



Requesting Department:  
Development Services

**TO: Planning and Zoning Commission**

**THRU: Brett Burningham, Development Services Director**

**FROM: Steven Ester, Planner I**

**RE: Discussion and Possible Approval of P19-0147 “Cloud Road and 188<sup>th</sup> Street Preliminary Plat”, a request by Tyler Tussey for approval of a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres, located at the southeast corner of Cloud Road and 188th Street.**

**DATE: March 11, 2020**

**STAFF RECOMMENDATION**

Staff recommends approval of P19-0147 “Cloud Road and 188<sup>th</sup> Street Preliminary Plat”, subject to the Conditions of Approval outlined in this report.

**PROPOSED MOTION**

Move to approve P19-0147 “Cloud Road and 188<sup>th</sup> Street Preliminary Plat”, subject to the Conditions of Approval outlined in this report.

**RELEVANT COUNCIL GOALS**



Secure Future

**SUMMARY**

This proposal consists of a request by Tyler Tussey for approval of Preliminary Plat for a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres, located at the southeast corner of Cloud Road and 188th Street.

**HISTORY**

May 31, 1990: The Town annexed the property from Maricopa County and applied the equivalent zoning district R1-43 (1 du/ac).

## PROJECT INFORMATION

Project Name:	Cloud Road and 188 <sup>th</sup> Street Preliminary Plat
Site Location:	SEC of Cloud Road & 188 <sup>th</sup> Street
Current Zoning:	R1-43 (Rural Estate District)
General Plan Designation:	Rural (0-1 du/ac)
Surrounding Zoning:	
North	R1-43 (Rural Estate District)
South	R1-43 (Rural Estate District)
East	R1-43 (Rural Estate District)
West	R1-43 (Rural Estate District)
Gross Acreage:	15.24 acres
Net Acreage:	13.51 acres
Total Lots/Units:	12 lots
Density:	0.89 du/ac

## DISCUSSION

This proposal consists of a request by Tyler Tussey for approval of Preliminary Plat for a new 12-lot subdivision zoned R1-43 on approximately 15.24 acres, located at the southeast corner of Cloud Road and 188th Street. In total, the proposed 12-lot development amounts to a net density of 0.89 dwelling units per acre, which is consistent with the 2018 General Plan land use designation of Rural (0-1 du/ac). With a minimum lot width of 145' feet and a minimum lot size of 43,572 square feet, each proposed lot meets all dimensional standards for the R1-43 zoning district per the Zoning Ordinance.

Access to the neighborhood is provided by Vallejo Street, which connects to Sossaman Road and also serves the neighboring Saddlewood Estates Phase II subdivision to the east. There is a gated 25' emergency access proposed along the west side of lot 12 to allow an additional entrance for emergency vehicles only. Homeowners will not have access to the emergency gate entrance. Given the expected traffic for 12 new lots, a single point of access for the residents and the crash gate for emergency vehicles are sufficient.

In terms of trails, the proposed Preliminary Plat also provides a new path for connectivity in the region. Along the entire southern edge of the site, a 10-foot equestrian trail is shown. This path serves as a link between the requested development and the neighboring Saddlewood Estates Phase II subdivision to the east. All improvements for the extension of Vallejo Street westward are provided by the developer, in conformance with the area plan for the region.

The R1-43 zoning district has no open space requirement, but the proposed development provides 0.74 (4.87%) acres of open space consisting of a 30' landscape buffer along the Cloud Road frontage at the north end and a 30' landscape easement with a ten (10') foot wide equestrian trail at the southern end of the project.

## **CONDITIONS OF APPROVAL**

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. The developer shall create a Home Owners Association for the maintenance of all landscaping within all open spaces, easements, tracts, trails, collector, and arterial rights-of-way as shown on the Landscape Plans for this project.
3. The developer shall submit a clearance letter regarding archeological and cultural resources from the State Historic Preservation Office (SHPO) prior to Final Plat approval.
4. A signed agreement from the Chandler Unified School District stating the district has capacity to accommodate the request will be required prior to Final Plat approval.
5. For onsite public improvements, the Town requires cash, irrevocable letter of credit (IRLOC), bond, or a signed C of O hold agreement to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. Construction assurance shall be deposited with the Town prior to Final Plat recordation.
6. Development of this property will require an Arizona Department of Water Resources (ADWR) Certificate of Assured Water Supply (CAWS). Obtaining a CAWS may be accomplished by transferring a current CAWS, converting an existing Analysis of Assured Water Supply associated with the proposed development, or by applying for a new CAWS.
7. In conjunction with obtaining a CAWS, the development will also need to be enrolled as a member in the Central Arizona Groundwater Replenishment District ("CAGRDR") program with ADWR.

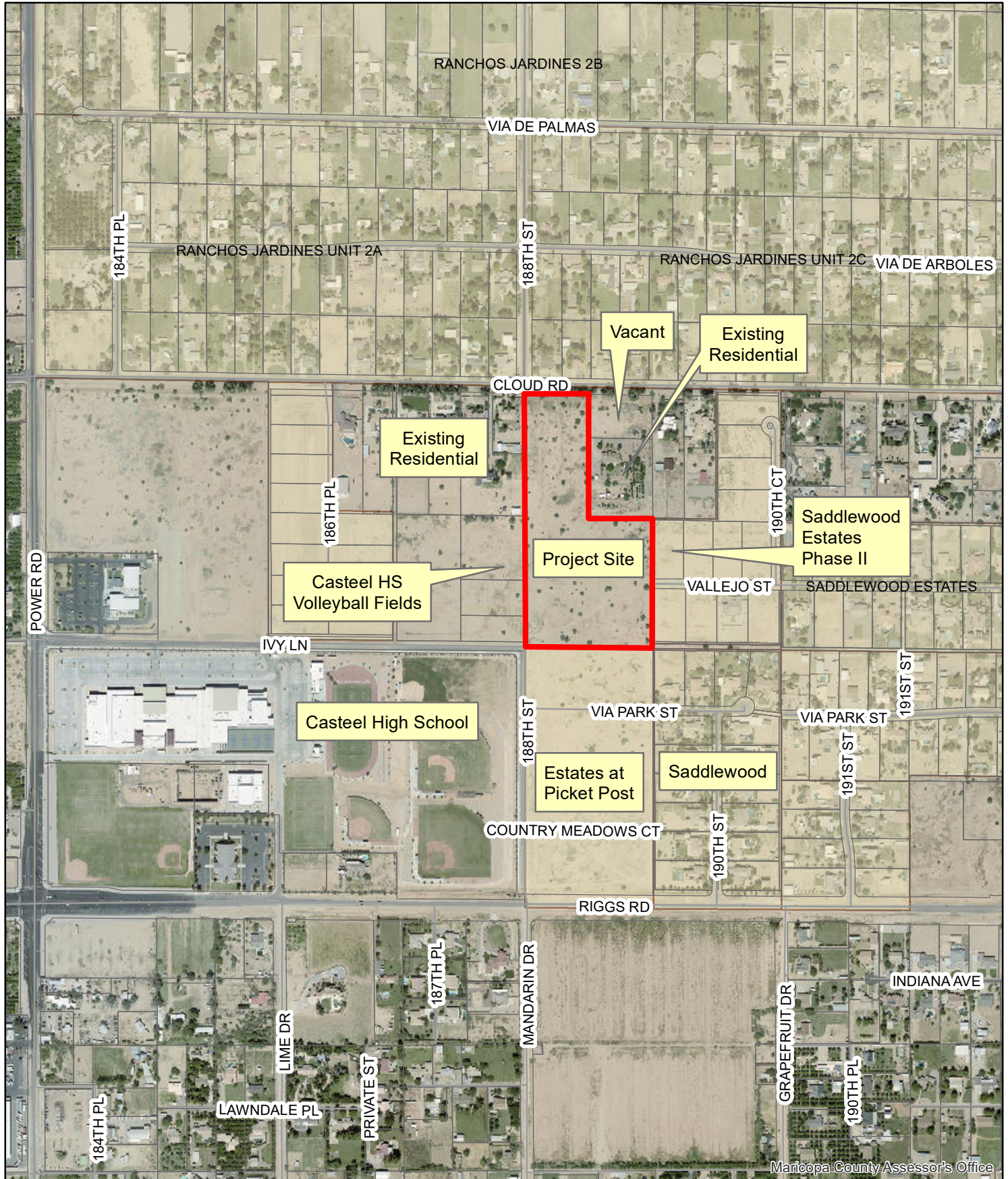
## **ATTACHMENTS**

1. Cloud Road and 188<sup>th</sup> Street Aerial Exhibit
2. Cloud Road and 188<sup>th</sup> Street General Plan Exhibit
3. Cloud Road and 188<sup>th</sup> Street Zoning Map Exhibit
4. Cloud Road and 188<sup>th</sup> Street Preliminary Plat
5. Cloud Road and 188<sup>th</sup> Street Landscape Plans

**Project Name: Cloud Road and 188th Street Preliminary Plat Aerial Exhibit**

**Case Number: P19-0147**

**Hearing Date: March 11, 2020 (Planning Commission)**

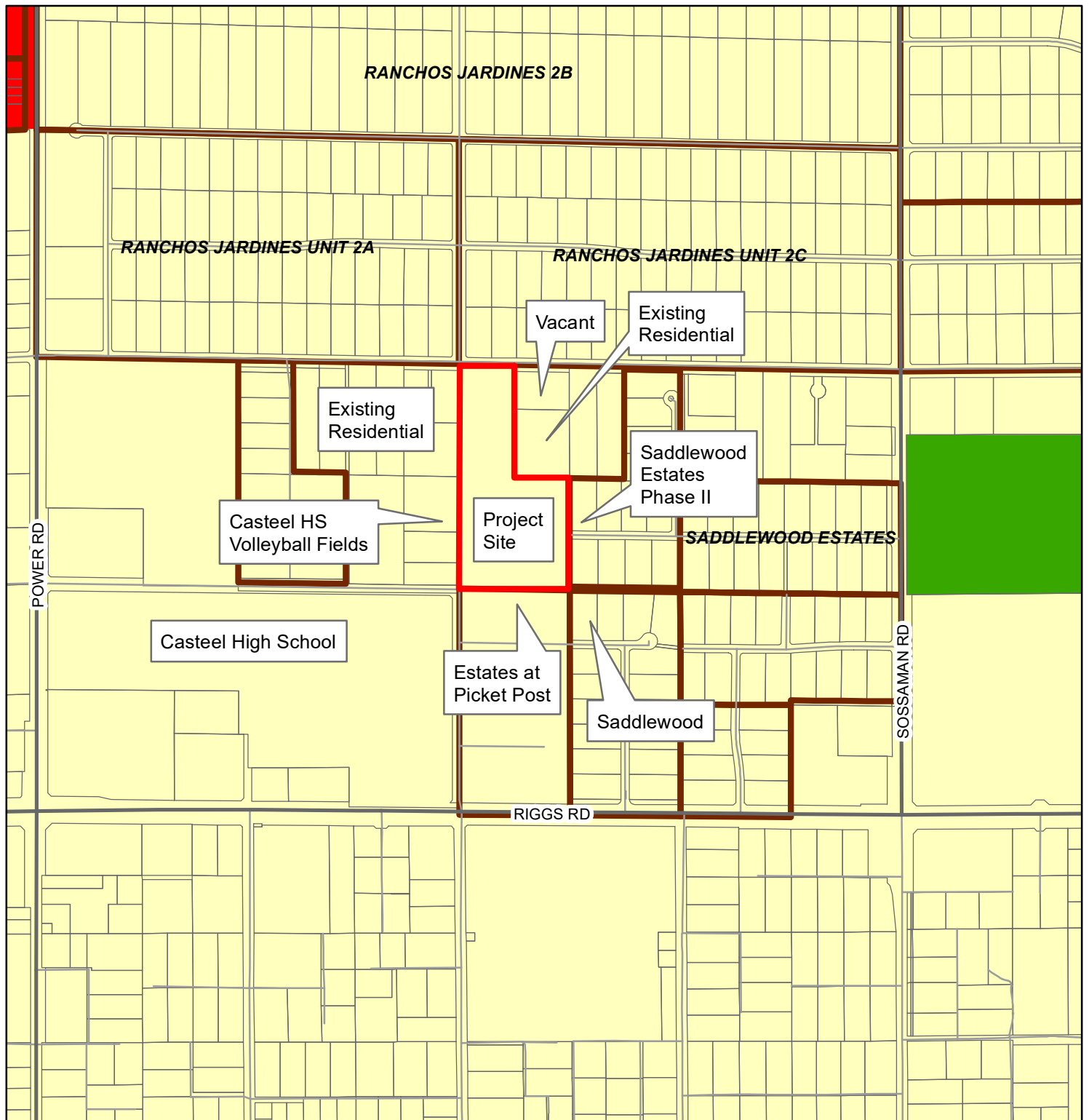


# Project Name: Cloud Road and 188th Street Preliminary Plat General Plan Exhibit

Case Number: P19-0147



Hearing Date: March 11, 2020 (Planning Commission)



