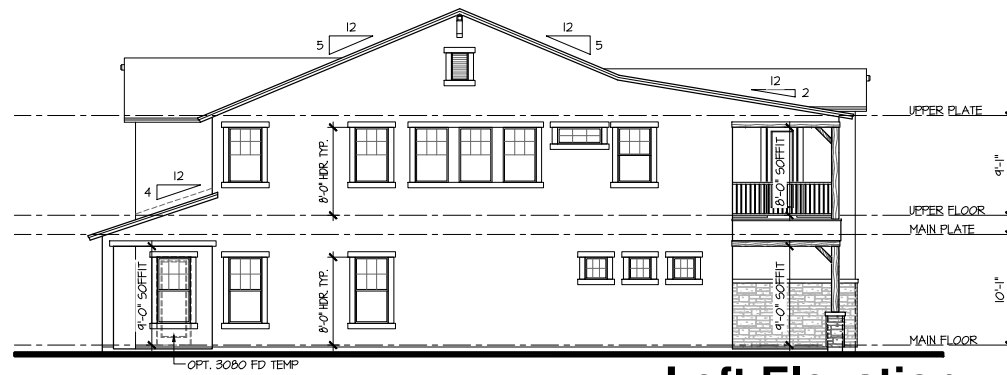


Roof Plan
SCALE: 1/8"=1'-0"



Left Elevation
SCALE: 1/8"=1'-0"



Rear Elevation
SCALE: 1/8"=1'-0"

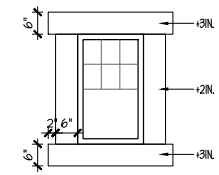


Right Elevation
SCALE: 1/8"=1'-0"



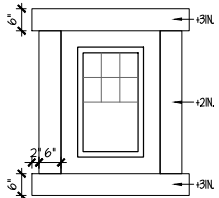
Front Elevation
SCALE: 1/4"=1'-0"

Elevation B - Ranch



TYPICAL WINDOW TRIM - B
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - B
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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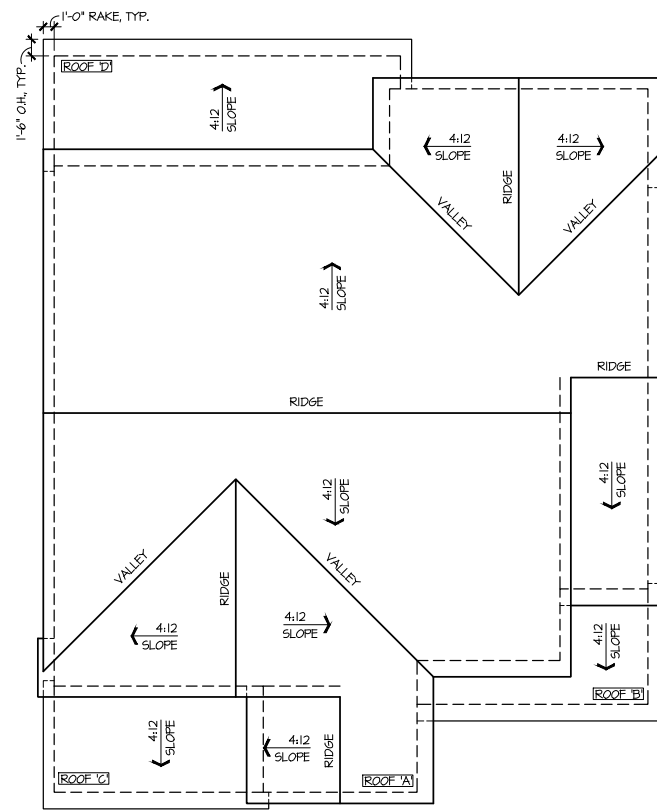


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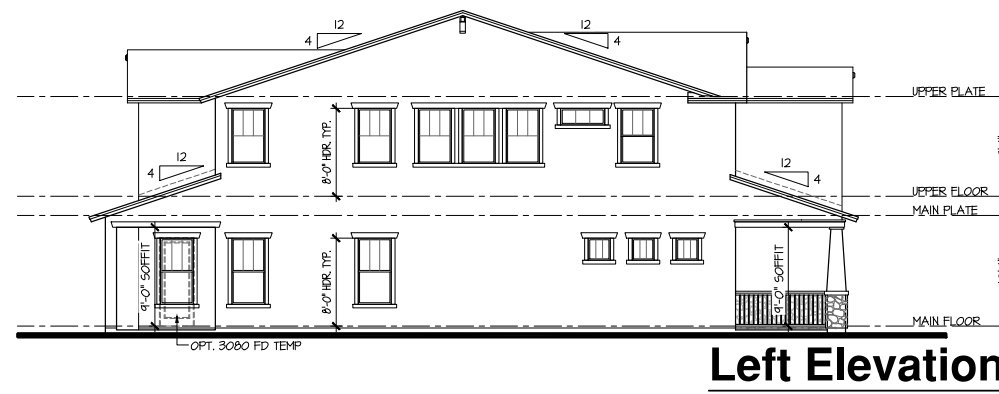
JOB NO: SF190151.00 PROJ. MGR: BVM
DRAWN: AMC CHECKED: BVM
EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION B - RANCH

