



Requesting Department:  
Development Services

**TO:** Planning and Zoning Commission

**THRU:** Brett Burningham, Development Services Director

**FROM:** Steven Ester, Planner I

**RE:** Discussion and Possible Approval of P20-0024 “Rock Point Church Comprehensive Sign Plan”, a request from Michael Donada, on behalf of Rock Point Church, for approval of a Comprehensive Sign Plan at Rock Point Church on approximately 20.25 acres, located at the northeast corner of Power Road and Ivy Lane.

**DATE:** February 12, 2020


**STAFF RECOMMENDATION**

Staff recommends approval of P20-0024 “Rock Point Church Comprehensive Sign Plan”, subject to the Conditions of Approval outlined in this report.

**PROPOSED MOTION**

Move to approve P20-0024 “Rock Point Church Comprehensive Sign Plan”, subject to the Conditions of Approval outlined in this report.

**RELEVANT COUNCIL GOALS**

 Secure Future

**SUMMARY**

This proposal consists of a request from Michael Donada, on behalf of Rock Point Church, for approval of a Comprehensive Sign Plan at Rock Point Church on approximately 20.25 acres, located at the northeast corner of Power Road and Ivy Lane.

## HISTORY

- December 17, 2003: Town Council approves RZ11-03 / SP15-03 / CU06-03 for Rock Point Church.
- December 2, 2009: Town Council approves RZ09-039 / SP09-040 / CU09-041 for Rock Point Church.
- August 3, 2011: Town Council approves RZ11-030 / SP11-015 for Rock Point Church.
- June 15, 2016: Staff administratively approves SP16-038 for Rock Point Church.
- December 5, 2018: Town Council approves “Rock Point Church Phase II” Conditional Use Permit (P18-0022) and Site Plan (P18-0023).

## PROJECT INFORMATION

Project Name	Rock Point Church Comprehensive Sign Plan
Site Location	NEC of Power Rd & Ivy Ln
Current Zoning	R1-43 (Rural Estate District) R1-43/PAD (Rural Estate/PAD)
General Plan Designation	Rural
Site Area	20.25 Acre
Surrounding Zoning Designations:	
North	Vacant Land, Cloud Rd R1-43 (Rural Estate District)
South	Casteel High School R1-43 (Rural Estate District)
East	Vacant Land, Queen Creek Equestrian Estates R1-43 (Rural Estate District)
West	Power Rd, Maricopa County RU-43 (Rural)

## DISCUSSION

In its existing state, Rock Point Church includes a single-story, 24,000 square foot building with classrooms and a 750-seat worship area on approximately 5.4 acres. With the Town Council’s approval of the Conditional Use Permit and Site Plan for Phase II in December of 2018, construction of the new 46,547 square foot worship center with an additional 1,400 seats is currently in process, expanding the site to approximately 20.25 acres. Upon completion, the church plans to remodel the interior of the original worship

facility into a primarily student-based worship area for a new combined total capacity of approximately 1700-1800 seats.

**COMPREHENSIVE SIGN PLAN**

A Comprehensive Sign Plan has been submitted to outline the sign standards being requested. In total, the request includes:

- One (1) 5’ tall single-sided monument identification sign along Power Road at the site’s northernmost access point.
- One (1) 8’ tall double-sided monument service hours sign along Walnut Road.
- Two (2) 4’ tall double-sided directional signs along Ivy Lane at each access point.
- Seven (7) 5’-6” tall double-sided parking directory signs located around the interior of the parking lot.
- Six (6) 5’-6” tall double-sided pedestrian directory signs located around the interior of the church campus.
- Three (3) 6’ tall double-sided map directory signs with maps located around the interior of the church campus.
- Seventy (70) parking spot identification signs located around the interior of the parking lot.
- One (1) roof-mounted identification sign on the main Phase II worship building.
- Five (5) various wall-mounted identification signs.

Five (5) deviations from the Zoning Ordinance are proposed. The applicant is requesting approval for the following features that exceed or deviate from signage standards as set by the Zoning Ordinance:

<b>Proposed Monument Sign Modifications</b>		
Standard	Required by Zoning Ordinance	Rock Point Church Proposed Standards
<i>Maximum ground sign area</i>	<i>Maximum sign area shall not exceed forty-eight (48) square feet.</i>	<ol style="list-style-type: none"> <li>1) <b>Ninety-six (96) square feet for single-sided monument sign “Type A” at the northernmost entrance along Power Road.</b></li> <li>2) <b>Seventy-two (72) square feet for double-sided monument sign “Type B” at the southernmost entrance along Power Road.</b></li> </ol>

**Monument Sign Type A and Type B (Increased Area):**

The proposed freestanding monument signs incorporate materials and colors that integrate with the overall architectural theme and style of the site. Both monuments will comply with standard height limitations, as set by the Zoning Ordinance. Monument Sign Type B is existing at the site, but will be refurbished to complement the design of the new Monument Sign Type A along the Power Road arterial. The monument signs are spaced approximately 340 feet apart.

**Applicant Justification:** Increased sign area is needed to make the sign readable from a far distance. In this case, Rock Point Church has approximately 774 linear feet of frontage along Power Road, which is critical for its representation to vehicular traffic. The signage is scaled to function along the arterial and to more appropriately fit in with the size and theme of the newly expanded church campus.

<b>Proposed Directional Sign Modifications</b>		
<b>Standard</b>	<b>Required by Zoning Ordinance</b>	<b>Rock Point Church Proposed Standards</b>
<i>Directional sign area and height</i>	<i>On-site directional signage limited in area to three (3) square feet and shall not exceed four (4) feet in height.</i>	<b>Directional signage not to exceed fourteen (14) square feet in area and six (6) feet in height.</b>

**Directional Signage (Increased area and height):**

With the size and scale of the newly expanded campus, Rock Point Church has a variety of activities occurring on-site. Accordingly, the internal directional signage is critical to identify the locations of these activities. The proposed directional signage consists of entry directories, parking lot directories, pedestrian directories, and map-guided directories, each of which assists the public in entering, navigating, or exiting the campus. All directional signs are complementary to one another with corresponding color and fonts. The largest requested directional sign is fourteen (14) square feet in area and six (6) feet in height, with all other directional signage ranging between 4' to 5'-6" in height and 4-10 square feet in area. All directional signage is non-illuminated, with the exception of the two (2) illuminated 4' tall entry signs at the access points along Ivy Lane.

**Applicant Justification:** The requested directional signage is designed to help the public navigate the large campus via wayfinding, as this is a large property with many destinations. With the expansion, it is important to promote a superior design theme throughout the entire property that also has a defined purpose. Although the signs are larger than what the Zoning Ordinance allows by right, Rock Point Church believes the overall directory system is better scaled when compared to the campus as a whole. The directional signage must be identifiable and readable from a distance.

<b>Proposed Wall Sign Modifications</b>		
<b>Standard</b>	<b>Required by Zoning Ordinance</b>	<b>Rock Point Church Proposed Standards</b>
<i>Wall sign location</i>	<i>Roof signs prohibited, except as specifically approved when it is determined that a ground or wall sign is not feasible due to site limitations and / or line of sight interruptions for vehicular traffic.</i>	<b>Main building ID sign consists of pan channel letters mounted to the roof.</b>
<i>Projecting sign area</i>	<i>Maximum sign area of twelve (12) square feet.</i>	<b>The projecting sign for the coffee shop will be 22.56 square feet.</b>

**Wall Signage (Roof-mounted location):**

As part of the overarching goal to provide a sign plan that further identifies Rock Point Church as a branded destination, the location of the main building identification signage is crucial for both visibility and style. Because of the site’s orientation and expanse onto Power Road, the buildings are set back considerably from the arterial. A roof-mounted sign offers a much higher level of exposure in this case, as opposed to lower areas on the building façade elsewhere. Additionally, the roof sits lower than the parapet of the building behind the proposed letter set, which results in the signage appearing as though it is still mounted to a wall as the Zoning Ordinance would permit.

**Applicant Justification:** There is not a better location on the wall for visibility, especially with the campus’s setback and orientation to Power Road. The roof of the Phase II building on which the signage is proposed is approximately 600 feet from the property line. The sign itself will not exceed the roof line of the building behind where it is proposed to be mounted, so there will be no silhouette over the horizon or parapet. Further, the mounting system will be low profile and painted to match the roof.

**Wall Signage (Increased projecting sign area):**

Rock Point Church offers a café-style coffee shop as a part of their campus experience. The shop is situated at the corner of the new Phase II worship building, which is set back considerably from Power Road. In an effort to promote the idea of unique and enhanced signage, the proposed projecting wall sign offers the visibility needed to identify the location of the shop, while also presenting a more creative design as compared to traditional shaped cabinets or lettering. The increased area seeks to compensate for the lengthy building set back.

**Applicant Justification:** The sign will not extend past the building elevation, so there will be no silhouette cast beyond the wall. The Zoning Ordinance standard of twelve (12) square feet does not reflect the scale of this site and its distance from Power Road, which is primarily why the increased area is requested.

<b>Proposed Temporary Signage Modifications</b>		
<b>Standard</b>	<b>Required by Zoning Ordinance</b>	<b>Rock Point Church Proposed Standards</b>
<i>Signs affixed to objects are prohibited.</i>	<i>The tacking, painting, pasting or otherwise affixing of signs or posters visible from a public way, to any trees, fences, utility poles or other structures, or upon vehicles where such vehicles are used primarily as support for such signs, is prohibited</i>	<b>A temporary banner is proposed to be located on Monument Sign Type A for occasional special events or services throughout the year. A Temporary Sign Permit will be obtained as part of the provision.</b>

**Temporary Banner Signage (Location):**

Particularly on Monument Sign Type A, there is an element of the sign designed to display temporary banners for special events at certain times of the year. While the banner signs would be processed and reviewed annually by Staff under a Temporary Sign Permit, the applicant has shown the feature to request approval of its location as a component of the Comprehensive Sign Plan. Staff wants to ensure this aspect of the Monument Sign Type A is noted for clarity moving forward, as the Zoning Ordinance prohibits signs affixed to objects that are not the building.

**Applicant Justification:** Rock Point Church occasionally hosts special events or services as a part of their community involvement. Attaching a temporary banner to the buildings on-site is not effective, as the distance from Power Road is substantial and the aesthetic is not ideal. By allowing a banner to be placed on Monument Sign Type A, the visibility is better established and the banner appears more integral, as opposed to being staked elsewhere. As noted on the plan sheet, Town Staff will also have the ability to review the banners ahead of time as part of the Temporary Sign Permit application process. All banners will comply with the standard area allowances set by the Zoning Ordinance.

Staff has reviewed the deviations and supports the applicant's requests.

## GENERAL ANALYSIS

**General Plan Review:** The 2018 General Plan Land Use Designation for this project is Rural. The proposed project is in compliance with the General Plan.

**Zoning Review:** The zoning designation of the property is R1-43 (Rural Estate District). All current and proposed uses are permitted in the R1-43 zoning district.

## CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. Any temporary signage shall be subject to review and approval under the Temporary Sign Permit application process.
3. All signage shall be permitted under a building permit, following approval of the Comprehensive Sign Plan from the Planning and Zoning Commission.

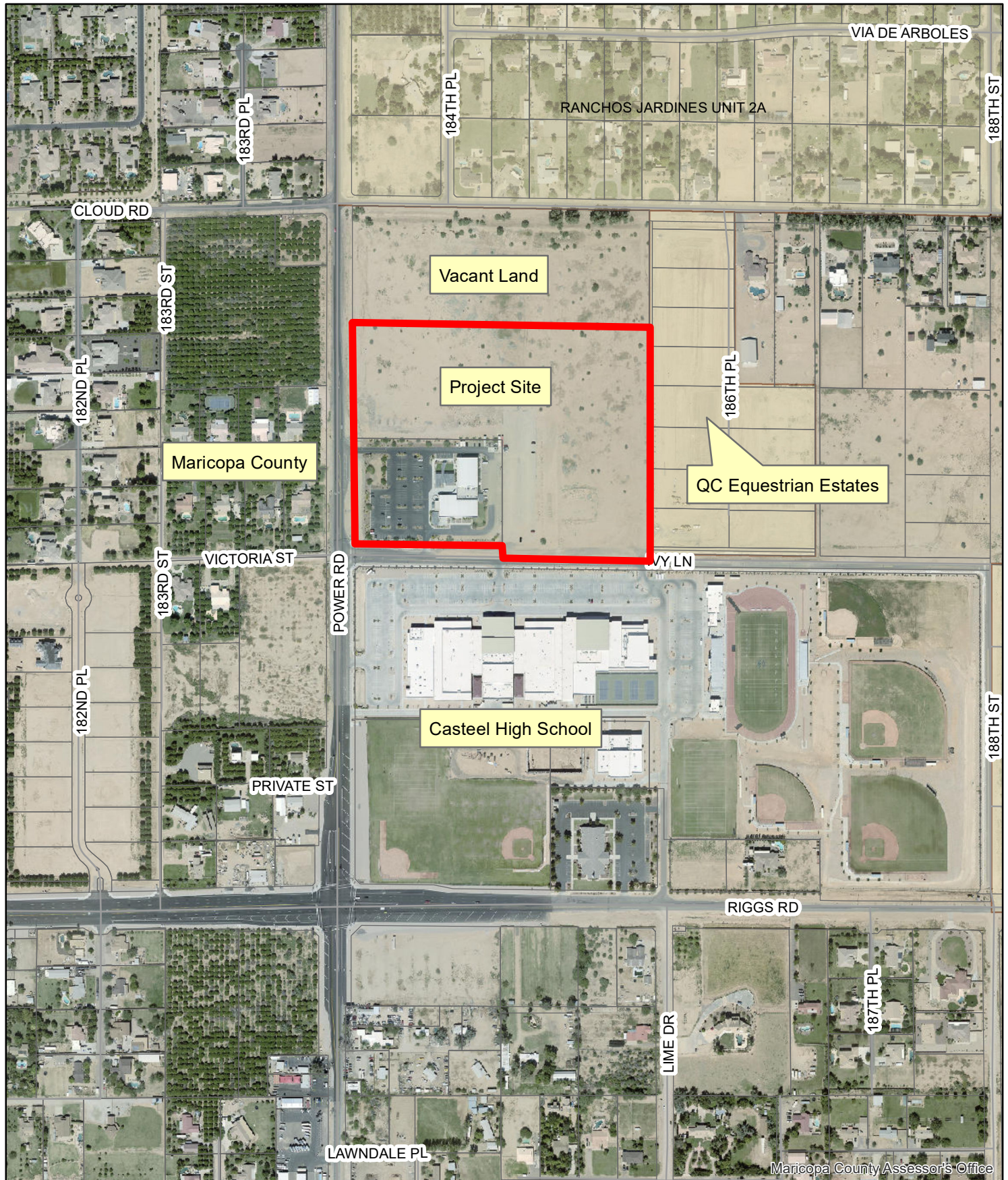
## ATTACHMENTS

1. Rock Point Church Aerial Exhibit
2. Rock Point Church General Plan Exhibit
3. Rock Point Church Zoning Map Exhibit
4. Rock Point Church Comprehensive Sign Plan