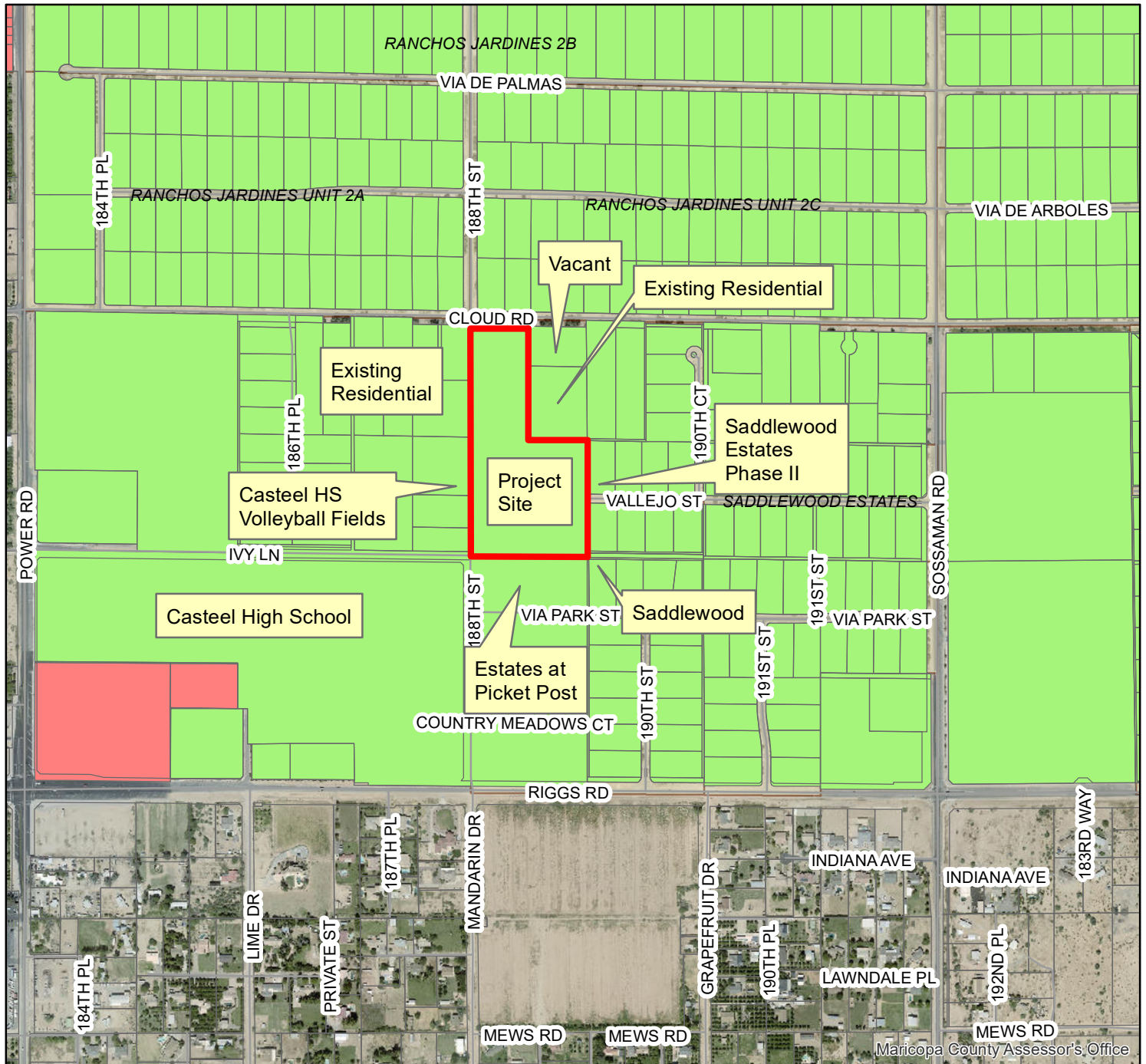
## General Plan Land Use

- |              |            |                    |                    |
|--------------|------------|--------------------|--------------------|
| Rural        | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 |                    |
| Urban        | Open Space | Special District 3 |                    |

























# Project Name: Cloud Road and 188th Street Preliminary Plat Zoning Map Exhibit

Case Numbers: P19-0147

Hearing Date: March 11, 2020 (Planning Commission)

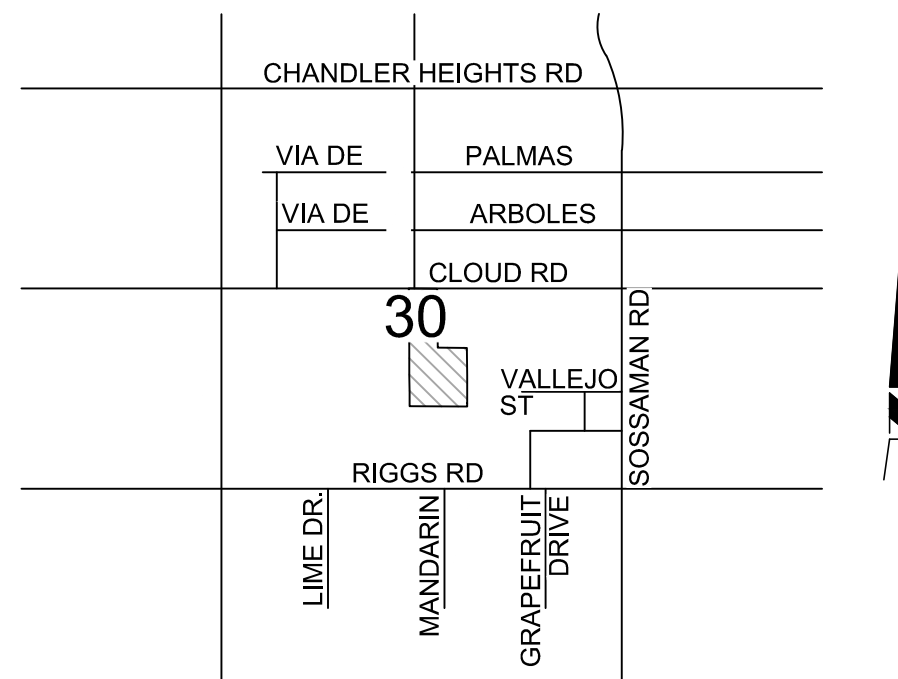


## Zoning Districts

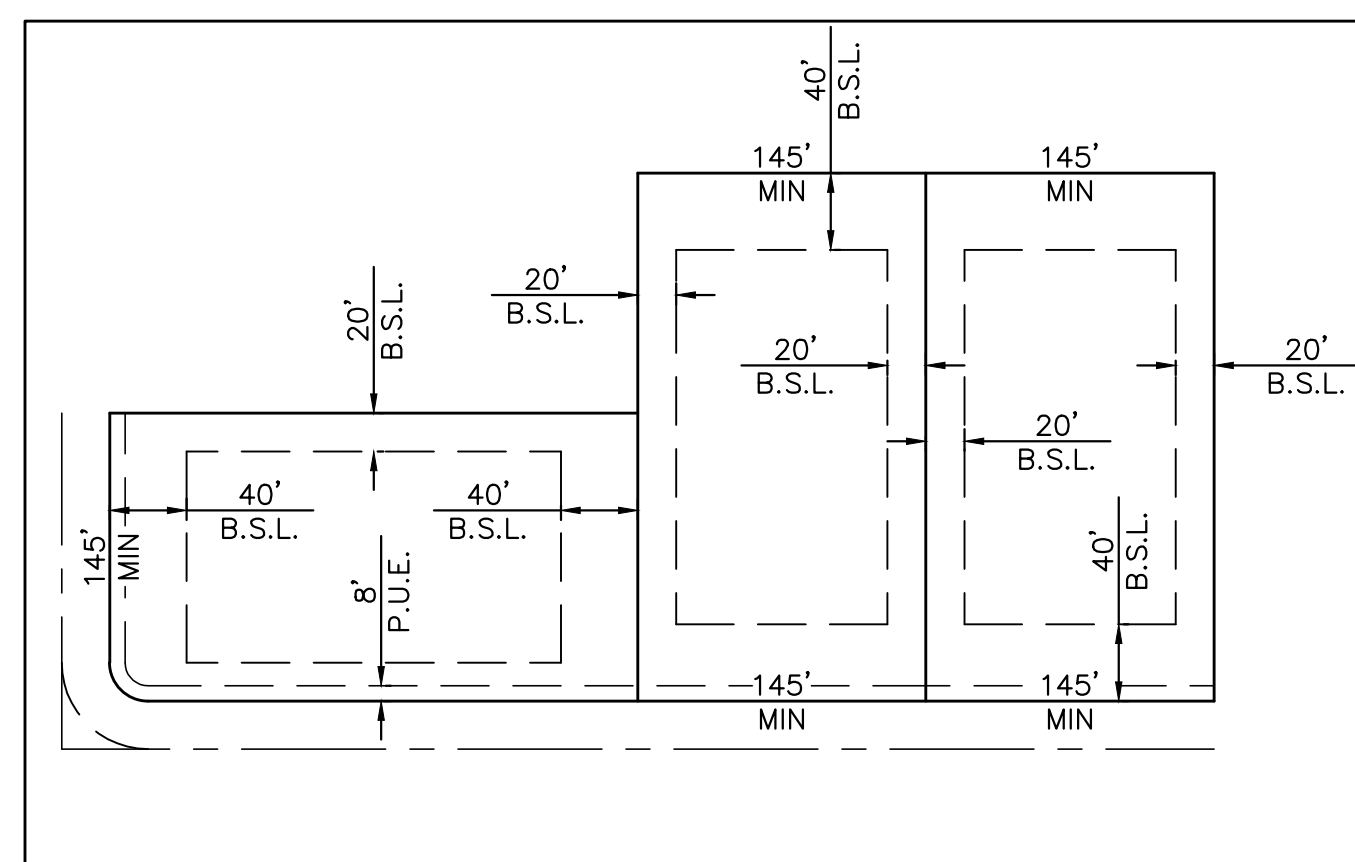
 C-1 - Commercial	 PQP - Public/Quasi-Public	 R1-7 - Residential	 R1-35 - Residential
 C-2 - Commercial	 RC - Recreation/Conservation	 R1-8 - Residential	 R1-43 - Residential
 C-3 - Commercial	 MDR - Residential	 R1-9 - Residential	 R1-54 - Residential
 TC - Commercial	 R1-4 - Residential	 R1-12 - Residential	 R1-190 - Residential
 EMP A - Office/Industrial Park	 R1-5 - Residential	 R1-15 - Residential	 PCD - Planned Community
 EMP B - General Industrial	 R1-6 - Residential	 R1-18 - Residential	 AT - Agritainment

