



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THRU: Brett Burningham, Development Services Director

FROM: Kyle Barichello, Senior Planner

RE: **Public Hearing and Possible Action on P19-0186 MADERA WEST ESTATES PAD AMENDMENT**, Request for a PAD amendment to Ordinance 553-14 to rezone from R1-9/PAD to R1-9/PAD and R1-7/PAD for a 219 lot future residential development, located at the Southwest corner of Queen Creek Road and 220th Street.

DATE: January 8, 2020

STAFF RECOMMENDATION

Staff recommends approval of P19-0186 MADERA WEST ESTATES PAD AMENDMENT, subject to the Conditions of Approval included in this report.

PROPOSED MOTION

Move to approve P19-0186 MADERA WEST ESTATES PAD AMENDMENT, subject to the Conditions of Approval included in this report.

RELEVANT COUNCIL GOAL(S)



Secure Future

SUMMARY

The proposal consists of a request for a PAD amendment to Ordinance 553-14 to rezone from R1-9/PAD to R1-9/PAD and R1-7/PAD for a 219 lot future residential development, located at the southwest corner of Queen Creek Road and 220th St. The subject property is approximately 77.27 acres in size.

HISTORY

- September 19, 2007: Town Council approved Barney Park Estates (RZ06-122), an R1-18 zoning district and preliminary plat for a 113-lot residential subdivision.
- October 7, 2009: Town Council approved a modification to the Barney Park Estates preliminary plat to allow the residential subdivision to be built in three (3) phases and for approval of a fence plan.
- August 6th, 2014: Town Council approved a PAD amendment RZ13-045 (Ordinance 553-14) to rezone from R1-18 to R1-9/PAD and approval of a Preliminary Plat for a 156-lot residential subdivision

PROJECT INFORMATION

Madera West Estates Proposed Project Information	
Project Name	Madera West Estates
Site Location	Southwest corner of Queen Creek Road and Merrill Road (220 th Street)
Current Zoning	R1-9/PAD
Proposed Zoning	R1-9/PAD and R1-7/PAD
General Plan Designation	Neighborhood
Surrounding Zoning:	
North	Queen Creek Road and EMP-B (solar facility)
South	R1-15 (Crismon Heights)
East	RU-43 (Anglin Dairy and County lots)
West	R1-7/PAD (Light Sky Ranch) and R1-43 (Crismon Ranch Estates)
Gross Acreage	+/-80 Acres
Total Lots/Units	219
Proposed Density	2.99 dwelling units per acre
Open Space Acreage:	
Required	20%
Provided	22.68%
Minimum Lot Width	R1-9/PAD: 80 feet R1-7/PAD: 60 feet
Minimum Lot Depth	R1-9/PAD: 150 feet R1-7/PAD: 125 feet
Minimum Lot Area	R1-9/PAD: 12,000 square feet R1-7/PAD: 7,500 square feet
Front Yard Setback	R1-7/PAD: 20 feet / 10 feet for side-entry garages, living area, and covered front porches

	R1-9/PAD: 20 feet / 15 feet for side-entry garages, living area, and covered front porches
Rear Yard Setback	25 feet
Side Yard Setback	5 Minimum / 15 feet total
Lot Coverage	40%; 45% with a front porch

DISCUSSION

The subject property was originally approved as Barney Park Estates in 2007 as an R1-18 zoned subdivision. In 2014, case RZ13-045 rezoned the property to an R1-9/PAD designation and adopted a new corresponding preliminary plat. Remaining named as Barney Park Estates, the approved preliminary plat proposed 156 lots with a typical size of 90-foot wide by 152-foot deep (13,680 square feet) and 80-foot wide by 152-foot deep (12,160 square feet) with an average lot size of 12,500 sq. ft.. The current approved density of the subdivision is 2.1 dwelling units per acre.

Communities Southwest has submitted an application that proposes to amend the existing Barney Park Estates PAD to accomplish the following:

- Change the project name from “Barney Park Estates” to “Madera West Estates”
- Amend the zoning classification and land plan from R1-9 PAD to R1-9/PAD & R1-7/PAD
- Revise the lot development standards and increase the number of lots from 156 to 219 lots (addition of 63 lots)
- Increase the net density from 2.1 du/ac to 2.99 du/ac

Current phasing as depicted by the attached phasing plan anticipates that the Property will be developed in two phases. Phase 1 will consist of Parcels 1 and 2 and Phase 2 will consist of Parcel 3. This anticipated phasing may be revised at any time based on market demand. Town requirements for infrastructure connections will be met for all development.

Location

The subject properties are bound on the south by the Crismon Heights residential subdivision, on the north by Queen Creek Road and a solar farm, on the east by a working dairy farm, and on the west by the future residential community of Light Sky Ranch (currently a vacant agricultural parcel) and the existing residential community of Crismon Ranch Estates.

Historically, the project area has been used for agricultural purposes. It is the developers intent to continue this existing agricultural use until residential development pursuant to this zoning amendment has commenced. One residential housing unit currently exists on the property and will retain ownership of approximately 1.27 acres as part of the proposed Madera West Estates Subdivision.

The General Plan Land Use classifications, along with the existing zoning and uses for the adjacent parcels, are listed in the following table.

Direction	General Plan Land Use (2018 Land Use)	Existing Zoning	Existing Use
North	Industrial	EMP-B	Solar Farm
East	Neighborhood	Rural-43 (Maricopa County)	Single Family Residential/ Dairy Farm
South	Neighborhood	R-12 & R1-15	Single Family Residential
West	Neighborhood	R1-7/R1-43	Agricultural and Single Family Residential

Current PAD Development Standards

Currently, Barney Park Estates is zoned as R1-9/PAD throughout the 77 acre site. With the change to the land plan, seven (7) lots are proposed to maintain the existing R1-9/PAD zoning designation and development standards. The R1-9/PAD zoning district will not be changed for these seven lots which will maintain a minimum lot size of 12,000 sq. ft. to help buffer the existing residence and create a more compatible density transition from Queen Creek Road and the neighboring subdivision.

The following table provides the development standards for Lots 1 through 7 of the development plan. No changes in this zoning category are proposed from the previously approved plan.

**Table 2a – Current Residential Development Standards
Lots 1 through 7
No deviations from RZ13-045**

Standards	R1-9/PAD (RZ13-045)	R1-9/PAD (Proposed)
Min. Building Setbacks (ft.)		
Front	20'/15' ⁽³⁾	20'/15' ⁽³⁾
Side (Min./Total)	5'/15'	5'/15'
Rear	25'	25'
Max. Lot Coverage	40% ⁽²⁾	40% ⁽²⁾
Min. Lot Width (ft.)	80	80
Max. Lot Depth (ft.)	150	150
Max. Height (ft.)	30	30 ⁽⁵⁾
Min. Lot Area (sq. ft.)	12,000 ⁽¹⁾	12,000 ⁽¹⁾

- 1) *Except to accommodate cul-de-sacs, knuckles, and other street designs that encroach into the typical lot depth.*
- 2) *Lot coverage may increase up to five percent (5%) for houses that provide front porches that meet the design criteria stated in the Town of Queen Creek Design Standards.*

- 3) *Minimum 20' front setback for front entry garages/15' for side entry garages*
- 4) *20' to front of garage (front entry)/10' to front of garage (side entry) and living area/10' to covered front porch.*
- 5) *No homes constructed on the following lots shall exceed a single-story but basements are permitted: 1, 3, 8-13, 126, 127, 143, 157, 178, 192, 193, 206 & 207.*

Proposed Deviations to PAD Development Standards

The first PAD Amendment request proposes to rezone parts of the existing R1-9/PAD designation to R1-7/PAD and to reduce the lot width and depth dimensions. The applicant explains the reasoning behind this request is to maintain the existing community layout while providing additional space for the easements adjacent to 220th Street, additional open space adjacent to Crismon Ranch Estates and to provide more flexibility and diversity in the community site design.

This proposed PAD amendment includes rezoning from R1-9/PAD to R1-7/PAD and amending the development standards. The following table shows the proposed changes to the development standards table of the existing PAD. The standard R1-7 zoning district in the Zoning Ordinance has been shown in the table for reference.

**Table 2b - Proposed Residential Development Standards Lots 8 through 219
Deviations from RZ13-045, Ordinance 553-14 are bolded**

Standard	R1-7 PAD Amendment (Proposed)	R1-9/PAD (RZ13-045)	R1-7 District (Code)
Minimum Lot Area (sf)	7,500⁽¹⁾	12,000 ⁽¹⁾	7,000
Minimum Lot Width	60'	80'	70'
Minimum Lot Depth	125'	150'	100'
Maximum Lot Coverage	40% ⁽²⁾	40% ⁽²⁾	40% ⁽²⁾
Maximum Height	30' ⁽⁵⁾	30' ⁽⁵⁾	30' ⁽⁵⁾
Minimum Building Separation	12'	12'	15'
Minimum Setbacks <i>Front</i> <i>Sides (Min/Total)</i> <i>Rear</i>	20' / 10' ⁽⁴⁾ 5' / 15' 25'	20' / 15' ⁽³⁾ 5' / 15' 25'	20' / 10' ⁽⁴⁾ 5' / 15' 25'

- 1) *Except to accommodate cul-de-sacs, knuckles, and other street designs that encroach into the typical lot width and depth.*
- 2) *Lot coverage may increase up to five percent (5%) for houses that provide front porches that meet the design criteria stated in the Town of Queen Creek Design Standards.*
- 3) *Minimum 20' front setback for front entry garages/15' for side entry garages*

- 4) 20' to front of garage (front entry)/10' to front of garage (side entry) and living area/10' to covered front porch.
- 5) No homes constructed on the following lots shall exceed a single-story but basements are permitted: 1, 3, 8-13, 126, 127, 143, 157, 178, 192, 193, 206 & 207.

Lot Distribution

The subdivision is proposed to include a combination of lot sizes ranging from 7,500 sq. ft. for the R1-7/PAD zoning and 12,000 sq. ft. for the R1-9/PAD zoning. The average lot size throughout the subdivision is approximately 8,800 sq. ft. The following table provides a breakdown of the lot diversity within the subdivision.

Madera West Estates Lot Distribution				
Zoning District	Lot Size	Minimum Lot Size	Number of Lots	% of Development
R1-7/PAD	60' x 125'	7,500 square feet	115 units	53%
R1-7/PAD	70'X 130'	9,100 square feet	20 units	9%
R1-7/PAD	70' x 140	9,800 square feet	77 units	35%
R1-9/PAD	80' x 150'	12,000 square feet	7 units	3%
	Total		219 units	100%

Open Space Buffers

The Amendment proposes increasing the size of the open space areas between the Madera West Estates homes and adjacent properties. The following items have been included within the land plan to serve as a buffer to adjacent larger lot parcels:

- Along the western perimeter of the Project, the Madera West Estates land plan provides a 20' to 33' wide open space tract adjacent to the future Light Sky Ranch community and a minimum open space buffer of 74' adjacent to Crismon Ranch Estates (currently 20').
- Along the southern perimeter of the Project, a 20' to 33' wide open space tract is included adjacent to Crismon Heights (currently 20') in addition to 24' of additional lot depth that was added to the southernmost lots. The distance between the Madera West Estates builder wall and the adjacent Crismon Heights builder wall will be 51' to 64'.
- Along the eastern boundary of the Project and adjacent to the future 220th Street ROW, a minimum open space buffer of 40' is proposed (currently 30').
- A 30' to 61' wide landscape area will be provided adjacent to Queen Creek Road to help further screen and transition the community from the surrounding properties (currently 30').

PUBLIC PARTICIPATION

In 2013, the proposed Barney Park Estates PAD Amendment included two neighborhood meetings that were well attended. Through these meetings, a number of items were discussed and ultimately included into the PAD amendment proposal. These items included:

- Maintaining the existing 20-foot perimeter buffer
- Keeping the Merrill Road (220th Street) alignment west of the section line where adjacent to existing properties
- Limit the homes along the shared boundaries in the southwest and southeast to single-story
- Install a solid 6-foot wall along the southwest shared boundary

These items have been carried forward to the current proposed Madera West Estates PAD Amendment.

In the most recent proposed PAD Amendment, two neighborhood meetings were held; November 14, 2019 and December 19, 2019 at the Community Chambers. At the first meeting on November 14th, a presentation and general information about the development was presented to two surrounding residents in attendance. No formal comments or requests were made by the residents at this meeting.

The second neighborhood meeting held on December 19, 2019 with 8 residents in attendance. The following items were discussed at the meeting:

- A request for single story restrictions for homes along 220th Street immediately adjacent to County lots
- Build out of 220th Street along the east edge of the property
- South exit only access from Madera West Estates into Crismon Heights via 219th Place
- Changes from the former Barney Park Estates plan

As a result from the neighborhood meeting, the single story restriction request along 220th Street across from County lots was incorporated into the land plan.

ANALYSIS

General Plan Review: The General Plan Land Use designation for this project is Neighborhood, allowing for a variety of residential densities up to 20 du/ac. The proposed amendment is in compliance with the General Plan.

Zoning Review: The zoning of the proposed application complies with all applicable Zoning Ordinance standards. Additional design accommodations were made by the applicant to honor the previously proposed Barney Park Estates PAD Amendment.

Engineering, Utilities, and Traffic Review: The Engineering Division, Traffic Division, and Utilities Department have reviewed the request and concluded that the project meets all applicable standards.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the zoning ordinance applicable to this case, except as modified herein.
2. This project shall be developed in accordance with the following modifications listed below for lots 1-7:

Standards	R1-9/PAD (RZ13-045)	R1-9/PAD (Proposed)
Min. Building Setbacks (ft.)		
Front	20'/15' ⁽³⁾	20'/15' ⁽³⁾
Side (Min./Total)	5'/15'	5'/15'
Rear	25'	25'
Max. Lot Coverage	40% ⁽²⁾	40% ⁽²⁾
Min. Lot Width (ft.)	80	80
Max. Lot Depth (ft.)	150	150
Max. Height (ft.)	30	30 ⁽⁵⁾
Min. Lot Area (sq. ft.)	12,000 ⁽¹⁾	12,000 ⁽¹⁾

- 1) *Except to accommodate cul-de-sacs, knuckles, and other street designs that encroach into the typical lot depth.*
- 2) *Lot coverage may increase up to five percent (5%) for houses that provide front porches that meet the design criteria stated in the Town of Queen Creek Design Standards.*
- 3) *Minimum 20' front setback for front entry garages/15' for side entry garages*
- 4) *20' to front of garage (front entry)/10' to front of garage (side entry) and living area/10' to covered front porch.*
- 5) *No homes constructed on the following lots shall exceed a single-story but basements are permitted: 1, 3, 8-13, 126, 127, 157, 178, 206 & 207.*

3. This project shall be developed in accordance with the following modifications listed in bold below for lots 8 - 219:

Standard	R1-7/PAD Amendment (Proposed)	R1-9/PAD (RZ13-045)	R1-7 District (Code)
Minimum Lot Area (sf)	7,500⁽¹⁾	12,000 ⁽¹⁾	7,000
Minimum Lot Width	60'	80'	70'
Minimum Lot Depth	125'	150'	100'
Maximum Lot Coverage	40% ⁽²⁾	40% ⁽²⁾	40% ⁽²⁾
Maximum Height	30' ⁽⁵⁾	30' ⁽⁵⁾	30' ⁽⁵⁾

Minimum Building Separation	12'	12'	15'
Minimum Setbacks			
<i>Front</i>	20' / 10' ⁽⁴⁾	20' / 15' ⁽³⁾	20' / 10' ⁽⁴⁾
<i>Sides (Min/Total)</i>	5' / 15'	5' / 15'	5' / 15'
<i>Rear</i>	25'	25'	25'

- 1) *Except to accommodate cul-de-sacs, knuckles, and other street designs that encroach into the typical lot width and depth.*
 - 2) *Lot coverage may increase up to five percent (5%) for houses that provide front porches that meet the design criteria stated in the Town of Queen Creek Design Standards.*
 - 3) *Minimum 20' front setback for front entry garages/15' for side entry garages*
 - 4) *20' to front of garage (front entry)/10' to front of garage (side entry) and living area/10' to covered front porch.*
 - 5) *No homes constructed on the following lots shall exceed a single-story but basements are permitted: 1, 3, 8-13, 126, 127, 143, 157, 178, 192, 193, 206 & 207.*
4. Lots 1, 3, 8-13, 126, 127, 143, 157, 178, 192, 193, 206 & 207 shall be restricted to single story as shown by the land plan.
 5. The developer shall coordinate and obtain approval from the Queen Creek Irrigation District including any required approvals from the Federal Bureau of Reclamation for any and all work within the existing 50 foot Bureau of Reclamation Easement.
 6. Applicant shall provide to staff a clearance letter from the Arizona State Historic Preservation Office (SHPO) before approval of Final Plat.
 7. The developer shall be responsible for the design and construction of the full half-street improvements for Queen Creek Road and Merrill Road (220th Street) adjacent to the project. Half street right-of-way dedication shall be 55 feet for Queen Creek Road for the entire frontage of the property and 40 feet for Merrill Road (220th Street) shall be required to be dedicated to the Town of Queen Creek on the Final Plat. All street sections shall be designed to meet current Town Standards and/or per modifications approved by the Town Engineer. These improvements shall include landscaping and required street lighting.
 8. The developer shall be responsible to design and construct a roadway re-alignment for Merrill Road (220th Street) south and west of the mid-section line. Design shall be approved by Town.
 9. Construction assurance shall be required for all offsite public improvements in the form of a bond, irrevocable letter of credit, or cash. The construction assurance is required to be approved by the Town Attorney. Construction assurances shall be provided in accordance with the form and timing as described in Section 7 of the Town's Subdivision Ordinance.