**Project Name: Rock Point Church Comprehensive Sign Plan Aerial Exhibit**

**Case Numbers: P20-0024**

**Hearing Date: February 12, 2020 (Planning Commission)**



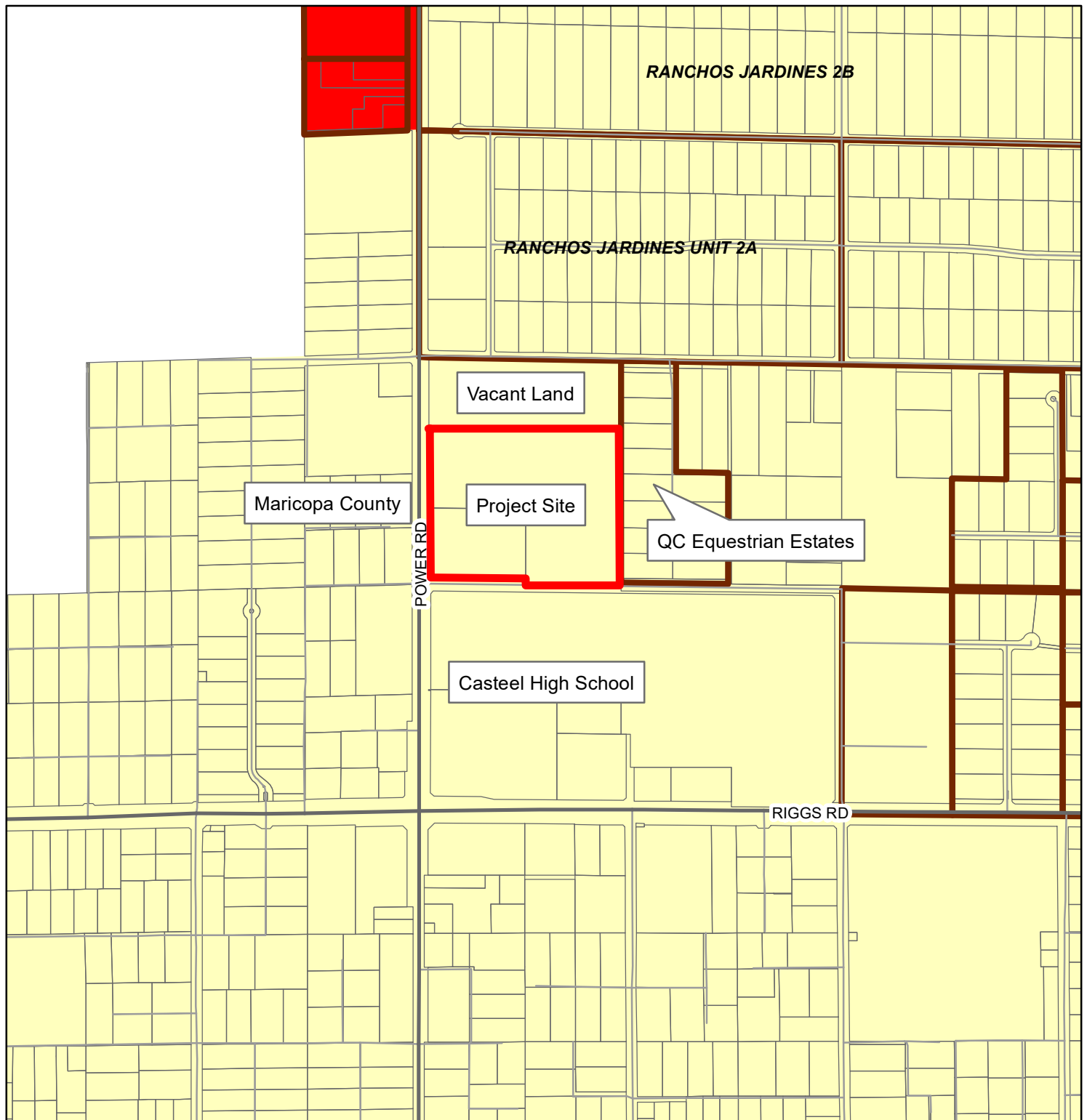


# Project Name: Rock Point Church Comprehensive Sign Plan General Plan Exhibit

Case Numbers: P20-0024



Hearing Date: February 12, 2020 (Planning Commission)



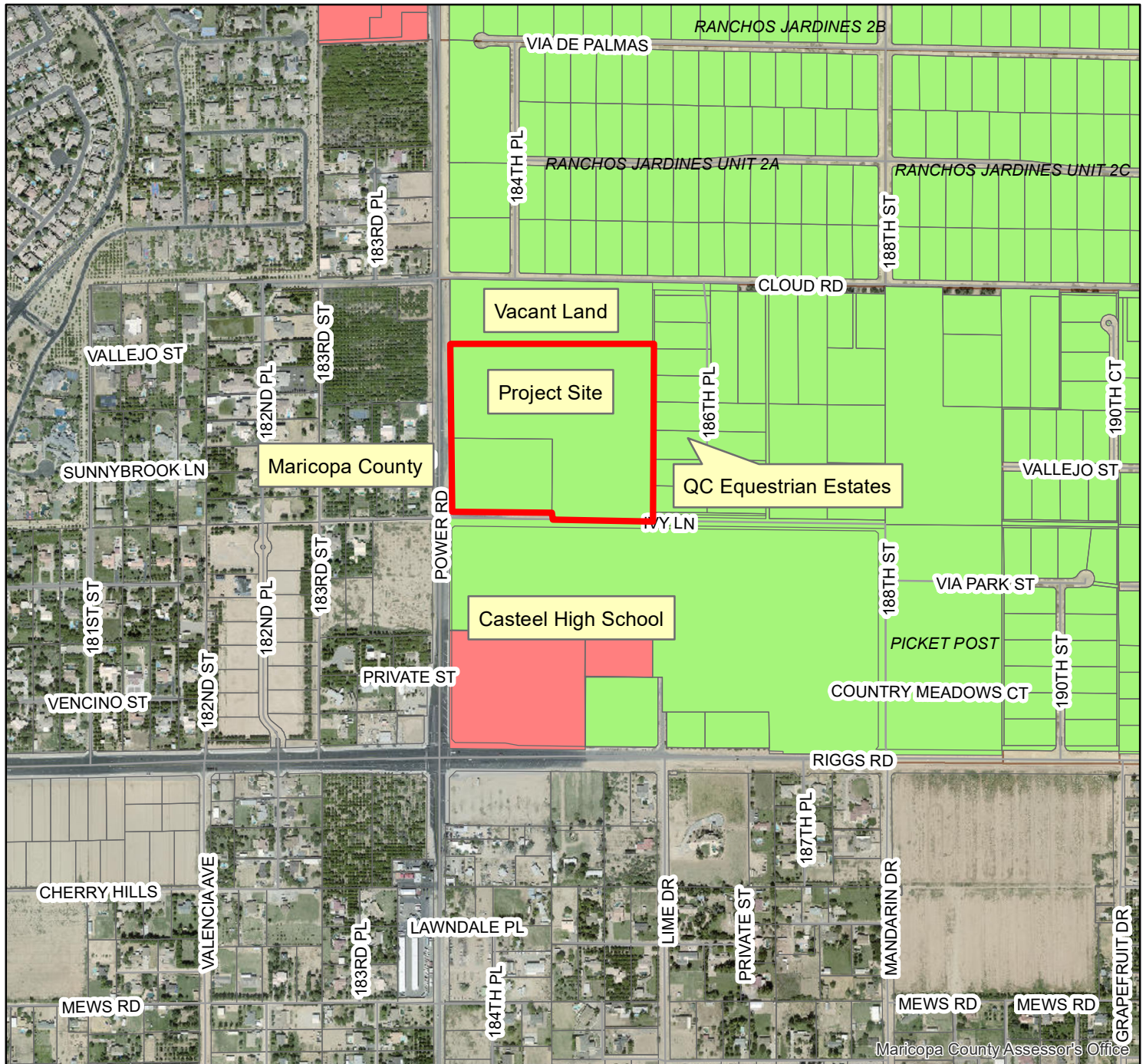
## General Plan Land Use

- |              |            |                    |                    |
|--------------|------------|--------------------|--------------------|
| Rural        | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 |                    |
| Urban        | Open Space | Special District 3 |                    |

# Project Name: Rock Point Church Comprehensive Sign Plan Zoning Map Exhibit

Case Numbers: P20-0024

Hearing Date: February 12, 2020 (Planning Commission)



## Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
TC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment



Rock Point  
CHURCH

COMPREHENSIVE SIGN PLAN

12/30/2019

Revision 12: 01/22/2020



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# NARRATIVE AND SITE DATA

## Narrative

Rock Point Church is a large religious institution located on approximately 20 acres on the northeast corner of S Power Road and E Ivy Lane. The church will have about 80,000 square feet of buildings upon completion of their second phase of additional build in 2020. Current zoning is R1-43, with a special use permit and approved site plan to allow for a religious institution.

The Comprehensive Sign Plan for Rock Point Church is submitted pursuant to sign code section 7.2.A.8, which “is intended to provide flexibility for standards that may not meet the specific requirements set forth in this Article. The purpose of the Comprehensive Sign Plan is to form signage criteria for a development that promotes superior design.”

This specific Comprehensive Sign Plan is designed to promote a superior design theme throughout the entire property, to help the public navigate the large campus via wayfinding, to help with property and building identification as a large church, and to brand Rock Point Church as a destination church within the east Valley. All of these are important not only for everyday events like church sermons, but also special events in which the surrounding community is involved.

In addition, section 7.1.A.3 reads, the sign code is in place “to enhance the beauty, unique character, and quality of the Town of Queen Creek that will attract commerce, businesses, residents, and visitors”.

A church like Rock Point Church is one of the cornerstones of a community, and in most cases, is an important factor for potential citizens who are deciding upon a permanent home where they can raise a family. The signage as proposed in this Comprehensive Sign Plan is designed to make Rock Point church feel like an inviting destination as an important part of the overall branding of the site.

Rock Point Church currently has a weekly attendance of over 3000 people, and is the fastest growing church in Arizona and the 15th fastest in the USA. As they continue to grow and build, a Comprehensive Sign Plan is needed to help establish a design standard between the church and city.

## Design Theme

The design theme of this Comprehensive Sign Plan signifies Rock Point Church as a local and regional destination. The signs are designed to comply with the intent of the sign code in “enhancing the beauty, unique character, and quality of the Town of Queen Creek that will attract commerce, businesses, residents, and visitors”. The colors, forms, and materials integrate with the architectural features and overall theme of the church.



# HIERARCHY OF SIGNS

This comprehensive sign plan has been structured to include a hierarchy way finding and identification signs, and can be classified by the following categories.

## Freestanding Monument Identification Sign

One freestanding illuminated single-sided monument identification sign will be located along Power Road to provide street level site identification. This sign will be a newly constructed sign on the north entrance, which will be their main identification sign. The height to top of sign from grade is 5', and then there will be poles for temporary event banners that extend another 2' and will not always be in use. The total square footage of the sign copy will be 96 square feet, single-sided. This sign includes:

- 5' tall to top of permanent signage, 96 square foot single-sided free standing sign. See Sign Type A.

## Freestanding Monument Service Hours Sign

One freestanding illuminated double-sided monument service hours sign will be located along Power Road to help with site identification. This sign is an existing sign, and will be modified to include their logo and service hours. This sign is 8' tall, which will remain as is. Square footage of the sign copy will be 72 square feet per side including the logo and service hours. This sign includes:

- 8' tall to top of permanent signage, 72 square foot double-sided freestanding sign. See Sign Type B.

## Entry Directional Signs

Two freestanding illuminated double-sided directional signs will be located along Ivy Lane at the entrances. These signs are 4' tall. Square footage of the sign copy will be 4 square feet per side. These signs include:

- 4' tall to top of permanent signage, 4 square foot double-sided freestanding sign. See Sign Type C.