PRELIMINARY PLAT  
FOR  
**188TH STREET & CLOUD ROAD**  
AT

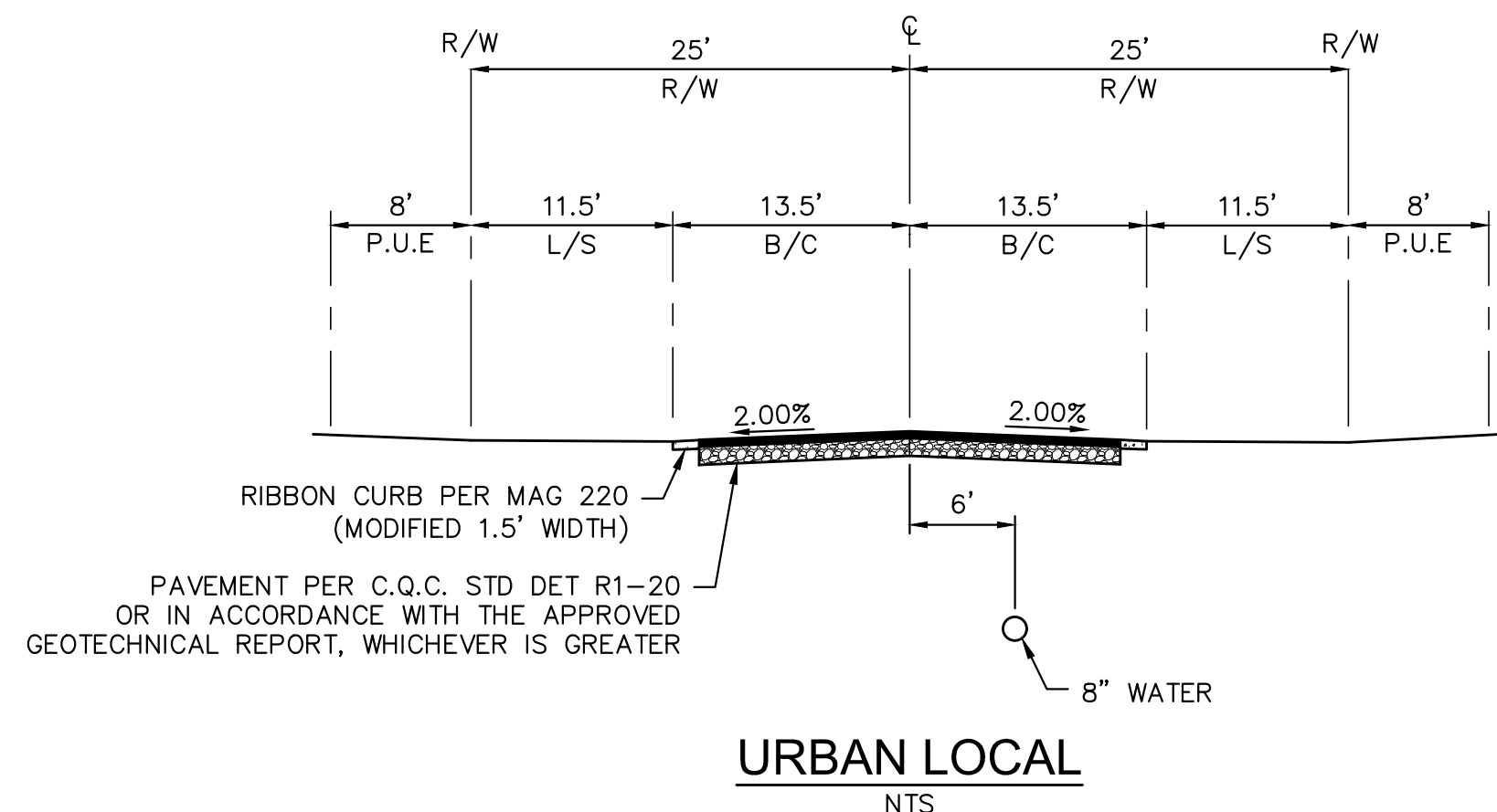
THE EAST HALF OF THE NORTH WEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF QUEEN CREEK, MARICOPA COUNTY, ARIZONA



VICINITY MAP  
NOT TO SCALE



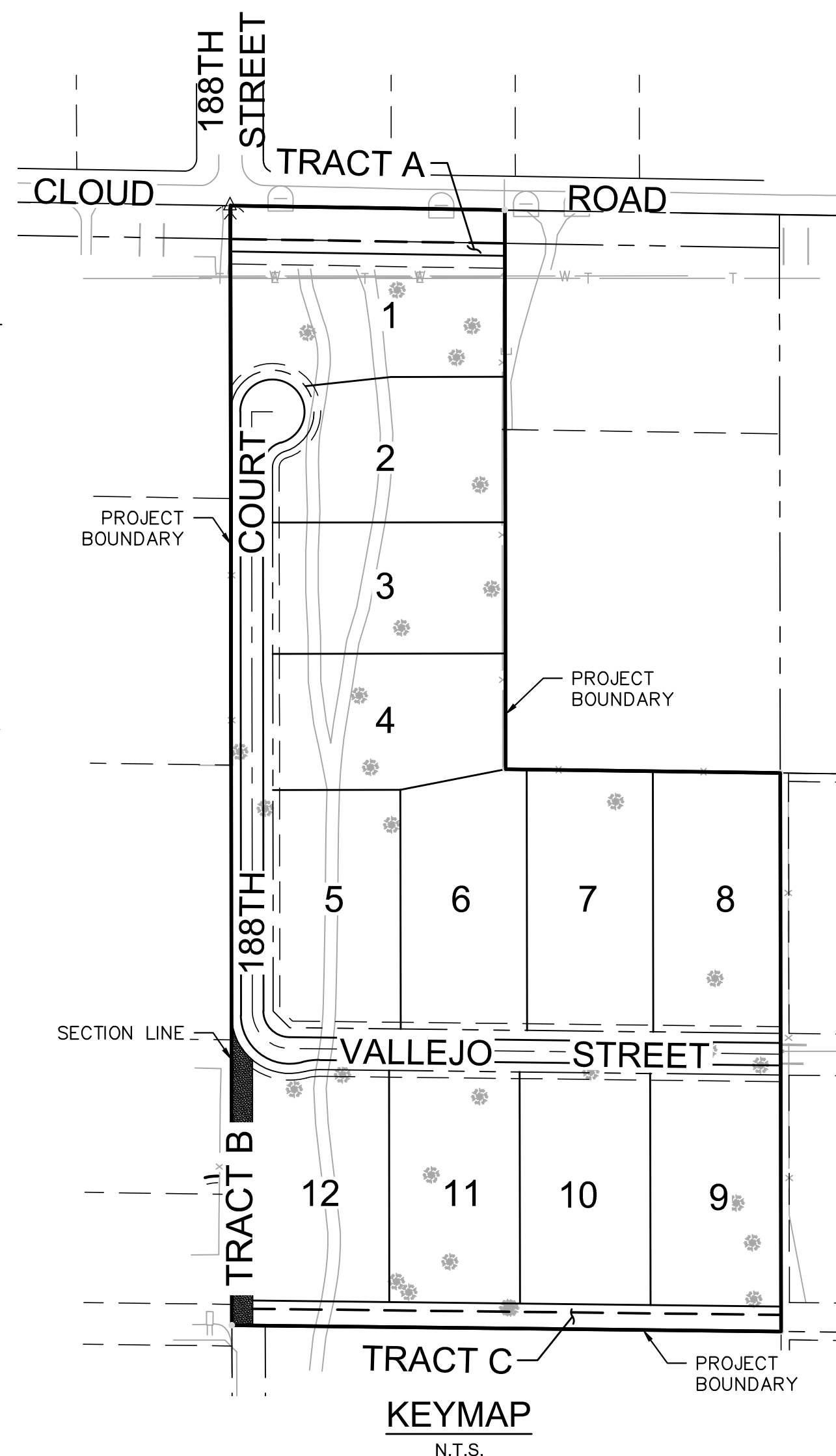
TYPICAL LOT DIMENSIONS & BUILDING  
SETBACK LINES



URBAN LOCAL  
NTS

**NOTES**

1. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE CITY AND THE CERTIFICATE OF OCCUPANCY OF ACCEPTANCE WILL NOT BE ISSUED UNTIL THE OVERHEAD UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
2. THIS SUBDIVISION SHALL COMPLY WITH ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.
3. THE PLAT SHOWN IS BASED ON AN ALTA/ACSM LAND TITLE SURVEY 188TH ST & CLOUD RD PREPARED BY CARDNO.
4. SUB-DIVISIONS WITH RESIDENTIAL LOTS 1 ACRE OR LARGER CAN USE ON-LOT RETENTION TO MEET THE SUBDIVISIONS RETENTION REQUIREMENTS
5. THIS PROPERTY, (LOCATED IN OVERFLIGHT AREA 3) DUE TO ITS PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT, IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIRCRAFT CONSISTS OF CARGO, COMMERCIAL, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.



KEYMAP  
N.T.S.

**ENGINEER**

CARDNO INC.  
DANIEL J. POTTINGER, P.E.  
19621 N. 23RD DRIVE, SUITE 150  
PHOENIX, AZ 85027  
PHONE: (602) 977-8075  
FAX: (602) 997-8099  
EMAIL: DANIEL.POTTINGER@CARDNO.COM

**OWNER/DEVELOPER**

MORGAN TAYLOR HOMES, LLC  
STEVE CROSS  
8711 E. PINNACLE PEAK ROAD, #304  
SCOTTSDALE, AZ 85255  
PHONE: (602) 692-0492  
EMAIL: STEVECROSS@MORGANTAYLORHOMES.COM

**SHEET INDEX**

- 1 COVER SHEET
- 2 PRELIMINARY PLAT

**BASIS OF BEARING**

BASIS OF BEARING IS THE CENTER LINE OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID BEARING BEING:

NORTH 89 DEGREES, 04 MINUTES, 08 SECONDS WEST

**BENCHMARK**

1/2" MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION REBAR IN HAND HOLE AT THE WEST QUARTER CORNER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST (INTERSECTION OF POWER AND CLOUD)

ELEVATION: 1363.37 (NAVD 88)

**LEGAL DESCRIPTION**

THE WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST HALF OF THE NORTH HALF OF SAID WEST HALF OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30.

**FLOOD ZONE**

ACCORDING TO FIRM FLOOD INSURANCE RATE MAP NO. 04013C3135L DATED OCTOBER 16, 2013, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DESCRIBED AS: "AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

**DEPARTMENT APPROVALS**

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN ENGINEER

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN PLANNING ADMINISTRATOR

**LOT SIZE SUMMARY**

LOT #	AREA
1	49,388 SF
2	44,372 SF
3	44,034 SF
4	44,158 SF
5	43,582 SF
6	45,901 SF
7	47,407 SF
8	47,806 SF
9	43,580 SF
10	43,572 SF
11	43,572 SF
12	45,505 SF

EXISTING ZONING	R1-43
GROSS AREA	15.24 AC
NET AREA	13.51 AC
GROSS DENSITY UNITS/AC	0.79 DU/AC
NET DENSITY UNITS/AC	0.89 DU/AC
NUMBER OF LOTS	12
MAXIMUM LOT SIZE	49,388 SF
MINIMUM LOT SIZE	43,572 SF
AVERAGE LOT SIZE	45,240 SF
TOTAL R/W AREA	75,464 SF
TOTAL R/W PERCENTAGE	11.37%
TOTAL OPEN SPACE	32,345 SF
TOTAL OPEN PERCENTAGE	4.87%

**TRACT AREA TABLE**

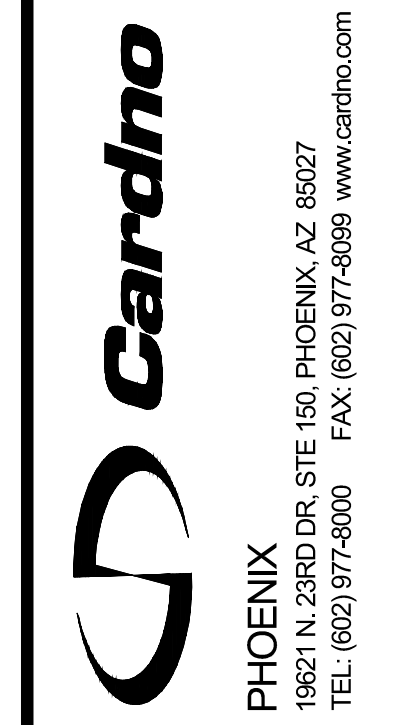
TRACT	SQUARE FEET	ACREAGE	USE
A	4,943	0.11	DRAINAGE EASEMENT, LANDSCAPE BUFFER
B	8,373	0.19	PUBLIC WATER ESMT / EMERGENCY ACCESS
C	19,029	0.44	ROADWAY, PUE, EQUESTRIAN EASEMENT, AND LANDSCAPING

**LEGEND**

- 8"W PROPOSED WATER
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- 8"S PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- EX 8"W EXISTING WATER
- EXISTING WATER VALVE
- EX 8"S EXISTING SEWER
- EXISTING SEWER MANHOLE
- 1002 EXISTING CONTOURS
- VNAE VEHICLE NON-ACCESS EASEMENT
- PARCEL BOUNDARY
- RIGHT-OF-WAY
- STREET DRAINAGE
- PROPOSED SEWER FLOW
- PUE PUBLIC UTILITY EASEMENT

