



TO: PLANNING AND ZONING COMMISSION

THRU: BRETT BURNINGHAM, DEVELOPMENT SERVICES DIRECTOR

FROM: KYLE BARICHELLO, SENIOR PLANNER

RE: Discussion and Possible Action on Ocotillo 11 Text Amendments and PAD Rezone, cases P19-0238 and P19-0239, Staff initiated Text Amendments and PAD rezone to create a new Residential Commercial (RC) Zoning District and rezone 11 properties from R1-6 to RC/PAD, on approximately 3.5 acres located at the SWC of Ocotillo Road and 205th Place

DATE: March 11, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0238 and P19-0239 Ocotillo 11 Text Amendments and PAD Rezone, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P19-0238 and P19-0239 Ocotillo 11 Text Amendments and PAD Rezone, subject to the Conditions of Approval included in this report.

SUMMARY

Ocotillo 11 is an approximately 3.5 acre area that consists of 11 separate parcels located at the southwest corner of Ocotillo Road and 205th Place. The purpose of this PAD rezone and associated Text Amendments is to develop a set of guidelines and vision for the 11 properties included.

The permitted uses and text amendments aim to provide the opportunity for small, compact commercial/residential development that is compatible in scale and character with surrounding residential uses.

To achieve this vision, there are two proposals with this effort:

- Text amendment request to create a new Residential Commercial (RC) Zoning District

- Rezone the Ocotillo 11 properties to the newly created RC district with a PAD overlay

Beginning in 2016, a property owner of one the 11 properties included in the subject rezoning area approached the Town with a proposal to remodel their existing building for commercial use. This effort was never completed and the property has remained as it is currently today. Over the past two years, the Town has received a number of requests relating to commercial operations including office, restaurant, coworking, and other general commercial services for potential small business owners in this area. In response to these requests, staff has worked closely with the property owners to understand the changing conditions of this area.

To adapt to the changing needs of the existing and future property owners, staff is proposing a series of Text Amendments that will create a new zoning category called the Residential Commercial (RC) District, allowing for a combination of low intensity commercial and residential uses. This zoning district will allow for the conversion of residential properties to commercial in addition to existing and future residential uses.

As such, the second request as part of this effort is to rezone the Ocotillo 11 properties from R1-6 (Residential) to RC/PAD. The purpose of this PAD overlay rezone is to develop a set of guidelines and vision for the 11 properties included with specific standards to this area. The proposed permitted uses provide the opportunity for small, compact commercial/residential development that is compatible in scale and character with surrounding residential uses. A PAD narrative has been provided with this effort guiding the vision and future redevelopment of the Ocotillo 11 area.

HISTORY

March 2, 2011: The Town approved an update to the Town Center Plan Land Use Map designating this area as Mixed Use Commercial/Office/Residential

September 6, 2017: The Town approved an update to the Town Center Plan update, which carried forward the initial initiatives and land use plan from the 2011 update

PROJECT INFORMATION

Ocotillo 11	
Project Name	Ocotillo 11 Text Amendments and PAD REzone
Site Location	SWC of Ocotillo Road and 205 th Place
Current Zoning	R1-6 (Urban Development District)
Proposed Zoning	RC (Residential Commercial District)/PAD
General Plan Designation	Neighborhood

Ocotillo 11	
Surrounding Zoning Designations:	
North	MDR (Victoria Heights)
South	R1-12 (Will Rogers Equestrian Estates)
East	C-2 (Commercial)
West	C-2 (Vet Clinic and Cambridge Academy)
Gross Acreage	11 parcels, approximately 3.5 Acres

DISCUSSION

As previously noted, in 2016, a property owner of one the 11 properties included in the subject rezoning area approached the Town with a proposal to remodel their existing building for commercial use. The change would have required rezoning and site plan approval process and therefore, was not pursued further. In 2019, staff became aware of a change in operations with the business as some of the use shifted outside of the residence. At this time, staff approached the property owner to discuss the prior rezoning effort and began discussions about picking up the rezoning process where it left off previously. These conversations led to further discussions with neighboring property owners who expressed a collective interest to adapt to the changing conditions of the 11 subject properties in this area.

In coordination with the property owners, a number of informal meetings, discussions, and site visits have taken place with the property owners of the Ocotillo 11 area. The Town has coordinated with 8 of the 11 property owners to discuss their vision for these properties and worked to integrate these needs into the PAD narrative and Text Amendments. Additionally, two formal property owner meetings were held at the Town’s offices to discuss the specific proposed standards in more detail.

As a result, the Town is moving forward with a PAD rezone for the 11 properties along Ocotillo road to allow for a low-intensity, mixed-use commercial area for both small scale commercial development and residential to commercial conversions in addition to existing or future residential uses.

Proposed Text Amendments

Staff proposes a series of Zoning Ordinance Text Amendments to replace the existing Neighborhood Commercial (NC) Zoning District with the proposed Residential Commercial (RC) District. The text amendments creating the RC zoning district will create a mixed-use zoning district to be developed at a residential scale.

Below is a summary of the proposed text amendments as part of this application:

Amendment #1: Update the existing references to RC Zoning District.

This amendment will replace all references to the previous Neighborhood Commercial (NC) zoning district with new information relating to the proposed RC district. This amendment includes updates to the following sections:

- Table 4.2-1: Zoning Districts
- Table 4.3.2: Zoning District Descriptions
- Table 4.7-2: Intensity Regulations
- Section 4.9: Performance Criteria
- Article 7: Sign Regulations
- Other sections as applicable

Amendment #2: Update the Permitted Use table to reflect the new permitted and prohibited uses in the RC district.

This amendment would replace the NC district identified in the Permitted Use table within the Zoning Ordinance and update the proposed permitted and non-permitted uses associated with the RC district. A few of the uses permitted in this district are listed below:

- Single family, detached
- Day care
- Commercial offices
- Medical offices
- General and personal services
- Bed and Breakfast
- Small scale restaurants (conditionally permitted)
- Arts, crafts, boutiques

A more complete list has been included in the attached Text Amendments PDF which shows the redlined changes of the RC zoning district.

Amendment #3: Update the Table 4.7-3: Dimensional Standards for the RC District

This amendment updates the associated development standards table to accommodate the proposed objectives of the RC zoning district. The changes will provide specific lot standards pertaining to existing residential and future commercial conversions or new construction.

Standard	RC (Proposed)
Minimum Area (Square Feet or Acres)	-
Minimum Width (Feet)	50
Minimum Depth (Feet)	100
Maximum Lot Coverage (Percent)	80%
Maximum Height (Feet)	30'
Minimum Front Yard Setback (Feet)	--

Minimum Side Setback (Feet)	5'
Minimum Rear Setback (Feet)	20' ⁽¹⁾

(1) Commercial uses in the DC and RC district abutting residential zoning districts shall have a rear yard landscape buffer of 15', subject to the approval of the Planning Administrator.

PAD Standards

An in depth PAD narrative has been provided with this effort to help guide the vision and potential future redevelopment of the Ocotillo 11 area. These standards within the PAD narrative are listed below.

Redevelopment and/or Conversions

Redevelopment and/or conversions from residential to commercial or new commercial development shall conform to the performance standards outline below:

1. Commercial uses shall be required a 15' landscape buffer at the rear yards of the properties.
2. New and redeveloped non-residential development is required to screen the rear and side yards with 6-foot tall solid masonry wall.
3. Fabrication, assembly, and repair work shall be limited to areas within enclosed buildings and be completely screened.
4. Outdoor display is prohibited and any outdoor storage shall be screened and located within the side or rear yards.
5. Refuse enclosures shall be located at the rear of the site and fully screened.
6. Operating hours to the public are limited to between 6:00 a.m. and 10:00 p.m.
7. A clearly defined pedestrian path should be provided from the public sidewalk to the front entrance.

Alternative designs or proposals that meet the intent of this PAD may be considered by the Planning Administrator.

Design Guidelines

The purpose of the PAD Design Standards is to help guide the physical development and the visual quality of the area. The objective of the Ocotillo 11 design standards is to provide design flexibility and encourage commercial development to consider the neighboring properties and to be designed at a residential scale. The following sections outline design guidelines recommended for the Ocotillo 11 area.

Building Design

Building design elements for redeveloped properties may include some or any of the following:

- Decorative brick, stone or masonry may be used to add interest to the front façade in the form of porch columns, foundation planters or wainscoting.
- Window detailing should be enhanced by the addition of shutters, simulated divided panes or more substantial trim.
- If windows are replaced, the new windows should maintain the same proportions as the original windows.
- A porch or covered entry should be provided.
- Property address numbers should be clearly visible from the street.
- Decorative fixtures, such as outdoor lights, mailboxes, address numbers, and door hardware should be coordinated in terms of style, color and material(s) to further enhance the appearance of the building are encouraged.

Staff recognizes the need for alternative design elements in different circumstances. Staff proposes that alternative designs that meet the intent of the PAD narrative may be considered by the Planning Administrator through the site plan process.

Circulation

Due to the layout of the subject properties, mitigating traffic conflicts is a critical component to creating a safe area. A plan for safe circulation shall be considered with each conversion or new development which may include:

- Traffic statement
- Limiting the number of ingress and egress points through the use of shared driveways with adjoining uses when applicable
- Traffic calming measures

Traffic Engineering may require additional improvements within public rights-of-way, as determined by applicable codes, traffic safety warrants, or other factors leading to the need for improvements or modifications.

Parking, Loading, & Access

Parking, loading, and access shall include the following considerations and requirements:

- One space for each employee plus one space for each 500 sq. ft. of floor area.
- Parking shall be screened and located in the rear of the site.
- Designed to maximize compatibility with surrounding uses.
- Common parking to serve more than one conversion property may be considered as part of the site plan process and the Planning Administrator.
- The use of decorative pavement in front parking areas is encouraged as an alternative to asphalt.
- Minimum width of two-way driveways is 20 feet.
- Minimum parking stall width is 9 feet x 20 feet.

Open Space & Landscaping

No common open space is required for the conversion of existing residential properties. Quality street and landscape buffering is a critical component of the residential to commercial conversions. The plant species selection in the RC zoning district include considerations for design aesthetics, pedestrian, noise mitigation and long-term maintainability of the area.

Front

Along the Ocotillo Road frontage and along the northern boundary of the project, the following requirements apply:

- Each conversion shall have a minimum of one (1) tree in the front yard area. The following trees are recommended to meet this standard:
 - Chinese Pistache
 - Live Oak
 - Chinese Elm
 - Fan Tex Ash
 - Willow Acacia
 - Anacacho Orchid Tree
 - Chitalpa
- A low hedge, fence or wall of three (3) feet or less in height located along the front property line is encouraged in order to create a sense of arrival.

Rear

A 15' minimum landscape setback is required along the rear of all properties that convert from residential to commercial. The following trees are recommended for use as rear buffer yard trees.

- Chinese Pistache
- Live Oak
- Chinese Elm
- Fantax Ash

The rear yard buffer area is meant to help buffer residential properties immediately adjacent to the proposed redevelopment. Additionally, there is a Public Utility Easement (PUE) that exists on the approved plat of eight feet (8') which further the supports the size of the landscape buffer condition in the rear of the property due to the tree planting constraints within this easement.

Alternative landscaping that meets the intent of the PAD may be considered by the Planning Administrator.

GENERAL ANALYSIS

General Plan Review: The current General Plan designation for proposed development area is Neighborhood. This proposal complies with the 2018 General Plan and Town Center Plans.

Zoning Review: The current zoning designation of the 11 properties is R1-6. Staff reviewed a number of different options to meet the needs of the Ocotillo 11 residents including rezoning to an existing district within the Zoning Ordinance and a residential conversion policy. All considered options were unable to accommodate the uniqueness of the Ocotillo 11 properties and the suggested solution by Planning staff was to create a new zoning district with a PAD overlay. The creation of a new zoning district allows for this type of zoning to be considered in other areas throughout Town while the PAD overlay defines a specific set of development standards and vision for the Ocotillo 11 properties. The proposed PAD rezone would rezone the properties to RC/PAD.

Engineering Review: The Engineering division has reviewed this project. Staff has collaboratively worked with Engineering to incorporate all comments and concerns into the rezone updates. No conditions of approval have been added by Engineering.

Public Notification/Participation: The Town held one (1) formal Neighborhood meeting, on January 6, 2019 in addition to the multiple informal meetings and discussions with individual property owners. Meeting notifications were mailed to property owners within 1,200 feet of the project, as required by the Zoning Ordinance. There were nine (9) residents and property owners in attendance which included members from the Will Rogers neighborhood and the property owners of the project area.

The residents asked questions pertaining to the following:

- How will the Town deal with traffic in this area in the future?
- Will residential be allowed?
- The types of conversions
- The redesign of the properties
- The landscape buffer
- What's not allowed

Staff fielded a number of the above noted questions and concerns from residents. The attendees were grateful that the Town was working with the property owners to develop a future vision for this area and agreed it was better than not doing anything. The residents from the Will Rogers Subdivision expressed the need and desire to have a landscape buffer to the properties immediately abutting the 11 properties if they became commercial uses.

Staff highlighted that a 15' buffer was the standard throughout the Town in similar conditions to the Ocotillo 11 properties. Staff referenced the Downtown Core (DC) zoning effort along Ellsworth Road as an example of a landscape buffer condition. Staff

discussed the setbacks of the property at 5' due to the current residential use and to allow more flexibility with any conversions or proposed commercial uses. Staff also discussed the property line walls which would be required if a property was converted to a commercial use.

The residents were supportive of the development standards presented as they relate to commercial development and appreciated the residential scaled design guidelines. The overwhelming majority of the attendees expressed concern about a larger developer consolidating parcels and building a more commercial center related use such as a Walgreens or CVS.