10. For onsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), bond, or a signed Certificate of Occupancy Hold Agreement to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. Construction assurances shall be provided in accordance with the form and timing as described in Section 7 of the Town's Subdivision Ordinance.
11. If the Traffic Impact Analysis shows that a future traffic signal is warranted at the intersection of Merrill Road (220th Street) and Queen Creek Road, then the developer shall provide ¼ cost share (\$75,000.00) for the signal prior to recording of the Final Plat.
12. Traffic signal interconnect conduit and pull boxes per Town standards shall be designed and installed for the entire length of Queen Creek Road that fronts the project.
13. The developer shall coordinate and obtain approval from the Queen Creek Irrigation District including approvals from the Federal Bureau of Reclamation for any and all work within the existing 50 foot Bureau of Reclamation Easement.
14. Per the East Mesa Area Drainage Master Plan Update, this property is part of the Increased Onsite Retention Requirement Area. The drainage report shall reflect a rainfall depth of 2.6 inches
15. The developer shall provide notice by way of the subdivision plat and CC&Rs, that this project is located near the Williams Gateway Airport and due to its proximity is likely to experience noises normally and usually associated with the overflight of aircraft.
16. Final plats shall note the potential for objectionable aircraft noise. Specifically, the plat shall note the following: "This property, due to its proximity to Williams Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals. The mix of aircraft consists of cargo, commercial, charter, corporate, general aviation and military aircraft."
17. Sales offices for new single family residential projects shall provide notice to prospective buyers that the project is located within an Overflight Area. Such notice shall consist of a sign at least 2-foot x 3-foot installed at the entrance to the sales office or leasing office at the residential project. The sign shall be installed prior to commencement of sales and shall not be removed until the sales office is permanently closed. The sign shall state the following in letters of at least one inch (1") in height: "This subdivision, due to its proximity to Williams Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals. The mix of aircraft consists of cargo, commercial, charter, corporate, general aviation and military aircraft. For additional information contact the Arizona Department of Real Estate at: 602-468-1414 or Williams Gateway Airport Public Relations Office at: 480-988-7600."
18. Public reports filed with the Arizona Department of Real Estate shall disclose the location of the Airport and potential aircraft overflights. The following statement shall be included in the public report: "This property, due to its proximity to Williams Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals."

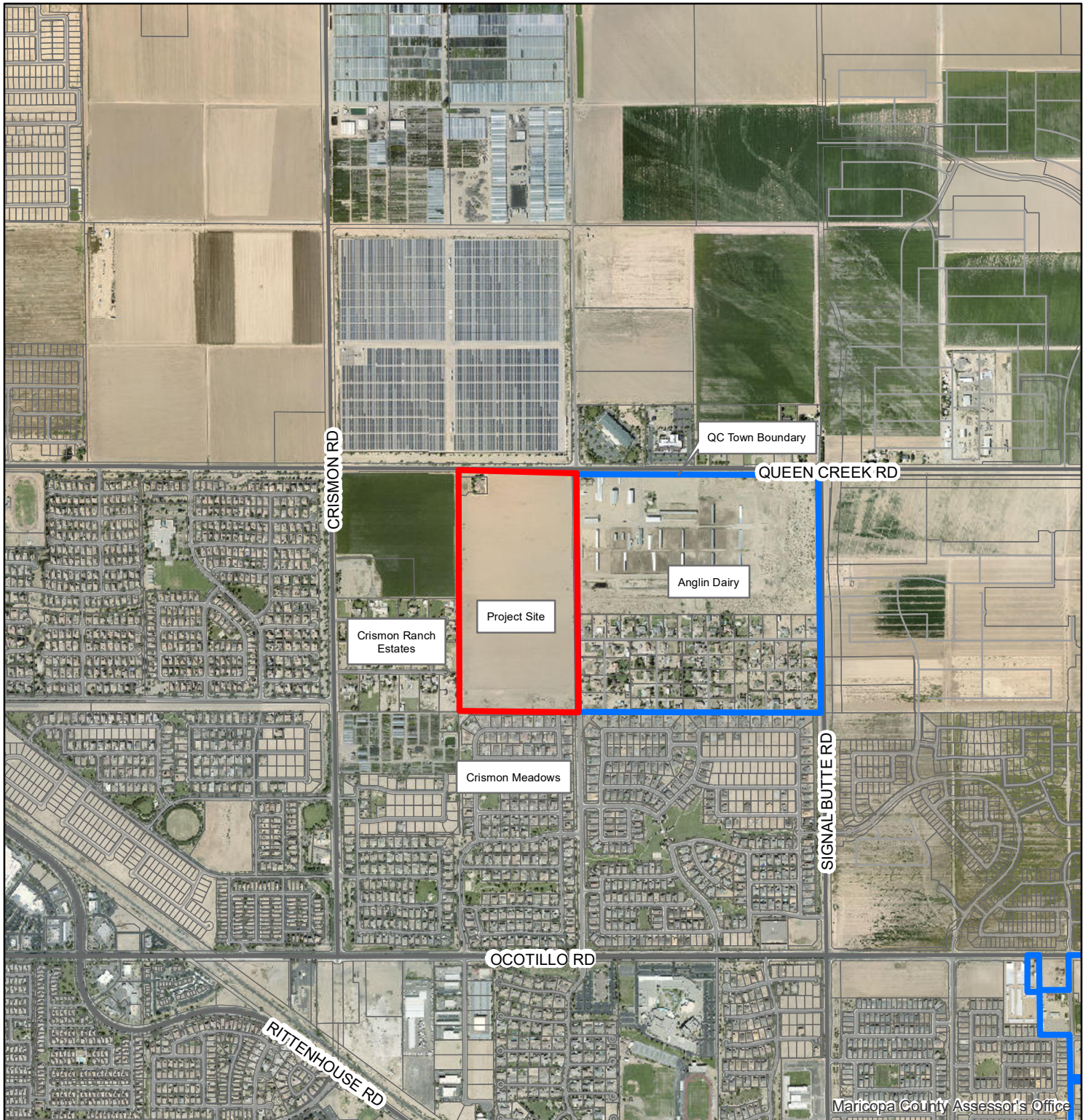
ATTACHMENTS

1. Aerial Photo Exhibit
2. General Plan Exhibit
3. Existing Zoning Exhibit
4. Proposed Zoning Exhibit
5. Madera West Estates Development Plan
6. Madera West Estates Narrative and Exhibits

Project Name: Madera West Estates Aerial Exhibit

Case Numbers: P19-0186

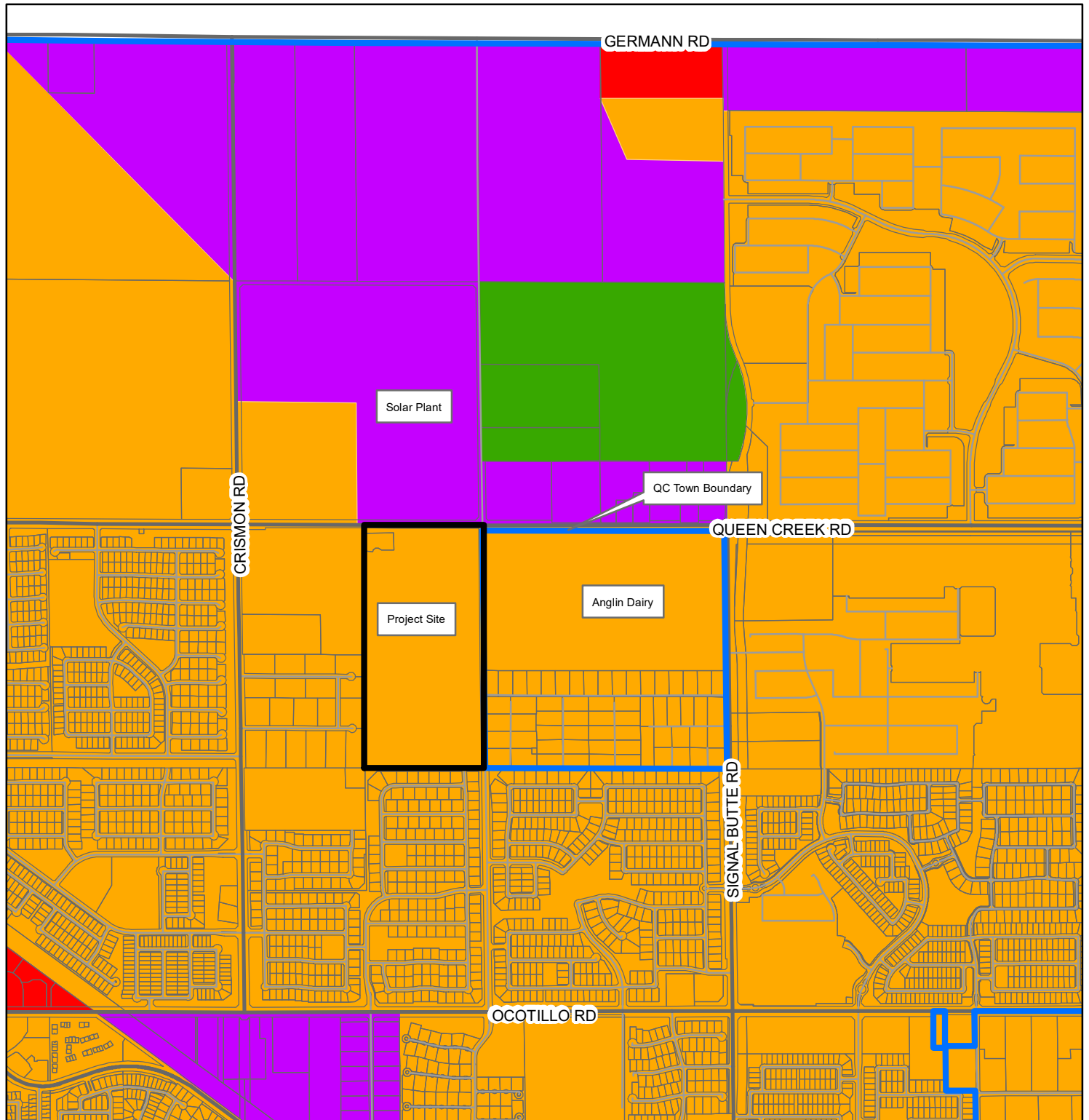
Hearing Date: January 8, 2020 (Planning Commission)



Project Name: Madera West Estates General Plan Exhibit

Case Numbers: P19-0186

Hearing Date: January 8, 2019 (Planning Commission)



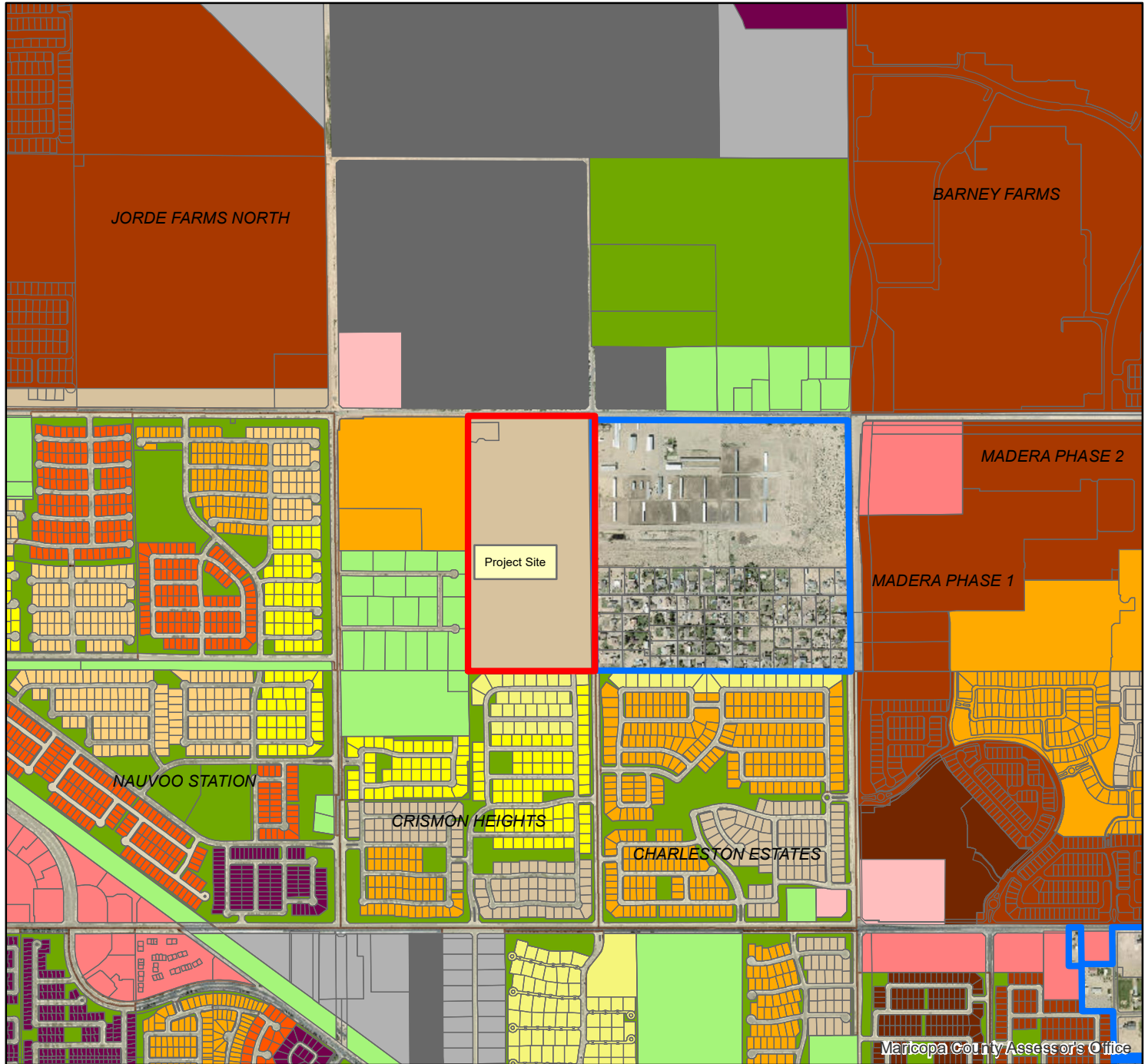
General Plan Land Use

- | | | | |
|--------------|------------|--------------------|--------------------|
| Rural | Commercial | Special District 1 | Special District 4 |
| Neighborhood | Industrial | Special District 2 | |
| Urban | Open Space | Special District 3 | |

Project Name: Madera West Estates Existing Zoning Map Exhibit

Case Numbers: P19-0186

Hearing Date: January 8, 2020 (Planning Commission)



