Development Services



TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Steven Ester, Planner I

RE: Discussion and Possible Approval of P19-0147 "Cloud Road and

188th **Street Preliminary Plat**", a request by Tyler Tussey for approval of a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres,

located at the southeast corner of Cloud Road and 188th Street.

DATE: March 11, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0147 "Cloud Road and 188th Street Preliminary Plat", subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to approve P19-0147 "Cloud Road and 188th Street Preliminary Plat", subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS



Secure Future

SUMMARY

This proposal consists of a request by Tyler Tussey for approval of Preliminary Plat for a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres, located at the southeast corner of Cloud Road and 188th Street.

HISTORY

May 31, 1990: The Town annexed the property from Maricopa County and applied the equivalent zoning district R1-43 (1 du/ac).

PROJECT INFORMATION

Project Name:	Cloud Road and 188 th Street Preliminary Plat	
Site Location:	SEC of Cloud Road & 188 th Street	
Current Zoning:	R1-43 (Rural Estate District)	
General Plan Designation:	Rural (0-1 du/ac)	
Surrounding Zoning:		
North	R1-43 (Rural Estate District)	
South	R1-43 (Rural Estate District)	
East	R1-43 (Rural Estate District)	
West	R1-43 (Rural Estate District)	
Gross Acreage:	15.24 acres	
Net Acreage:	13.51 acres	
Total Lots/Units:	12 lots	
Density:	0.89 du/ac	

DISCUSSION

This proposal consists of a request by Tyler Tussey for approval of Preliminary Plat for a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres, located at the southeast corner of Cloud Road and 188th Street. In total, the proposed 12-lot development amounts to a net density of 0.89 dwelling units per acre, which is consistent with the 2018 General Plan land use designation of Rural (0-1 du/ac). With a minimum lot width of 145' feet and a minimum lot size of 43,572 square feet, each proposed lot meets all dimensional standards for the R1-43 zoning district per the Zoning Ordinance.

Access to the neighborhood is provided by Vallejo Street, which connects to Sossaman Road and also serves the neighboring Saddlewood Estates Phase II subdivision to the east. There is a gated 25' emergency access proposed along the west side of lot 12 to allow an additional entrance for emergency vehicles only. Homeowners will not have access to the emergency gate entrance. Given the expected traffic for 12 new lots, a single point of access for the residents and the crash gate for emergency vehicles are sufficient.

In terms of trails, the proposed Preliminary Plat also provides a new path for connectivity in the region. Along the entire southern edge of the site, a 10-foot equestrian trail is shown. This path serves as a link between the requested development and the neighboring Saddlewood Estates Phase II subdivision to the east. All improvements for the extension of Vallejo Street westward are provided by the developer, in conformance with the area plan for the region.

The R1-43 zoning district has no open space requirement, but the proposed development provides 0.74 (4.87%) acres of open space consisting of a 30' landscape buffer along the Cloud Road frontage at the north end and a 30' landscape easement with a ten (10') foot wide equestrian trail at the southern end of the project.

CONDITIONS OF APPROVAL

- 1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
- 2. The developer shall create a Home Owners Association for the maintenance of all landscaping within all open spaces, easements, tracts, trails, collector, and arterial rights-of-way as shown on the Landscape Plans for this project.
- 3. The developer shall submit a clearance letter regarding archeological and cultural resources from the State Historic Preservation Office (SHPO) prior to Final Plat approval.
- 4. A signed agreement from the Chandler Unified School District stating the district has capacity to accommodate the request will be required prior to Final Plat approval.
- 5. For onsite public improvements, the Town requires cash, irrevocable letter of credit (IRLOC), bond, or a signed C of O hold agreement to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. Construction assurance shall be deposited with the Town prior to Final Plat recordation.
- 6. Development of this property will require an Arizona Department of Water Resources (ADWR) Certificate of Assured Water Supply (CAWS). Obtaining a CAWS may be accomplished by transferring a current CAWS, converting an existing Analysis of Assured Water Supply associated with the proposed development, or by applying for a new CAWS.
- 7. In conjunction with obtaining a CAWS, the development will also need to be enrolled as a member in the Central Arizona Groundwater Replenishment District ("CAGRD") program with ADWR.

ATTACHMENTS

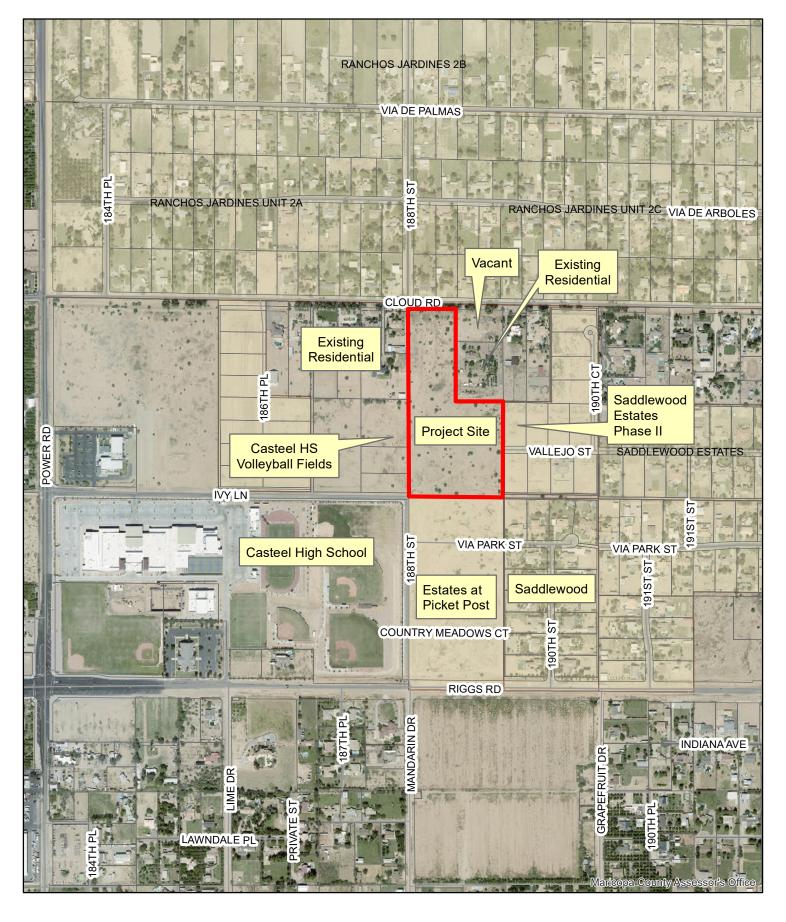
- 1. Cloud Road and 188th Street Aerial Exhibit
- 2. Cloud Road and 188th Street General Plan Exhibit
- 3. Cloud Road and 188th Street Zoning Map Exhibit
- 4. Cloud Road and 188th Street Preliminary Plat
- 5. Cloud Road and 188th Street Landscape Plans

Project Name: Cloud Road and 188th Street Preliminary Plat Aerial Exhibit

Case Number: P19-0147





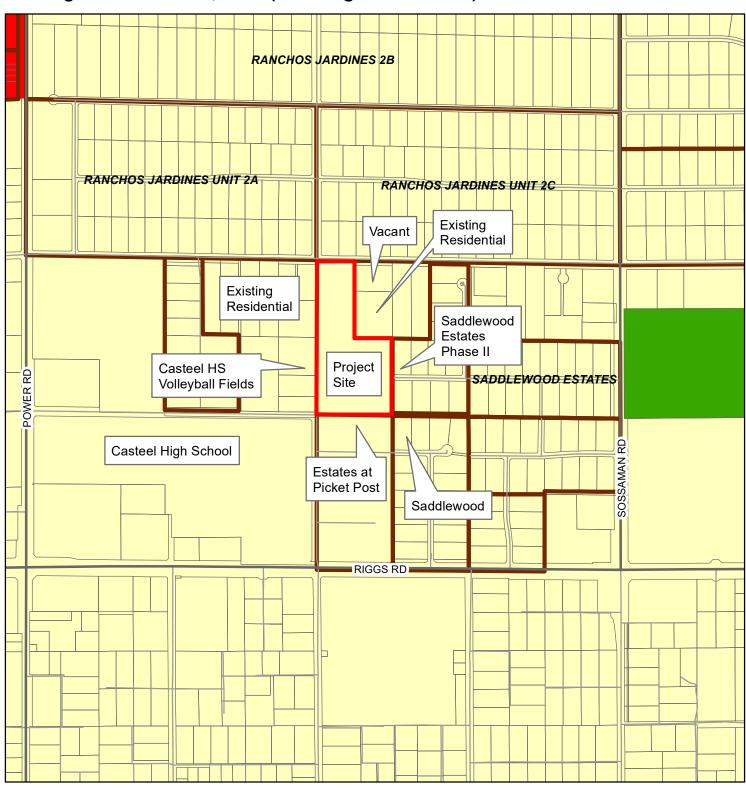


Project Name: Cloud Road and 188th Street Preliminary Plat General Plan Exhibit

Case Number: P19-0147



Hearing Date: March 11, 2020 (Planning Commission)



General Plan Land Use

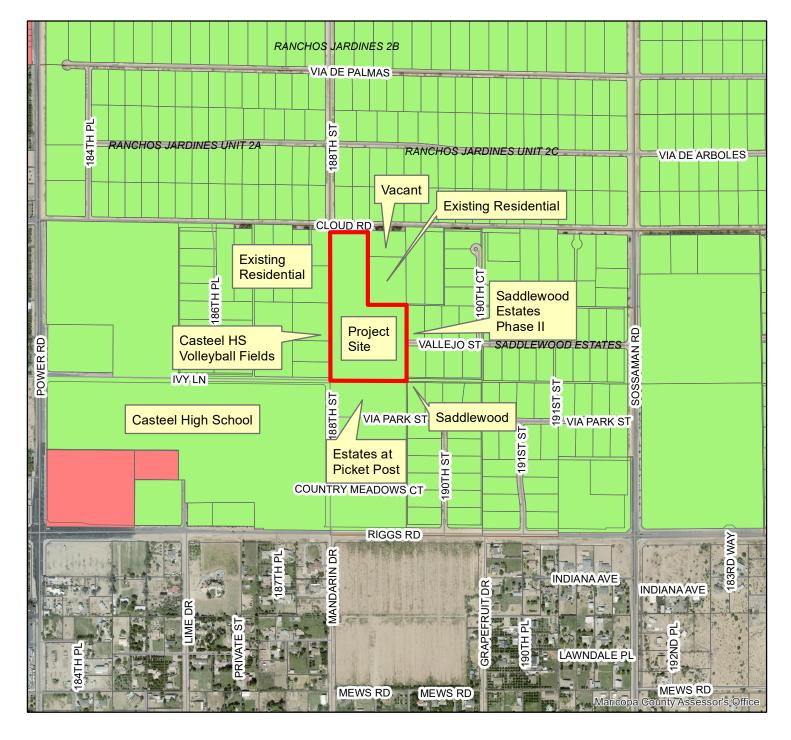


Project Name: Cloud Road and 188th Street Preliminary Plat Zoning Map Exhibit

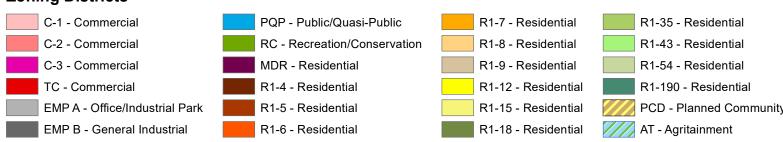
Case Numbers: P19-0147

Hearing Date: March 11, 2020 (Planning Commission)