## Interior Parking Lot Directory Signs

Seven freestanding non-illuminated double-sided directory signs will be located on the interior of the site around the parking lot. These signs are 5'6" tall. Square footage of the sign copy will be no more than 10 square feet per side. Sign copy and total quantity may vary depending on the future needs of the church. These signs include:

- 5'-6" tall to top of permanent signage, up to 10 square foot double-sided freestanding sign. See Sign Type D.

## Interior Pedestrian Directory Signs

Six freestanding non-illuminated double-sided directory signs will be located on the interior of the campus. These signs are 5'-6" tall. Square footage of the sign copy will be no more than 6 square feet per side. Sign copy and total quantity may vary depending on the future needs of the church. These signs include:

- 5'-6" tall to top of permanent signage, up to 6 square foot double-sided freestanding sign. See Sign Type E.

## Interior Pedestrian Directory Signs with Maps

Three freestanding non-illuminated double-sided directory signs will be located on the interior of the site around the campus. These signs are 6' tall. Square footage of the sign copy will be no more than 12 square feet per side. Sign copy and total quantity may vary depending on the future needs of the church. These signs include:

- 6' tall to top of permanent signage, up to 12 square foot double-sided freestanding sign. See Sign Type F.

## Interior Parking Spot Identification Signs

Seventy freestanding non-illuminated double- and single-sided parking spot identification signs will be located on the interior of the site around the parking lot. These signs are 5-6' tall. Square footage of the sign copy will be no more than 1.5 square feet per side. Sign copy and total quantity may vary depending on the future needs of the church. These signs include:

- 5-6' tall to top of permanent signage, 1.5 square foot double-sided freestanding sign. See Sign Types G1, G2, and G3.

## Main Building Identification Sign

One building mounted illuminated single-sided identification sign will be located on the main building on the roof. This sign is 3'-3-3/8" tall. Square footage of the sign copy will be 161.42 square feet. Sign will be mounted to a raceway, which will double as a mounting bracket. This sign includes:

- 3'-3-3/8" tall, 161.42 square foot single-sided building-mounted sign. See Sign Type H.

## Building Area Identification Signs

Building mounted illuminated identification signs will be located at various locations around the buildings. Heights, locations, and square footages will vary. However, the total square footage shall not exceed 1.5 square feet per 1 linear foot of the longest building elevation. The attached signs may be placed upon any building elevation as long as the total aggregate does not exceed the amount allowed. These signs may include:

- Wall mounted signs, projecting signs, manually-rotated signs, and suspended signs. See Sign Types I, J, K, L, M.



# FREESTANDING SIGN DEVIATION

SIGN TYPE	DESCRIPTION	ZONING ORDINANCE STANDARD	PROPOSED DEVIATION	JUSTIFICATION
A	Freestanding Monument Identification Sign (5'-0")	Ground-mounted signs shall not exceed eight feet (8') in height. Maximum sign area shall not exceed forty-eight (48) square feet.	Height will be within standard. Area will be increased to 96sqft.	To make the sign readable from a far distance. To fit in more with the church size and theme.
B	Freestanding Monument Service Hours Sign (8'-0")	Ground-mounted signs shall not exceed eight feet (8') in height. Maximum sign area shall not exceed forty-eight (48) square feet.	Height will be within standard. Area will be increased to 72sqft.	Existing sign. Must be at this size for all copy to be readable from a distance.
C	Entry Directional Signs (4'-0")	Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign.	Area will be increased to 4sqft.	Must be at this size for all copy to be readable from a distance.
D	Interior Parking Lot Directory Signs (5'-6")	Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign.	Area will be increased to 10sqft.	Must be at this size for all copy to be readable from a distance. This is a large property with many destinations.
E	Interior Pedestrian Directory Signs (5'-6")	Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign.	Area will be increased to 10sqft.	Must be at this size for all copy to be readable from a distance. This is a large property with many destinations.
F	Interior Pedestrian Directory Signs with Maps (6'-0")	Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign.	Area will be increased to 14sqft.	Must be at this size for all copy and map to be readable from a distance. This is a large property with many destinations.
G1, G2, G3	Interior Parking Spot Identification Signs (5'-0"- 6'-0")	Any directional signs as needed and located internal to the site not exceeding three (3) square feet in area per sign.	N/A	



# WALL SIGN DEVIATION

SIGN TYPE	DESCRIPTION	ZONING ORDINANCE STANDARD	PROPOSED DEVIATION	JUSTIFICATION
H Main Building ID Sign	Pan Channel letters mounted to raceway on the roof.	Roof signs prohibited except as specifically approved when it is determined that a ground or wall sign is not feasible due to site limitations and/or line of sight interruptions for vehicular traffic. No exposed raceway's.	The sign will be mounted to the roof with a low profile raceway.	There is not a better location on the wall for visibility. The sign will not exceed the roof line so there will be no silhouette. The raceway will be low profile and painted to match the roof.
I Logo	Pan Channel logo mounted flush to the wall.	Wall signs shall not exceed 1.5sqft per 1 linear foot of the longest elevation.	N/A	
J Special Needs	Aluminum Flat Cut Out Letters	Wall signs shall not exceed 1.5sqft per 1 linear foot of the longest elevation.	N/A	
K1 K-5th	Aluminum Flat Cut Out Letters	Wall signs shall not exceed 1.5sqft per 1 linear foot of the longest elevation.	N/A	
K2 K-5th	Pan Channel letters mounted flush to the wall.	Wall signs shall not exceed 1.5sqft per 1 linear foot of the longest elevation.	N/A	
L Rotating Sign	Rotating Illuminated Sign	Wall signs shall not exceed 1.5sqft per 1 linear foot of the longest elevation.	N/A	
M Blade Sign	Illuminated Blade Sign	Projectng signs shall not exceed 12sqft.	The blade sign will be 22.56 sqft.	The sign will not extend past the elevation so there will be no silhouette. The coffee shop will be open to the public so it must be readable from the road.





# FREESTANDING SIGN MATRIX

SIGN TYPE	DESCRIPTION	ILLUMINATION	TOTAL HEIGHT	SIGN AREA H x W	SIGN AREA PER SIDE	# OF SIDES PER SIGN	QTY.	TOTAL SQ.FT. ALL SIDES
A	Freestanding Monument Identification Sign (5'-0")	Internally illuminated channel letters with white LEDs	5'-0"	3'-0" x 32'-0"	96 sq.ft.	1	1	96
B	Freestanding Monument Service Hours Sign (8'-0")	Internally illuminated with white LEDs	8'-0"	4'-0" x 18'-0"	72 sq.ft.	2	1	144
C	Entry Directional Signs (4'-0")	Internally illuminated with white LEDs	4'-0"	4'-0" x 3'-4"	4 sq.ft.	2	2	8
D	Interior Parking Lot Directory Signs (5'-6")	Non-Illuminated	5'-6"	5'-6" x 2'-4"	10 sq.ft.	2	7	20
E	Interior Pedestrian Directory Signs (5'-6")	Non-Illuminated	5'-6"	5'-6" x 2'-4"	10 sq.ft.	2	6	20
F	Interior Pedestrian Directory Signs with Maps (6'-0")	Non-Illuminated	6'-0"	6'-0" x 3'-2"	14 sq.ft.	2	3	28
G1, G2, G3	Interior Parking Spot Identification Signs (5'-0"- 6'-0")	Non-Illuminated	5'-0"- 6'-0"	18" x 12"	1.5 sq.ft.	1	70	1.5



# WALL SIGN MATRIX

SIGN TYPE	SIGN DESCRIPTION	FUNCTION	PLACEMENT	QUANTITY	SIZE	MATERIALS	ILLUMINATION
H Main Building ID Sign	Pan Channel letters mounted to raceway on the roof.	Identification	Roof of Main elevation.	1	Overall Size: 3'-3 3/8" x 49'-7 3/4"  SQFT: 161.42	• Aluminum, Vinyl, Acrylic	Internally LED Illuminated
I Logo	Pan Channel logo mounted flush to the wall.	Identification	Flush to the building where shown on the elevations.	1	Overall Size: 4' x 4'  SQFT: 16	• Aluminum, Vinyl, Acrylic	Internally LED Illuminated
J Special Needs	Aluminum Flat Cut Out Letters	Identification	Flush to the building where shown on the elevations.	1	Overall Size: 9' x 2'-4"  SQFT: 21	• Aluminum	Non-Illuminated
K1 K-5th	Aluminum Flat Cut Out Letters	Identification	Flush to the building where shown on the elevations.	1	Overall Size: 1'-2" x 12'-9 1/2"  SQFT: 15	• Aluminum	Non-Illuminated
K2 K-5th	Reverse Pan Channel letters mounted 1 1/2" off the wall.	Identification	1 1/2" off the building where shown on the elevations.	1	Overall Size: 1'-2" x 12'-9 1/2"  SQFT: 15	• Aluminum, Lexan	Internally Halo LED Illuminated
L Rotating Sign	Rotating Illuminated Sign	Identification	Hanging down from the bottom of canopy on the front of the building.	1	Overall Size: 2'-6" x 13'-0"  SQFT: 32.5	• Aluminum, Acrylic	Internally LED Illuminated
M Blade Sign	Illuminated Blade Sign	Identification	Projecting off Building	1	Overall Size: 4'-8 1/2" x 4'-8 1/2"  SQFT: 22.56	• Aluminum, Vinyl, Acrylic	Internally LED Illuminated

Total of all wall signs = 283.48sqft  
 Total wall sign area allowed = 405sqft

# BUILDING SIGN REQUIREMENTS

## Hardware:

All exterior bolts, fasteners, clips or other hardware shall be galvanized iron or stainless steel.

## Code Compliance:

All signs and their installation shall comply with applicable building and electrical codes.

## Labels:

All required labels shall be applied in an inconspicuous location and not on the face of any part of the sign.

## UL Code:

All signs must be manufactured under the UL Code and specifications. Each sign shall have the UL certification sticker attached. Any sign not installed with the UL certification sticker will be removed at the expense of the tenant and will not be allowed to be re-installed unless proof can be obtained that the sign was manufactured by a certified UL approved manufacturer.

## Sealing Penetrations:

In order to maintain any existing warranties all penetrations made to the building must be neatly sealed in a water tight fashion.

## Illuminated Signs

The City of Queen Creek requires permits for all signs and electrical permits for all signs that are illuminated. It is the Owner's/Occupant's sole responsibility to secure these and any other permits that may be required.

## Freestanding Signs

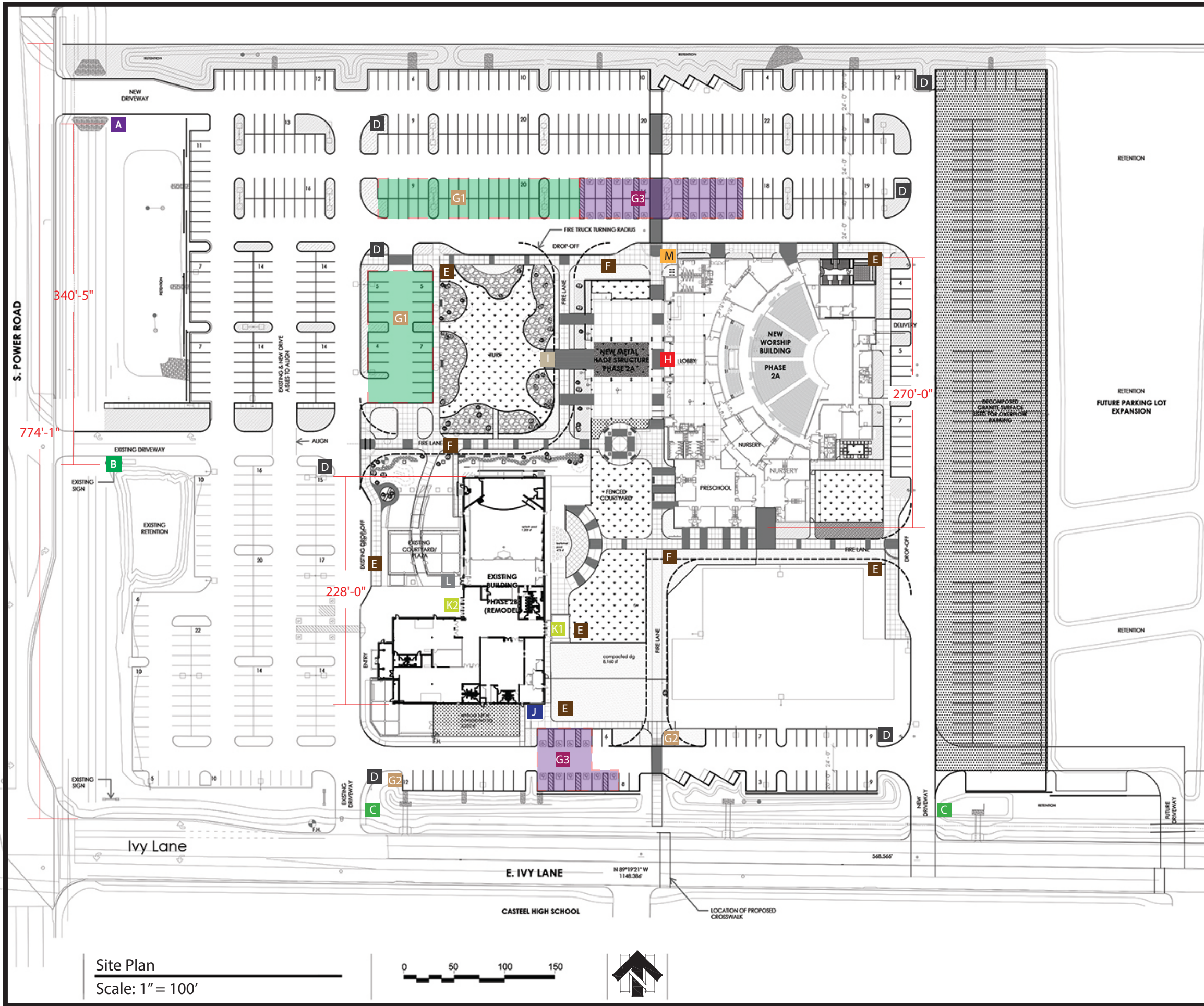
All freestanding signs must meet applicable setbacks, and their installation must comply with all local building and electrical codes.

