It is noted that a variety of school options for children of all ages are located within close proximity to the project. Additionally, improvement of the Property as planned will greatly increase the annual property

assessments of the Property in a manner that will contribute to the long-term sustainability of local schools.

Queen Creek has contracted with the Maricopa County Sheriff's Office (MCSO) to provide for the orderly, smooth, and efficient operation of public safety in Queen Creek. The Property is within 4.5 miles of MCSO's District 6 office, located at 20727 E. Civic Pkwy. According to the Strategic Plan (2016-2021), District 6 has approximately 28 deputies, 8 sergeants, 1 lieutenant, and at least 12 other staff. Local plans and reports indicate there are adequate resources to service the Town's projected needs.

VII. Public Participation

A neighborhood meeting has been held for this proposal in accordance with the Town of Queen Creek's neighborhood meeting requirements. This afforded an opportunity for nearby property owners to learn about the preliminary development concepts and discuss comments with the applicant for the project. A copy of the neighborhood meeting summary is included with this submittal. The property owners at the meeting were generally supportive of *The Academy* and provided constructed comments, which are outlined in the summary of the neighborhood meeting submitted to the Town. The applicant will welcome additional feedback from the community as the development process advances.

VIII. Conclusion

The Academy development team intends to meet or exceed community standards while addressing current market trends desired by homebuyers and consistent with market demands. The development plan offers exceptional neighborhood design with distinct landscaping and amenities. The proposed development contribute to a balanced and viable land use solution that will enable creative and enhanced level of housing development and a reasonable level of housing diversity within the Town. *The Academy* PAD will ensure compatibility with surrounding land use patterns and built form, while also implementing the overall vision and purposes of the General Plan and Zoning Ordinance.