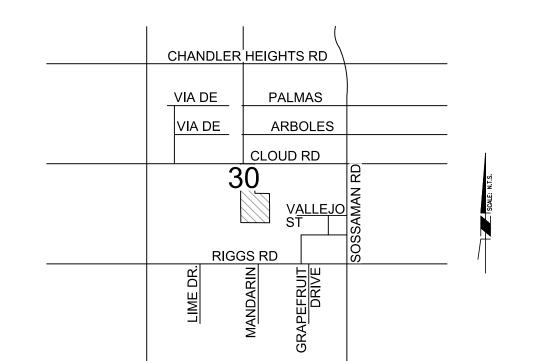






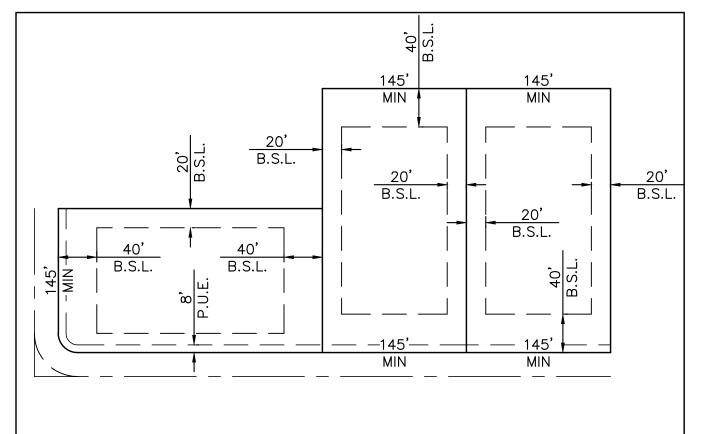
188TH STREET & CLOUD ROAD

THE EAST HALF OF THE NORTH WEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF QUEEN CREEK, MARICOPA COUNTY, ARIZONA

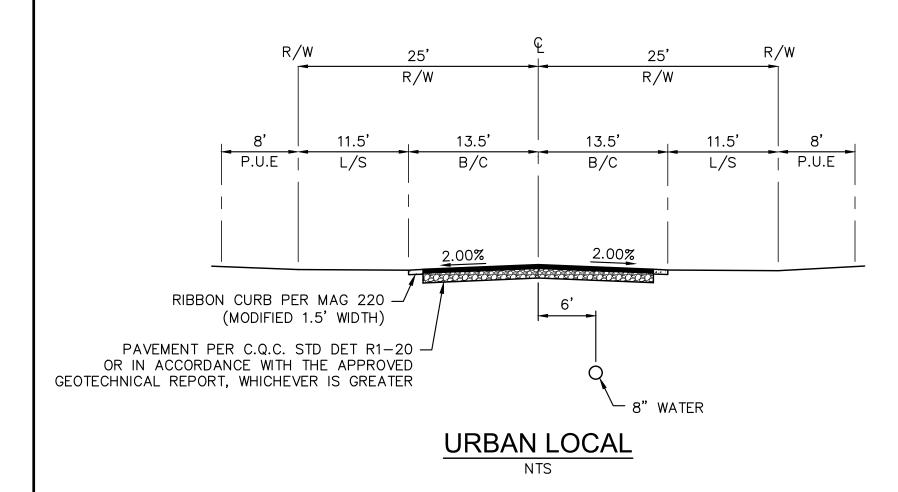


VICINITY MAP

NOT TO SCALE



TYPICAL LOT DIMENSIONS & BUILDING SETBACK LINES



UTILITY COMPANIES

TELEPHONE | CENTURY LINK

N/A

ELECTRIC

WATER

SEWER

SOUTHWEST GAS

SALT RIVER PROJECT

COX COMMUNICATIONS

TOWN OF QUEEN CREEK

LEGEND

<u>LEGEND</u>				
8"W	PROPOSED WATER			
•	PROPOSED FIRE HYDRANT			
\otimes	PROPOSED WATER VALVE			
 8"S 	PROPOSED SEWER			
0	PROPOSED SEWER MANHOLE			
	PROPOSED SEWER CLEANOUT			
——ЕХ 8"W—	EXISTING WATER			
\otimes	EXISTING WATER VALVE			
	EXISTING FIRE HYDRANT			
——EX 8"S—	EXISTING SEWER			
\bigcirc	EXISTING SEWER MANHOLE			
1002	EXISTING CONTOURS			
VNAE	VEHICLE NON-ACCESS EASEMENT			
	PARCEL BOUNDARY			
	RIGHT-OF-WAY			

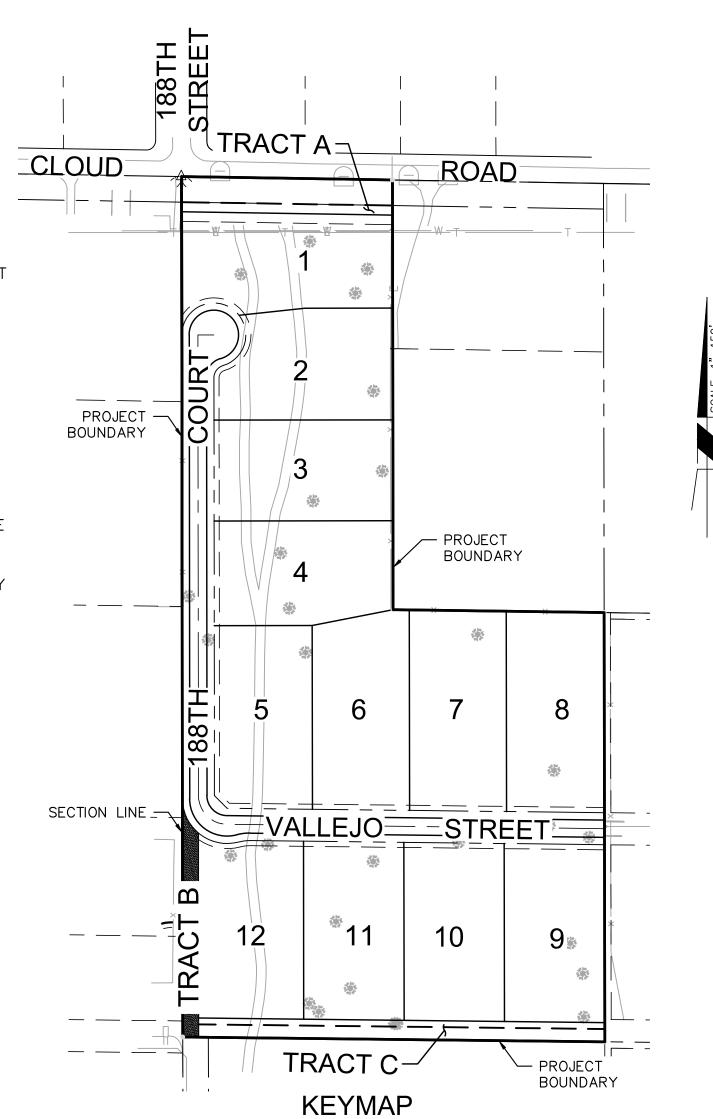
STREET DRAINAGE

PROPOSED SEWER FLOW

PUBLIC UTILITY EASEMENT

NOTES

- THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OF ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
- THIS SUBDIVISION SHALL COMPLY WITH ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.
- THE PLAT SHOWN IS BASED ON AN ALTA/ACSM LAND TITLE SURVEY 188TH ST & CLOUD RD PREPARED BY CARDNO.
- SUB-DIVISIONS WITH RESIDENTIAL LOTS 1 ACRE OR LARGER CAN USE ON-LOT RETENTION TO MEET THE SUBDIVISIONS RETENTION REQUIREMENTS
- 5. THIS PROPERTY, (LOCATED IN OVERFLIGHT AREA 3) DUE TO ITS PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT, IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIRCRAFT CONSISTS OF CARGO, COMMERCIAL, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.



N.T.S.

LOT SIZE SUMMARY

LOT #	AREA
1	49,388 SF
2	44,372 SF
3	44,034 SF
4	44,158 SF
5	43,582 SF
6	45,901 SF
7	47,407 SF
8	47,806 SF
9	43,580 SF
10	43,572 SF
11	43,572 SF
12	45,505 SF

EXISTING ZONING	R1-43
GROSS AREA	15.24 AC
NET AREA	13.51 AC
GROSS DENSITY UNITS/AC	0.79 DU/AC
NET DENSITY UNITS/AC	0.89 DU/AC
NUMBER OF LOTS	12
MAXIMUM LOT SIZE	49,388 SF
MINIMUM LOT SIZE	43,572 SF
AVERAGE LOT SIZE	45,240 SF
TOTAL R/W AREA	75,464 SF
TOTAL R/W PERCENTAGE	11.37%
TOTAL OPEN SPACE	32,345 SF
TOTAL OPEN PERCENTAGE	4.87%

TRACT AREA TABLE

'''''''''''''''''''''''''''''''''''''	,		
TRACT	SQUARE FEET	ACREAGE	USE
Α	4,943	0.11	DRAINAGE EASEMENT, LANDSCAPE BUFFER
В	8,373	0.19	PUBLIC WATER ESMT / EMERGENCY ACCESS
С	19,029	0.44	ROADWAY, PUE, EQUESTRIAN EASEMENT, AND LANDSCAPING
		TRACT SQUARE FEET A 4,943 B 8,373	A 4,943 0.11 B 8,373 0.19

ENGINEER

CARDNO INC. DANIEL J. POTTINGER, P.E. 19621 N. 23RD DRIVE, SUITE 150 PHOENIX, AZ 85027 PHONE: (602) 977-8075 FAX: (602) 997-8099 EMAIL: DANIEL.POTTINGER@CARDNO.COM

SHEET INDEX

COVER SHEET PRELIMINARY PLAT

BASIS OF BEARING

BASIS OF BEARING IS THE CENTER LINE OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID BEARING BEING:

OWNER/DEVELOPER

8711 E. PINNACLE PEAK ROAD, #304

EMAIL: STEVECROSS@MORGANTAYLORHOMES.COM

MORGAN TAYLOR HOMES, LLC

SCOTTSDALE, AZ 85255

PHONE: (602) 692-0492

STEVE CROSS

NORTH 89 DEGREES, 04 MINUTES, 08 SECONDS WEST

BENCHMARK

1/2" MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION REBAR IN HAND HOLE AT THE WEST QUARTER CORNER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST (INTERSECTION OF POWER AND CLOUD)

ELEVATION: 1363.37 (NAVD 88)

LEGAL DESCRIPTION

THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST HALF OF THE NORTH HALF OF SAID WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30.