In addition to the Neighborhood Meeting, Staff has discussed this effort at the following meetings:

- Town Council Worksession on November 6
- P&Z Workstudy Session on November 13
- P&Z Workstudy Session on February 12, 2020
- Town Council Worksession on February 19

All feedback provided from the above listed meetings have been incorporated into the proposal.

CONDITIONS OF APPROVAL

1. Any redevelopment or conversion from residential to commercial, or new commercial development shall be developed in accordance with the PAD narrative attached to this case and all the provisions of the Zoning Ordinance as applicable.

ATTACHMENTS

1. Aerial Exhibit
2. Existing General Plan Exhibit
3. Existing Zoning Map Exhibit
4. Proposed Zoning Map
5. Ocotillo 11 PAD Narrative
6. Proposed Zoning Ordinance Text Amendments (showing track changes/proposed revisions).

Project Name: Ocotillo 11 PAD Rezone

Case Numbers: P19-0238 / P19-0239

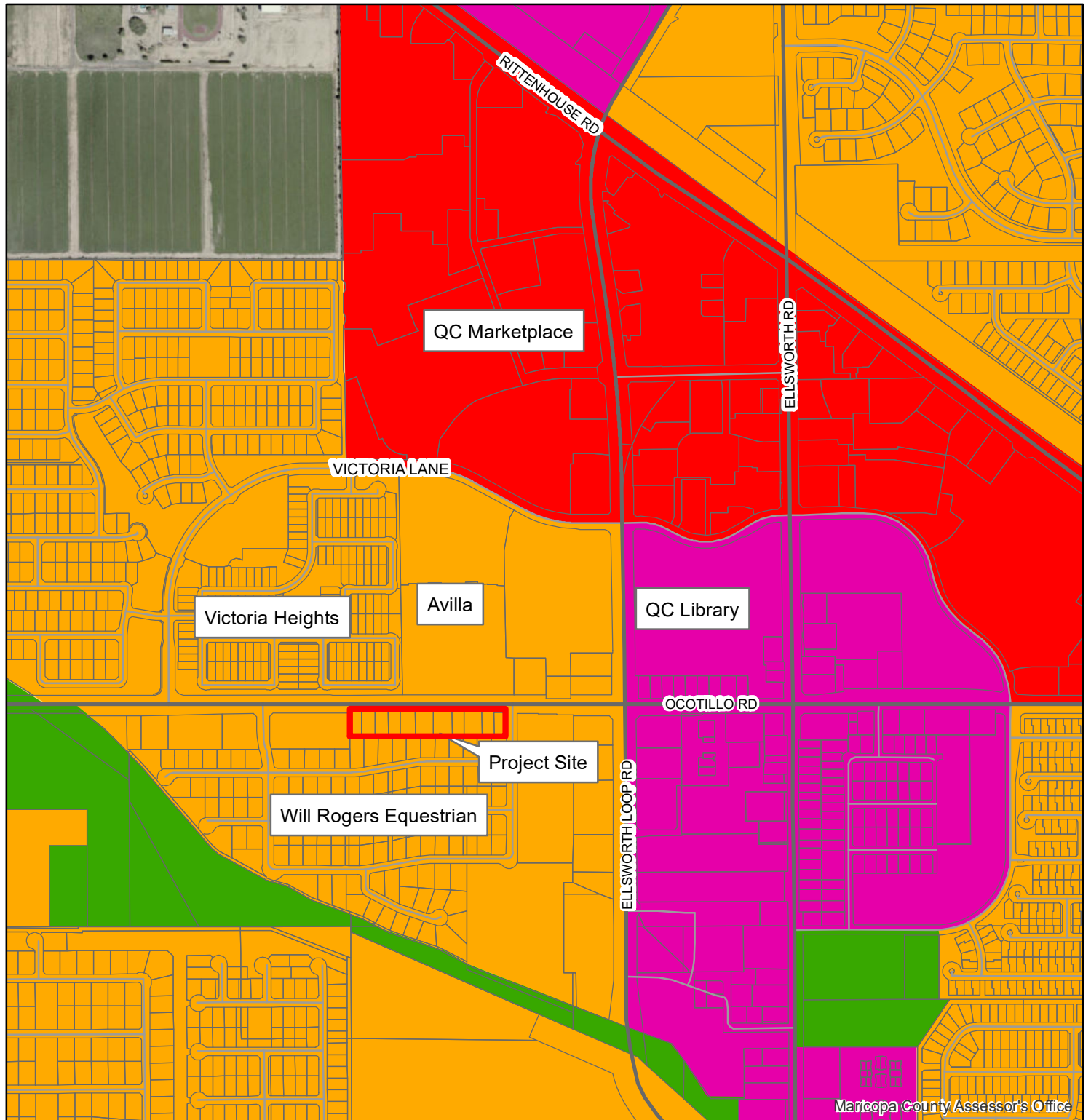
Hearing Date: March 11, 2020 (Planning Commission)













Project Name: Ocotillo 11 General Plan

Case Numbers: P19-0238 / P19-0239

Hearing Date: March 11, 2020 (Planning Commission)



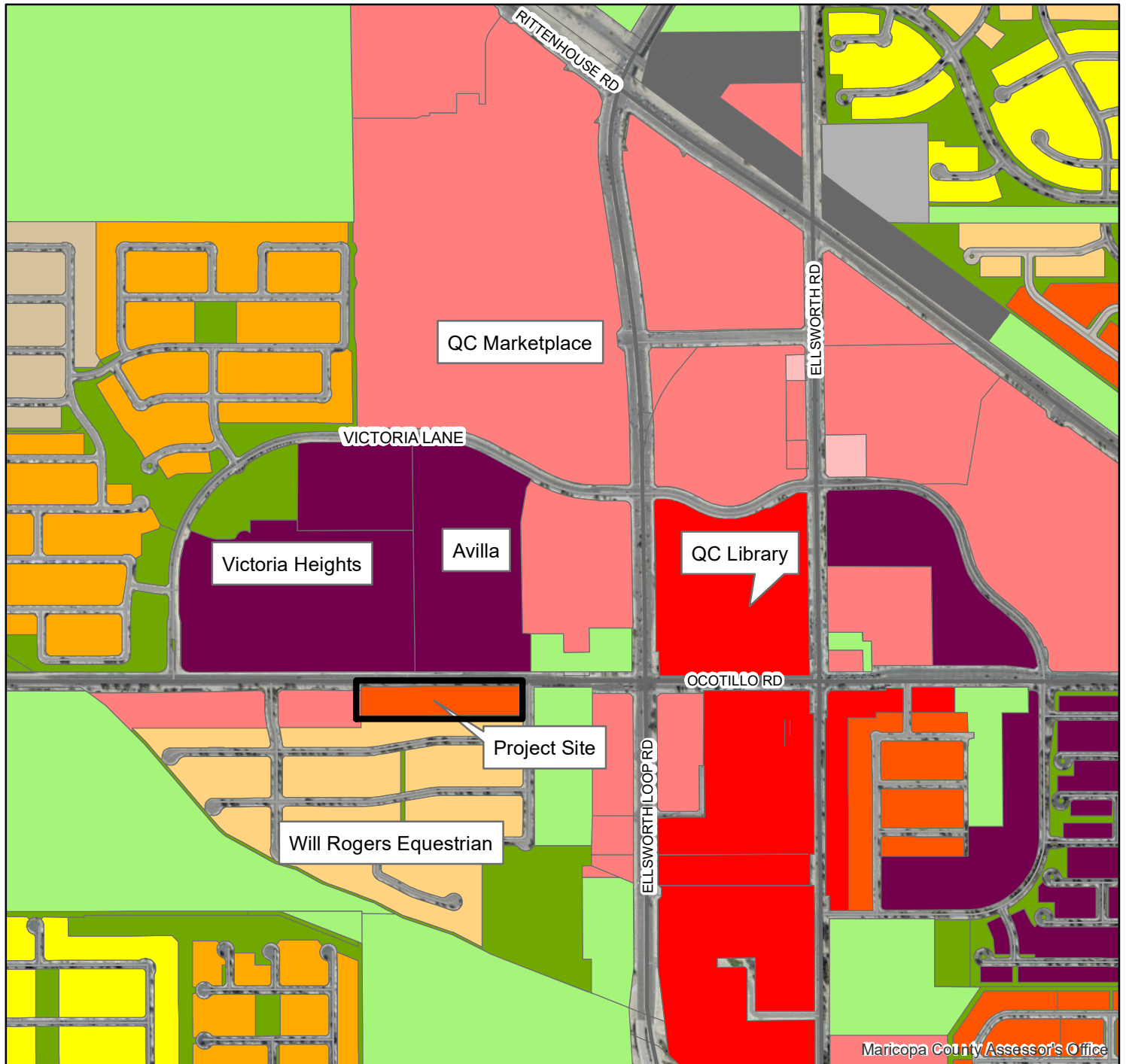
Land Use

























- | | | | |
|--|--|--|--|
|  Rural |  Commercial |  Special District 1 |  Special District 4 |
|  Neighborhood |  Industrial |  Special District 2 | |
|  Urban |  Open Space |  Special District 3 | |

Project Name: Ocotillo 11 Existing Zoning Exhibit

Case Numbers: P19-0238 / P19-0239

Hearing Date: March 11, 2020 (Planning Commission)

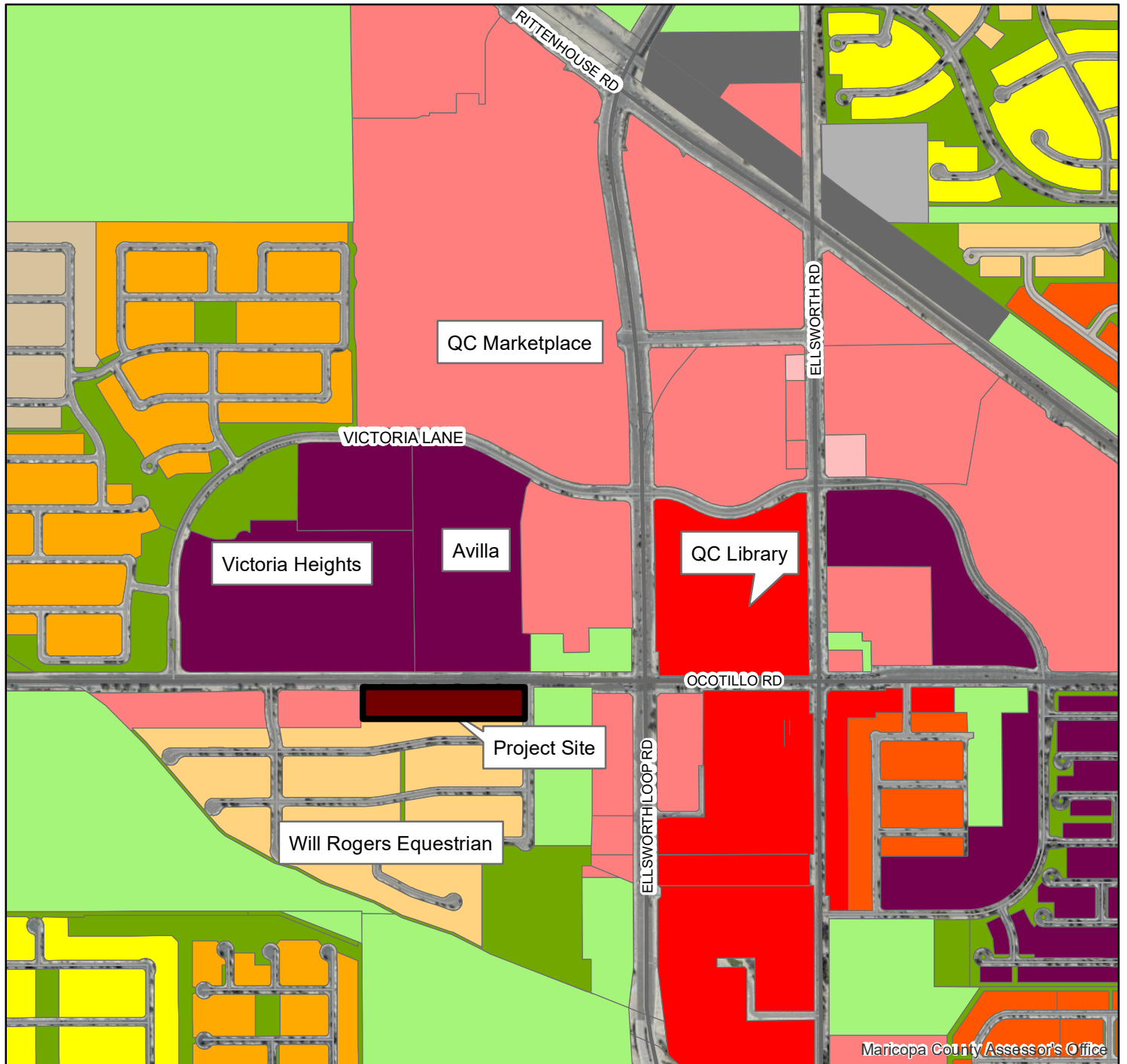


Zoning							
	C-1 - Commercial		EMP B - General Industrial		R1-6 - Residential		R1-18 - Residential
	DC - Downtown Core		PQP - Public/Quasi-Public		R1-7 - Residential		R1-35 - Residential
	C-2 - Commercial		RC - Recreation/Conservation		R1-8 - Residential		R1-43 - Residential
	C-3 - Commercial		MDR - Residential		R1-9 - Residential		R1-54 - Residential
	EMP A - Office/Industrial Park		R1-4 - Residential		R1-12 - Residential		R1-190 - Residential
			R1-5 - Residential		R1-15 - Residential		PCD - Planned Community
							AT - Agritainment

Project Name: Ocotillo 11 Proposed Zoning Exhibit

Case Numbers: P19-0238 / P19-0239

Hearing Date: March 11, 2020 (Planning Commission)



Zoning			
	C-1 - Commercial		EMP B - General Industrial
	DC - Downtown Core		PQP - Public/Quasi-Public
	C-2 - Commercial		PRC - Recreation/Conservation
	C-3 - Commercial		MDR - Residential
	RC- Residential Commercial		R1-4 - Residential
			R1-5 - Residential
			EMP A - Office/Industrial Park
			R1-6 - Residential
			R1-7 - Residential
			R1-8 - Residential
			R1-9 - Residential
			R1-12 - Residential
			R1-15 - Residential
			R1-18 - Residential
			R1-35 - Residential
			R1-43 - Residential
			R1-54 - Residential
			R1-190 - Residential
			AT - Agritainment

ARTICLE 4 – ZONING DISTRICTS

application for an amendment to the Official Zoning Map and/ or the text of the Zoning Ordinance, or an interpretation of zoning

district boundaries or permitted uses pursuant to Section 2.2 of this Ordinance.

