



**TO:** Planning and Zoning Commission

**THROUGH:** Brett Burningham, Development Services Director

**FROM:** Sarah Clark, Senior Planner/Project Manager

**RE:** Discussion and Possible Action on “QC Commons Site Plan (P19-0163) and Preliminary Plat (P19-0164)”, a request from Alan Beaudoin of Norris Design for Site Plan and Preliminary Plat approval for a 19.6 acre commercial center, anchored by a Fry’s Marketplace and Pharmacy, located at the northeast corner of Ellsworth and Riggs roads.

**DATE:** January 29, 2019

#### STAFF RECOMMENDATION

Staff recommends approval of “QC Commons Site Plan (P19-0163) and Preliminary Plat (P19-0164)”, subject to the Conditions of Approval included in this report.

#### PROPOSED MOTION

Move to approve “QC Commons Site Plan (P19-0163) and Preliminary Plat (P19-0164)”, subject to the Conditions of Approval included in this report.

#### SUMMARY

This proposal consists of a request for Site Plan and Preliminary Plat approval to facilitate the development of a commercial center, anchored by a 126,000 square foot Fry’s Marketplace and Pharmacy, on a 19.6 acre site. The property is located at the northeast corner of Ellsworth and Riggs roads.

#### HISTORY

August 15, 2002: The subject site was zoned to C-1/PD and R1-35/RUPD in Maricopa County

September 18, 2019: Town Council approved Ordinance 709-19 “NEC Ellsworth & Riggs Annexation”, annexing 36 acres, which included the subject site, into the Town and approved Ordinance 710-19 “NEC Ellsworth & Riggs Rezone”, which rezoned the subject site to C-2.

**PROJECT INFORMATION**

Project Name	QC Commons Site Plan (P19-0163) and Preliminary Plat (P19-0164)
Site Location	NEC of Ellsworth and Riggs roads
Current Zoning	C-2
General Plan Designation	18.6 acres (approximate) Commercial 1 acre (approximate) Neighborhood
Surrounding Zoning Designations:	
North	R1-35
South	Riggs Road Sonoqui Wash R1-35 (Orchard Ranch)
East	R1-35
West	Ellsworth Road C-2/PAD (Pecan Plaza and Tractor Supply)
Gross Acreage	19.6 acres
Building Area (Total)	163,520 sf
Landscape/Open Space Area	
Required	128,458 sf (15%)
Provided:	228,888 sf (26.7%)
Parking	
Required:	724 spaces
Provided:	726 spaces

**DISCUSSION**

This proposal consists of a request for approval of a Site Plan and Preliminary Plat for a commercial center, anchored by a 126,000 square foot Fry’s Marketplace and Pharmacy, on a 19.6-acre site. The property is located at the northeast corner of Ellsworth and Riggs roads.

The applicant is proposing a total of approximately 163,520 square feet of commercial uses which include a Fry’s Marketplace and Pharmacy, two (2) shops buildings, three (3) pad sites (Pad A, C, and E), and two (2) drive-thru restaurants (Pad B and D). No specific users, other than Fry’s, have been identified at this time.

Pads A and E are designated as future pads and will submit a Site Plan application once a tenant is determined. Pads B and D are both proposed as drive-thru restaurant uses and will require separate Site Plan review and administrative approval at a later date. Since users are not specified at this time, any future user will be required to submit a separate Site Plan application which will include a Traffic Impact Analysis to evaluate the traffic demand, required stacking, and necessary site improvements (if needed) to accommodate traffic.

The proposed Site Plan also contemplates a Fry’s Fuel Center along Ellsworth Road. The Fuel Center requires a Conditional Use Permit and separate Site Plan, which have been submitted by the applicant and will be presented before the Planning Commission and Council at a future date.

The proposed development is considered a Large Format Retail center which is defined as a single-user retail structure in excess of 50,000 square feet or any shopping center in excess of 25,000 square feet. As such, the development is required to comply with the Large Format Retail standards as outlined in Section 6.8 of the Zoning Ordinance. These standards include:

- Enhanced entry features
- Enhanced pedestrian connectivity
- The incorporation of plazas, gathering areas, and shaded walkways
- Enhanced buffering adjacent to residential uses

The proposed Site Plan, building elevations, and landscape plans are in conformance with the Zoning Ordinance Large Format Retail standards.

The development incorporates places for gathering throughout the site including within the plaza area in front of the Fry's store and in front of the shops buildings. These gathering areas have been designed to include seating areas, planters, and shade awnings.

Per the Large Format Retail requirements, the development provides 8-foot sidewalks along Ellsworth and Riggs Road and incorporates multiple pedestrian points of access from the arterial road into and throughout the site. A 10-foot multi-use trail is provided along Ellsworth Road, which connects to the Town's Master Trail system per the Town's Parks, Trails and Open Space Master Plan.

The primary entrance into the center incorporates scored concrete, a tree lined entry with red-push pistache trees, and a linear shrub and groundcover planting theme. Scored concrete and landscaping are also provided at the other entrances to the site.

The Zoning Ordinance requires commercial uses to provide 15% (128,066 sf) of open space, where this development provides a total of 26% (228,888 sf). The landscape palette for the development includes mulga acacia, cascalote, olive, red push pistache, live oak, and chinese elm trees. The development also includes an enhanced landscaped feature at the intersection of Ellsworth and Riggs roads which proposes a series of raised board-formed concrete planters and agave plant materials (an exhibit of the feature is included as an attachment to this report). The proposed landscape plan also incorporates a buffer of chinese elm trees at the rear of the site to buffer the commercial center from the future residential development to the north and to the east as required for Large Format Retail developments.

The Large Format Retail standards also require developments to incorporate public art into the development. Final design and location of the public art feature will be determined during the building permit review process. An exhibit of the public art concept is included as an attachment to this report.

Parking lot screen walls are provided along Ellsworth and Riggs roads to screen parking areas and drive-thru queuing lanes from the public right-of-way. A 6-foot screen wall is located along the east side of the development to screen the center from the future residential development the wraps the subject site. The walls incorporate split-face cmu block, stucco, and concrete elements which complement the building materials used in the center. Both the parking lot screen wall and perimeter wall meet the Zoning Ordinance requirements for wall design, which require a minimum of three distinct materials and columns or undulations in the wall at 150-foot intervals. Wall details are included as an attachment to this report.

Site access is provided at three (3) access points along Riggs Road and three (3) access points along Ellsworth Road. The middle entrance on Ellsworth Road is a four-leg traffic signal which will be shared with the future commercial development (Pecan Plaza) to the west of the subject site. All other access points on Ellsworth Road are identified as right-turn in and right-turn out only.

## ANALYSIS

**General Plan Review:** The current General Plan designation for this property is predominately Commercial (approximately 18.6 acres), with approximately one acre designated as Neighborhood. The request is in conformance with the property's General Plan Land Use designation.

**Zoning Review:** This property is zoned C-2 "General Commercial". All proposed uses including the Fry's Marketplace grocery and Pharmacy, drive-thrus, and the retail/restaurant shops buildings are permitted uses under the C-2 zoning designation.

**Adequate Public Facilities:** In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project.

**Engineering, Utilities and Transportation Review:** The project has been reviewed by the Engineering, Utilities and Transportation departments. Conditions of Approval have been added to address Traffic requirements for this project.

**Parking:** The Site Plan meets the parking requirements for the proposed uses, providing 726 parking spaces where 724 parking spaces are required. A shared parking agreement and cross access agreement will be applied to the development.

**Building Elevation Review:** The proposed building elevations are in compliance with the Town Zoning Ordinance and Design Standards. Building materials include a mixture of split face and ground face cmu block, hardie panel vertical siding, galvanized metal and standing seam metal awnings, stucco, steel vine trellises, pre-cast concrete and board formed concrete.

**In-Vehicle Service (Drive-Thru) Review:** The Zoning Ordinance requires 160-feet of vehicle stacking distance for drive-thru restaurants (80 feet of stacking distance between pick-up windows and order-placing speakers and 80 feet of stacking distance between order-placing speakers and the entry to the drive-through lane). The proposed Site Plan meets this minimum requirement.

All drive-thru uses are required to provide a Traffic Impact Analysis (TIA) which evaluates the travel demand of the specific tenant, including:

- Nature of product or service being provided;
- Method by which the order is being processed;
- Time required to serve a typical customer;
- Arrival rate of customers;
- Peak demand hour;
- Anticipated vehicular stacking required; and,

- Location of the storage of loading area with respect to parking spaces of circulation aisles.

Once a tenant is chosen for the drive-thru sites, the applicant will be required to submit a Site Plan application, which will include a TIA to evaluate the traffic demands of the specific user. This may warrant additional queuing area and other Site Plan modifications to accommodate the user.

**Preliminary Plat Review:** The entire commercial development is part of a larger 36-acre parcel. As part of this development proposal, the applicant is proposing to subdivide the 36 acre parcel into 5 parcels. One parcel separates the 16.63 acres of property zoned R1-35 from the 19.6 acre commercial development. The 19.6 acre commercial development is then proposed to be subdivided into four (4) lots.

**Signage:** Proposed signage will be reviewed and approved as part of a separate Comprehensive Sign Plan that will be presented before the Planning Commission at a future date.

### CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. The development shall meet all conditions of approval as provided in Ordinance 710-19.
3. The development will be responsible to complete the adjacent arterial roadway half street improvements per Town standards. These improvements include but are not limited to landscaping, sidewalks, driveways, and drainage facilities. Landscaping in the median will be coordinated through the construction document process.
4. The development shall connect the 8-inch water line stub provided off Riggs Road to create the two connections needed for the looped system.
5. Mechanical equipment, electrical meter and service components, and similar utility devices, whether ground level, wall mounted, or roof mounted, shall be screened and painted to match the main color of the building or to blend in with adjacent landscaping.
6. All roof mounted equipment shall be fully screened by the roof parapet.
7. The development shall provide a Public Art piece per Section 6.8 "Large Format Retail" of the Zoning Ordinance. Final design and placement of the public art piece shall be approved through the Town's Planning Division prior to building permit issuance.
8. A cross access easement and cross parking agreement shall be required for this development associated with the final subdivision plat.
9. A Comprehensive Sign Plan shall be submitted and approved prior to any issuance of a sign permit.
10. The construction documents shall incorporate all landscaping materials as depicted in the Fry's Marketplace building elevations.
11. Pads, A, B, D, and E are required to submit a Site Plan application for administrative review and approval.
12. All future drive-thru uses are required to submit a Site Plan application which includes an updated Traffic Impact Analysis that shall address the following for the specific tenant:
  - a. Nature of product or service being provided;

- b. Method by which the order is being processed;
  - c. Time required to serve a typical customer;
  - d. Arrival rate of customers;
  - e. Peak demand hour;
  - f. Anticipated vehicular stacking required; and,
  - g. Location of the storage of loading area with respect to parking spaces of circulation aisles.
13. The owners of the drive-through uses shall work with the Town's Transportation Engineer to ensure that traffic mitigation is sufficiently managed in the event that maximum queuing is exceeded, and/or if traffic issues arise due to the operation of the business.

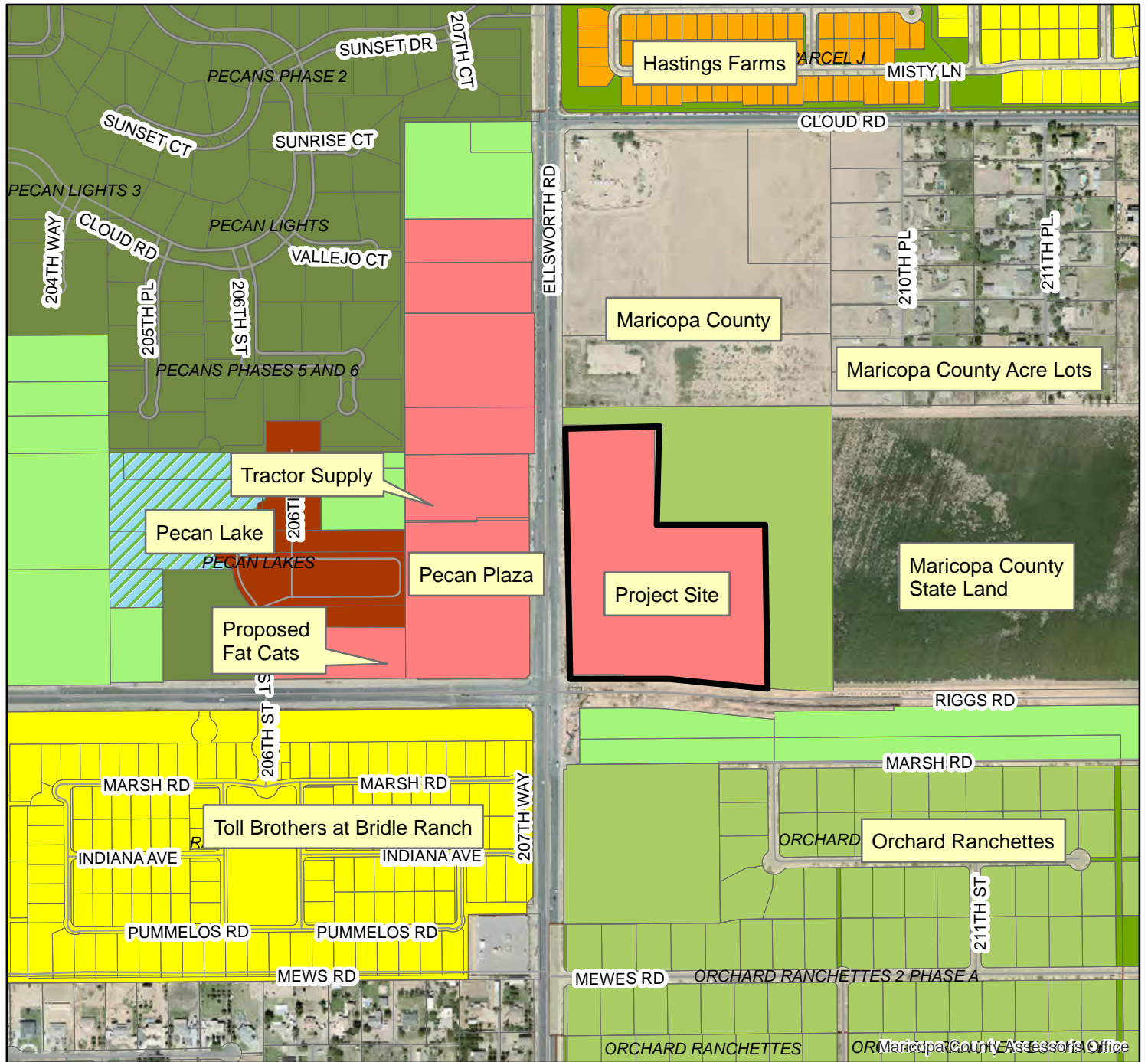
## ATTACHMENTS

- 1. Aerial Exhibit
- 2. Zoning Exhibit
- 3. Site Plan
- 4. Landscape Plan
- 5. Elevations
- 6. Corner Monument Exhibit
- 7. Wall Details
- 8. Conceptual Public Art Exhibit
- 9. Project Narrative

**Project Name: QC Commons Site Plan (P19-0163) and Pre-Plat (19-0164) Aerial Exhibit**  
**Hearing Date: January 29, 2019 (Planning Commission)**



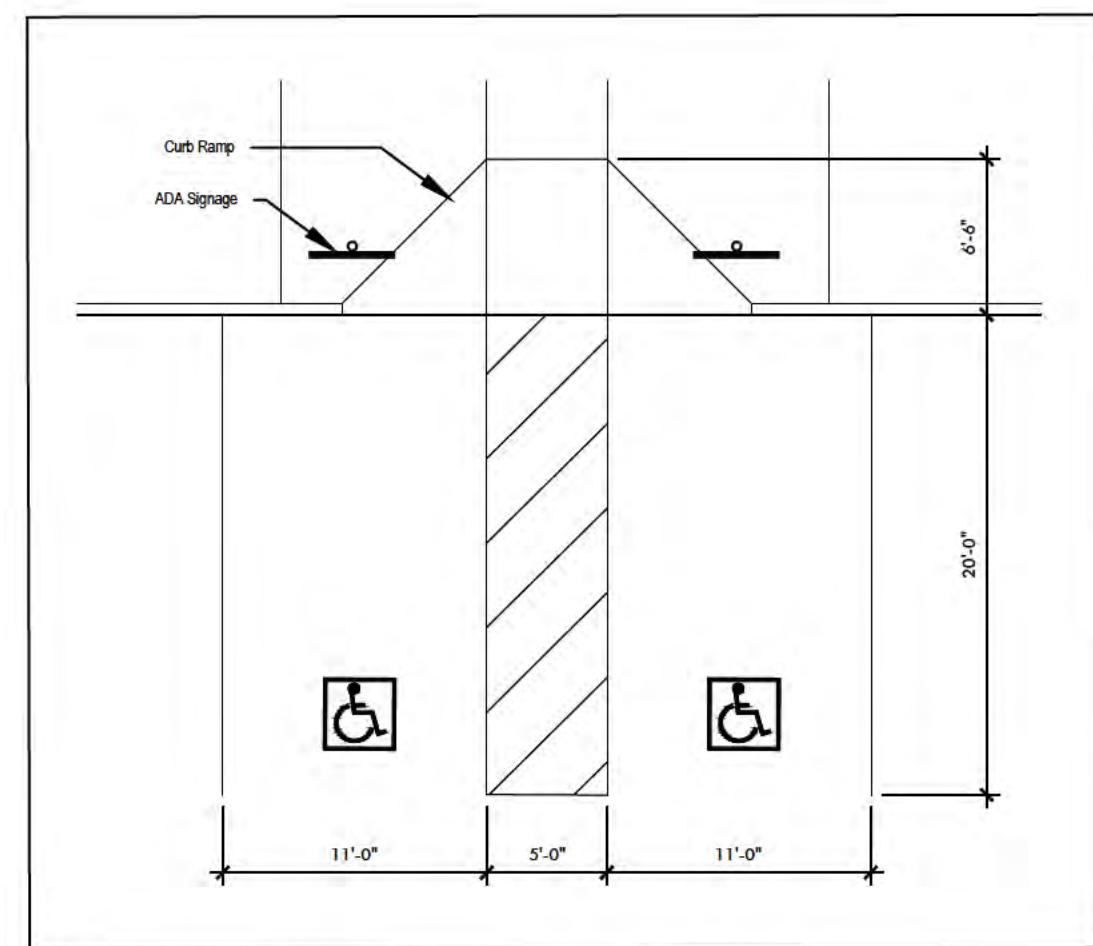
**Project Name: QC Commons Site Plan (P19-0163) and Pre-Plat (19-0164) General Plan Exhibit**  
**Hearing Date: January 29, 2019 (Planning Commission)**



**Zoning Districts**

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
TC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment



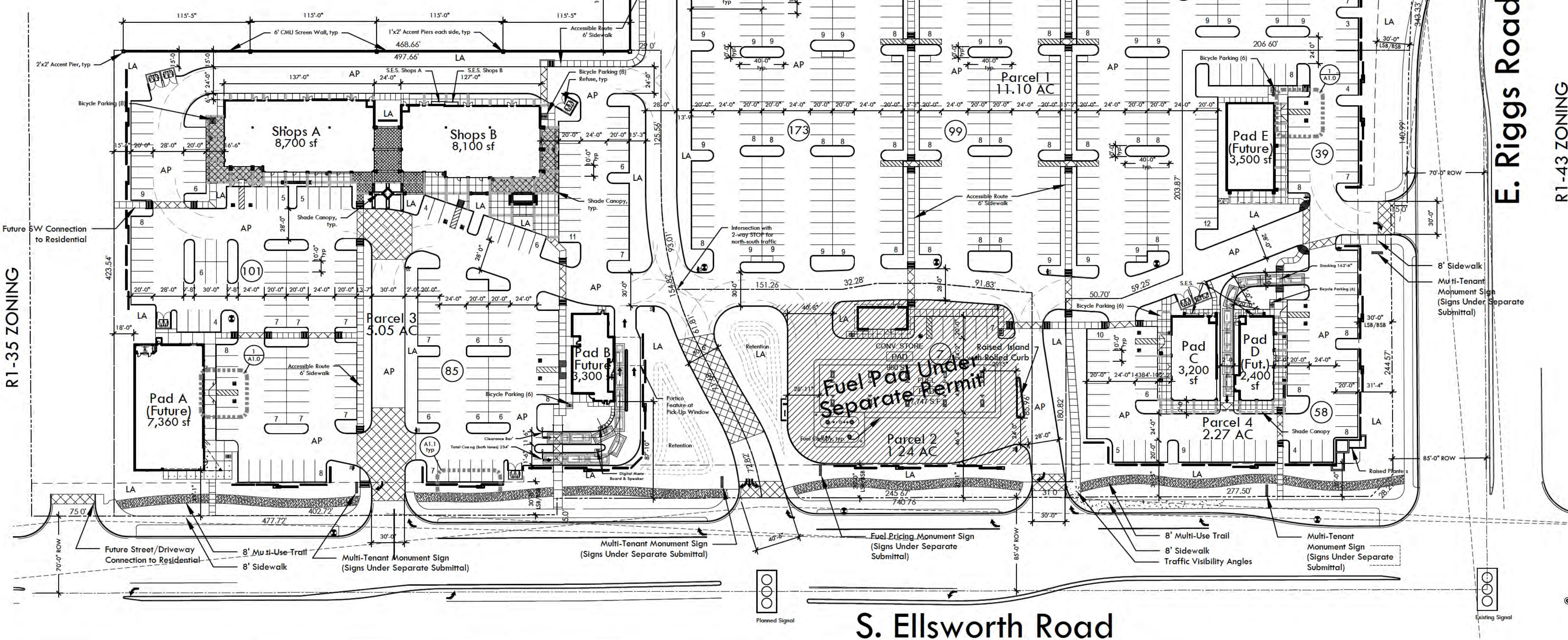


1 Accessible Parking Detail, Typ.  
1/8"=1'-0"

Future Residential

Parking Provided Per Parcel

Parcel 1	436 sp
Parcel 2	7 sp
Parcel 3	186 sp
Parcel 4	97 sp
<b>Total</b>	<b>726 sp</b>



C-2 ZONING

S. Ellsworth Road

E. Riggs Road

RI-43 ZONING

Future Residential

Major Tenant  
Fry's Marketplace  
126,000 sf

Fuel Pad Under  
Separate Permit

Parcel 2  
1.24 AC

Parcel 4  
2.27 AC

Parcel 3  
3.05 AC

Parcel 1  
11.10 AC

Legend

- Property Line
- Fire Turning Radii  
35' IR, 55' OR
- Fire Hydrant
- Refuse Enclosure
- Decorative Paving  
see landscape drawings
- Landscaped Area
- Asphalt Paving
- Stop Sign

General Notes:  
1. No Delivery, Loading, Trash Removal or Compaction, or Other Such Operations Shall Be Permitted Between the Hours of 10 P.M. and 6 A.M. Unless the Applicant Submits Evidence That Sound Barriers Between All Areas For Such Operations Effectively Reduce Noise Emissions to a Level of 45 dB, as Measured at the Lot Line of Any Adjoining Property.  
2. Drive Through uses shall incorporate architectural features such as porticos or overhangs to screen pick up windows from the public right-of-way.



Master Site Plan

PROJECT DESCRIPTION

A NEW SHOPPING CENTER ON +/-19.7 AC TO BE BUILT IN PHASES. PHASE I TO CONSIST OF MAJOR TENANT (FRY'S MARKETPLACE), FRY'S GAS SALES, SHOPS A & B AND PADS C & D.