## Required Insurance for Sign Contractors:

All sign contractors must carry workers compensation and commercial liability insurance against all damages suffered or done to any and all persons and or property while engaged in the construction or installation of signs with a combined single limit in an amount not less than One Million dollars (\$1,000,000.00) per occurrence. Landlord must be named as additionally insured in the workers compensation and commercial liability insurance. A statement of proof from the insurance carrier must be attached to all submittal documents.

## License:

Every contractor must hold a current State of Arizona contractors license. The license number must be included on all submittal documents.



- A** Monument
- B** Existing Monument
- C** Dir. Sign
- D** Non Illum. Parking Lot Directionals
- E** 5'-6" Double Sided Non Illum. Directories
- F** 6' Double Sided Non Illum. Directories
- G1** First Time Guest Parking Signs
- G2** Special Needs Parking Only
- G3** Handicap Signs
- H** Rock Point Church Pan Channel Letters
- I** Main Entrance Pan Channel Logo
- J** Special Needs FCOs
- K1** Kindergarten through 5th FCOs
- K2** Kindergarten through 5th RPCs
- L** Rotating Sign
- M** Blade Sign

Site Plan  
Scale: 1" = 100'



**CUSTOMER APPROVAL**

BY: \_\_\_\_\_

DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: **Rock Point Church**

LOCATION: 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd,  
Prescott Valley,  
Arizona  
86314  
800-257-5095

Account Executive:  
Paul Savala

Designer:  
AL

Design Number:  
4380

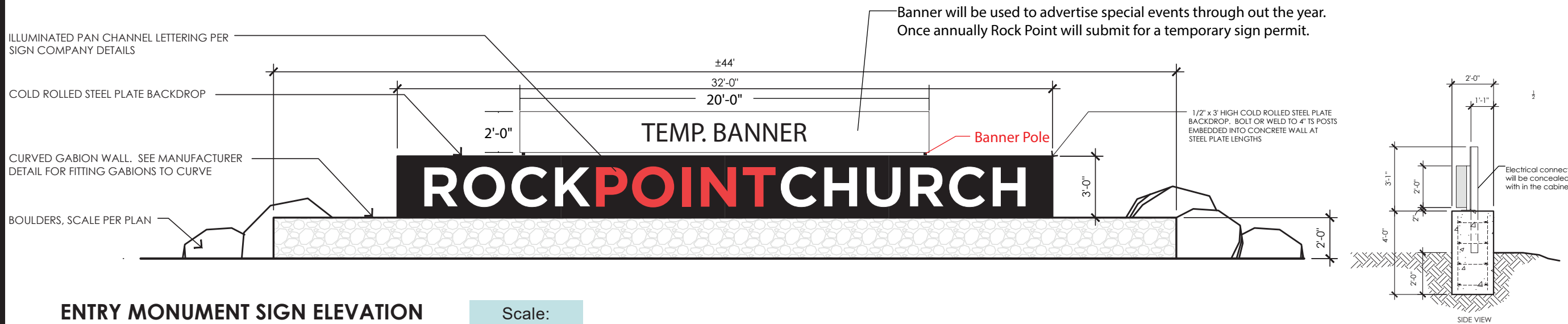
DATE:  
12/13/2018

SCALE:  
AS NOTED

REVISIONS:  
R7 09/18/2019 AL  
R8 12/04/2019 DF  
R9 12/12/2019 AL  
R10 12/20/2019 AL  
R11 12/30/2019 DF  
R12 01/22/2020 AL

SHEET:  
**10 OF 22**

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**ENTRY MONUMENT SIGN ELEVATION**

Scale:  
3/16" = 1'-0"



**A**

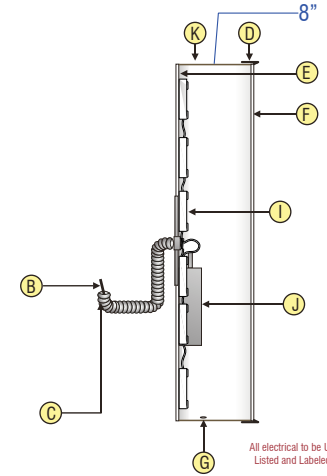
**ILLUMINATED MONUMENT SIGN**

Scale:  
1/4" = 1'-0"

SQFT:  
96

Manufacture and install one (1) single sided entry monument sign. The sign will have one (1) set of illuminated pan channel letters. The letters will have 3/16" acrylic faces, 3/4" trimcap and 3" .040 alum. returns. The letters will be illuminated with shallow white LEDs. All material colors will depend on final wall color.

**PC Letter Self Contained/ LEDs - Cross Section Detail**



A	
B	conduit (1/2" min.)
C	low voltage wiring
D	trim cap
E	aluminum back
F	acrylic Face
G	weep holes
H	mounting varies
I	LED lights
J	LED power supply
K	8" alum. returns

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs

**CUSTOMER APPROVAL**

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: **Rock Point Church**  
LOCATION: 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd,  
Prescott Valley,  
Arizona  
86314  
800-257-5095



Account Executive:  
Paul Savelle

Designer:  
AL

Design Number:  
4380

DATE:  
12/13/2018

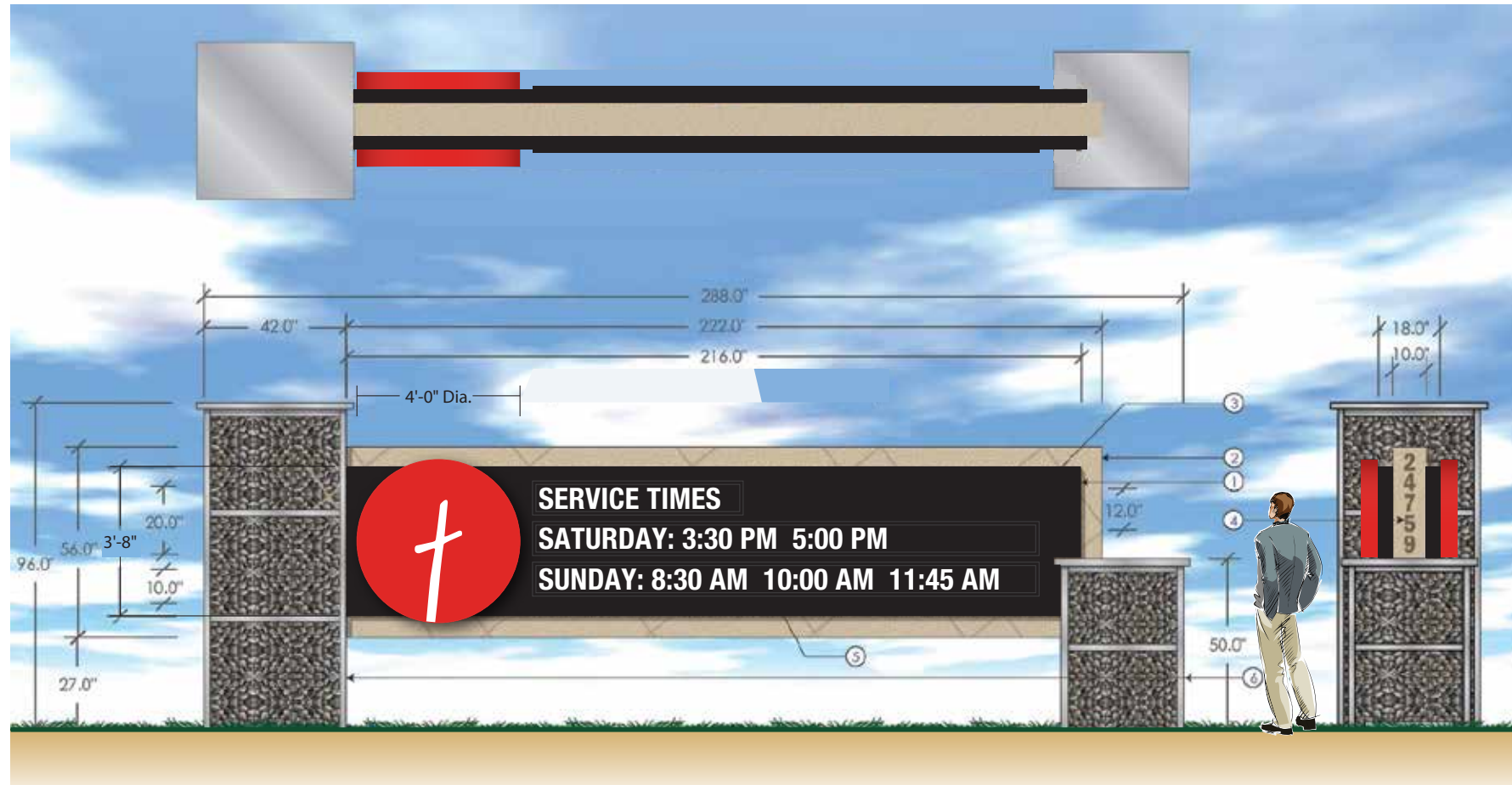
SCALE:  
AS NOTED

REVISIONS:

R7	09/18/2019	AL
R8	12/04/2019	DF
R9	12/12/2019	AL
R10	12/20/2019	AL
R11	12/30/2019	DF
R12	01/22/2020	AL

SHEET:

**11 OF 22**



4'x18'=72sqft

<b>B</b>	ILLUMINATED LOGO	Scale:	SQFT:
	REMOVABLE MESSAGE PANELS	1/4" = 1'-0"	72

Manufacture and install new cabinet faces with illuminated pan channel logo on existing double sided monument sign.

Two (2) New Face: Refurbish existing cabinet face with new 1/8" aluminum.

Two (2) New Illuminated Channel Logo: 1/8" white acrylic faces with surface applied red translucent vinyl. 5" Deep returns painted black, black trim cap. Internally illuminated with white LED modules.

Removable Messages: 1/8" aluminum panels routed out copy with white acrylic back-up. 1" retainers. Exact messages and sizes TBD.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs

**2018 IBC**



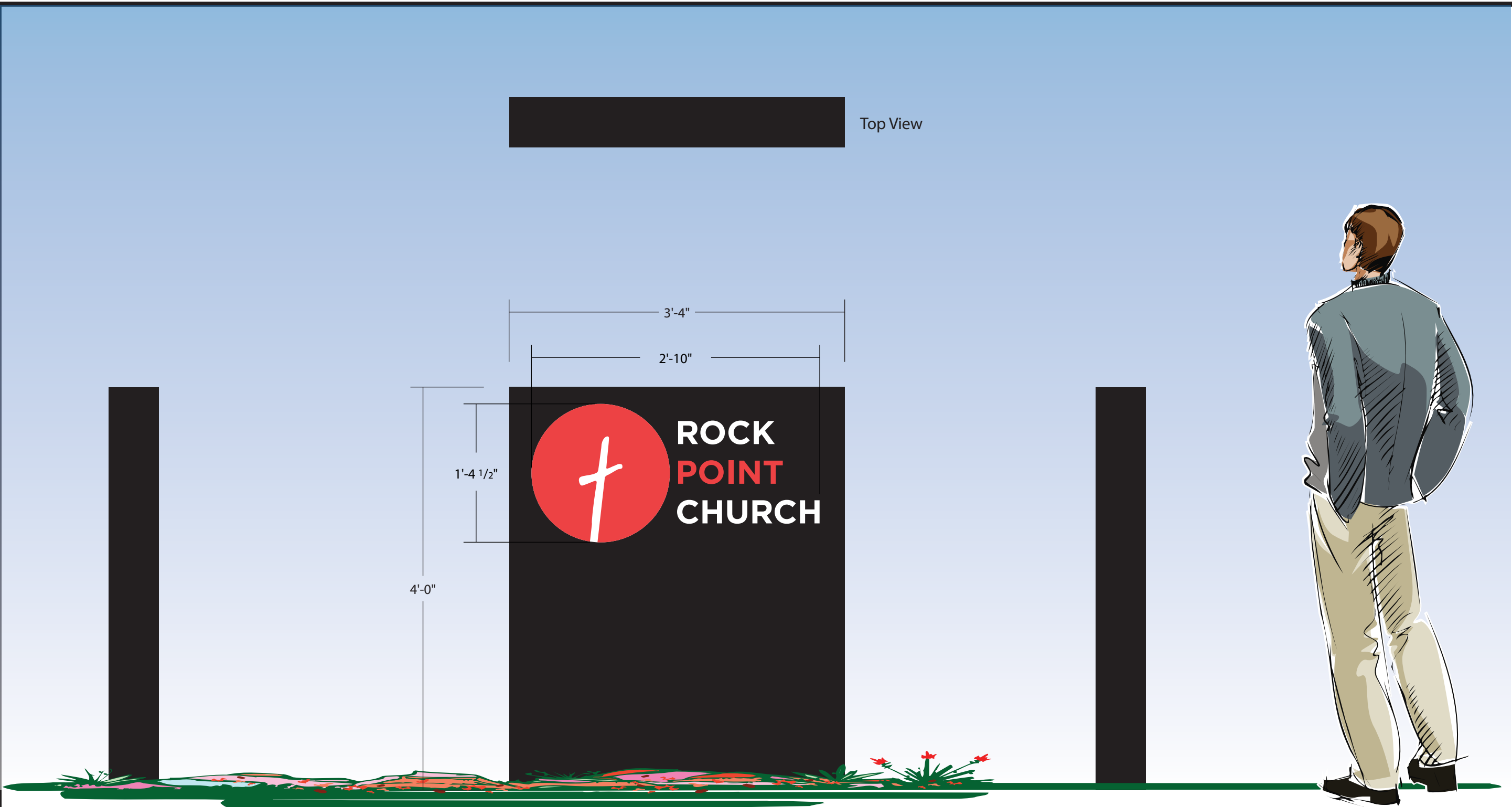
Existing | Not to Scale

**CUSTOMER APPROVAL**

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

**PROJECT:** Rock Point Church  
**LOCATION:** 24759 S Power Rd Queen Creek AZ 85142  
 9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095  
**SIGNS PLUS**  
 Account Executive: Paul Savela  
 Designer: AL  
 Design Number: 4380  
 DATE: 12/13/2018  
 SCALE: AS NOTED  
 REVISIONS:  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL  
 SHEET: 12 OF 22

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Side View

Side View

Top View

**1.42'x2.83'=4sqft**


C	DOUBLE SIDED ILLUM. SIGN	Scale: 1" = 1'-0"	SQFT: 4
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Manufacture and install two (2) white LED illuminated signs with routed aluminum faces backed with white 1/8" acrylic.