PLAN 5414
A3.1B

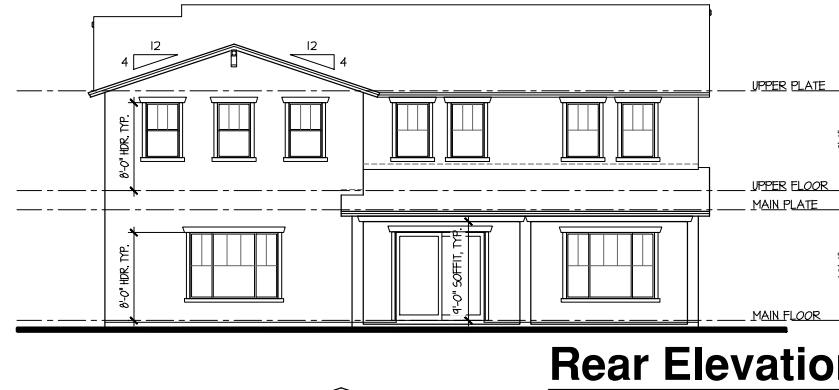
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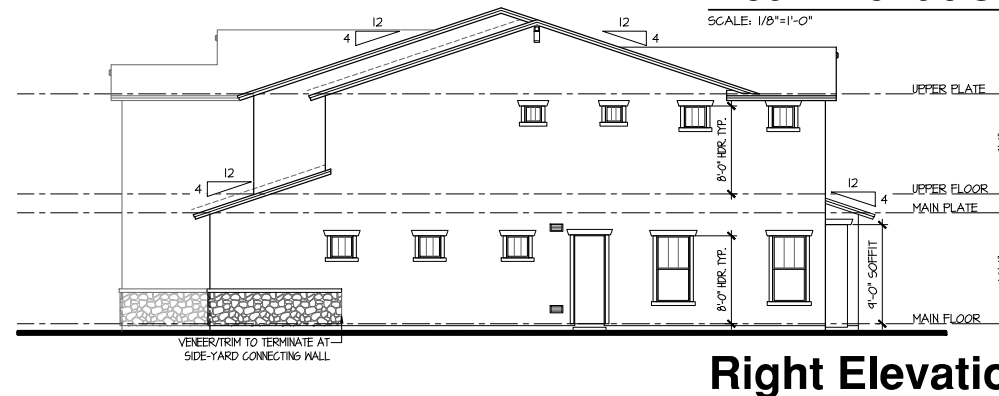
Roof Plan
SCALE: 1/8"=1'-0"



Left Elevation
SCALE: 1/8"=1'-0"



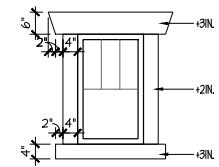
Rear Elevation
SCALE: 1/8"=1'-0"



Right Elevation
SCALE: 1/8"=1'-0"

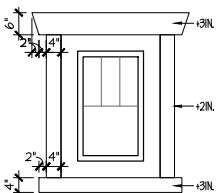


Front Elevation
SCALE: 1/4"=1'-0"



TYPICAL WINDOW TRIM - C
SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - C
SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

Elevation C - Craftsman

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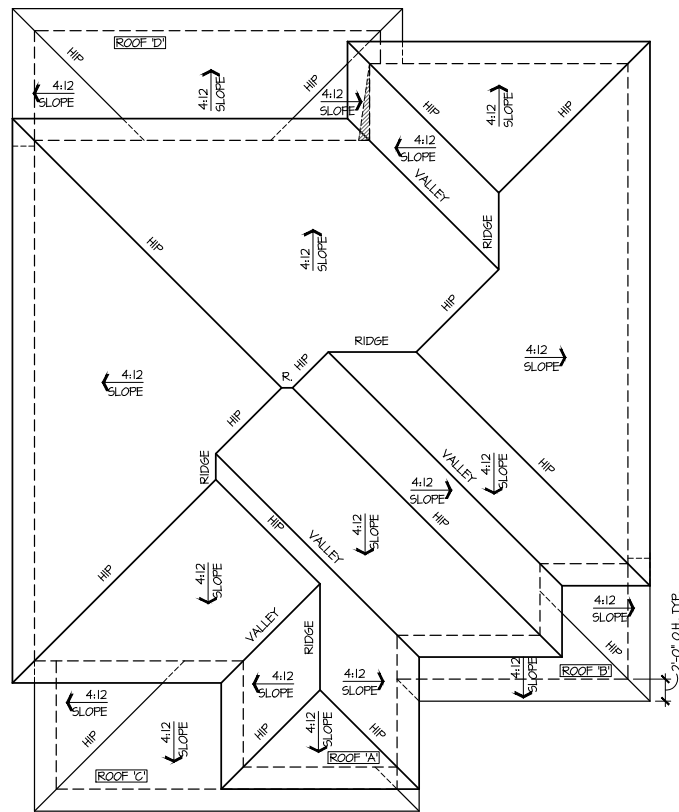
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EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION C - CRAFTSMAN

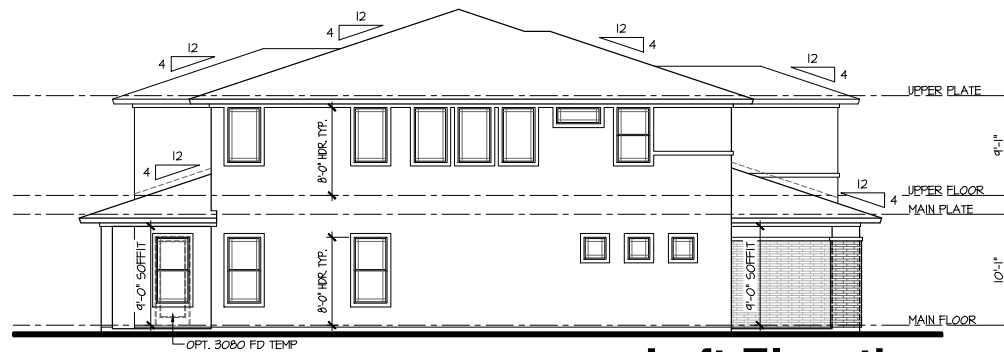
PLAN 5414
A3.1C

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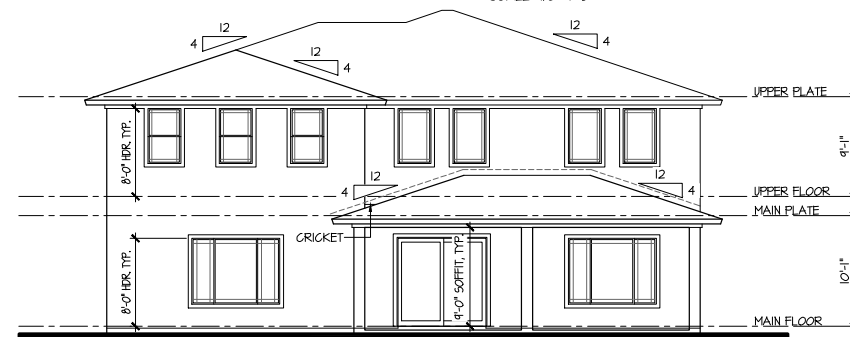
Roof Plan