PROJECT INFORMATION

**Project Name** Queen Creek Commons  
**Project Address** NEC Riggs Rd and Ellsworth Rd  
 Queen Creek, Arizona  
**Owner** RIGGS ELLSWORTH 40, LLC  
 20 S. Kyrene Road  
 Chandler, AZ 85226  
 Contact: Mike Nothum  
 Tel: 480-889-0010  
 Email: mike@landworksaz.com  
**Architect** SUITE 6 architecture + planning  
 6111 N. Cattletrack Road  
 Scottsdale, Arizona 85250  
 Tel: 480-348-7800  
 Email: dean@suite6.net

SITE DATA

<b>Zoning</b>	C-2	
<b>Retail Parcels (net)</b>		
Parcel 1	483,500 sf	11.10 ac
Parcel 2	53,883 sf	1.24 ac
Parcel 3	219,960 sf	5.05 ac
Parcel 4	98,930 sf	2.27 ac
<b>Total Retail Acreage</b>	<b>856,273 sf</b>	<b>19.66 ac</b>

Buildings	Area	Parking Req'd
Major Tenant	126,000 sf	1/300 420 sp
Shops A/B (Retail)	10,000 sf	1/300 34 sp
Shops A/B (Resnt)	6,800 sf	1/75 91 sp
Retail Pads (A,C)	10,560 sf	1/300 36 sp
DriveThru Pads (B,D)	5,700 sf	1/50* 85 sp
Restaurant Pads (E)	3,500 sf	1/75 47 sp
C Store	960 sf	1/166 6 sp
Outdoor Dining	2,000 sf	1/400 5 sp
<b>Totals</b>	<b>163,520 sf</b>	<b>724 sp</b>

\* 65% @ 1/50 + 35% @ 1/200

Gas Canopy	7,747 sf
<b>Total Coverage Area</b>	<b>171,267 sf</b>

<b>Lot Coverage-Retail</b>	<b>20.0%</b>
<b>FAR</b>	<b>0.19</b>

<b>Parking Provided</b>		
Standard Spaces		699 sp
ADA Spaces	Req. 2% of 726 = 15 sp	27 sp
<b>Total Parking Prov'd</b>		<b>726 sp</b>
<b>Bike Parking Req'd</b>		60 sp
<b>Total Bike Prov'd</b>		<b>60 sp</b>

<b>Landscape Area</b>	174,273 sf
<b>Open Space</b>	228,888 sf
<b>Impervious Surface Ratio</b>	0.80



Vicinity Map



Ownership:

**QC Commons**  
 Queen Creek, Arizona

- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

Ownership of Instruments of Service:

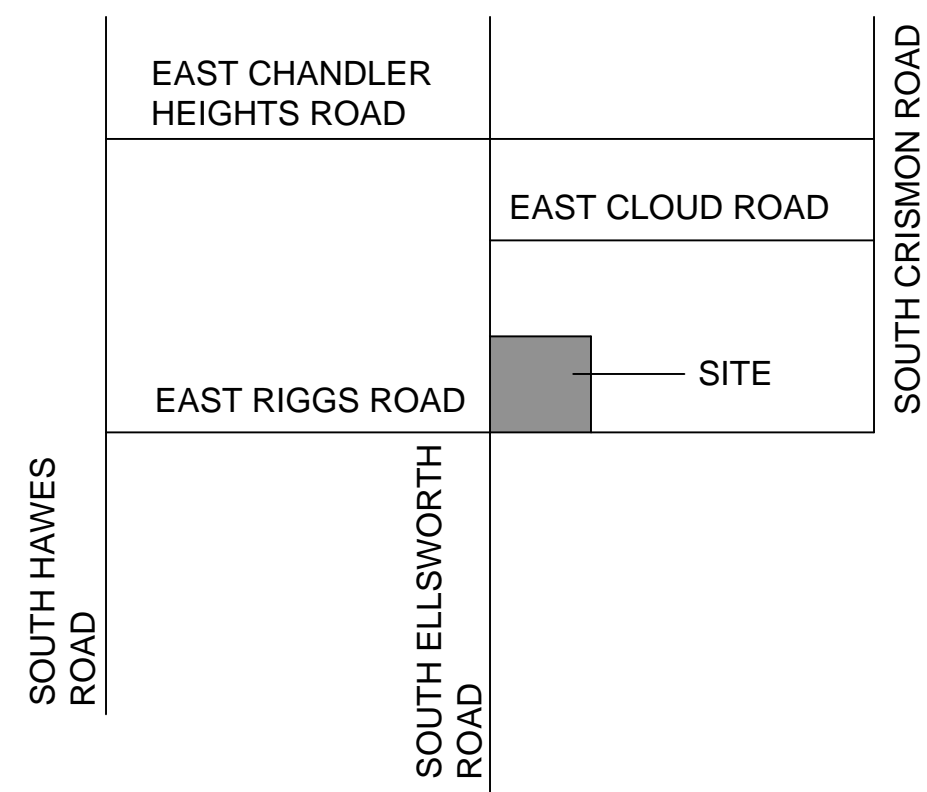
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Seal  
 Date: January 7, 2020  
 Project Number: 618  
 Drawn by: dm/rdb  
 Sheet Number

**A1.0**  
 Master Plan

VICINITY MAP



SHEET INDEX

SHEET #	DESCRIPTION	(11/7/19) ISSUED FOR: PRELIMINARY PLAT SUBMITTAL	(12/19/19) ISSUED FOR: PRELIMINARY PLAT RE-SUBMITTAL
LA-100	COVER SHEET	X	X
LA-101	PRELIMINARY LANDSCAPE PLAN	X	X
LA-102	PRELIMINARY LANDSCAPE PLAN	X	X
LA-103	AMENITY DETAILS	X	X
LA-104	AMENITY DETAILS	X	X
LA-105	LANDSCAPE ENLARGEMENT	X	X

# NEC of ELLSWORTH AND RIGGS

## RETAIL / COMMERCIAL SHOPPING CENTER

24829 S. ELLSWORTH RD  
QUEEN CREEK, AZ 85226

### PROJECT TEAM:

**OWNER:**  
RIGGS ELLSWORTH 40 LLC / JMN RIGGS 40 LLC  
MICHAEL NOTHUM  
20 S. KYRENE  
CHANDLER, AZ 85226

**ARCHITECT:**  
SUITE 6 ARCHITECTURE + PLANNING  
6111 N. CATTLETRACK RD.  
SCOTTSDALE, AZ 85250

**LANDSCAPE ARCHITECT:**  
NORRIS DESIGN  
901 EAST MADISON STREET  
PHOENIX, AZ 85034

**CIVIL ENGINEER:**  
SEG  
8280 E. GELDING DR.  
SUITE 101  
SCOTTSDALE, AZ 85260

LANDSCAPE DATA TABLE			
STREETSCAPE:	ELLSWORTH AND RIGGS COMBINED		
TOTAL LINEAR FOOTAGE:	2,010		
TREES REQUIRED (1 TREE PER 30 LF):	67	TREES PROVIDED:	67
SHRUBS REQUIRED (6 SHRUBS PER TREE):	402	SHRUBS PROVIDED:	527
TOTAL STREETSCAPE LANDSCAPE AREA PROVIDED (SQFT):	46,660		
COVERAGE REQUIRED (30%):	14,000	COVERAGE PROVIDED (32%):	14,994
OPEN SPACE REQUIRED	15%		
OPEN SPACE PROVIDED	26.73%		
ON-SITE LANDSCAPABLE OPEN SPACE	174,273 SF		
TREES REQUIRED (1 TREE PER 1000 SF):	175	TREES PROVIDED:	291
SHRUBS REQUIRED (10 SHRUBS PER 1000 SF):	1,743	SHRUBS PROVIDED:	1,833

LANDSCAPE GENERAL NOTES

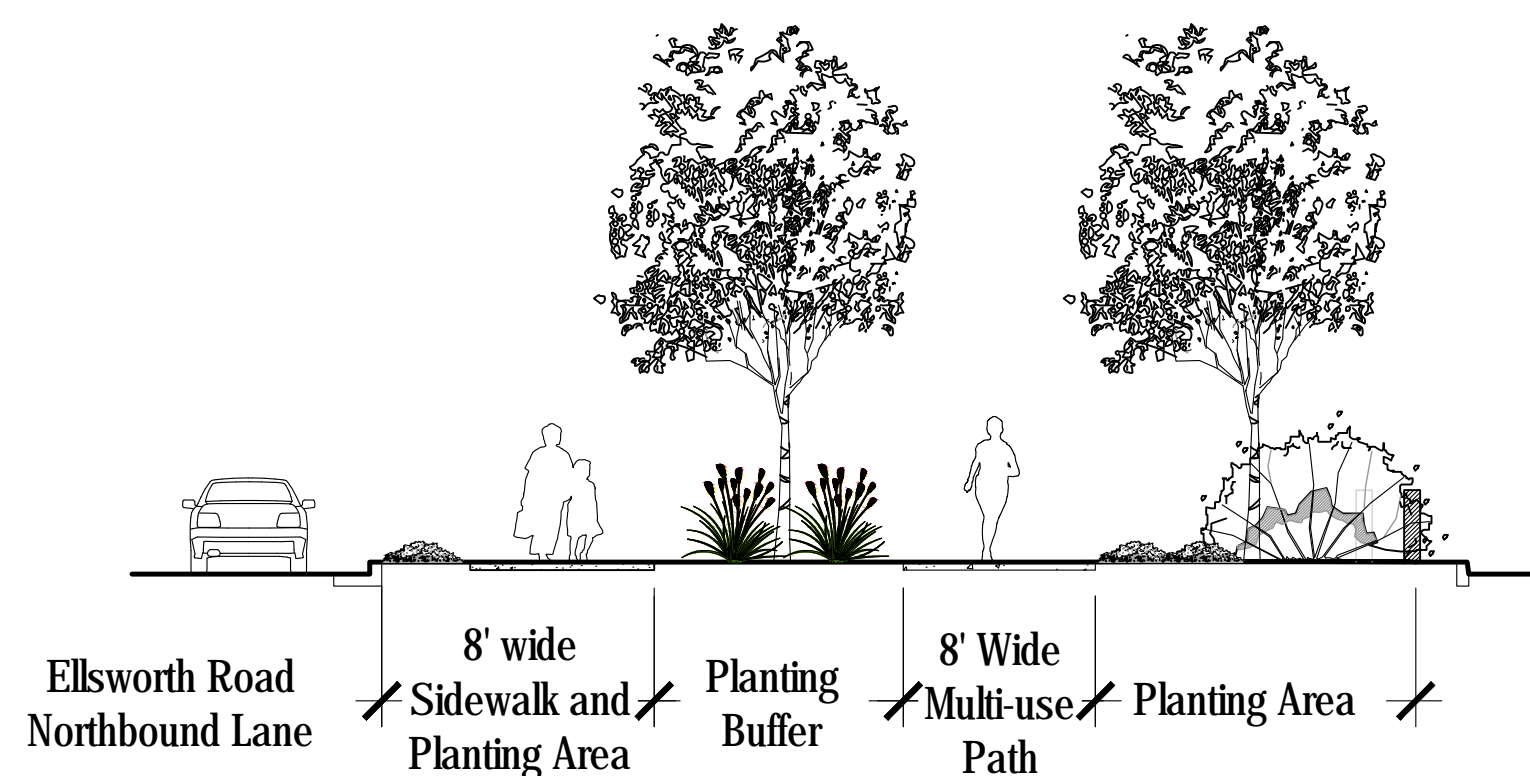
- THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK PER THE PLANS.
- THE CONTRACTOR SHALL FOLLOW THE IMPROVEMENT PLANS AS CLOSELY AS POSSIBLE. ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SIGHT VISIBILITY TRIANGLE SHALL BE CLEAR OF LANDSCAPING AND OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 2 FEET. TREES WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 7 FEET IN HEIGHT UPON INSTALLATION.
- PLANTING SEASON: WITHIN THE OVERALL PROJECT PHASING AND COMPLETION REQUIREMENTS, THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS OR OTHER ACTS OF GOD SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLANT SIZE, LOCATION AND SPACING:
  - TREES AND SHRUBS ARE TO BE LOCATED SO THAT, AT MATURITY, THEY DO NOT INTERFERE WITH EXISTING ONSITE OR OFF-SITE UTILITY SERVICE LINES OR UTILITY EASEMENTS TO AN ADJACENT PROPERTY.
  - ALL SHRUBS AND GROUNDCOVERS TO BE A MINIMUM OF 2' FROM BACK OF SIDEWALK.
- PLANT PLACEMENT TO BE FIELD ADJUSTED AS NEEDED TO AVOID EXISTING/PROPOSED UTILITIES, AND OTHER FIELD CONDITIONS. CONTACT THE OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS.
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE WHILE WORKING WITHIN THE PROJECT AREA AS TO NOT DISTURB ANY EXISTING UTILITIES OR STRUCTURES ON OR ADJACENT TO THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND OR REPAIRING ANY EXISTING STRUCTURES OR UTILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE REVEGETATED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE CITY REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- NOTIFY THE OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF ANY INSPECTIONS AND / OR APPROVALS OF LANDSCAPE MATERIAL AND IRRIGATION PRODUCTS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL WARRANT THE PLANT MATERIAL, IRRIGATION SYSTEM, AND WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR.
- ALL TREES ARE TO BE STAKED AND GUYED PER LANDSCAPE DETAILS FOR A PERIOD OF ONE YEAR. CONTRACTOR SHALL REMOVE ALL STAKING AND GUYING, PRIOR TO THE FINAL, ONE YEAR WALK THROUGH. LOCATION OF ALL ELEMENTS ON THIS PLAN SHALL BE APPROVED BY OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- THE MAINTENANCE OF ALL REQUIRED LANDSCAPING ON PROPERTY OR IN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

TOWN OF QUEEN CREEK GENERAL NOTES

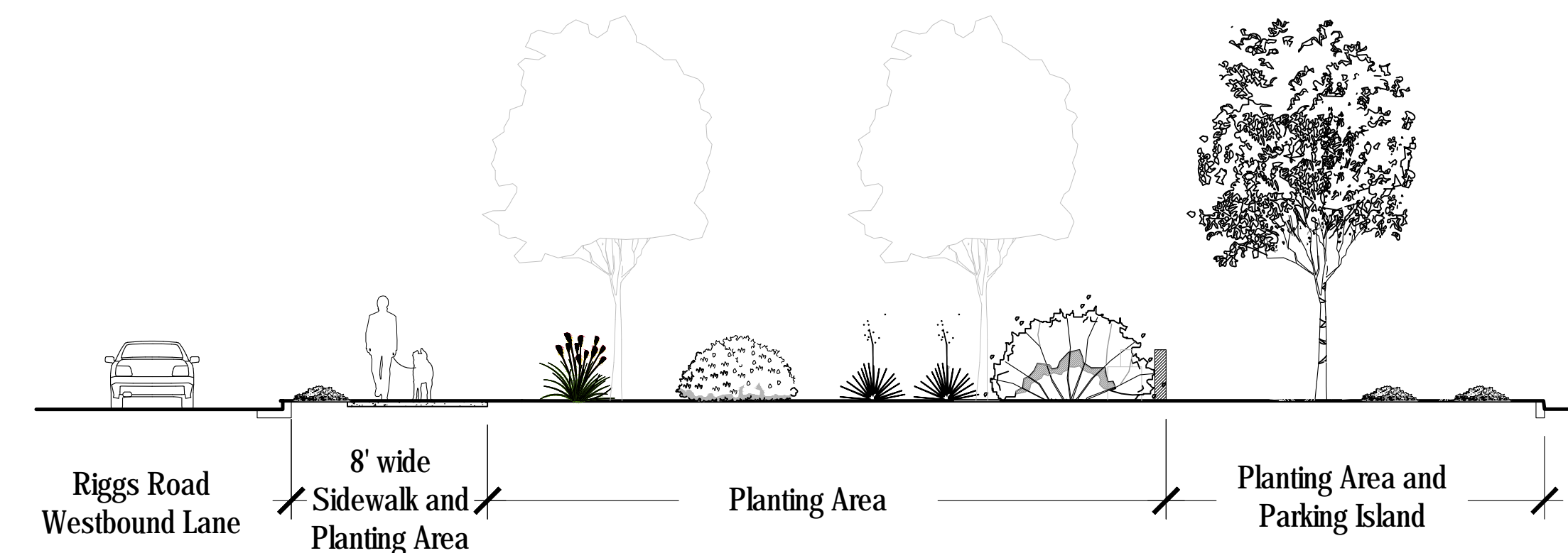
- ALL IMPROVEMENTS SHALL CONFORM TO THE LATEST MAG STANDARDS AND SPECIFICATIONS OR THE LATEST STANDARDS AND SPECIFICATION ADOPTED BY THE TOWN.
- THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION ON THE PROJECT SITE.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED WITH THE INSPECTION AND APPROVAL OF THE TOWN PUBLIC WORKS DEPARTMENT AND WILL REQUIRE A TOWN CONSTRUCTION PERMIT. CONSTRUCTION WILL NOT BEGIN UNTIL A PERMIT HAS BEEN ISSUED. IF THE WORK IS DISCONTINUED, IT SHALL NOT RESUME UNTIL AFTER NOTIFYING THE TOWN PUBLIC WORKS DIRECTOR.
- UTILITIES MUST BE INSTALLED EITHER IN DEDICATED PUBLIC RIGHT-OF-WAYS OR IN PUBLIC UTILITY EASEMENTS DEDICATED BY THE LAND OWNER FOR SUCH USAGE AND MAINTENANCE. THE DEVELOPER/OWNER IS RESPONSIBLE FOR THE COORDINATION OF THE RELOCATION OF UTILITIES ON SITE.
- ALL UNDERGROUND UTILITY INSTALLATION IN STREETS OR PUBLIC ACCESS WAYS SHALL BE CONSTRUCTED PRIOR TO SURFACING SUCH STREET OR PUBLIC ACCESS WAY.
- THE DEVELOPER SHALL PROVIDE FOR AN ARIZONA REGISTERED ENGINEER TO BE PRESENT ON THE SITE FOR SUFFICIENT TIME TO ASSESS COMPLIANCE WITH THE PLANS AND SPECIFICATIONS FOR EACH ELEMENT OF CONSTRUCTION AND NO LESS THAN ONCE A DAY WHEN CONSTRUCTION IS IN PROGRESS.
- THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED UPON COMPLETION OF ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAYS AND PRIOR TO ANY STREET PREPARATION WORK. INTERIM AS-BUILT PLANS OF THE UTILITIES AND ALL PASSING TEST RESULTS WILL BE SUBMITTED FOR REVIEW. UPON REVIEW AND APPROVAL OF THE SUPPLIED INFORMATION, THE DEVELOPER MAY PROCEED WITH THE INSTALLATION OF STREET IMPROVEMENTS.
- THE DEVELOPER'S ENGINEER SHALL REQUEST THE TOWN PUBLIC WORKS DIRECTOR PERFORM INSPECTION OF THE SUB GRADE BASE PRIOR TO PLACEMENT OF THE OVERLAYING MATERIALS. IN ADDITION, THE TOWN PUBLIC WORKS DIRECTOR SHALL PERFORM PERIODIC INSPECTIONS THROUGHOUT THE COURSE OF CONSTRUCTION. THESE INSPECTIONS OR APPROVALS DO NOT SIGNIFY THAT THE TOWN HAS ACCEPTED ANY OF THE IMPROVEMENTS FOR MAINTENANCE.
- THE DEVELOPER'S ENGINEER SHALL SUBMIT WEEKLY PROGRESS REPORTS TO THE TOWN PUBLIC WORKS DIRECTOR THROUGHOUT THE CONSTRUCTION. THE WEEKLY PROGRESS REPORTS WILL INCLUDE THE RESULTS OF ALL TESTS TAKEN DURING THE WEEK.
- CONSTRUCTION MATERIALS TESTING SHALL BE PERFORMED AT THE DIRECTION OF THE TOWN PUBLIC WORKS DIRECTOR OR HIS REPRESENTATIVE AND AT THE EXPENSE OF THE OWNER/DEVELOPER.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING INDIVIDUAL UTILITY COMPANIES FOR UTILITY LOCATION, OR FOR CALLING BLUE STAKE TO COORDINATE UTILITY LOCATION, AT LEAST 48 HOURS PRIOR TO EXCAVATION OF ALL UNDERGROUND UTILITIES.
- THE ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL APPLICABLE UTILITY COMPANIES AND HAS SHOWN ALL EXISTING AND/OR PROPOSED UTILITY LINES AND PERTINENT INFORMATION TO THESE PLANS, AND HAS PLOTTED CORRECTLY THE EXISTING AND PROPOSED UTILITY RIGHT-OF-WAY AND/OR EASEMENT LINES ON THE PLANS.

SUMMARY OF THE PROPOSED IRRIGATION SYSTEM

- THE LANDSCAPE WITHIN THIS SCOPE OF WORK WILL RECEIVE AN AUTOMATIC DRIP AND TURF SPRAY IRRIGATION SYSTEM. THE SYSTEM WILL INCORPORATE A SMART CONTROLLER DESIGNED TO PROVIDE THE FEATURES THAT ARE ESSENTIAL FOR INTELLIGENT WATERING. THE SYSTEM WILL INCLUDE TWO-WIRE TECHNOLOGY WHICH WILL ALLOW FOR EASE OF EXPANSION TO THE IRRIGATION SYSTEM. THE SYSTEM WILL COME STANDARD WITH FLOW MONITORING AND MANAGEMENT OPTIONS, SUPPORT FOR SOIL MOISTURE SENSORS, MOBILE ACCESS, AND CENTRAL CONTROL CONNECTIVITY.
- WHEN OPERATED WITH AN ACTIVE WATER MANAGEMENT SUBSCRIPTION, THE IRRIGATION CONTROLLER MEETS THE EPA WATERSENSE PROGRAM'S WATER EFFICIENCY AND PERFORMANCE CRITERIA. THE CONTROLLER COMBINES SOIL MOISTURE SENSOR-BASED INTELLIGENT WATERING TECHNOLOGY WITH THE INDUSTRY'S BEST PRACTICES FOR WEATHER-BASED IRRIGATION INTO A SINGLE USER INTERFACE.
- THE IRRIGATION CONTROLLER IS EQUIPPED WITH AN INTERFACE THAT IS ACCESSIBLE FROM ANY INTERNET-READY DEVICE VIA THE BUILT-IN ETHERNET PORT. THE INTERFACE WILL MANAGE THE CONTROLLER ANYTIME-ANYWHERE JUST AS IF YOU WERE STANDING IN FRONT OF IT.
- THE SYSTEM IS ALSO COMPATIBLE WITH OTHER COMMUNICATION OPTIONS LIKE WI-FI, CELL MODEM, AND MESH RADIO, SO CONNECTING TO THE WATER MANAGING SYSTEM IS EASY AND AFFORDABLE.