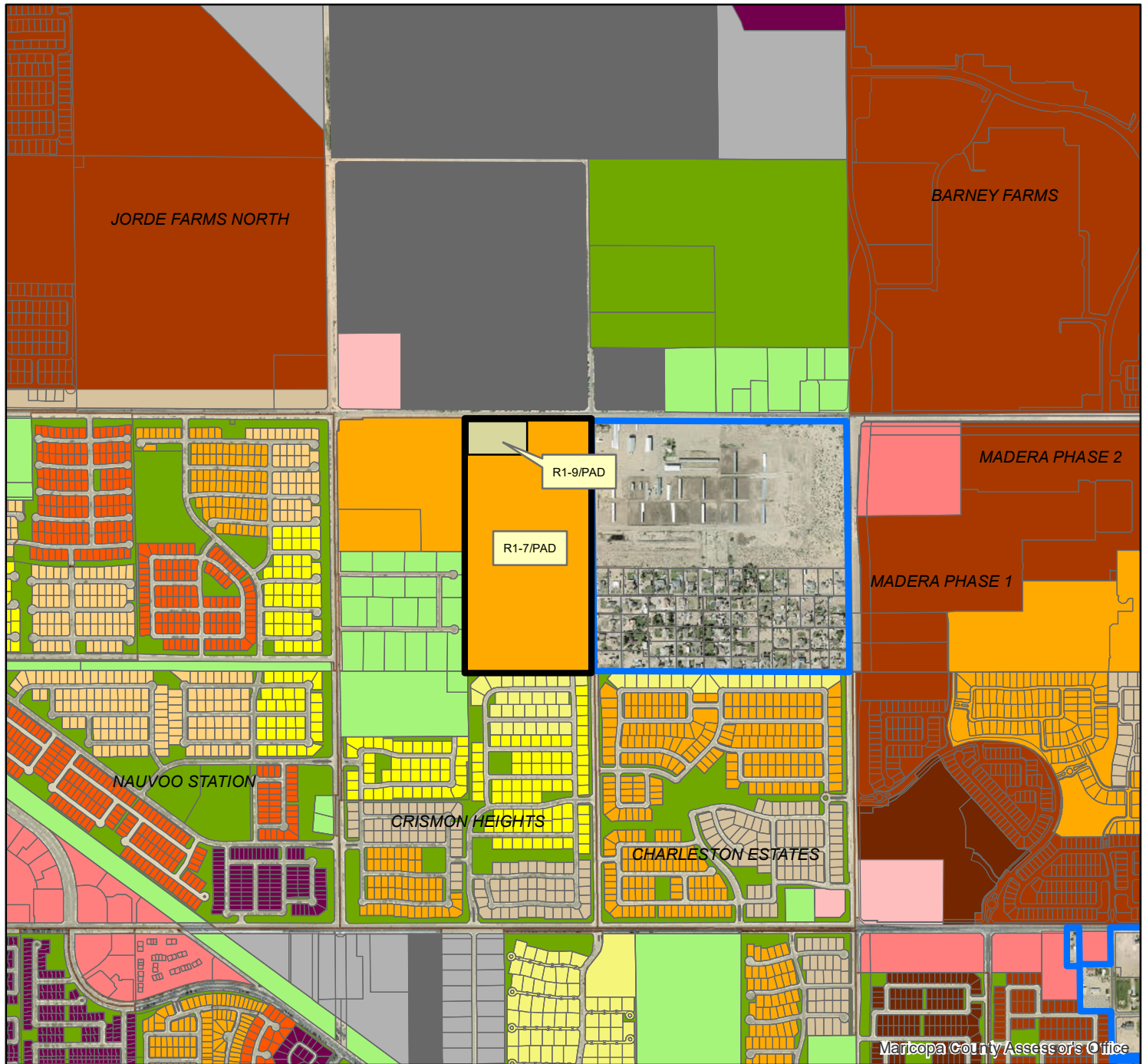
Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
DC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment

Project Name: Madera West Estates Proposed Zoning Map Exhibit

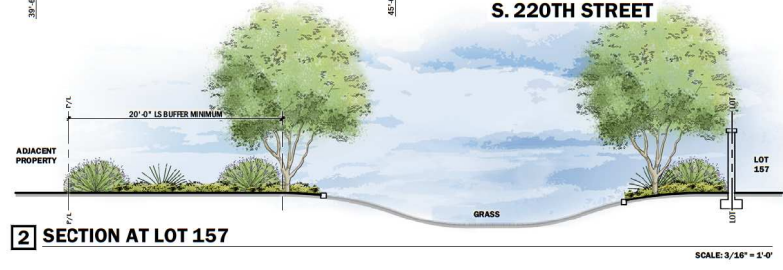
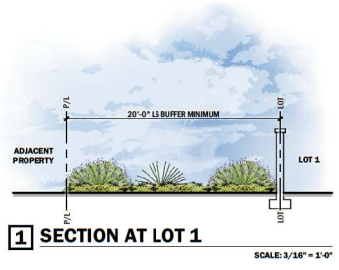
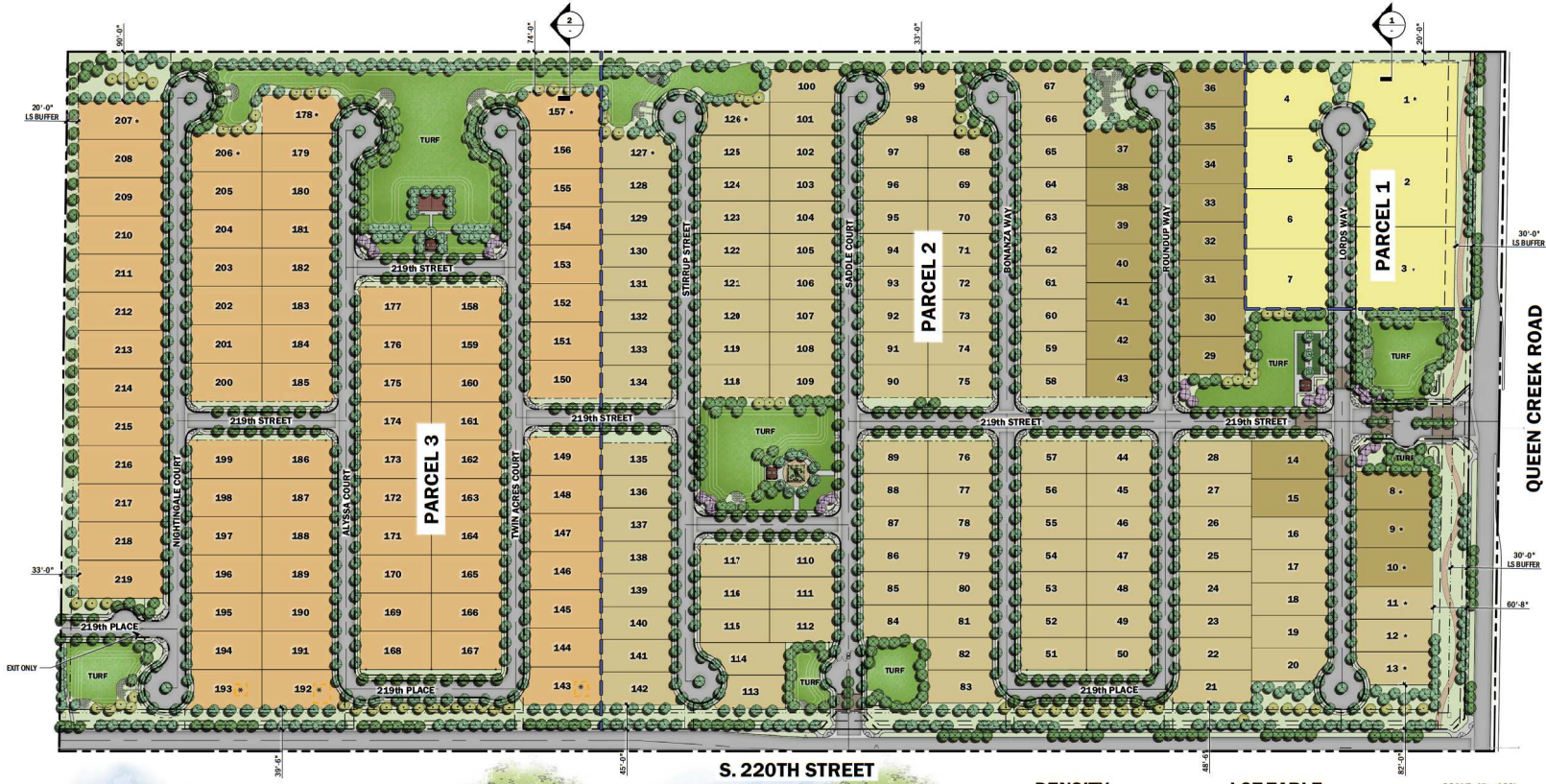
Case Numbers: P19-0186

Hearing Date: January 8, 2020 (Planning Commission)



Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-7 - Residential	R1-35 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-8 - Residential	R1-43 - Residential
C-3 - Commercial	MDR - Residential	R1-9 - Residential	R1-54 - Residential
DC - Commercial	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP A - Office/Industrial Park	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
EMP B - General Industrial	R1-6 - Residential	R1-18 - Residential	AT - Agritainment



DENSITY
STANDARD RESIDENTIAL DENSITY CALCULATION

D = DU
A = (C+H+S)
A = 77.27 AC
C = 3.96 AC
D = 219
77.27 ÷ (0+0+0.98) = 73.29
D = 2.98 DU/AC

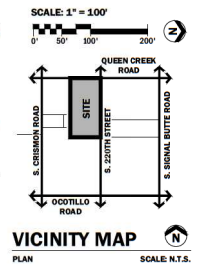
SITE DATA
GROSS SITE AREA: 77.27 AC
NET SITE AREA: 73.26 AC

REQUIRED OPEN SPACE: 20% (14.66 AC)
PROPOSED OPEN SPACE: 22.68% (16.62 AC)
REQUIRED ACTIVE OPEN SPACE: 30% (8.40 AC)
PROPOSED ACTIVE OPEN SPACE: 30% (8.41 AC)

GROSS DENSITY: 2.83 DU/AC
NET DENSITY: 2.98 DU/AC

LOT TABLE

PARCEL	LOT SIZE	LOTS
1	VARIES	7
2	60' x 129'-150'	115
3	70' x 130'-150'	20
4	70' x 140'-164'	77
TOTAL LOTS		219



MADERA WEST ESTATES

PLANNED AREA DEVELOPMENT

EXHIBIT
AMENDED CONCEPTUAL DEVELOPMENT PLAN

EXHIBIT #
Ex B

DATE: 10.28.2019

Madera West Estates

Amended Planned Area
Development Narrative



Submitted to:

Town of Queen Creek

22350 South Ellsworth Road
Queen Creek, Arizona 85242

September 2019

Madera West Estates

Amended Planned Area Development Narrative

Submitted by:

Garry Hays

2198 E. Camelback Road, Ste. 230

Phoenix, AZ 85016

Phone: 602-308-0579

**Communities Southwest, Inc. &
QCBPE Residential Land, LLC**

7001 N. Scottsdale Road, Suite 1015

Scottsdale, Arizona 85253

Submitted to:

Town of Queen Creek

22350 South Ellsworth Road

Queen Creek, Arizona 85242

MADERA WEST ESTATES PAD

TABLE OF CONTENTS

1. BACKGROUND AND REQUEST	3
2. CONSISTENCY WITH THE GENERAL PLAN	4
3. RELATIONSHIP TO SURROUNDING PROPERTIES	6
4. CIRCULATION.....	7
5. DEVELOPMENT PLAN.....	7
6. DESIGN GUIDELINES	10
7. PUBLIC UTILITIES AND SERVICES	10
8. GRADING AND DRAINAGE.....	11
9. PHASING.....	12
10. PUBLIC PARTICIPATION.....	12
11. PROJECT TEAM	12

TABLES AND EXHIBITS

Table 1 – Adjacent Land Uses.....	6
Table 2a – Proposed Residential Development Standards (Lots 1-7).....	8
Table 2b – Proposed Residential Development Standards (Lots 8-217).....	8
Aerial Vicinity Map.....	Exhibit A
Amended Conceptual Development Plan.....	Exhibit B
Conceptual Landscape Plan.....	Exhibit C
Conceptual Open Space, Parks & Trails Plan.....	Exhibit D
Conceptual Site Amenity & Equipment Details.....	Exhibit E
Conceptual Entry Monuments.....	Exhibit F
Conceptual Entry Gates.....	Exhibit G
Conceptual Master Wall Plan.....	Exhibit H
Conceptual Wall Details.....	Exhibit I
Conceptual Mailbox Details.....	Exhibit J
Preliminary Water & Sewer Exhibit	Exhibit K
Preliminary Grading & Drainage Exhibit	Exhibit L
Proposed Phasing Exhibit.....	Exhibit M
Queen Creek General Plan Land Use Plan	Exhibit N

MADERA WEST ESTATES PAD

1. BACKGROUND AND REQUEST

This PAD Amendment request is for 77.27 gross acres (“Property”) located at the southwest corner of Queen Creek Road and 220th Street (Merrill Road). The Property, which was formerly known as Barney Park Estates, is vacant land currently zoned R1-9 (Urban Development Type A District) with a Planned Area Development (“PAD”) overlay (approved by Ordinance 553-14).

This site is composed of two agricultural parcels, 304-64-009V and 304-64-009W. There is one residential housing unit currently on the Property. Historically, the project area has been used for agricultural purposes and farmed for decades. It is the Owner’s intent to continue this existing agricultural use until such time as residential development pursuant to this zoning amendment has commenced.

The majority of the Property has remained vacant and undeveloped since a 2014 rezone from R1-18 PAD to R1-9 PAD. This proposal seeks to amend the 2014 approved PAD rezoning for the subject Property. There is also an existing approved preliminary plat for Barney Park Estates, P16-0018 which expired on September 14, 2018. A new preliminary plat will be submitted separately for concurrent processing with this PAD Amendment.

On September 29, 2017, QCBPE Residential Land, LLC acquired the majority (75.03 acres) of the Barney Park Estates property. The sellers, Gail and Pamela Barney (together with QCBPE Residential Land, LLC- “Owner”), have retained ownership of 1.27 acres of the Property but the retained property will remain a part of the overall Project which has been re-named as Madera West Estates (“Project”). Madera West Estates is planned to be developed with similar theming and design elements as the Madera project, located at the southeast corner of Queen Creek Road and Signal Butte Road. Both projects are managed by Communities Southwest Inc. (“Applicant”).

Since the acquisition of the Property, the Applicant has modified the existing Barney Park Estates land plan (*Madera West Estates Amended Conceptual Development Plan - **Exhibit B***) to accomplish the following:

- Create a planned development that more appropriately addresses current market demands; providing lot sizes that are in demand by homebuilders as a result of consumer demand for smaller, less maintenance intensive homes and homesites. The lot sizes provided in the updated plan are larger homesites by master planned community standards and will accommodate large, family-sized homes which maintain a high level of design and quality standards.
- Provide a larger buffer between the future Madera West Estates homesites and the existing Crismon Ranch Estates homesites.
- Address the conflicts in the existing land plan created by the BOR easements that run the entire length of the northern and eastern boundaries of the Property. The existing land plan did not account for the need to relocate the 50’ easements to allow for the Queen Creek Road and 220th Street ROW dedications and future improvements and the need to shift lots to the west and outside of the easement areas.
- Modify street and community access layouts and sizes to allow for a gated community.

MADERA WEST ESTATES PAD

- Allow for the development of a community which is sized to support an economically viable and sustainable homeowners' association. The proposed increase in the number of homesites will provide the number of homes necessary to fund the long-term maintenance and replacement of community parks, private infrastructure and open space improvements.

The net density in the approved Barney Park Estates PAD is 2.13 dwelling units per acre (du/ac). The Madera West Estates net residential density is 2.99 du/ac based on the proposed 219 lots. This density is within the 0-20 du/ac permitted in the 2018 General Plan Neighborhood Land Use designation for the Property.