**UTILITY COMPANIES**

GAS	SOUTHWEST GAS
ELECTRIC	SALT RIVER PROJECT
TELEPHONE	CENTURY LINK
CATV	COX COMMUNICATIONS
WATER	TOWN OF QUEEN CREEK
SEWER	N/A



PRELIMINARY PLAT  
**188TH STREET & CLOUD ROAD**  
MORGAN TAYLOR  
QUEEN CREEK, AZ

#	DATE	DESCRIPTION



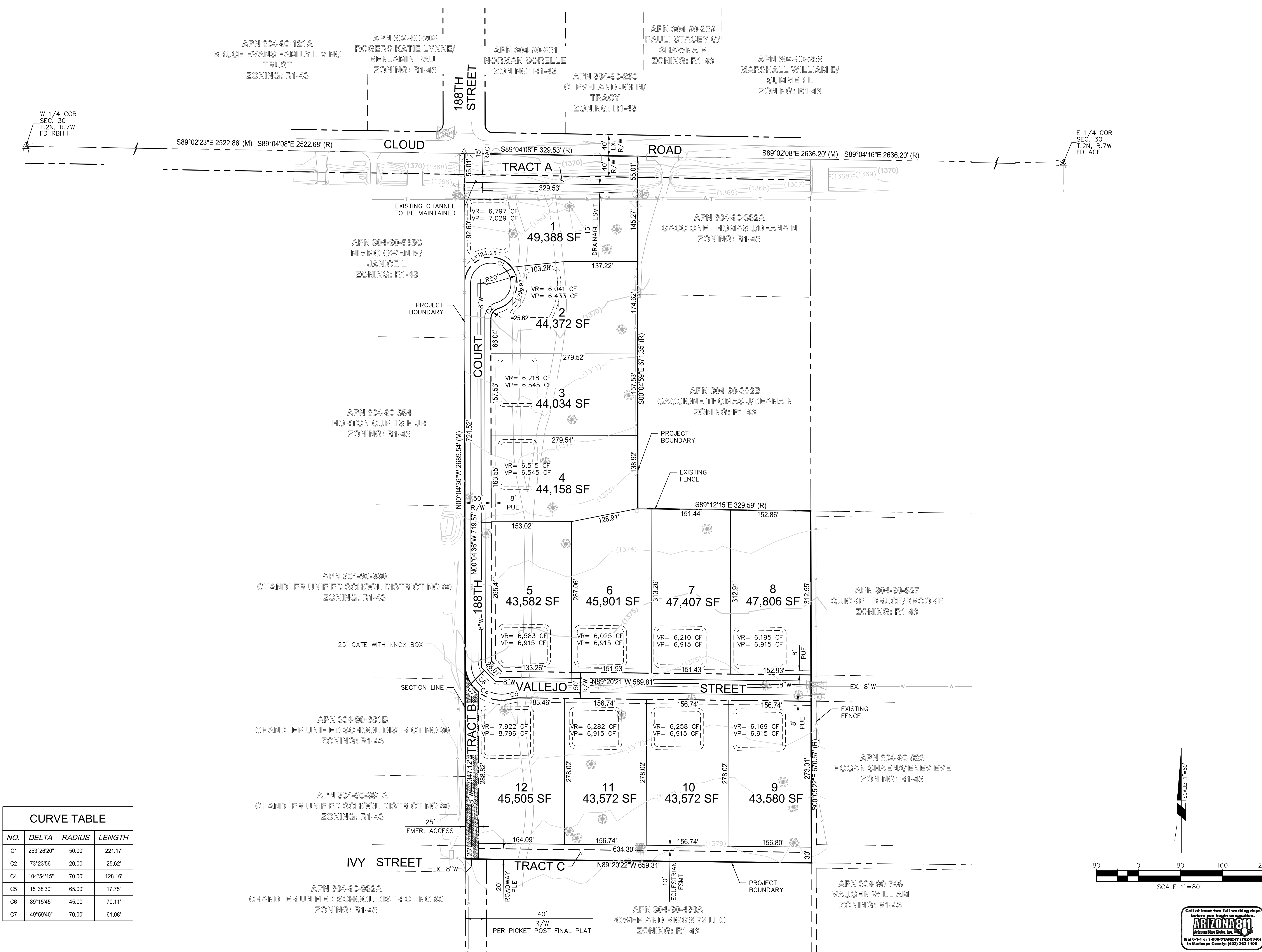
DATE | 03/02/2020  
DRAWN | JAW  
DESIGNED | TTT  
CHECKED | DJP  
PROJECT # | 4191425000

SHEET TITLE  
**COVER SHEET**

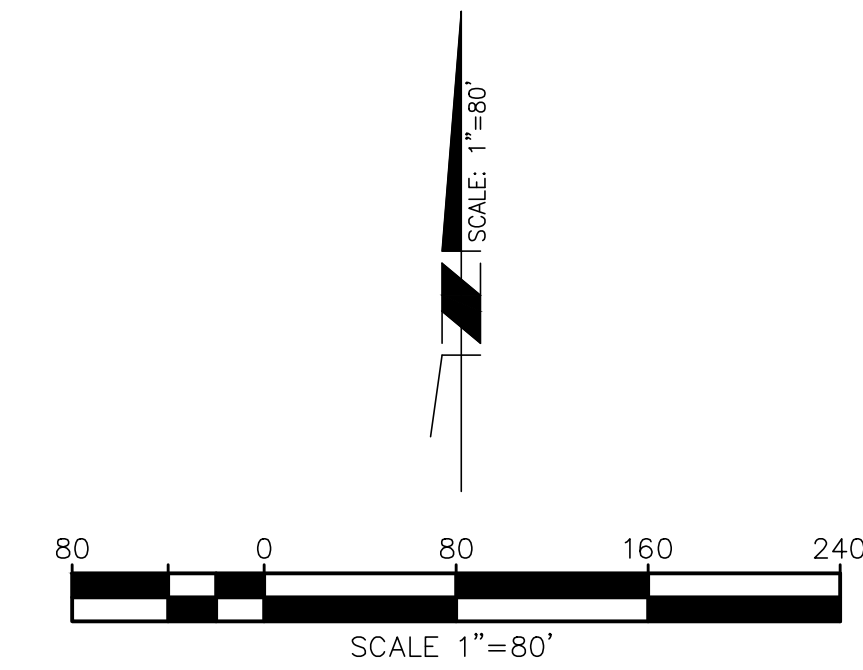
SHEET NUMBER  
**1**  
OF 2 SHEETS



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CURVE TABLE			
NO.	DELTA	RADIUS	LENGTH
C1	253°28'20"	50.00'	221.17'
C2	73°23'56"	20.00'	25.62'
C4	104°54'15"	70.00'	128.16'
C5	15°38'30"	65.00'	17.75'
C6	89°15'45"	45.00'	70.11'
C7	49°59'40"	70.00'	61.08'



**PRELIMINARY PLAT**  
**188TH STREET & CLOUD ROAD**  
 MORGAN TAYLOR  
 QUEEN CREEK, AZ

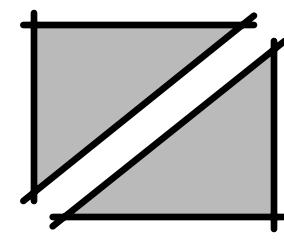
BY	DATE	DESCRIPTION



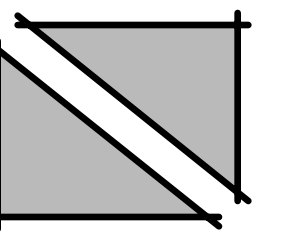
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DESIGNED	TTT
CHECKED	DJP
PROJECT #	4191425000

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# Cloud Road and 188th Street Development

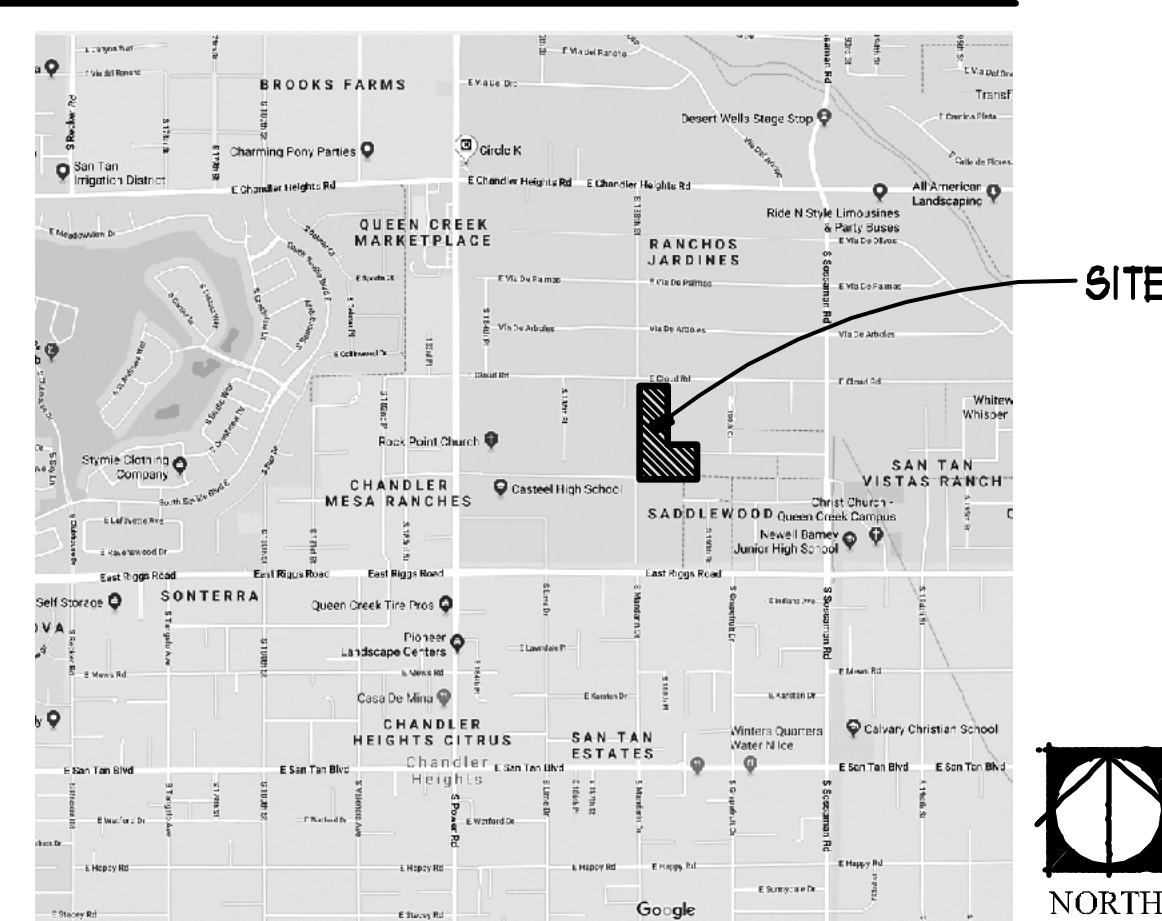


## Cloud Road

Queen Creek, AZ. 85142

## LANDSCAPE CONSTRUCTION DOCUMENT

### Vicinity Map



### Sheet Index

Sheet No.	Sheet Description
CVR	cover sheet
L-1	site development plan
L-2	landscape/irrigation enlargement plan
L-3	landscape/irrigation enlargement plan
L-4	landscape and site details
L-5	irrigation details

#### Town of Queen Creek Maintenance Note:

**MAINTENANCE.** The owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscaping which shall be maintained so as to present a healthy, neat and orderly appearance and shall be kept free from refuse and debris. Plant materials shall be maintained in a healthy condition. If replacement is necessary, all plants and other non-living landscape materials shall be equal in size, density and appearance as originally required at the time of the approval of the development order or development permit.