FLOOD ZONE

ACCORDING TO FIRM FLOOD INSURANCE RATE MAP NO. 04013C3135L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DESCRIBED AS: "AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

DEPARTMENT APPROVALS

BY:					
	TOWN	ENGINEER		 DATE	
BY:				 	
	TOWN	PLANNING	ADMINISTRATOR	 ATE	

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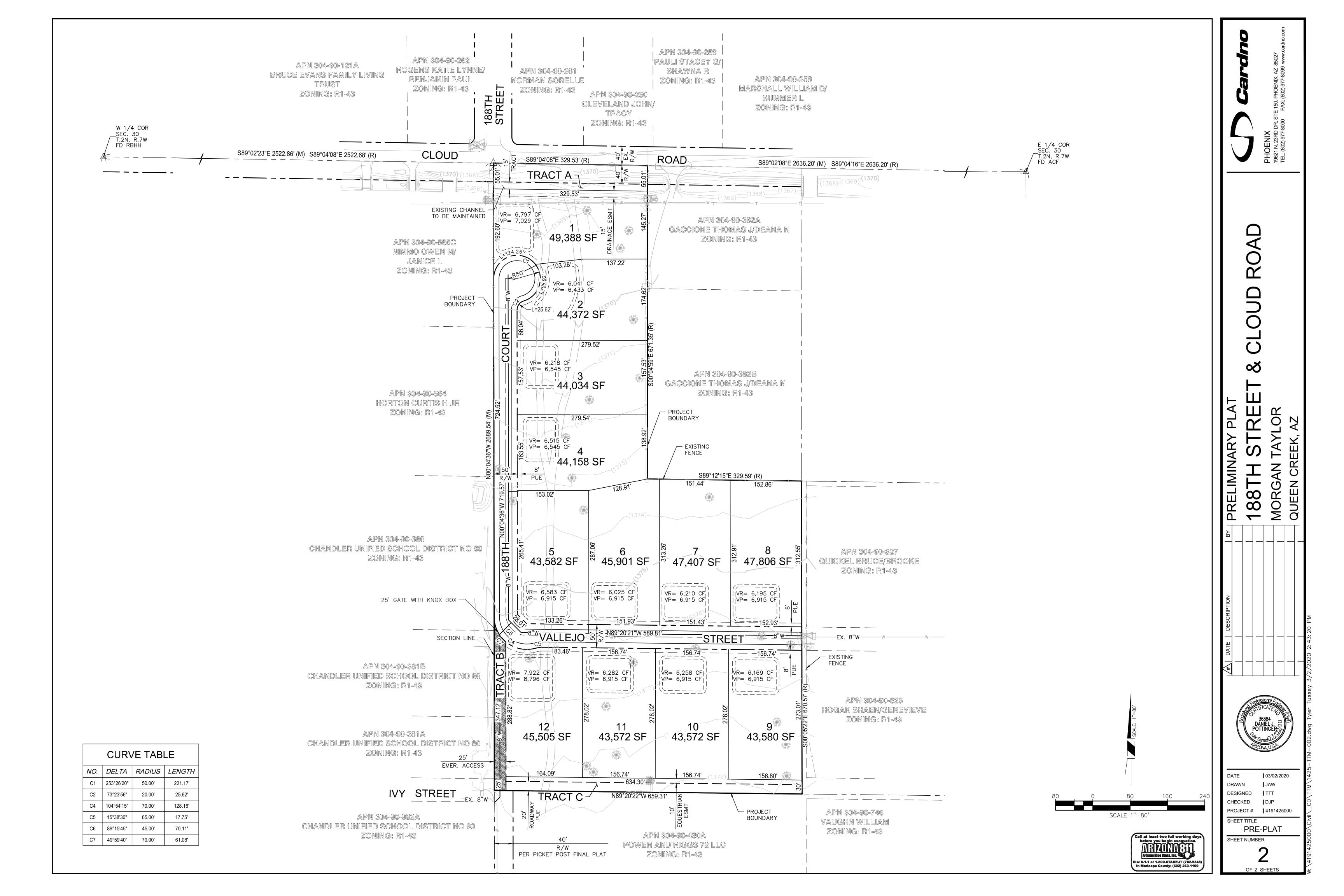


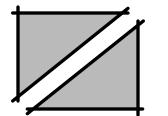
03/02/2020 DESIGNED DJP CHECKED PROJECT # 4191425000

COVER SHEET

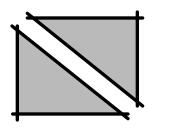
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OF 2 SHEETS





Cloud Road and 188th Street Development

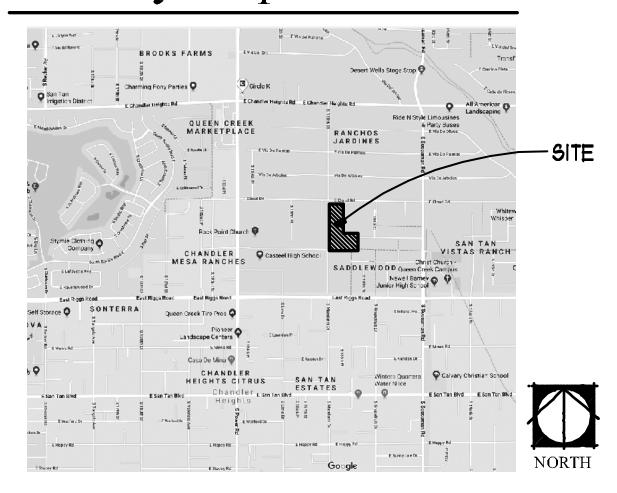


Cloud Road

Queen Creek, AZ. 85142

LANDSCAPE CONSTRUCTION DOCUMENT

Vicinity Map



Sheet Index

Sheet No.	Sheet Description
CVR	cover sheet
L-1	site development plan
L-2	landscape/irrigation enlargement plan
L-3	landscape/irrigation enlargement plan
L-4	landscape and site details
L-5	irrigation details

Town of Queen Creek Maintenance Note:

MAINTENANCE. The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping which shall be maintained so as to present a healthy, neat and orderly appearance and shall be kept free from refuse and debris. Plant materials shall be maintained in a healthy condition. If replacement is necessary, all plants and other non-living landscape materials shall be equal in size. density and appearance as originally required at the time of the approval of the development order or development permit

General Construction Notes

PERTAINING TO THE PROJECT'S WORK.

- NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH ALL WORK ELEMENTS SHOWN ON THE ENCLOSED PLANS VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, AND CONSTRUCTION
- SHOULD CONFLICTS ARISE 3. ANY SIDEWALK OR HARDSCAPE LAYOUT SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING FOR HORIZONTAL AND VERTICAL CONTROL, DETAILS AND METHODS OF
- CONSTRUCTION. WILDWOOD DESIGN ASSUMES NO RESPONSIBILITY FOR CONFLICTS, ENGINEERING OR INSTALLATION THAT IS BEYOND OUR CONTROL 4. WALLS AND SITE FEATURES SHOWN ON THESE PLANS ARE SCHEMATIC. FIELD VERIFY TO ACTUAL PROPERTY LINES, GRADING, UNDERGROUND CONFLICTS OR EXISTING CONDITIONS THAT MAY REQUIRE ADJUSTMENT OR INTERPRETATION TO PLAN AND DETAILS PROVIDED. WILDWOOD DESIGN ASSUMES NO RESPONSIBILITY FOR CONFLICTS THAT ARE NOT ADDRESSED IN ADVANCE OR BEYOND OUR
- CONTRACTUAL AGREEMENT FOR FIELD INSPECTION. 5. REFER TO ENGINEERING PLANS FOR CONSTRUCTION AND GRADING CONSIDERATIONS OF THE SITE. CROSS REFERENCE WORK THAT MAY IMPACT IMPROVEMENTS SHOWN ON THESE DOCUMENTS
- 6. ALL CONSTRUCTION MUST CONFORM TO 1997 UNIFORM BUILDING CODE (UBC), COUNTY AND LOCAL 21
- REFER TO ENGINEERING AND RESPECTIVE CITY FOR SPECIFIC GUIDELINES. 8. PROVIDE SOIL TEST OF JOB SITE PRIOR TO BEGINNING WORK TO ANALYZE COMPACTION
- POSSIBLE CONTAMINANTS, STABILITY OF SOILS AND COMPOSITION. 9. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS BEFORE CONSTRUCTION. 10. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND/OR FEDERAL LAWS
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONSTRUCTION ELEMENTS WITH OTHER TRADES PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH THE LOCATIONS OF UNDERGROUND SERVICES AND IMPROVEMENTS
- 12. THE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY DETERMINE THE CONDITIONS UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE FOR FAILURE OF BIDDERS TO ASCERTAIN ALL ASPECTS OF THE PROJECT. 13. PRIOR TO DIGGING, EXCAYATION, OR UNDERGROUND WORK, CONTRACTOR SHALL LOCATE
- AND PROTECT EXISTING UTILITIES AND SUBSURFACE SYSTEMS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIR AND EXPENSES INCURRED TO UTILITIES THAT BECOME DAMAGED AS A RESULT OF HIS WORK.
- 14. CONTRACTOR SHALL INSPECT WITH OWNER'S REPRESENTATIVE ALL PAYEMENT SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE TO BE RE-INSPECTED DURING FINAL WALK THROUGH ANY DAMAGED AREAS TO BE REPAIRED AT CONTRACTOR'S EXPENSE

- 15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE QUANTITIES AND MATERIALS REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH SYMBOLS SHOWN ON PLANS. QUANTITIES INDICATED ARE FOR REFERENCE ONLY
- CONDITIONS PRIOR TO INITIATING WORK, NOTIFY OWNER'S REPRESENTATIVE 16. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GRADES AS ESTABLISHED BY THE PROJECT ENGINEER. RUNOFF AND DRAINAGE FLOWS SHALL NOT BE ALTERED
 - 17. THE CONTRACTOR WILL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIALS, EMPLOYEE AND SUBCONTRACTOR SUPERVISION FOR IT'S PORTION OF THE PROJECT TO IMPLEMENT PLANS AND SPECIFICATIONS.
 - 18. THE CONTRACTOR ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK AND RE-RESPONSIBILITY FOR LOSS AND EXPENSE RESULTING FROM ON-SITE INJURY

19. THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION

- SCHEDULING, COORDINATION AND MANAGEMENT OF SUBCONTRACTORS 20. THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISK OF INJURY. PROVIDE WARNING SIGNS, LIGHTS, BARRICADES, RAILINGS, FLAGMEN OR OTHER NECESSARY SAFEGUARD.
- WILDWOOD DESIGN SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION BY CONTRACTOR OR SUBCONTRACTORS.
- SIGHT DISTANCE TRIANGLES SHOWN ON THESE PLANS (SDT) ARE FOR REFERENCE ONLY. 22. ALL CONTRACTS SHALL BE WRITTEN DIRECTLY BETWEEN CONTRACTOR AND OWNER'S REPRESENTATIVE. SPECIFIC TERMS OF WORK SHALL BE NEGOTIATED DIRECTLY BETWEEN PARTIES. WILDWOOD DESIGN SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES IN CONTRACT, PAYMENT AMOUNTS, SCHEDULE OR QUALITY OF WORKMANSHIP.
 - 23. WILDWOOD DESIGN HAS NOT AGREED TO REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLES SUBMITTED BY THE CONTRACTOR FOR THE SOLE PURPOSE OF COMPLIANCE WITH THE DESIGN CONCEPT AND WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, WILDWOOD DESIGN SHALL BE ENTITLED TO ADDITIONAL COMPENSATION IF THE OWNER OR CONTRACTOR REQUESTS DESIGN MODIFICATIONS. WILDWOOD DESIGN ASSUMES NO LIABILITY FOR CHANGES THAT HAVE NOT BEEN REVIEWED AND AUTHORIZED IN WRITING.
 - 24. WHERE TWO OR MORE REQUIREMENTS CREATE OVERLAPPING CONDITIONS, CONFLICTING MINIMUMS OR LEVELS OF QUALITY, THE MORE STRINGENT REQUIREMENTS OR THE HIGHER QUALITY LEVEL IS INTENDED, AND WILL BE ENFORCED. CONFLICTING REQUIREMENTS SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE WHOSE INTERPRETATION WILL BE FINAL

LANDSCAPE CONTRACTOR IS TO FULLY ACQUAINT HIMSELF WITH ALL DRAWINGS BEFORE BEGINNING CONSTRUCTION, WILDWOOD DESIGN STUDIO IS NOT RESPONSIBLE FOR FIELD CHANGES AND/OR ANY DISCREPANCIES IN THE CONSTRUCTION OF THESE LANDSCAPE IMPROVEMENTS.

Project Information

OWNER

Morgan Taylor Homes LLC. 10045 E. Dynamite Blvd., Suite F200 Scottsdale, AZ, 85262

Contact: Steve Cross (602) 692-0492

stevecross@morgantaylorhomes.com

LANDSCAPE ARCHITECT

Wildwood Design Studio 15207 Staghorn Drive Fountain Hills, Arizona 85268

Contact: Richard Schubert (480) 816-5529 (480) 837-5104 FAX wildwooddesign@cox.net

CIVIL ENGINEER

Cardno Inc. 19621 N. 23rd Drive, Suite 150 Phoenix, AZ. 85027 Contact: Daniel Pottinger (602) 977-8075

daniel.pottinger@ cardno.com



APPROVAL BLOCK TOWN OF QUEEN CREEK

APPROVED BY TOWN ENGINEER

APPROVED BY TOWN PLANNING ADMINISTRATOR

Parcel # 304-90-383

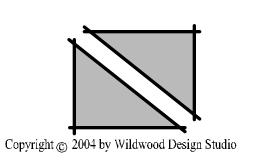
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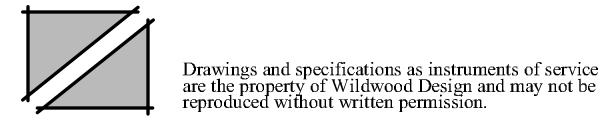
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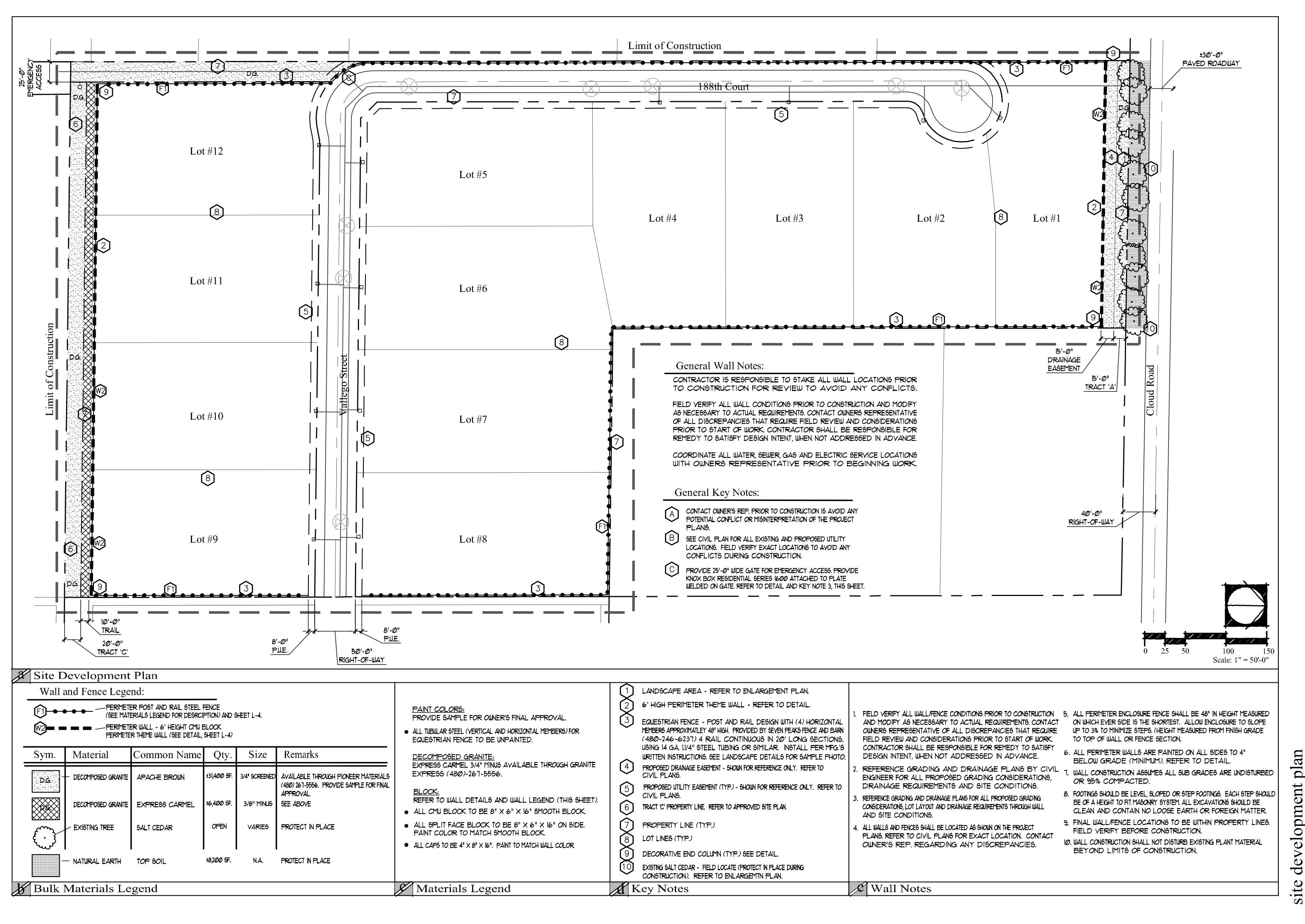
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JOB NUMBER:	1914
SHEET:	CVR

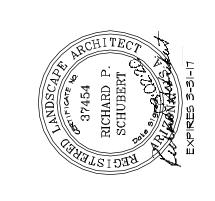
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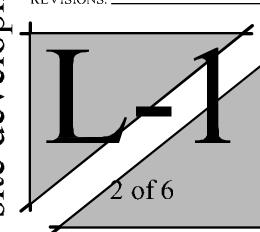