It is important to note that although the density of the Project increases with the proposed land plan, the additional density will not be perceptible to neighboring residents and Town residents driving by the Project. This is accomplished by redistributing some of the open space, which is currently concentrated within the interior of the land plan, to more perimeter locations and by redesigning most of the existing linear cul-de-sacs to offset cul-de-sacs which provide larger open space areas at the end of the cul-de-sacs and adjoining the exterior open space areas. The Project will also maintain a two story restriction along Queen Creek Road (lots 1, 3 & 8-13) and adjacent to Crismon Ranch Estates (lots 126, 127, 157, 178, 206 & 207) as required by previous approvals as well as three additional one story restricted lots (lots 143, 192 & 193) in response to feedback from adjacent neighbors. As discussed below, the Applicant has met with several neighbors and have made revisions to the land plan based on their requests.

This application, seeks to amend the existing PAD to accomplish the following:

- Change the project name from its currently approved "Barney Park Estates" to "Madera West Estates."
- Amend the zoning classification from R1-9 PAD to R1-9 PAD & R1-7 PAD.
- Revise the lot sizes and total number of lots while conforming to the 2018 Neighborhood General Plan designation for the Property.

2. CONSISTENCY WITH THE GENERAL PLAN

Madera West Estates as proposed will be in compliance with the Neighborhoods land use designation assigned to the Property in the Town of Queen Creek 2018 General Plan (see *Queen Creek General Plan Land Use Plan – Exhibit N*). The Neighborhoods category of the General Plan provides for a variety of housing choices and encourages variety in neighborhood design. The overall site has been designed to create a compatible transition to the surrounding residential densities and the General Plan's vision of "Convenience of the City, Comfort of the Country" through the following:

Land Use Element Goals & Policies

Goal 1 - Strategy 1.A

Protect and promote the Town's history, location, amenities and development potential to develop a unique, attractive, desirable and economically sustainable community.

MADERA WEST ESTATES PAD

This rezone will protect and promote the Town’s sustainable future while providing a unique, attractive, and desirable community by providing land uses and infrastructure that transition from the current vision and development of the Town to the future.

This rezone will help ensure compatibility between new projects and existing neighborhoods by providing appropriate transitional treatments both internal and external to the Project. The proposed site design, open space areas and buffering will ensure it is compatible with the surrounding existing development and proposed future development.

Goal 2 – Strategy 2.A

Encourage development patterns that maximize opportunities to use land efficiently.

- *Action 2.A.1: Encourage higher density mixed uses and residential development within the Urban Land Use Category.*
- *Action 2.A.2: Encourage a variety of residential densities within the Neighborhood and Urban Land Use Categories.*

This rezone will provide more diverse housing opportunities both within the Project, the surrounding neighborhood and within the Town. The rezone of a portion of the project to R1-7 PAD will allow for more product diversity and efficient land planning.

Goal 3 – Strategy 3.A

Develop a diversified and robust economic development base to ensure the Town’s long term economic stability.

This rezone will diversify the area to become more economically sustainable by providing housing opportunities close to the nearby commercial and employment areas.

Housing Element Goals & Policies

Goal 1 – Strategy 1.A

Promote the creation and maintenance of attractive, high-quality neighborhoods to ensure a healthy, safe and attractive environment today and into the future.

Master planned communities such as the proposed Project deliver attractive, high-quality neighborhoods that can only be achieved through the planning and design of larger land holdings. Master planned communities allow for cohesive theming, landscaping and housing design which encourages a strong neighborhood identity as well as an aesthetically pleasing streetscape.

Projects such as the proposed Madera West Estates also provide for the formation of homeowners’ associations which create a mechanism by which the neighborhood funds and facilitates the maintenance of open space areas as well as enforcement of rules requiring the upkeep of the homes and homesites of its residents.

Circulation Element Goals & Policies

Goal 1 – Strategy 1.B

Develop a safe, continuous arterial street network that can accommodate all modes, minimize congestion and connect to arterial street networks of neighboring communities.

- *Action 1.B.2: Continue to use a hierarchy of arterial and collector streets to accommodate expected traffic volumes.*

MADERA WEST ESTATES PAD

- Action 1.B.3: Use street design as a means of discouraging through traffic in residential areas.

Development of the Project will require half street improvement of Queen Creek Road and 220th Street. These improvements adjacent to the Project will benefit all Queen Creek residents. The Project is planned to be a gated community which will prevent cut through traffic and provide safer streets for community residents.

3. RELATIONSHIP TO SURROUNDING PROPERTIES

This site is bound on the south by the residential community of Crismon Heights, on the north by Queen Creek Road and a solar farm, on the east by a working dairy farm, and on the west by the future residential community of Light Sky Ranch (currently a vacant agricultural parcel) and the existing residential community of Crismon Ranch Estates (See *Vicinity Map* – **Exhibit A**). The General Plan Land Use classifications, along with the existing zoning and uses for the adjacent parcels, are listed in **Table 1 – Adjacent Land Uses**.

Table 1 – Adjacent Land Uses

Direction	General Plan Land Use (2018 LU Map)	Existing Zoning	Existing Use
North	Industrial	Employment Type B	Solar Farm
East	Neighborhood	Rural-43 (Maricopa County)	Single Family Residential/ Dairy Farm
South	Neighborhood	R1-15	Single Family Residential
West	Neighborhood	R1-7/R1-43	Agricultural and Single Family Residential

Open Space Buffers

The proposed Amendment to the PAD will reduce the impact to the surrounding properties compared to the existing land plan by increasing the size of the open space areas between the Madera West Estates homes and adjacent properties.

- Along the western perimeter of the Project, the Madera West Estates land plan provides a 20' to 33' wide open space tract adjacent to the future Light Sky Ranch community and a minimum open space buffer of 74' adjacent to Crismon Ranch Estates (currently 20').
- Along the southern perimeter of the Project, a 20' to 33' wide open space tract is included adjacent to Crismon Heights (currently 20') in addition to 24' of additional lot depth that was added to the southernmost lots. The distance between the MWE builder wall and the adjacent Crismon Heights builder wall will be 51' to 64'.
- Along the eastern boundary of the Project and adjacent to the future 220th Street ROW, a minimum open space buffer of 40' is proposed (currently 30').
- and a 30' to 61' wide landscape area will be provided adjacent to Queen Creek Road to help further screen and transition the community from the surrounding properties (currently 30').

4. STREETS/CIRCULATION

This Project will be responsible for half street improvements to Queen Creek Road where adjacent to the Project. Currently, Queen Creek Road has been improved to a paved 2-lane roadway. In the future, it will be improved to a full 4-lane arterial roadway. The existing home on the Property currently has direct access onto Queen Creek Road and will maintain the use of this access until the primary community entry onto Queen Creek Road has been constructed.

220th Street is a collector roadway that will be constructed along the eastern boundary of the Property with the development of this Project. Due to the lack of half street ROW dedicated by the southern ±1,000' of developed, neighboring properties to the east, the Project will be responsible for the construction of full width improvements for this southern portion of 220th Street as well as a realignment to allow it to tie into the existing 220th Street improvements within Crismon Heights.

An entry road into the community with a median and expanded cross section will provide primary access to the community from Queen Creek Road. A secondary entry road with a median and expanded cross section will provide access to the community from 220th Street. The access point at the southeast corner of the Project will connect to the existing section of 219th Street which dead ends at the Madera West Estate property line but access will be limited to exit only traffic to minimize the traffic impact to Crismon Heights. Streets internal to the community will be designed per the Town standards for a local road but will be located within tracts for maintenance by the Homeowners' Association.

Improvements to the roadway infrastructure will not only benefit the residents in close proximity to the Project, but the entire Town by helping to move people to employment and retail opportunities more efficiently, thus reducing time spent commuting and improving traffic congestion.

5. DEVELOPMENT PLAN

Madera West Estates consists of approximately 77.27 gross acres with 219 single family lots and supporting recreation and open space areas. Due to nearby existing and planned future development and its adjacency to an arterial roadway, the location is ideally suited for residential development. The Development Plan for Madera West Estates illustrates how the Project will be designed for the benefit of the future residents with open spaces and recreational facilities while at the same time providing landscape buffers for the benefit of neighboring residents.

The existing U.S. Bureau of Reclamation ("BOR") rights-of-way along Queen Creek Road and the 220th Street alignment, and a U.S. electrical transmission line easement ("TLE") located along the 220th Street alignment are proposed to be realigned to allow the roadway improvements to be constructed per Town specifications. The realignment and relocation of these existing facilities has been accounted for in **Exhibit B - Amended Conceptual Development Plan**.

Residential

The number of lots planned under the *Amended Conceptual Development Plan* for Madera West Estates is 219, see **Exhibit B**. Residential Development Standards for the Madera West Estates

MADERA WEST ESTATES PAD

Project are shown below in **Tables 2a & 2b**– *Current/Proposed Residential Development Standards*. The Project shall be developed in accordance with the RZ13-045 PAD Development Standards except as amended below in Table 2b. If RZ13-045 did not modify the Zoning Ordinance Development Standards, the R1-7 Zoning Ordinance standards as of the date of this PAD adoption are applicable.

**Table 2a – Current Residential Development Standards
Lots 1 through 7
No deviations from RZ13-045**

Standard	R1-9 PAD (RZ13-045)
Minimum Lot Area (sf)	12,000 ⁽¹⁾
Minimum Lot Width	80'
Minimum Lot Depth	150'
Maximum Lot Coverage	40% ⁽²⁾
Maximum Height	30' ⁽⁵⁾
Minimum Building Separation	12'
Minimum Setbacks <i>Front</i> <i>Sides (Min/Total)</i> <i>Rear</i>	20' / 15' ⁽³⁾ 5' / 15' 25'

**Table 2b - Proposed Residential Development Standards
Lots 8 through 219
Deviations from RZ13-045 are bolded**

Standard	R1-7 PAD Amendment (Proposed)	R1-9 PAD (RZ13-045)	R1-7 District (Code)
Minimum Lot Area (sf)	7,500 ⁽¹⁾	12,000 ⁽¹⁾	7,000
Minimum Lot Width	60'	80'	70'
Minimum Lot Depth	125'	150'	100'
Maximum Lot Coverage	40% ⁽²⁾	40% ⁽²⁾	40% ⁽²⁾
Maximum Height	30' ⁽⁵⁾	30' ⁽⁵⁾	30' ⁽⁵⁾
Minimum Building Separation	12'	12'	15'
Minimum Setbacks <i>Front</i> <i>Sides (Min/Total)</i> <i>Rear</i>	20' / 10' ⁽⁴⁾ 5' / 15' 25'	20' / 15' ⁽³⁾ 5' / 15' 25'	20' / 10' ⁽⁴⁾ 5' / 15' 25'

MADERA WEST ESTATES PAD

Notes:

- (1) Except to accommodate cul-de-sacs, knuckles, and other street designs that encroach into the typical lot width and depth.
- (2) Lot coverage may increase up to five percent (5%) for houses that provide front porches that meet the design criteria stated in the Town of Queen Creek Design Standards.
- (3) Minimum 20' front setback for front entry garages/15' for side entry garages
- (4) 20' to front of garage (front entry)/10' to front of garage (side entry) and living area/10' to covered front porch.
- (5) No homes constructed on the following lots shall exceed a single-story but basements are permitted: 1, 3, 8-13, 126, 127, 143, 157, 178, 192, 193, 206 & 207.

The requested modifications to the RZ13-045 Development Standards propose to modify the current PAD development standards to the minimum existing R1-7 District code standards but with a modification to the minimum lot dimensions and lot area. A reduction in the minimum lot width is requested in order to generally maintain the existing community layout while providing additional space for the easements adjacent to 220th Street, additional open space adjacent to Crismon Ranch Estates and to provide more flexibility and diversity in the community site design. To offset the requested lot width variance, the proposed minimum lot depth is 125' vs 100' and the proposed minimum lot area is 7,500 sf vs 7,000 sf.

Open Space

The Madera West Estates open space and trails network as well as the community gates which reduce traffic and moderate speed, creates a walkable, pedestrian and bicycle friendly neighborhood, increasing opportunities for active and passive recreation as well as an efficient and integrated drainage system.

The parks have been designed with numerous amenities that attract multi-generation interest, including both active and passive recreation features including a shaded play structure, ramadas, bocce ball courts, a pickle ball court, BBQ grills and benches. For more detail on the parks, see *Conceptual Open Space, Parks and Trails Plan* – **Exhibit D** and *Conceptual Site Amenity & Equipment Details* – **Exhibit E**.

This development will provide 22.68%, or approximately 16.62 acres, of open space. The minimum open space required is 20% of the net residential area or 14.66 acres. The *Conceptual Landscape Plan* - **Exhibit C** illustrates the overall Project open space program. In addition to community park features, the northern boundary of the Project includes a 10-foot wide multi-purpose public trail. The *Conceptual Open Space, Parks & Trail Plan* in **Exhibit D** depicts the Project's open space and parks network.

Open Space Site Data

Residential Net Area: 73.28 ac

Required Open Space: 20% Of Net Residential Area (14.66 ac)

Proposed Open Space: 22.68% (16.62 ac)

Required Active Open Space: 30% Of Required Open Space (4.40 ac)

Proposed Active Open Space: 30% (4.41 ac)

MADERA WEST ESTATES PAD

As depicted in the *Conceptual Landscape Plan – Exhibit C*, open space landscaping has been designed with a distinct theme that is appropriate for the Town of Queen Creek and which will create a strong neighborhood identity. All open space areas will be owned and maintained by the Homeowners’ Association.

6. DESIGN GUIDELINES

The community design proposed for the Madera West Estates PAD will be consistent with the requirements of the Town of Queen Creek Design Standards. Builders will provide the Town with plans and designs consistent with the community theme and the Town of Queen Creek standards as Madera West Estates is developed.

Theme Walls & Entry Monumentation

The entry monumentation design and wall theming elements are intended to create a unique and distinct character for this community. The primary entrance located south of Queen Creek Road and the secondary access point located on 220th Street will feature thematic monumentation and vehicular and pedestrian access control gates.

As depicted on the *Conceptual Entry Monuments and Conceptual Entry Gates Exhibits - Exhibit F* and **Exhibit G**, the entry monuments and gates combine a variety of materials, walls and vertical elements to create distinct entry features.

As illustrated on the *Conceptual Master Wall Plan and Conceptual Wall Details Exhibits - Exhibit H* and **Exhibits I.a & I.b.**, a variety of wall types, materials and details have been incorporated into the design of the community’s theme walls. These wall details create an aesthetically pleasing edge condition for the surrounding neighborhoods and supports a theme for the community that is consistent with the Town’s rural and agrarian history.

7. PUBLIC UTILITIES AND SERVICES

Utilities and services will be provided as follows:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	Southwest Gas
Cable:	Cox Communications
Telephone:	Cox Communications and/or Century Link
Police:	Maricopa County Sheriff
Fire:	Town of Queen Creek
School:	Queen Creek Unified School District

MADERA WEST ESTATES PAD

Water

Potable water service will be provided by the Town of Queen Creek through existing facilities within the adjacent arterial roadway. There is an existing 12-inch water line within Queen Creek Road (see the *Preliminary Water & Sewer Exhibit - Exhibit K*). Additionally, an 8" existing water line is stubbed to the southeast corner of the Property within 220th Street's existing right-of-way. Preliminary discussions with the Town's Utility Department indicate that existing water lines near the Project boundaries can be tapped and new lines extended within and around the development to meet the Project's potable water requirements.

The proposed water system improvements will be designed as looped systems and developed in accordance with the Town's 2017 Water Master Plan and ADEQ's requirements. Additionally, per Ordinance 553-14, Stipulation 31, the Property will coordinate with the adjacent Light Sky Ranch property to allow for water line looping between subdivisions as appropriate.

Wastewater

Sewer service will be provided by the Town of Queen Creek through an existing 18-inch sewer main within Queen Creek Road. The Project is to be served by 8" lines that will gravity flow to this 18" main line. Discussions with the Town's Utility Department indicate that the Queen Creek Road main line and the Greenfield Water Reclamation Plant have adequate capacity to serve this Project. The proposed wastewater system improvements will be designed and developed in accordance with Town and ADEQ requirements. See the *Preliminary Water & Sewer Exhibit - Exhibit K* for further details.