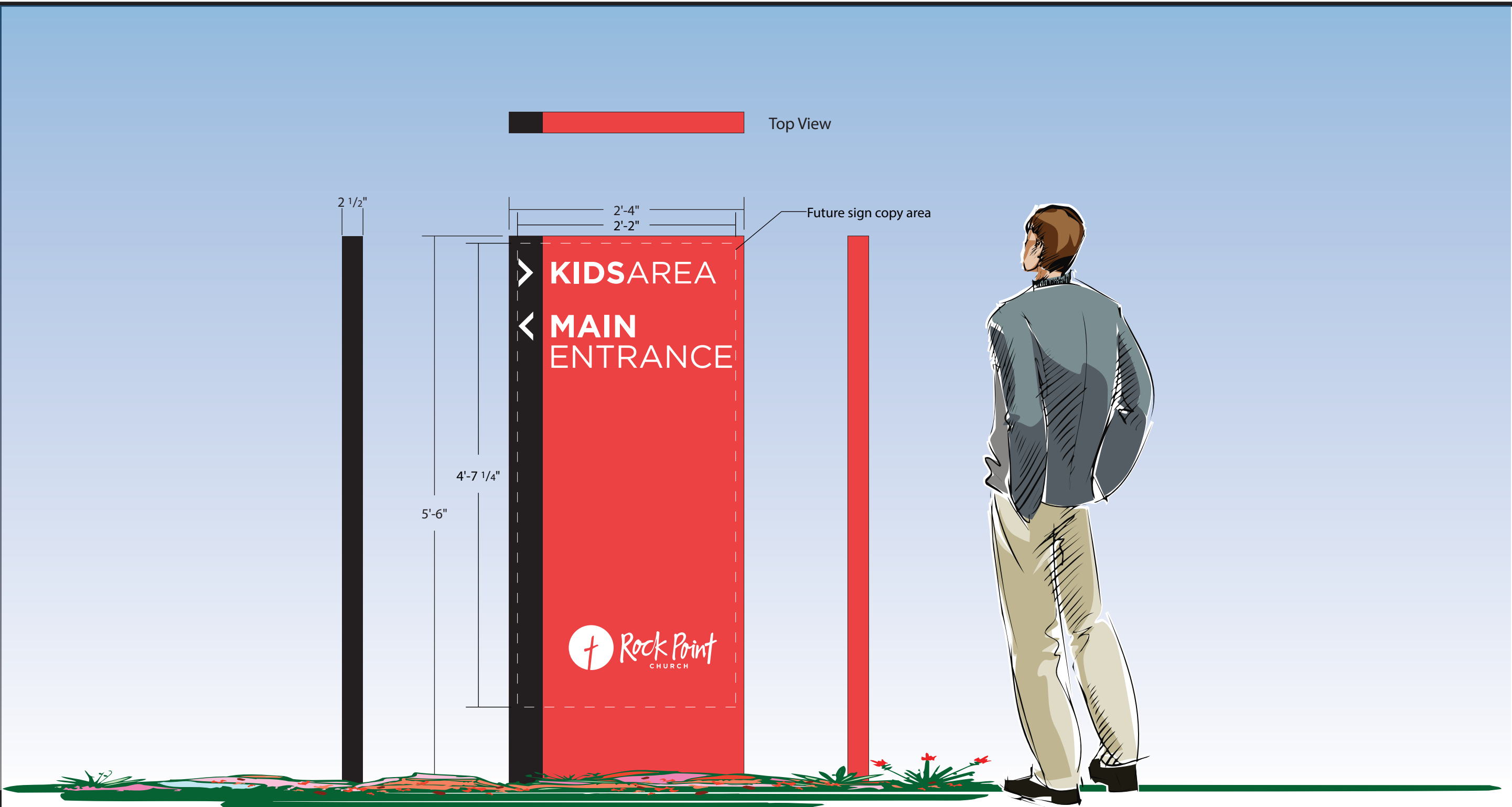
**CUSTOMER APPROVAL**

BY: \_\_\_\_\_

DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

<p><b>PROJECT:</b> Rock Point Church</p> <p><b>LOCATION:</b> 24759 S Power Rd Queen Creek AZ 85142</p>	<p>9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095</p>																			
<p><b>Account Executive:</b> Paul Savela</p>																				
<p><b>Designer:</b> AL</p>																				
<p><b>Design Number:</b> 4380</p>																				
<p><b>DATE:</b> 12/13/2018</p>																				
<p><b>SCALE:</b> AS NOTED</p>																				
<p><b>REVISIONS:</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>R7</td><td>09/18/2019</td><td>AL</td></tr> <tr><td>R8</td><td>12/04/2019</td><td>DF</td></tr> <tr><td>R9</td><td>12/12/2019</td><td>AL</td></tr> <tr><td>R10</td><td>12/20/2019</td><td>AL</td></tr> <tr><td>R11</td><td>12/30/2019</td><td>DF</td></tr> <tr><td>R12</td><td>01/22/2020</td><td>AL</td></tr> </table>			R7	09/18/2019	AL	R8	12/04/2019	DF	R9	12/12/2019	AL	R10	12/20/2019	AL	R11	12/30/2019	DF	R12	01/22/2020	AL
R7	09/18/2019	AL																		
R8	12/04/2019	DF																		
R9	12/12/2019	AL																		
R10	12/20/2019	AL																		
R11	12/30/2019	DF																		
R12	01/22/2020	AL																		
<p><b>SHEET:</b></p>		<p>13 OF 22</p>																		

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Side View

Side View

**2.17'x4.60'=10sqft**

<b>D</b>	DOUBLE SIDED NON ILLUM. PARKING LOT DIR.	Scale: 1" = 1'-0"	SQFT: 10
----------	--	-------------------	----------

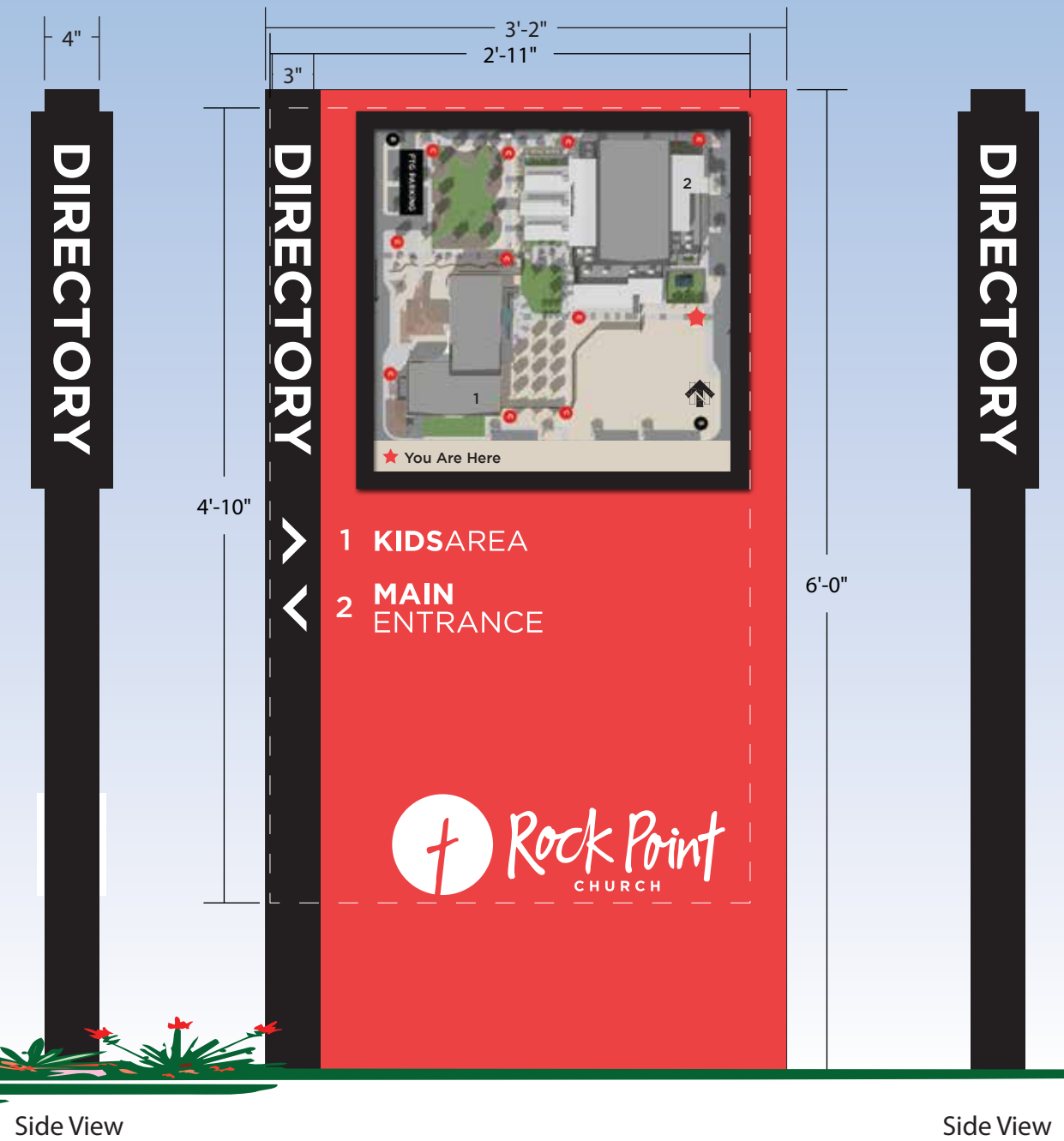
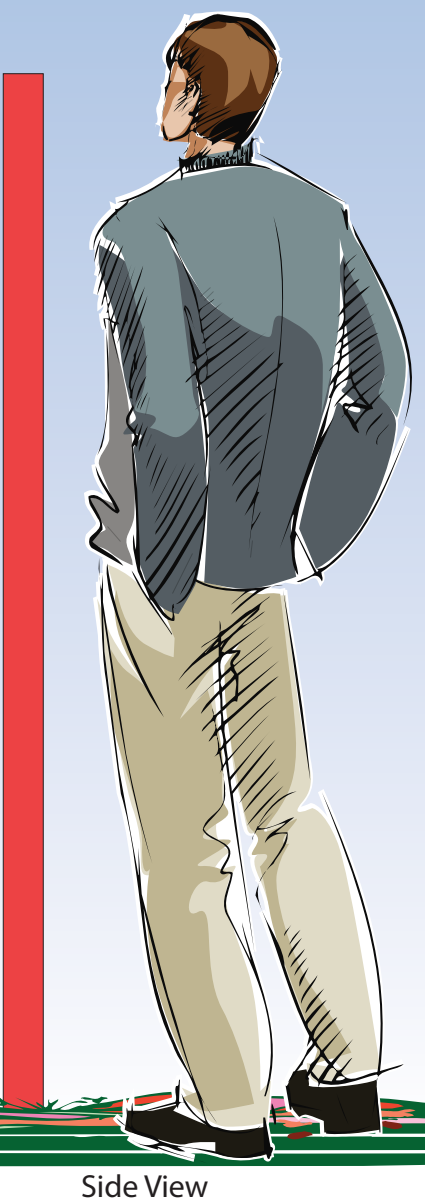
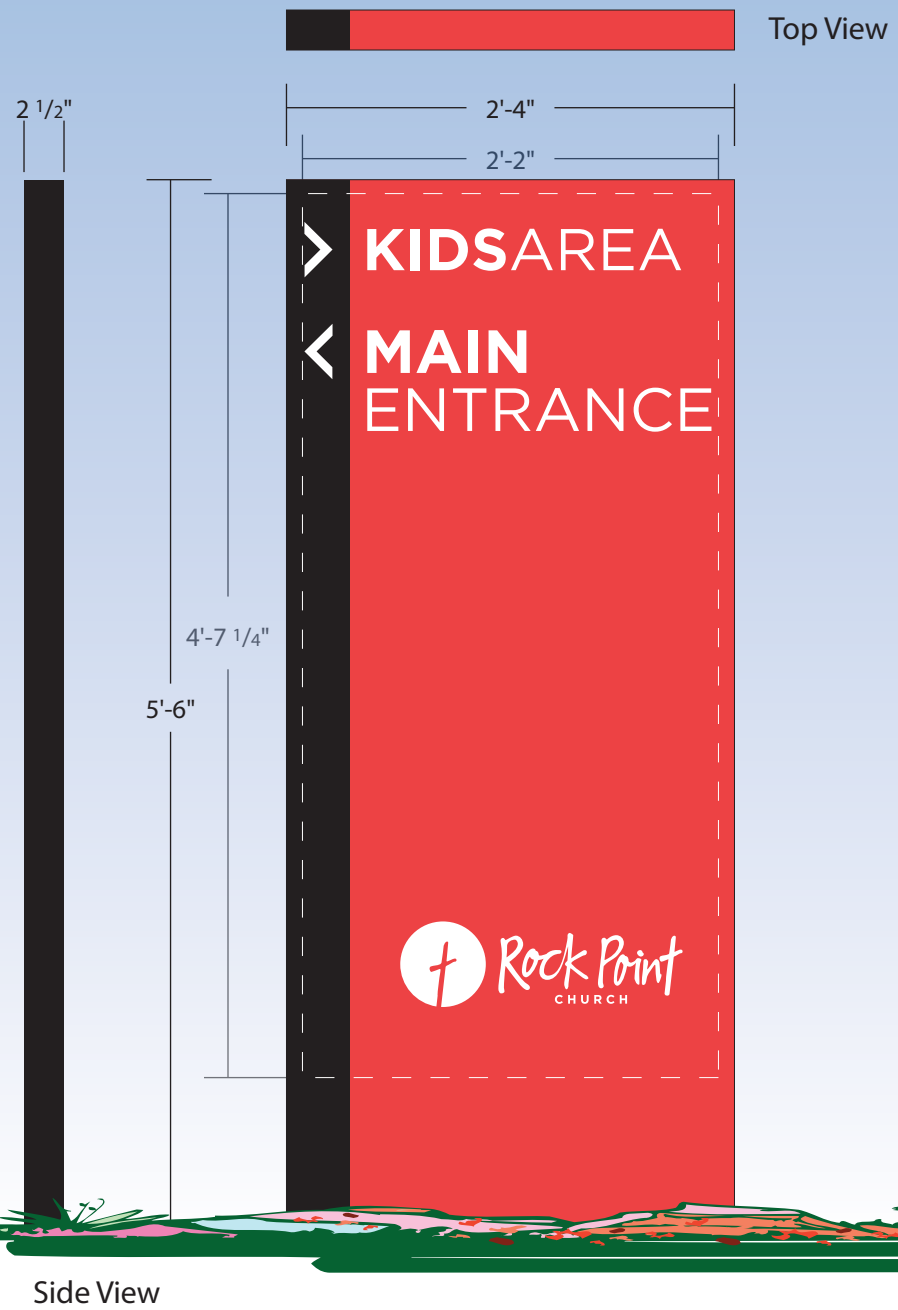
Manufacture and install seven (7) non illuminated directional signs overlaid with 3M white ref. (5100-10) vinyl.