SCALE: 1/8"=1'-0"



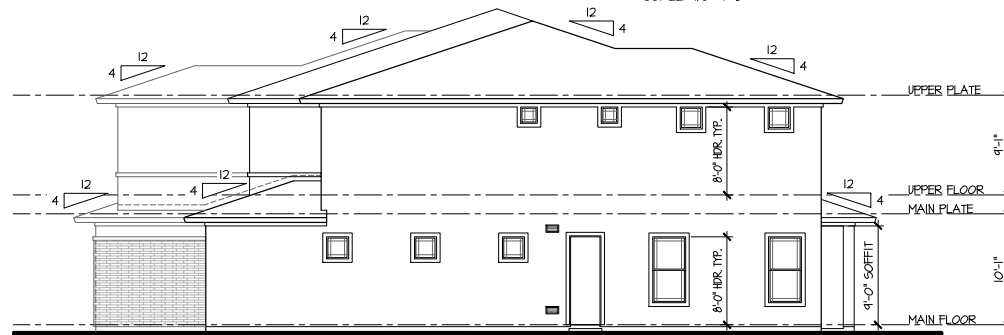
Left Elevation

SCALE: 1/8"=1'-0"



Rear Elevation

SCALE: 1/8"=1'-0"



Right Elevation

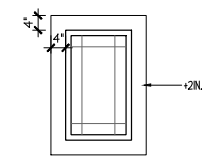
SCALE: 1/8"=1'-0"



Front Elevation

SCALE: 1/4"=1'-0"

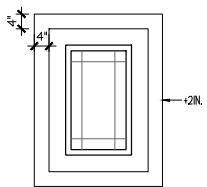
Elevation E - Prairie



TYPICAL WINDOW TRIM - E

SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - E

SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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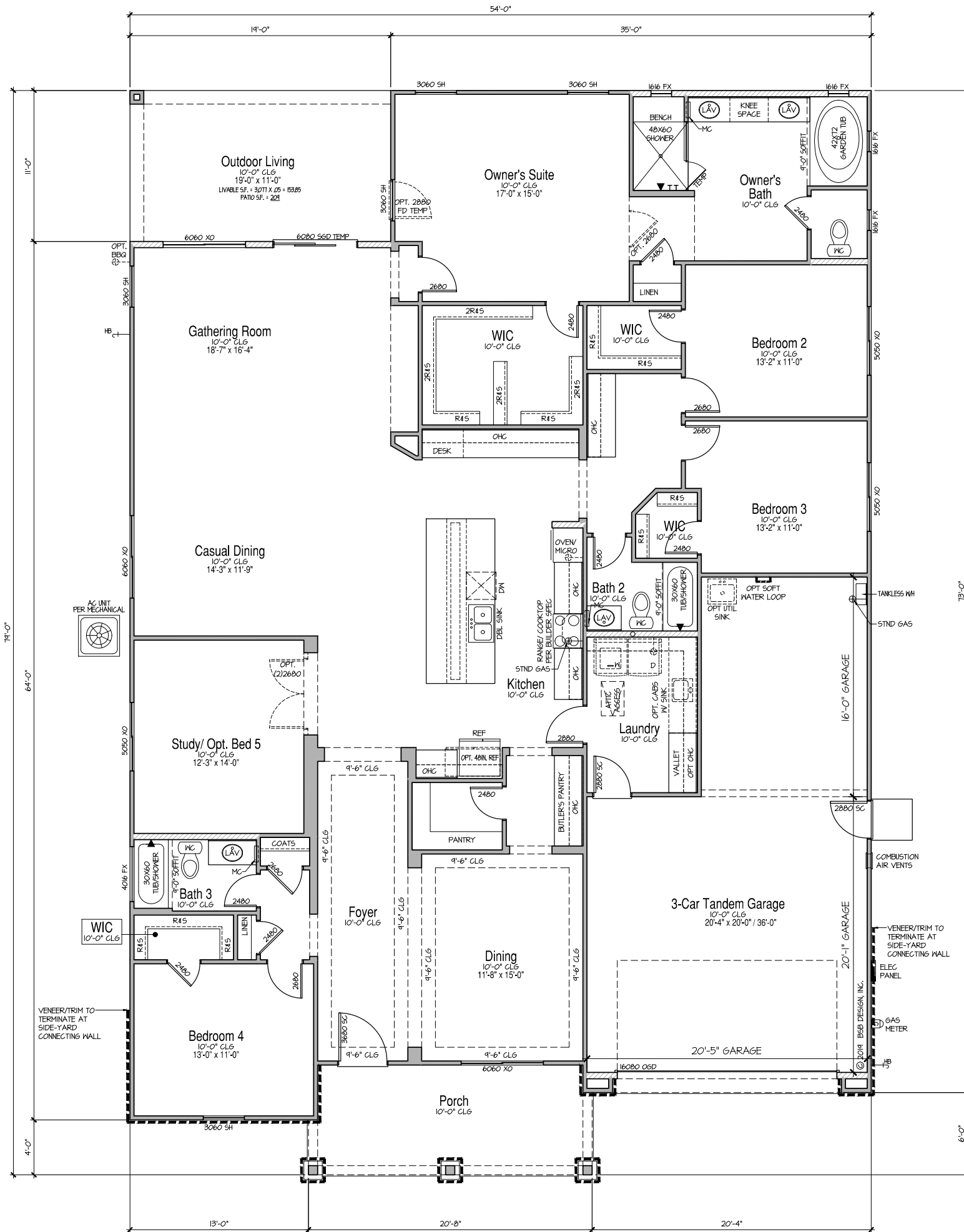
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EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION E - PRAIRIE