### Project Information

#### OWNER

Morgan Taylor Homes LLC.  
10045 E. Dynamite Blvd., Suite F200  
Scottsdale, AZ. 85262  
Contact: Steve Cross  
(602) 692-0492

stevecross@morgantaylorhomes.com

#### CIVIL ENGINEER

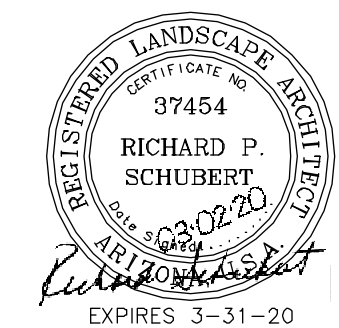
Cardno Inc.  
19621 N. 23rd Drive, Suite 150  
Phoenix, AZ. 85027  
Contact: Daniel Pottinger  
(602) 977-8075

daniel.pottinger@cardno.com

#### LANDSCAPE ARCHITECT

Wildwood Design Studio  
15207 Staghorn Drive  
Fountain Hills, Arizona 85268

Contact: Richard Schubert  
(480) 816-5529  
(480) 837-5104 FAX  
wildwooddesign@cox.net



#### General Construction Notes:

- NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH ALL WORK ELEMENTS SHOWN ON THE ENCLOSED PLANS.
- VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING WORK. NOTIFY OWNER'S REPRESENTATIVE SHOULD CONFLICTS ARISE.
- ANY SIDEWALK OR HARDSCAPE LAYOUT SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING FOR HORIZONTAL AND VERTICAL CONTROL, DETAILS AND METHODS OF CONSTRUCTION. WILDWOOD DESIGN ASSUMES NO RESPONSIBILITY FOR CONFLICTS, ENGINEERING OR INSTALLATION THAT IS BEYOND OUR CONTROL.
- WALLS AND SITE FEATURES SHOWN ON THESE PLANS ARE SCHEMATIC. FIELD VERIFY TO ACTUAL PROPERTY LINES, GRADING, UNDERGROUND CONFLICTS OR EXISTING CONDITIONS THAT MAY REQUIRE ADJUSTMENT OR INTERPRETATION TO PLAN AND DETAILS PROVIDED. WILDWOOD DESIGN ASSUMES NO RESPONSIBILITY FOR CONFLICTS THAT ARE NOT ADDRESSED IN ADVANCE OR BEYOND OUR CONTRACTUAL AGREEMENT FOR FIELD INSPECTION.
- REFER TO ENGINEERING PLANS FOR CONSTRUCTION AND GRADING CONSIDERATIONS OF THE SITE. CROSS REFERENCE WORK THAT MAY IMPACT IMPROVEMENTS SHOWN ON THESE DOCUMENTS.
- ALL CONSTRUCTION MUST CONFORM TO 1991 UNIFORM BUILDING CODE (UBC), COUNTY AND LOCAL STANDARDS.
- SIGHT DISTANCE TRIANGLES SHOWN ON THESE PLANS (SDT) ARE FOR REFERENCE ONLY. REFER TO ENGINEERING AND RESPECTIVE CITY FOR SPECIFIC GUIDELINES. PROVIDE SOIL TEST OF JOB SITE PRIOR TO BEGINNING WORK TO ANALYZE COMPACTION POSSIBLE CONTAMINANTS, STABILITY OF SOILS AND COMPOSITION.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS BEFORE CONSTRUCTION.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND/OR FEDERAL LAWS PERTAINING TO THE PROJECT'S WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONSTRUCTION ELEMENTS WITH OTHER TRADES PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH THE LOCATIONS OF UNDERGROUND SERVICES AND IMPROVEMENTS.
- THE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY DETERMINE THE CONDITIONS UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE FOR FAILURE OF BIDDERS TO ASCERTAIN ALL ASPECTS OF THE PROJECT.
- PRIOR TO DIGGING, EXCAVATION, OR UNDERGROUND WORK, CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AND SUBSURFACE SYSTEMS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIR AND EXPENSES INCURRED TO UTILITIES THAT BECOME DAMAGED AS A RESULT OF HIS WORK.
- CONTRACTOR SHALL INSPECT WITH OWNER'S REPRESENTATIVE ALL PAVEMENT, SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE TO BE RE-INSPECTED DURING FINAL WALK THROUGH ANY DAMAGED AREAS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE QUANTITIES AND MATERIALS REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH SYMBOLS SHOWN ON PLANS. QUANTITIES INDICATED ARE FOR REFERENCE ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GRADES AS ESTABLISHED BY THE PROJECT ENGINEER. RUNOFF AND DRAINAGE FLOWS SHALL NOT BE ALTERED OR IMPEDED.
- THE CONTRACTOR WILL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIALS, EMPLOYEE, AND SUBCONTRACTOR SUPERVISION FOR IT'S PORTION OF THE PROJECT TO IMPLEMENT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK AND RESPONSIBILITY FOR LOSS AND EXPENSE RESULTING FROM ON-SITE INJURY.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION SCHEDULING, COORDINATION AND MANAGEMENT OF SUBCONTRACTORS.
- THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISK OF INJURY. PROVIDE WARNING SIGNS, LIGHTS, BARRICADES, RAILINGS, FLAGMEN OR OTHER NECESSARY SAFEGUARD.
- WILDWOOD DESIGN SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION BY CONTRACTOR OR SUBCONTRACTORS.
- ALL CONTRACTS SHALL BE WRITTEN DIRECTLY BETWEEN CONTRACTOR AND OWNER'S REPRESENTATIVE. SPECIFIC TERMS OF WORK SHALL BE NEGOTIATED DIRECTLY BETWEEN PARTIES. WILDWOOD DESIGN SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES IN CONTRACT, PAYMENT AMOUNTS, SCHEDULE OR QUALITY OF WORKMANSHIP.
- WILDWOOD DESIGN HAS NOT AGREED TO REVIEW SHOP DRAWINGS, PRODUCT DATA AND SAMPLES SUBMITTED BY THE CONTRACTOR FOR THE SOLE PURPOSE OF COMPLIANCE WITH THE DESIGN CONCEPT AND WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. WILDWOOD DESIGN SHALL BE ENTITLED TO ADDITIONAL COMPENSATION IF THE OWNER OR CONTRACTOR REQUESTS DESIGN MODIFICATIONS. WILDWOOD DESIGN ASSUMES NO LIABILITY FOR CHANGES THAT HAVE NOT BEEN REVIEWED AND AUTHORIZED IN WRITING.
- WHERE TWO OR MORE REQUIREMENTS CREATE OVERLAPPING CONDITIONS, CONFLICTING MINIMUMS OR LEVELS OF QUALITY, THE MORE STRINGENT REQUIREMENTS OR THE HIGHER QUALITY LEVEL IS INTENDED, AND WILL BE ENFORCED. CONFLICTING REQUIREMENTS SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE WHOSE INTERPRETATION WILL BE FINAL.

### APPROVAL BLOCK TOWN OF QUEEN CREEK

APPROVED BY TOWN ENGINEER \_\_\_\_\_

DATE \_\_\_\_\_

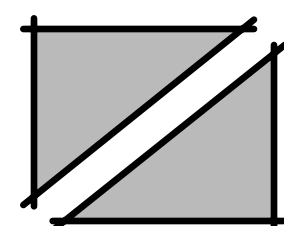
APPROVED BY TOWN PLANNING ADMINISTRATOR \_\_\_\_\_

DATE \_\_\_\_\_

Parcel # 304-90-383

DRAWN:	RPS
CHECKED:	RPS
DATE:	03-02-20
REVISION DATE:	
REVISION DATE:	
JOB NUMBER:	1914
SHEET:	CVR

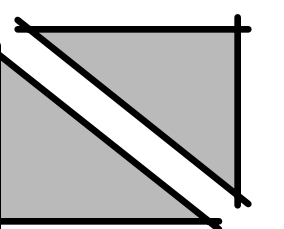
SHEET 1 OF 6



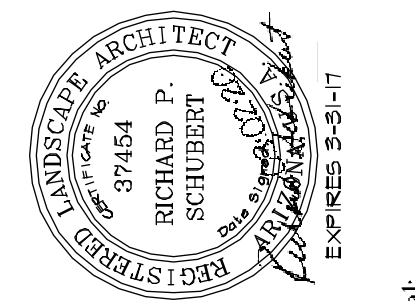
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LANDSCAPE CONTRACTOR IS TO FULLY ACQUAINT HIMSELF WITH ALL DRAWINGS BEFORE BEGINNING CONSTRUCTION. WILDWOOD DESIGN STUDIO IS NOT RESPONSIBLE FOR FIELD CHANGES AND/OR ANY DISCREPANCIES IN THE CONSTRUCTION OF THESE LANDSCAPE IMPROVEMENTS.

CALL TWO WORKING DAYS  
BEFORE YOU DIG  
(602) 263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)



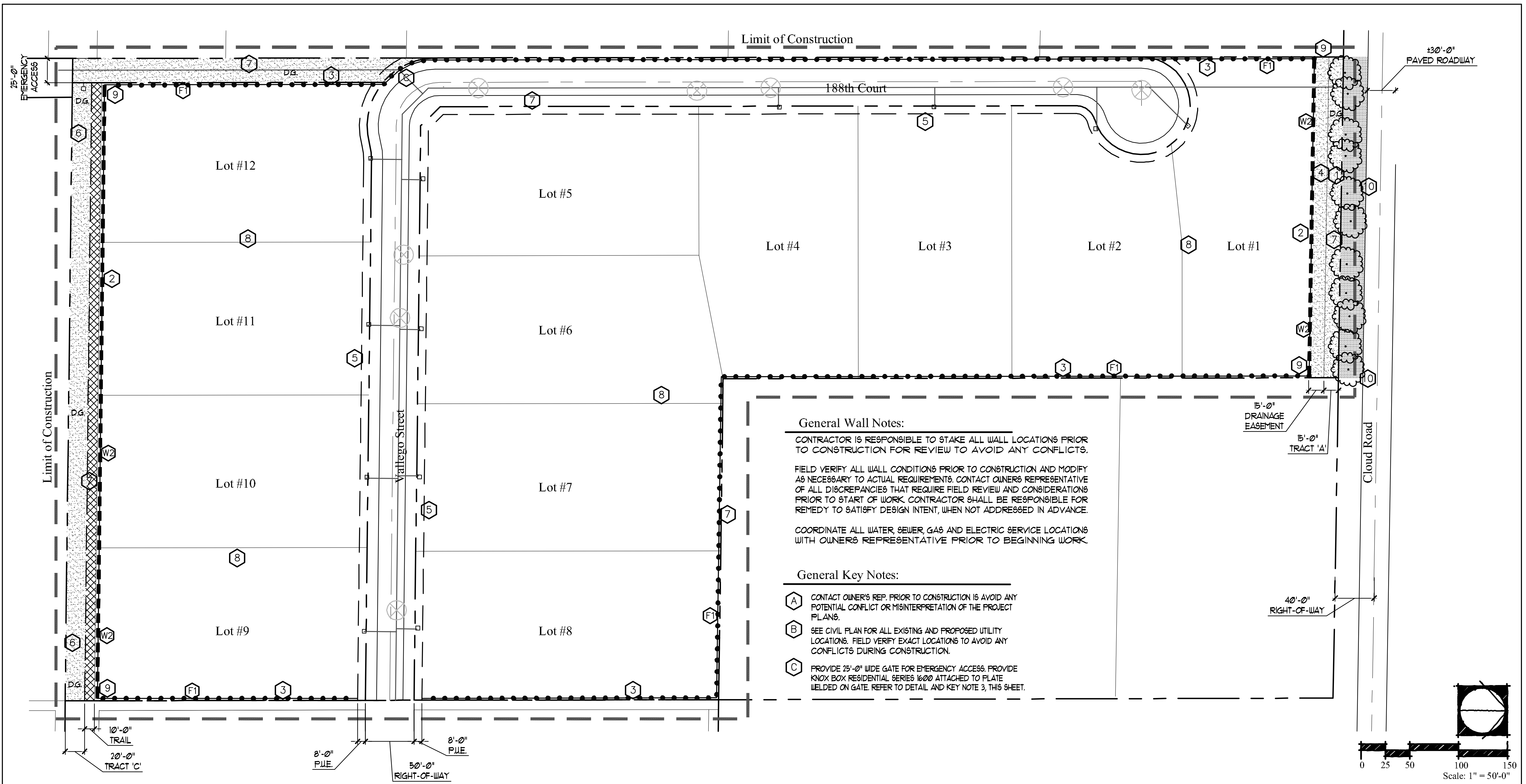
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# Cloud Road and 188th Street Development

Cloud Road  
Queek Creek, AZ, 85142



**General Wall Notes:**  
CONTRACTOR IS RESPONSIBLE TO STAKE ALL WALL LOCATIONS PRIOR TO CONSTRUCTION FOR REVIEW TO AVOID ANY CONFLICTS.  
FIELD VERIFY ALL WALL CONDITIONS PRIOR TO CONSTRUCTION AND MODIFY AS NECESSARY TO ACTUAL REQUIREMENTS. CONTACT OWNER'S REPRESENTATIVE OF ALL DISCREPANCIES THAT REQUIRE FIELD REVIEW AND CONSIDERATIONS PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDY TO SATISFY DESIGN INTENT, WHEN NOT ADDRESSED IN ADVANCE.  
COORDINATE ALL WATER, SEWER, GAS AND ELECTRIC SERVICE LOCATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

**General Key Notes:**

- A CONTACT OWNER'S REP. PRIOR TO CONSTRUCTION IS AVOID ANY POTENTIAL CONFLICT OR MISINTERPRETATION OF THE PROJECT PLANS.
- B SEE CIVIL PLAN FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS. FIELD VERIFY EXACT LOCATIONS TO AVOID ANY CONFLICTS DURING CONSTRUCTION.
- C PROVIDE 25'-0" WIDE GATE FOR EMERGENCY ACCESS. PROVIDE KNOX BOX RESIDENTIAL, SERIES 1600 ATTACHED TO PLATE WELDED ON GATE. REFER TO DETAIL AND KEY NOTE 3, THIS SHEET.