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

<b>PROJECT:</b> Rock Point Church	
<b>LOCATION:</b> 24759 S Power Rd Queen Creek AZ 85142	
9200 Valley Rd. Prescott Valley, Arizona 86314	<b>800-257-5095</b>
<b>SIGNS PLUS</b>	
<b>Account Executive:</b> Paul Savela	
<b>Designer:</b> AL	
<b>Design Number:</b> 4380	
<b>DATE:</b> 12/13/2018	
<b>SCALE:</b> AS NOTED	
<b>REVISIONS:</b>	
R7 09/18/2019 AL	
R8 12/04/2019 DF	
R9 12/12/2019 AL	
R10 12/20/2019 AL	
R11 12/30/2019 DF	
R12 01/22/2020 AL	
<b>SHEET:</b> 14 OF 22	

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**2.17'x4.60'=10sqft**

**4.83'x2.92'=14sqft**

<b>E</b>	DOUBLE SIDED NON ILLUM. DIRECTORY	Scale: 1" = 1'-0"	SQFT: 10
----------	-----------------------------------	-------------------	----------

Manufacture and install six (6) non illuminated directional signs overlaid with 3M white ref. (5100-10) vinyl.

<b>F</b>	DOUBLE SIDED NON ILLUM. DIRECTORY	Scale: 1" = 1'-0"	SQFT: 14
----------	-----------------------------------	-------------------	----------

Manufacture and install three (3) non illuminated directional signs with copy to be 3M White vinyl and a digital printed map mounted to acrylic.

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: Rock Point Church  
 LOCATION: 24759 S Power Rd Queen Creek AZ 85142  
 9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095  
**SIGNS PLUS**  
 Account Executive: Paul Savelle  
 Designer: AL  
 Design Number: 4380  
 DATE: 12/13/2018  
 SCALE: AS NOTED  
 REVISIONS:  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL  
 SHEET: **15 OF 22**

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**G1** PARKING LOT SIGNS Scale: 1" = 1'-0"

Manufacture and install thirty eight (38) .125 aluminum signs with 3M vinyl graphics. The panels painted to match other signs (colors TBD).

Will need thirty eight (38) 2"x2" U-channel poles.

**G2** PARKING LOT SIGNS Scale: 1" = 1'-0"

Manufacture and install two (2) .125 aluminum signs with 3M vinyl graphics. The panels painted to match other signs (colors TBD).

Will need two (2) 2"x2" U-channel poles.

**G3** PARKING LOT SIGNS Scale: 1" = 1'-0"

Manufacture and install thirty (30) .125 aluminum signs.

Will need twenty (20) 2"x2" U-channel poles,unpainted.

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: **Rock Point Church**  
 LOCATION: 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd,  
 Prescott Valley,  
 Arizona  
 86314  
 800-257-5095

**SIGNS PLUS**

Account Executive:  
 Paul Savelle

Designer:  
 AL

Design Number:  
 4380

DATE:  
 12/13/2018

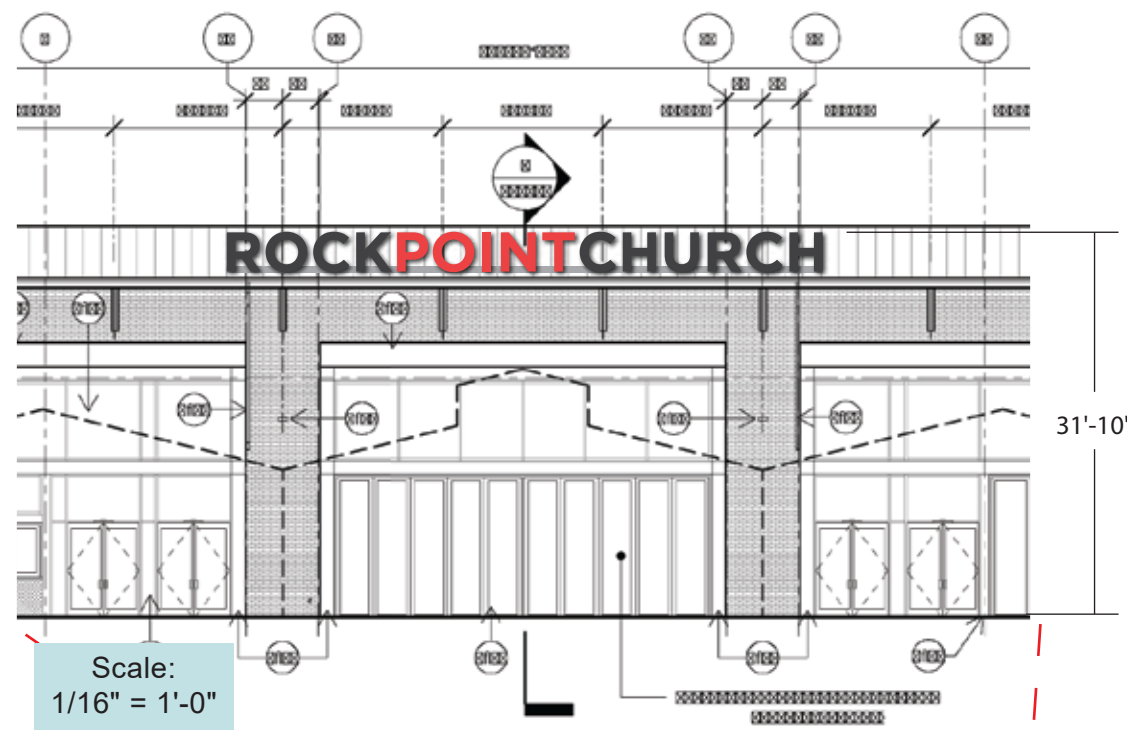
SCALE:  
 AS NOTED

REVISIONS:  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL

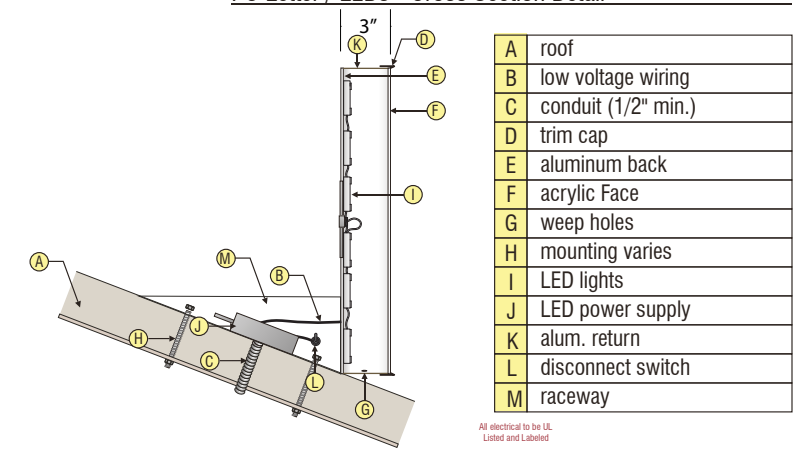
SHEET:  
**16 OF 22**

3'-3 3/8" 49'-7 3/4"

# ROCKPOINTCHURCH



PC Letter / LEDs - Cross Section Detail

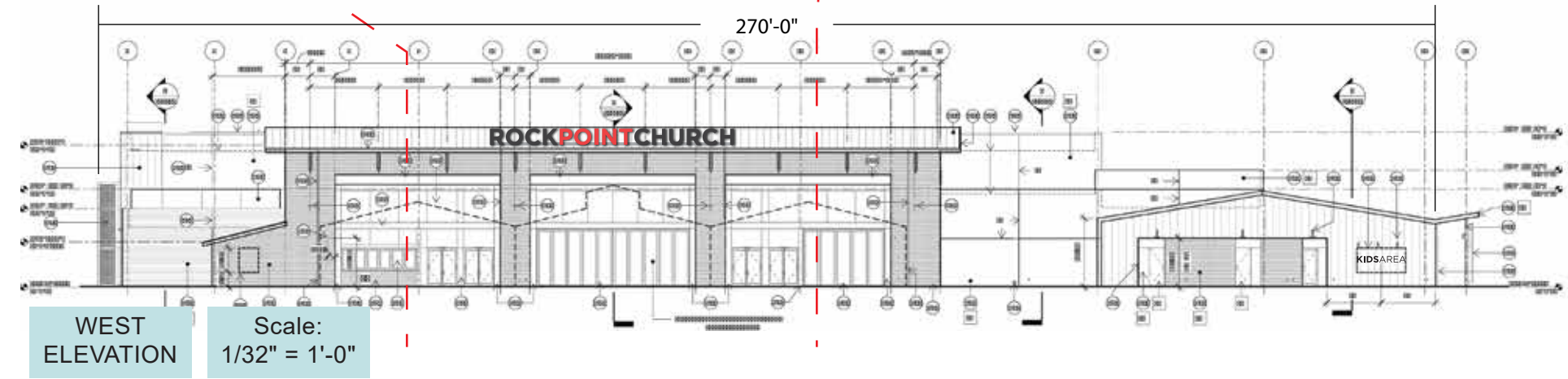


This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs

**H** ILLUMINATED PAN CHANNEL LETTERS      Scale: 1/4" = 1'-0"      SQFT: 161.42

Manufacture and install one (1) set of illuminated pan channel letters. The letters will have 3/16" acrylic faces, 3/4" trimcap and 3" .040 alum. returns. The letters will be illuminated with shallow white LEDs. All material colors will depend on final wall color.