Table 4.2-1 Zoning Districts

Zoning District		Area Requirements		
Residential Districts	A -1	Agricultural District – Rural Development	Ten (10) acres/du	
	R1 -190	Rural Development District	Five (5) acres/du	
	R1 -145	Rural Development District	Three and one-third (3 1/3) acres/du	
	R1 -108	Rural Development District	Two and a half (2 1/2) acres/du	
	R1 -54	General Rural Development District	One and one-fourth (1 1/4) acres/du	
	R1 -43	Rural Estate District	One (1) acre/du	
	R1 -35	Suburban Residential Type A District	Thirty five thousand (35,000) sq. ft. /du	
	R1 -18	Suburban Residential Type B District	Eighteen thousand (18,000) sq. ft. /du	
	R1 -15	Suburban Development Type B District	Fifteen thousand (15,000) sq. ft. /du	
	R1 -12	Suburban Development Type B District	Twelve thousand (12,000) sq. ft. /du	
	R1 -9	Urban Development Type A District	Nine thousand (9,000) sq. ft. /du	
	R1 -8	Urban Development Type A District	Not Permitted after August 1, 1998	
	R1 -7	Urban Development Type A District	Seven thousand (7,000) sq. ft. /du	
	R1 -6	Urban Development Type A District	Not Permitted after August 1, 1998	
	R1 -5	Urban Development District	Up to 5 du/acre	
	R1 -4	Urban Development District	Up to 8 du/acre	
Non-Residential Districts	MDR	Medium Density Residential District	Up to 14 du/acre	
	HDR	High Density Residential District	Up to 25 du/acre	
	C -1	Light Commercial District	N/A	
	C -2	General Commercial District	N/A	
	C -3	Regional Commercial Center District	N/A	
	EMP-A	Office/Industrial Park	N/A	
	EMP-B	General Industrial District	N/A	
	PRC	Parks, Recreation and Conservation Zone District	N/A	
	P/QP	Public/Quasi Public District	N/A	
	NCRC	Neighborhood Commercial/Office Mixed Use District Residential Commercial District	N/A	
	DC	Downtown Core District	N/A	
	MU	Mixed Use District	N/A	
	AT	Amusement District	N/A	
	PCD	Planned Community District	Two-hundred (200) acres	
	Overlay Districts	PAD	Planned Area Development Overlay District	N/A
		MHR	Manufactured Housing Overlay District	N/A

4.3 Relationship to General Plan

A. The purpose of this Ordinance is to implement the land use policies of the General Plan Land Use Element, including the Land Use Plan. Pursuant to A.R.S. §9-462.F, all zoning ordinances or regulations adopted pursuant to this Ordinance shall be consistent with the General Plan and any specific plans of the Town, if any, as adopted under A.R.S. §9-6 This section describes the relationship between the various zoning districts and the General Plan and a summary of each development

district in tabular form. The provisions of Article 4 to Article 7 shall prevail, if there is any inconsistency with the tabular summary below.

1. Purpose Statements for All Districts. The purpose and intent of each district is listed in Table 4.3-1 on the next page.

ARTICLE 4 – ZONING DISTRICTS

Table 4.3-2 Relationship of Non-Residential Districts to General Plan

Non-Residential Districts		
MU	Mixed Use	To provide a mixture of residential, commercial, office and public uses that serve the neighborhood and / or community. Residential uses are allowed up to eighteen (18) units per acre. The MU District promotes integration of Office, Commercial, and Residential uses to support pedestrian and non-motorized alternatives to driving, and to promote a broader range of employment and housing options. It allows a range of development intensities and uses including, but not limited to: personal and professional services, institutional and civic uses, retail, office, and multi-family dwellings. The Mixed-Use District implements the Mixed Use and future Land Use classifications of the Queen Creek Town Center and General Plans, and requires a Planned Area Development (PAD) Overlay.
DC	Downtown Core	To promote a unique Downtown that reinforces the authentic character and quality of Queen Creek. The DC district emphasizes compact development, connectivity, and a pedestrian oriented environment. It allows a range of uses such as specialty retail, commercial office, open space, residential and event uses designed in an organized and unique manner. All development is encouraged to follow a set of specific design guidelines to promote unified development. Shops and stores are encouraged to be front facing on or near the sidewalks with parking conveniently located on-street and behind building masses. Drive-thru restaurants, suburban shopping centers and large “big-box” commercial is prohibited. The DC district promotes the long-term vitality of the Town Center Area as provided by the Queen Creek General Plan.
NCRC	Neighborhood Commercial/Office Mixed Use Residential Commercial District	To provide small areas for office and professional services combined with limited retail uses, designed in scale with surrounding residential uses. This district provides a balance of residential and non-residential land use opportunities reflecting the economic needs of residents and business owners as promoted by the Queen Creek General Plan and Town Center Plan. NC implements Commercial Goal 6, Policies 6.c and 6.f (page 27) of the Queen Creek General Plan. This zoning district requires a Planned Area Development (PAD) Overlay.
AT	Agritainment District	To provide for land uses that support and enhance agriculture use in the Town. Such uses shall be compatible with agriculture, and may include uses that support open space, natural resource management, outdoor recreation, enjoyment of scenic beauty, commercial and residential uses. The Agritainment District requires a Planned Area Development (PAD) Overlay.
PCD	Planned Community District	To provide an alternative to standard zoning for planned developments. The purpose of the PCD is to encourage creative approaches in land development which conform and elevate the policies and goals of the General Plan. The district shall provide a wide mix of uses, densities, and intensities and shall be implemented through a Development Agreement. The PCD should strive to utilize the existing topography, surrounding uses, and open space opportunities through flexible design solutions.
Commercial Districts		
C-1	Light Commercial	Indoor retail, service, and office use requiring arterial street access and business and commercial development along urban arterials. The purpose of the C-1 district is to accommodate well-designed development sites that provide excellent transportation access, make the most efficient use of existing infrastructure, and provide orderly transitions and buffers between uses. C-1 implements Commercial Goal 6, of the Queen Creek General Plan.
C-2	General Commercial	General commercial activities designed to serve the community such as repair shops, wholesale businesses, warehousing, and limited retail sales, with some outdoor display of goods, but limited outdoor operations. This district promotes a broad range of commercial operations and services necessary for large regions of the Town and County, providing community balance as described in the Queen Creek General Plan. The C-2 implements the Commercial Goal 6, of the General Plan.
C-3	Regional Commercial Center	To provide for a mixture of shopping, housing, recreation and employment opportunities to serve a regional market greater than the Town. Retail malls and power centers, auto dealers, major office centers, hospitals, apartments and condominiums and other similar larger scale and higher intensity uses are anticipated. Residential uses may also be developed. These projects must be developed as part of a master-planned development requiring approval of a Planned Area Development (PAD) Overlay. This district implements the Regional Commercial Center Future Land Use classification of the Queen Creek General Plan.

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NCRC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PR C	PQP
Dwelling Units	*Accessory Uses	A	A	--	--	--	--	--	--	--	--	--	--	--	--	--	--
	Live / Work	--	--	--	--	--	P	P	P	C	C	C	C	--	--	--	--
	*Accessory Dwelling Unit	A	A	A	A	--	P	--	--	--	--	--	--	--	--	--	--
	Single-Family, Detached	P	P	P	P	P	P	EP	--	P	--	--	--	--	--	--	--
	Single-Family, Attached	--	--	--	--	P	P	EP	--	P	--	--	--	--	--	--	--
	Modular Home	P	P	P	P	P	--	--	--	--	--	--	--	--	--	--	--
	Manufactured Housing (Permitted in MHR Overlay only)	P	P	P	P	P	--	--	--	--	--	--	--	--	--	--	--
	Mobile Home	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
	Duplex / Triplex / Townhouse	--	--	--	--	P	--	--	P	--	--	--	--	--	--	--	--
	Multiple Dwelling (See Section 4.6.D.8)	--	--	--	--	P	P	P	P	P	--	--	--	--	--	--	--
Group Living	Boarding House or Rooming House	--	--	--	--	C	--	P	--	C	C	--	--	--	--	--	
	All Other Household Living	--	--	--	--	C	--	C	--	C	C	C	C	C	--	--	
	Assisted Living Facility	C	C	--	--	P	--	P	--	C	C	P	P	--	--	--	
Lodging	*Group Residential Facility (Group Home)	P	P	P	P	P	--	--	--	--	--	--	--	--	--	--	
	Treatment Facility	--	--	--	--	--	--	E	--	C	C	C	C	--	--	--	
Hotels, Motels, Bed & Breakfast Inns (See 4.6.D.1)	Hotels, Motels,	--	--	--	--	--	--	P	P	P	P	P	--	--	--	--	
	Bed & Breakfast Inns (See 4.6.D.1)	--	--	--	--	--	W	--	P	--	--	--	--	--	--	--	
Institutional & Civic																	
Community Service	Museums, Art Galleries, Opera Houses, and Libraries (See Section 4.6.D.6)	W	W	W	W	W	W	W	P	W	W	W	W	--	--	W	W
	Community Building (See Section 4.6.D.6)	W	W	W	W	W	W	W	P	W	W	W	W	--	--	W	W
	All Other Community Service (See Section 4.6.D.6)	W	W	W	W	W	W	W	P	W	W	W	W	--	--	W	W
Day Care	Home-Based Day Care (1-6 children plus 2 children after school) (See Section 4.6.D.7)	W	W	W	W	W	--	--	--	--	--	--	--	--	--	--	--
	Limited Day Care (6-12 children) (See Section 4.6.D.7)	C	C	C	C	C		W	--	W	W	W	W	--	--	--	--

Formatted Table

Formatted Table

Formatted Table

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Institutional & Civic (Continued)																	
Day Care (Continued)	General Day Care (13 or more children) and Nursery School/ Pre-School (See Section 4.6.D.7)	--	--	--	--	--	--	W	--	P	W	P	P	--	--	--	--
	All other	--	--	--	--	--	--	NC	--	C	C	C	C	--	--	--	--
Parks & Open Space	Neighborhood Park (See Section 4.6.D.6)	W	W	W	W	W	P	--	--	--	--	--	--	--	P	--	
	Cemetery, Mausoleums (See Section 4.6.D.6)	W	W	W	W	W	P	--	--	--	C	C	--	C	C	W	--
	Golf Course (See Section 4.6.D.6)	W	W	W	W	W	--	--	--	C	W	W	C	C	C	W	--
	Golf Driving Range	--	--	--	--	--	--	--	--	C	C	C	C	C	C	C	--
	Parks/lakes/reservoirs	--	--	--	--	--	--	C	C	C	C	C	C	C	C	C	--
	All Other Parks/Open Space (See Section 4.6.D.6)	W	W	W	W	W	W	C	C	C	C	C	C	C	C	P	--
Religious Institutions	Institution (seating capacity up to 1,500 persons)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	--	--
	Large Institution (seating capacity greater than 1,500 persons)	C	C	C	C	C	C	C	C	C	C	C	C	C	C	--	--
	All other religious uses	--	--	--	--	--	--	C	C	C	C	C	C	--	--	--	--
Safety Services (See Section 4.6.D.6)	All	C	C	C	C	C	C	C	C	C	W	W	C	C	C	C	W
Educational Facilities (See Section 4.6.D.6)	Boarding School	C	C	C	C	C	--	C	--	C	C	C	C	--	--	--	W
	Charter, Private and Parochial School	W	W	W	W	W	--	W	--	W	W	W	W	--	--	--	W
	Dance/Art/Music Schools	--	--	--	--	--	--	W	W	W	W	W	C	--	--	--	W
	Elementary Schools	W	W	W	W	W	W	W	W	W	W	W	W	--	--	--	W
	Riding Academies	--	--	--	--	--	P	C	W	C	C	W	C	C	C	--	W
	Secondary Schools	W	W	W	W	W	W	C	W	W	C	W	W	--	--	--	W
	College or University	C	C	--	--	--	--	--	W	W	W	W	W	--	--	--	W
	Vocational/Tech School	--	--	--	--	--	P	--	W	W	W	W	W	W	W	--	W
All other Schools	W	W	W	W	W	W	C	C	C	C	C	C	--	--	--	W	