1 SECTION A (ELLSWORTH ROAD) SCALE: 1/8" = 1'-0"



2 SECTION B (RIGGS ROAD) SCALE: 1/8" = 1'-0"

CHECKED BY: DP  
DRAWN BY: AO

**OWNER:**  
Riggs Ellsworth 40 LLC  
JMN Riggs 40 LLC  
20 South Kyrene Rd  
Chandler, AZ 85226  
480.889.0010



**DATE:**  
6/13/19 PROGRESS SET  
8/28/19 1st TOQC Submittal  
11/7/19 2nd TOQC Submittal  
12/19/19 3rd TOQC Submittal  
1/7/20 4th TOQC Submittal

SHEET TITLE:  
COVER SHEET

LA-100

**OWNER:**

Riggs Ellsworth 40 LLC  
 JMN Riggs 40 LLC  
 20 South Kyrene Rd  
 Chandler, AZ 85226  
 480.889.0010

**DATE:**

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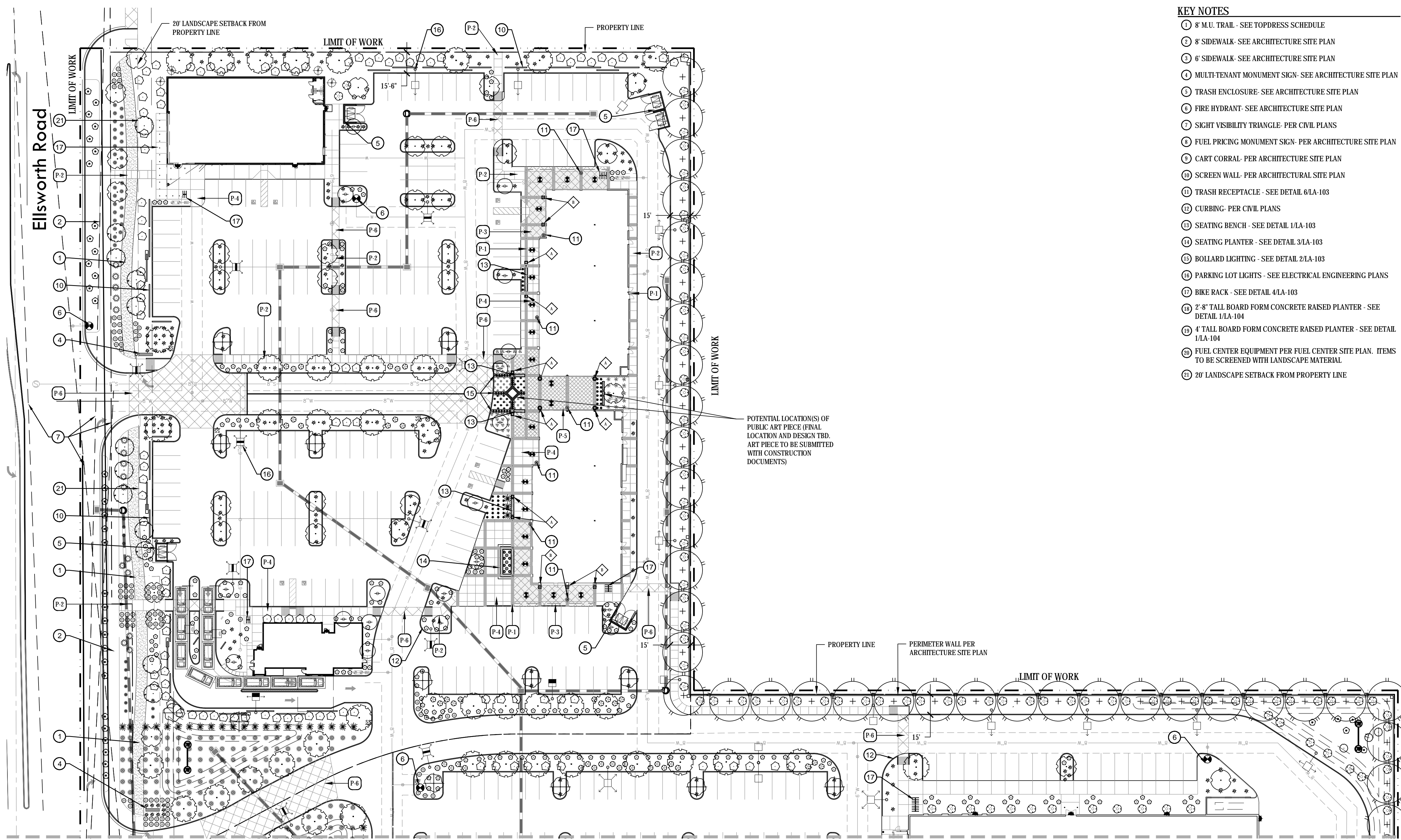
**SHEET TITLE:**  
 PRELIMINARY  
 LANDSCAPE PLAN

**LA-101**

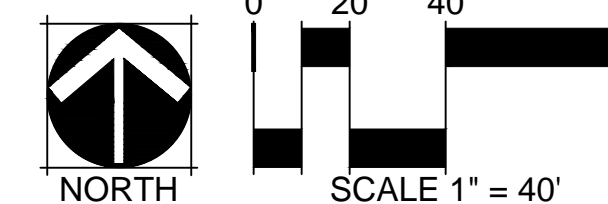
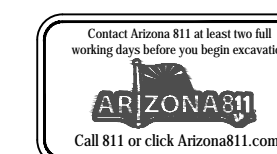
**KEY NOTES**

- ① 8' M.U. TRAIL - SEE TOPDRESS SCHEDULE
- ② 8' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- ③ 6' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- ④ MULTI-TENANT MONUMENT SIGN - SEE ARCHITECTURE SITE PLAN
- ⑤ TRASH ENCLOSURE - SEE ARCHITECTURE SITE PLAN
- ⑥ FIRE HYDRANT - SEE ARCHITECTURE SITE PLAN
- ⑦ SIGHT VISIBILITY TRIANGLE - PER CIVIL PLANS
- ⑧ FUEL PRICING MONUMENT SIGN - PER ARCHITECTURE SITE PLAN
- ⑨ CART CORRAL - PER ARCHITECTURE SITE PLAN
- ⑩ SCREEN WALL - PER ARCHITECTURAL SITE PLAN
- ⑪ TRASH RECEPTACLE - SEE DETAIL 6/LA-103
- ⑫ CURBING - PER CIVIL PLANS
- ⑬ SEATING BENCH - SEE DETAIL 1/LA-103
- ⑭ SEATING PLANTER - SEE DETAIL 3/LA-103
- ⑮ BOLLARD LIGHTING - SEE DETAIL 2/LA-103
- ⑯ PARKING LOT LIGHTS - SEE ELECTRICAL ENGINEERING PLANS
- ⑰ BIKE RACK - SEE DETAIL 4/LA-103
- ⑱ 2'-8" TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- ⑲ 4' TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- ⑳ FUEL CENTER EQUIPMENT PER FUEL CENTER SITE PLAN. ITEMS TO BE SCREENED WITH LANDSCAPE MATERIAL.
- ㉑ 20' LANDSCAPE SETBACK FROM PROPERTY LINE

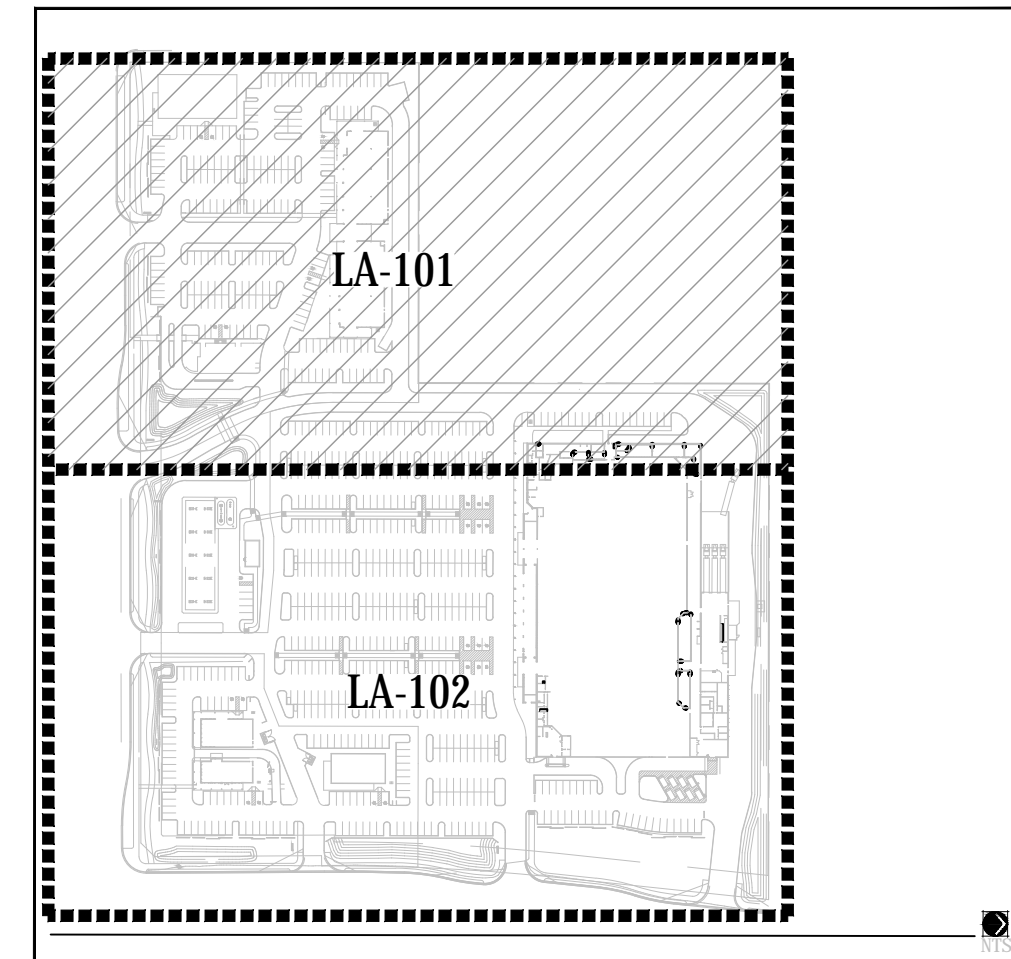
PLANT SCHEDULE SITE			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	ACACIA ANEURA MULGA	24" BOX	39
⊕	CAESALPINA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE	24" BOX	31
⊕	OLEA EUROPAEA 'WILSONI' WILSON OLIVE	24" BOX	113
⊕	PISTACHIA X RED PUSH PISTACHE	24" BOX	76
⊕	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	45
⊕	ULMUS PARVIFOLIA CHINESE ELM	24" BOX	56
SHRUBS			
	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	ACACIA REDOLENS 'DESERT CARPET' DESERT CARPET	5 GAL	24
⊕	ASCLEPIAS SUBULATA RUSH MILKWEED	5 GAL	26
⊕	CAESALPINA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	11
⊕	DASYLIRION QUADRANGULATUM MEXICAN GRASS TREE	5 GAL	46
⊕	DOBONAEA VISCOSA HOPSEED BUSH	5 GAL	225
⊕	ECHINOCACTUS GRISONII GOLDEN BARREL CACTUS	5 GAL	23
⊕	EREMOPHILA HYGROPHANA 'BLUE BELLS' BLUE BELLS	5 GAL	563
⊕	EUPHORBIA ANTISYPHILITICA CANDELLA EUPHORBIA	5 GAL	9
⊕	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	590
⊕	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	5 GAL	186
⊕	LEUCOPHYLLUM FRUTESCENS 'HEAVENLY CLOUD' HEAVENLY CLOUD SAGE	5 GAL	43
⊕	PEDILANTHUS MACROCARPUS SLIPPER PLANT	5 GAL	23
⊕	PORTULACARIA AFRA 'MINIMA' DWARF ELEPHANT BUSH	5 GAL	21
⊕	TECOMA X YELLOW BELLS YELLOW BELLS	5 GAL	4
GRASSES			
	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM MUHLY	5 GAL	57
⊕	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE MUHLY GRASS	5 GAL	71
⊕	MUHLENBERGIA DUBIA PINE MUHLY	5 GAL	181
⊕	MUHLENBERGIA LINDHEIMERI 'AUTUMN GLOW' TM LINDHEIMER S MUHLY	5 GAL	153
GROUNDCOVER			
	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	EREMOPHILA MACULATA 'OUTBACK SUNRISE EMO' OUTBACK SUNRISE EMO	5 GAL	87
⊕	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5 GAL	491
SUCCULENTS			
	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	AGAVE AMERICANA CENTURY PLANT	15 GAL	2
⊕	AGAVE CEMBUIFLORA CENTURY PLANT	15 GAL	4
⊕	AGAVE VICTORIAE-REGINAE QUEEN VICTORIA AGAVE	15 GAL	23
⊕	AGAVE X BLUE GLOW BLUE GLOW AGAVE	15 GAL	58
⊕	ALOE X 'BLUE ELF' BLUE ELF ALOE	15 GAL	69
⊕	NOLINA MICROCARPA BEAR GRASS	5 GAL	69
VINE/SPALIER			
	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	SOLANUM JASMINOIDES POTATO VINE	5 GAL	6



MATCHLINE - SEE SHEET LA-102



**KEY MAP**



**PAVING SCHEDULE**

- P-1** TYPE 1 - CONCRETE BANDING  
 FINISH: MEDIUM BROOM  
 COLOR: DAVIS DARK GRAY 8084  
 TYPE: PEDESTRIAN RATED  
 SEE DETAIL 5/LA-103
  - P-2** TYPE 2 - CONCRETE SIDEWALKS  
 FINISH: MEDIUM BROOM  
 COLOR: STANDARD GRAY  
 TYPE: PEDESTRIAN RATED  
 SCORE PATTERN: SPACING TO MATCH WIDTH OF SIDEWALK  
 SEE DETAIL 5/LA-103
  - P-3** TYPE 3 - CONCRETE FIELD  
 FINISH: MEDIUM BROOM  
 COLOR: STANDARD GRAY  
 TYPE: PEDESTRIAN RATED  
 SCORE PATTERN: 4' X 4' SPACING AT 45 DEGREES FROM BUILDING  
 SEE DETAIL 5/LA-103
  - P-4** TYPE 4 - CONCRETE FIELD  
 FINISH: MEDIUM BROOM  
 COLOR: STANDARD GRAY  
 TYPE: PEDESTRIAN RATED  
 SCORE PATTERN: AS SHOWN PER PLAN  
 SEE DETAIL 5/LA-103
  - P-5** TYPE 3 - CONCRETE FIELD  
 FINISH: MEDIUM EXPOSED AGGREGATE  
 COLOR: STANDARD GRAY  
 TYPE: PEDESTRIAN RATED  
 SCORE PATTERN: 2' X 2' SPACING AT 45 DEGREES FROM BUILDING  
 SEE DETAIL 5/LA-103
  - P-6** TYPE 3 - CONCRETE FIELD  
 FINISH: MEDIUM BROOM  
 COLOR: STANDARD GRAY  
 TYPE: VEHICULAR RATED  
 SCORE PATTERN: 6' X 6' SPACING AT 45 DEGREES FROM ADJACENT CURB  
 SEE DETAIL 7/LA-103
- NOTES:**
- CONTRACTOR TO PROVIDE SAMPLES OF ALL PAVERS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  - CONTRACTOR TO PROVIDE 5x5' MOCKUP OF ALL PAVING MATERIALS AND FINISHES FOR REVIEW AND APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

**TOPDRESS SCHEDULE**

MATERIAL	
	DECOMPOSED GRANITE: 1/2" SCREENED COLOR: APACHE BROWN
	MULTI-USE TRAIL DECOMPOSED GRANITE: 1/4" MINUS STABILIZED COLOR: APACHE BROWN

- NOTES:**
- CONTRACTOR IS TO FIELD VERIFY FINAL QUANTITY OF DECOMPOSED GRANITE TOPDRESS (SQUARE FOOTAGE AND TONNAGE).
  - DECOMPOSED GRANITE TOPDRESS TO BE PLACED IN THE BOTTOMS AND SIDE SLOPES OF ALL BASINS.
  - ALL DECOMPOSED GRANITE TOPDRESS IN TO MAINTAIN A UNIFORM 2" MINIMUM DEPTH.

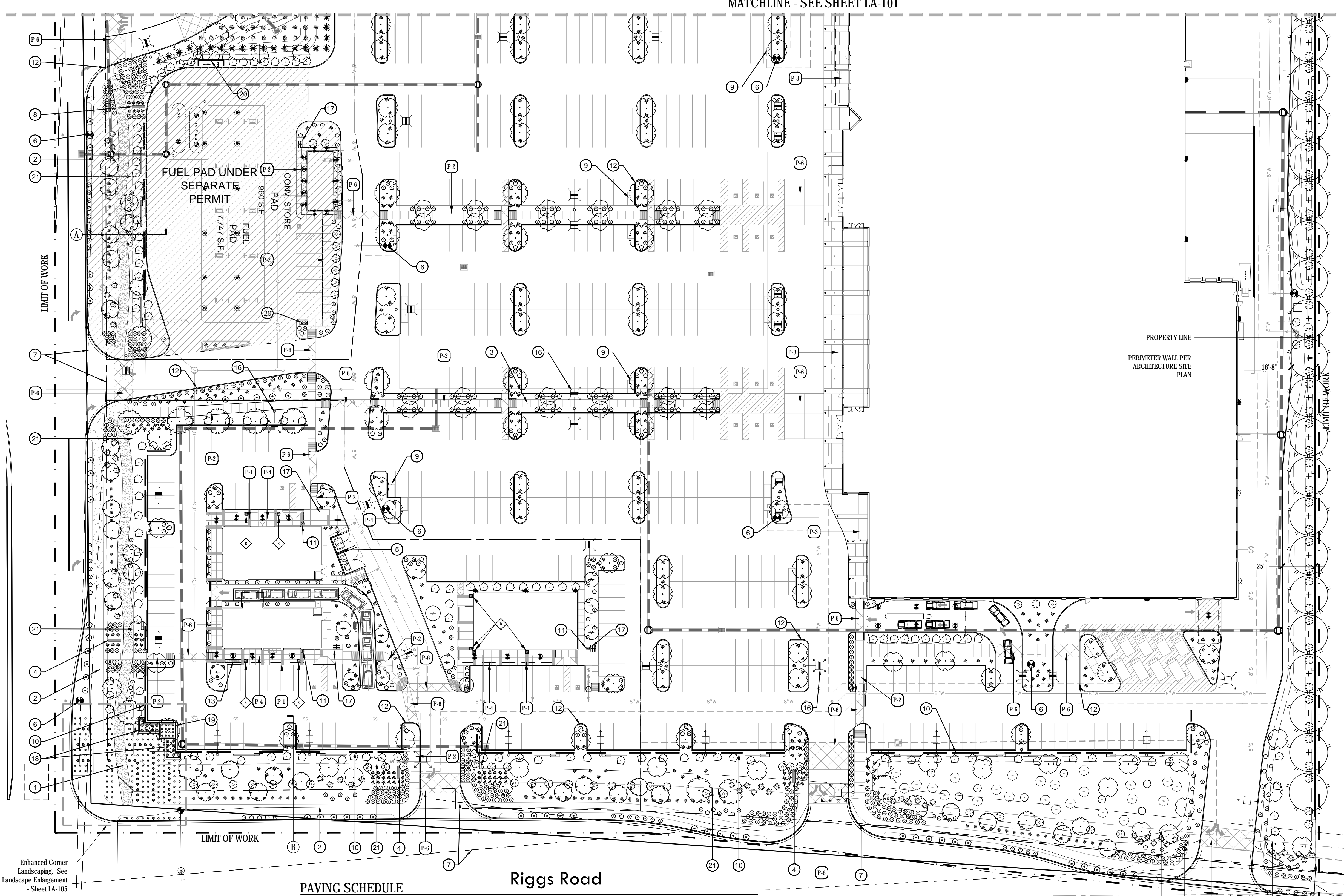
**LANDSCAPE CONTAINER SCHEDULE**

- A** MODEL: SQUARE SERIES SS21  
 MANUFACTURED BY: KORNEGAY OR EQUAL  
 COLOR: DAVIS PEWTER  
 QUANTITY: 12
- B** MODEL: SQUARE SERIES SS27  
 MANUFACTURED BY: KORNEGAY OR EQUAL  
 COLOR: DAVIS PEWTER  
 QUANTITY: 2

- NOTES:**
- ALL CONTAINERS ARE TO BE IRRIGATED - SEE DETAIL X1/LA-XX
  - ALL CONTAINERS LOCATED WITHIN THE LANDSCAPE AREA SHALL BE PLACED ON A CONCRETE PAD AND COVERED WITH TOPDRESS - SEE DETAIL 1/LA-02
  - CONTRACTOR TO THOROUGHLY WATERPROOF/SEAL INSIDE OF CONTAINER

CHECKED BY: DP  
 DRAWN BY: AO

MATCHLINE - SEE SHEET LA-101



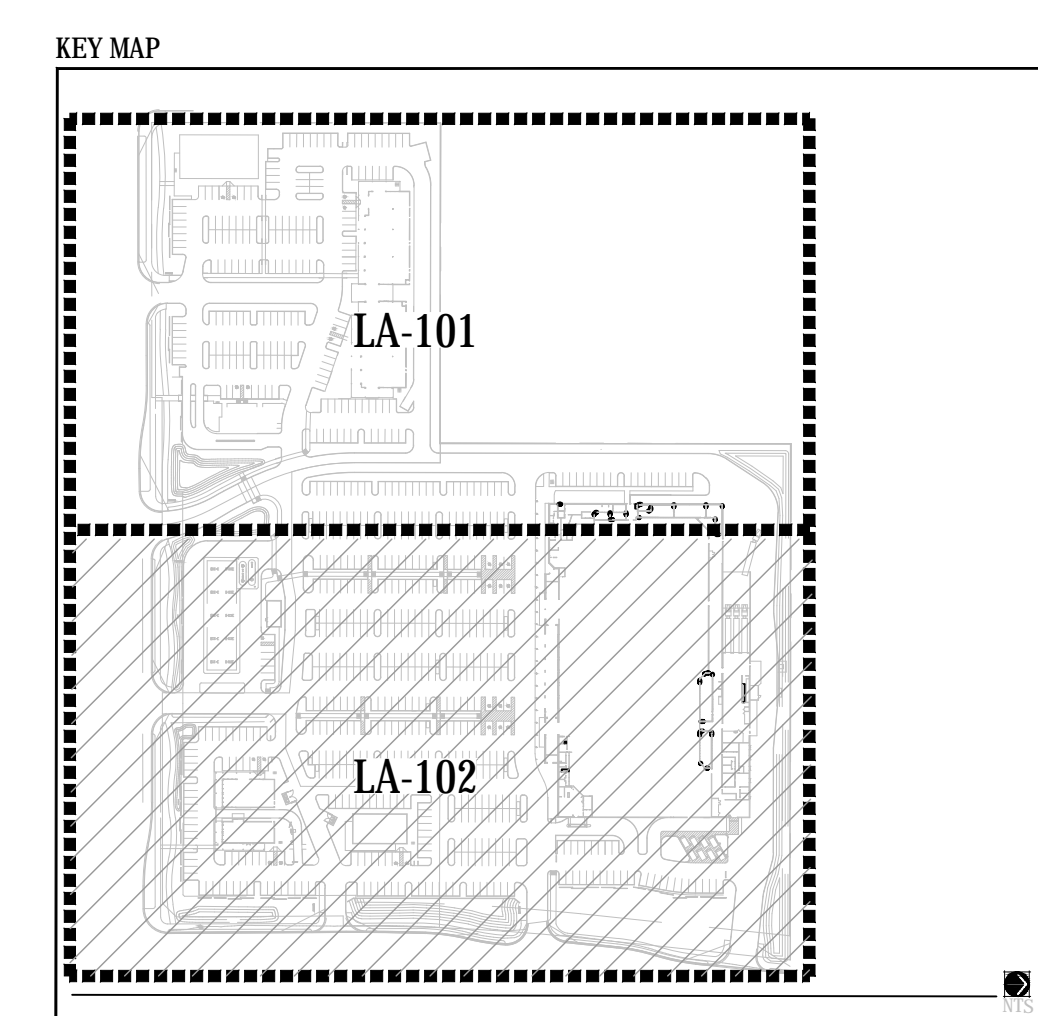
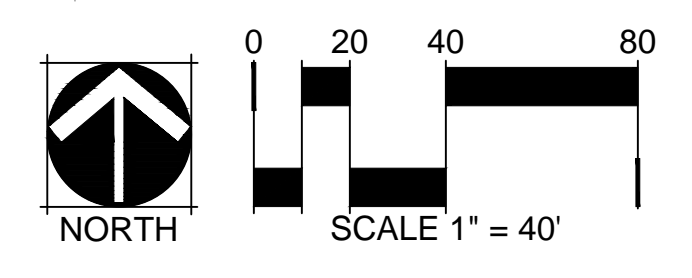
PLANT SCHEDULE SITE			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	ACACIA ANEURA MULGA	24" BOX	39
⊕	CAESALPINA CACALACO 'SMOOTHIE' THORNLESS CASCALOTE	24" BOX	31
⊕	OLEA EUROPAEA WILSONI WILSON OLIVE	24" BOX	113
⊕	PISTACHIA X 'RED PUSH' PISTACHE	24" BOX	76
⊕	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	45
⊕	ULMUS PARVIFLORA CHINESE ELM	24" BOX	56
SHRUBS			
BOTANICAL / COMMON NAME	SIZE	QTY	
⊕	ACACIA REDOLENS 'DESERT CARPET' DESERT CARPET	5 GAL	74
⊕	ASCLEPIAS SUBULATA RUSH MILKWEED	5 GAL	26
⊕	CAESALPINA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	11
⊕	DASYLIRION QUADRANGULATUM MEXICAN GRASS TREE	5 GAL	46
⊕	DODONAEA VISCOSA HOPSEED BUSH	5 GAL	225
⊕	ECHINOCACTUS GRISONII GOLDEN BARREL CACTUS	5 GAL	23
⊕	EREMOPHILA HYGROPHANA 'BLUE BELLS' BLUE BELLS	5 GAL	563
⊕	EUPHORBIA ANTISYPHILITICA CANDELLIA EUPHORBIA	5 GAL	9
⊕	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	590
⊕	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	5 GAL	186
⊕	LEUCOPHYLLUM FRUTESCENS 'HEAVENLY CLOUD' HEAVENLY CLOUD SAGE	5 GAL	43
⊕	PEDILANTHUS MACROCARPUS SLIPPER PLANT	5 GAL	23
⊕	PORTULACARIA AFRA 'MINIMA' DWARF ELEPHANT BUSH	5 GAL	21
⊕	TECOMA X 'YELLOW BELLS' YELLOW BELLS	5 GAL	4
GRASSES			
BOTANICAL / COMMON NAME	SIZE	QTY	
⊕	MUEHLENBERGIA CAPILLARS 'REGAL MIST' TM MUHLY	5 GAL	57
⊕	MUEHLENBERGIA CAPILLARS 'WHITE CLOUD' WHITE MUHLY GRASS	5 GAL	71
⊕	MUEHLENBERGIA DURIA PINE MUHLY	5 GAL	181
⊕	MUEHLENBERGIA LINDHEMERI 'AUTUMN GLOW' TM LINDHEMER'S MUHLY	5 GAL	153
GROUNDCOVER			
BOTANICAL / COMMON NAME	SIZE	QTY	
⊕	EREMOPHILA MACULATA 'OUTBACK SUNRISE' EMU OUTBACK SUNRISE EMU	5 GAL	87
⊕	LANTANA MONTENIDENSIS PURPLE TRAILING LANTANA	5 GAL	491
SUCCULENTS			
BOTANICAL / COMMON NAME	SIZE	QTY	
⊕	AGAVE AMERICANA CENTURY PLANT	15 GAL	2
⊕	AGAVE GEMINIFLORA CENTURY PLANT	15 GAL	4
⊕	AGAVE VICTORIAE-REGINAE QUEEN VICTORIA AGAVE	15 GAL	23
⊕	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	15 GAL	58
⊕	ALOË X 'BLUE ELF' BLUE ELF ALOË	15 GAL	69
⊕	NOLINA MICROCARPA BEAR GRASS	5 GAL	69
VINES/SPALLER			
BOTANICAL / COMMON NAME	SIZE	QTY	
⊕	SOLANUM JASMINOIDES POTATO VINE	5 GAL	6