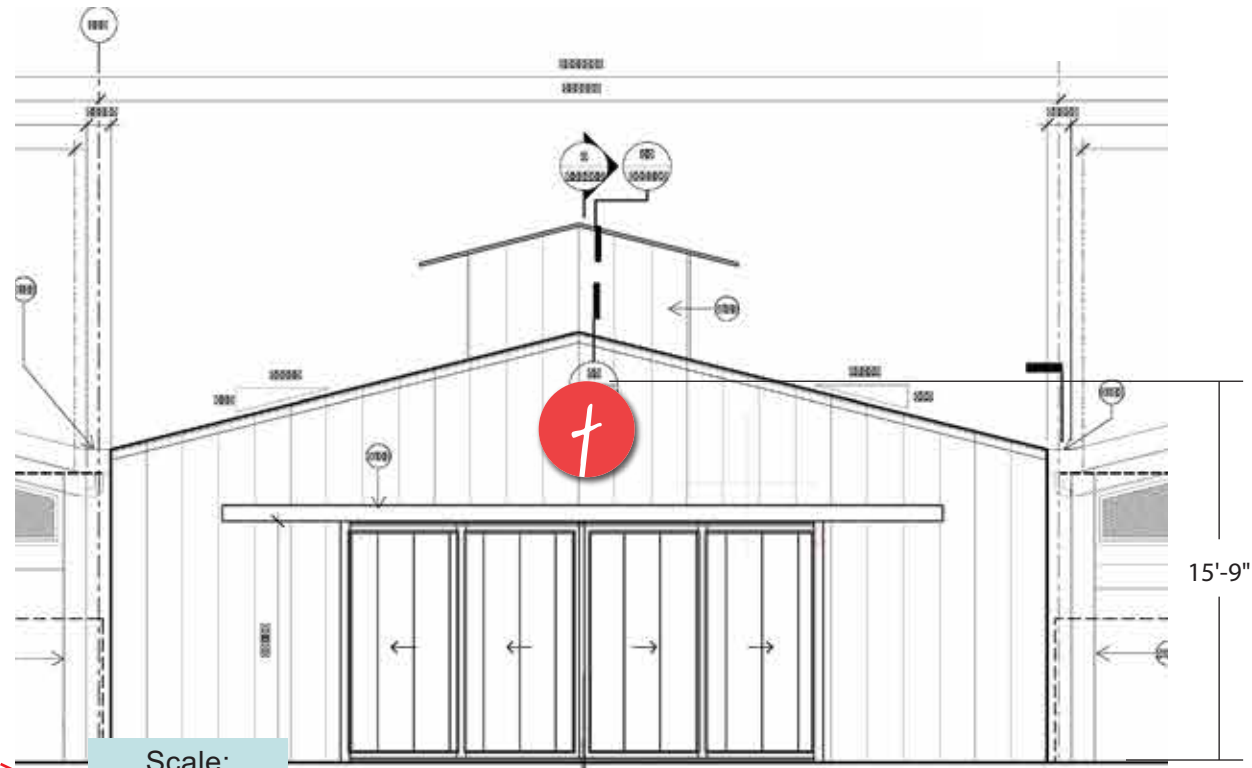
Letters will be mounted to a low profile raceway and painted to match the roof.



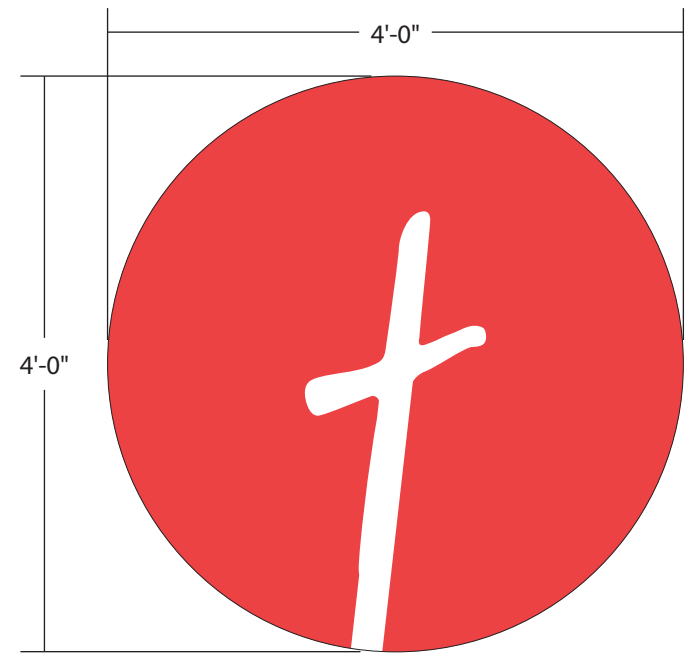
**\*Note\*** Field Verify Fascia Area Prior to Fabrication of signs

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

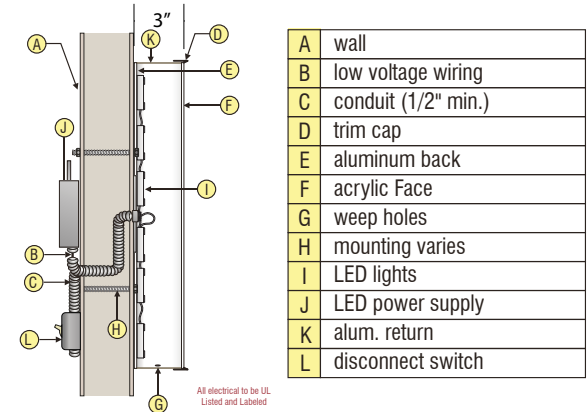
PROJECT: Rock Point Church  
 LOCATION: 24759 S Power Rd Queen Creek AZ 85142  
 9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095  
**SIGNS PLUS**  
 Account Executive: Paul Savelle  
 Designer: AL  
 Design Number: 4380  
 DATE: 12/13/2018  
 SCALE: AS NOTED  
 REVISIONS:  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL  
 SHEET: 17 OF 22



Scale:  
1/8" = 1'-0"



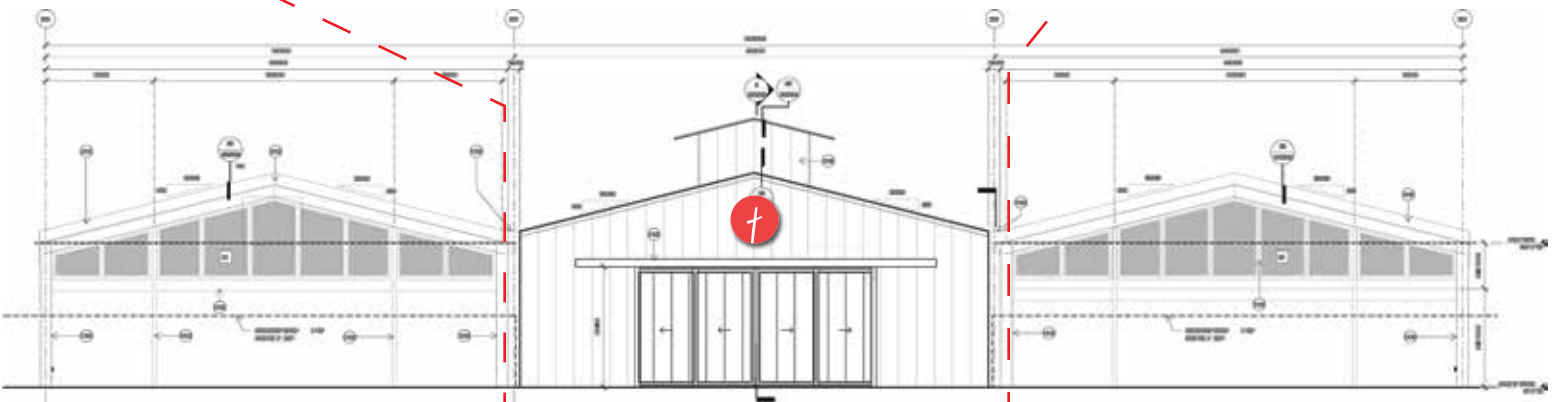
PC Letter / LEDs - Cross Section Detail



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs

**B** ILLUMINATED PAN CHANNEL LOGO      Scale: 3/4" = 1'-0"      SQFT: 16

Manufacture and install one (1) illuminated pan channel logo. The logo will have a 3/16" acrylic face, 1" trimcap and 3" .040 alum. returns. The logo will be illuminated with shallow white LEDs. All material colors will depend on final wall color.



WEST ELEVATION      Scale: 1/16" = 1'-0"

**\*Note\*** Field Verify Fascia Area Prior to Fabrication of signs

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: **Rock Point Church**  
 LOCATION: 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd,  
 Prescott Valley,  
 Arizona  
 86314  
 800-257-5095

**SIGNS PLUS**

Account Executive:  
 Paul Savela

Designer:  
 AL

Design Number:  
 4380

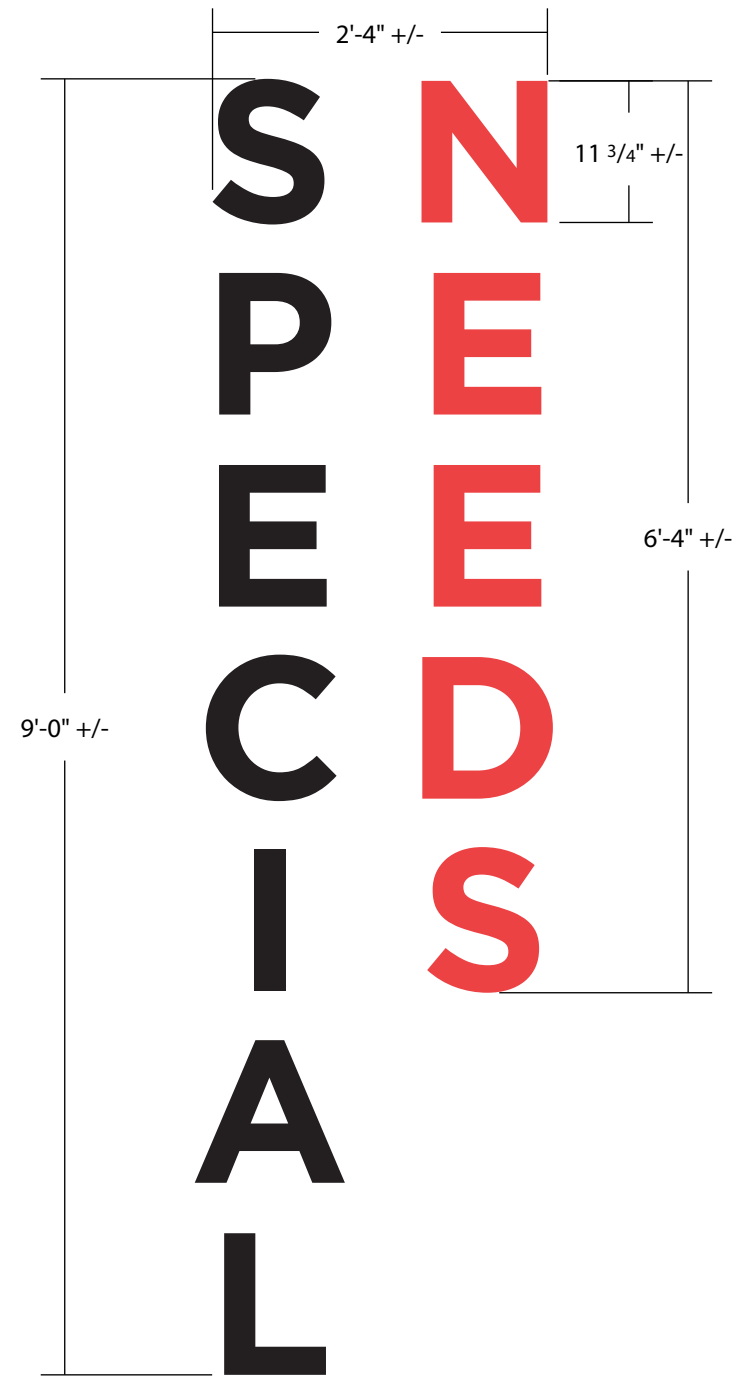
DATE:  
 12/13/2018

SCALE:  
 AS NOTED

REVISIONS:  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL

SHEET:  
**18 OF 22**

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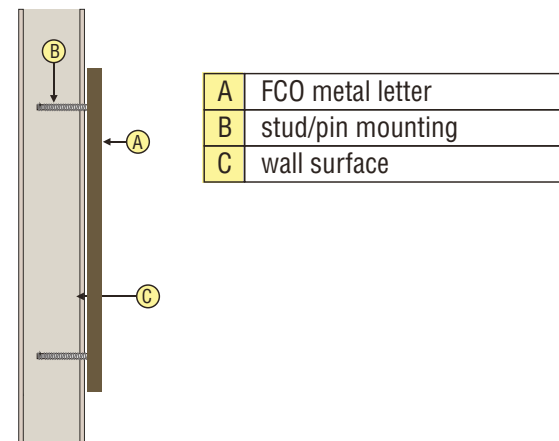


**J** NON ILLUMINATED FLAT CUT OUT LETTERS Scale: 3/4"-1'-0"

Manufacture and install one (1) set of non illuminated flat cut out letters. The letters will be 1/4" painted aluminum letters. Stud mounted flush to the wall.

**\*Note\*** Field Verify Fascia Area Prior to Fabrication of signs

Non-Illuminated FCO - Cross Section Detail



**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

<b>PROJECT:</b> Rock Point Church <b>LOCATION:</b> 24759 S Power Rd Queen Creek AZ 85142	9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095
<b>Account Executive:</b> Paul Savela	<b>Designer:</b> AL
<b>Design Number:</b> 4380	<b>DATE:</b> 12/13/2018
<b>SCALE:</b> AS NOTED	<b>REVISIONS:</b> R7 09/18/2019 AL R8 12/04/2019 DF R9 12/12/2019 AL R10 12/20/2019 AL R11 12/30/2019 DF R12 01/22/2020 AL
<b>SHEET:</b> 19 OF 22	This custom design submitted for your personal use is the exclusive property of SIGNS PLUS. It may not be reproduced, copied, or exhibited in any fashion to anyone outside of your organization without the written permission of an authorized agent of SIGNS PLUS.