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Institutional & Civic (Continued)																	
Utility, Basic	Utility Facilities and Utility Service Yards	P	P	P	P	P	P	P	--	P	P	P	P	P	P	P	P
	All other Utility, Basic	C	C	C	C	C	C	C	--	C	C	C	C	P	P	C	P
Utility Corridors	Utility Treatment, Production or Service Facilities	--	--	--	--	--	C	--	--	C	C	C	C	C	C	P	
Detention Facilities	Jails, Reformatories	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	P
	Honor Camps	--	--	--	--	--	--	--	--	--	C	C	--	P	P	--	P
Hospital/Clinic	Clinics/Medical/Dental Offices (see section 4.6.D.4)	--	--	--	--	--	W	W	W	W	P	P	P	C	--	--	--
	Adult Day Care	--	--	--	--	--	--	P	--	P	P	P	P	C	--	--	--
	Blood Bank or Plasma Center	--	--	--	--	--	--	--	--	--	C	C	C	--	--	--	--
	Counseling Centers (non-resident)	--	--	--	--	--	--	CP	--	P	C	P	P	C	C	--	--
	Counseling Centers (non-resident) for the treatment of drug abuse and / or alcohol	--	--	--	--	--	--	C	--	C	C	C	P	C	C	--	--
	Hospital/Mental Hospital	--	--	--	--	--	--	--	--	C	C	C	C	C	--	--	--
	Physical and Mental Rehabilitation (resident)	--	--	--	--	--	--	--	--	C	--	C	C	C	C	--	--
	All other medical facilities	--	--	--	--	--	--	--	--	C	--	C	C	C	C	--	--
Commercial																	
Eating and Drinking Establishments	Bars & Nightclubs (with or without live music and dancing) and Alcohol Sales, by the drink (primary use) (see section 4.6.D.11)	--	--	--	--	--	W	W	P	W	C	C	P	C	--	--	--
	Restaurant, limited service (see section 4.6.D.11)	--	--	--	--	--	P	C	P	P	P	P	P	P	P	--	--
	Breweries	--	--	--	--	--	P	P	P	P	C	P	P	P	P	--	--
	Restaurant, full service (see section 4.6.D.11)	--	--	--	--	--	W	W	P	P	P	P	P	P	P	--	--

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Commercial (Continued)																	
Eating and Drinking Establishments (Continued)	* Restaurant, with In-Vehicle Service	--	--	--	--	--	--	--	--	C	P	P	P	--	--	--	--
	Coffee Houses (see Section 4.6.D.11)	--	--	--	--	--	P	C	P	P	P	P	P	--	--	--	--
* Home-based occupations	All (when AT, DC, MU is residential use)	P	P	P	P	P	P	P	P	P	--	--	--	--	--	--	--
Office	General Offices (see section 4.6.D.4)	--	--	--	--	--	W	P	P	P	P	P	P	P	--	--	--
	Coworking space (Business Incubator)	--	--	--	--	--	P	P	P	P	P	P	P	P	--	--	--
	All other offices	--	--	--	--	--	C	C	C	C	C	P	--	--	--	--	--
Parking, Commercial	Commercial Parking Lot or Parking Structure	--	--	--	--	--	--	€	C	C	C	C	C	C	C	--	--
Entertainment Event Major	Indoor Facilities	--	--	--	--	--	P	€	P	P	C	C	P	P	P	C	--
	Outdoor Facilities	--	--	--	--	--	P	€	C	C	C	C	C	P	P	C	--
Recreation and Entertainment Outdoor	Campgrounds and Camps (see Section 4.6.D.2)	W	W	--	--	--	W	--	--	--	--	--	--	W	W	W	--
	Commercial Ranch, Commercial Stable, Outdoor Guest Ranch	C	C	--	--	--	P	--	--	--	--	--	--	--	--	--	--
	Equestrian boarding and riding arenas, (setback 500 feet from all property lines)	--	--	--	--	--	P	--	--	--	--	--	--	C	C	--	--
	Equestrian facilities in conjunction with an approved single family residential development	--	--	--	--	--	P	--	--	--	--	--	--	--	--	C	--
	Hunting, fishing, game preserves and recreational clubs or camps - not including recreational vehicle campgrounds.	--	--	--	--	--	P	--	--	--	--	--	--	--	--	P	--
	Resort, Cabins and Lodges	C	C	--	--	--	P	--	--	C	--	P	C	C	C	C	--
	Swimming Pools	A	A	A	A	A	--	€	--	C	C	P	C	--	--	P	--
	Shooting Ranges	C	--	--	--	--	--	--	--	--	--	--	--	C	C	C	--
Commercial Amusement, Outdoor	C	C	--	--	--	P	--	--	C	C	C	C	C	C	--	--	

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts							Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP	
Commercial (Continued)																		
Recreation and Entertainment Outdoor (Continued)	Miniature Golf	C	C	--	--	--	P	--	--	--	--	--	--	--	--	--	--	
	Zoo	C	C	--	--	--	P	--	--	C	C	C	C	C	C	C	--	
	Carnivals, Dances, Circuses	--	--	--	--	--	--	--	--	C	--	--	C	--	--	--	--	
	All Other Outdoor Recreation	C	C	--	--	--	C	C	--	C	C	C	C	C	C	C	--	
Recreation and Entertainment Indoor	Assembly/Auditorium	C	C	--	--	--	--	P	P	C	C	C	--	--	--	--		
	Amusement Center	C	C	--	--	--	P	--	--	--	--	--	--	--	--	--		
	Bowling Alley	--	--	--	--	--	C	--	--	--	P	P	--	--	--	--		
	Commercial Amusement, Indoor	--	--	--	--	--	P	--	P	P	C	P	P	P	P	--		
	Clubs, Lodges, Health Club, or Fitness Center	--	--	--	--	--	C	--	P	P	P	P	P	P	--	--		
Retail Sales and Service	Alcohol sales, retail	--	--	--	--	--	P	P	P	P	P	P	P	C	--	--		
	Alcohol sales, in restaurant	--	--	--	--	--	P	P	P	P	P	P	P	C	C	--		
	Veterinary Hospitals, Kennels	--	--	--	--	--	P	--	C	P	--	C	P	C	C	--		
	Animal Sales and Care	--	--	--	--	--	P	P	C	P	P	P	P	P	--	--		
	Indoor, small animals	--	--	--	--	--	P	P	C	P	P	P	P	C	--	--		
	Indoor, large animals	--	--	--	--	--	P	C	C	C	C	P	C	C	C	--		
	Bed & Breakfast	C	C	--	--	--	P	P	P	--	--	--	--	--	--	--		
	Outdoor Sales Operations (see Section 4.6.D.10)	--	--	--	--	--	P	W	--	W	W	W	W	W	W	W	--	
	Arts, crafts and boutiques	--	--	--	--	--	P	P	P	P	P	P	P	--	--	--		
	Bakeries (small scale not factory or distribution warehousing)	--	--	--	--	--	P	P	P	P	P	P	P	P	--	--		
	Bakeries (large scale, including distributors or warehousing)	--	--	--	--	--	P	--	--	--	--	--	--	P	P	--		
	Banks (excluding drive-thru facilities)	--	--	--	--	--	C	P	P	P	P	P	P	P	--	--		
	Bars & Nightclubs (with or without live music and dancing)	--	--	--	--	--	P	--	P	P	C	C	P	--	--	--		
	* Sexually Oriented Business	--	--	--	--	--	--	--	--	--	--	--	--	--	P	--		

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts							Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	WC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP	
Commercial (Continued)																		
Retail Sales and Service (Continued)	* Large Format Retail	--	--	--	--	--	--	--	--	P	--	P	P	--	--	--	--	
	Book Stores	--	--	--	--	--	P	P	P	P	P	P	--	--	--	--		
	Contractor and Trade Shops, Indoor operations and storage	--	--	--	--	--	P	--	--	--	C	C	P	P	--	--		
	Supermarkets or Convenience Stores	--	--	--	--	--	P	--	C	P	P	P	--	--	--	--		
	Delivery and Dispatch Services (vehicles on-site)	--	--	--	--	--	P	--	--	C	P	P	P	P	P	--	--	
	Department Stores	--	--	--	--	--	--	--	--	P	--	P	P	--	--	--	--	
	* In-vehicle ("drive-thru") service facilities uses, including automated tellers, cleaners, liquor and fuel.	--	--	--	--	--	--	€	--	C	C	C	P	--	--	--	--	
	Farm-Related Business, such as: feed stores, fruit, and vegetable stands. (see Section 4.6.D.3)	--	--	--	--	--	P	WC	--	W	W	W	W	--	--	--	--	
	Fertilizer and Seed Sales	--	--	--	--	--	P	€	--	--	C	C	C	P	P	--	--	
	Food Service	--	--	--	--	--	P	--	--	--	--	--	P	--	--	--	--	
	Catering	--	--	--	--	--	P	C	P	P	C	P	P	C	C	--	--	
	Funeral Home/Mortuary Crematorium	--	--	--	--	--	--	--	--	C	C	C	P	P	P	--	--	
	Hardware Stores	--	--	--	--	--	P	C	--	P	C	P	P	--	--	--	--	
	Landscaping Materials	--	--	--	--	--	P	C	--	--	P	P	C	P	P	--	--	
	Manufactured Building Sales and Service	--	--	--	--	--	--	--	--	--	--	C	C	P	--	--	--	
	* Massage Establishments	--	--	--	--	--	--	--	--	C	C	P	P	--	--	--	--	
Motor Vehicle Dealer	--	--	--	--	--	--	--	--	C	--	P	P	--	--	--	--		
*Non-chartered Financial Institutions	--	--	--	--	--	--	--	--	--	--	C	--	C	--	--	--		

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts										
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP	
Commercial (Continued)																		
Retail Sales and Service (Continued)	Nurseries and Green Houses where retail sales and services will be conducted on the premises	--	--	--	--	--	P	P	--	C	P	P	P	--	--	--	--	
	* Pawn Shops and Precious Metals Dealers (We Buy Gold)	--	--	--	--	--	--	--	--	--	C	--	C	--	--	--	--	
	Rental Services (see 4.6.D.5) where heavy equipment is involved)	--	--	--	--	--	--	W	--	W	W	W	W	W	W	--	--	
	Repair Services (appliances)	--	--	--	--	--	--	RC	--	P	P	P	P	P	P	--	--	
	Personal or General Services	--	--	--	--	--	--	P	P	P	P	P	C	C	--	--	--	
	* Medical Marijuana Dispensary, Operation or Cultivation	--	--	--	--	--	--	--	--	--	C	--	C	C	--	--	--	
	Swap Meets and Farmer's Markets	--	--	--	--	--	P	--	P	P	--	C	P	C	C	--	--	
	Theaters	--	--	--	--	--	P	--	P	P	--	P	P	--	--	--	--	
	All Other Retail Sales and Service	C	C	--	--	--		C	C	C	C	C	C	C	C	--	--	
Agriculture	General agriculture uses, agribusiness, entertainment farming	P	P	--	--	--	P	--	--	--	--	--	--	--	--	--	--	
	Concentrated animal feeding operation	--	--	--	--	--	P	--	--	--	--	--	C	C	--	--	--	
	Dairy	--	--	--	--	--	P	--	--	--	--	--	C	C	--	--	--	
	Feed Lot	--	--	--	--	--	P	--	--	--	--	--	C	C	--	--	--	
	Greenhouses, Plant/Tree Nurseries	P	P	--	--	--	P	--	--	--	--	--	P	P	--	--	--	
	Agribusiness	P	P	--	--	--	P	--	--	--	--	--	--	--	--	--	--	
	Christmas Tree Sales	--	--	--	--	--	P	--	--	--	--	--	P	P	P	P	--	
	Feed Lot	--	--	--	--	--	P	--	--	--	--	--	--	C	C	--	--	--
	Greenhouses, Plant/Tree Nurseries	P	P	--	--	--	P	--	--	--	--	--	--	P	P	--	--	--
Agribusiness	P	P	--	--	--	P	--	--	--	--	--	--	--	--	--	--	--	
Christmas Tree Sales	--	--	--	--	--	P	--	--	--	--	--	P	P	P	P	--	--	

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Commercial (Continued)																	
Agriculture (Continued)	Grain Storage, when not used in connection or accessory to use of the property for agriculture cultivation	P	P	--	--	--	P	--	--	--	--	--	--	--	--	--	--
	Winery	--	--	--	--	--	P	--	--	--	--	--	--	C	C	--	--
	All other agriculture, including mini-farms, and community gardens	P	P	C	C	C	C	--	--	--	--	--	--	C	C	--	--
Self-Service Storage	Self-Storage (see Section 4.6.D.12)	--	--	--	--	--	--	W	--	W	W	W	W	W	W	--	--
Vehicle Service	Automotive Repair	--	--	--	--	--	--	--	--	C	--	P	P	P	P	--	--
	Body Shop	--	--	--	--	--	--	--	--	--	--	--	C	P	P	--	--
	* Car Wash	--	--	--	--	--	--	--	--	C	--	P	P	--	--	--	--
	* Gasoline Service Station	--	--	--	--	--	--	€	--	P	C	P	P	--	--	--	--
	* Quick Lubrication	--	--	--	--	--	--	€	--	C	C	P	P	P	P	--	--
	Semi-Truck Repair	--	--	--	--	--	--	--	--	--	--	--	--	C	P	--	--
	Semi-Truck Stop/Travel Plaza	--	--	--	--	--	--	--	--	--	--	--	--	--	P	--	--
	Tire Recapping and Storage (not junkyards)	--	--	--	--	--	--	--	--	--	--	--	--	C	C	--	--
All other Vehicle Service	--	--	--	--	--	--	--	--	--	--	--	C	C	C	--	--	
Other																	
Aviation or Surface Passenger Terminal	Airport/Heliports	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--
	Bus/Commuter Stops	--	--	--	--	--	P	P	P	P	P	P	P	P	P	P	--
	Bus/Railroad Depot	--	--	--	--	--	P	--	P	P	C	P	P	P	P	--	--
	Helipads	--	--	--	--	--	--	--	--	P	C	C	P	C	C	--	--
	All other Aviation or Surface Passenger Terminal	--	--	--	--	--	--	€	C	P	C	C	P	C	C	--	--
Mining	Extractive Use	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--
	Oil or Gas Drilling	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--
	Quarry	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Other (Continued)																	
Mining (Continued)	Processing	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--
	Sand or Gravel Extraction or Processing	--	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--
* Tele-communication Facilities	* Antennas or towers, other	C	C	C	C	C	C	€	--	P	C	C	P	C	C	C	C
	*Antennas or towers on property owned, leased, or otherwise controlled by the Town of Queen Creek	--	--	--	--	--	P	P	P	P	P	P	P	P	P	P	P
	Satellite Dish Antennas for private residential use	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	--
Temporary Uses (see Section 3.6)	Enterprise Sales	T	T	-	-	-	T	T	T	T	T	T	T	T	T	--	--
	Temporary Events	T	T	-	-	-	T	T	T	T	T	T	T	T	T	T	--
	Temporary Retail Sales	T	T	-	-	-	T	T	T	T	T	T	T	T	T	--	--
	Temporary real estate and construction-related uses	T	T	T	T	T	T	T	T	T	T	T	T	T	T	--	T
	Amusement enterprises	T	T	T	T	T	T	T	T	T	T	T	T	T	T	--	--
	Promotional activities involving the display of goods and merchandise	T	T	-	-	-	T	T	T	T	T	T	T	T	T	--	--
	Special events and activities on public property	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T
	Display and Sale of Consumer Fireworks	--	--	--	--	--	T	--	--	T	T	T	T	T	T	--	--
Temporary uses not specified	T	T	-	-	-	T	T	T	T	T	T	T	T	T	T	T	
Industrial Service, Manufacturing and Production	Animal Food Manufacturer	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
	Cleaning or Processing Establishment	--	--	--	--	--	--	--	--	--	--	--	P	P	--	--	
	Indoor Operations and Storage such as Assembly, Food Products, and Manufacturing/ Processing	--	--	--	--	--	--	--	--	--	--	--	P	P	--	--	