**Site Development Plan**

**Wall and Fence Legend:**

- F1 PERIMETER POST AND RAIL STEEL FENCE (SEE MATERIALS LEGEND FOR DESCRIPTION AND SHEET L-4)
- W2 PERIMETER WALL - 6' HEIGHT CMU BLOCK PERIMETER THEME WALL (SEE DETAIL, SHEET L-4)

Sym.	Material	Common Name	Qty.	Size	Remarks
D.G.	DECOMPOSED GRANITE	APACHE BROWN	13,140 SF.	3/4" SCREENED	AVAILABLE THROUGH PIONEER MATERIALS (480) 261-5556. PROVIDE SAMPLE FOR FINAL APPROVAL.
D.G.	DECOMPOSED GRANITE	EXPRESS CARMEL	16,400 SF.	3/8" MINUS	SEE ABOVE
(Tree Symbol)	EXISTING TREE	SALT CEDAR	OPEN	VARIABLES	PROTECT IN PLACE
(Soil Symbol)	NATURAL EARTH	TOP SOIL	18,200 SF.	N.A.	PROTECT IN PLACE

**PAINT COLORS:**  
PROVIDE SAMPLE FOR OWNER'S FINAL APPROVAL.

- ALL TUBULAR STEEL (VERTICAL AND HORIZONTAL MEMBERS) FOR EQUESTRIAN FENCE TO BE UNPAINTED.

**DECOMPOSED GRANITE:**  
EXPRESS CARMEL 3/4" MINUS AVAILABLE THROUGH GRANITE EXPRESS (480)-261-5556.

**BLOCK:**  
REFER TO WALL DETAILS AND WALL LEGEND (THIS SHEET).

- ALL CMU BLOCK TO BE 8" X 6" X 16" SMOOTH BLOCK.
- ALL SPLIT FACE BLOCK TO BE 8" X 6" X 16" ON SIDE. PAINT COLOR TO MATCH SMOOTH BLOCK.
- ALL CAPS TO BE 4" X 8" X 16". PAINT TO MATCH WALL COLOR.

- 1 LANDSCAPE AREA - REFER TO ENLARGEMENT PLAN.
- 2 6' HIGH PERIMETER THEME WALL - REFER TO DETAIL.
- 3 EQUESTRIAN FENCE - POST AND RAIL DESIGN WITH (4) HORIZONTAL MEMBERS APPROXIMATELY 48" HIGH. PROVIDED BY SEVEN PEAKS FENCE AND BARN (480-246-6237) 4 RAIL CONTINUOUS IN 20' LONG SECTIONS. USING 14 GA. 1/4" STEEL TUBING OR SIMILAR. INSTALL PER MFG.'S WRITTEN INSTRUCTIONS. SEE LANDSCAPE DETAILS FOR SAMPLE PHOTO.
- 4 PROPOSED DRAINAGE EASEMENT - SHOWN FOR REFERENCE ONLY. REFER TO CIVIL PLANS.
- 5 PROPOSED UTILITY EASEMENT (TYP.) - SHOWN FOR REFERENCE ONLY. REFER TO CIVIL PLANS.
- 6 TRACT 'C' PROPERTY LINE. REFER TO APPROVED SITE PLAN.
- 7 PROPERTY LINE (TYP.)
- 8 LOT LINES (TYP.)
- 9 DECORATIVE END COLUMN (TYP.) SEE DETAIL.
- 10 EXISTING SALT CEDAR - FIELD LOCATE (PROTECT IN PLACE DURING CONSTRUCTION). REFER TO ENLARGEMENT PLAN.

1. FIELD VERIFY ALL WALL/FENCE CONDITIONS PRIOR TO CONSTRUCTION AND MODIFY AS NECESSARY TO ACTUAL REQUIREMENTS. CONTACT OWNER'S REPRESENTATIVE OF ALL DISCREPANCIES THAT REQUIRE FIELD REVIEW AND CONSIDERATIONS PRIOR TO START OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDY TO SATISFY DESIGN INTENT, WHEN NOT ADDRESSED IN ADVANCE.
2. REFERENCE GRADING AND DRAINAGE PLANS BY CIVIL ENGINEER FOR ALL PROPOSED GRADING CONSIDERATIONS, DRAINAGE REQUIREMENTS AND SITE CONDITIONS.
3. REFERENCE GRADING AND DRAINAGE PLANS FOR ALL PROPOSED GRADING CONSIDERATIONS, LOT LAYOUT AND DRAINAGE REQUIREMENTS THROUGH WALL AND SITE CONDITIONS.
4. ALL WALLS AND FENCES SHALL BE LOCATED AS SHOWN ON THE PROJECT PLANS. REFER TO CIVIL PLANS FOR EXACT LOCATION. CONTACT OWNER'S REP. REGARDING ANY DISCREPANCIES.
5. ALL PERIMETER ENCLOSURE FENCE SHALL BE 48" IN HEIGHT MEASURED ON WHICH EVER SIDE IS THE SHORTEST. ALLOW ENCLOSURE TO SLOPE UP TO 3% TO MINIMIZE STEPS. (HEIGHT MEASURED FROM FINISH GRADE TO TOP OF WALL OR FENCE SECTION).
6. ALL PERIMETER WALLS ARE PAINTED ON ALL SIDES TO 4" BELOW GRADE (MINIMUM). REFER TO DETAIL.
  1. WALL CONSTRUCTION ASSUMES ALL SUB GRADES ARE UNDISTURBED OR 95% COMPACTED.
  2. FOOTINGS SHOULD BE LEVEL, SLOPED OR STEP FOOTINGS. EACH STEP SHOULD BE OF A HEIGHT TO FIT MASONRY SYSTEM. ALL EXCAVATIONS SHOULD BE CLEAN AND CONTAIN NO LOOSE EARTH OR FOREIGN MATTER.
  3. FINAL WALL/FENCE LOCATIONS TO BE WITHIN PROPERTY LINES. FIELD VERIFY BEFORE CONSTRUCTION.
  4. WALL CONSTRUCTION SHALL NOT DISTURB EXISTING PLANT MATERIAL BEYOND LIMITS OF CONSTRUCTION.

**Bulk Materials Legend**

**Materials Legend**

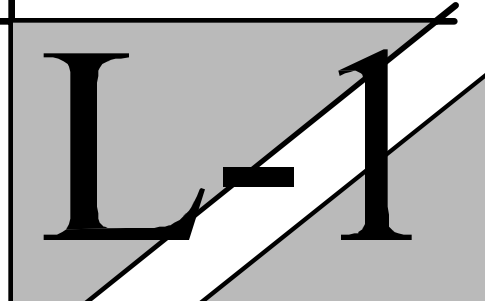
**Key Notes**

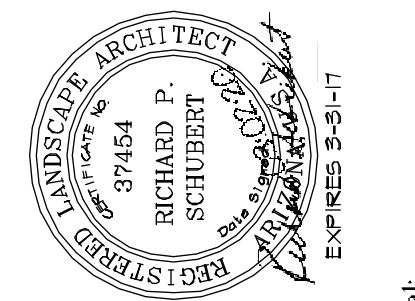
**Wall Notes**

site development plan

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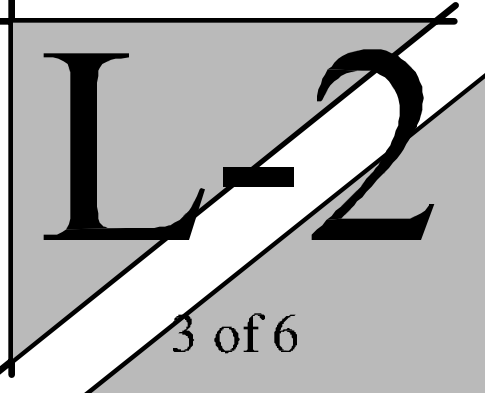
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# Cloud Road and 188th Street Development

Cloud Road  
Queen Creek, AZ, 85142

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PROJECT NUMBER: 1914  
DATE: 03-02-20  
REVISIONS:  
REVISIONS:



## Bulk Material Legend

Sym.	Material	Common Name	Qty.	Size	Remarks
D.G.	DECOMPOSED GRANITE	EXPRESS CARMEL	110,000 SF.	3/4" SCRND. 2" DEEP LAYER	AVAILABLE THROUGH GRANITE EXPRESS (480) 261-5556. PROVIDE SAMPLE FOR FINAL APPROVAL.
(Tree Symbol)	EXISTING TREE	SALT CEDAR	OPEN	VARIABLES	PROTECT IN PLACE
(Dotted Area)	NATURAL EARTH	TOP SOIL	18,100 SF.	N.A.	PROTECT IN PLACE

## Plant Legend

Sym.	Botanical Name	Common Name	Qty.	Size	Remarks (ANA Minimum Std.'s)
(Circle with dot)	PISTACIA 'RED PUSH'	RED PUSH PISTACHE	12	24" BOX	TALL, UPRIGHT, STD. TRUNK (3-0" TALL, 4'-0" WIDE, 15" MIN. CALIFER)
(Circle with 'R')	LEICOPHYLLUM LANGMANIA 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	31	5 GAL.	SPACE 5' O.C., IN CLUSTERS AS SHOWN
(Circle with 'P')	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK DWARF OLEANDER	35	5 GAL.	RANDOM SPACE IN CLUSTERS AS SHOWN

## Key Notes:

- RIGHT-OF-WAY AS NOTED
- PROPERTY LINE
- EXISTING ROADWAY
- EASEMENTS AS NOTED
- PROPOSED 6' HIGH THEME WALL (SEE DETAIL ON SHEET L-4)
- NATURAL EARTH DRAINAGE BASIN
- GRANITE TOP DRESSING
- EDGE OF PAVED ROAD
- EXISTING SALT CEDAR
- THEME WALL SECTION (SEE DETAIL, THIS SHEET)
- POST/RAIL EQUESTRIAN FENCE (SEE SITE DEVELOPMENT PLAN) NOT SHOWN
- MAINTAIN EXISTING GRADES SHOWN ON G AND D PLAN FOR DRAINAGE CHANNEL ALONG CLOUD ROAD.

## General Key Notes:

- APPLY NEW 2" LAYER OF DECOMPOSED GRANITE IN ALL PROPOSED AND EXISTING PLANTER AREAS.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING SHRUBS AND GROUND COVER NOT SHOWN ON THESE PROJECT PLANS.
- PLANT SHRUBS AND TREES ON THE 'HIGH' SIDE OF THE DRAINAGE EASEMENT.

## Granite Note:

INSTALL A 2" LAYER OF DECOMPOSED GRANITE CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. BEFORE PLACING GRANITE, COMPACT SUB-GRADE TO 85% AND APPLY A PRE-EMERGENT HERBICIDE TO SOIL. AFTER PLACING GRANITE: RAKE SMOOTH UET TO ENTIRE DEPTH, ALLOW TO DRY, THEN LIGHTLY SCARIFY SURFACE WITH A LEAF RAKE. APPLY A SECONDARY APPLICATION OF PRE-EMERGENT HERBICIDE TO TOP OF GRANITE. KEEP TOP OF GRANITE 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW GRANITE TO TOUCH THE TRUNK OF ANY PLANT. APPLY AFTER INSTALLATION OF PLANT MATERIAL.