- KEY NOTES**
- ① 8" M.U. TRAIL - SEE TOPDRESS SCHEDULE
  - ② 8" SIDEWALK - SEE ARCHITECTURE SITE PLAN
  - ③ 6" SIDEWALK - SEE ARCHITECTURE SITE PLAN
  - ④ MULTI-TENANT MONUMENT SIGN - SEE ARCHITECTURE SITE PLAN
  - ⑤ TRASH ENCLOSURE - SEE ARCHITECTURE SITE PLAN
  - ⑥ FIRE HYDRANT - SEE ARCHITECTURE SITE PLAN
  - ⑦ SIGHT VISIBILITY TRIANGLE - PER CIVIL PLANS
  - ⑧ FUEL PRICING MONUMENT SIGN - PER ARCHITECTURE SITE PLAN
  - ⑨ CART CORRAL - PER ARCHITECTURE SITE PLAN
  - ⑩ SCREEN WALL - PER ARCHITECTURAL SITE PLAN
  - ⑪ TRASH RECEPTACLE - SEE DETAIL 6/LA-103
  - ⑫ CURBING - PER CIVIL PLANS
  - ⑬ SEATING BENCH - SEE DETAIL 1/LA-103
  - ⑭ SEATING PLANTER - SEE DETAIL 3/LA-103
  - ⑮ BOLLARD LIGHTING - SEE DETAIL 2/LA-103
  - ⑯ PARKING LOT LIGHTS - SEE ELECTRICAL ENGINEERING PLANS
  - ⑰ BIKE RACK - SEE DETAIL 4/LA-103
  - ⑱ 2'-8" TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
  - ⑲ 4" TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
  - ⑳ FUEL CENTER EQUIPMENT PER FUEL CENTER SITE PLAN. ITEMS TO BE SCREENED WITH LANDSCAPE MATERIAL
  - ㉑ 20" LANDSCAPE SETBACK FROM PROPERTY LINE

- PAVING SCHEDULE**
- P-1 TYPE 1 - CONCRETE BANDING  
FINISH: MEDIUM BROOM  
COLOR: DAVIS DARK GRAY 8084  
TYPE: PEDESTRIAN RATED  
SEE DETAIL 5/LA-103
  - P-2 TYPE 2 - CONCRETE SIDEWALKS  
FINISH: MEDIUM BROOM  
COLOR: STANDARD GRAY  
TYPE: PEDESTRIAN RATED  
SCORE PATTERN: SPACING TO MATCH WIDTH OF SIDEWALK  
SEE DETAIL 5/LA-103
  - P-3 TYPE 3 - CONCRETE FIELD  
FINISH: MEDIUM BROOM  
COLOR: STANDARD GRAY  
TYPE: PEDESTRIAN RATED  
SCORE PATTERN: 4' X 4' SPACING AT 45 DEGREES FROM BUILDING  
SEE DETAIL 5/LA-103
  - P-4 TYPE 4 - CONCRETE FIELD  
FINISH: MEDIUM BROOM  
COLOR: STANDARD GRAY  
TYPE: PEDESTRIAN RATED  
SCORE PATTERN: AS SHOWN PER PLAN  
SEE DETAIL 5/LA-103
  - P-5 TYPE 3 - CONCRETE FIELD  
FINISH: MEDIUM EXPOSED AGGREGATE  
COLOR: STANDARD GRAY  
TYPE: PEDESTRIAN RATED  
SCORE PATTERN: 2' X 2' SPACING AT 45 DEGREES FROM BUILDING  
SEE DETAIL 5/LA-103
  - P-6 TYPE 3 - CONCRETE FIELD  
FINISH: MEDIUM BROOM  
COLOR: STANDARD GRAY  
TYPE: VEHICULAR RATED  
SCORE PATTERN: 6' X 6' SPACING AT 45 DEGREES FROM ADJACENT CURB  
SEE DETAIL 7/LA-103
- NOTES:**
1. CONTRACTOR TO PROVIDE SAMPLES OF ALL PAVERS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
  2. CONTRACTOR TO PROVIDE 5'x5' MOCKUP OF ALL PAVING MATERIALS AND FINISHES FOR REVIEW AND APPROVAL BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

- TOPDRESS SCHEDULE**
- MATERIAL**
- DECOMPOSED GRANITE: 1/2" SCREENED  
COLOR: APACHE BROWN
  - MULTI-USE TRAIL DECOMPOSED GRANITE: 1/4" MINUS STABILIZED  
COLOR: APACHE BROWN
- NOTES:**
1. CONTRACTOR IS TO FIELD VERIFY FINAL QUANTITY OF DECOMPOSED GRANITE TOPDRESS (SQUARE FOOTAGE AND TONNAGE).
  2. DECOMPOSED GRANITE TOPDRESS TO BE PLACED IN THE BOTTOMS AND SIDE SLOPES OF ALL BASINS.
  3. ALL DECOMPOSED GRANITE TOPDRESS IN TO MAINTAIN A UNIFORM 2" MINIMUM DEPTH.

- LANDSCAPE CONTAINER SCHEDULE**
- ⊕ MODEL: SQUARE SERIES SS21  
MANUFACTURED BY: KORNEGAY OR EQUAL  
COLOR: DAVIS PEWTER  
QUANTITY: 12
  - ⊕ MODEL: SQUARE SERIES SS27  
MANUFACTURED BY: KORNEGAY OR EQUAL  
COLOR: DAVIS PEWTER  
QUANTITY: 2
- NOTES:**
1. ALL CONTAINERS ARE TO BE IRRIGATED - SEE DETAIL X/LA-02-XX
  2. ALL CONTAINERS LOCATED WITHIN THE LANDSCAPE AREA SHALL BE PLACED ON A CONCRETE PAD AND COVERED WITH TOPDRESS - SEE DETAIL 1/LA-02
  3. CONTRACTOR TO THOROUGHLY WATERPROOF / SEAL INSIDE OF CONTAINER



CHECKED BY: DP  
 DRAWN BY: AO

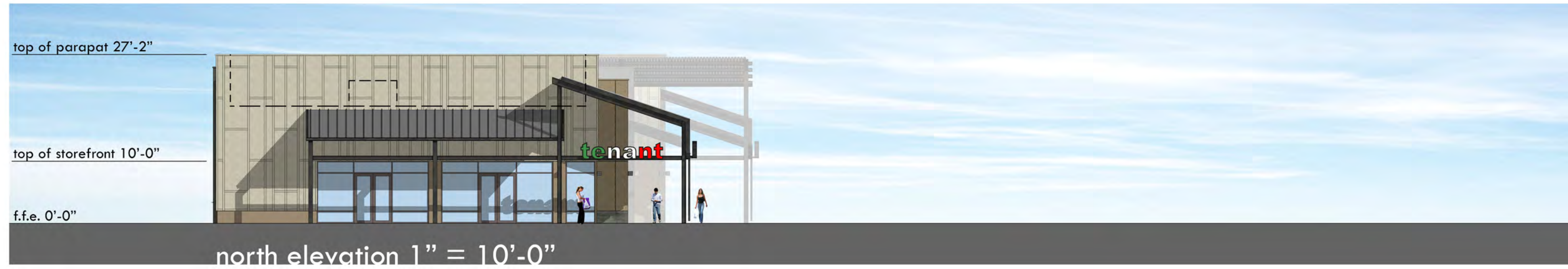
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 Riggs Ellsworth 40 LLC  
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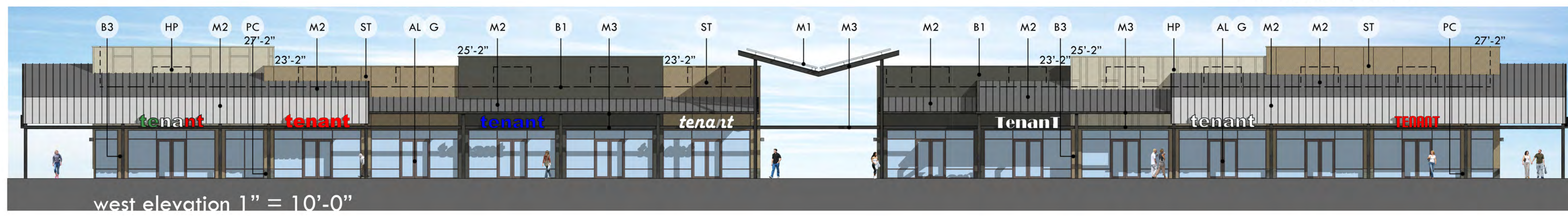
**SHEET TITLE:**  
 PRELIMINARY  
 LANDSCAPE PLAN

**LA-102**



- Materials**
- SF: Steel Flashing, Paint to Match Wall Surface Below
  - HP: Hardie Panel vertical Siding 48"x120": "Cobblestone" Combined with Hardie Trim
  - B1: 8x8x16 Splitface CMU Echelon "Opal"
  - B2: 8x8x16 Ground Face CMU Echelon "Opal"
  - B3: 8x8x16 Split Face CMU Echelon "Monterey Stone"
  - ST: paint on synthetic stucco DE6144 "Graham Cracker"
  - M1: B-Decking Hot Dipped Galvanized Finish
  - M2: Standing Seam Metal Roofing with 1.5" Seam Berridge "Slate Gray"
  - M3: Steel Structure Natural Finish With Clear Seal Coat
  - M4: Steel Perforated Natural Finish With Clear Seal Coat
  - AL: Aluminum Storefront Kawneer No 40 "Dark Bronze"
  - DP: Service Doors, Paint to Match DE6391 "Black Russian" / DE6144 "Graham Cracker"
  - G: Clear Glazing
  - PC: Precast Concrete "Natural"
  - CC: Board Formed Concrete "Natural"

Ownership:



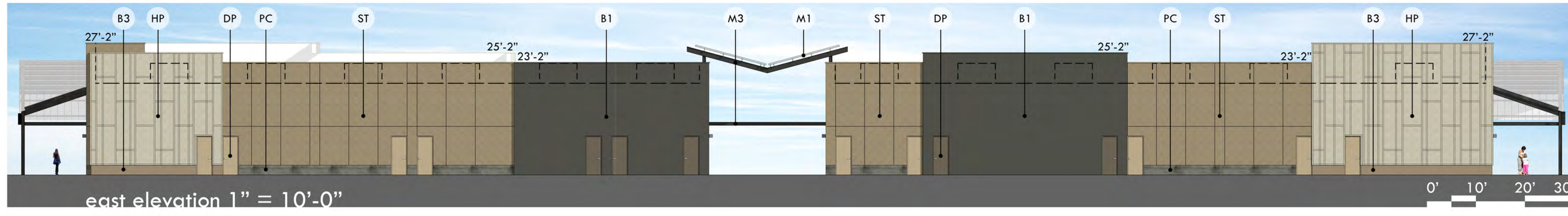
**QC Commons**  
Queen Creek, Arizona



- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:


Ownership of Instruments of Service:  
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Seal  
Date: January 9, 2020  
Project Number: 618  
Drawn by: dm/rdb  
Sheet Number

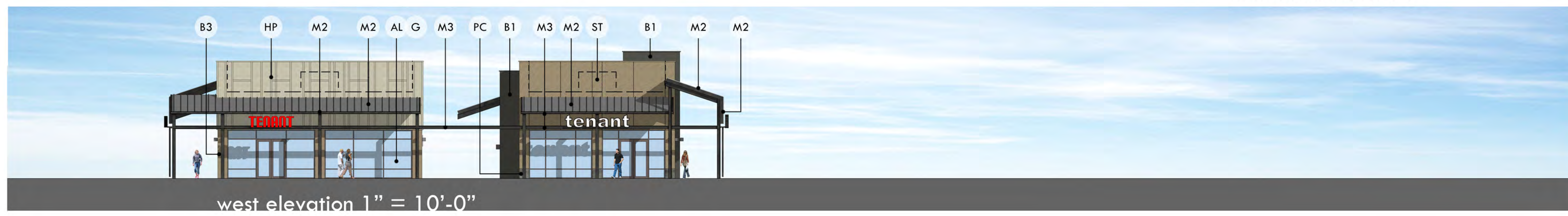
**A3.0**  
Shops A & B Elevations



**Materials**

- SF: Steel Flashing, Paint to Match Wall Surface Below
- HP: Hardie Panel vertical Siding 48"x120": "Cobblestone" Combined with Hardie Trim
- B1: 8x8x16 Splitface CMU Echelon "Opal"
- B2: 8x8x16 Ground Face CMU Echelon "Opal"
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- DP: Service Doors, Paint to Match DE6391 "Black Russian" / DE6144 "Graham Cracker"
- G: Clear Glazing
- PC: Precast Concrete "Natural"
- CC: Board Formed Concrete "Natural"

Ownership:



**QC Commons**  
Queen Creek, Arizona

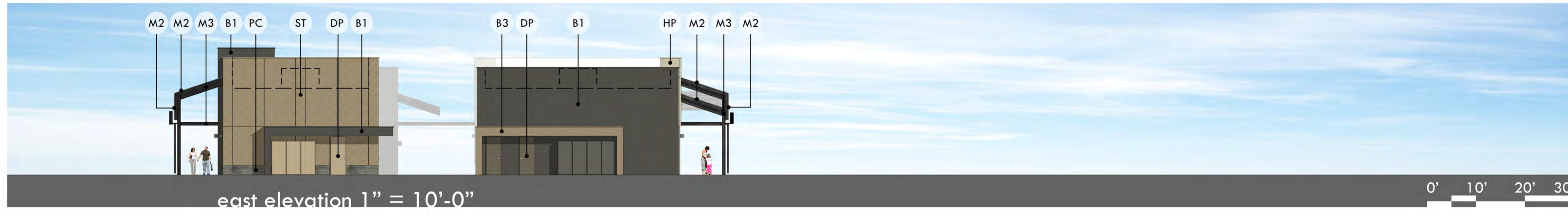


- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

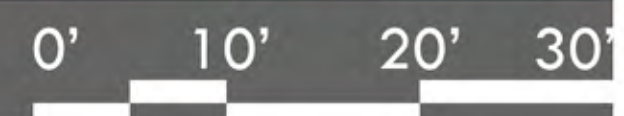
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Seal  
Date: January 9, 2020  
Project Number: 618  
Drawn by: dm/rdb

Sheet Number



**A3.1**

Pads C & D Elevations



**Materials**

- SF: Steel Flashing, Paint to Match Wall Surface Below
- HP: Hardie Panel vertical Siding 48"x120": "Cobblestone" Combined with Hardie Trim
- B1: 8x8x16 Splitface CMU Echelon "Opal"
- B2: 8x8x16 Ground Face CMU Echelon "Opal"
- B3: 8x8x16 Split Face CMU Echelon "Monterey Stone"
- ST: paint on synthetic stucco DE6144 "Graham Cracker"
- M1: B-Decking Hot Dipped Galvanized Finish
- M2: Standing Seam Metal Roofing with 1.5" Seam Berridge "Slate Gray"
- M3: Steel Structure Natural Finish With Clear Seal Coat
- M4: Steel Perforated Natural Finish With Clear Seal Coat
- AL: Aluminum Storefront Kawneer No 40 "Dark Bronze"
- DP: Service Doors, Paint to Match DE6391 "Black Russian" / DE6144 "Graham Cracker"
- G: Clear Glazing
- PC: Precast Concrete "Natural"
- CC: Board Formed Concrete "Natural"



Ownership:

**QC Commons**  
 Queen Creek, Arizona

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- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

Ownership of Instruments of Service:

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 Date: January 9, 2020  
 Project Number: 618  
 Drawn by: dm/rdb

Sheet Number

**A3.2**



s u i t e :  
s i x  
architecture + planning

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Seal

Date: January 9, 2020

Project Number: 618

Drawn by: dm/rdb

Sheet Number

**A4.0**

Shops A & B Renderings





s u i t e :  
s i x  
architecture + planning

Ownership:

**QC Commons**  
Queen Creek, Arizona

- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

Ownership of Instruments of Service:

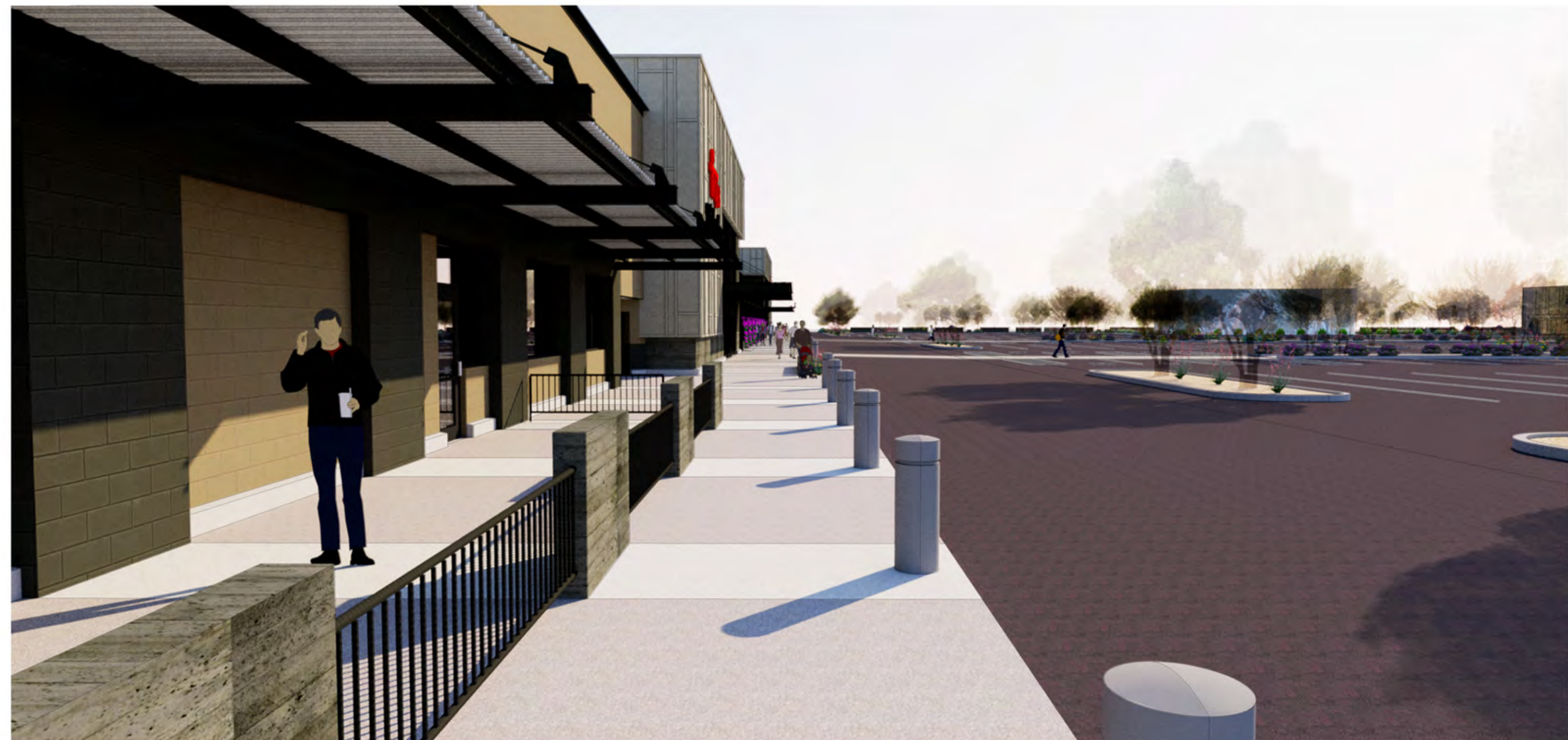
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Seal  
Date: January 9, 2020  
Project Number: 618  
Drawn by: dm/rdb  
Sheet Number

**A4.1**

Pads C & D Renderings



Ownership:

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Queen Creek, Arizona

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- △ Bid Set
- △ City Submittal
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Revisions:

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Seal  
Date: January 9, 2020  
Project Number: 618  
Drawn by: dm/rdb

Sheet Number

**A4.2**

Fry's Renderings



Ownership: \_\_\_\_\_

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- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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Seal  
 Date: January 9, 2020  
 Project Number: 618  
 Drawn by: dm/rdb  
 Sheet Number

**A4.3**  
 Fry's Renderings

Ownership:



**HP: Hardie Panel Vertical Siding with 3" Battens**  
Finish: Select Cedarmill  
Color: Cobble Stone



**M1: B-Decking**  
Hot Dipped Galvanized Finish



**M2: Standing Seam Mtl Roofing with 1.5" Seam**  
Pre-Finished Color: Berridge "Slate Gray"



**M3: Steel Structure**  
Natural Finish With Clear Seal Coat



**AL: Aluminum Storefront**  
Kawneer No 40 "Dark Bronze"



**DP: Service Doors**  
DE6391 "Black Russian"  
DE6144 "Graham Cracker"



**B1: Split Face CMU**  
8x8x16 Echelon "Opal"



**B2: Ground Face CMU**  
8x8x16 Echelon "Opal"



**B3: Split Face CMU**  
8x8x16 Echelon "Monterey Stone"



**ST: Paint**  
on Synthetic Stucco  
DE6144 "Graham Cracker"



**G: Clear Glazing**



**PC: Precast Concrete**  
"Natural"  
**CC: Board Formed Concrete**  
"Natural"

**QC Commons**  
Queen Creek, Arizona

▲ Development Review Set  
△ Bid Set  
△ City Submittal  
△ Construction Set

Revisions:

Ownership of Instruments of Service:

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Seal

Date: January 7, 2020

Project Number: 618

Drawn by: dm/rdb

Sheet Number

**A5.0**

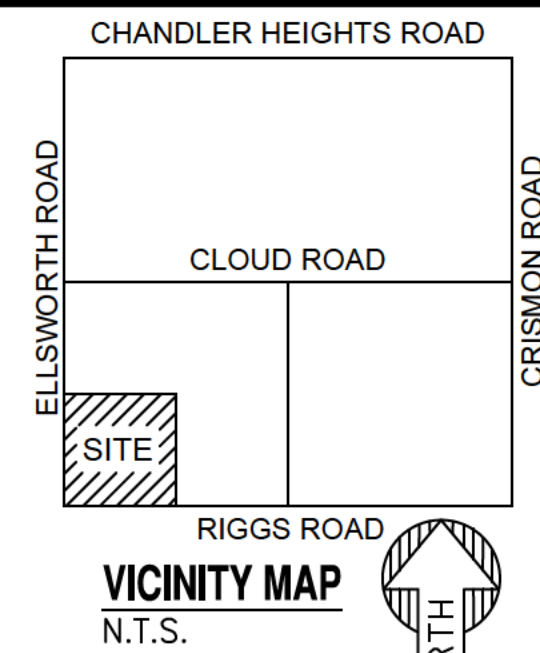
material board

# PRELIMINARY PLAT FRY'S 693 QUEEN CREEK

## SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 EAST QUEEN CREEK, MARICOPA COUNTY, ARIZONA

**CIVIL ENGINEER**  
SUSTAINABILITY ENGINEERING GROUP  
8280 E. GELDING DR, SUITE 101  
SCOTTSDALE, ARIZONA 85260  
PHONE 480-237-2507  
ATTN. ALI FAKIH

**DEVELOPER/OWNER**  
FRY'S FOOD STORES OF ARIZONA  
500 S. 99TH AVE.  
TOLLESON, ARIZONA 85353  
PHONE 623-907-1970  
ATTN. CARLOS J TORRES



PRELIMINARY  
NOT FOR  
CONSTRUCTION

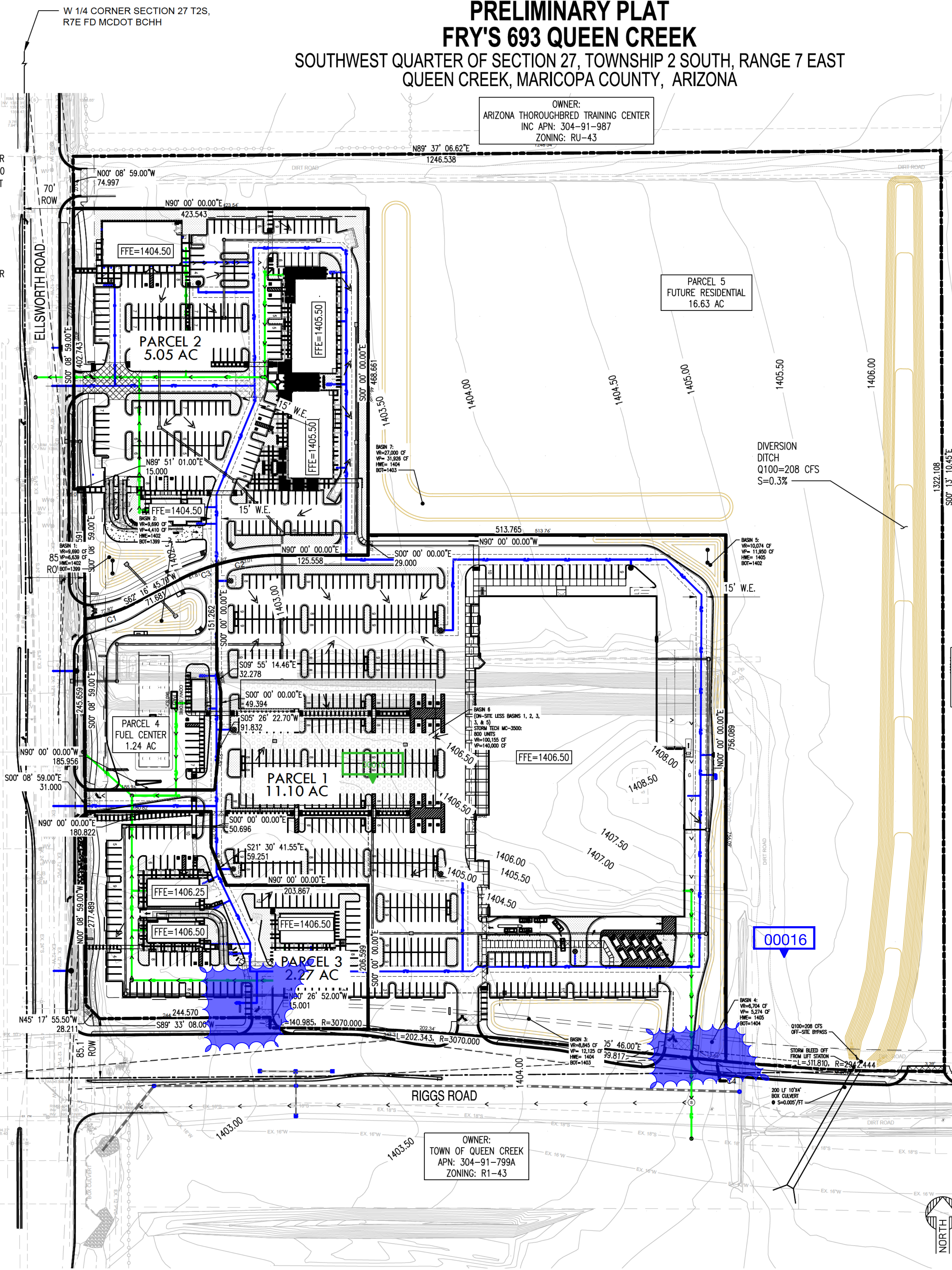
NOTE: THE EXISTING IRRIGATION FACILITIES ON OR ADJACENT TO THIS SITE MUST BE ABANDONED, RELOCATED OR UNDERGROUND. PLEASE CHECK AND COORDINATE WITH THE IRRIGATION DISTRICT.