Schools

The requirement to confirm the school district's ability to accommodate the residents of this community was previously met for 156 lots. Efforts will be coordinated with the Queen Creek Unified School District to ensure that adequate educational facilities for the additional lots created with this rezoning are met.

State of Arizona Air & Water Quality Standards

Madera West Estates will be designed and constructed in adherence to all relevant State of Arizona air and water quality standards. During project construction, measures will be taken to control any dust generated by activities on the Property and to control any unscreened storm water discharge to adjacent waterways. After the Project infrastructure has been completed, dust control and storm water best management practices will remain in place until all lots within the Project have been developed.

8. GRADING AND DRAINAGE

Currently the majority of the site is being used for agricultural purposes. The site topography is generally flat and graded, due to the agricultural land use. According to the USGS Quadrangle maps, the site generally slopes to the west. Reference the *Preliminary Grading & Drainage Exhibit - Exhibit L*. There is one existing residential unit on the Property which is located near the northwest

MADERA WEST ESTATES PAD

corner of the site. This home will remain on the Property and will be accounted for in all design plans.

The site is located within the East Mesa Area Drainage Master Plan. According to the Drainage Master Plan, the site will not be impacted by the significant offsite flows that originate east of the site because these flows are planned to flow through a drainage channel proposed for the Madera project. This channel will be routed to the north side of Queen Creek Road, east of Signal Butte Road. With these improvements the site will be protected from significant offsite flows. The remaining sheet flow generated from surrounding areas will be allowed to pass through the Property in an east/west manner through the community's internal streets. The site will be designed in accordance with the current Town of Queen Creek Design Standards and Procedures Manual.

9. PHASING

Current phasing as depicted on **Exhibit M – Proposed Phasing** anticipates that the Property will be developed in two phases. Phase 1 will consist of Parcels 1 and 2 and Phase 2 will consist of Parcel 3. This anticipated phasing may be revised at any time based on market demand. Town requirements for infrastructure connections will be met for all development.

10. PUBLIC PARTICIPATION

Consistent with the Town's public participation procedures, a neighborhood meeting will be held as a part of this PAD Amendment process to address any questions neighbors may have and bring them to the attention of the Town. In anticipation of submitting this PAD Amendment request, Applicant has met with the owner of the Light Sky Ranch property and some of the neighbors residing within the Crismon Ranch Estates and Crismon Heights communities. The Project team is committed to continuing public participation efforts throughout the entitlement process for Madera West Estates.

11. PROJECT TEAM

Owner/Applicant:

QCBPE RESIDENTIAL LAND, LLC
Attn: Michelle Yerger (Communities
Southwest, Inc.)
7001 N. Scottsdale Road, Suite 1015
Scottsdale, AZ 85253
Phone: 480-315-2600

Zoning Attorney:

Garry Hays
Law Offices of Garry D. Hays, PC
2198 E. Camelback Road, Suite 230
Phoenix, AZ 85016
Phone: 602-308-0579

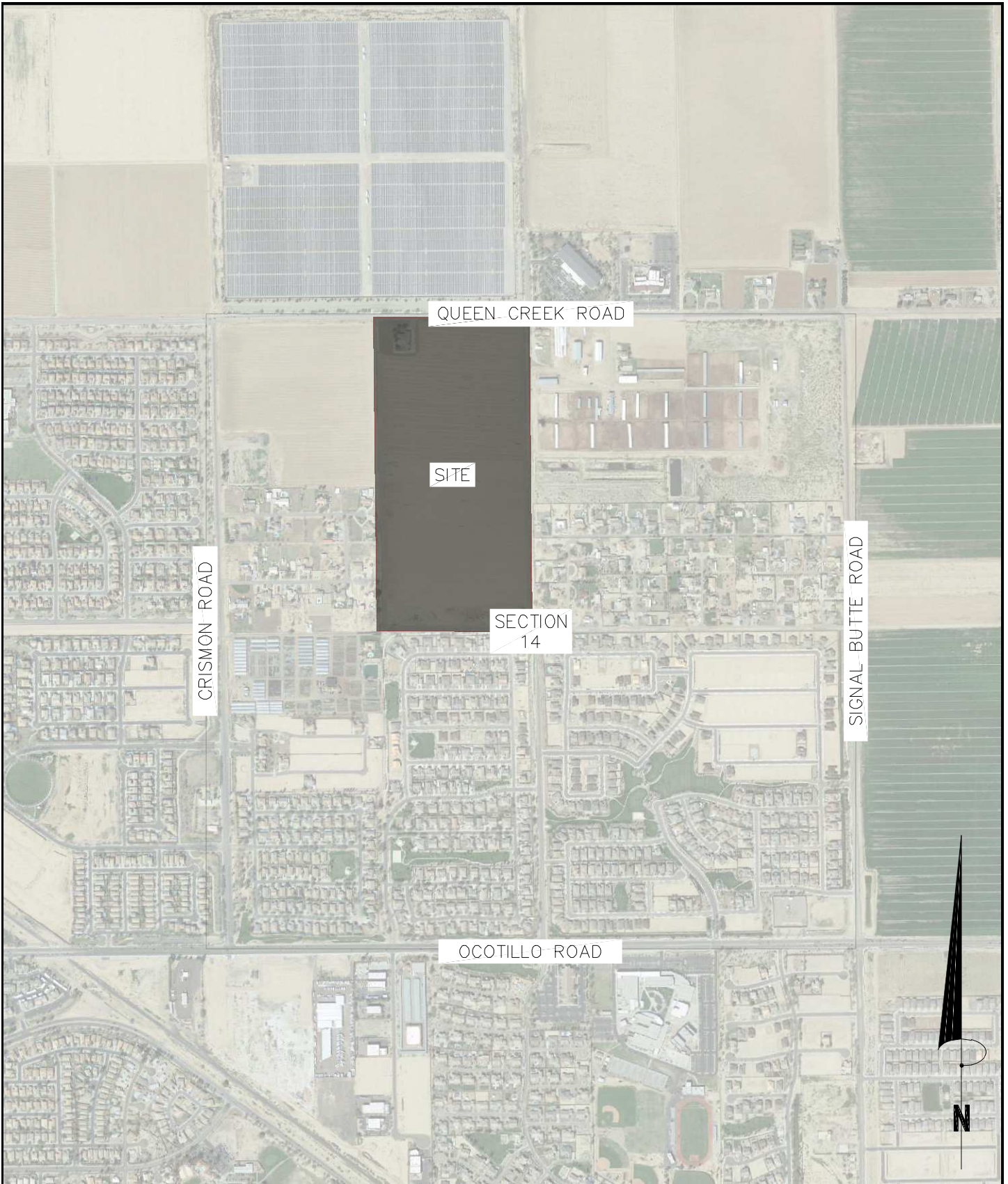
MADERA WEST ESTATES PAD

Engineer:

Bowman Consulting Group, Ltd.
Attn: John Gray, PE
1295 W. Washington Street, Suite 108
Tempe, AZ 85281
Phone: 480-629-8830

Land Planning &
Landscape Architect

Thomas + Crowley
Attn: Paul Thomas, PLA
1150 N. Country Club Drive, Suite 11
Mesa, AZ 85201
Phone: 480-878-4708



QUEEN CREEK ROAD

SITE

SECTION
14

CRISMON ROAD

SIGNAL BUTTE ROAD

OCOTILLO ROAD



Bowman
CONSULTING

1295 West Washington Ste 108 Phone: (480) 629-8830
Tempe, Arizona 85281 www.bowmanconsulting.com

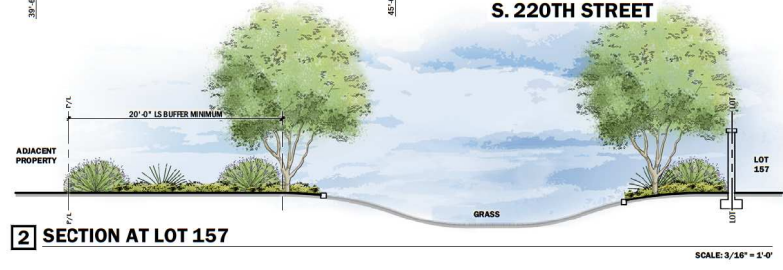
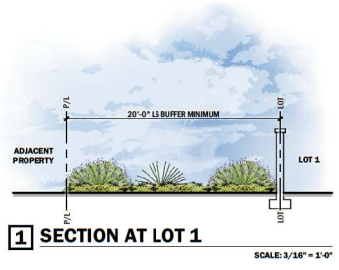
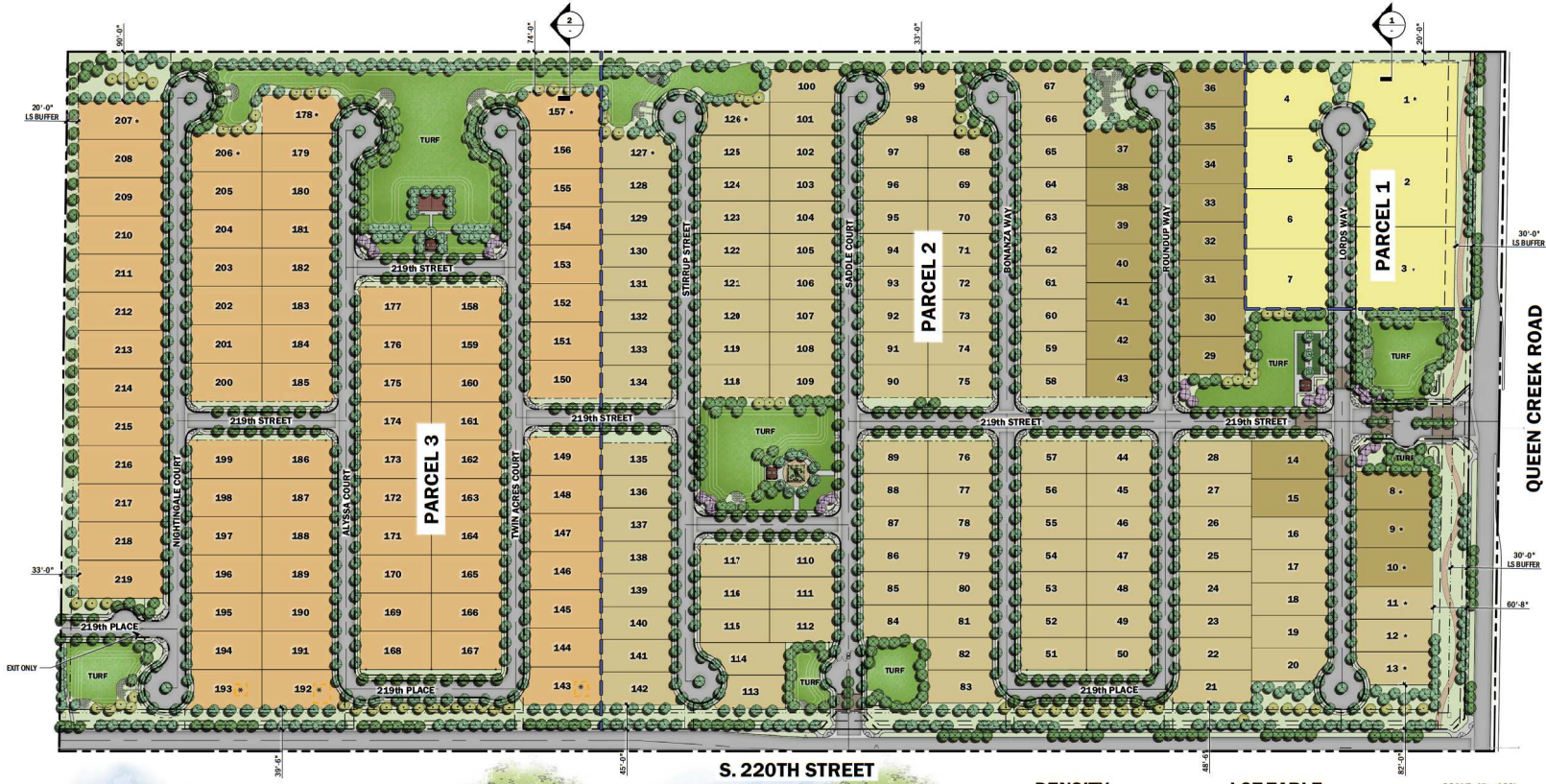
Madera West Estates

Town of Queen Creek, Arizona

Exhibit: Vicinity Map

JOB #	090209
DATE	8/21/19
SCALE	N.T.S.
DRAWN	PS

EXHIBIT A



DENSITY

STANDARD RESIDENTIAL DENSITY CALCULATION

D = DU
 A = (C+H+S)
 A = 77.27 AC
 S = 3.96 AC
 D = 219
 77.27 ÷ (0+0+0+3.96) = 73.29
 D = 2.98 DU/AC

SITE DATA

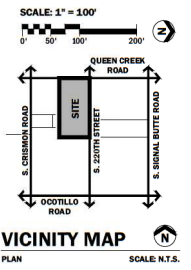
GROSS SITE AREA: 77.27 AC
 NET SITE AREA: 73.26 AC

REQUIRED OPEN SPACE: 20% (14.66 AC)
 PROPOSED OPEN SPACE: 22.68% (16.62 AC)
 REQUIRED ACTIVE OPEN SPACE: 30% (8.40 AC)
 PROPOSED ACTIVE OPEN SPACE: 30% (8.41 AC)

GROSS DENSITY: 2.83 DU/AC
 NET DENSITY: 2.98 DU/AC

LOT TABLE

PARCEL	LOT SIZE	LOTS
1	VARIES	7
2	60' x 129'-150'	115
3	70' x 130'-150'	20
4	70' x 140'-164'	77
5-7	110' x 162'	
TOTAL LOTS		219



PROJECT

MADERA WEST ESTATES

PLANNED AREA DEVELOPMENT

EXHIBIT

AMENDED CONCEPTUAL DEVELOPMENT PLAN

EXHIBIT #

Ex B

DATE: 10.28.2019



LANDSCAPE LEGEND

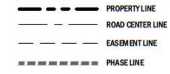
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	<i>PISTACIA X 'RED PUSH'</i> RED PUSH PISTACHE	24" BOX
	<i>FRAXINUS VELUTINA 'FAUNTEX'</i> FAUNTEX ASH	24" BOX
	<i>CHILOPSIS LINEARIS 'BURGUNDY'</i> BURGUNDY DESERT WILLOW	24" BOX
	<i>ACACIA SMALL#</i> SWEET ACACIA	24" BOX

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	<i>CHAMEROPS HUMILIS</i> MEDITERRANEAN FAN PALM	5 GAL.
	<i>CYCAS REVOLUTA</i> SAGO PALM	5 GAL.
	<i>BOUGAINVILLEA SPECIES</i> BUSH BOUGAINVILLEA	5 GAL.
	<i>TECOMA X 'ORANGE JUBILEE'</i> ORANGE JUBILEE	5 GAL.
	<i>LEUCOPHYLLUM FRUTESCENS</i> GREEN CLOUD SAGE	5 GAL.
	<i>EROMOPHILA MACULATA</i> 'VALENTINE'	5 GAL.
	VALENTINE BUSH	5 GAL.
	<i>NERIUM OLEANDER 'PETITE PINK'</i> PETITE PINK OLEANDER	5 GAL.

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	<i>RUPELLIA BRITTONIANA</i> COMMON RUPELLIA	5 GAL.
	<i>RUPELLIA EQUISETIFORMIS</i> CORAL FOUNTAIN	5 GAL.
	<i>MIVOYTUS COMMUNIS 'COMPACTA'</i> DWARF MIMBLE	5 GAL.
	<i>MUHLENBERGIA RIGIDA</i> DEER GRASS	5 GAL.
	<i>MUHLENBERGIA RIGIDA</i> 'WASHWILLE'	5 GAL.
	NASHVILLE MOSSY GRASS	5 GAL.
	<i>NESEPERALOE FUFFERA</i> GIANT NESEPERALOE	5 GAL.
	<i>NESEPERALOE PARVIFOLIA</i> RED YUCCA	5 GAL.