## General Landscape Notes:

- IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE TREE OR SHRUB SIZE CALLED OUT ON THE PROJECT PLAN (I.E. CALIFER OR TREE HEIGHT) THE SPECIFIED PLANT MUST MEET THE REQUIREMENTS OF THE PLAN REGARDLESS OF THE CONTAINER SIZE AT NO ADDITIONAL COST TO THE OWNER.
- IF THE SPECIFIED VARIETY OF PLANT IS NOT AVAILABLE AT THE TIME OF INSTALLATION, CONTRACTOR IS TO PROVIDE SUBSTITUTIONS TO THE OWNER'S REP. WHICH CLOSELY MATCHES THE SPECIES, MATURE SIZE, AND COLD HEARTINESS AS SHOWN ON THE PROJECT PLANS FOR FINAL APPROVAL.

## Key Notes:

- CONTRACTOR IS RESPONSIBLE TO PROVIDE A 100% OPERATION SYSTEM AT TIME OF COMPLETION. AT NO ADDITIONAL COST TO OWNER.
- EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
- LOCATE VALVE BOXES IN DECOMPOSED GRANITE AREAS. COLOR TO BE TAN.
- PROPOSED 1" BACK FLOW PREVENTER REFER TO CIVIL PLANS. HIDE BEHIND SHRUBS.
- LOCATE PROPOSED IRRIGATION CONTROLLER ON FACE OF WALL SECTION. FIELD VERIFY EXACT LOCATION WITH OWNER'S REP. MOUNT CONTROLLER AND SOLAR PANEL TO THEME WALL. INSTALL DC LATCHING SOLENOID FOR OPERATION. CONNECT TO ALL VALVES.
- MAKE POINT OF CONNECTION AT EXISTING 3/4" WATER METER. REFER TO CIVIL PLANS.

## NOTE:

- INSTALL MAINLINE ADJACENT TO CURB, SIDEWALK, OR STRUCTURE WHERE POSSIBLE.
- INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
- MAINLINE, LATERALS AND DRIP LINE HEADER SHOWN IS SCHEMATIC, LOCATE TO AVOID CONFLICTS.
- PIPE SIZE GAL/MIN. VALVE ID LEGEND:

PIPE SIZE	GAL/MIN.	VALVE ID	LEGEND
1/2"	0 - 5	ID	TREE
3/4"	6 - 10	ID	SHRUB
1"	11 - 15		
1 1/4"	16 - 25		
1 1/2"	26 - 35		

## Irrigation Notes:

- EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
- OWNER TO PAY ALL WATER DEVELOPMENT FEES.
- CONTRACTOR SHALL REVIEW AND VERIFY ALL WATER AND ELECTRICAL POINTS OF CONNECTIONS WITH OWNER REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION. CONTACT LANDSCAPE ARCHITECT WITH QUESTIONS OR FOR CLARIFICATIONS.
- LOCATE VALVE BOXES IN DECOMPOSED GRANITE AREAS NEAR WALKWAYS AND CURBS WHENEVER POSSIBLE. AVOID LOCATING VALVE BOXES IN TURF AREAS.
- CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO BIDDING. COMPACTED AND/OR ROCKY SOIL CONDITIONS MAY EXIST. NO CHANGE ORDER WILL BE APPROVED FOR HARD PAN DIGGING.
- ALL PIPE SHALL BE BEDDED IN AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. AFTER LAYING THE PIPE SHALL BE COVERED WITH AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. THE TRENCH SHALL BE FREE OF ROCKS 2" AND LARGER.
- ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN LANDSCAPE AREAS. SOME LINES AND EQUIPMENT ARE SCHEMATICLY DRAWN. NO TEES, ELLS OR CHANGES IN DIRECTION SHALL OCCUR UNDER PAVEMENT.

SYMBOL	MANUFACTURER - MODEL NUMBER	PAT.	RD.	PSI	DRIP GPH	DTL.	REMARKS
NOT SHOWN	BOUYMITH ML - 220 THREADED DRIP EMITTERS FOR ALL SHRUBS	--	--	30	10	E	SEE DETAIL FOR NUMBER OF EMITTERS PER PLANT.
NOT SHOWN	BOUYMITH ML - 220 THREADED DRIP EMITTERS FOR ALL TREES	--	--	30	20	E, F	
(A)	HUNTER XC HYBRID-600 CONTROLLER WITH COMPATIBLE SOLAR PANEL KIT (6PXC)					A	WALL MOUNT (OUTDOOR)
(B, G)	EXISTING IRRIGATION WATER SERVICE METER - REFER TO CIVIL PLANS					B, G	
(D)	FEBCO 825Y-1" REDUCED PRESSURE BACKFLOW PREVENTER					D	CONNECT TO CONTROLLER
(H)	SENNINGER PRESSURE REGULATOR. INSTALL DC LATCHING SOLENOID FOR OPERATION.					H	INSTALL AT ALL LINE ENDS
(I, J)	AGRICULTURAL PRODUCTS INC. AUTOMATIC END FLUSH CAP, MODEL FCH (BLACK DISK)					I, J	
(K)	MAINLINE, PVC SCH. 40, SIZE PER PLAN, 18" MINIMUM COVER					K	
(L)	DRIP LINE HEADER (SHRUBS) PVC SCH. 40, 3/4" DIA WITH 1/2" GALCO * PVCAR-050 FLEXIBLE THICK WALLED PVC TO EMITTERS, 12" MIN. COVER					L	
NOT SHOWN	CONTROL WIRE, UF DIRECT BURIAL, SOLID COPPER, 12 GA. COMMON, 14 GA. PILOT					I	ROUTE WITH MAINLINE

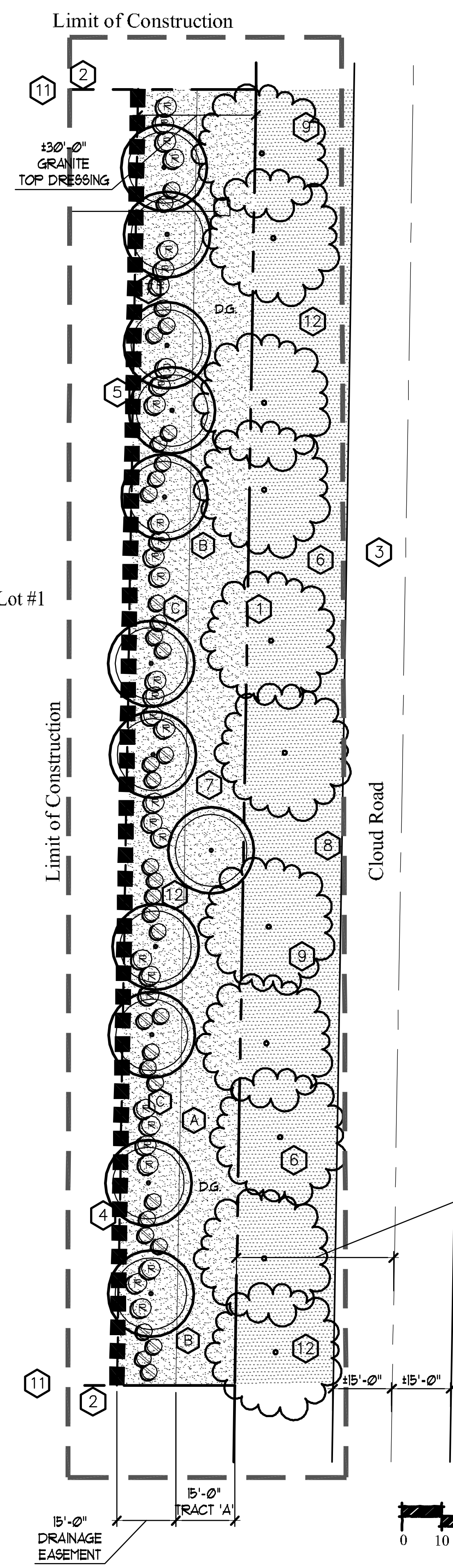
## Irrigation Legend

## NOTE:

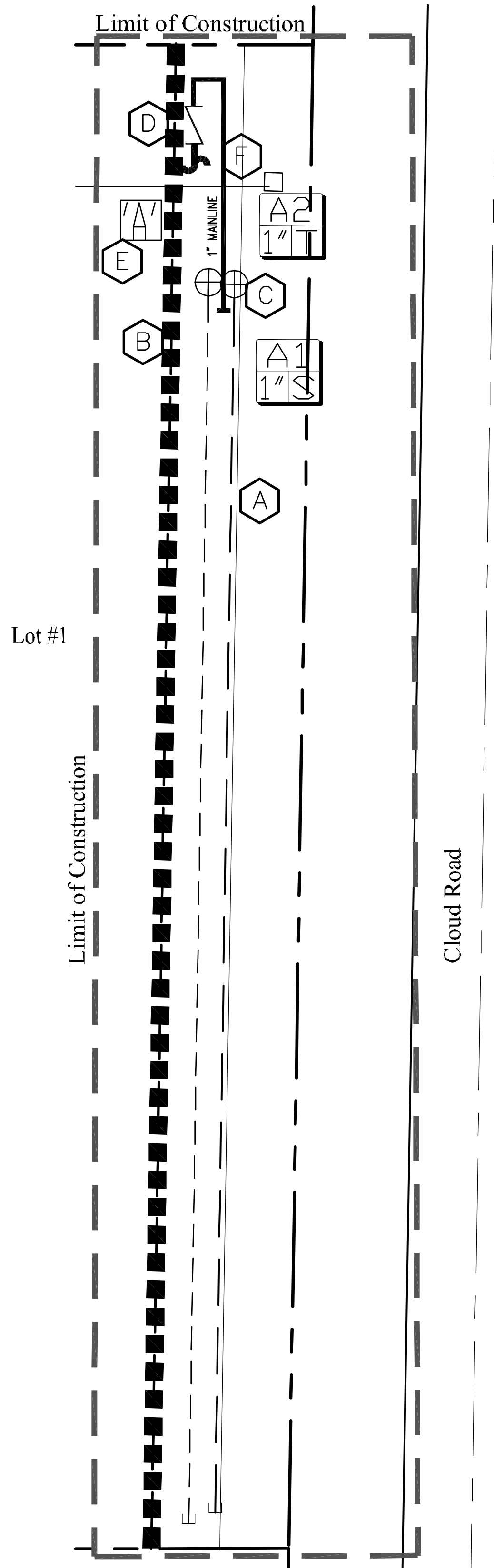
IRRIGATION SYSTEM SHOWN IS DESIGNED TO OPERATE WITH A MAXIMUM FLOW RATE OF 13 GPM. CONTRACTOR TO COORDINATE CONTROLLER SETTINGS WITH OWNER'S REPRESENTATIVE TO ALLOW FOR PROPER OPERATION.

MAINLINE SHOWN IN SCHEMATIC. FIELD VERIFY EXACT LOCATION AND COORDINATE WITH OWNER'S REPRESENTATIVE.

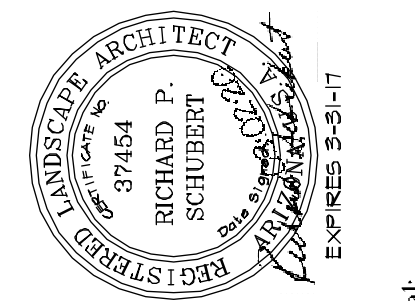
SEE CIVIL PLAN FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS. FIELD VERIFY EXACT LOCATIONS TO AVOID ANY CONFLICTS DURING CONSTRUCTION.