ARTICLE 4 – PERMITTED USE TABLE

Table 4.6-1 Permitted Uses (Continued)

Use Category	Specific Use Type	Residential Zoning Districts						Non-Residential Zoning Districts									
		A1 R1-190 R1-145 R1-108	R1-54 R1-43 R1-35	R1-18 R1-15 R1-12	R1-9 R1-8 ¹ R1-7 R1-6 ¹ R1-5 R1-4	HDR/ MDR	AT	NC RC	DC	MU	C-1	C-2	C-3	EMP A	EMP B	PRC	PQP
Industrial Service, Manufacturing and Production (Continued)	Indoor Operations with Outdoor Storage such as Assembly, Food Products, and Manufacturing/Processing, Contractor and Trade Shop (see Section 4.6.D.11)	--	--	--	--	--	W	--	--	--	--	--	--	C	W	--	--
	Outdoor Operations and Storage such as Assembly, Food Products, and Manufacturing/Processing, Contractor and Trade Shops (see Section 4.6.D.11)	--	--	--	--	--	W	--	--	--	--	--	W	W	--	--	
	All other Industrial Service	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
Warehouse and Freight Storage	Indoor Operations, Storage and Loading	--	--	--	--	--	--	--	--	--	--	--	P	P	--	--	
	Indoor Storage with Outdoor Loading Docks (see Section 4.6.D.11)	--	--	--	--	--	--	--	--	--	--	--	W	W	--	--	
	Outdoor Storage or Loading (see Section 4.6.D.5)	--	--	--	--	--	--	--	--	--	--	--	C	C	--	--	
Waste-Related Use	Transfer Station: (Non)Hazardous Waste	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
	Solid Waste Disposal Sites	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
	Junkyards/Automotive Recycler	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
	All other waste-related	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
Wholesale Sales	Wholesale business without highly flammable material or liquids	--	--	--	--	--	--	--	--	--	--	--	--	C	--	--	
	All other wholesale uses	--	--	--	--	--	--	--	--	--	--	--	C	C	--	--	

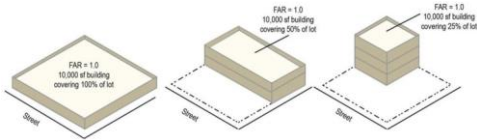
(1) Designation of R1-8 and R1-6 districts is prohibited after August 1, 1998 (pursuant to this Ordinance, and Ordinances 127-98 and 128-98).

ARTICLE 4 – ZONING DISTRICTS

Table 4.7-2 Intensity Regulations

(A) Zoning Districts	(B) Floor Area Ratio	(C) Impervious Surface Ratio
GMU	1.0	0.9
DC	1.0	.9
NCRC	0.85	0.952
AT		
C-1	0.3	0.7
C-2	0.6	0.7
C-3	1.0	0.9
EMP-A	1.0	0.8
EMP-B	1.0	0.9
RC	-	0.10

C. *Dimensional Standards.* Table 4.7-1, Table 4.7-2 and Table 4.7-3 lists the dimensional standards that apply within zoning districts. These are required standards, not guarantees that stated minimums or maximums can be achieved on every site. Other regulations of this Ordinance or site-specific conditions may further limit development on a site. The standards apply to all uses unless otherwise expressly provided in this Ordinance. The Alternative Development Standards of this Section provide additional or supplemental standards for Flag Lots, Attached Housing, and Zero Lot Line.



ARTICLE 4 – ZONING DISTRICTS

Table 4.7-3: Dimensional Standards

(A) Zoning District	(B) Minimum Area (Sq. Feet or Acres)	(C) Minimum Width (Feet)	(D) Minimum Depth (Feet)	(E) Maximum Lot Coverage (Percent)	(F) Maximum Height (Feet)	(G) Minimum Front Yard Setback (Feet)	(H) Minimum Side Setback (Feet)	(I) Minimum Rear Setback (Feet)
Residential Zoning Districts								
A-1	10 acres	300	--	10	30	60	30	60
R1-190	190,000 sf	300	--	10	30	60	30	60
R1-145	145,054 sf	200	--	10	30	50	30	50
R1-108	108,900 sf	200	--	20	30	40	30	40
R1-54	54,450 sf	100	--	20	30	40	20	40
R1-43	43,560 sf	145	--	25	30	40	20	40
R1-35	35,000 sf	145	--	25	30	40	20	40
R1-18	18,000 sf	120	150	35	30	20 ⁽⁹⁾	10	30
R1-15	15,000 sf	115	130	35	30	20 ⁽⁹⁾	10	25
R1-12	12,000 sf	100	120	35 ⁽⁴⁾	30	20 ⁽⁹⁾	10	25
R1-9	9,000 sf	90	100	40 ⁽⁴⁾	30	20 ⁽⁹⁾	5 ⁽³⁾	25
R1-8*	8,000 sf	80	--	40 ⁽⁴⁾	30	20 ⁽⁹⁾	7	25
R1-7	7,000 sf	70	100	40 ⁽⁴⁾	30	20 ⁽⁹⁾	5 ⁽³⁾	25
R1-6*	6,000 sf	60	--	40 ⁽⁴⁾	30	20 ⁽⁹⁾	5	25
R1-5	5,000 sf	50	100	50 ⁽⁷⁾	30	20 ⁽⁹⁾	5 ⁽⁶⁾	20 ⁽¹⁰⁾
R1-4	4,000 sf	40	100	50 ⁽⁸⁾	30	20 ⁽⁹⁾	5 ⁽⁶⁾	15 ⁽¹¹⁾
MDR (up to 14 du/ac)	--	--	--	60**	36	10	5 ⁶	10
HDR* (up to 25 du/ac)	--	--	--	60**	40	10	5 ⁶	10
Non-Residential Zoning Districts								
NCRC	--	50	100	75 80	30	--	±0 5	20 (13)
DC	--	--	--	100	55,30(1)	--	0(2)	0(13)
MU	--	--	--	80	90	(5)	(5)	(5)
AT	--	(5)	(5)	(5)	(5)	(5)	(5)	(5)
C-1	--	50	100	60	30	--	5(2)	0(2)
C-2	--	50	100	60	48	--	0(2)	15(2)
C-3	--	--	--	80	(5)	(5)	(5)	(5)
EMP-A	--	100	150	80	48	--	0(2)	15
EMP-B	--	100	150	80	48	--	0(2)	25
PRC	--	--	--	--	48	60	30	60
P/QP	--	--	--	100	30(1)	--	0(2)	15

Notes:

(1) Building height for commercial uses in the DC district directly abutting residential zoning districts shall not exceed a height of 30 feet (30').

(2) Buffer yard standards apply (See Table 5.3-1).

(3) In the R1-9 and R1-7 districts, adjoining lots shall have a minimum spacing of fifteen feet (15') between buildings. For example, if one (1) lot has an existing five foot (5') side

ARTICLE 4 – ZONING DISTRICTS

yard setback, then the adjoining lot shall have a side yard minimum of a ten foot (10') setback. Staggered setbacks are encouraged to create differentiation in building orientation to the street.

- (4) In the R1-6, R1-7, R1-8, R1-9, and R1-12 districts, lot coverage may increase up to five percent (5%) for houses that provide a qualifying front porch.
- (5) These dimensional standards for the MU, C-3, and AT Districts will be established as part of the development approval PAD process.
- (6) Side yard setbacks may be 0' for attached housing products and other designs such as but not limited to detached z-lot configurations with the application of a use benefit easement.
- (7) 55% for single-story homes.
- (8) 60% for single-story homes.
- (9) 20' to front of garage (front entry); 10' to front of garage (side entry) and living area; 10' to covered front porch.
- (10) 20' for two-story homes; 15' for single-story homes and/or covered patios.
- (11) 15' for two-story homes; 10' for single-story homes and/or covered patios.
- (12) Utilities. Utilities using land or an unoccupied building covering less than 1,000 square feet of site area are exempt from minimum lot area standards.
- (13) Commercial uses in the DC and RC district abutting residential zoning districts shall have a rear yard landscape buffer of 15', subject to the approval of the Planning Administrator.

* 15' minimum separation is required between all buildings.

**Lot coverage shall be calculated for the overall development site.

1. In Table 4.7-3, lot area (B) is expressed in square footage unless otherwise specified. In Table 4.7-3, the following figures are expressed in feet: lot width

(C), lot depth (D), height (E), minimum and maximum street frontage (G) through (I).

2. Maximum lot area restrictions do not apply to lots designated for open space or recreational uses pursuant to Section 5.5 of this Ordinance.

D. *Lot Area.* No building permit or development approval shall be issued for a lot that does not meet the minimum and maximum lot area requirements of Section 4.7.C of this Ordinance except in the following instances:

1. *Utilities.* Utilities using land or an unoccupied building covering less than 1,000 square feet of site area are exempt from minimum lot area standards.

E. *Setbacks.*

1. *Measurement.* For purposes of this Section, the "setback line" shall be deemed the future right-of-way line of a street or the property line. Setbacks are measured as the unobstructed, unoccupied open area between the furthestmost projection of a structure (except as modified by the standards of subsection E.3, below) and the nearest setback line of the lot on which the structure is located. Structures shall meet the front yard setback from all abutting streets unless otherwise provided in this Ordinance. This measurement does not apply to corner lots unless the garage is side loaded in which case this measurement applies to both street frontages.

2. *Obstructions.* Setbacks shall be unobstructed from the ground to the sky except as specified in this Section.

3. *Exceptions and Permitted Encroachments.* The following features may encroach into required setbacks:

- a. Landscaping;
- b. Bay windows, not to exceed three feet (3');
- c. Chimneys, not to exceed two feet (2');

ARTICLE 4 – ZONING DISTRICTS

(A) Community Benefit	(B) Criteria	(C) Density Bonus	(D) Maximum Density Factor
Public Park Land Dedication	Acreage shall comply with Section 5.5 of this Ordinance.	For each acre in excess of the minimum requirements of Section 5.5 of this Ordinance, a density bonus equal to the density permitted per acre in the zoning district (Table 4.7-1 , Column (B)) may be allowed.	1.3
Open Space Dedication	The area shall exceed ten (10) contiguous acres and comply with Section 5.5 of this Ordinance.	For each acre in excess of ten (10) acres dedicated for open space, a density bonus equal to 1 times the density permitted per acre in the zoning district (Table 4.7-1 , Column (B)) may be allowed.	1.3
Agricultural Preservation	Agricultural land development rights shall be transferred to the Town Center Activity Area or the Urban Corridor, pursuant to Section 4.15 of this Ordinance.	One unit for each unit of development potential transferred to any zoning district located within the Town Center Activity Area or the Urban Corridor Tiers. Credit is based on allowable density (e.g., if allowed density on donor site is one (1) unit per one (1) acre, then one (1) unit may be transferred for every one (1) acre reserved through a conservation easement or dedication.)	1.3

Table 4.8-1 Density Bonus

4.9 Performance Criteria

A. *Specific A-1 and Residential Zoning District Performance Criteria.* Application for development approval in the A-1 zoning district or in any residential zoning district shall be approved unless the proposed development conforms to the requirements of Article 5 of this Ordinance and all proposed uses conform to the requirements of Articles 4, 5, and 6 of this Ordinance.

B. *Specific ~~NCRC~~ District Performance Criteria.* No application for development approval in the ~~RCNC~~ zoning district shall be approved unless the proposed development conforms to the requirements of the Town of Queen Creek Design Standards and any and all proposed uses conform to the requirements of Articles 4, 5, and 6 of this Ordinance and the following additional criteria:

1. ~~NCRC~~ districts shall be limited to areas ~~above~~ along the frontage of arterial or collector streets or the intersection of two (2) principal, minor arterial streets or combination thereof, except where an

existing center has been established prior to the adoption of this Ordinance;

~~2. NC districts shall be located at least 4224' (8/10ths) of a mile from another Business or Commercial zone district. The distance shall be measured between the closest boundaries of the two (2) (existing and proposed) districts;~~

~~3. Design requirements. See the Town of Queen Creek Design Standards;~~

~~4.2. All uses in this district shall close to customers and deliveries and extinguish illuminated signs not later than 11:00 10:00 p.m. daily;~~

~~5.3. Service entrances and service yards shall be located only in the rear or side yard of the business use. Service yards Outdoor Storage shall be completely screened from adjacent zones or uses by the installation and maintenance of a solid decorative masonry wall, fence or vegetation having a height of not less than four feet (4') or more than six feet (6'). If vegetation is proposed, it shall be designed so that it~~

ARTICLE 4 – ZONING DISTRICTS

~~provides immediate screening similar to walls and fences; and,~~

~~6.4. When practical and feasible, R~~efuse enclosures shall be located at the rear of the site and screened with a decorative wall and gate.