NOTE: THIS SUBDIVISION SHALL COMPLY WITH THE ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.

- NOTES:**
- SUBDIVISIONS WITH RESIDENTIAL LOTS 1 ACRE OR LARGER CAN USE ON-LOT RETENTION TO MEET THE SUBDIVISION RETENTION REQUIREMENTS.
  - SUBDIVISIONS WITH AN INDIVIDUAL RESIDENTIAL LOT OR LOTS LESS THAN 1 FULL ACRE (BUT AT LEAST 35,000 SQUARE FOOT) CAN USE ON-LOT RETENTION TO MEET 100 PERCENT OF THEIR REQUIRED RETENTION, AND SHALL
  - IN ADDITION PROVIDE A BASIN OR BASINS TO RETAIN 50 PERCENT OF THE SUBDIVISION RETENTION REQUIREMENT. THE STORAGE BASIN(S) MUST BE LOCATED SO AS TO BE ABLE TO COLLECT FLOWS THAT WOULD LEAVE THE SUBDIVISION.
  - SUBDIVISIONS WITH AN INDIVIDUAL RESIDENTIAL LOT OR LOTS LESS THAN 35,000 SQUARE FEET SHALL MEET THE ENTIRE 100 PERCENT RETENTION REQUIREMENTS FOR THE SUBDIVISION AS DEFINED IN MARICOPA COUNTY DRAINAGE STANDARDS.

**PROPOSED LEGEND**

- PROPERTY LINE
- CURB AND GUTTER
- WATER LINE
- SEWER LINE
- FIRE HYDRANT
- WATER METER
- GATE VALVE
- BACK FLOW PREVENTER
- SEWER MANHOLE
- STORM DRAIN PIPE
- STORM DRAIN MANHOLE
- STORM CATCH BASIN
- FLOW ARROWS
- STORMTECH SYSTEM
- WE WATER EASEMENT



**BENCHMARK:**  
BENCHMARK IS A 1/2" REBAR BEING THE SOUTH QUARTER CORNER OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 EAST, HAVING AN ELEVATION OF 1409.957' NAVD 88.

**BASIS OF BEARING:**  
THE BASIS OF BEARING AND ALL MONUMENTATION SHOWN HEREON IS BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 7 EAST, USING A BEARING OF NORTH 00°08'59" WEST AS SHOWN ON THE ELLSWORTH ROAD RIGHT OF WAY ACQUISITION DESCRIBED IN DOCUMENT NO. 2009-0895229 MCR

**PROJECT INFO:**

GROSS LAND AREA: 40.0 ACRES  
NET LAND AREA: 36.3 ACRES  
EXISTING ZONING: C1 POD & C-2 (MARICOPA COUNTY)  
PROPOSED ZONING: C-2 (TOWN OF QUEEN CREEK)  
EXISTING GENERAL PLAN LAND USE DESIGNATIONS: COMMERCIAL & NEIGHBORHOOD

COMMERCIAL USE DATA  
GROSS LAND AREA: 23.14 ACRES  
NET LAND AREA: 19.58 ACRES  
TOTAL BUILDING AREA: 162,570 S.F.  
FLOOR AREA RATIO: .2  
OPEN SPACE (LANDSCAPED AREA) REQUIRED: 15%  
OPEN SPACE (LANDSCAPE AREA) PROVIDED:  
PARKING SPACES REQUIRED: 605 SPACES  
BICYCLE SPACES REQUIRED: 69 SPACES  
PARKING SPACES PROVIDED: 756 SPACES  
\*(COLLECTION OF USES AND CALCULATIONS PROVIDED IN THE PARCEL SUMMARY BELOW)

**PARCEL SUMMARY**  
PARCEL 1 AREA: 11.10 ACRES  
MAJOR A BUILDING AREA: 126,000 S.F.  
PARKING SPACES REQUIRED: 420 SPACES (1 SPACE PER 300 GFA)  
BICYCLE SPACES REQUIRED: 53 SPACES  
PARKING SPACES PROVIDED: 433 SPACES

PARCEL 2 AREA: 5.05 ACRES  
SHOPS A BUILDING AREA: 8,700 S.F.  
SHOPS B BUILDING AREA: 8,100 S.F.  
PAD A BUILDING AREA: 7,360 S.F.  
PAD B BUILDING AREA: 3,300 S.F.  
PARKING REQUIRED:  
RETAIL=63 SPACES (18,660/ 300 GFA)  
DRIVE THROUGH=49 SPACES (1 PER 50 SF GFA OF PATRON SEATING AREA + 1 PER 200 SF OFFICE/FOOD PREP. AREA)  
RESTAURANT=78 SPACES (5,800/75 GFA)  
TOTAL REQUIRED: 190  
BICYCLE SPACES REQUIRED: 10 SPACES  
PARKING SPACES PROVIDED: 186 SPACES

PARCEL 3 AREA: 2.27 ACRES  
PAD C BUILDING AREA: 3,200 S.F.  
PAD D BUILDING AREA: 2,400 S.F.  
PAD E BUILDING AREA: 3,500 S.F.  
PARKING SPACES REQUIRED:  
DENTAL=16 SPACES (3200/200 GFA)  
DRIVE THROUGH=37 SPACES (1 PER 50 SF GFA OF PATRON SEATING AREA + 1 PER 200 SF OFFICE/FOOD PREP. AREA)  
RESTAURANT=47 SPACES (3500/75 GFA)  
TOTAL: 100  
BICYCLE SPACES REQUIRED: 6 SPACES  
PARKING SPACES PROVIDED: 99 SPACES

PARCEL 4 AREA: 1.24 ACRES  
CONVENIENCE BUILDING AREA: 860 S.F.  
PARKING REQUIRED: 5 SPACES (6 SPACES PER 1000 GFA)

PARCEL 5 AREA: 16.63 ACRES

NOTE: THIS PROPERTY, DUE TO ITS PROXIMITY TO PHOENIX-MESA GATEWAY AIRPORT, IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX AIRCRAFT CONSISTS OF CARGO, COMMERCIAL, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.

Curve Table			
Curve #	Length	Radius	Delta
C1	72.822	200.585	020.8012
C2	93.007	320.000	016.6528
C3	61.815	320.000	011.0679
C4	13.662	2930.000	000.2672

**EXISTING LEGEND**

- S — SEWER LINE
- W — WATER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- FO — FIBER OPTIC LINE
- T — TELEPHONE LINE
- IRR — IRRIGATION LINE
- (S) — SEWER MANHOLE

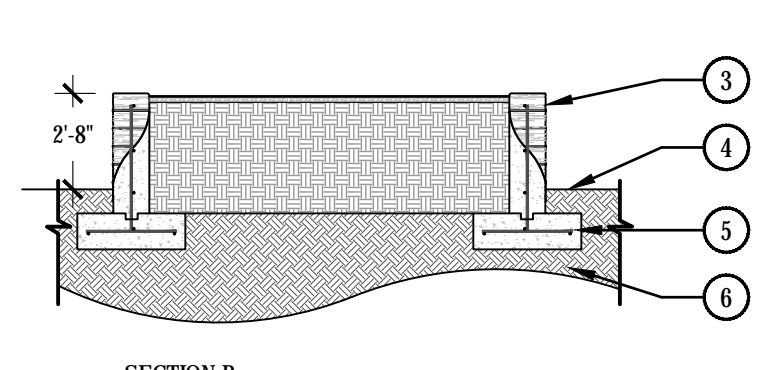
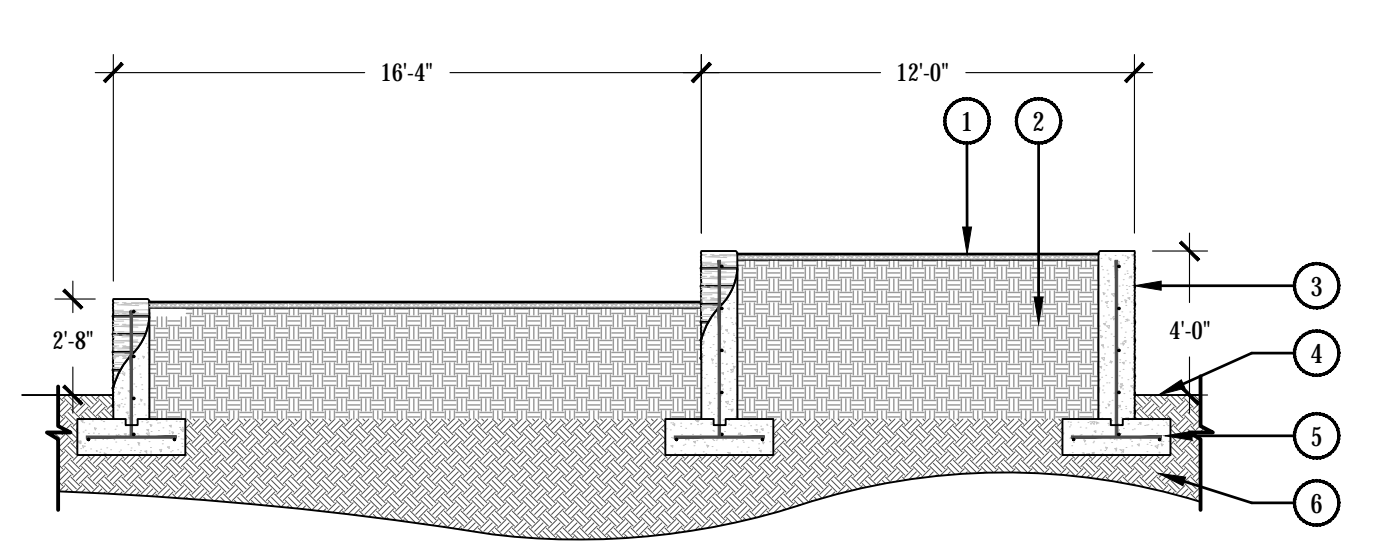
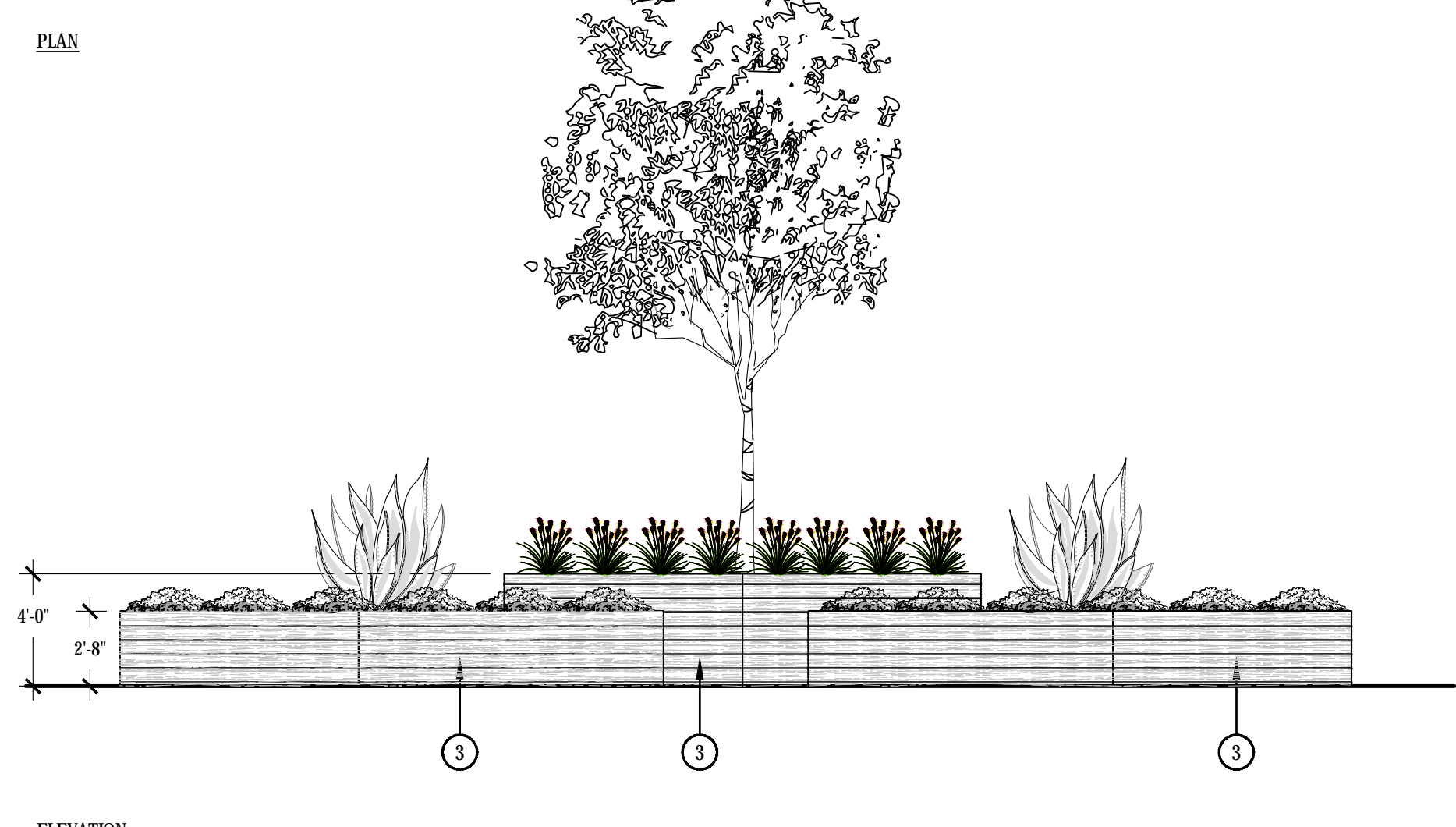
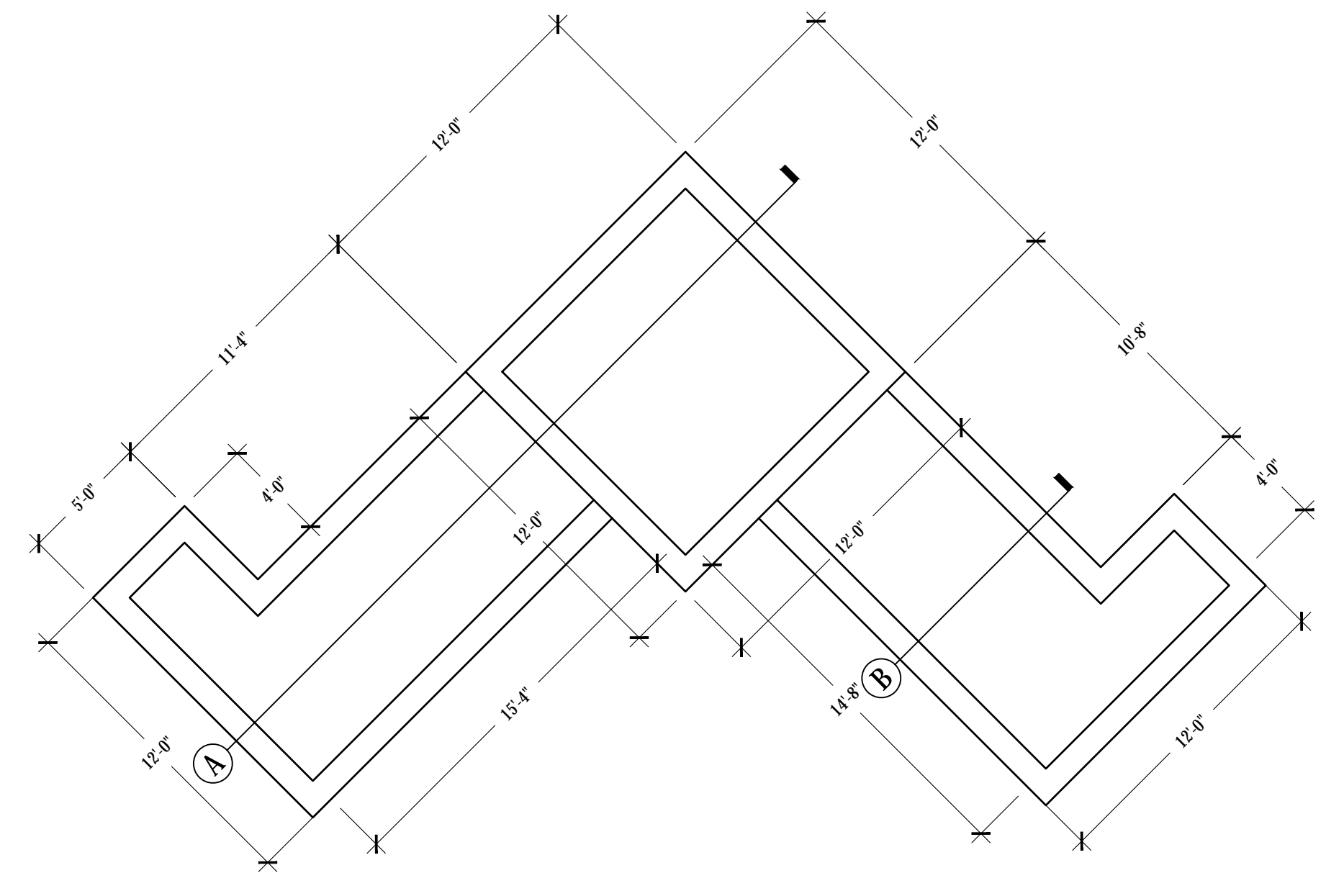
OWNER:  
BARNES FARMS LLC  
LE # 01-0115  
APN: 304-91-986  
ZONING: RU-43

OWNER:  
TOWN OF QUEEN CREEK  
APN: 304-91-799A  
ZONING: R1-43



NOTE TO CONTRACTOR:  
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.I.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE IS NO UNUSUAL SITE CONDITIONS OR HIDDEN CONDITIONS. THE FAILURE OF THESE CONDITIONS MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNER/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE REQUIRED. CONTRACTORS SHALL ALSO NOTIFY THE SITE BEFORE BEGINS. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

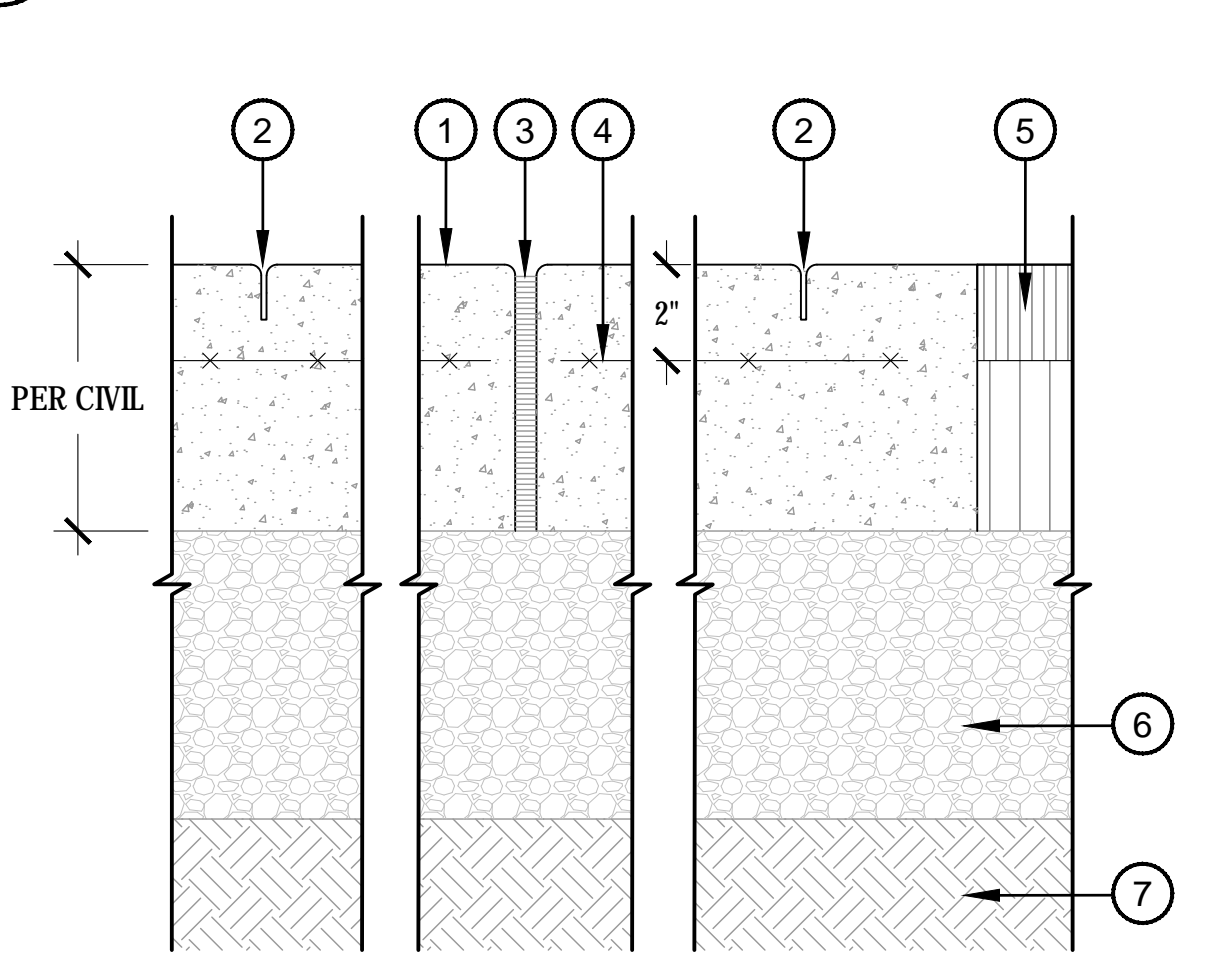
PROJECT	QUEEN CREEK COMMONS COMMERCIAL DEVELOPMENT FRY'S 693	LOCATION	NEC OF RIGGS ROAD AND ELLSWORTH ROAD, QUEEN CREEK, ARIZONA
DRAWN	JS	DATE	11/05/2019
DESIGNED	NS	DATE	11/05/2019
QC REVIEWER			
FINAL QA			
PROJ. MGR.	NS	DATE	11/05/2019
ISSUED FOR:	11/05/2019	SITE PLAN	SUBMITTAL
REVISION NO.:		DATE:	
JOB NO.:	190326		
SHEET TITLE:	PRELIM PLAT		
SHEET NO.:	PP		



- ① 2" MINIMUM DEPTH TOPDRESS - SEE TOPDRESS SCHEDULE
- ② PLANTING SOIL BACKFILL - SEE SPECIFICATIONS PLANTING SOIL BACKFILL - SEE SPECIFICATIONS
- ③ 12" THICK CONCRETE WITH BOARD FORM FINISH ON ALL EXTERIOR FACES OF RAISED PLANTER. TOP INTERIOR EDGES TO HAVE 1" CHAMFER WITH SMOOTH TROWEL FINISH. COLOR TO BE NATURAL GRAY
- ④ FINISH GRADE
- ⑤ CONCRETE FOOTER WITH #4 STEEL REINFORCEMENT PER STRUCTURAL ENGINEER
- ⑥ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

NOTES:  
 1. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.  
 2. ALL EXPOSED STEEL AND HARDWARE TO BE PRE-WEATHERED AND SEALED TO PREVENT STAINING.