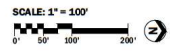
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	<i>LANTANA X 'NEW GOLD'</i> YELLOW LANTANA	1 GAL.
	<i>LANTANA MONTENENSIS</i> PURPLE TRAILING LANTANA	1 GAL.
	<i>ROSMARINUS OFFICINALIS</i> PROSTRATE ROSEMARY	1 GAL.
	<i>WEDELIA TRILOBATA</i> YELLOW DOT	1 GAL.

LEGEND



SITE DATA

GROSS SITE AREA:	77.27 AC
NET SITE AREA:	73.28 AC
REQUIRED OPEN SPACE:	20% (14.66 AC)
PROPOSED OPEN SPACE:	22.68% (16.62 AC)
REQUIRED ACTIVE OPEN SPACE:	30% (4.40 AC)
PROPOSED ACTIVE OPEN SPACE:	30% (4.41 AC)
GROSS DENSITY:	2.83 DU/AC
NET DENSITY:	2.98 DU/AC



LANDSCAPE CALCULATIONS

STREET TREE CALCS
 REQUIRED: 1 TREE, 6 SHRUBS PER 30 L.F.
 PROVIDED: 1 TREE, 6 SHRUBS PER 30 L.F.

OPEN SPACE CALCS
 REQUIRED: 2 TREES PER DWELLING UNIT
 (219 LOTS) = 438 TREES
 PROVIDED: 438 TREES

- 25% OF THE PROVIDED TREES SHALL BE 24" BOX OR LARGER
- STREET TREES CAN BE COURED TOWARDS THIS QUANTITY.



PROJECT

MADERA WEST ESTATES
 PLANNED AREA DEVELOPMENT

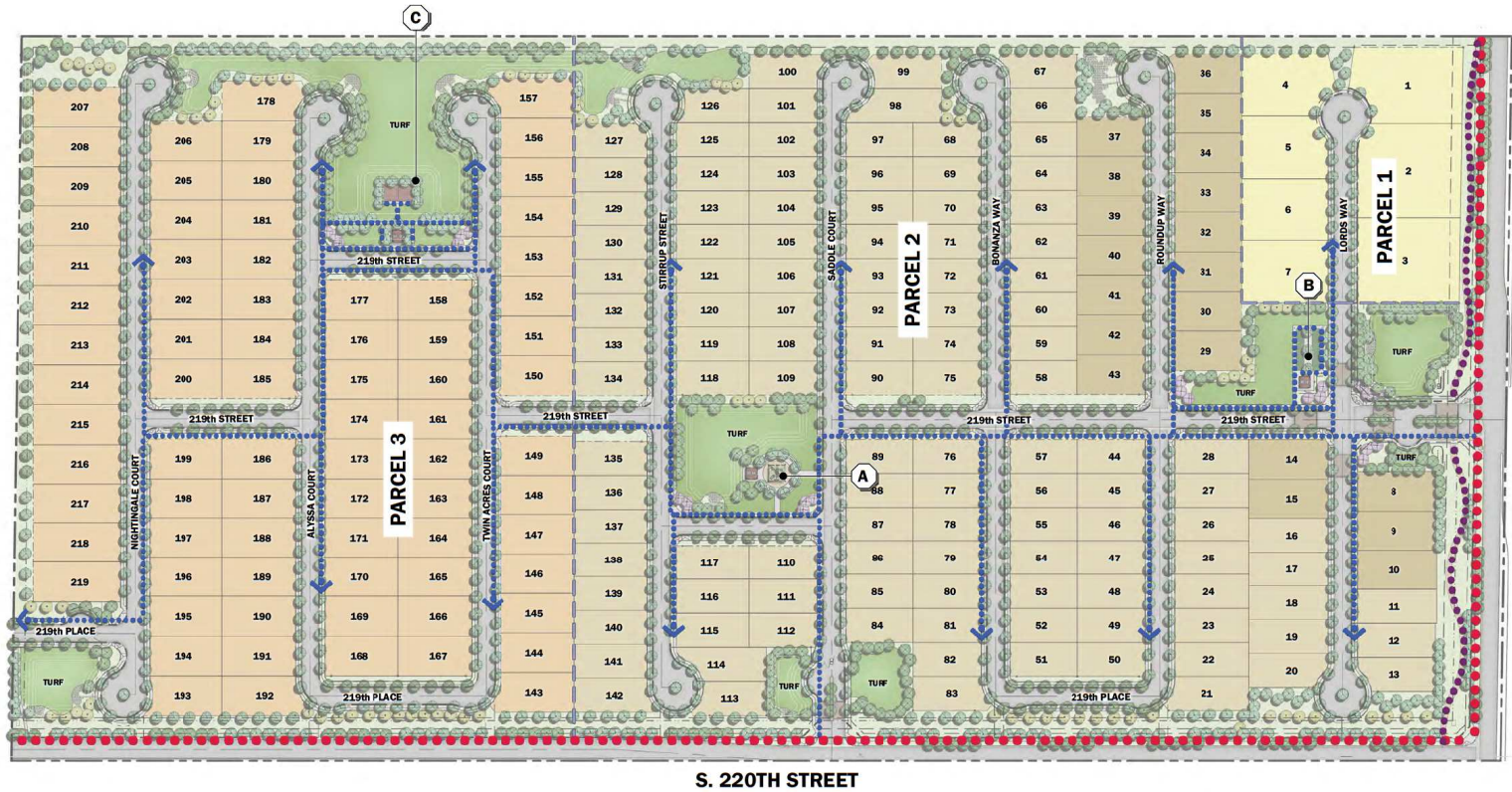
EXHIBIT

**CONCEPTUAL
 LANDSCAPE PLAN**

EXHIBIT #

Ex C

DATE: 10.28.2019



S. 220TH STREET

QUEEN CREEK ROAD

LEGEND

- PROPERTY LINE
- ROAD CENTER LINE
- EASEMENT LINE
- PHASE LINE

A PARK A

- (1) PLAY STRUCTURE
- (1) RAMADA
- (2) BBQ GRILL
- (1) TRASH RECEPTACLE
- (2) PICNIC TABLES
- (1) 1000G POTS
- (1) TRASH RECEPTACLE

B PARK B

- (1) RAMADA
- (2) BBQ GRILL
- (2) PICNIC TABLES
- (2) PARK BENCHES
- (1) 1000G POTS
- (2) SOCCER BALL COURTS

C PARK C

- (1) RAMADA
- (2) BBQ GRILL
- (2) PICNIC TABLES
- (2) PARK BENCHES
- (1) PICKLE BALL COURT

LEGEND

- A** PARK KEY
- 1'-0" WIDE CONCRETE SIDEWALK
PEDESTRIAN CIRCULATION
- 1'-0" WIDE CONCRETE SIDEWALK
PEDESTRIAN CIRCULATION
- 30'-0" WIDE UNPAVED TRAIL
STABILIZED DECOMPOSED GRANITE
DARK TONE COLOR

SCALE: 1" = 100'



NOTE:

1. ALL RECREATION PLAY EQUIPMENT AND SHADE STRUCTURES TO BE OF DURABLE MATERIAL AND EARTH TONE COLOR.
2. COMMON AREA LANDSCAPING: A MINIMUM OF TWO (2) TREES PER DWELLING UNIT SHALL BE REQUIRED, WHICH MAY INCLUDE STREET TREES. A MINIMUM OF TWENTY-FIVE PERCENT (25%) OF REQUIRED TREES SHALL BE TWENTY-FOUR INCH (24") BOX OR LARGER.



PROJECT

MADERA WEST ESTATES
PLANNED AREA DEVELOPMENT

EXHIBIT

**CONCEPTUAL
OPEN SPACE, PARKS,
AND TRAILS PLAN**

EXHIBIT #

Ex D

DATE: 10.28.2019

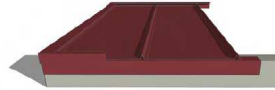


BOCCIE BALL COURT



PICKLEBALL COURT

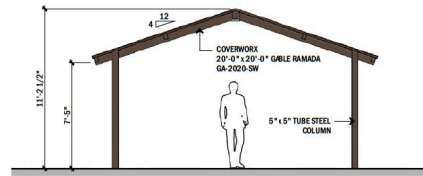
RAMADA



ROOF
MERIDIAN STANDING SEAM ROOF
COLOR: BRINDYWINE



STEEL POSTS & BEAMS
TUBE STEEL
COLOR: POWDER COAT MEDIUM BRONZE



RAMADA ELEVATION

SITE BENCHES



BENCH
SIZE:
22' x 18" x 72" BACKLESS
26" x 36" x 72" BACKED WITH ARMS
COLOR: POWDER COAT BRONZE

BBQ



BBQ
COLOR: POWDER COAT BLACK

PICNIC TABLE



PICNIC TABLE
COLOR: POWDER COAT BRONZE

TRASH RECEPTACLE



LITTER RECEPTACLE
COLOR: POWDER COAT BRONZE

PLAY STRUCTURE & SHADE SAIL



PLAY STRUCTURE
MODEL VARIES
COLOR: EARTH TONE COLORS
BROWN POST, BROWN SLIDING
TAN & GREEN PANELS AND SLIDES

SHADE SAILS
SIZE: SHOULD COVER ENTIRE PLAY STRUCTURE
POST COLOR: BRONZE
SAIL COLOR: EARTH TONE COLORS

LIGHTS



OPEN SPACE LIGHT



RAMADA LIGHT

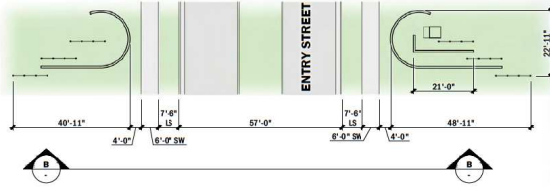
LIGHTS
COLOR: POWDER COAT BLACK



BOLLARD LIGHT



B OVERALL MONUMENT ELEVATION
SCALE: 1/8" = 1'-0"



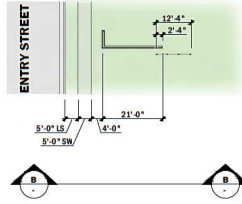
A PLAN VIEW
SCALE: 1" = 20'-0"



C ELEVATION
SCALE: 1/4" = 1'-0"

- LOW LEDGESTONE WALL
- 10" HIGH LASER CUT STEEL LETTERING - UPRIGHT FONT: MAJANDRA GD NATURAL STEEL FINISH
- 6" BOARD FORMED CONCRETE COLUMN
- 4" SQ. STEEL POST NATURAL FINISH
- 3" SQ. WELDED WIRE MESH NATURAL FINISH WELDED TO POST AND 1/2" STEEL ANGLE

1 PRIMARY ENTRY MONUMENT



A PLAN VIEW
SCALE: 1" = 20'-0"



B ELEVATION
SCALE: 1/4" = 1'-0"

- 10" HIGH LASER CUT STEEL LETTERING - UPRIGHT FONT: MAJANDRA GD NATURAL STEEL FINISH
- 6" BOARD FORMED CONCRETE COLUMN
- 4" SQ. STEEL POST NATURAL FINISH
- 3" SQ. WELDED WIRE MESH NATURAL FINISH WELDED TO POST AND 1/2" STEEL ANGLE

2 SECONDARY ENTRY MONUMENT

communities southwest
THOMAS+CROWLEY
LANDSCAPE ARCHITECTURE • PLANNING • SITE DESIGN • CONSTRUCTION MANAGEMENT

SEAL
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
84031 PAUL THOMAS
EXPIRES 12/31/21

PROJECT

MADERA WEST ESTATES
PLANNED AREA DEVELOPMENT

EXHIBIT

CONCEPTUAL
ENTRY MONUMENTS

EXHIBIT #

Ex F

DATE: 10.28.2019



1 DOUBLE GATES AT QUEEN CREEK ROAD AND 220TH STREET

SCALE: 1/4" = 1'-0"



2 SINGLE GATE AREA AT 219TH PLACE

SCALE: 1/4" = 1'-0"



S. 220TH STREET

QUEEN CREEK ROAD

MAILBOXES

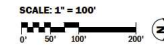
- MAILBOX LOCATIONS
LOCATIONS SUBJECT TO CHANGE PER
CIPR REQUIREMENTS
SEE SHEET L8 FOR DETAILS

WALL NOTES

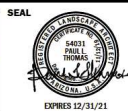
- SEE EXHIBIT L5 FOR ALL WALL DETAILS
- ALL LOT & PROPERTY LINES (WITHOUT A WALL SYMBOL) THAT REQUIRE A WALL SHALL BE CONSTRUCTED OF THURLOFF WALL (OR EQUAL) PER TOWN OF QUEEN CREEK STANDARDS.
- WALLS FOLLOW REAR AND SIDE LOT PROPERTY LINES UNLESS OTHERWISE SHOWN (SEE ENGINEERING FINAL PLAN FOR DIMENSIONS).
- A 6"x6" CONCRETE HEADER SHALL BE PLACED BETWEEN THE WALL COLUMN SETBACK & SIDEWALK WHERE PROPERTY LINE OCCURS.
- ALL WALLS SHALL BE CONSTRUCTED OUTSIDE OF ROOF OF WAYS, PUBLIC UTILITY FACILITIES AND SIGHT VISIBILITY TRIANGLES PER TOWN OF QUEEN CREEK STANDARDS

WALL LEGEND

- PRIMARY THEME WALL
L INDICATES COLUMN LOCATION
- ACCENT PANEL
- SECONDARY THEME WALL
L INDICATES COLUMN LOCATION
- VIEW WALL
- SCREEN WALL
- VIEW FENCE
- RAIL FENCE
- PRIMARY ENTRY MONUMENT
SEE SHEET L6
- SECONDARY ENTRY MONUMENT
SEE SHEET L6