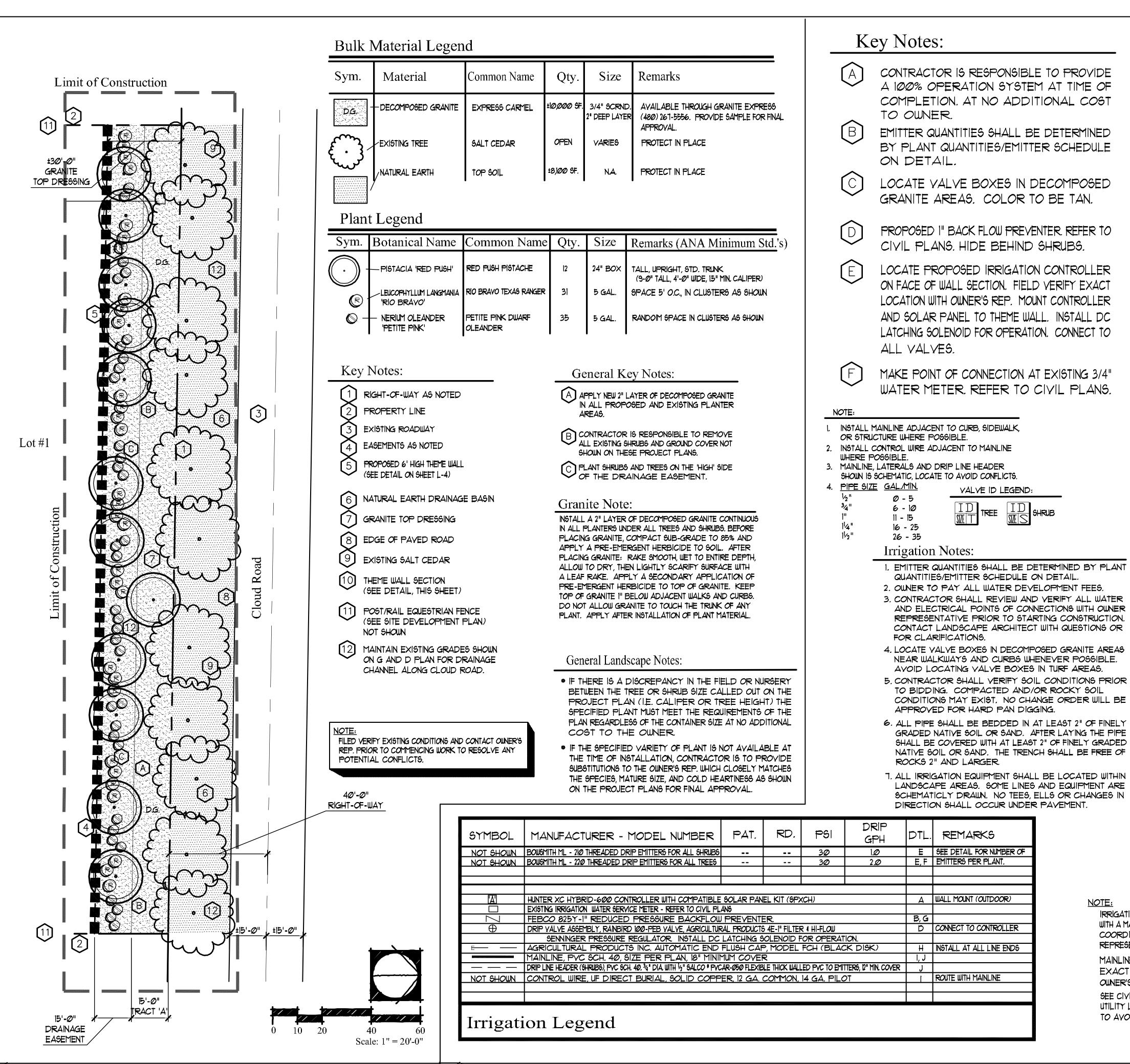
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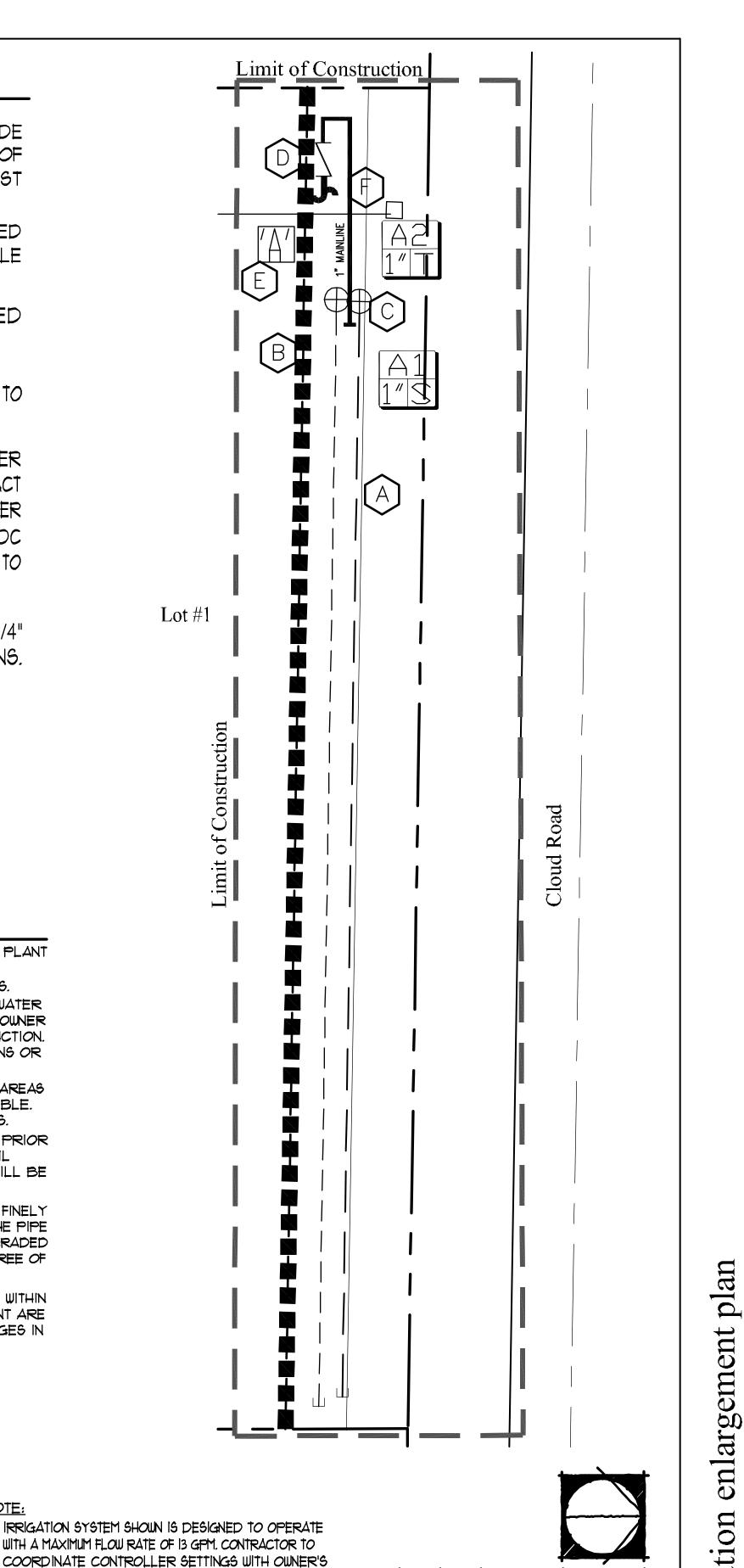
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unless they are sealed, signed and dated. PROJECT NUMBER: 1914







REPRESENTATIVE TO ALLOW FOR PROPER OPERATION.

MAINLINE SHOWN IN SCHEMATIC. FIELD VERIFY

OWNER'S REPRESENTATIVE.

EXACT LOCATION AND COORDINATE WITH

SEE CIVIL PLAN FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS. FIELD YERIFY EXACT LOCATIONS

TO AYOID ANY CONFLICTS DURING CONSTRUCTION.

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Scale: 1'' = 20'-0''

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PROJECT NUMBER: 1914

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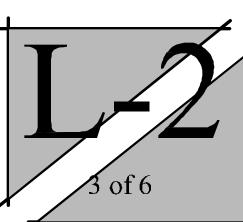
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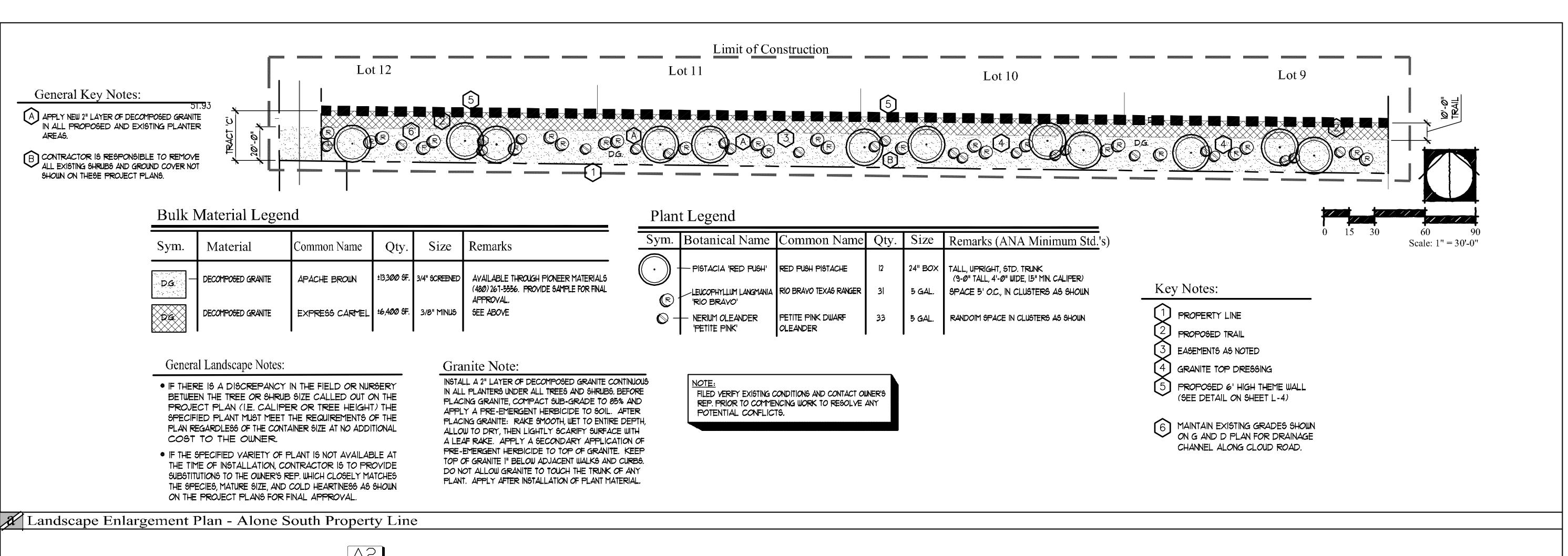
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Irrigation Enlargement Plan

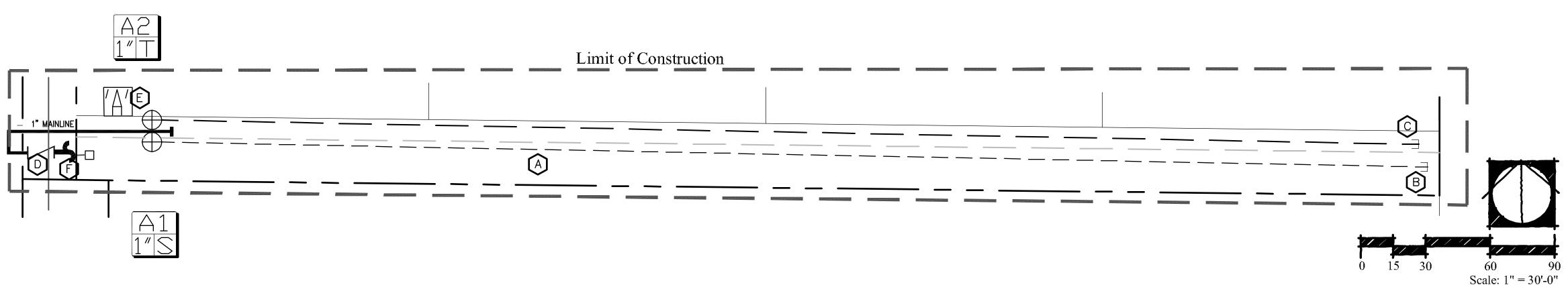
Landscape Enlargement Plan



IRRIGATION SYSTEM SHOWN IS DESIGNED TO OPERATE WITH A MAXIMUM FLOW RATE OF 13 GPM. CONTRACTOR TO COORDINATE CONTROLLER SETTINGS WITH OWNER'S REPRESENTATIVE TO ALLOW FOR PROPER OPERATION.

MAINLINE SHOWN IN SCHEMATIC. FIELD VERIFY EXACT LOCATION AND COORDINATE WITH OWNER'S REPRESENTATIVE.

SEE CIVIL PLAN FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS. FIELD VERIFY EXACT LOCATIONS TO AYOID ANY CONFLICTS DURING CONSTRUCTION.