**1 RAISED PLANTERS AT CORNER**

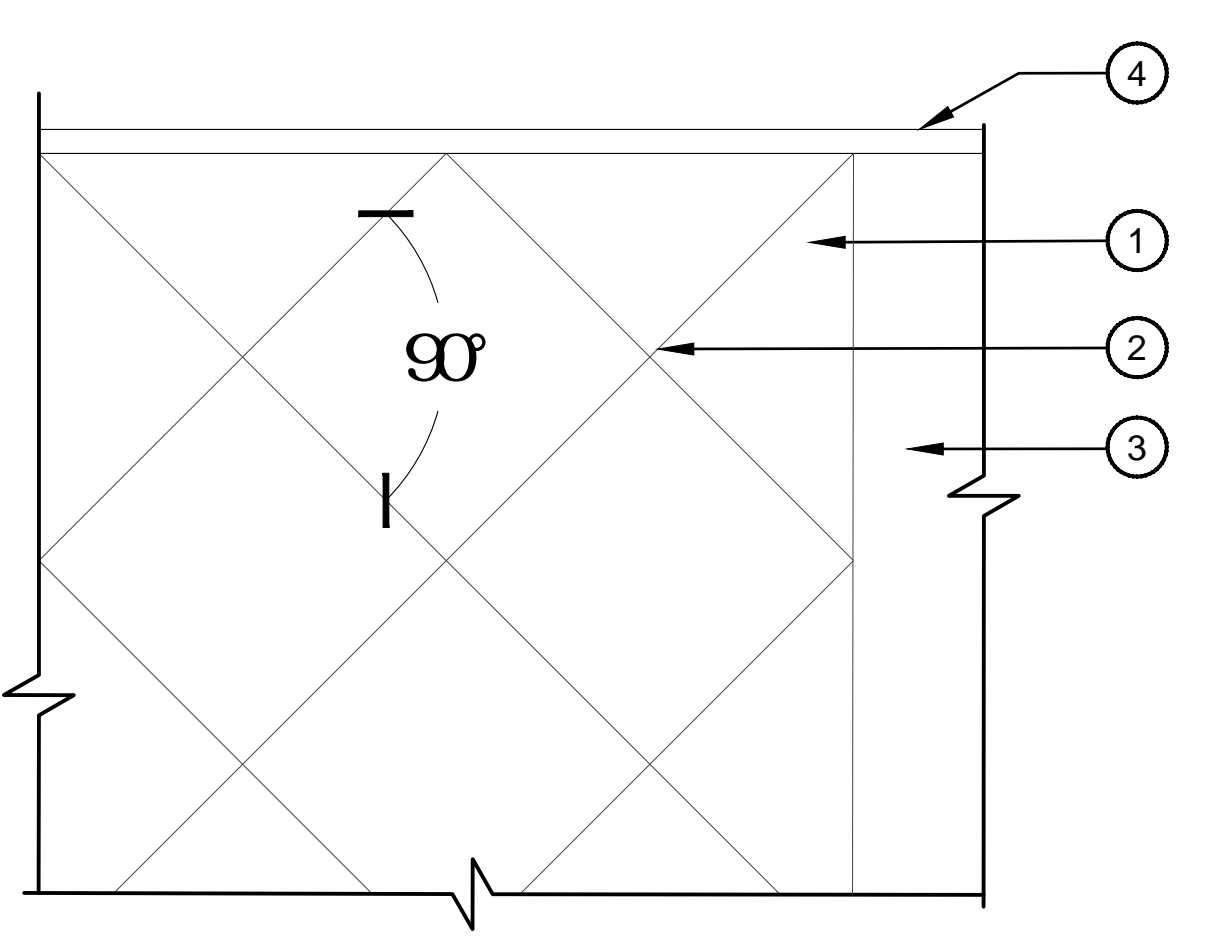


- ① CONCRETE PAVING. COLOR: STANDARD GREY. 4,000 PSI - LIGHT EXPOSED AGGREGATE CONCRETE PAVING. 3,000 PSI - SEE KEYNOTES FOR LOCATIONS ON PLAN
- ② TOOLED JOINT, 1/4" RADIUS SPACE EQUAL TO WIDTH OF WALK UNLESS NOTED OTHERWISE. DEPTH TO 1/3" CONCRETE THICKNESS MIN.
- ③ FIBER EXPANSION JOINT WITH TRAFFIC SEALANT
- ④ 6" X 6" WWM UNLESS NOTED OTHERWISE BY GEOTECHNICAL ENGINEER AND STRUCTURAL ENGINEER. 2" BURY MIN.
- ⑤ ASPHALT - SEE CIVIL DRAWINGS
- ⑥ COMPACTED AGGREGATE BASE COURSE
- ⑦ COMPACTED SUBGRADE PER GEOTECH RECOMMENDATIONS

NOTES:  
 1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS SHOWN ON PLANS WITH EXPANSION JOINTS AS SHOWN ON PLANS @ 24' O.C. MAX. OR WHERE NOTED.  
 2. SEE CIVIL AND STRUCTURAL FOR REQUIRED THICKNESS

**2 VEHICULAR CONCRETE PAVING - SECTION**

SCALE: 3" = 1'-0"



NOTES:  
 1. C.I.P. CONCRETE PER PLANS AND SPECS. CONTROL JOINTS AS SHOWN ON PLANS WITH EXPANSION JOINTS AS SHOWN ON PLANS @ 6' O.C. MAX. OR WHERE NOTED.  
 2. SEE CIVIL AND STRUCTURAL FOR REQUIRED THICKNESS

**3 VEHICULAR CONCRETE PAVING - PLAN**

SCALE: 3" = 1'-0"

- ① CONCRETE PAVING: 4,000 PSI - MEDIUM BROOM FINISH. COLOR TO BE STANDARD GREY.. SEE KEYNOTES FOR LOCATIONS ON PLAN
- ② TOOLED JOINT, 1/4" RADIUS SPACE EQUAL TO WIDTH OF WALK UNLESS NOTED OTHERWISE. DEPTH TO 1/3" CONCRETE THICKNESS MIN.
- ③ ASPHALT - SEE CIVIL DRAWINGS
- ④ CURB - SEE CIVIL DRAWINGS



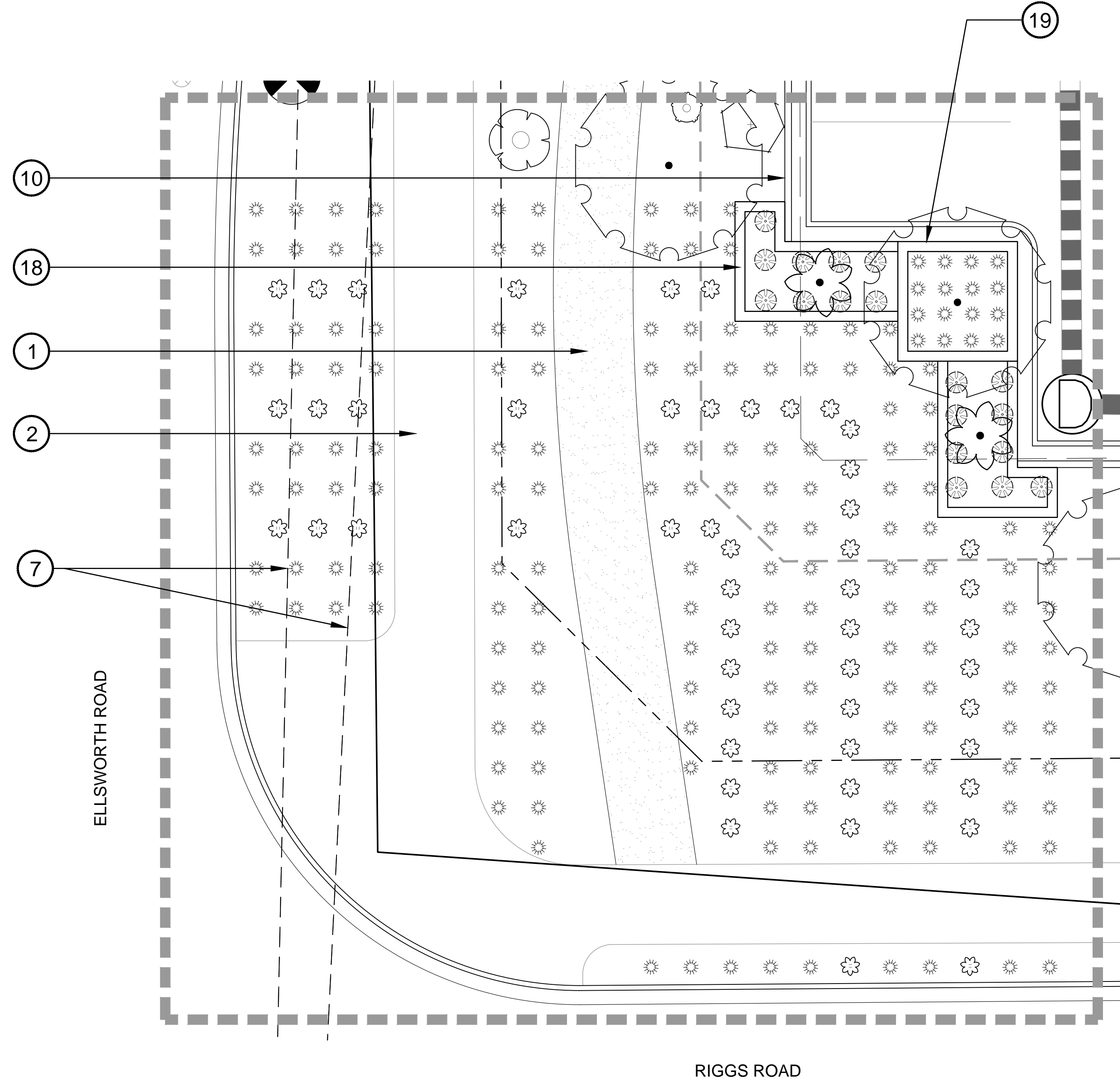
OWNER:  
 Riggs Elsworth 40 LLC  
 JMN Riggs 40 LLC  
 20 South Kyrene Rd  
 Chandler, AZ 85226  
 480.889.0010



DATE:  
 6/13/19 PROGRESS SET  
 8/28/19 1st TOQC Submittal  
 11/7/19 2nd TOQC Submittal  
 12/19/19 3rd TOQC Submittal  
 1/7/20 4th TOQC Submittal

SHEET TITLE:  
**AMENITY  
 DETAILS**

CHECKED BY: DP  
 DRAWN BY: AO



1 LANDSCAPE ENLARGEMENT AT INTERSECTION OF ELLSWORTH AND RIGGS

SCALE: 1"=10'-0"

**KEY NOTES**

- ① 8' MU. TRAIL - SEE TOPDRESS SCHEDULE
- ② 8' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- ③ 6' SIDEWALK - SEE ARCHITECTURE SITE PLAN
- ④ MULTI-TENANT MONUMENT SIGN - SEE ARCHITECTURE SITE PLAN
- ⑤ TRASH ENCLOSURE - SEE ARCHITECTURE SITE PLAN
- ⑥ FIRE HYDRANT - SEE ARCHITECTURE SITE PLAN
- ⑦ SIGHT VISIBILITY TRIANGLE - PER CIVIL PLANS
- ⑧ FUEL PRICING MONUMENT SIGN - PER ARCHITECTURE SITE PLAN
- ⑨ CART CORRAL - PER ARCHITECTURE SITE PLAN
- ⑩ SCREEN WALL - PER ARCHITECTURE SITE PLAN
- ⑪ TRASH RECEPTACLE - SEE DETAIL 6/LA-103
- ⑫ CURBING - PER CIVIL PLANS
- ⑬ SEATING BENCH - SEE DETAIL 1/LA-103
- ⑭ SEATING PLANTER - SEE DETAIL 3/LA-103
- ⑮ BOLLARD LIGHTING - SEE DETAIL 2/LA-103
- ⑯ PARKING LOT LIGHTS - SEE ELECTRICAL ENGINEERING PLANS
- ⑰ BIKE RACK - SEE DETAIL 4/LA-103
- ⑱ 2'-8" TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- ⑲ 4' TALL BOARD FORM CONCRETE RAISED PLANTER - SEE DETAIL 1/LA-104
- ⑳ FUEL CENTER EQUIPMENT PER FUEL CENTER SITE PLAN. ITEMS TO BE SCREENED WITH LANDSCAPE MATERIAL.
- ㉑ 20' LANDSCAPE SETBACK FROM PROPERTY LINE

PLANT SCHEDULE SITE			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	ACACIA ANEURA MULGA	24" BOX	39
⊕	CAESALPINIA CACALACO SMOOTHIE THORNLESS CASCALOTE	24" BOX	31
⊕	OLEA EUROPAEA WILSONII WILSON OLIVE	24" BOX	113
⊕	PISTACIA X RED PUSH PISTACHE	24" BOX	76
⊕	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	24" BOX	45
⊕	ULMUS PARVIFOLIA CHINESE ELM	24" BOX	56
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	ACACIA REDOLENS 'DESERT CARPET' DESERT CARPET	5 GAL	24
⊕	ASCLEPIAS SUBULATA RUSH MILKWEED	5 GAL	26
⊕	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	11
⊕	DASYLIRION QUADRANGULATUM MEXICAN GRASS TREE	5 GAL	46
⊕	DODONAEA VISCOSA HOPSEED BUSH	5 GAL	225
⊕	ECHINOCACTUS GRISONII GOLDEN BARREL CACTUS	5 GAL	23
⊕	EREMOPHILA HYGROPHANA 'BLUE BELLS' BLUE BELLS	5 GAL	563
⊕	EUPHORBIA ANTISYPHILITICA CANDELLIA EUPHORBIA	5 GAL	9
⊕	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	590
⊕	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	5 GAL	186
⊕	LEUCOPHYLLUM FRUTESCENS 'HEAVENLY CLOUD' HEAVENLY CLOUD SAGE	5 GAL	43
⊕	PEDILANTHUS MACROCARPUS SLIPPER PLANT	5 GAL	23
⊕	PORTULACARIA AFRA 'MINIMA' DWARF ELEPHANT BUSH	5 GAL	21
⊕	TECOMA X YELLOW BELLS YELLOW BELLS	5 GAL	4
GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM MUHLY	5 GAL	57
⊕	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD' WHITE MUHLY GRASS	5 GAL	71
⊕	MUHLENBERGIA DUBIA PINE MUHLY	5 GAL	181
⊕	MUHLENBERGIA LINDHEMERI 'AUTUMN GLOW' TM LINDHEMER'S MUHLY	5 GAL	153
GROUNDCOVER	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	EREMOPHILA MACULATA 'OUTBACK SUNRISE' EMU OUTBACK SUNRISE EMU	5 GAL	87
⊕	LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	5 GAL	491
SUCCULENTS	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	AGAVE AMERICANA CENTURY PLANT	15 GAL	2
⊕	AGAVE GEMINIFLORA CENTURY PLANT	15 GAL	4
⊕	AGAVE VICTORIAE REGINAE QUEEN VICTORIA AGAVE	15 GAL	23
⊕	AGAVE X BLUE GLOW BLUE GLOW AGAVE	15 GAL	58
⊕	ALOE X BLUE ELF BLUE ELF ALOE	15 GAL	69
⊕	NOLINA MICROCARPA BEAR GRASS	5 GAL	69
VINE/ESPALIER	BOTANICAL / COMMON NAME	SIZE	QTY
⊕	SOLANUM JASMINOIDES POTATO VINE	5 GAL	6

**QC Commons**  
Queen Creek, AZ

**OWNER:**  
 Riggs Elsworth 40 LLC  
 JMN Riggs 40 LLC  
 20 South Kyrene Rd  
 Chandler, AZ 85226  
 480.889.0010

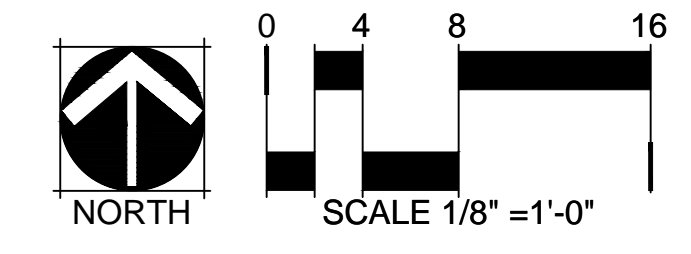


**DATE:**  
 6/13/19 PROGRESS SET  
 8/28/19 1st TOQC Submittal  
 11/7/19 2nd TOQC Submittal  
 12/19/19 3rd TOQC Submittal  
 1/7/20 4th TOQC Submittal

**SHEET TITLE:**  
 LANDSCAPE  
 ENLARGEMENT

**LA-105**

CHECKED BY: DP  
DRAWN BY: AO



Ownership:

**QC Commons**  
Queen Creek, Arizona

- ▲ Development Review Set
- △ Bid Set
- △ City Submittal
- △ Construction Set

Revisions:

Ownership of Instruments of Service:  
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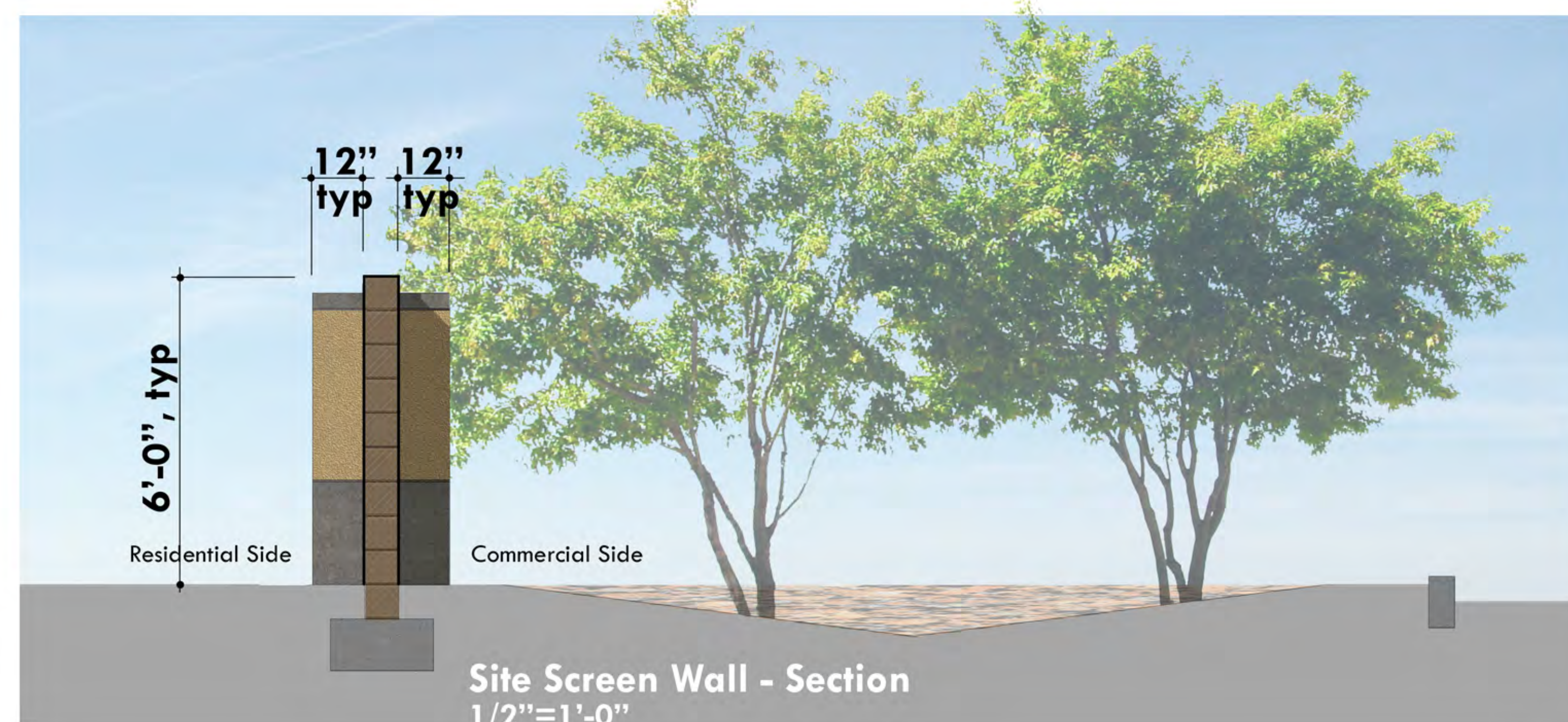
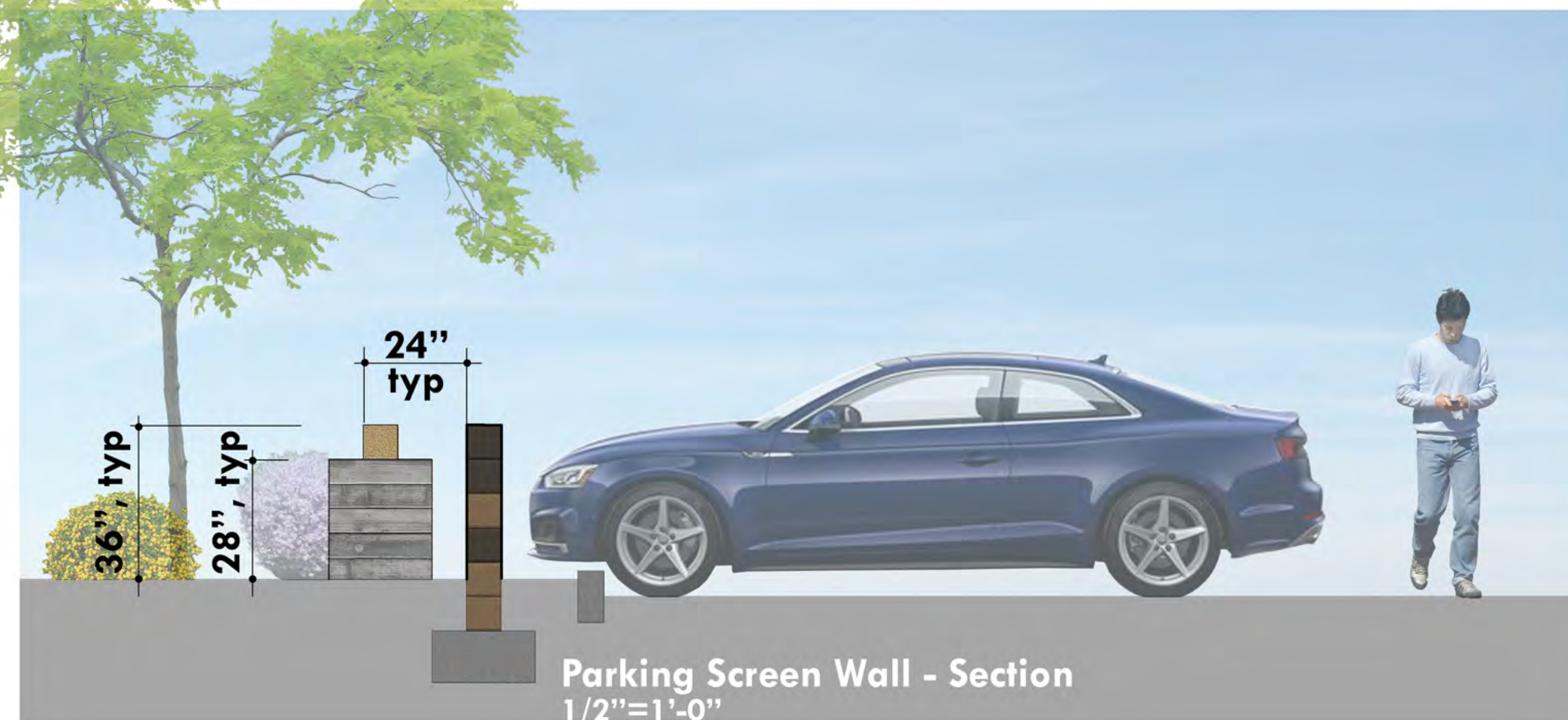
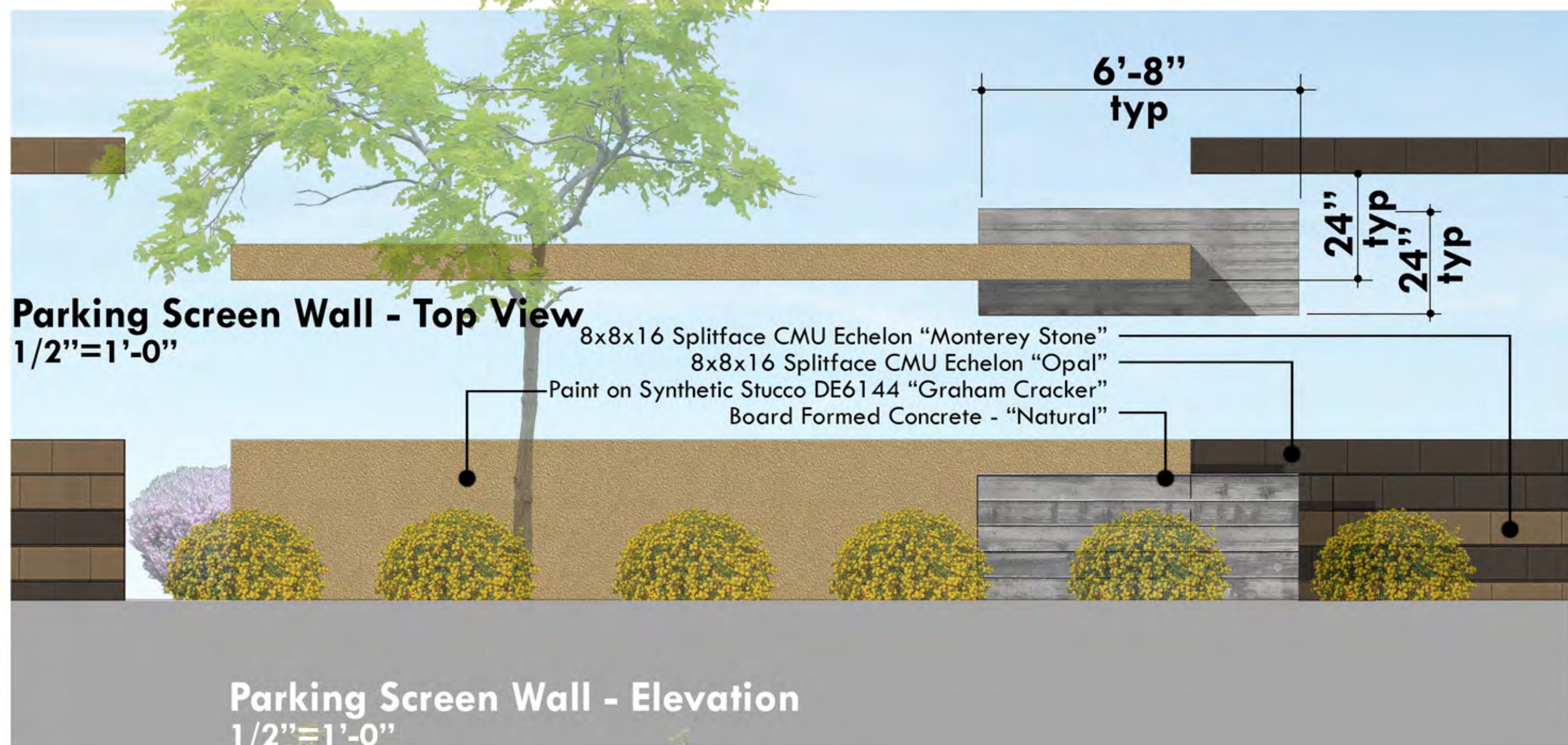