SEE SHEETS L5.1 & L5.2 FOR ALL WALL DETAILS



PROJECT

MADERA WEST ESTATES
PLANNED AREA DEVELOPMENT

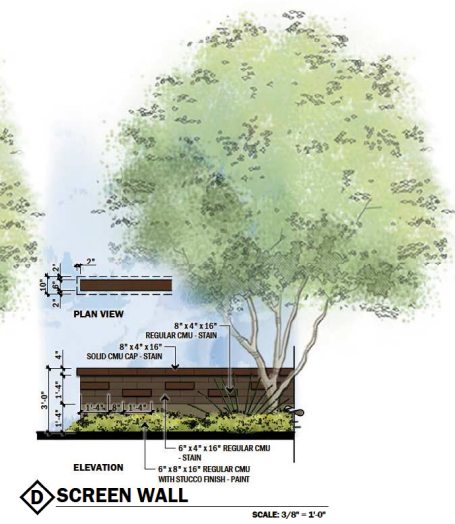
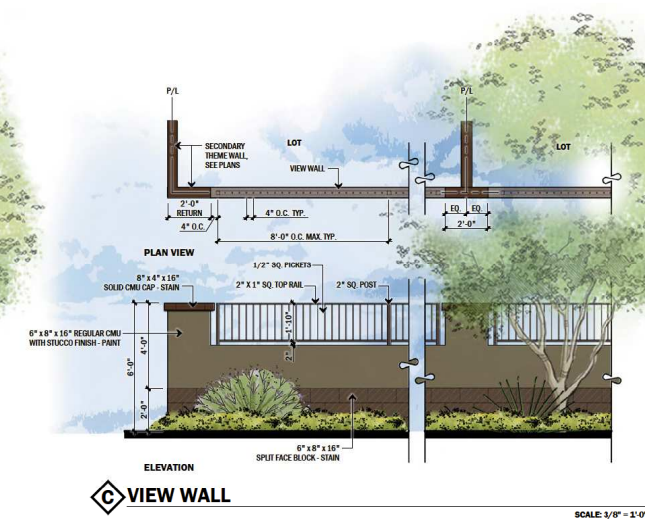
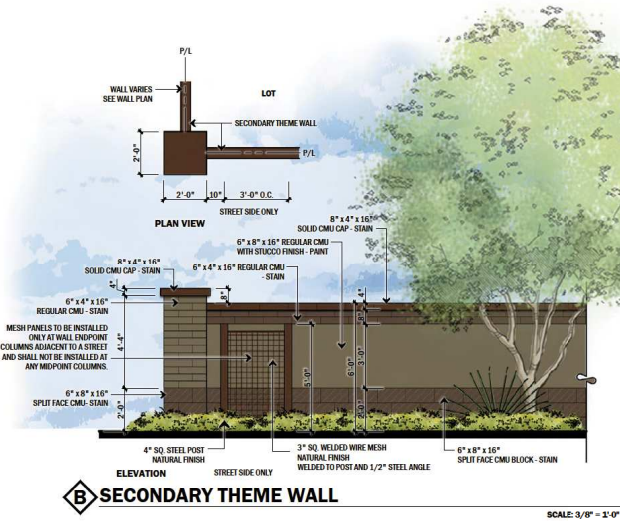
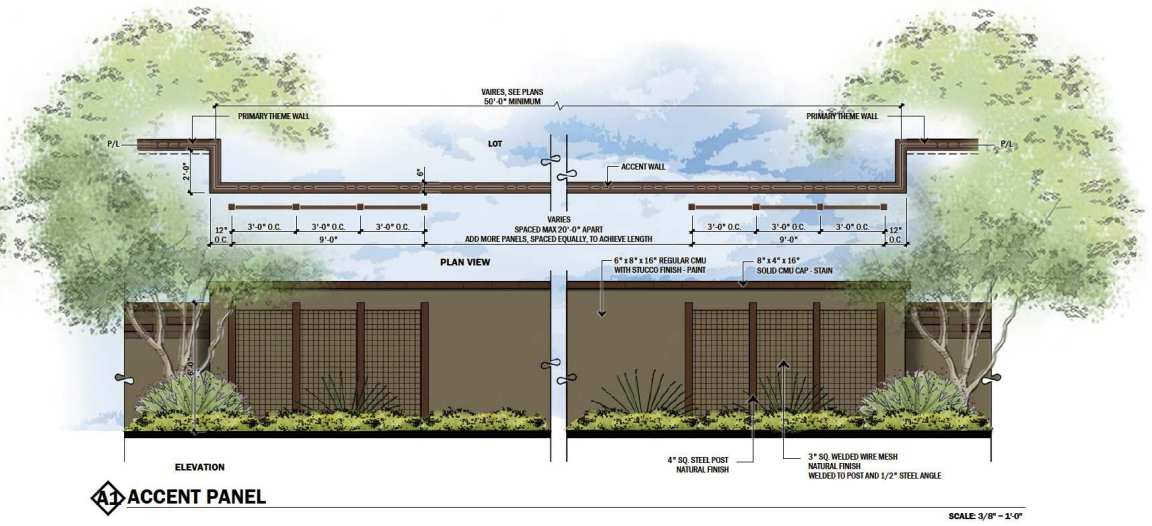
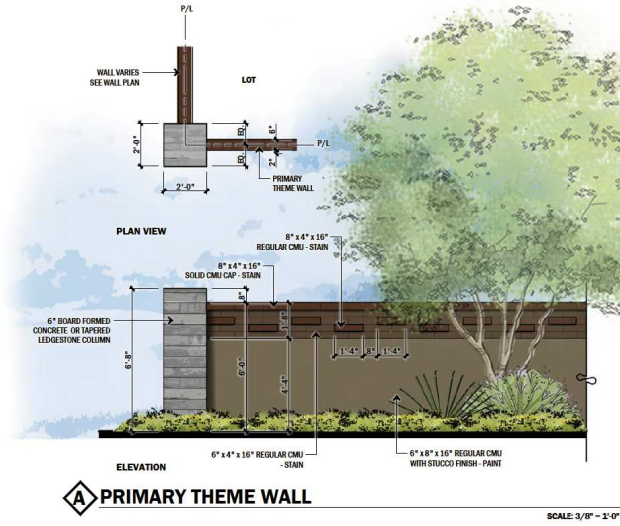
EXHIBIT

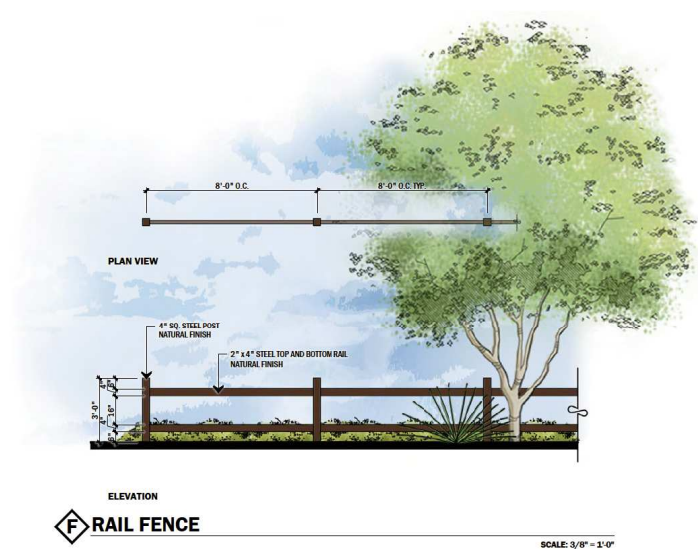
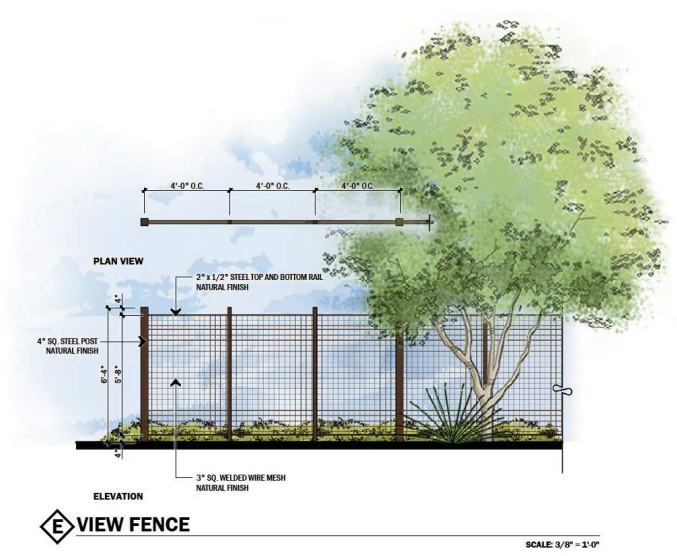
**CONCEPTUAL
MASTER WALL PLAN**

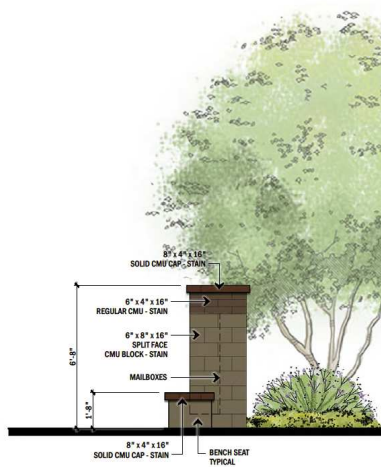
EXHIBIT #

Ex H

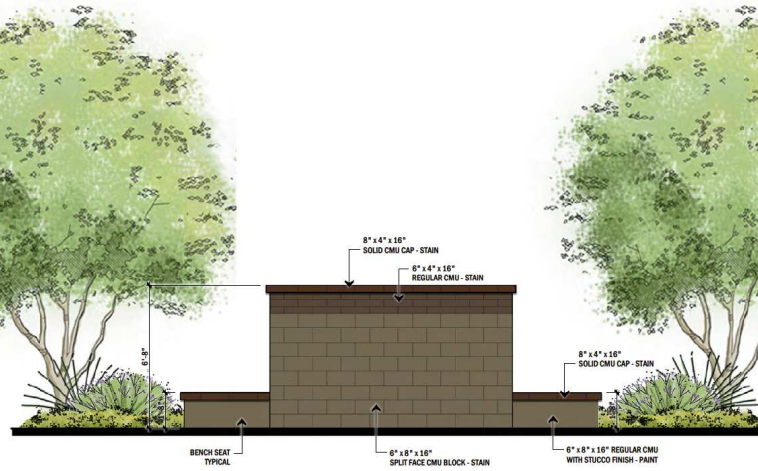
DATE: 10.28.2019



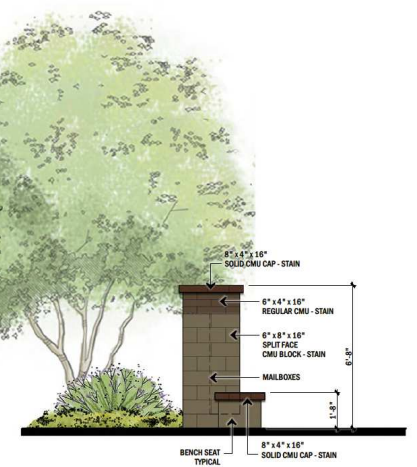




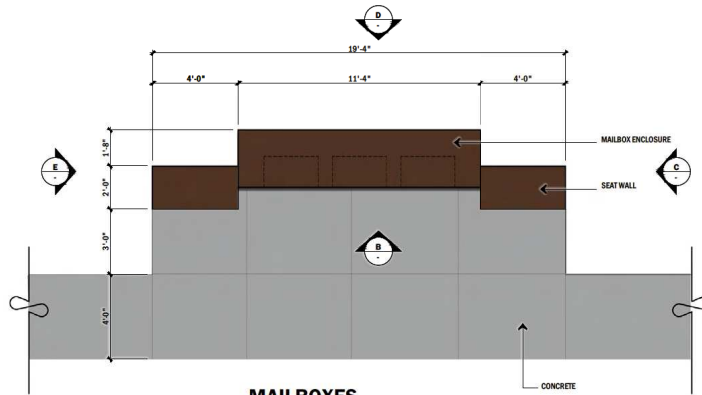
C SIDE ELEVATION (EAST)



D BACK ELEVATION



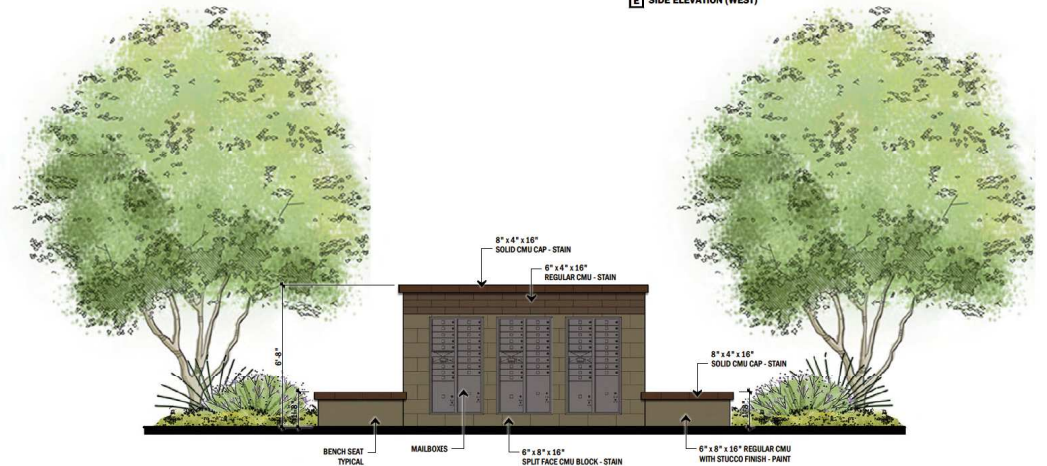
E SIDE ELEVATION (WEST)



A PLAN ENLARGEMENT

MAILBOXES

MAILBOX MODEL: 37150-20 (20 UNITS)
 RECESSED MOUNTED
 (20 MB.1, 1 PL.1, 1 PL.2, 1 PL.3, 1 PL.4)
 COLOR: BRONZE
 MANUFACTURER: WWW.MAILBOXES.COM
 SALISBURY INDUSTRIES



B FRONT ELEVATION

1 MAILBOXES

SCALE: 3/8" = 1'-0"



PROJECT

MADERA WEST ESTATES
 PLANNED AREA DEVELOPMENT

EXHIBIT

CONCEPTUAL
 MAILBOX DETAILS

EXHIBIT #

Ex J

DATE: 10.28.2019

PROJECT NUMBER



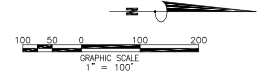
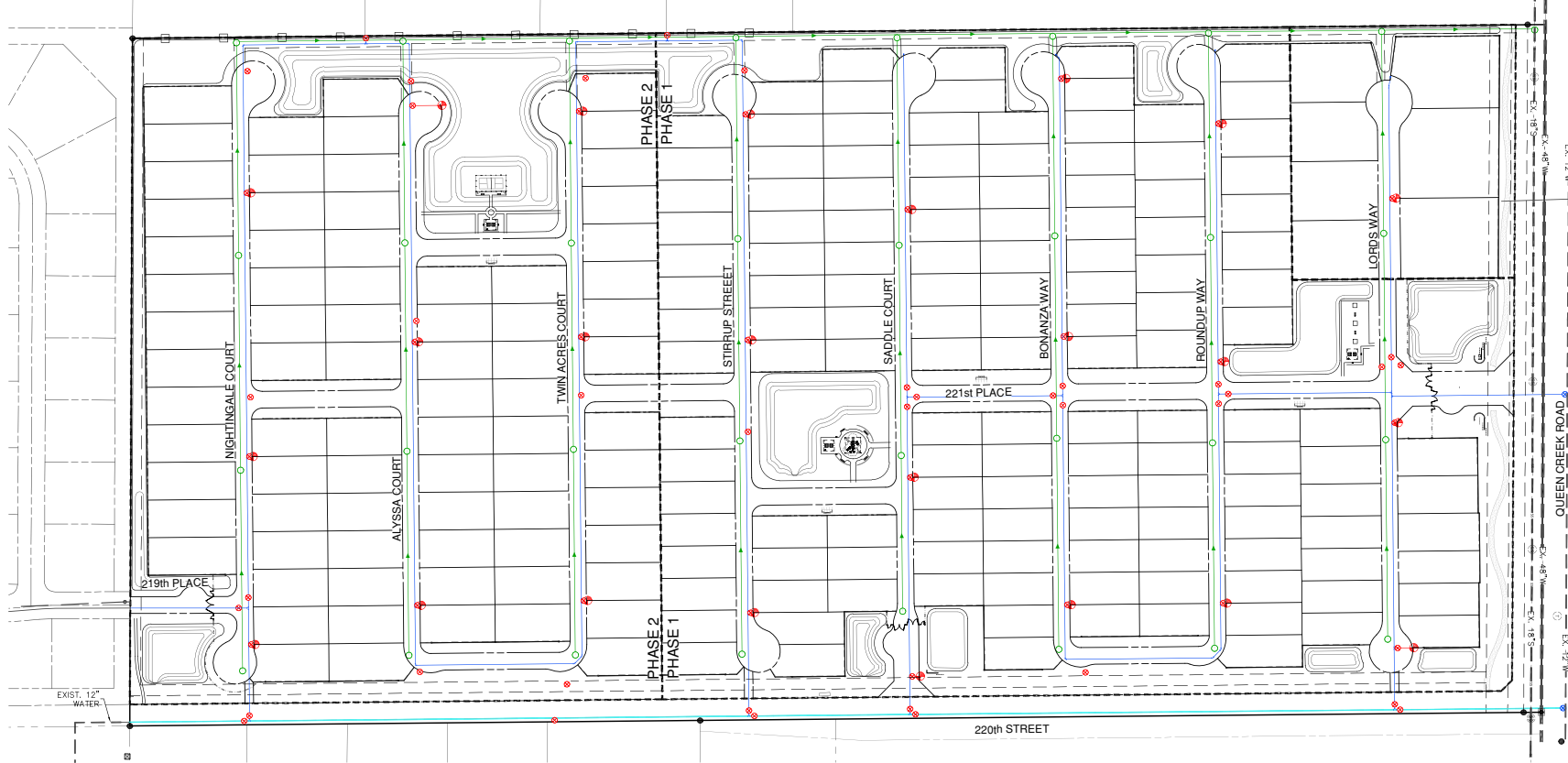
PLAN STATUS