SYMBOL	MANUFACTURER - MODEL NUMBER	PAT.	RD.	PSI	DRIP GPH	DTL.	REMARKS
NOT SHOWN	BOWSMITH ML - 210 THREADED DRIP EMITTERS FOR ALL SHRUBS			3Ø	1.0	E	SEE DETAIL FOR NUMBER OF
NOT SHOWN	BOWSMITH ML - 220 THREADED DRIP EMITTERS FOR ALL TREES			3Ø	2.0	E, F	EMITTERS PER PLANT.
[Δ]	HUNTER XC HYBRID 1200-55 CONTROLLER WITH COMPATIBLE SOLAR PAR	* *	AND XCHS PO	ALE AND MOUNTI	NG BRACKET	Д	WALL MOUNT (OUTDOOR)
	EXISTING IRRIGATION WATER SERVICE METER - REFER TO CIVIL PLANS						
	FEBCO 825Y-1" REDUCED PRESSURE BACKFLOU					B, G	
\oplus	DRIP VALVE ASSEMBLY, RAINBIRD 1000-PEB VALVE, AGRICULTURAL PRODUCTS 4E-1" FILTER \$ HI-FLOW					D	CONNECT TO CONTROLLER
	SENNINGER PRESSURE REGULATOR. INSTALL DC LATCHING SOLENOID FOR OPERATION.						
	AGRICULTURAL PRODUCTS INC. AUTOMATIC END FLUSH CAP, MODEL FCH (BLACK DISK)					H	INSTALL AT ALL LINE ENDS
	MAINLINE, PVC SCH. 40, SIZE PER PLAN, 18" MINIMUM COVER					I, J	
	DRIP LINE HEADER (SHRUBS), PVC SCH. 40. 3/4" DIA. WITH 1/2" SALCO * PVCAR-050 FLEXIBLE THICK WALLED PVC TO EMITTERS, 12" MIN. COVER J						
NOT SHOWN	CONTROL WIRE, UF DIRECT BURIAL, SOLID COPF				•	Ĭ	ROUTE WITH MAINLINE
T • 1	ion Legend						

Irrigation Notes:

- 1. EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
- 2. OWNER TO PAY ALL WATER DEVELOPMENT FEES.
- 3. CONTRACTOR SHALL REVIEW AND VERIFY ALL WATER AND ELECTRICAL POINTS OF CONNECTIONS WITH OWNER REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION. CONTACT LANDSCAPE ARCHITECT WITH QUESTIONS OR FOR CLARIFICATIONS.
- 4. LOCATE YALVE BOXES IN DECOMPOSED GRANITE AREAS NEAR WALKWAYS AND CURBS WHENEVER POSSIBLE. AYOID LOCATING YALVE BOXES IN TURF AREAS.
- 5. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO BIDDING. COMPACTED AND/OR ROCKY SOIL CONDITIONS MAY EXIST. NO CHANGE ORDER WILL BE APPROVED FOR HARD PAN DIGGING.
- 6. ALL PIPE SHALL BE BEDDED IN AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. AFTER LAYING THE PIPE SHALL BE COVERED WITH AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. THE TRENCH SHALL BE FREE OF ROCKS 2" AND LARGER.
- 7. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN LANDSCAPE AREAS. SOME LINES AND EQUIPMENT ARE SCHEMATICLY DRAWN. NO TEES, ELLS OR CHANGES IN DIRECTION SHALL OCCUR UNDER PAYEMENT.

Key Notes:

- CONTRACTOR IS RESPONSIBLE TO PROVIDE A 100% OPERATION SYSTEM AT TIME OF COMPLETION. AT NO ADDITIONAL COST TO OWNER.
- EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
- LOCATE VALVE BOXES IN DECOMPOSED GRANITE AREAS. COLOR TO BE TAN.
- PROPOSED I" BACK FLOW PREVENTER. REFER TO CIVIL PLANS. HIDE BEHIND SHRUBS.
- LOCATE PROPOSED IRRIGATION CONTROLLER ON MOUNTING POLE. FIELD VERIFY EXACT LOCATION WITH OWNER'S REP. INSTALL SOLAR PANEL WITH DC LATCHING SOLENOID FOR OPERATION. CONNECT TO ALL VALVES.
- MAKE POINT OF CONNECTION AT EXISTING 3/4" WATER METER. REFER TO CIVIL PLANS.

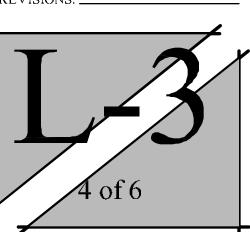
NOTE:

- 1. INSTALL MAINLINE ADJACENT TO CURB, SIDEWALK, OR STRUCTURE WHERE POSSIBLE.
- 2. INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
- 3. MAINLINE, LATERALS AND DRIP LINE HEADER SHOWN IS SCHEMATIC, LOCATE TO AVOID CONFLICTS. 4. PIPE SIZE GAL.MIN.
- 6 10 11 - 15 16 - 25 26 - 35

ALVE ID LEGEND:				
TREE	ID SIES SHRUB			

plan sca and

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Irrigation Enlargement Plan - Along South Property Line

Design Studio Wildwood

evelopment Street

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CURB OR ROADWAY FINISH GRADE OF GRANITE TO BE 1" BELOW TOP OF ADJACENT HARDSCAPE. SECOND APPLICATION OF PRE-EMERGENT TO BE APPLIED AFTER ALL GRANITE WORK, RAKED SMOOTH & UNIFORM. -2" DEEP DECOMPOSED GRANITE (SEE LEGEND FOR SIZE AND COLOR). -APPLY PRE-EMERGENT TO SUBGRADE. SUBGRADE TO BE APPROVED

· EACH APPLICATION OF SURFLAN TO BE APPLIED AT 2 QUARTS PER ACRE, OR AS RECOMMENDED BY MANUFACTURER. CONTRACTOR TO YERIFY EACH APPLICATION WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. VERIFY GRANITE COLOR/ SIZE WITH OWNER OR ARCHITECT PRIOR TO DELIVERY. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY YARIATIONS.

Decomposed Granite Detail

LANDSCAPE AREAS ARE DEFINED AS ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION. SLIGHT VARIATIONS MAY EXIST BETWEEN ON-SITE CONDITIONS AND DRAWINGS. CONTRACTOR SHALL ADJUST PLANTING LAYOUT AS REQUIRED TO MAINTAIN PLANT QUANTITIES AND DESIGN INTENT.

THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS. 3. LOCATE PLANTS AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS,

AND LIGHT FIXTURES.

4. ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS. THE LANDSCAPE ARCHITECT OR

HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE.

5. STAKE ALL NURSERY GROWN BOX TREES OUTSIDE ROOTBALL, SEE TREE STAKING DETAIL. TREES SHALL BE A MINIMUM OF 2' FROM CURB OR SIDEWALK, SHRUBS SHALL BE IS" OR MORE AWAY FROM CURBS OR SIDEWALKS. REFER TO PLANS AND MAINTAIN SHRUB MASSING AS

SHOWN AWAY FROM HARDSCAPE 6. PLANT LOCATIONS SHALL BE FLAGGED OR STAKED FOR REVIEW PRIOR TO STARTING IRRIGATION OR PLANTING EXCAVATION. MINOR RELOCATION'S SHALL BE MADE AT THIS TIME TO AVOID UNSUITABLE CONDITIONS, AT NO

GRANULAR TOPDRESSING SHALL EXTEND UNDER SHRUBS AND RAKED UNIFORMLY ALONG CURBS, SIDEWALKS AND WALLS. 8. LANDSCAPE CONTRACTOR TO CONTACT OWNER'S REPRESENTATIVE BEFORE EACH

APPLICATION OF PRE-EMERGENT FOR VERIFICATION 9. COORDINATE NECESSARY EXCAYATION WITH OWNERS REPRESENTATIVE. 10. GRADE NOTED ON LANDSCAPE PLAN TO BE FIELD VERIFIED/APPROVED BY LANDSCAPE ARCHITECT AND MODIFIED AS NECESSARY PRIOR TO ANY CONSTRUCTION.

REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS. 12. REFER TO GENERAL CONSTRUCTION NOTES BELOW FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION.

SIDE

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOUR (4) DAYS PRIOR TO COMPLETING IMPROVEMENTS IN ACCORDANCE WITH PLANS AND SPECIFICATIONS TO REQUEST AN INSPECTION FOR SUBSTANTIAL COMPLETION. LANDSCAPE ARCHITECT SHALL PREPARE PUNCHLIST OF ALL WORK REQUIRING CORRECTION, MAINTENANCE PERIOD TO BEGIN WHEN ALL PUNCHLIST

ITEMS ARE CORRECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE AREA FOR 30 CALENDAR DAYS OR AS SPECIFIED BY CONTRACT. MAINTENANCE INCLUDES MOWING (WEEKLY), ADJUSTING WATER SCHEDULES, WEEDING, REMOVING DEBRIS FROM LANDSCAPE, RAKING, SPRAYING, FERTILIZING, TRIMMING, EDGING OR OTHER OPERATIONS ESSENTIAL FOR CARE, UPKEEP AND PROJECT APPEARANCE. CONTRACTOR SHALL SAND "INFILL", ROLL AND WATER SETTLE ALL LOW SPOTS AS REQUIRED TO ACHIEVE UNIFORM GRADE WITHIN TURF AREAS.

. CONTRACTOR SHALL NOTIFY ARCHITECT A MINIMUM OF ONE (1) WEEK PRIOR TO MAINTENANCE PERIOD END TO RESOLVE ANY OUTSTANDING ISSUES. A FINAL INSPECTION SHALL OCCUR TO REVIEW THE PROJECT AND ISSUE A FINAL

ACCEPTANCE. (PROVIDE 3 DAYS NOTICE). 4. PLANTS NOT IN HEALTHY CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER. NEW PLANT MATERIAL SHALL RECEIVE THE SAME WARRANTY. 5. PROVIDE ONE (1) YEAR WRITTEN GUARANTEE TO WARRANTY IRRIGATION SYSTEM

AND ALL TREES FROM ACCEPTANCE DATE. 6. IN ORDER TO PROTECT HIS GUARANTEE, LANDSCAPE CONTRACTOR SHALL GIVE TYPEWRITTEN MAINTENANCE INSTRUCTIONS FOR THE YEARLY CARE AND FEEDING

OF THE LANDSCAPE. 1. AS BUILT DRAWINGS SHALL ALSO BE PREPARED BY CONTRACTOR FOR ACTUAL IRRIGATION LAYOUT AND SUBMITTED TO OWNER AT FINAL WALK-THROUGH, ALSO INCLUDED IS A LAMINATED CONTROLLER SCHEDULE MOUNTED INSIDE THE BOX WITH A COPY MAILED TO THE

Maintenance and Guarantee

Not Used

- 6 "x4" x16 "5MOOTH CAP (PAINT TO MATCH WALL) - REFER TO SITE DEVELOPEMENT PLAN FOR WALL MATERIALS, COLORS AND FINISHES. -6" CMU BLOCK BOND BEAM W/(1) *4 CONT. $-6" \times 8" \times 16"$ SPLIT FACE BLOCK (PAINT TO MATCH WALL). I COURSES. BOTH SIDES -CMU BLOCK WITH (1) *4 AT 32" O.C. YERTICAL, DECORATIVE GROUT SOLID. ALTERNATE BENDS IN COLUMN AT FOOTING. PRIME AND PAINT (2 COATS) ENDS -DUROWALL AT 16" O.C. -PAINT ALL EXPOSED SIDES. -CONCRETE FOOTING WITH (2) *4 CONTINUOUS AND (1) #4 AT 32" TRANSVERSE. MAINTAIN 3" MIN. CLEARANCE UNDERNEATH REBAR IN FOOTING.