Seal  
Date: January 7, 2020  
Project Number: 618  
Drawn by: dm/rdb

Sheet Number

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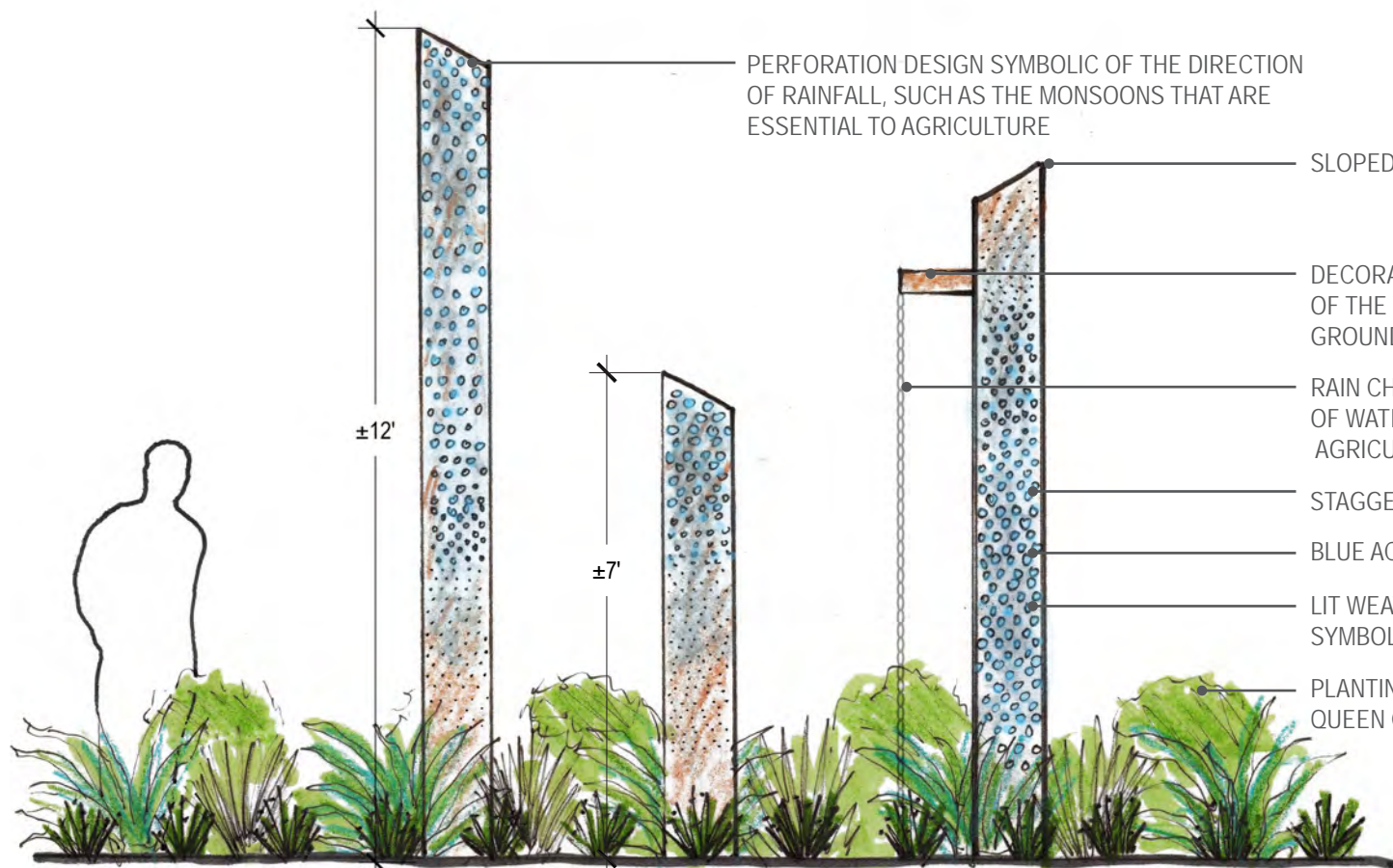
Site Details





# THE LIFE CYCLE OF WATER

SUPPORTING LIFE THROUGH THE CENTURIES



SCALE: 3/8"=1'-0"



SCALE: 1/4"=1'-0"

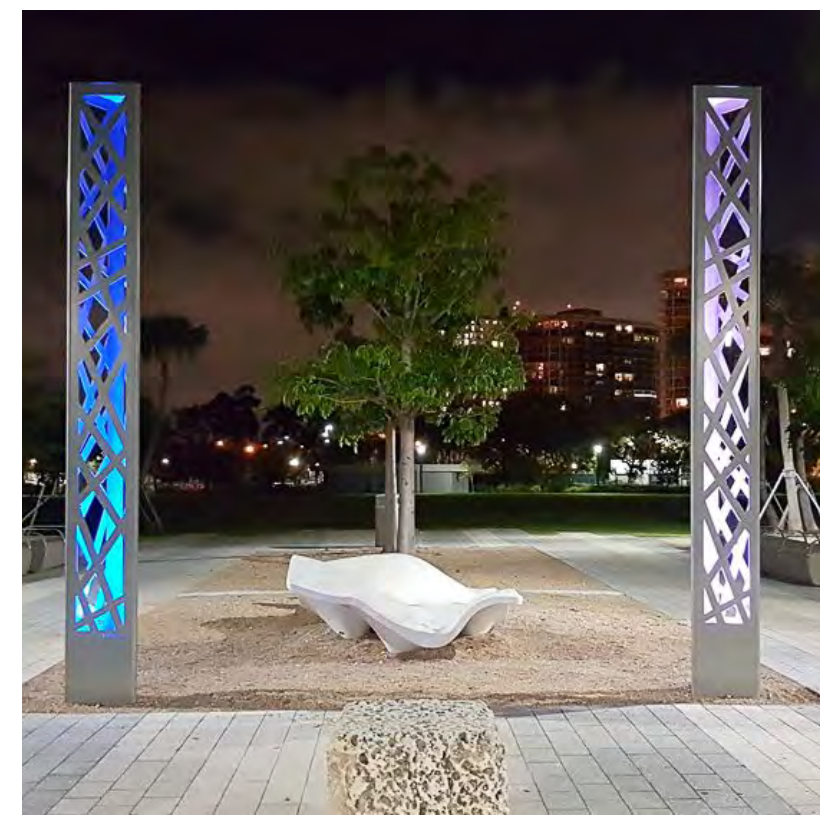
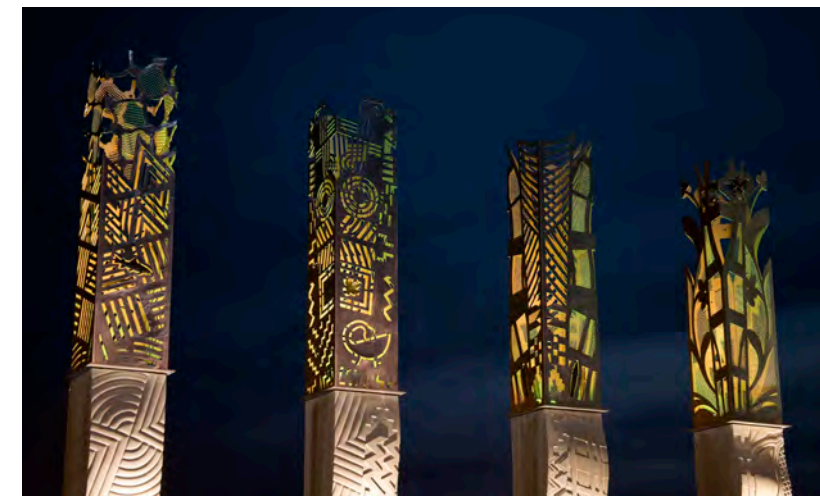
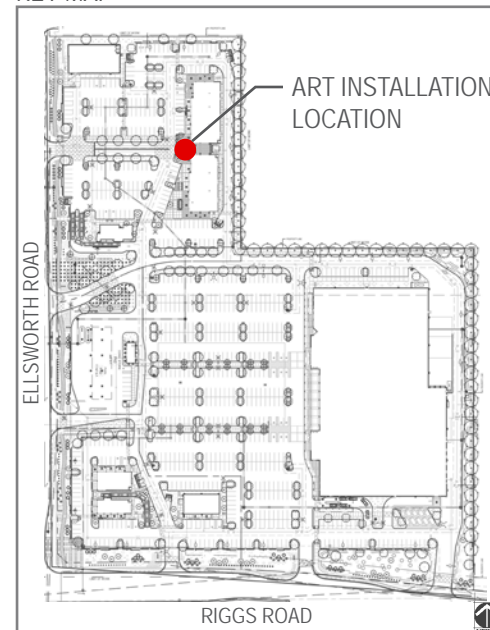
- GROUND MATERIAL VARIATIONS TO SYMBOLIZE ROWS OF CROPS
- STAGGERED COLUMN PLACEMENT PROVIDING VISUAL DEPTH

## NARRATIVE - THE LIFE CYCLE OF WATER

SINCE THE BEGINNING OF TIME, WATER HAS PLAYED AN ESSENTIAL ROLE FOR ALL LIVING THINGS. BEGINNING AS EARLY AS A.D. 0, HOHOKAM SETTLERS, WHO INHABITED WHAT IS NOW QUEEN CREEK, RELIED ON WATER FOR SURVIVAL. LATER SETTLERS, KNOWING THE IMPORTANCE OF WATER FOR THEIR COMMUNITY, CAPITALIZED UPON IT. CHARLES RITTENHOUSE INSTALLED SOME OF THE FIRST WELLS IN QUEEN CREEK, LAYING THE FOUNDATION FOR QUEEN CREEK'S AGRICULTURAL HERITAGE.

THIS PROPOSED ART INSTALLATION HIGHLIGHTS THE LIFE CYCLE OF WATER AND ITS AGRICULTURAL SIGNIFICANCE FOR THE QUEEN CREEK COMMUNITY. WEATHERED STEEL LIGHT COLUMNS GIVE OFF A COOL BLUE GLOW REMINISCENT OF WATER. TWO COLUMNS REPRESENT THE VALLEY'S MONSOON RAINS, WHICH ARIZONA DEPENDS ON TO RECHARGE GROUNDWATER SUPPLIES. THE THIRD COLUMN INCLUDES A DECORATIVE SCUPPER, SIGNIFYING WELLS THAT WERE ESSENTIAL FOR THE AGRICULTURAL COMMUNITY. THE LIFE CYCLE OF WATER IS THE HEART OF THE QUEEN CREEK COMMUNITY AND THE BEGINNINGS OF ITS AGRICULTURAL LEGACY.

## KEY MAP



# **QC COMMONS**

Commercial Center

## SITE PLAN NARRATIVE

CASE NUMBER: \_\_\_\_\_

1<sup>ST</sup> SUBMITTAL: August 28, 2019

NORTHEAST CORNER OF ELLSWORTH ROAD & RIGGS ROAD  
QUEEN CREEK, ARIZONA



# QC Commons

## SITE PLAN NARRATIVE

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## **A. INTRODUCTION**

Riggs Ellsworth 40 LLC / JMN Riggs 40 LLC, in association with Fry's Food Stores, is pleased to submit a Major Site Plan request for approximately 19.6 acres of its 40-acre property at the northeast corner of Ellsworth Road and Riggs Road (a portion of APN#304-91-003E). This request is for the approval of a Commercial Major Site Plan to accommodate the development of a neighborhood commercial retail shopping center anchored by Fry's Marketplace. While the property is currently within the jurisdiction of Maricopa County, it is within the Town of Queen Creek's Municipal Planning Area and a formal annexation (P19-0044) and rezoning request (P16-0041) are currently being processed and will be required to be approved by Town Council prior to any Planning Commission action on this Site Plan request.

This narrative provides a comprehensive overview of the proposed QC COMMONS commercial center, including zoning and general plan conformance, existing conditions, site plan specifics, building architecture, public facilities, utilities and infrastructure, and how the project's site plan will meet Town of Queen Creek Non-Residential Standards.

### **1. SITE PLAN REQUEST**

This Site Plan application seeks approval for an approximately 19.6-acre commercial center that is consistent with Town of Queen Creek C-2 Commercial zoning.

### **2. OTHER CONCURRENT APPLICATIONS**

This request is supported by other concurrent applications, as follows:

- Annexation Application (40 acres) (P19-0044)
- Pre-Annexation Development Agreement (40 acres)
- Rezoning from Maricopa County R1-35/C-1 to Town of Queen Creek C-2 (19.6 acres) (P16-0041)
- Conditional Use Permit – Fueling Station (In-Vehicle Services)
- Preliminary Plat (4 commercial parcels + 1 future residential parcel)
- Final Plat (4 commercial parcels) (application to follow)
- Comprehensive Sign Plan for Commercial Center (application to follow)

## B. DEVELOPMENT TEAM

<i>OWNER:</i>	Riggs Ellsworth 40 LLC/JMN Riggs 40 LLC	Michael Nothum, Jr. <a href="mailto:Mike@landworksaz.com">Mike@landworksaz.com</a>
<i>DEVELOPER:</i>	Fry's Food Stores	Dennis Barr <a href="mailto:Dennis.barr@frysfood.com">Dennis.barr@frysfood.com</a> Carlos Torres <a href="mailto:carlos.torres@kroger.com">carlos.torres@kroger.com</a>
LAND PLANNER:	Norris Design 901 East Madison Street Phoenix, Arizona 85034 (602) 254-9600	Alan Beaudoin <a href="mailto:abeaudoin@norris-design.com">abeaudoin@norris-design.com</a>
ARCHITECTS:	Suite 6 Architecture + Planning, Inc. 6111 North Cattletrack Road Scottsdale, Arizona 85250 (480) 348-7800	Dean Munkachy, AIA, LED AP <a href="mailto:Dean@suite6.net">Dean@suite6.net</a>
CIVIL ENGINEER COMMERCIAL:	SEG Sustainability Engineering Group 8280 E. Gelding Dr. Ste. 101 Scottsdale, Arizona 85260 (480) 516-5514	Ali Fakh <a href="mailto:Ali@azseg.com">Ali@azseg.com</a>
TRAFFIC ENGINEER:	CIV TECH, INC. 10605 N. Hayden Rd. Ste. 140 Scottsdale, Arizona 85260 (480) 659-4250	Dawn Cartier <a href="mailto:dcartier@civtech.com">dcartier@civtech.com</a>

## C. PROJECT DESCRIPTION

### 1. SITE PLAN OVERVIEW

The proposed 19.6-acre commercial center is located at the northeast corner of Ellsworth Road and Riggs Road in the Town of Queen Creek. The commercial center will be divided into four (4) parcels and is planned to accommodate approximately 163,520 square feet of retail and restaurant space in nine buildings, which will cover approximately twenty percent (20%) of the site area of the commercial center. The overall commercial intensity for QC COMMONS is planned at a 0.2 Floor Area Ratio. The mix and type of retailers and restaurants has not been finalized, but the retail center will be anchored by a grocery store (Fry's Marketplace and Pharmacy) and is planned to include a collection of local retail shops and services, restaurant pads, and a fueling station. The ultimate mix of retailers is dependent on evolving market conditions.

Although the site plan includes multiple buildings, architecture will be used as the unifying element, creating a cohesive theme for the entire QC COMMONS development. The overall architectural scheme respects the rustic, historic and indigenous materials of the area, interpreted to a modern marketplace environment. The landscape theme will complement the architectural character of the buildings and provide softness to the parking and building occupied spaces, as well as visual pops of color. Landscape buffers along the perimeter and required screening of parking and site/building features have been incorporated into the site plan. A total of 22% open space/landscaped area has been provided.

Vehicular access will be provided via Riggs Road on the south and Ellsworth Road on the west, with multiple access points along both of these major roadways. Parking within the center will meet Town Code requirements and provide easy, direct access to all buildings. Pedestrian circulation internal to the site will be accommodated through the use of sidewalks, shaded arcades in front of buildings, and demarcated pedestrian crossing of drive aisles. The internal pedestrian network will connect to the sidewalk along Riggs Road and the sidewalk and multi-use trail located adjacent to Ellsworth Road.

Development of the QC COMMONS property is anticipated to occur in one phase, with start of construction in first quarter of 2020. Completion of construction of the major tenant building and retail shops is anticipated in Spring 2021, while some of the pad uses may lag slightly behind the retail center opening date.

Although not part of this application, it is noted that the remainder of the 40-acre property owned by the Applicant is planned for an approximately 16.7-acre residential community. This community will be located along the north and east sides of the subject property and will complement and support the businesses within the commercial center. The residential portion of the property is anticipated to be rezoned at a future date.



## D. EXISTING ZONING & SURROUNDING USES

The Applicant has inventoried and studied the properties surrounding the subject property to understand the existing uses, property ownership, and future designated land uses.

### 1. EXISTING ZONING AND LAND USE DESIGNATION

The property is currently the subject of an annexation request (P19-0044) and rezoning application (P16-0041) which will, when approved, change the zoning category from Maricopa County C-1 & R1-43 to Town of Queen Creek C-2 General Commercial. This site plan application is consistent with the C-2 zoning district regulations and meets the intent of the General Plan land use designation of Commercial.

### 2. SURROUNDING LAND USES AND PROPERTY OWNERSHIP

The subject property is surrounded by commercial and residential zoned property slated for future development. The majority of surrounding land is currently vacant or being used for agricultural uses. More specifically, the subject property is surrounded by the following accessor parcel numbers, landowners, zoning, and land uses:

#### ADJACENT AND SURROUNDING PROPERTIES

Direction	APN	Owner	Zoning	Existing Use
<i>North</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN Riggs 40 LLC	R1-35	Vacant land
	304-91-987	Arizona Thoroughbred Training Center Inc	RU-43	Vacant land
<i>Northeast</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN Riggs 40 LLC	R1-35	Vacant land
<i>East</i>	304-91-003E	Riggs Ellsworth 40 LLC/JMN 40 LLC	R1-35	Vacant land
	304-91-986	Arizona State Trust Land (Barnes Farm LLC Agricultural Lease 1-0115)	RU-43	Agriculture
<i>Southeast</i>	304-94-979	Town of Queen Creek	R1-43	South half of Riggs Rd. Right-of-Way and Sonoqui Wash
<i>South</i>	304-91-799A	Town of Queen Creek	R1-43	South half of Riggs Road Right-of-way and Sonoqui Wash
<i>Southwest</i>	304-93-499B	Town of Queen Creek Toll Brothers	R1-35 R1-12 PAD	Sonoqui Wash Ranchos Legante
<i>West</i>	304-93-967 and 304-93-968	Houser Holdings AZ LLC and Riggs & Ellsworth NW LLC	C-2	Tractor Supply Company and vacant land planned for Pecan Plaza
<i>Northwest</i>	304-91-102G and 304-91-011S	Meyer Ranch LLC	C-2	Desert Mountain Equine

## E. EXISTING SITE CONDITIONS

The 19.6-acre property represents a portion of the approximately 40-acre parcel (Assessor Parcel # 304-91-003D) owned by the Applicant and is characterized and influenced by the following conditions.

### 1. SITE CONDITIONS & LOCATION

The property is currently vacant and partially leased for agricultural operations and production. A portion of the property has been also recently utilized for cattle grazing. The subject property is predominantly surrounded by agricultural uses and vacant land.

The Orchards Ranchettes, within the Town of Queen Creek, is an existing single-family neighborhood to the south and southeast of the property, south of Riggs Road and the adjacent Sonoqui Wash. This community has been developed under R1-35 zoning and maintains an average lot size of 35,000 square feet. An existing un-named single-family residential subdivision, within the jurisdiction of Maricopa County, is located to the northeast of the property. This community has been developed under RU-43 zoning and maintains an average lot size greater than 51,000 square feet. This community does not share a boundary with the subject property and will be further buffered from the commercial center by the future residential development proposed for the remaining 16.7 acres of the 40-acre parcel currently owned by the Applicant.

Bordering the property to the west is Ellsworth Road, a fully-improved 7-lane arterial (including six lanes for vehicular travel and a raised median). Bordering the property to the south is Riggs Road, which is partially improved but not yet open to traffic. As of this writing, Riggs Road roadway construction project TT251 (Maricopa County/Town of Queen Creek) is nearly complete, improving the north half of Riggs Road between Ellsworth Road and Meridian. At the Ellsworth Road intersection, the roadway has been constructed to the ultimate, seven-lane, cross section. Eventually, the south half street will be constructed to improve Riggs Road to its full width as a 7-lane arterial roadway. All vehicular access to the property will be from Riggs Road and Ellsworth Road.

### 2. OPPORTUNITIES AND CONSTRAINTS

The subject property anticipates numerous opportunities for success but must also overcome some constraints. These influences have shaped this development proposal.