~~5. Additional performance criteria may be determined through the PAD overlay rezoning process.~~

C. *Specific C-1 District Performance Criteria.* No application for development approval in the C-1 zoning district shall be approved unless the proposed development conforms to the requirements of Article 5 and 6 of this Ordinance and the following criteria listed below.

1. Where feasible, development shall have a minimum twenty-five foot (25') wide landscape strip abutting adjacent to rights-of-way to present a favorable image of the community.
2. The following criteria shall be used (in addition to the general rezoning criteria established in Section 3.4.E) in consideration of the placement of this zone and the type and arrangement of uses within it:
 - a. The zone and its uses shall provide for the orderly development and concentration of business and commercial uses;
 - b. Pedestrian and vehicular conflicts shall be minimized by providing for adequate separation and channeling of pedestrian and vehicular movements;
 - c. Appropriate space and site design shall be provided to satisfy the needs of automobile oriented commercial development while maintaining pedestrian access from surrounding development;
 - d. The authorized uses shall be compatible with adjacent development by providing adequate buffers and safe connections to adjacent neighborhoods; and,

e. C-1 uses are typically personal services in nature and not auto-intensive. Special considerations should be taken to ensure neighborhood compatibility.

3. All uses authorized in the C-1 District, including operations and storage of goods, shall be performed within an enclosed building. Outdoor display of merchandise is authorized subject to the provisions of Section 3.6 of this Ordinance.

4. The location, size, number, and alignment of driveways shall be so arranged as to prevent traffic hazards and conflicts. The Town Engineer may require common driveways, acceleration and deceleration lanes and / or frontage roads where it is determined, based on the trip generation and distribution of traffic calculated in accordance with Section 5.1, that such items are necessary to prevent traffic hazards and conflicts.

5. The portion of the property forming the sight triangle of an intersection abutting a major highway corridor and a major arterial street shall be landscaped with a variety of plantings to create a gateway effect.

6. Service entrances shall be located only in the rear and side yard of the commercial use.

7. Landscaping requirements are set forth in Section 5.3.

D. *Specific C-2 District Performance Criteria.* No application for development approval in the C-2 zoning district shall be approved unless the proposed development conforms to the requirements of Article 5 and 6 of this Ordinance and any and all proposed uses conform to the following criteria listed below.

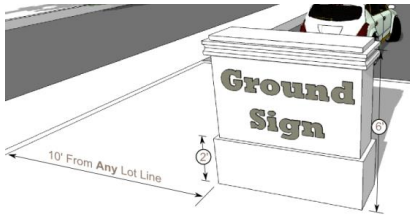
1. Fabrication, assembly, and repair work shall be limited to areas within enclosed buildings.

2. All garage doors, storage unit doors, and loading areas shall be oriented so that the

Formatted: Outline numbered + Level: 7 + Numbering
Style: 1, 2, 3, ... + Start at: 1 + Alignment: Left + Aligned
at: 0.25" + Indent at: 0.5"

ARTICLE 7 – SIGN REGULATIONS

building. Ground-mounted freestanding signs shall be located at least ten feet (10') from any lot line and it shall not exceed six feet (6') in height; and,



5) If such sign is illuminated, the source of illumination shall not be visible and no flashing, rolling, scrolling or intermittent illumination shall be employed.

4. Signs Permitted In Commercial Centers or Complexes (NCRC, AT, DC, C-1, C-2, C-3, EMP-A and EMP-B) with three (3) or more stand-alone buildings regardless of the number of businesses:

a. Prior to issuance of Sign Permits for any business or occupancy in a center or complex, a Comprehensive Sign Plan detailing the size, type, location, and color of all signage within the center/complex shall be submitted to the Planning Administrator along with the Major or Minor site plan for review and approval;

b. A Comprehensive Sign Plan that proposes a deviation from any of the requirements provided in this subsection shall be reviewed and approved by the Planning and Zoning Commission in accordance with subsection 7.2.A.7 of this Section;

c. The following signs are allowed in centers and complexes in the AT, DC, C-1, C-2, C-3, EMP-A and EMP-B districts as part of the Comprehensive Sign Plan submittal:

1) Building mounted identification signage for each permitted use or

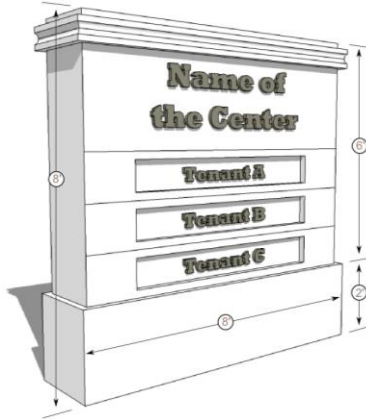
principal building, subject to the following conditions:

- a) Building front wall signage shall not exceed one and a half (1 1/2) square feet of sign area per lineal foot of building occupancy frontage;
- b) Side wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of side wall;
- c) Rear wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of rear wall.
- d) No part of such sign shall project more than one foot (1') nor extend above the height of the building;
- e) Such sign may be illuminated the source of illumination shall not be visible and no flashing, rolling, scrolling or intermittent illumination shall be employed; and,
- f) Total wall signage shall not exceed two-hundred fifty (250) square feet.

2) One (1) Identification ground-mounted freestanding sign containing the name of the center and the tenants subject to the following conditions:

- a) Freestanding signs shall be decorative using a minimum two foot (2') architectural planter or base. If an inorganic base is used, it shall be designed to match the predominant architectural character of the main building.
- b) Such ground sign shall not exceed forty-eight (48) square feet in sign area, nor shall it exceed eight feet (8') in height above grade (the higher of street grade or the finished grade adjacent to the sign base) nor shall it extend or project over any street or alley line;

ARTICLE 7 – SIGN REGULATIONS



- exceeding six (6) square feet in area and limited to off-street parking instructions and direction. Such sign may have interior illumination;
- 5) Any lighting shall be placed to reflect the light away from Residential Districts or Residences; and,
 - 6) Temporary signs, pursuant to subsection 7.5.
5. Signs Permitted in The ~~NCRC~~, DC, and C-1 Commercial Districts for individual buildings not part of a center or complex:
- a. Any sign allowed by this Ordinance in the Residential Zoning District is subject to the sign regulations of the respective district. When any use allowed in the foregoing residential districts is established in any commercial zoning district, the sign limitations of the district in which the use is first allowed shall apply, regardless of the zone in which the use is located;
 - b. Address signs which are readily visible from the street are required on all new commercial construction regardless of the zoning district prior to issuance of a Certificate of Occupancy;
 - c. On-site directional signs pursuant to Section 7.2.H;
 - d. One freestanding sign per street frontage, not exceeding forty (40) square feet in area and six feet (6') in height, subject to the following conditions:
 - 1) Parcels with six-hundred feet (600') of street frontage per street are permitted two freestanding signs per street frontage as determined by the Planning Administrator, and shall be separated by a minimum of three-hundred (300) feet within its own property, and provided that one property owner shall not diminish the number if signs allowed within adjacent developments; and,
- c) Parcels with six-hundred feet (600') of street frontage per street are permitted two (2) ground-mounted signs per street frontage as determined by the Planning Administrator and shall be separated by a minimum of three-hundred (300) feet; and,
 - d) One (1) additional sign is permitted for each additional three-hundred feet (300') of street frontage as determined by the Planning Administrator.
 - 3) Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign;
 - 4) One (1) parking lot wall or ground sign per parking lot entry or exit not



Ocotillo 11 PAD Rezone Narrative

Ocotillo 11 PAD Rezone Narrative



Town of Queen Creek Planning Division

22358 South Ellsworth Road
Queen Creek, Arizona 85142

March 2020

Contents

REQUEST	4
RELATIONSHIP TO SURROUNDING PROPERTIES.....	5
BACKGROUND.....	5
VISION.....	6
Surrounding Municipalities Research	7
CONSISTENCY WITH QUEEN CREEK LONG RANGE PLANS.....	8
2018 General Plan.....	8
Town Center Plans.....	9
Downtown Core Rezone and Design Guidelines.....	11
ZONING – PAD STANDARDS.....	12
Permitted Uses.....	12
Development Standards.....	12
Performance Criteria.....	12
Circulation.....	13
Parking, Loading, & Access.....	13
Open Space & Landscaping.....	13
Front.....	13
Rear.....	14
SITE PLAN REDEVELOPMENT PROCESS.....	14
Before	15
After.....	15
DESIGN GUIDELINES.....	16
Building Design.....	16
DEVELOPMENT PLAN/PHASING/APPROVAL PROCESS.....	17
PUBLIC UTILITIES AND SERVICES.....	17
PUBLIC PARTICIPATION.....	18
PAD AMENDMENTS.....	18
Minor Changes.....	18

REQUEST

The purpose of this PAD rezone is to develop a set of guidelines and vision for the 11 properties included. The permitted uses are intended to provide the opportunity for small, compact commercial/residential development that is compatible in scale and character with surrounding residential uses.

To achieve this vision, there are two proposals with this effort:

- Text amendment request to create a new Residential Commercial (RC) Zoning District
- Rezone the Ocotillo 11 properties to the newly created RC district with a PAD overlay

The PAD rezoning request to rezone the 11 subject properties from R1-6 Residential to Residential Commercial (RC)/PAD. The subject area includes approximately 3.5 acres.

Figure 1: Aerial Exhibit



Figure 2: Subject Properties



RELATIONSHIP TO SURROUNDING PROPERTIES

The subject area is a collection of 11 properties at the SWC of Ocotillo Road and 205th Place, west of the Ellsworth Loop and Ocotillo Roads intersection. The subject parcels are located south of the Victoria Heights residential development and north of the Will Rogers Equestrian residential subdivision. The furthest east property is adjacent to the parking area of the Our Lady Guadalupe Church and Popeye’s restaurant development on the corner. The furthest property on the west is immediately adjacent to the Cambridge Academy School.

The 2018 General Plan Land Use classifications, along with the existing zoning and uses for the adjacent parcels, are listed in the table below.

Table 1: Adjacent Land Uses

Direction	General Plan Land Use	Existing Zoning	Existing Use
North	Neighborhood	MDR	Victoria Heights
East	Neighborhood	C-2	Commercial
South	Neighborhood	R1-12	Will Rogers Equestrian Subdivision
West	Neighborhood	C-2	Vet Clinic, Cambridge Academy

BACKGROUND

In 2016, a property owner of one the 11 properties included in the subject rezoning area approached the Town. Their proposal was to rezone and remodel their existing building for commercial use. The proposed use was for office operations accessory to the existing business which exists in a different location. However, this application was never completed and would have been required to go through the rezoning process in accordance with the Town’s Zoning Ordinance.

In 2019, staff became aware of a change in operations with the business as some of the use shifted outside of the residence. At this time, staff approached the property owner to discuss the prior rezoning effort and began discussions about picking up the rezoning process where it left off previously. These conversations led to further discussions with neighboring property owners and collectively resulted in identifying a need to adapt to the changing conditions of the 11 subject properties in this area.

As a result, in coordination with the property owners, the Town is moving forward with a PAD rezone for the 11 properties along Ocotillo road to allow for a low-intensity, mixed use commercial area for both small scale commercial development and residential to commercial conversions in addition to existing or future residential uses.

VISION

The Town has a number of successful case studies that are representative of the type of commercial development that may be appropriate for the subject properties. These projects include:

- Reiki Heart to Soul
- QC Accounting
- Gangplank
- Barber Contracting
- Painting Wonderland
- Town of Queen Creek Chambers building

The prior uses of these properties were residential and the rezoning and site plan process allowed them to develop as commercial uses into the future. These examples are indicative of the type of development or conversions that is envisioned for the subject properties. Any future redevelopments for the subject area are anticipated to evolve from prior residential uses to low-intensity commercial uses. This PAD rezone is meant to set a vision for the area to allow similar proposals as the examples mentioned above.

Figure 3: QC Redevelopment Examples





Surrounding Municipalities Research

Planning staff looked at comparable properties and areas containing this type of development and redevelopment across the valley. One example can be found in the Town of Gilbert along Gilbert Road just north of the intersection of Gilbert and Elliot roads outside of the Downtown area.