PLAN 5414
A3.1E



WALL LEGEND			
2 x 4 MALL			
2 x 6 MALL			
BRICK/STONE			
VENEER			

AREA SCHEDULE - PLAN 5423			
ALL ELEVATIONS:	LIVABLE SF.	UNDER ROOF SF.	
Ⓐ MAIN FLOOR AREA	3,071	3,071	
Ⓑ 3-CAR TANDEM GARAGE		624	
Ⓒ OUTDOOR LIVING		209	
ELEVATION B:			
Ⓓ COVERED PORCH			161
Ⓔ ARCHITECTURAL PROJECTIONS			21
TOTAL	3,071	4,092	
BUILDING FOOTPRINT		4,092	
ELEVATION C:			
Ⓕ COVERED PORCH			164
Ⓖ ARCHITECTURAL PROJECTIONS			21
TOTAL	3,071	4,045	
BUILDING FOOTPRINT		4,045	
ELEVATION E:			
Ⓖ COVERED PORCH			167
Ⓗ ARCHITECTURAL PROJECTIONS			21
TOTAL	3,071	4,098	
BUILDING FOOTPRINT		4,098	
OPTIONS:			
Ⓚ OPT. BED 5 I.L.O. STUDY	+0	+0	
Ⓛ OPT. EXPANDED LAUNDRY I.L.O. TANDEM	+91		
MAX LIVABLE W/ OPTIONS	3,268	3,268	
MAX FOOTPRINT W/ OPTIONS			NA

Elevation B - Ranch Floor Plan
 SCALE: 1/4"=1'-0"

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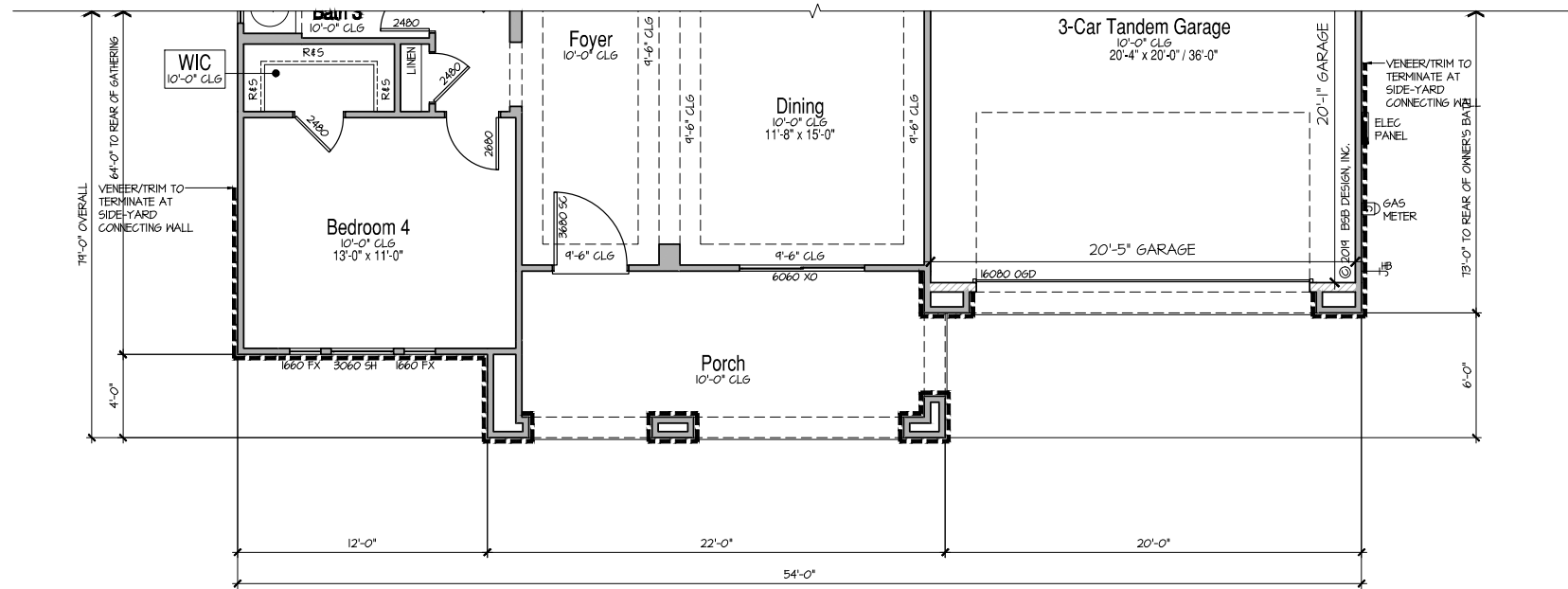
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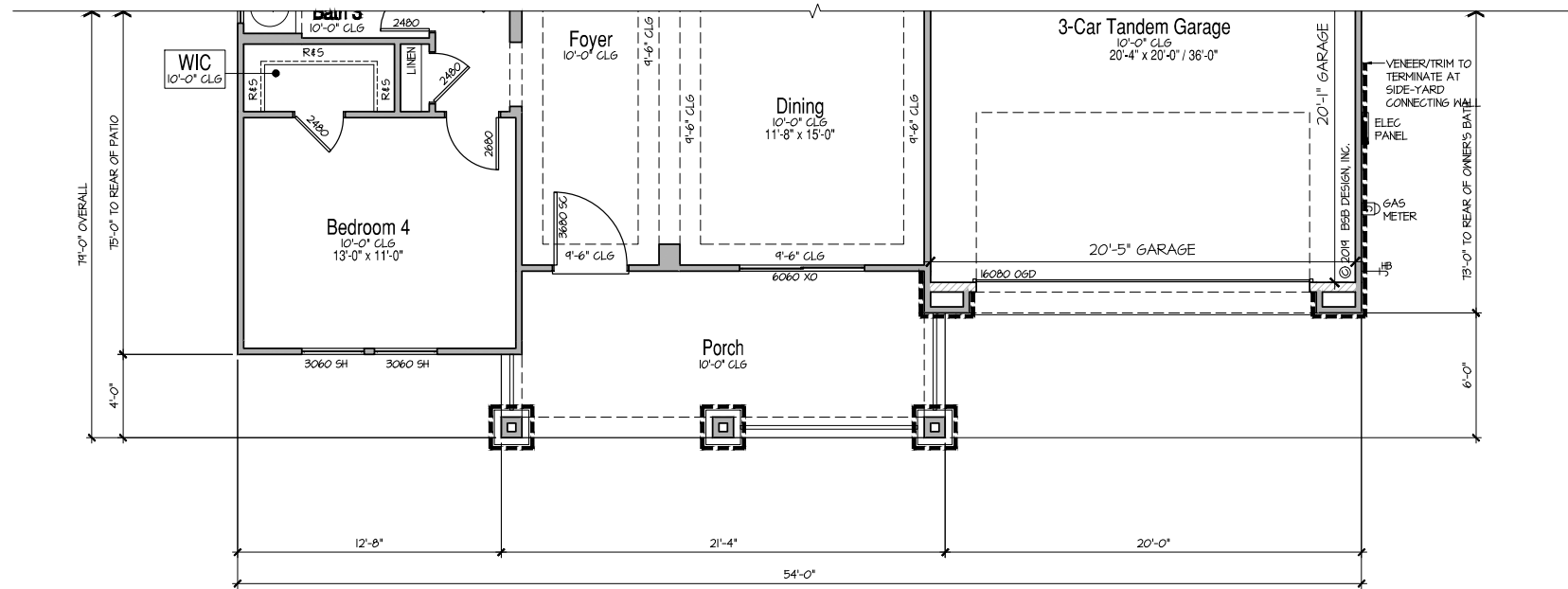
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 FLOOR PLAN
 ELEVATION B - RANCH