DATE	DESCRIPTION

DATE : 10/29/19

EXHIBIT K

SHEET 1 OF 1

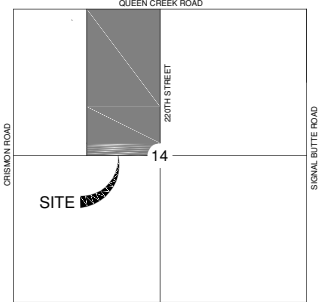


- LEGEND**
- PROPOSED 8" WATER LINE
 - PROPOSED 12" WATER LINE
 - PROPOSED FIRE HYDRANT
 - ⊗ PROPOSED VALVE
 - PROPOSED 8" SEWER LINE
 - PROPOSED SEWER MANHOLE

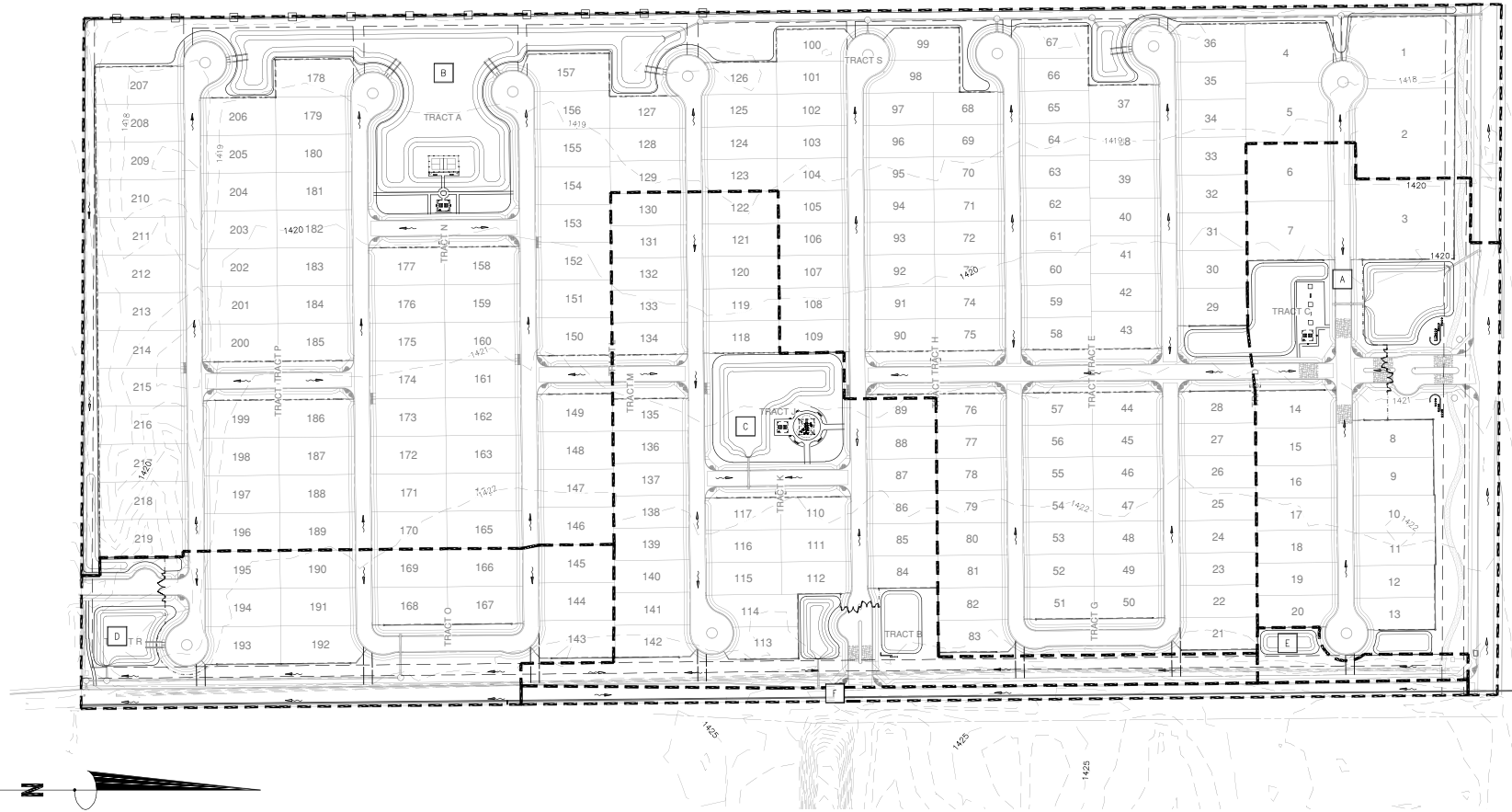
OWNER
 OCBPE RESIDENTIAL LAND, LLC
 c/o COMMUNITIES SOUTHWEST
 7001 N. SCOTTSDALE RD., SUITE 1015
 SCOTTSDALE, ARIZONA 85253
 PH: 480.315.2800
 CONTACT: MICHELLE YERGER

ENGINEER
 BOWMAN CONSULTING
 1255 WEST WASHINGTON STREET
 SUITE 108
 TEMPE, ARIZONA 85281
 PH: 480.829.8830
 CONTACT: JOHN GRAY

PROJECT DESCRIPTION
 THE PROJECT IS A SINGLE FAMILY RESIDENTIAL DEVELOPMENT IN QUEEN CREEK, ARIZONA. THE SITE CONSISTS OF 219 LOTS AND HAS GATED ENTRANCES.



VICINITY MAP
 NOT TO SCALE



Basin	Retention Required (cf)	Retention Provided (cf)		
		Basin	Extra Provided	Total
Basin A	50,557	79,779	Extra Provided	29,222
Basin B	249,101	274,475	Extra Provided	25,374
Basin C	57,500	64,454	Extra Provided	6,954
Basin D	33,424	33,741	Extra Provided	317
Basin E	2,919	11,166	Extra Provided	8,247
Basin F	8,404	24,057	Extra Provided	15,653

OWNER

OCBPE RESIDENTIAL LAND, LLC
 c/o COMMUNITIES SOUTHWEST
 7001 N. SCOTTSDALE RD., SUITE 1015
 SCOTTSDALE, ARIZONA 85253
 PH: 480.315.2600
 CONTACT: MICHELLE YERGER

ENGINEER

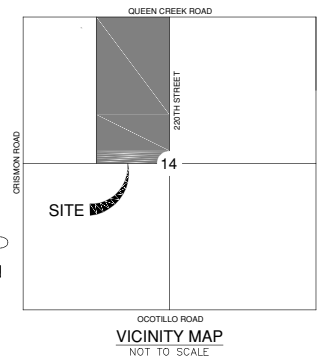
BOWMAN CONSULTING
 1295 WEST WASHINGTON STREET
 SUITE 109
 TEMPE, ARIZONA 85261
 PH: 480.629.8830
 CONTACT: JOHN GRAY

FLOOD ZONE CERTIFICATION

THE SITE LIES WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) NUMBER 04013C2790L WITH A CURRENT EFFECTIVE DATE OF OCTOBER 14, 2013. ACCORDING TO THE FEMA GIS DATABASE, THIS PANEL IS NOT PRINTED DUE TO NO SPECIAL FLOOD HAZARD AREAS BEING LOCATED WITHIN THE AREA.

PROJECT DESCRIPTION

THE PROJECT IS A SINGLE FAMILY RESIDENTIAL DEVELOPMENT IN QUEEN CREEK, ARIZONA. THE SITE CONSISTS OF 219 LOTS AND HAS GATED ENTRANCES.



Bowman
 CONSULTING

Bowman Consulting Group, LLC
 1295 West Washington Street, 109
 Tempe, Arizona 85261
 Phone: (480) 629-8830
 www.bowmanconsulting.com
 © Bowman Consulting Group, LLC

PRELIMINARY GRADING AND DRAINAGE
MADERA WEST ESTATES
 SWC QUEEN CREEK ROAD AND 220TH STREET
 QUEEN CREEK, AZ MARICOPA COUNTY

PROJECT NUMBER

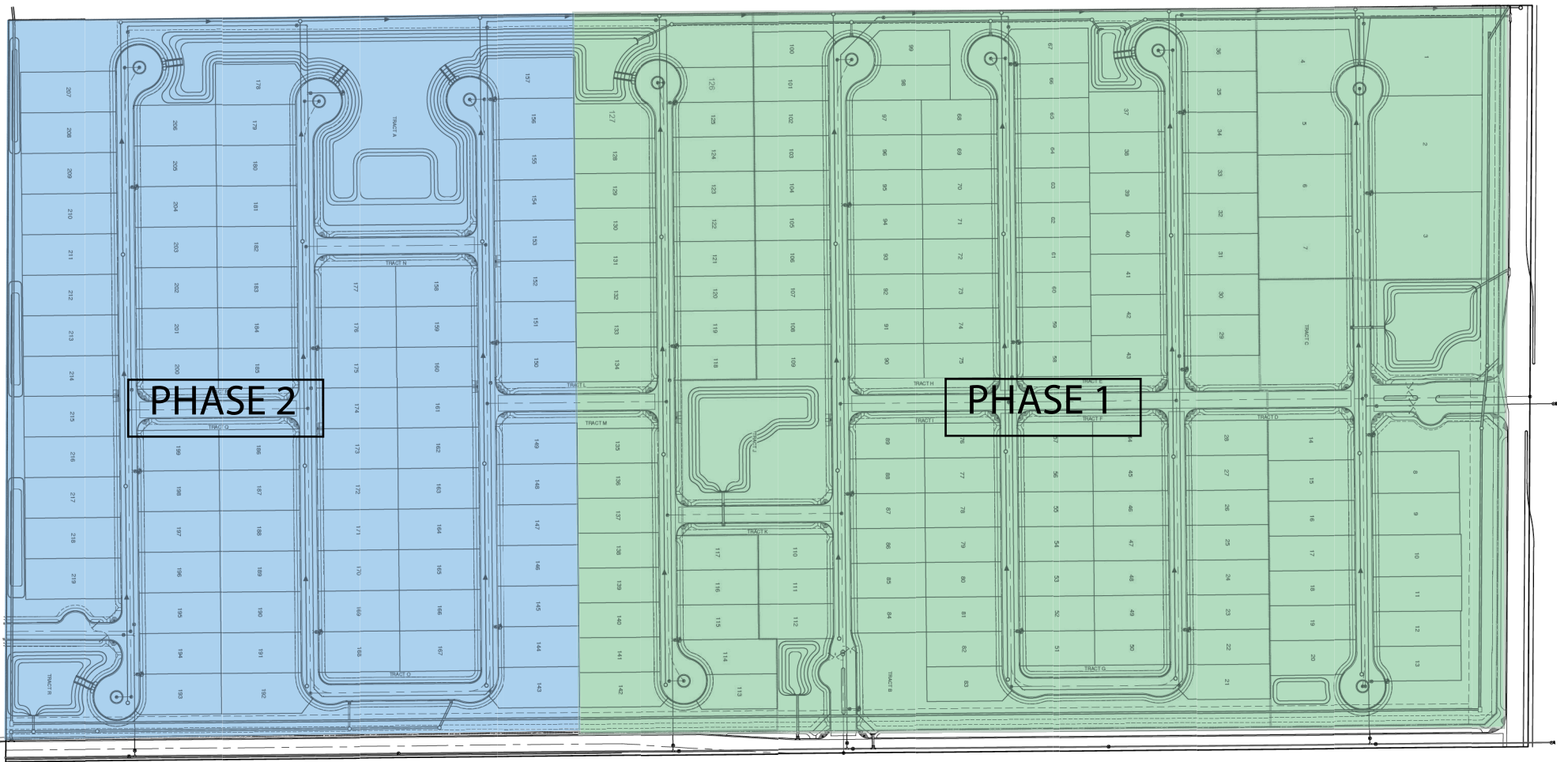


PLAN STATUS

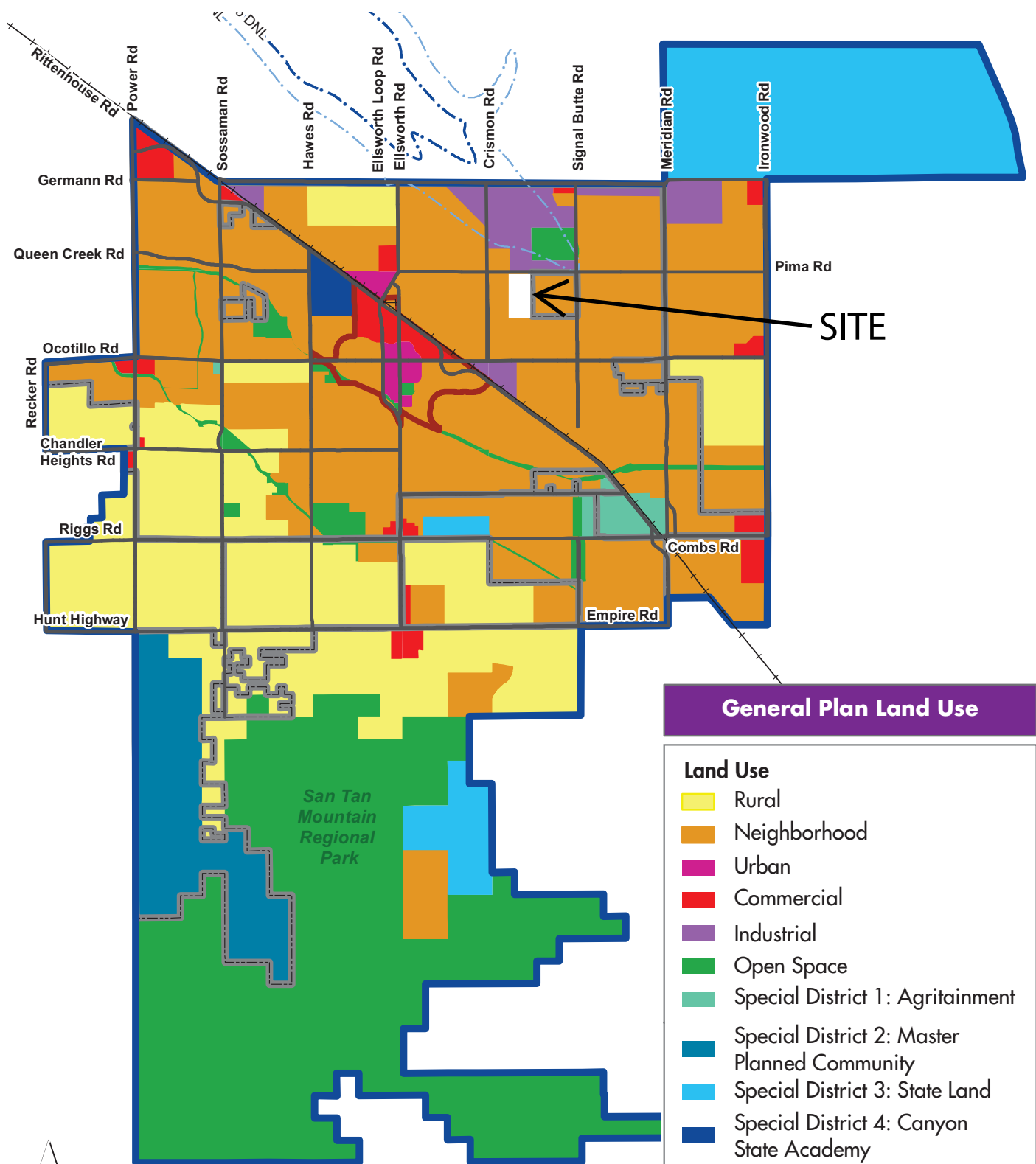
DATE	DESCRIPTION
PS	PS JG
DESIGN	DRAWN CHWD
SCALE	AS NOTED
V:	
JOB No.	190209
DATE :	09/10/19

EXHIBIT L

SHEET 1 OF 1



MADERA WEST ESTATES - PHASING



General Plan Land Use

- Land Use**
- Rural
 - Neighborhood
 - Urban
 - Commercial
 - Industrial
 - Open Space
 - Special District 1: Agritainment
 - Special District 2: Master Planned Community
 - Special District 3: State Land
 - Special District 4: Canyon State Academy
 - Town Center Boundary**
 - Town Limits**
 - Planning Area**
 - 2035 Transportation Plan**



MADERA WEST ESTATES
 PLANNED AREA DEVELOPMENT

EXHIBIT N