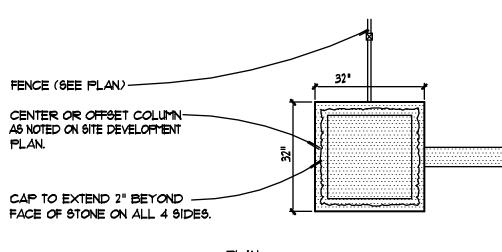
-95% COMPACTED SUBGRADE SIDE REFER TO ENGINEERING PLANS FOR FINAL GRADING AND DRAINAGE PLAN. WALL MAY SLOPE WITH GRADE UP TO 3%

TO MINIMIZE STEPS IN TOP OF WALL

Landscape Notes

-4" THICK PRE-CAST CONCRETE CAP. STUCCO AND PAINT. -COLUMN AND WALL HEIGHT VARY. COORDINATE WITH CIVIL PLAN AND -8" BOND BEAM WITH (1) *4 CONTINUOUS -STONE VENEER ALL EXPOSED SIDES. COORDINATE VENEER WITH DEVELOPER AND ARCH. PLANS FOR BUILDING. -DURO WALL @ 16" O.C. VERTICAL -8" CMU BLOCK WITH (1) *4 EACH CORNER VERTICAL, GROUT SOLID.

-95% COMPACTED SUBGRADE CONCRETE FOOTING WITH (1) *4



Perimeter Theme Wall Detail

ELEVATION

landscape specifications

Part 1 - DEFINITIONS

henceforth referred to as Landscape Architect. Contractor- That person or organization with whom the Lan Sub-Contractor- Any person or organization other than employee of the Contractor, supplying under agreement with the Contractor for labor and of materials in connection with thi Work- Labor and/ or materials; for the complete contract of work.

Part 2- SITE LOCATION

2.01 Bidders on this Project are to be licensed under the latest appropria provisions of the Arizona Revised Statues and will agree to conform with the laws of the State of Arizona as they apply to the contract being bid.

The contractor is to, at his own expense, obtain all permits, certificat and licenses required by law for the execution of work. The Contractor shall also comply with all State, County or Local laws and regulation relating to the performance of his work.

The Contractor shall at all times during the contracted work hav insurance with approved insurance carries not less than the following

> Workman's compensation- as required by State and Local laws Employer's liability insurance of \$1,000,000 Comprehensive general liability 1- Bodily injury- \$500,000 II- Property damage liability- \$500,000 Comprehensive auto insurance liability

II- Property damage liability- \$500,000 The contract will be awarded to the best qualified responsible bidde complying with the aforementioned instructions. The Owner, however reserves the right to accept or reject any or all bids of any grou judged to not be qualified. Bids and the bid opening will be confidentia

Part 2- CODES, PERMITS AND INSURANCE

I- Bodily injury-\$500,000

The Contractor is to visit the site of the project and shall fully acquain himself with the conditions as they exist, so that he may fully understand the facility difficulties and restrictions related to the

Questions, omissions or discrepancies in the plans or specifications will be answered in writing if a written request is submitted to the Landscape Architect (7) days prior to the bid opening. Any interpretation or correction of the proposed documents will be made only by addendum and will be furnished to all plan holders. Receipt of any addendum is to b acknowledged. Interpretation of the plans and specifications will be made by the Landscape Architect only. Any addenda or bulletins issued during the time of bidding forming a part of the documents issued to the bidde for the preparation of his bid are to be covered in the bid and will be part

The Contractor shall assume full responsibility for the safekeeping of all

materials, equipment and for the protection on all unfinished work unti-final acceptance by the Owner. If any of the work is damaged or destroyed from any cause, the Contractor is to replace it at his exper The Contractor shall indemnify the Owner against any claims filed fo nonpayment of his bills for subcontractors, labor and materials used in connection with contract of work.

The contractor shall fully coordinate his work with the General Contractor, Owner's Representative and the Landscape Architecture

Part 4- REMOVAL OF DEFECTIVE OR UNAUTHORIZED WORK

4.01 All work that has been rejected because of noncompliance to plans and specifications shall be removed and or replaced in an acceptable manner by the Contractor at his own expense and no compensation will be provided for removal or replacen

Part 5- PAYMENT AND ACCEPTANCE

5.01 Percentage payments shall be made monthly to the contractor, base upon payment requests received from the Contractor and approved by the Owner's Representative and Landscape Architect.. Ten percent (10%) of the cost of completed work will be retained by the Owner until final completion and final ompletion and final acceptance of all work covered by the Contra Payment of the ten percent (10%) retention shall be made 30 days after the written final acceptance of t completed contract work, upon receipt of a payment request from the Contractor or upon the approved completion of the specified maintenance period he Contractor is to notify the Landscape Architect upon completion

the contract 48 hours prior to requested inspection

The Contractor shall be aware of the nuisance that excessive blowing dust, dirt or refuse can cause to adjacent properties and shall instite option of the Owner's Representative or Landscape Architect.

rt 7- GUARANTEE OF WORK

Except as specifically provided otherwise, the Contractor shall guarantee all work against defective material and workmanship for a period of one year from the date of the final acceptance of the contract work

Defective work requiring replacement and/or repair is to be done immediately by the Contractor at his own expense. In case of failure of the contractor to make such changes or replacements, the Owner shall have the privilege of making such corrections. The Owner will withhold from any money due the Contractor, under his contract, an amount equal to the balance due the Contractor under this contract shall pay the

Replacement and/ or repair action by the Owner may take place within (5) lays after written notice by the Owner to the Contractor, when no action has been shown by the Contractor.

It is mutually agreed between the parties of the Contract, that no certificate given or payments made (except the final certificate of final payment) will be indicative of the performance of the Contract and no payment shall be construed to be an acceptance of any improper work or

art 9- OWNER'S RIGHT TO TERMINATE CONTRACT

If the Contractor should repeatedly refuse or fail to comply to plans and specification or if he should fail to make prompt payment to subcontractors for labor and/or materials, or persistently disregard laws rdinances or the instructions of the Landscape Architect or be adjudged to be bankrupted, then the Owner may without prejudice, and after giving the contractor and his surety (if any) seven days written notice, terminate the employment of the Contractor and take possession of the premises of all materials thereon and finish the work by whatever he may deem necessary. In such case, the Contractor will not be entitled to receive any further payment until work is finished. If the unpaid balance of the contract price exceeds the expense of finishing the work including ompensation for additional engineering, managerial and administration expenses, such expenses are to be paid to the Contractor. If expenses exceed unpaid balance, the Contractor will pay the difference to

All deductions or additions will be made through a change order issued by the Landscape Architect or Owner's Representative. Changes made without change orders are not considered part of the Contract and

special conditions

.01 All provisions of GENERAL Conditions apply to this section.

Part 3- CONTRACTORS RESPONSIBILITY

Contract work will be performed at 188TH STREET AND CLOUD ROAD QUUEN CREEK, AZ.

art 3- EXAMINATION OF PREMISES

The Contractor shall visit the site of the project and shall fully acquaint timself with all conditions, so that he may fully understand the facility and all difficulties himself with all available information concerning these conditions will not relieve him from the responsibility for estimating properly the difficulty or cost of successfully performing the

Bidders shall also thoroughly examine and be familiar with the working drawings, specifications and other contract documents. The failure of the Contractor to obtain or examine any addenda to the proposed contract documents or to visit the site and familiarize himself with conditions existing, will in no way relieve him from any obligation with respect to his

The Contractor shall assume full responsibility for the safekeeping of all By submitting a proposal, the Contractor agrees that he has examined the site, working drawings, specifications and other contract documents, and accepts, without recourse, all conditions and the proposed contract

4 ALLOW FOR SPECIFIED DEPTH

OFFSET WALL HEIGHT AT COLUMN-

DECORATIVE COLUMN WITH STONE-

(FENCE OR WALL SECTIONS

BEYOND. BOTH SIDES

Decorative End Column Detail

- SEE PLAN)

YENEER ALL EXPOSED SIDES.

WHENEYER NECESSARY.

OF DECOMPOSED GRANITE.

The contractor is to provide enclosures, ditches or drains to protect istallations and improvements within the working area subject to damage by weather conditions and shall repair and/or replace any

Any damage incurred to existing structures or installations by the Contractor or Sub-Contractor will be replaced and/or repaired to the original condition at the Contractor's expense to the approval of the

Part 4- PRECAUTION

Periodic site inspection will be made by the Landscape Architect to determine quality and compliance for work with contract documents Contractor shall give the Landscape Architect 24 hour notice for a required inspection. The Landscape Architect will not provide

Inspection of work for compliance with City and County codes and standards shall be by the City and County Inspectors

The Contractor, after final acceptance by the Owner, shall provide 30 days naintenance. Maintenance shall consist of all operations necessary of required to maintain the project. The Contractor retention shall be released to the Contractor after the 30 day maintenance period and following final

planting specifications

Part 1 - GENERAL

.01 All provisions of GENERAL and SPECIAL conditions shall apply to this Part 2- SCOPE OF WORK

The contractor is to furnish all materials, labor, and equipment for the performance of all operations necessary to complete the planting of all trees, shrubs and groundcovers.

art 3- CERTIFICATES OF INSPECTIONS All shipments and orders of plant material are to be inspected at the nursery or at the growing site by the authorized federal and state authorities. All necessary inspection certificates are to accompany the

invoice for each shipment as required by law for the necessary transportation and such certificates are to be filed with the contractor prior to acceptance of the materials.

Part 4- MATERIALS

Humus- to be approved forest humus, peat moss or other approve organic material free of stones, roots or other foreign matter. Delivery receipt showing the proper quantities of humus were delivered, will be made available to Owner's Representative or Landscape Architect upor

Staking- All stakes shall be 2"x2"x10' redwood or 2" diameter x 8' Lodge pole Pine free of knots or defects. Stakes and staking details are shown on this sheet. Wire for fastening trees to stakes is to be no. 10 gauge galvanized steel, plastic coated guy wire. Hose for eneasing wires fastening trees to stakes shall be 2ply reinforced rubber or plastic garden hose. (12" minimum length- see staking detail)

Prepared Back fill- to be composed of 3 parts native soils to 1 part of mulch, completely mixed to ensure uniformity. Native soils shall be natural, fertile soil which has the characteristics of productive soils in the vicinity. It shall not be excessively acid or alkaline, nor contain toxic substances harmful to plant growth, and free of weeds or debris of any kind. planting pits shall be flooded prior to planting to assure proper drainage. If holes do not drain refer to hardpan planting detail. Replace soil for back fill in very rocky sites.

Unless otherwise indicated all plant material furnished shall be nurse grown, well branched and properly proportioned. All plants are subject to inspection and approval by Landscape Architect before planting, where upon all planting found to be unsuitable shall be removed from the site at the

Container grown plants shall have been grown in appropriate containers for at least 3 months, but no longer than 1 year. All plants shall possess a sufficient rootball that will hold earth intact after removal of containers, but shall not be root bound. Container shall be free of noxious weeds including, Bennuda Grass.

ELEVATION

Inspection of plant materials may be required at sources prior to shipment. Contractor shall notify the Landscape Architect prior to shipment, after quantities are located. Landscape Architect or Owner's Representative will generally approve all boxed materials at source.