PLAN 5423
A1.1



Elevation E - Prairie

SCALE: 1/4"=1'-0"



Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND		
2 x 4 WALL		
2 x 6 WALL		
BRICK/STONE		
VENEER		

AREA SCHEDULE - PLAN 5423		
ALL ELEVATIONS:	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	3,071	3,071
(B) 3-CAR TANDEM GARAGE		624
(C) OUTDOOR LIVING		209
ELEVATION B:		
(D) COVERED PORCH		161
(E) ARCHITECTURAL PROJECTIONS		21
TOTAL	3,071	4,092
BUILDING FOOTPRINT		4,092
ELEVATION C:		
(F) COVERED PORCH		164
(G) ARCHITECTURAL PROJECTIONS		21
TOTAL	3,071	4,095
BUILDING FOOTPRINT		4,095
ELEVATION E:		
(H) COVERED PORCH		167
(I) ARCHITECTURAL PROJECTIONS		21
TOTAL	3,071	4,098
BUILDING FOOTPRINT		4,098
OPTIONS:		
(J) OPT. BED 5 I.L.O. STUDY	+0	+0
(K) OPT. EXPANDED LAUNDRY I.L.O. TANDEM	+91	
MAX LIVABLE W/ OPTIONS	3,260	3,260
MAX FOOTPRINT W/ OPTIONS		NA

Partial Floor Plans

SCALE: 1/4"=1'-0"

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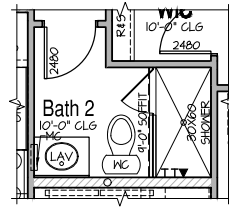
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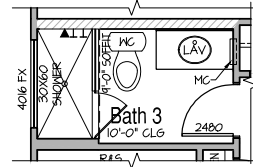
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 PARTIAL FLOOR PLANS
 ELEVATION C - CRAFTSMAN
 ELEVATION E - PRAIRIE

PLAN 5423
A1.2



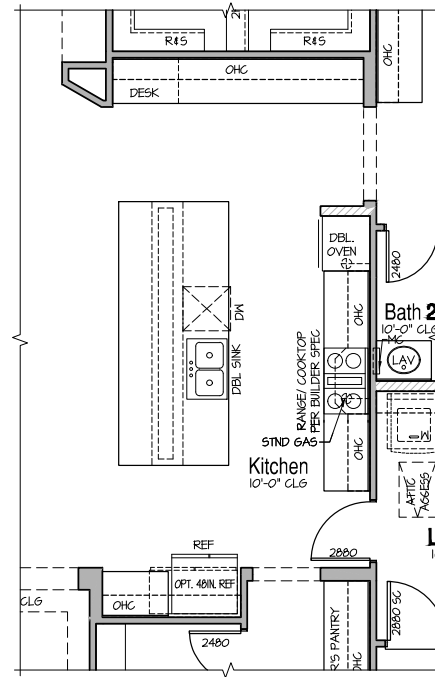
Opt. Bath 2 Shower

SCALE: 1/4"=1'-0"