Figure 4: Case Studies



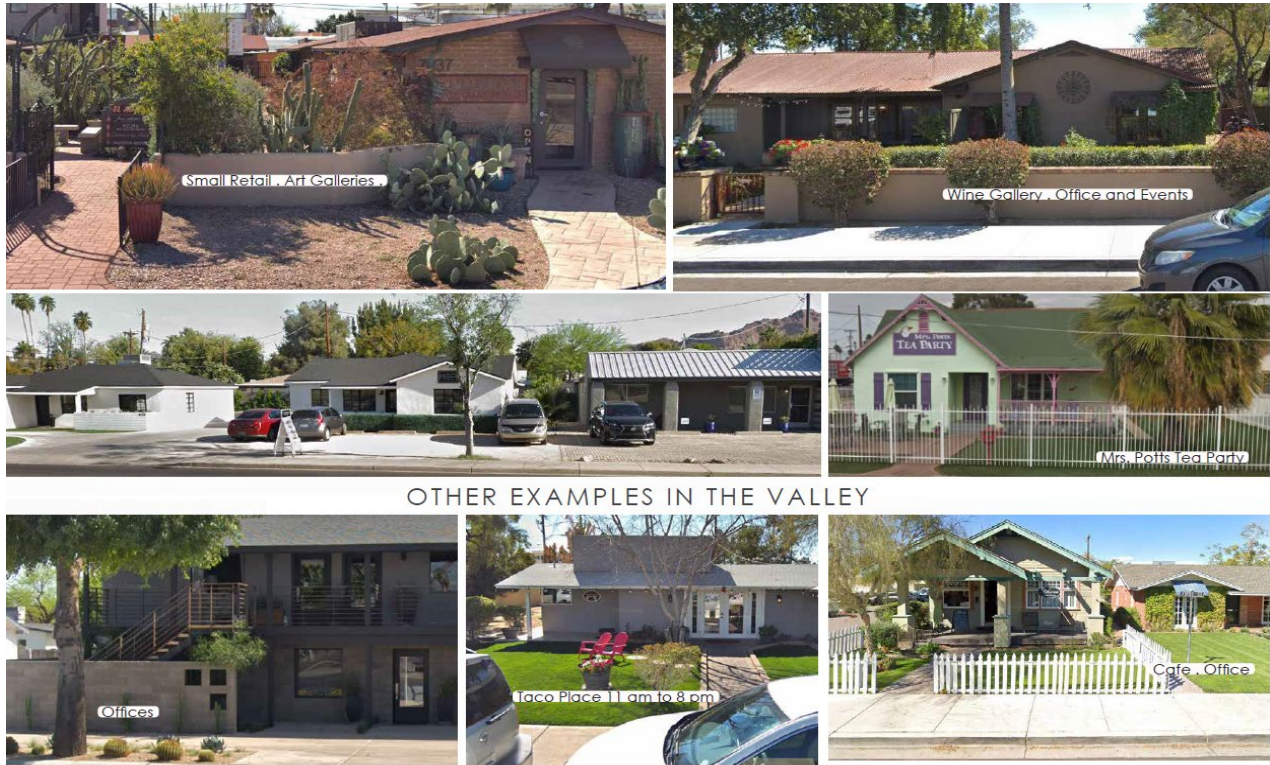
This area contains an antiques store, a small professional office, and art house along a busy arterial roadway just outside of the Downtown area. Further review shows that this redevelopment and small scale office was designed to allow flexibility in the types of construction and development for small business owners.

In other comparable areas across the valley, similar styles of development can be found. When studying these areas, a few of the common elements include:

- Prior residential use
- Transitioning area near the Downtown Core
- Arterial roadway location
- Adaptive small scale development with site design challenges

Of the zoning ordinances reviewed of the multiple cities across the valley, each contain a zoning district that accommodates smaller scale commercial/residential development outside of their downtown similar to the proposed Ocotillo 11 PAD zoning.

Figure 5: Similar Redevelopment Examples



The Ocotillo 11 project is similar in this regard. The vision for this area includes the following objectives:

- Create a special identity for the 11 subject properties
- Support low-traffic generating commercial uses that are appropriate at a residential scale
- Attract a variety of small retail, offices, live-work, and co-working spaces
- Promote appropriate development, redevelopment and residential conversions
- Utilize the Towns Façade Improvement Program to support redevelopment
- Identify opportunities for parcel consolidation if it meets the intent and vision documented within the PAD

CONSISTENCY WITH QUEEN CREEK LONG RANGE PLANS

The proposed Ocotillo 11 rezone is in compliance with the General Plan, Town Center Plans, and the Downtown Core Plans. The following sections highlight the goals and objectives of these long range plans and their connection to this project.

2018 General Plan

There are a few specific goals within the General Plan associated with the proposed rezoning effort. In the Housing Element Goals and Strategies section, the following goals and strategies are supportive of the proposed vision of this area.

Goal 1: Provide a diverse range of quality housing options for current and future residents

- Strategy 1.B: Identify and encourage investment in neighborhoods that are aging, at risk, transitional, or in general need of restoration
- Strategy 1.D: Encourage housing development in the Town Center that provide for live, work, and play relationships to support continued development and expansion of the Town Center

As for the Economic Development component in the General Plan, the following goals support this effort:

Goal 1: Attract private investment and foster job creation in Queen Creek

- Strategy 1.A: Foster office development within the Town

In summary, the General Plan encourages opportunities for residential and office use in transitioning areas as identified in this area.

Town Center Plans

The 2011 Town Center Plan identified a number of goals and policies as they relate to the Ocotillo 11 properties. These are identified in the Land Use Element section. Three primary goals have been identified from the 2011 and 2017 Town Center Plan that support this PAD rezone which include:

- Create/maintain a quality residential area in a downtown environment
- Create a community focal point and gathering place with a strong identity so people can live, work and recreate in the Town Center
- Encourage Town Center land use development flexibility

Additionally, the following associated policies directly apply to this PAD rezone effort:

- Encourage adaptive reuse of current residential structures
- Promote programs for housing rehabilitation and beautification
- Facilitate the location of commercial services catering to Town Center residents
- Promote and encourage rehabilitation of residential and commercial properties
- Encourage residential land use patterns that compliment and encourage quality non-residential development
- Ensure compatible land uses and intense buffering between existing residential uses and proposed non-residential land uses
- Permit outdoor dining, displays, and home businesses compatible with the Town Center theme.
- Permit clustered, artisan/cottage industry uses through special zoning.
- Provide flexibility in zoning, development standards and incentives to achieve the goals of the Plan.

This area of the subject properties has also been identified by the Town Center Plans as “Town Center Mixed Use-Commercial/Office/Residential” which encourages a mix of commercial, office

and residential uses.

The Ocotillo 11 area was identified as the “Town Center Crossroads Area” which represents the area where Ellsworth and Ocotillo Roads meet. This area was recommended to contain Mixed-Use Development that feature small scale commercial, office and residential development – mixed-use developments. These areas promote small business development and employment opportunities. The idea is to promote a mix of uses that create a variety of activities.

Figure 6: 2011 Town Center Plan Map

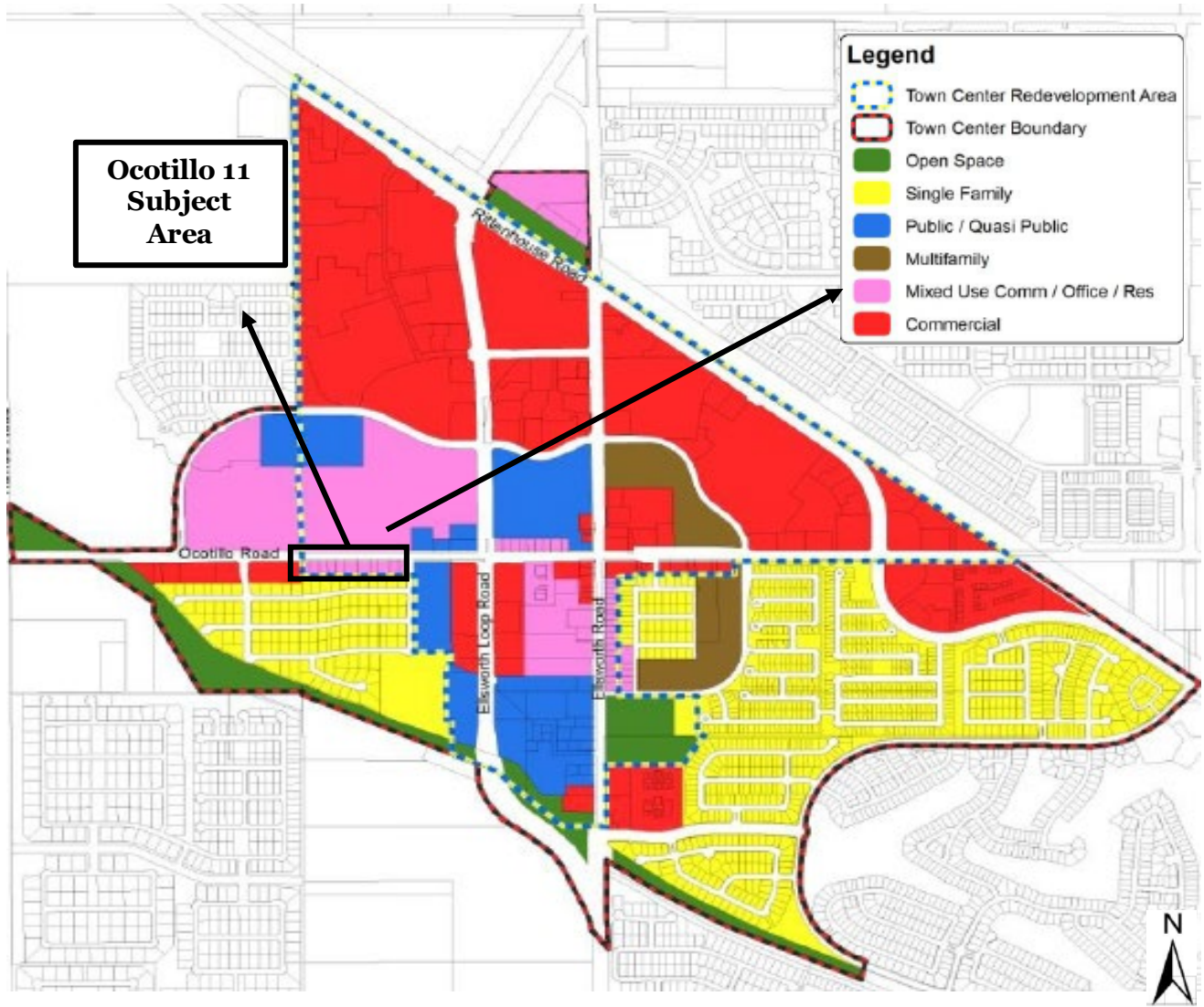
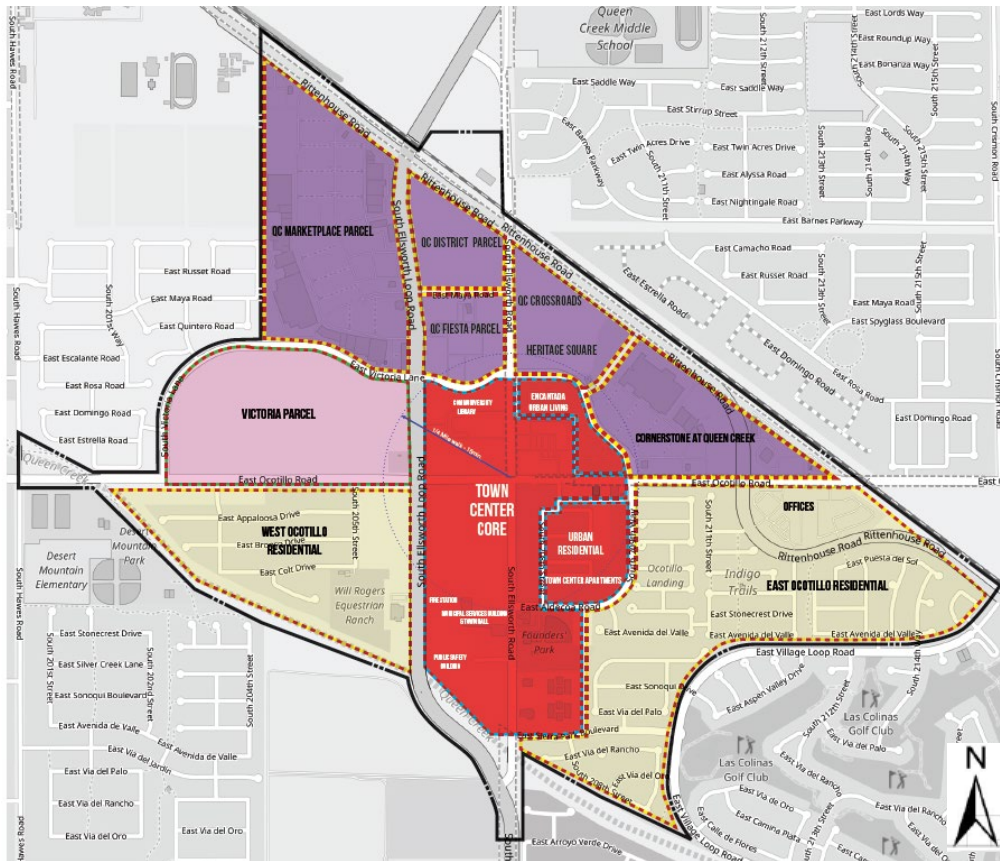


Figure 7: 2017 Town Center Plan



Downtown Core Rezone and Design Guidelines

In 2018, the Town of Queen Creek established a vision for the Town Center or “Downtown Core” through a separate rezoning and design guidelines development process. This effort was the culmination of past Town Center Plans, extensive public participation, staff refinement, and collaboration with the development community. Through this, the primary objectives of a downtown were identified as:

- Becomes the heart of the community
- Is a desirable place to live, shop, work, gather, dine throughout the year
- Provides a variety of attractive, vibrant, and beautiful public gathering places such as plazas and small parks
- Attracts a variety of retail, restaurant, office, hospitality, and entertainment businesses
- Is a family-friendly, pedestrian and bicycle oriented, and provides a convenient and safe experience

As it applies to this request, the Downtown Core Plan also identified the need to recognize transitioning sections near the Downtown Core that helps further strengthen this area. These included.

- To look at alternatives for future redevelopment projects that will enhance the life and success of the Downtown Core;
- Recommended land use for redevelopment sites within the Downtown Core and adjacent properties.

This objective is reflected throughout the narrative with the proposed Ocotillo 11 PAD rezone.

ZONING - PAD STANDARDS

The underlying zoning district will be Residential Commercial (RC) Zoning District with a PAD overlay. The RC/PAD zoning development standards are defined further in the following sections. Unless specifically identified within the PAD Narrative, all other standards shall abide by applicable sections in the Zoning Ordinance and are subject to the interpretation of the Planning Administrator.

Permitted Uses

Use of the properties within Ocotillo 11 shall be consistent with use regulations set forth in Table 4.6-1: Permitted Uses of the Queen Creek Zoning Ordinance. All permitted uses within the RC zoning district shall meet the performance criteria outlined in this PAD and other applicable sections in the Town's Zoning Ordinance.