1'-2" | 12'-9 1/2" |

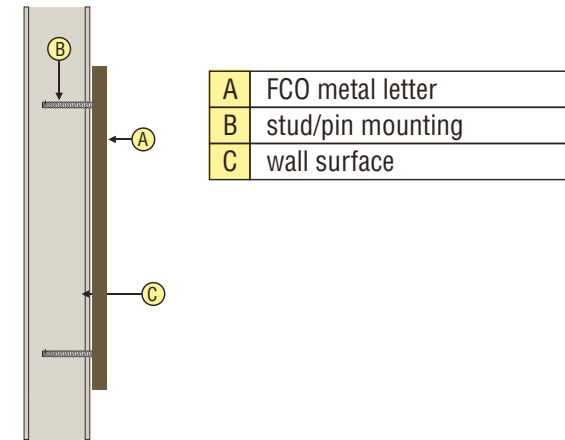
# K - 5TH GRADE

**K1** NON ILLUMINATED  
FLAT CUT OUT LETTERS Scale:  
3/4" = 1'-0"

Manufacture and install one (1) set of non illuminated flat cut out letters. The letters will be 1/4" painted aluminum letters. Stud mounted flush to the wall.

**\*Note\*** Field Verify Fascia Area  
Prior to Fabrication of signs

Non-Illuminated FCO - Cross Section Detail



1'-2" | 12'-9 1/2" |

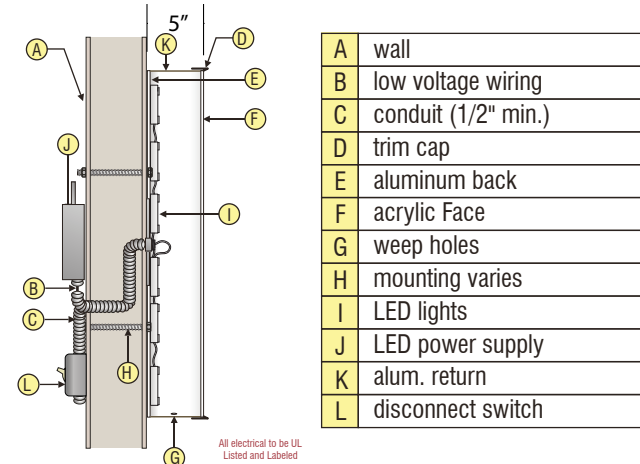
# K - 5TH GRADE

**K2** ILLUMINATED  
PAN CHANNEL LETTERS Scale:  
3/4" = 1'-0"

Manufacture and install one (1) set of white LED illuminated pan channel letters. The letters will have 5" deep .040 black alum. returns with 3/16" white acrylic overlaid with 3M black perf. and 3/4" black trim cap. The letters will be mounted flush to the wall.

**\*Note\*** Field Verify Fascia Area  
Prior to Fabrication of signs

PC Letter / LEDs - Cross Section Detail



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the signs

**2018 IBC**

**CUSTOMER APPROVAL**

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

PROJECT: Rock Point Church  
LOCATION: 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd.  
Prescott Valley,  
Arizona  
86314  
800-257-5095



Account Executive:  
Paul Savelle

Designer:  
AL

Design Number:  
4380

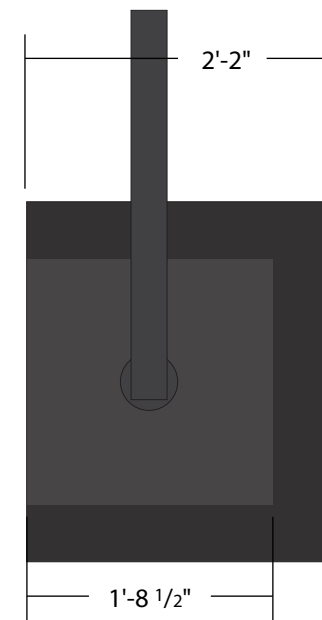
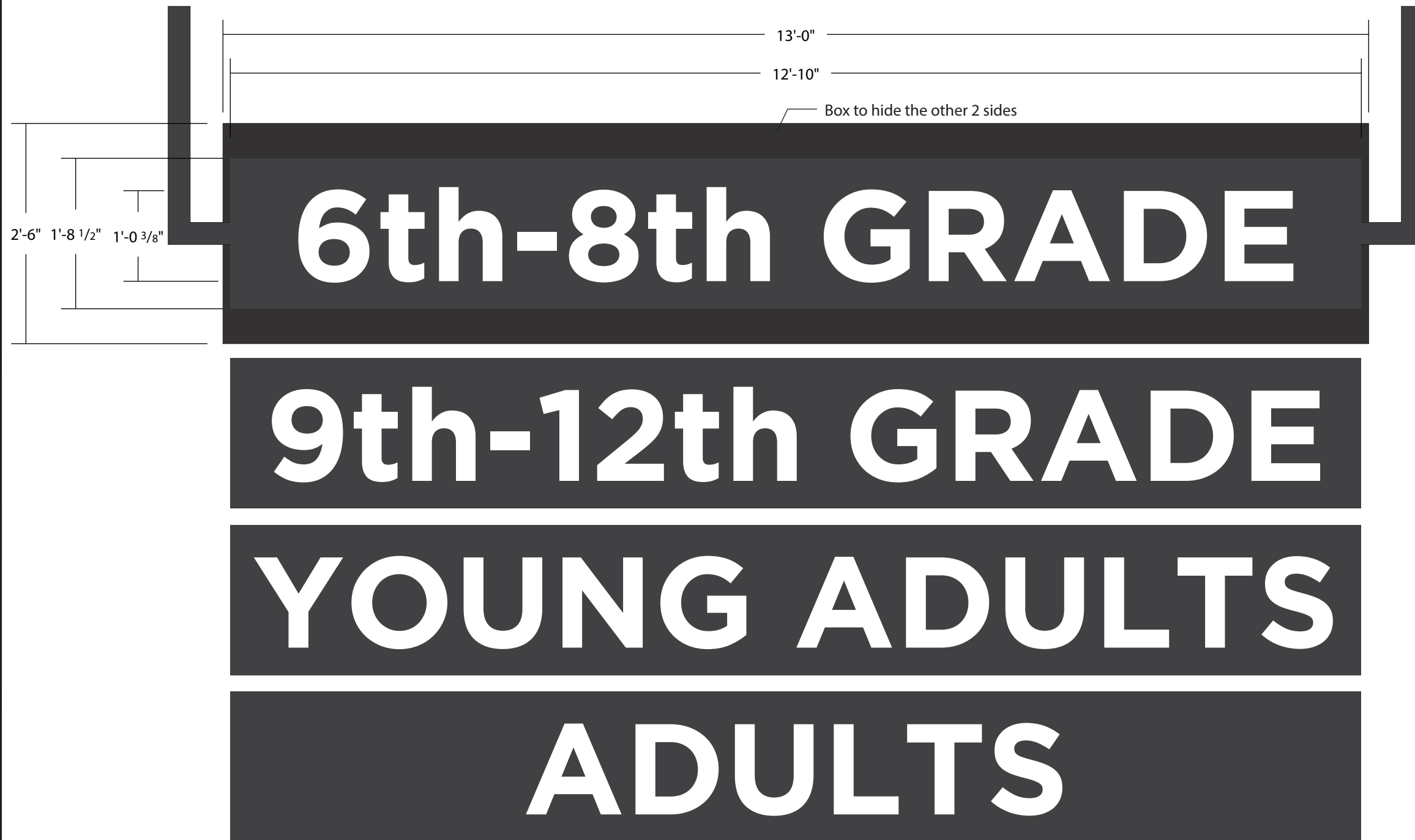
DATE:  
12/13/2018

SCALE:  
AS NOTED

REVISIONS:  
R7 09/18/2019 AL  
R8 12/04/2019 DF  
R9 12/12/2019 AL  
R10 12/20/2019 AL  
R11 12/30/2019 DF  
R12 01/22/2020 AL

SHEET:

**20** OF **22**



**L** ILLUMINATED ROTATING SIGN      Scale: 3/4" = 1'-0"

Manufacture and install one (1) rotating white LED illuminated aluminum sign with routed faces and backed with white plex.

**\*Note\*** Field Verify Fascia Area Prior to Fabrication of signs

**CUSTOMER APPROVAL**  
 BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

**PROJECT:** Rock Point Church  
**LOCATION:** 24759 S Power Rd Queen Creek AZ 85142

9200 Valley Rd,  
 Prescott Valley,  
 Arizona  
 86314  
 800-257-5095

**SIGNS PLUS**

**Account Executive:** Paul Savelle  
**Designer:** AL  
**Design Number:** 4380  
**DATE:** 12/13/2018  
**SCALE:** AS NOTED  
**REVISIONS:**  
 R7 09/18/2019 AL  
 R8 12/04/2019 DF  
 R9 12/12/2019 AL  
 R10 12/20/2019 AL  
 R11 12/30/2019 DF  
 R12 01/22/2020 AL

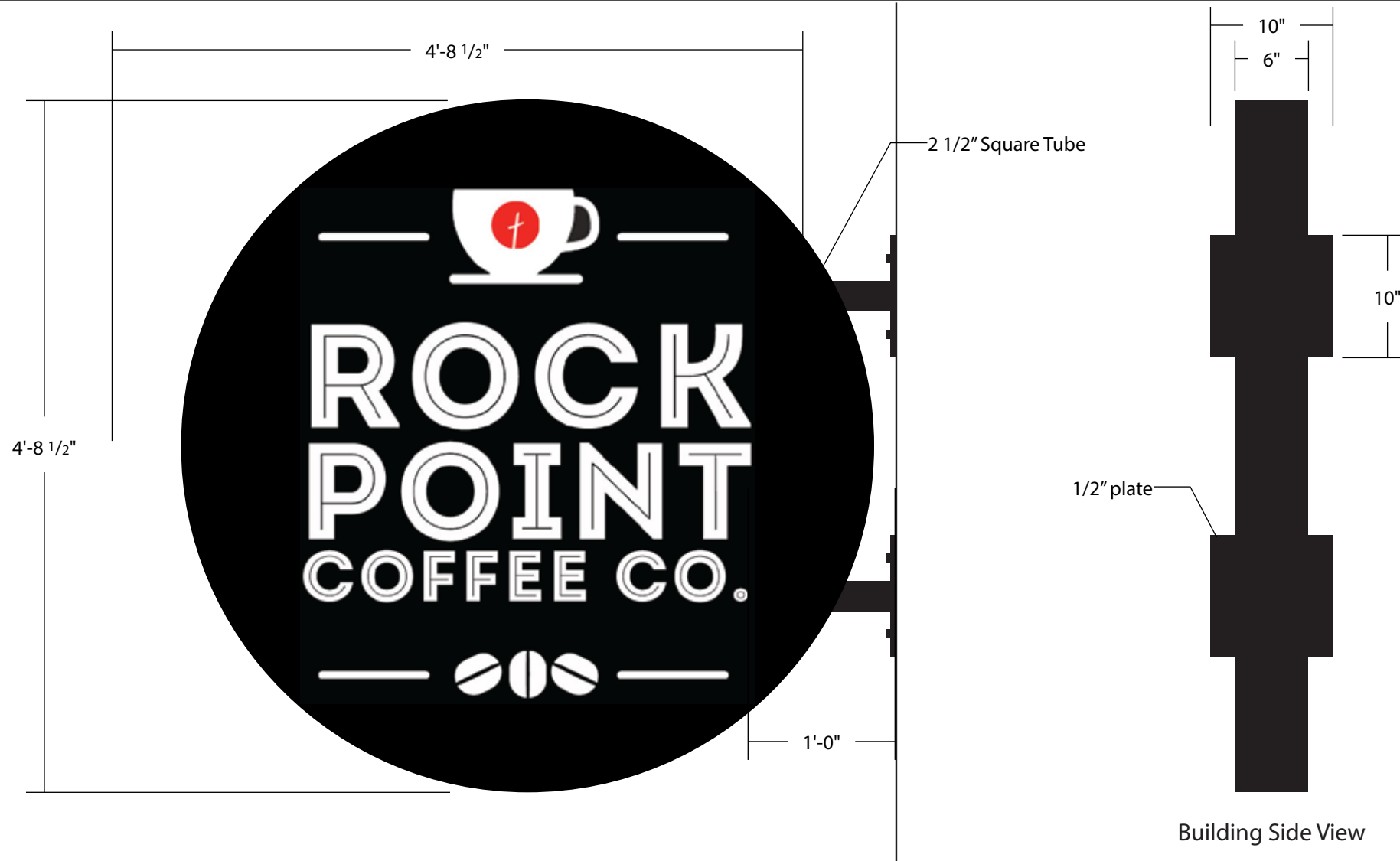
**SHEET:** 21 OF 22

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STREET SIDE



Side View



Building Side View

M

SINGLE SIDED ILLUM. BLADE SIGN

Scale: 1" = 1'-0"

Manufacture and install one (1) white LED illuminated blade sign with routed aluminum faces with 3/4" clear push thru overlaid with 3M black, white and red vinyl (colors TBD).



CUSTOMER APPROVAL

BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  W/O CHGS  W/ CHGS

<b>PROJECT:</b> Rock Point Church	
<b>LOCATION:</b> 24759 S Power Rd Queen Creek AZ 85142	
9200 Valley Rd, Prescott Valley, Arizona 86314 800-257-5095	<b>SIGNS PLUS</b>
<b>Account Executive:</b> Paul Savelle	
<b>Designer:</b> AL	
<b>Design Number:</b> 4380	
<b>DATE:</b> 12/13/2018	
<b>SCALE:</b> AS NOTED	
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R7 09/18/2019 AL	
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R9 12/12/2019 AL	
R10 12/20/2019 AL	
R11 12/30/2019 DF	
R12 01/22/2020 AL	
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