Part 6- REQUIRED PLANTS

The species, sizes, manner in which to be furnished and the approximat number required, are given on the plant list. Plant quantities given are for Contractors convenience only. The contractor shall furnish and install all plant material necessary to complete the planting as shown on the

Substitutions: Species of plants other than those indicated on the plant list will be considered by the Landscape Architect only when availability is imiting the quality of the specified plants. Unless otherwise specified, the cost and value of substitute plants must be approximately the same price as the plants originally specified.

Part 7- PLANTING SEASON

The planting of all trees and shrubs shall be performed during favorable weather conditions during the seasons which are normal for such work,

Part 8- OBSTRUCTIONS BELOW GROUND

Linderground obstructions are to be removed if possible, to a denth for proper planting according to the plans and specifications. if underground construction or obstructions are encountered in the excavation of planting areas, other locations for planting may be selected by the Contractor only after approved by the Landscape Architect. Prior l excavation, it shall be the Contractors responsibility to call BLUE STAKE for locations of all underground obstructions.

Part 9- PLANTING OPERATIONS

Planting locations: Prior to planting all plant locations will be temporarily marked in the field in accordance with the planting plan for approval from the Landscape Plan. Trees to be faced so that major Limbs do not obstruct pedestrian walkways.

Planting shall include the excavation and stockpiling of native soil, Planting pits shall be excavated to a volume three times the size of the rootball of the plant for all 5 gallon plants and smaller. Plants larger than 5 gallon shall be planted in a hole 3 times the width of rootball resting on native soil so rootball is slightly above finish grade. (See detail a, this sheet).

Back fill operations of planting pits shall be completed with prepared back fill. while maintaining the plumb position of the plant, soil is to be thoroughly tamped and water settled to eliminate all voids in the back fill. Fertilizer tablets to be used for all plants, refer to planting detail of specific quantities. the wells are to be graded and the planting area is to

In planting areas where plugs from flats are to be planted, humus shall be spread over the bed to a depth of 1" before any planting. upon receiving approval of the bed from the Landscape Architect, the Contractor will cultivate the soil in the bed to a depth of 4". Cultivated areas are to be dragged and/or raked to remove all debris 1" in diameter and large. Unless otherwise specified on the working drawings, plugs shall be planted in a triangulated pattern with center spacing as noted on the

Pruning: After planting, plants shall be pruned of all excessive growth as directed by the Landscape Architect. Trees are not to be trimmed of primary branches and major structur Fertilization: All plant material is to be received biweekly applications of Vitamin b-1 or an approved root stimulator at a mixture rate with water and in quantities as recommended by the manufacturer. Applications are to be made after planting and throughout the period before acceptance, as well as during the specified maintenance period after

Any soil, decomposed granite or other material dropped onto paved areas by hauling operations etc. shall be removed promptly, keeping these area clean at all times. Upon completion of planting all excess soil, stones and other debris not needed under this scope of work shall be completely removed from the site as directed by the Owner's Representative or Landscape Architect.

art 11- PLANT GUARANTEE AND REPLACEMENT

Guarantee: The contractor shall guarantee all plant material to be in vigorous, healthy condition for a minimum period of sixty (60) days from e date of final acceptance or replacement or the end of the maintenance eriod and shall guarantee to replace any plant material which proves to be not true to name, regardless of the length of time it takes to make this

2 Replacement: At any time during the maintenance period or at the end of the guarantee period, any plant required under this specification which is dead of otherwise not acceptable and not in a satisfactory growing condition in the opinion of the landscape architect shall be removed from the site and replaced with an approved plant as specified within

Part 12- MAINTENANCE

The Contractor shall maintain all trees, shrubs and groundcovers until acceptance of the completed project is made by the Owner's Representative. This maintenance shall include labor, equipment and any other material required for watering, weeding, trimming, raking, and general care to ensure the healthy growth of all plant materials.

Following final acceptance of the irrigation system, the Landscape Contractor shall make timing and flow adjustments on the irrigation system as required to properly establish and maintain the plant material through the construction period and any maintenance period after the final acceptance. During this period, the planting Contractor shall be responsible for making repairs to the system when such repair is required as a result of the maintenance operations.

decomposed granite

All provisions of GENERAL and SPECIAL conditions will apply to this

Work will include the furnishing of all labor, material, equipment and

services necessary to complete work for this section as indicated on the working drawings and as necessary to complete installation of art 3- MATERIALS

Decomposed granite shall be native, local, decomposed granite stone 1/16" in diameter to 3/4" diameter. Fines below this range shall be kept to a maximum of 30% of the total volumn. Granite is to be free of organic matter and other debris. The Contractor is to provide Landscape Architect or Owner's Representative with a sample of material for approval prior to installation. Unless otherwise specified on drawings, the olor of the granite shall be:

Chemical herbicide shall be Surf LAN pre-emergent. (or approved equal) art 4- SUBGRADE PREPARATION

The existing grade shall be fine graded and raked free of all organic matter and other debris one inch in diameter or larger. A level board not less than eight feet in length shall be used to inspect subgrade for accuracy. rt 5- DECOMPOSED GRANITE INSTALLATION

the project and the size of the areas to receive decomposed granite. Installed granite is to be dragged and/or raked to remove any Installation shall provide a compacted depth of decomposed granite as specified on the working drawings. Methods of compacting such as

rolling, water settling etc. are to be approved by the Landscape Architect.

Installation procedures for decomposed granite may vary by the scale of

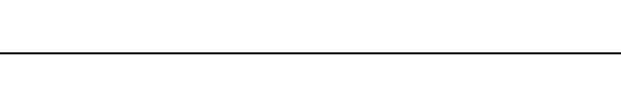
Two applications of chemical herbicide shall be applied at the rate of 2 quarts per acre for each application. Material shall be applied in solution with water recommended by the manufacturer. Apply first application of pre-emergent solution to raked weed free subgrade prior to granite installation. Final application of pre-emergent to be applied after all granite work is completely weed free and raked uniformly. Contractor to contact Landscape architect or Owner's Representative prior to each application of pre-emergent for verification. Herbicide not to be used in reas where seed mix is used.

urt 7- CLEAN UP Contractor shall remove debris and/ or waste materials from site that resulted from the work in this section. All paved surfaces are to be free or

Part 8- MAINTENANCE AND GUARANTE

Areas offgranite shall be maintained free of weeds, and other debris and

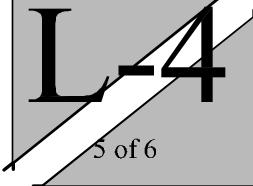
be true to granite until final acceptance and until completion of any contracted maintenance period.





Equestrian Fence Sample Photo

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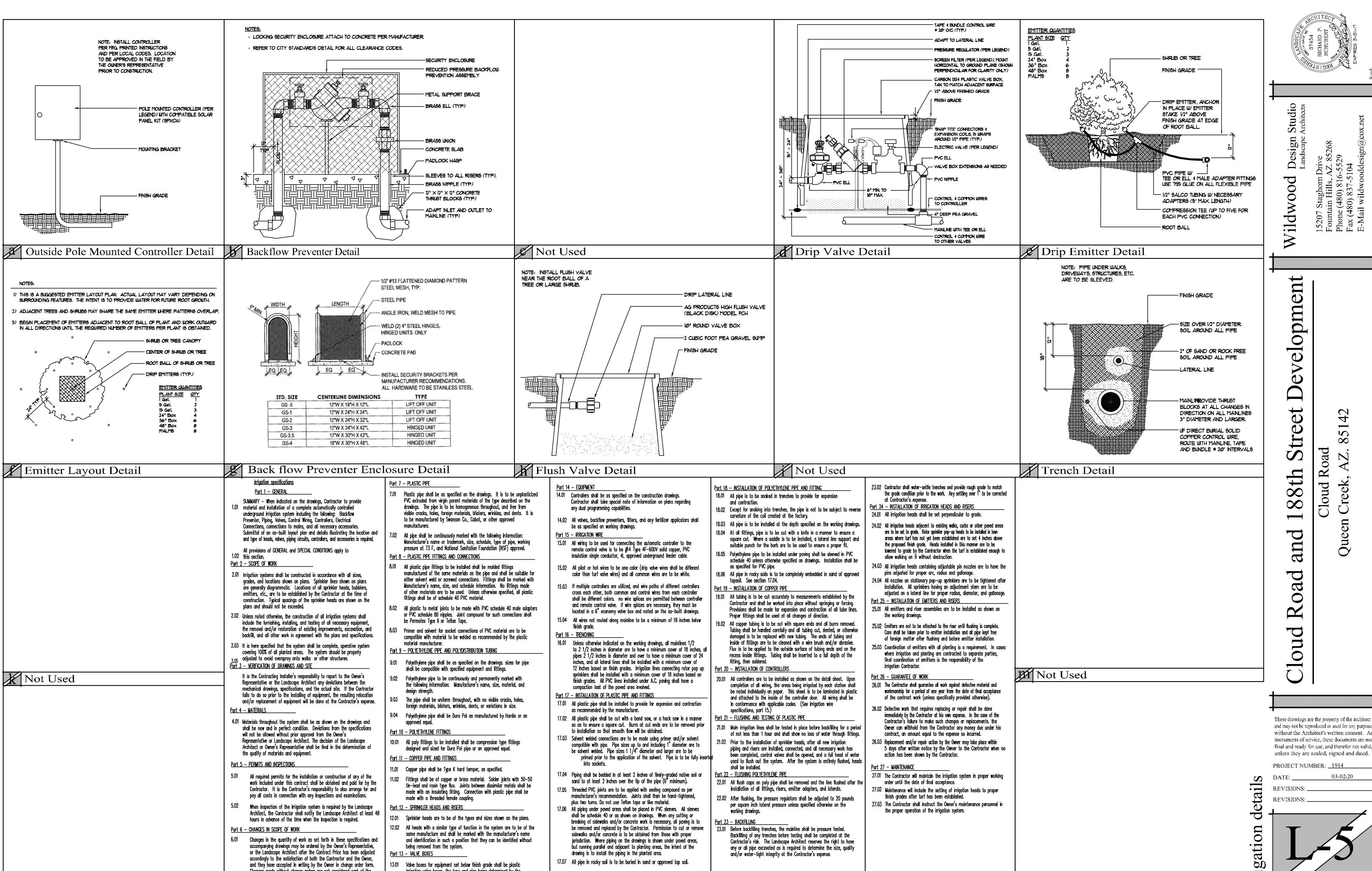
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drawing is to install the piping in the planted area.

17.07 All pipe in rocky soil is to be buried in sand or approved top soil.

and/or water—tight integrity at the Contractor's expense.

or the Landscape Architect after the Contract Price has been adjusted

accordingly to the satisfaction of both the Contractor and the Owner,

and they have accepted in writing by the Owner in change order form.

Changes made without change orders are not considered part of the

contract; thus payment will not be guaranteed.

Not Used

Part 13 - VALVE BOXES

13.01 Valve boxes for equipment set below finish grade shall be plastic

be as manufactured by Brooks or approved equal.

irrigation valve boxes, the type and size being determined by the

volume or size of the equipment to be enclosed. Valve boxes shall

loud

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