Development Standards

The following table highlights the development standards that apply to the Ocotillo 11 properties. There are no proposed deviations to the RC Zoning Ordinance standards.

Table 2: Ocotillo 11 Development Standards

Standard	RC (Code)	RC (Proposed)
Minimum Area (Square Feet or Acres)	-	-
Minimum Width (Feet)	50	50
Minimum Depth (Feet)	100	100
Maximum Lot Coverage (Percent)	80%	80%
Maximum Height (Feet)	30'	30'
Minimum Front Yard Setback (Feet)	--	--
Minimum Side Setback (Feet)	5'	5'
Minimum Rear Setback (Feet)	5' ⁽¹⁾	20' ⁽¹⁾

(1) Commercial uses in the DC and RC district abutting residential zoning districts shall have a rear yard landscape buffer of 15', subject to the approval of the Planning Administrator.

Performance Criteria

Redevelopment and/or conversions from residential to commercial or new commercial development shall conform to the performance standards outline below:

1. Commercial uses shall be required a 15' landscape buffer at the rear yards of the properties.
2. New and redeveloped non-residential development is required to screen the rear and side yards with 6-foot tall solid masonry wall.
3. Fabrication, assembly, and repair work shall be limited to areas within enclosed buildings and be completely screened.
4. Outdoor display is prohibited and any outdoor storage shall be screened and located within the side or rear yards.
5. Refuse enclosures shall be located at the rear of the site and fully screened.

6. Operating hours to the public are limited to between 6:00 a.m. and 10:00 p.m.
7. A clearly defined pedestrian path shall be provided from the public sidewalk to the front entrance.

Alternative designs or proposals that meet the intent of this PAD may be considered by the Planning Administrator.

Circulation

Due to the layout of the subject properties, mitigating traffic conflicts is a critical component to creating a safe area. A plan for safe circulation shall be considered with each conversion or new development which may include:

- Traffic statement
- Limiting the number of ingress and egress points through the use of shared driveways with adjoining uses when applicable
- Traffic calming measures

Traffic Engineering may require additional improvements within public rights-of-way, as determined by applicable codes, traffic safety warrants, or other factors lending to the need for improvements or modifications.

Parking, Loading, & Access

Parking, loading, and access shall include the following considerations and requirements:

- One space for each employee plus one space for each 500 sq. ft. of floor area.
- Parking shall be screened and located in the rear of the site.
- Designed to maximize compatibility with surrounding uses.
- Common parking to serve more than one conversion property may be considered as part of the site plan process and the Planning Administrator.
- The use of decorative pavement in front parking areas is encouraged as an alternative to asphalt.
- Minimum width of two-way driveways is 20 feet.
- Minimum parking stall width is 9 feet x 20 feet.

Open Space & Landscaping

No common open space is required for the conversion of existing residential properties. Quality street and landscape buffering is a critical component of the residential to commercial conversions. The plant species selection in the RC zoning district include considerations for design aesthetics, pedestrian, noise mitigation and long-term maintainability of the area.

Front

Along the Ocotillo Road frontage and along the northern boundary of the project, the following requirements apply:

- Each conversion shall have a minimum of one (1) tree in the front yard area. The following trees are recommended to meet this standard:
 - Chinese Pistache
 - Live Oak
 - Chinese Elm
 - Fan Tex Ash

- Willow Acacia
- Anacacho Orchid Tree
- Chitalpa
- A low hedge, fence or wall of 3 feet or less in height located along the front property line is encouraged in order to create a sense of arrival.

Figure 8: Front Yard Design



A traditional picket fence strengthens the image of a residential streetscape.

Rear

A 15' minimum landscape setback is required along the rear of all properties that convert from residential to commercial. The following trees are recommended for use as rear buffer yard trees.

- Chinese Pistache
- Live Oak
- Chinese Elm
- Fantax Ash

The rear yard buffer area is meant to help buffer residential properties immediately adjacent to the proposed redevelopment. Alternative landscaping that meets the intent of the PAD may be considered by the Planning Administrator.

SITE PLAN REDEVELOPMENT PROCESS

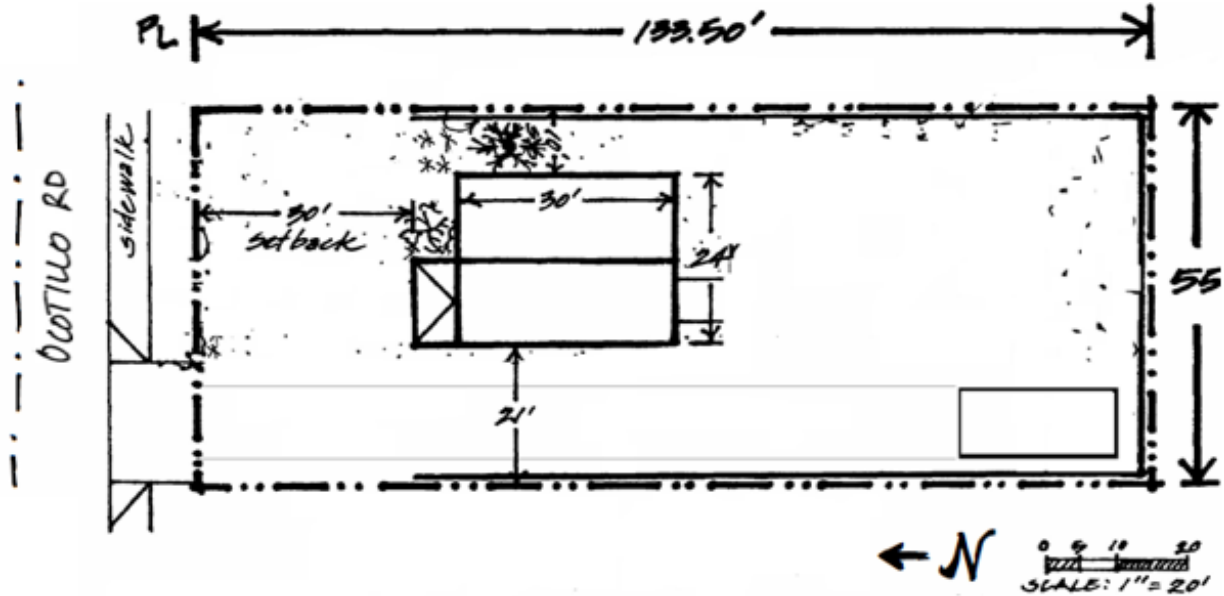
For those property owners seeking to redevelop their property to a commercial use, applicants would submit a formal site plan application with the Town and work with planning staff to meet the objectives of this zoning district and PAD for final approval, in accordance with the Zoning Ordinance. This conversion would proceed through *Article 3.3 Site Plan and Final Subdivision Review* in the Zoning Ordinance. Larger site development plans that involve multiple parcels may be considered by the Planning Administrator if they meet the intent of this PAD.

The following section illustrates the before and after effects of the site plan process for a proposed residential conversion that may occur anywhere on the 11 subject properties.

Before

The illustration below shows a site plan of an existing one-story ranch style residence on a lot measuring 55 feet by 133.50 feet. This lot was chosen as an example due to its similar size to the lots that exist on the subject properties. In this example, there is an existing single-car garage at the rear of the property and a home in the building envelope. As you can see, the current use exists without any specific design elements including parking, landscaping, signage, or front yard fencing.

Figure 9: Before Conversion Site Plan Example



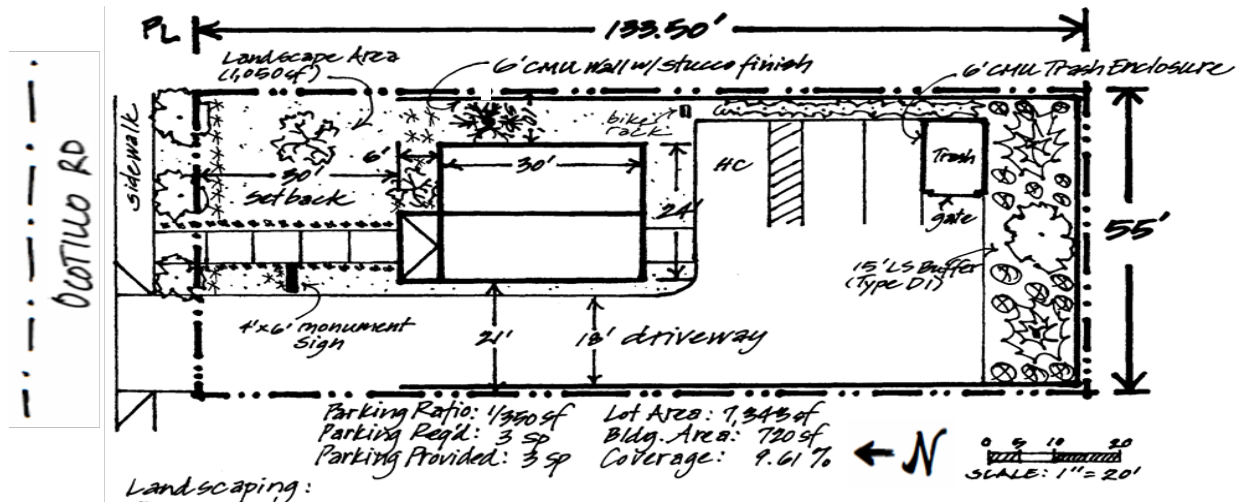
If the property owner submits a site plan application to convert from a residential use to a commercial use, additional improvements for the property would be triggered. The following section shows an example of what the updated property may look like after site plan approval.

After

Through the site plan process, it was identified that there is sufficient space on the south side of the existing structure which would allow a paver driveway to be placed accordingly with access to the rear yard. Parking, including a handicap accessible space, would then be added in the rear yard.

A 15' landscape buffer would be provided adjacent to the rear lot line as block walls screen the side property lines to meet the PAD requirements. The required front yard landscaping includes one tree in addition to DG improvements. The illustration below highlights the final development.

Figure 10: After Redevelopment Site Plan Example



DESIGN GUIDELINES

The purpose of the PAD Design Standards is to help guide the physical development and the visual quality of the area. The objective of the Ocotillo 11 design standards is to encourage a residential scale. The following sections outline design guidelines recommended for the Ocotillo 11 area.

Building Design

Building design elements for redeveloped properties may include some or any of the following:

- Buildings should be painted neutral or earth tone colors.
- Decorative brick, stone or masonry may be used to add interest to the front façade in the form of porch columns, foundation planters or wainscoting.
- Window detailing should be enhanced by the addition of shutters, simulated divided panes or more substantial trim.
- If windows are replaced, the new windows should maintain the same proportions as the original windows.



- A porch or covered entry should be provided.
- Property address numbers should be clearly visible from the street.
- Decorative fixtures, such as outdoor lights, mailboxes, address numbers, and door hardware

should be coordinated in terms of style, color and material(s) to further enhance the appearance of the building are encouraged. Other design elements that are consistent with the PAD narrative may be considered by the Planning Administrator through the site plan process.

Figure 11: Example Building Design



DEVELOPMENT PLAN/PHASING/APPROVAL PROCESS

Ocotillo 11 is envisioned to be a transitioning area that includes a mixture of small scale commercial uses and single family residential. As new development on vacant parcels and residential conversions occur into the future, this PAD will be revisited to ensure the requirements are met on an as needed basis. No immediate timing of development, conversions or phasing has been identified and will be determined by market conditions.

PUBLIC UTILITIES AND SERVICES

Utilities and services that currently serve the subject area include:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	SW Gas
Cable:	Cox Communications
Police:	Maricopa County Sheriff
Fire:	Town of Queen Creek
School:	Queen Creek Unified School District

PUBLIC PARTICIPATION

This PAD rezone request has been discussed with the involved property owners through two development meetings on September 10, 2019 and October 24, 2019. These meetings explained the details of the PAD and served as an opportunity for the individual property owners to give feedback relating to vision in this area.

Staff discussed the specific development regulations and performance criteria being considered as and solicited feedback on ways to refine these standards to meet the area's needs. In cooperation with the property owners, the contents of this PAD were created by staff.

A neighborhood meeting was conducted on January 6th, 2020 with nearby property owners within 1200' of the 11 parcels identified in this PAD. This meeting was attended by 9 residents located within the Will Rogers subdivision directly south. Staff gave an informal presentation at the meeting and answered a number of questions from the surrounding residents in reference to:

- Types of uses permitted
- The traffic generation in the area
- Buffer along the rear property line
- Consolidation of parcels for future development
- Noise, storage, and design of buildings
- Whether or not residential is allowed

The surrounding residents agreed that it was beneficial that the Town is working on a plan in cooperation with the property owners. The residents were concerned about the conversion to commercial bringing more traffic to the rear of the properties and confirmed that the 15' rear yard buffer would be ideal. The consensus of the meeting was that setting a vision for this area now makes sense to guide this area into the future. No additional feedback has been received since the neighborhood meeting.

PAD AMENDMENTS

The Town of Queen Creek Planning Administrator may permit minor deviations to the approved PAD in accordance with the Zoning Ordinance, provided that such changes are not in conflict with the overall intent as expressed in the PAD document. The following section outlines what may be considered as minor changes to the PAD:

Minor Changes

- Changes in configuration of individual development parcel boundaries or configurations;
- Changes or modifications to setbacks of the required development standard in order to accommodate for unique circumstances or specific site constraints;
- Any analogous interpretations of the list of permitted, conditional and secondary uses of the property as set forth in the PAD and Town zoning code, as determined by the Planning Administrator.
- Other changes not identified above, but deemed appropriate by the Planning Administrator, as long as the change does not impact the general health, safety, and welfare of the residents of the Town of Queen Creek and does not impact the overall intent of the approved PAD.

A major change that does not qualify as a minor change listed above and that significantly alters the intent of the approved PAD or land use zoning of the approved PAD shall comply with the requirements set forth in the *Section 3.4 Amendment and rezoning* of the Zoning Ordinance.