Landscape Enlargement Plan



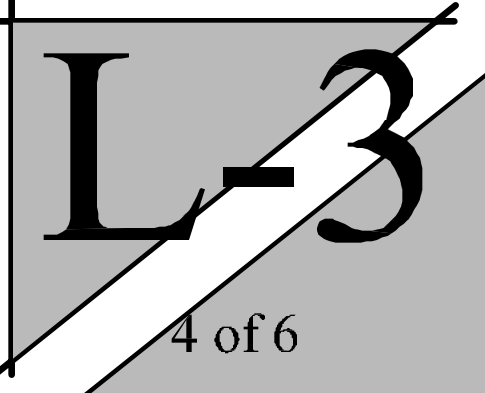
Irrigation Enlargement Plan



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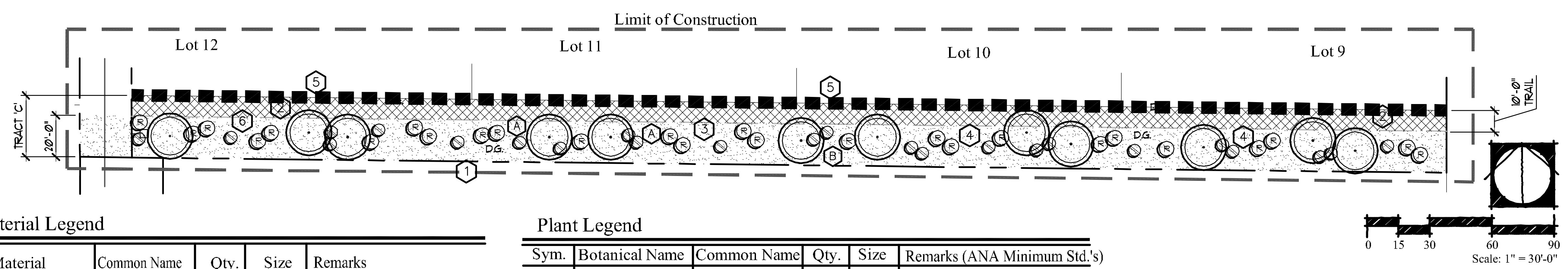
**Cloud Road and 188th Street Development**  
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**General Key Notes:**

- A APPLY NEW 2" LAYER OF DECOMPOSED GRANITE IN ALL PROPOSED AND EXISTING PLANTER AREAS.
- B CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING SHRUBS AND GROUND COVER NOT SHOWN ON THESE PROJECT PLANS.



**Bulk Material Legend**

Sym.	Material	Common Name	Qty.	Size	Remarks
D.G.	DECOMPOSED GRANITE	APACHE BROWN	13,300 SF.	3/4" SCREENED	AVAILABLE THROUGH PIONEER MATERIALS (480) 261-5556. PROVIDE SAMPLE FOR FINAL APPROVAL.
D.G.	DECOMPOSED GRANITE	EXPRESS CARMEL	16,400 SF.	3/8" MINUS	SEE ABOVE

**Plant Legend**

Sym.	Botanical Name	Common Name	Qty.	Size	Remarks (ANA Minimum Std.'s)
(P)	PISTACIA 'RED PUSH'	RED PUSH PISTACHE	12	24" BOX	TALL, UPRIGHT, STD. TRUNK (9'-0" TALL, 4"-0" WIDE, 1 1/2" MIN. CALIFER)
(R)	LEUCOPHYLLUM LANGMANIA 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	31	5 GAL.	SPACE 5' O.C. IN CLUSTERS AS SHOWN
(O)	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK DWARF OLEANDER	33	5 GAL.	RANDOM SPACE IN CLUSTERS AS SHOWN

**Key Notes:**

- 1 PROPERTY LINE
- 2 PROPOSED TRAIL
- 3 EASEMENTS AS NOTED
- 4 GRANITE TOP DRESSING
- 5 PROPOSED 6' HIGH THEME WALL (SEE DETAIL ON SHEET L-4)
- 6 MAINTAIN EXISTING GRADES SHOWN ON G AND D PLAN FOR DRAINAGE CHANNEL ALONG CLOUD ROAD.

**General Landscape Notes:**

- IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE TREE OR SHRUB SIZE CALLED OUT ON THE PROJECT PLAN (I.E. CALIFER OR TREE HEIGHT) THE SPECIFIED PLANT MUST MEET THE REQUIREMENTS OF THE PLAN REGARDLESS OF THE CONTAINER SIZE AT NO ADDITIONAL COST TO THE OWNER.
- IF THE SPECIFIED VARIETY OF PLANT IS NOT AVAILABLE AT THE TIME OF INSTALLATION, CONTRACTOR IS TO PROVIDE SUBSTITUTIONS TO THE OWNER'S REP. WHICH CLOSELY MATCHES THE SPECIES, MATURE SIZE, AND COLD HEARTINESS AS SHOWN ON THE PROJECT PLANS FOR FINAL APPROVAL.

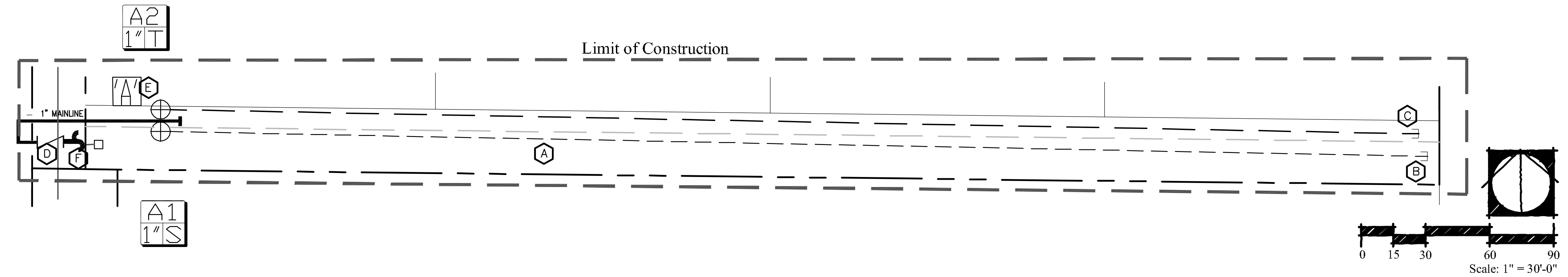
**Granite Note:**

INSTALL A 2" LAYER OF DECOMPOSED GRANITE CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS, BEFORE PLACING GRANITE, COMPACT SUB-GRADE TO 85% AND APPLY A PRE-EMERGENT HERBICIDE TO SOIL. AFTER PLACING GRANITE, RAKE SMOOTH, WET TO ENTIRE DEPTH, ALLOW TO DRY, THEN LIGHTLY SCARIFY SURFACE WITH A LEAF RAKE. APPLY A SECONDARY APPLICATION OF PRE-EMERGENT HERBICIDE TO TOP OF GRANITE. KEEP TOP OF GRANITE 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW GRANITE TO TOUCH THE TRUNK OF ANY PLANT. APPLY AFTER INSTALLATION OF PLANT MATERIAL.

**NOTE:**  
FIELD VERIFY EXISTING CONDITIONS AND CONTACT OWNER'S REP. PRIOR TO COMMENCING WORK TO RESOLVE ANY POTENTIAL CONFLICTS.

**Landscape Enlargement Plan - Along South Property Line**

**NOTE:**  
IRRIGATION SYSTEM SHOWN IS DESIGNED TO OPERATE WITH A MAXIMUM FLOW RATE OF 13 GPM. CONTRACTOR TO COORDINATE CONTROLLER SETTINGS WITH OWNER'S REPRESENTATIVE TO ALLOW FOR PROPER OPERATION.  
MAINLINE SHOWN IN SCHEMATIC. FIELD VERIFY EXACT LOCATION AND COORDINATE WITH OWNER'S REPRESENTATIVE.  
SEE CIVIL PLAN FOR ALL EXISTING AND PROPOSED UTILITY LOCATIONS. FIELD VERIFY EXACT LOCATIONS TO AVOID ANY CONFLICTS DURING CONSTRUCTION.



SYMBOL	MANUFACTURER - MODEL NUMBER	PAT.	RD.	PSI	DRIP GPH	DTL.	REMARKS
NOT SHOWN	BOUSMITH ML - 210 THREADED DRIP EMITTERS FOR ALL SHRUBS	--	--	30	10	E	SEE DETAIL FOR NUMBER OF EMITTERS PER PLANT.
NOT SHOWN	BOUSMITH ML - 220 THREADED DRIP EMITTERS FOR ALL TREES	--	--	30	20	E, F	
(A)	HUNTER XC HYBRID 1200-55 CONTROLLER WITH COMPATIBLE SOLAR PANEL KIT (SPXCH) AND XCH6 POLE AND MOUNTING BRACKET					A	WALL MOUNT (OUTDOOR)
(B)	EXISTING IRRIGATION WATER SERVICE METER - REFER TO CIVIL PLANS						
(C)	FEBCO 825Y-1" REDUCED PRESSURE BACKFLOW PREVENTER					B, G	
(D)	DRIP VALVE ASSEMBLY, RAINBIRD 100-FEB VALVE, AGRICULTURAL PRODUCTS 4E-1" FILTER & HI-FLOW					D	CONNECT TO CONTROLLER
(E)	SENNINGER PRESSURE REGULATOR. INSTALL DC LATCHING SOLENOID FOR OPERATION.					H	INSTALL AT ALL LINE ENDS
(F)	AGRICULTURAL PRODUCTS INC. AUTOMATIC END FLUSH CAP, MODEL FCH (BLACK DISK)					I, J	
(G)	MAINLINE, PVC SCH. 40, SIZE PER PLAN, 18" MINIMUM COVER					J	
(H)	DRIP LINE HEADER (SHRUBS), PVC SCH. 40, 1/2" DIA WITH 1/2" SALCO *PVCAR-050 FLEXIBLE THICK WALLED PVC TO EMITTERS, 12" MIN COVER					J	
NOT SHOWN	CONTROL WIRE, UF DIRECT BURIAL, SOLID COPPER, 12 GA. COMMON, 14 GA. PILOT					I	ROUTE WITH MAINLINE

**Irrigation Legend**

**Irrigation Notes:**

1. EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
2. OWNER TO PAY ALL WATER DEVELOPMENT FEES.
3. CONTRACTOR SHALL REVIEW AND VERIFY ALL WATER AND ELECTRICAL POINTS OF CONNECTIONS WITH OWNER REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION. CONTACT LANDSCAPE ARCHITECT WITH QUESTIONS OR FOR CLARIFICATIONS.
4. LOCATE VALVE BOXES IN DECOMPOSED GRANITE AREAS NEAR WALKWAYS AND CURBS WHENEVER POSSIBLE. AVOID LOCATING VALVE BOXES IN TURF AREAS.
5. CONTRACTOR SHALL VERIFY SOIL CONDITIONS PRIOR TO BIDDING. COMPACTED AND/OR ROCKY SOIL CONDITIONS MAY EXIST. NO CHANGE ORDER WILL BE APPROVED FOR HARD PAN DIGGING.
6. ALL PIPE SHALL BE BEDDED IN AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. AFTER LAYING THE PIPE SHALL BE COVERED WITH AT LEAST 2" OF FINELY GRADED NATIVE SOIL OR SAND. THE TRENCH SHALL BE FREE OF ROCKS 2" AND LARGER.
7. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED WITHIN LANDSCAPE AREAS. SOME LINES AND EQUIPMENT ARE SCHEMATICLY DRAWN. NO TEES, ELLS OR CHANGES IN DIRECTION SHALL OCCUR UNDER PAVEMENT.

**Key Notes:**

- A CONTRACTOR IS RESPONSIBLE TO PROVIDE A 100% OPERATION SYSTEM AT TIME OF COMPLETION. AT NO ADDITIONAL COST TO OWNER.
- B EMITTER QUANTITIES SHALL BE DETERMINED BY PLANT QUANTITIES/EMITTER SCHEDULE ON DETAIL.
- C LOCATE VALVE BOXES IN DECOMPOSED GRANITE AREAS. COLOR TO BE TAN.
- D PROPOSED 1" BACK FLOW PREVENTER REFER TO CIVIL PLANS. HIDE BEHIND SHRUBS.
- E LOCATE PROPOSED IRRIGATION CONTROLLER ON MOUNTING POLE. FIELD VERIFY EXACT LOCATION WITH OWNER'S REP. INSTALL SOLAR PANEL WITH DC LATCHING SOLENOID FOR OPERATION. CONNECT TO ALL VALVES.
- F MAKE POINT OF CONNECTION AT EXISTING 3/4" WATER METER. REFER TO CIVIL PLANS.

**NOTE:**

1. INSTALL MAINLINE ADJACENT TO CURB, SIDEWALK, OR STRUCTURE WHERE POSSIBLE.
2. INSTALL CONTROL WIRE ADJACENT TO MAINLINE WHERE POSSIBLE.
3. MAINLINE, LATERALS AND DRIP LINE HEADER SHOWN IS SCHEMATIC, LOCATE TO AVOID CONFLICTS.
4. PIPE SIZE GAL/MIN

**VALVE ID LEGEND:**

PIPE SIZE	GAL/MIN	VALVE ID	TYPE
1/2"	0 - 5	(T)	TREE
3/4"	6 - 10	(S)	SHRUB
1"	11 - 15	(T)	TREE
1 1/4"	16 - 25	(S)	SHRUB
1 1/2"	26 - 35	(T)	TREE

**Irrigation Enlargement Plan - Along South Property Line**

landscape/irrigation enlargement plan