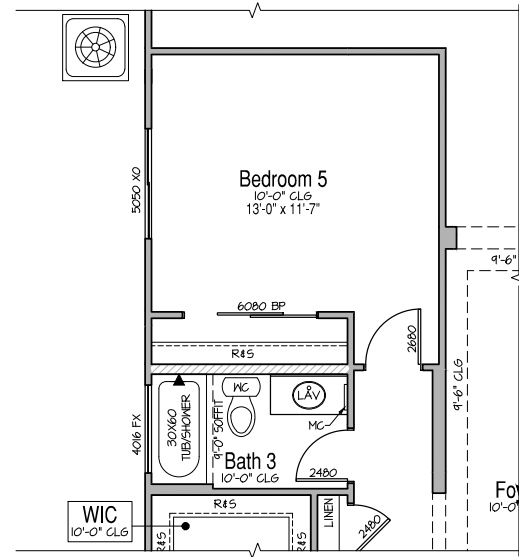
Opt. Bath 3 Shower

SCALE: 1/4"=1'-0"



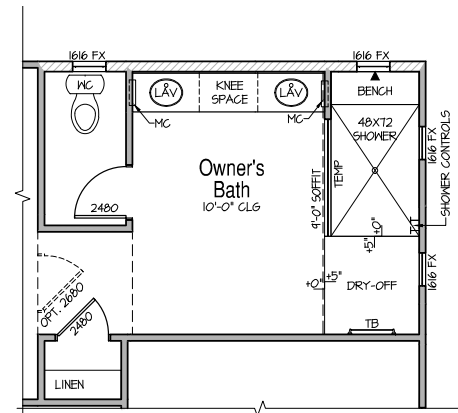
Opt. Gourmet Kitchen

SCALE: 1/4"=1'-0"



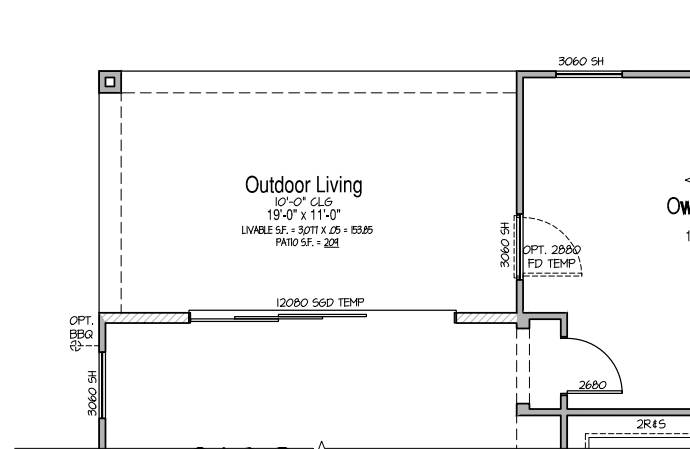
Opt. Bedroom 5 i.l.o. Study

SCALE: 1/4"=1'-0"



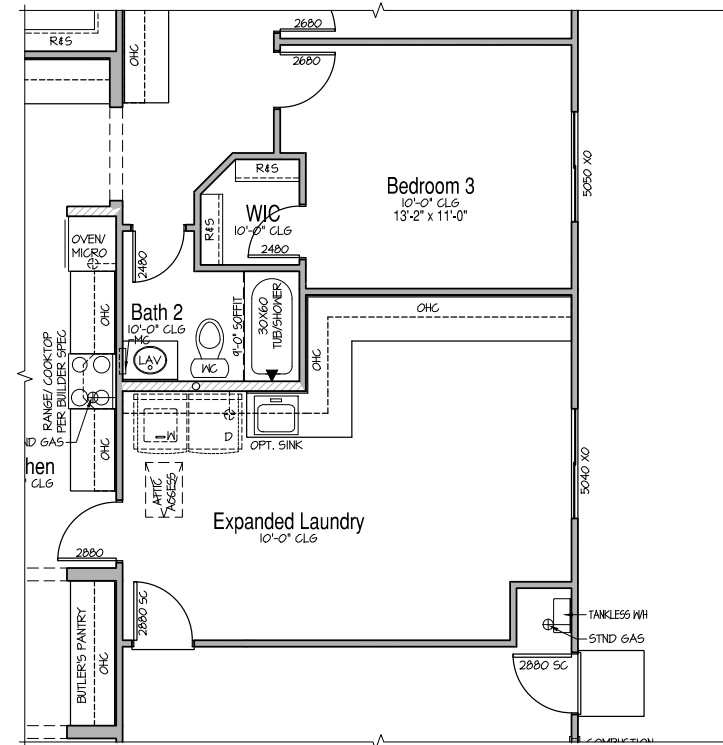
Opt. Walk-In Shower

SCALE: 1/4"=1'-0"



Opt. Multi-Slide Door

SCALE: 1/4"=1'-0"



Opt. Expanded Laundry i.l.o. Tandem

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENEER	

Partial Floor Plan Options

SCALE: 1/4"=1'-0"

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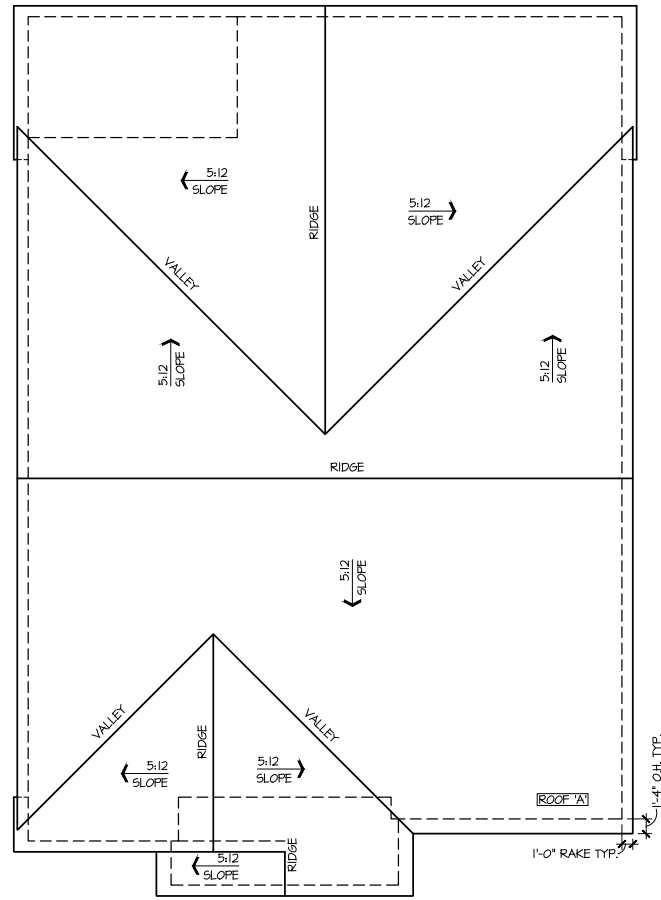