#### Opportunities

The subject property has several development advantages. At the geographic center of the Town of Queen Creek Municipal Planning Area, the property is located within immediate access to existing and planned infrastructure. Ellsworth Road, one of the most dominant of Queen Creek's north/south arterial roadways, is fully improved to principal arterial standards with both water and wastewater services available to fully support the development of the subject property. Riggs Road, a road of regional significance, will soon be open to traffic providing connectivity between Ellsworth Road and Rittenhouse Road. With the extension of Riggs Road, and with water and wastewater services installed as part of the public works project, the subject property will be fully supported with roadway infrastructure and wet utility capacity. In addition, the projected

populations and job growth expected for the Town of Queen Creek make the subject property prime for commercial use. To the south of the subject property, immediately south of Riggs Road, the Sonoqui Wash has been extended to the east of Ellsworth Road to promote the interception of the area watershed as necessary to manage the flows.

#### Constraints

The subject property has few constraints for land use, development, and economic development. As noted above, the subject property is influenced by regional drainage patterns affiliated with the San Tan Valley watershed. Off-site stormwater runoff is influential to the development of the property and must be properly managed as a part of the planning and development of the land uses. Additionally, the agricultural production affiliated with the current use of the property must be properly managed to phase out the former use and to phase out irrigation supply and tail-water facilities.

### **F. GENERAL PLAN CONFORMANCE**

Although currently within the jurisdiction of Maricopa County, the subject property falls within the Town of Queen Creek's Municipal Planning Area. The current 2018 Town of Queen Creek General Plan land use designation for the property is predominantly Commercial, with approximately one acre of Neighborhood. The commercial center property is currently the subject of an Annexation request and Rezone application, which when approved will designate the property C-2 General Commercial zoning within the Town of Queen Creek. The C-2 zoning designation is consistent with the Town's General Plan land use designation of Commercial. The Commercial land use district is characterized by conventional suburban shopping centers, building facades and entries associated with site/internal circulation rather than street frontage, auto-oriented development with safe and comfortable pedestrian routes and streetscapes, and adequate transition areas adjacent to residential land uses. The proposed Site Plan is in conformance with the existing General Plan designation of Commercial.

### **G. SITE PLAN CONFORMANCE TO NON-RESIDENTIAL DESIGN STANDARDS**

In response to the Town of Queen Creek Design Standards ("Standards"), the architectural design for QC COMMONS takes its cues from the historic agricultural character which was dominant in the past and still has some presence to this day. Integral to the design character is a desire to meet the stated goal to "create a small town appearance and to be pedestrian friendly" through inclusion of spatial considerations, details, and materials. The Standards suggest desirable features such as simple, multi-planed pitched roofs, large overhangs, varied color and materials, arcades, and offset wall planes. Included in the list of desirable materials are: brick (block), metal accents, and stucco finishes.

The architectural cues suggested in the Guidelines have taken root in the project design as key considerations for massing and fenestration design to create variety and interest. Repeated roof forms at the major tenant and shops recall the framing of a large agricultural shelter or hayloft, with deep-set overhangs to shade and shelter the ingress points and connecting walkways. Similarly, the gently modulated roof of the shops reference rows of greenhouses or stables. The metal arcade-trellis provides an understory of perforated metal shade for the western exposure. Mass elements are

defined by building offsets and changes in height, accenting the sense of buildings built in phases and added to over time. The arcades will also be generous in area to accommodate outdoor dining and other tenant related activity at the end caps and mid-portions of the shops.

The QC COMMONS commercial center will meet the objectives of the Non-Residential Standards outlined in the Town of Queen Creek Design Standards, as written below:

1. To ensure successful integration of the safe, well-designed and attractive non- residential development into the community;
2. To protect the character of existing nearby neighborhoods;
3. To promote compatibility between non-residential development and adjacent residential uses;
4. To enhance the quality of nonresidential development in the Town;
5. Encourage long-term business success; and,
6. Ensure walkability within the project and connections to adjacent developments.

The following discussion will summarize elements of the QC COMMONS site plan and how the proposed design will aid in enhancing and maintaining the quality of the Queen Creek community.

### **1. Site Layout**

QC COMMONS is planned as a commercial center that will provide approximately 163,520 square feet of retail space. The site has been organized into two shopping zones, a major Fry's Marketplace Grocery and adjacent multi-tenant shop buildings and pads, both primarily faced toward Ellsworth Road. For ease of user orientation and identity, outlying buildings break up the site into a village with smaller pockets of parking, each cluster serving a specific group of users. Drive-up uses are anticipated, and care has been taken to put transaction windows in discreet locations. The shops are organized around a connecting central breezeway/courtyard, with a distinctive overhead shade connection. The use of these unique, and varied roof features at the common areas create continuity, encourage human interaction and add visual interest. The center will include a total of nine (9) buildings and will be divided into a total of four (4) commercial parcels. A brief description of each parcel follows:

Parcel 1 is home to Fry's Marketplace, a 126,000 SF building that anchors the commercial center. The parcel is approximately 11.1 acres in size and is the largest parcel within QC COMMONS. The Fry's Marketplace building is oriented to face Ellsworth Road (to the west) with ample parking in front of the building and multiple pedestrian connections to the building entrances. The back-of-house operations, including loading dock and screened trash compactor, are located on the east side of the building and are screened by a landscape buffer and property wall. The south side of the building will provide additional parking, a pharmacy pick-up window, and spaces for customers to wait in their cars while online orders are brought to them. The north side of the building provides a single screened loading area and additional parking. Adequate landscaping setbacks per Queen Creek code are provided around the building, including a minimum fifteen foot (15') landscape buffer between the north and east access drives and the property wall.

Parcel 2 will consist of approximately 1.24 acres and will be home to the Fry's Marketplace fueling station. As described in the accompanying application for a Conditional Use Permit (In-Vehicle

Service), the fuel station will be home to ten pumps (20 fuel dispensers) and a 960 square foot convenience store/kiosk. Adequate parking, landscaping, and ingress/egress is provided and is described further in the conditional use permit application.

Parcel 3, located on the north end of the center, is approximately 5.0 acres and will include two shops buildings (8,700 SF and 8,100 SF respectively) and two pads (7,360 SF and 3,300 SF respectively). The main buildings (Shops A and B) are oriented toward Ellsworth Road with vehicular circulation and landscape buffer in the rear. Vehicular access to the parcel is provided at a right-in, right-out driveway on Ellsworth Road and from the shopping center's internal central drive. Parking provided within Parcel 3 is adequate to support the proposed uses and pedestrian connectivity provides access to all shops and pads within the commercial center. Where pedestrians will be required to cross drive aisles, special pavement treatments will be utilized to promote safety and add visual appeal. Building setbacks and landscape buffers will meet or exceed Queen Creek standards.

Parcel 4, which is approximately 2.3 acres in size, is located at the southwest corner of the commercial center and will include three pads (3,200 SF, 2,400 SF, and 3,500 SF each). The parcel is easily accessed from a right-in, right-out drive on Riggs Road and a similar drive on Ellsworth Road. All Queen Creek building and landscape setbacks and standards will be met and will provide for a sense of arrival and prominence at the significant corner of Ellsworth Road and Riggs Road.

QC COMMONS meets the following Town design guidelines for site layout:

- a) Ensures that all elevations facing a public street, or which are adjacent to residential uses/zoning, do not use metal or corrugated metal as a primary material.
- b) Incorporates a variety of massing and building heights and stepping roof lines.
- c) Employs appropriate setbacks, heights and scale where adjacent to planned residential.
- d) Locates several buildings on pads located close to arterial streets to create a strong sense of place.
- e) Locates drive-through uses away from residential uses.
- f) Incorporates trees and other shade structures on pedestrian walkways.
- g) Attempts to mitigate the "heat island" effect by increasing shade throughout parking lots through the use of planter islands.
- h) Utilizes alternative paving at entries as a focal point and to enhance the arrival experience.
- i) Incorporates landscape transitions and buffers adjacent to adjoining properties.
- j) Avoids monotony and includes variations in texture, lines and massing.

## **2. Streetscape**

Ellsworth Road and Riggs Road may become one of the most travelled intersections in Queen Creek. The Fry's Marketplace, its fuel center, and the adjacent shops and future pad buildings have been designed to provide a unique offering that generates excitement and adds to the Town's character and small town charm. Building design and architecture, coupled with ample landscaping along all streetscapes, will exude quality and attract shoppers from around the region.

Fry's Marketplace, the major tenant, will feature highly articulated materials along all pedestrian areas. This includes integral-colored block in various textures, scales and colors to break the façade into discernible components. Suspended steel canopies at the café seating and main entries are simply detailed and presented in natural finishes. Between the main entries, a raised steel arcade will shelter the outdoor sales area in similar fashion. This area will also feature rolling, open steel shutters for after-hours security. Simple horizontal banding of block and metal wall accents are predominant on the non-public sides of the structure.

Similarly, at the shops and pads, pedestrian zones feature the greatest variety of scale and material changes including glass storefronts, stucco, integral-colored block and cement board. These material changes are then overlaid with the articulated metal shade/arcade element which wraps the structures and ties together the overall scheme.

All buildings will feature a discreet palette of materials, consistent with the simplicity and utility of an agricultural shelter or rural home. The dominant materials will include integral colored block in various textures, integral colored cement board applied as a rain-screen, stucco (in limited areas, as an accent), concrete, metal structural frame (in natural finishes such as clear coat or galvanized) and metal decking (both solid and perforated). Storefront systems will utilize clear glazing and dark bronze metal framing, interrupted by brick or steel neutral piers.

The identity of QC COMMONS will be established and reinforced using thematic building, hardscape, and landscape components. Monumentation and walls will respond to the Town of Queen Creek standards and the property context by utilizing forms and materials organized into pleasant and harmonic compositions. The proposed design style will incorporate simple forms and materials reminiscent of rural Arizona while blending in modern elements that create a timeless design style.

In keeping with the non-residential design standards, the commercial center:

- a) Ensures that street furniture, where provided, is compatible with surrounding buildings and the general area.
- b) Provides safe vehicular, bicycle, and pedestrian travel within the development.
- c) Provides shade for pedestrian connections and customer entrances through the use of thoughtfully designed awnings.
- d) Includes accessible walkways that connect throughout the site.
- e) Utilizes potted plants and/or seating in areas between buildings and breezeways.
- f) Includes pedestrian and bicycle accessibility to all adjacent streets through the use of sidewalks and trails.
- g) Clearly delineates pedestrian connections throughout the site to avoid vehicle/pedestrian conflicts.
- h) Provides functional shade for pedestrian walkways adjacent to buildings through the use of awnings and tree placement.
- i) Utilizes a mix of building architectural design and materials.
- j) Provides a color palette that is compatible with current and future structures in the area.
- k) Utilizes windows that complement the architectural style of the buildings and utilize visually prominent framing and other character elements.

- l) Ensures that all street-side elevations and elevations where pedestrian access is provided contributes to visual interest.
- m) Provides for roof materials and designs that add visual interest and meet Queen Creek design guidelines.
- n) Includes design elements which emphasize the main entrances to each proposed building.

### **3. Open Space**

The project meets Town of Queen Creek open space standards by providing approximately 189,535 SF (22% of the site area). In support of Queen Creek design standards, the center utilizes open space to create a sense of place while providing shade and visual beauty for those who visit the commercial center.

The landscape design is an integral component to making QC Commons a desirable and successful project. Landscaping will complement the building architecture, provide desirable pedestrian environments, and break up building massing to create a pleasant visual experience. Shade trees along pedestrian pathways and in parking lot medians will provide relief from the summer heat, while landscaped setbacks at the property perimeters soften the visual impact of the development.

The proposed landscaping for the subject property will consist of drought tolerant plant materials that are in compliance with the Town of Queen Creek's Zoning Ordinance standards. Areas to be landscaped include landscape setbacks along Riggs and Ellsworth Roads, parking area medians, perimeter buffers, retention areas, and on individual pads.

### **4. Access and Circulation**

The proposed circulation system for QC COMMONS is designed to offer multiple choices for mobility, including vehicular, bicycle, and pedestrian facilities. The design principles and facilities for each mobility type are discussed below.

#### Vehicular

A Traffic Impact Analysis (TIA) for the subject property, including the additional approximately 16.7 acres of Assessor Parcel #304-91-003E currently owned by the Applicant and planned for future residential, has been prepared by CivTech. The specific objectives of the TIA are to evaluate land use, background traffic, and projected traffic to determine the impacts on intersections within the vicinity of the subject property as well as driveway locations affiliated with the proposed land use. The TIA determines future levels of service for all major intersections affected and evaluated and provides findings affiliated with the need for future traffic control changes. The TIA, and the findings contained within, is provided under separate cover.

The subject property currently has no developed roadways, however, there are multiple unpaved maintenance vehicle and access way points associated with the current agricultural uses of the property.

#### *Arterial Roadways:*

The QC COMMONS property is adjacent to two arterial roadways, Ellsworth Road to the west and the nearly complete half-street extension of Riggs Road to the south. Both roadways are planned principal arterial roadways as defined by the Town of Queen Creek General Plan. While Ellsworth Road has been constructed to a full build-out configuration, Riggs Road will be improved in two phases with the north half anticipated to open to traffic in Summer 2019 and the south half being improved at a later, undefined, date.

#### *Local Access:*

Access to the commercial center will be managed on the two adjacent arterial roadways. As shown on the Site Plan, it is anticipated that there will be three access points along Ellsworth Road, one full movement access approximately 660 feet from the Ellsworth Road and Riggs Road intersection and two additional driveways with right-in/right-out access. On Riggs Road, it is anticipated that there will also be three access points, two full movement access drives and one right-in/right-out access. The proposed number of access drives and their locations will provide sufficient and efficient vehicular access to the commercial center.

#### Bicycle

QC COMMONS has been designed to accommodate recreational and multi-modal transportation opportunities, including the development of bicycle facilities with expectation for connectivity to Town bicycle lane facilities.

#### Pedestrian

Pedestrian movement and walkability are important components of the overall site design and building orientation to encourage safe and attractive pathways to, from and throughout the center. Seven connecting sidewalks (two on Riggs Road and five on Ellsworth Road) invite visitors to enter from the project perimeter and follow shaded, landscaped passages which connect pad buildings to the main buildings situated at the east end of the property. Here, a variety of high and low pitched roofs and trellises form an open air arcade along the shop fronts and major tenant entry. A major focal area framed by Shops A and B will feature a public art component, seat walls, unique plantings and additional shade trees to create a cooling environment. This focal area is located near a major drive and can be appreciated for its visual contribution as well.

In keeping with Town of Queen Creek Non-Residential Design Standards, QC COMMONS:

- a) Utilizes shared driveways to reduce the number of ingress and egress points.
- b) Utilizes alternative paving to promote safe pedestrian and bicycle access.
- c) Allows for adequate stacking for drive-through uses.
- d) Locates corrals for shopping carts adjacent to landscape islands and ensures that they match the architectural and material palette of the primary building.

### **5. Utilities and Mechanical Equipment**

As required by the Town of Queen Creek Non-Residential Design Standards, all mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, or roof mounted, are screened and designed to appear as an integral part of



the buildings. All rooftop mechanical equipment screening shall comply with the current Town of Queen Creek code.

## **6. Signage**

We will be seeking a Comprehensive Sign Plan with identity elements and multi-tenant installations that are unique to the project and complementary to the design as a whole. Proposed freestanding signage elements are identified on the Site Plan, with design to follow in a separate submittal.

## **7. Screening / Storage / Loading Areas / Trash Enclosures**

Parking lots will be screened from the right-of-way with architecturally compatible walls in combination with landscaping which complement the overall theme. Service and trash areas are located behind or adjacent to the primary buildings in architecturally compatible enclosures with metal gates. These areas have been thoughtfully incorporated into the project as follows:

- a) Outdoor storage and trash enclosures will complement the architectural and material palette of the primary buildings.
- b) Where possible, loading areas and trash enclosures are located away from single family residential uses, main thoroughfares, and site entrances and screened from view using walls and/or landscape. The Fry's Marketplace trash compactor is effectively screened from the future, proposed residential use to the east.
- c) Trash enclosures are easily accessible by the tenants who will need access to them.

## **8. Donation or Recycling Drop-off Boxes**

No donation or recycling drop-off boxes are envisioned for the center. If they are ever added in the future, they will comply with Town of Queen Creek Non-Residential Design Standards.

## **9. Public Art**

In order to meet Town of Queen Creek standards and provide for an aesthetically interesting design element, the commercial center will feature a piece of public art located in the central breezeway/courtyard located between Shops A and B and at the terminus of the northern most vehicular entrance off Ellsworth Road. This art will:

- a) Celebrate the agricultural character of the Town of Queen Creek through modern interpretation.
- b) Be located in a major focal and gathering area within QC COMMONS so that it is in public view and accessible to pedestrians.
- c) Not impede pedestrian travel within the site.

## **10. Additional Requirements**

Beyond the above Non-Residential Design Standards, the following additional requirements for all commercial uses will be met as well:

1. Buildings detached from the main commercial development within the same commercial center (pad buildings) shall be designed in a complimentary architectural style, and incorporate the same materials, colors and landscaping as the host development.

*Response: All pad buildings will come in for their own design review approvals. They will be designed in a complementary architectural style and incorporate the same materials, colors and landscaping as the host development where allowed to do so by their corporate owners or franchisors. It is the intent to allow flexibility with encouragement for staying true to the basic design idiom.*

2. The use of standardized “corporate” architectural styles associated with chain type restaurants, convenience store and / or automobile service stations are prohibited. Applicants should be encouraged to incorporate local elements to compliment the “corporate” style.

*Response: Each building proposed now or in the future will incorporate local elements and will be complementary to the center as a whole. It is anticipated that such architectural design will compliment the “corporate” style without displacing the owner’s brand identity and thus confuse potential customers.*

3. Placement of structures should consider the existing built context, the location of incompatible land uses, the location of major traffic generators as well as an analysis of a site’s characteristics, particular influences and design goals embodied by the Town.

*Response: This area of Queen Creek is just beginning to develop. There are few built structures and no incompatible land uses in the vicinity. Given that the intersection of Ellsworth Road and Riggs Road is projected to be one of the busiest in Queen Creek, the site is expected to enjoy exceptional customer traffic. The structures have been oriented to conveniently serve Queen Creek residents while providing for pleasing aesthetics.*

4. Structures shall be designed in a manner that will complement the adjacent structures. Sites shall be developed in a coordinated manner to provide order and diversity and avoid a jumbled, confused development.

*Response: There are no adjacent structures to the property. The overall design of the commercial center has been designed to in a cohesive and organized manner with efficient access and circulation.*

5. Whenever possible, new structures should be clustered. This creates plazas or gathering spaces and prevents long “barrack-like” rows of structures. When clustering is impractical, a visual link between separate structures should be established. This link can be accomplished through the use of an arcade system, trellis or other open structure.

*Response: The shops buildings in Parcel 3 have been clustered, as have the pads in Parcel 4. The complementary architecture, sidewalks, and landscaping of the site will provide visual links to integrate and tie the site together.*

6. Locate structures and on-site circulation systems to minimize pedestrian/vehicle conflicts and not create new ones where possible. Link structures to the public sidewalk where possible with textured paving, landscaping, and trellises.

*Response: As described above, buildings have been clustered where practical. The pedestrian network of sidewalks is comprehensive, efficient and promotes safety. Connectivity to the adjacent arterial roadway sidewalks and multi-use trail is provided.*

7. Recognize the importance of spaces between structures as “outdoor rooms” that are the public realm. Outdoor spaces should have clear, recognizable shapes that reflect careful planning and are not simply “after thought” areas between structures.

*Response: An “outdoor room” concept is proposed between the two shops buildings in Parcel 3. An arcade/awning structure will provide shade for an inviting user experience.*

8. Loading facilities shall not be located at the front of the structure where it is difficult to adequately screen them from public view.

*Response: Loading facilities are not located in front of the structures.*

## H. PUBLIC FACILITIES, UTILITIES & INFRASTRUCTURE

### 1. PRELIMINARY DRAINAGE CONCEPT

According to the current FEMA Flood Insurance Rate Maps, as defined by the Flood Insurance Rate Map (FIRM) for Maricopa County, Arizona, and incorporated areas, Community number 040037, Panel number 3135 of 4425, as shown on Map Number 04013C3135L dated October 16, 2013, QC COMMONS is designated as Zone “X” Shaded. As such, it is determined to be outside the 100-year flood hazard zone. The land is generally flat, sloping from east to west at less than one percent. There are no significant onsite drainage facilities currently present within the property.

The area to the east of the site generally falls westerly at a very mild slope (less than one half of one percent), while drainage along Ellsworth Road to the west is conveyed via scuppers along the easterly curb line to an existing roadside ditch paralleling the road that provides retention and has an existing area inlet drain and 24” RCP culvert. The goal of the regional drainage solution is to provide ultimate outflow to the historical discharge point at the Sonoqui Wash, located south of QC COMMONS.

Grading of the site will direct runoff overland within the site to catch basins that will collect and convey the storm water via an underground storm system to underground retention basins. Curb cuts may be used to direct the runoff to open retention basins. Additional retention may include surface retention in the pavement areas as required. Please refer to the Preliminary Master Drainage Report prepared by Sustainability Engineering Group, submitted under separate cover, for additional information.

### 2. PRELIMINARY WATER SYSTEMS PLAN

Water for the QC COMMONS property will be provided by the Town of Queen Creek. Town of Queen Creek does not utilize specific zone designations for this area.

A. Existing Water Service Conditions

Existing water infrastructure immediately adjacent to the QC COMMONS property includes a 12-inch potable water main in Ellsworth Road and, per information provided by Town Utilities Staff, a 16-inch water main was installed within Riggs Road in advance of the roadway construction project (TT251).

B. Preliminary Water Plan

The on-site water infrastructure for QC COMMONS will consist of a network of 8-inch water service mains looping the internal development with 6-inch fire hydrant leads. Water meter services will be established along the arterial roadway rights-of-way along both roadways for service to each of the four planned subdivided parcels. Planned service extensions to the commercial center are anticipated to include 1-inch to 3-inch service taps from the new 8-inch public on-site water mains. Service will be provided to each parcel. Adequate water is available to support the domestic and fire flow requirements for this project. Please refer to the Preliminary Water Capacity Report prepared by Sustainability Engineering Group, submitted under separate cover, for additional information.

### 3. PRELIMINARY WASTEWATER PLAN

Wastewater service for the QC COMMONS property will be provided by the Town of Queen Creek.

A. Existing Sewer Service Conditions

A 24-inch sewer main exists along the Ellsworth Road frontage of the property. An existing 8-inch stub is provided to the site which ties into an existing manhole located approximately 350 feet north of the southwest property corner. Per the Town's sewer master plan, an 18-inch sewer line has been constructed along the Riggs Road frontage of the subject property as part of the recent Riggs Road improvements.

B. Preliminary Sewer Plan

The on-site wastewater infrastructure for QC COMMONS will consist of 8-inch public sewer main(s) and 4-inch and/or 6-inch service stubs to each of the divided properties with connectivity to either the existing 24-inch sewer main in Ellsworth Road or the 18-inch sewer main in Riggs Road. The on-site proposed 8-inch diameter sanitary sewer pipe at  $s=0.52\%$  ( $n=0.013$ ) has a flow capacity at 70% full of approximately 465,349 gpd, providing adequate capacity for the on-site system. Please refer to the Sewer Capacity Report prepared by Sustainability Engineering Group, submitted under separate cover, for additional information.

### 4. SUMMARY OF DRY UTILITIES

All major dry utilities are available at the site to service QC COMMONS. Utility providers are as follows:

Electric: SRP

Electric is available along Ellsworth Road. Refer to SRP plan UG YG-28-16.

Communications:

- Cox – A fiber vault is located at the southwest corner of the site, fed from the south. No additional service is indicated in front of the site.
- Century Link – Multiple buried cables are located on the westerly side of Ellsworth Road.

Gas: Southwest Gas Corporation

A 6-inch encased PE main is located approximately 60 feet east of the Ellsworth Road centerline.

## 5. EMERGENCY RESPONSE FACILITIES

### A. Fire

Fire service for the subject property will likely be provided by Queen Creek Fire Stations #411 & #412. Station #411 is located approximately 1.5 miles north of the property along Ellsworth Loop. Station #412 is located approximately two miles west of the property on Sossaman Road north of Riggs Road. It is anticipated service could be provided within three minutes from each of these locations.

### B. Police

Public safety service in Queen Creek is contracted through the Maricopa County Sheriff's Office. Police service for the subject property will likely be provided from the MCSO Queen Creek Substation located at 22308 S. Ellsworth Road just two miles north of the property. Service response is based on patrol routes and schedules as administered by the department.

## 6. SCHOOLS

The subject property is within the Queen Creek Unified School District. The property taxes generated by the project will support area schools and contribute to the District's ability to meet the needs of existing and future students.

## I. CONCLUSION

Riggs Ellsworth 40 LLC / JMN Riggs 40 LLC, in association with Fry's Food Stores, is pleased to submit a Major Site Plan request for QC Commons. The Fry's Marketplace, its fuel center, and the adjacent shops and future pad buildings have been designed to provide a unique offering that generates excitement and adds to the Town's character and small town charm. Building design and architecture, coupled with an inviting landscape palette, will exude quality and attract shoppers to QC Commons from around the region.