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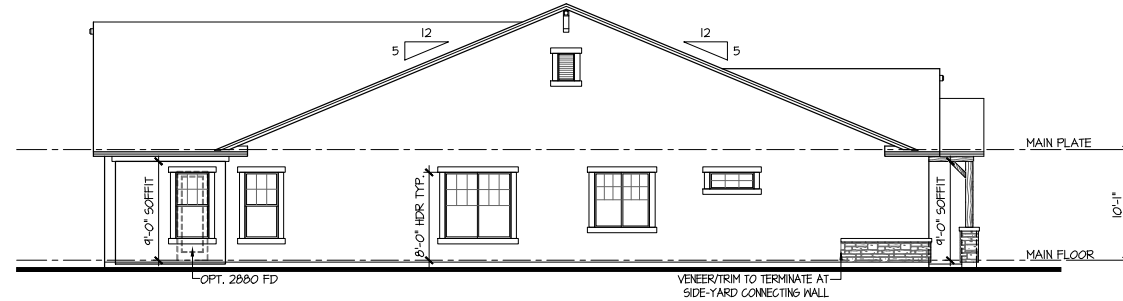
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PARTIAL FLOOR PLAN OPTIONS

PLAN 5423

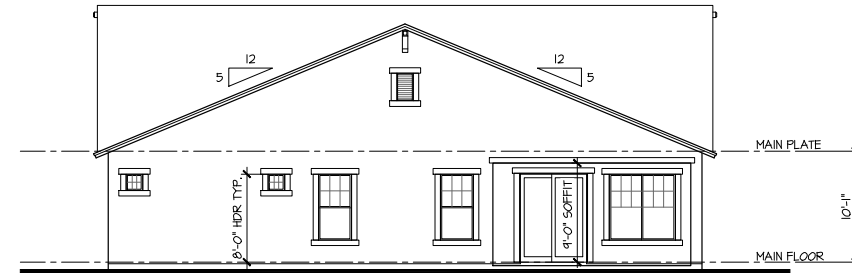
A1.3



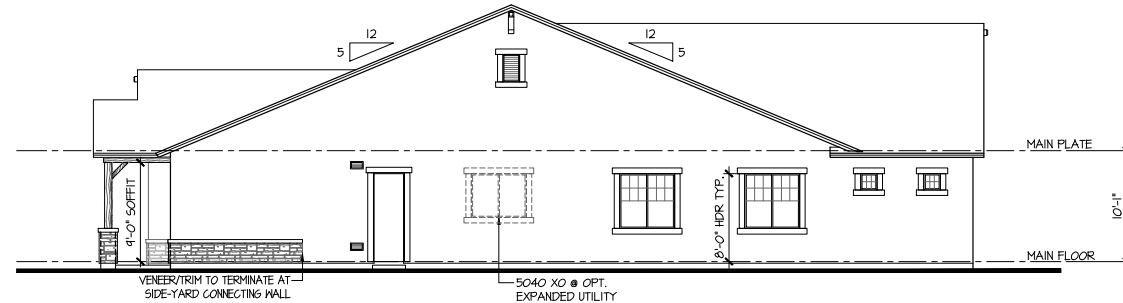
Roof Plan
SCALE: 1/8"=1'-0"



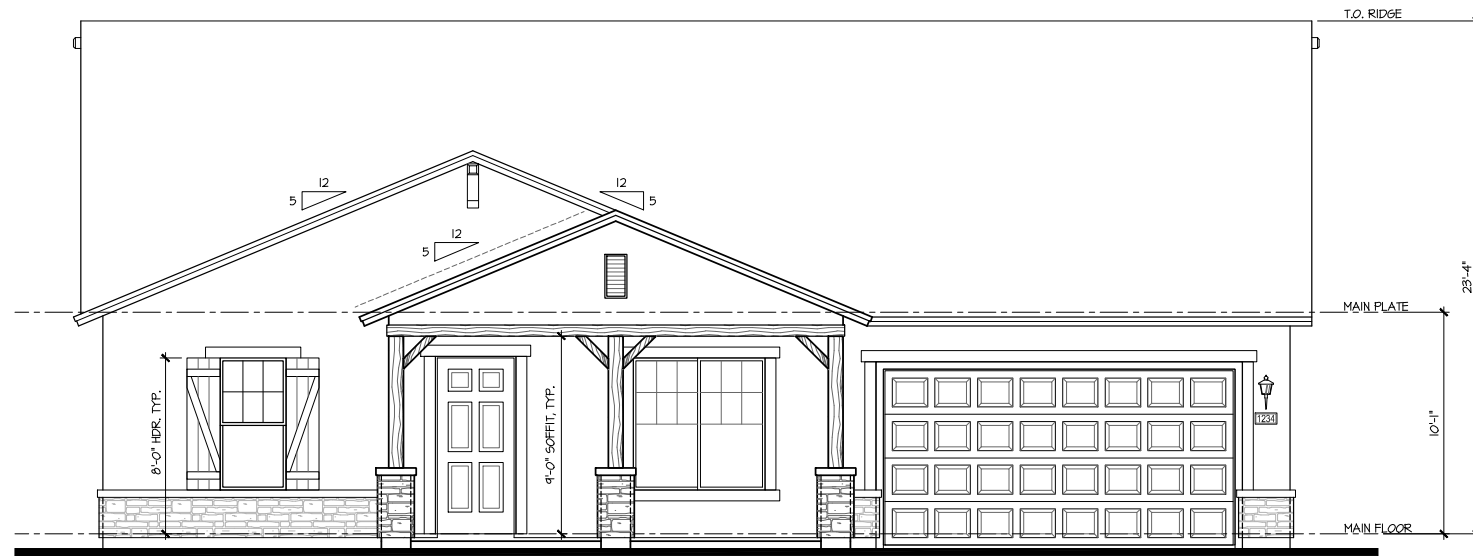
Left Elevation
SCALE: 1/8"=1'-0"



Rear Elevation
SCALE: 1/8"=1'-0"

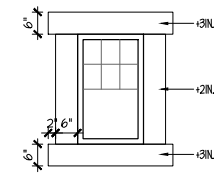


Right Elevation
SCALE: 1/8"=1'-0"



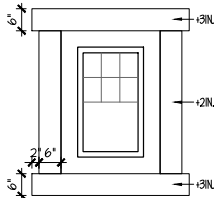
Front Elevation
SCALE: 1/4"=1'-0"

Elevation B - Ranch



TYPICAL WINDOW TRIM - B
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - B
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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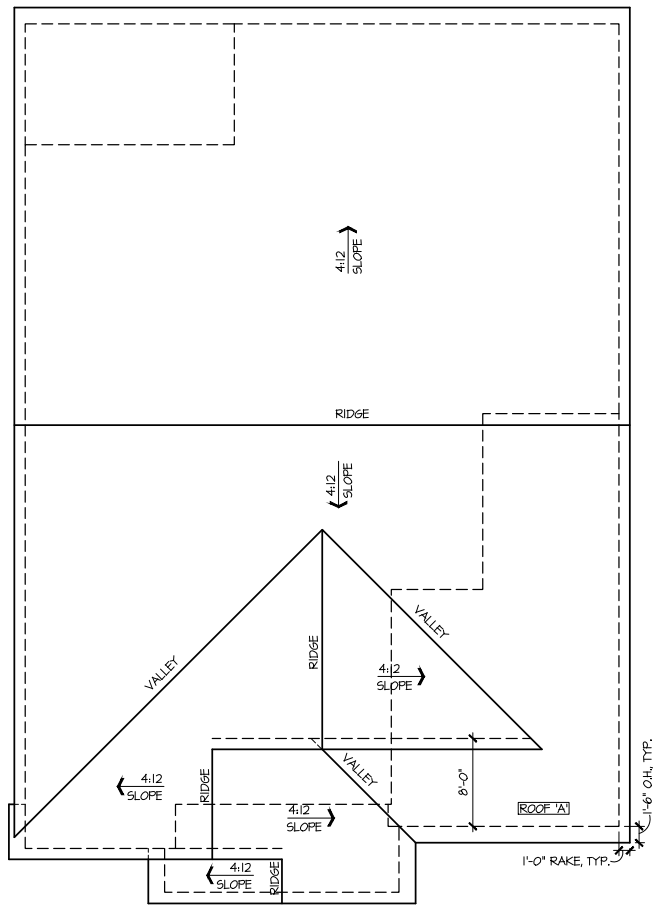
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EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION B - RANCH

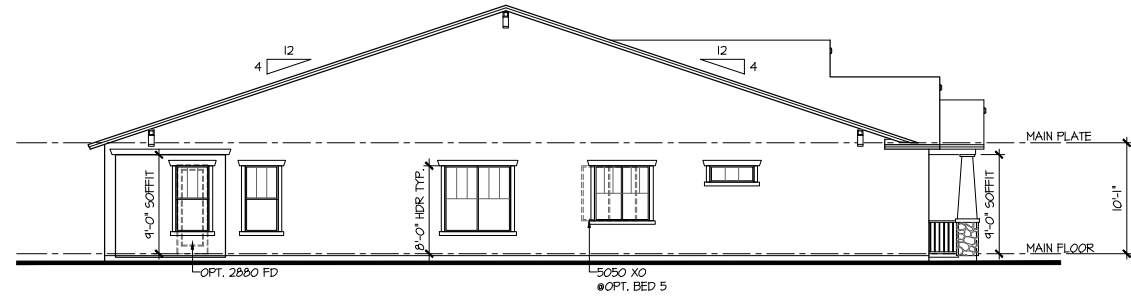
PLAN 5423
A3.1B

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Roof Plan

SCALE: 1/8"=1'-0"



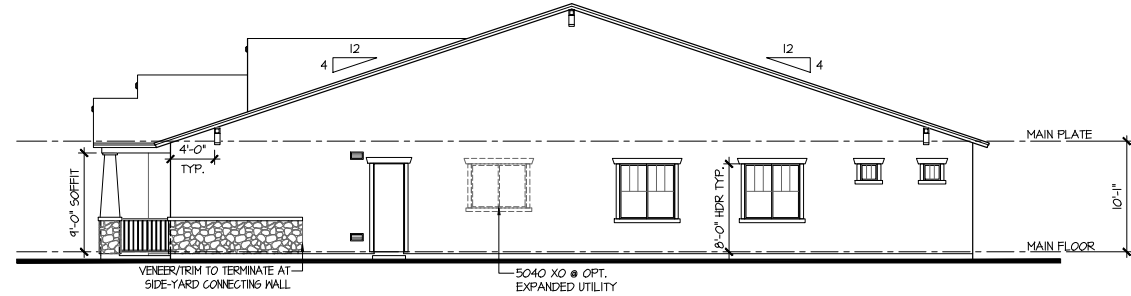
Left Elevation

SCALE: 1/8"=1'-0"



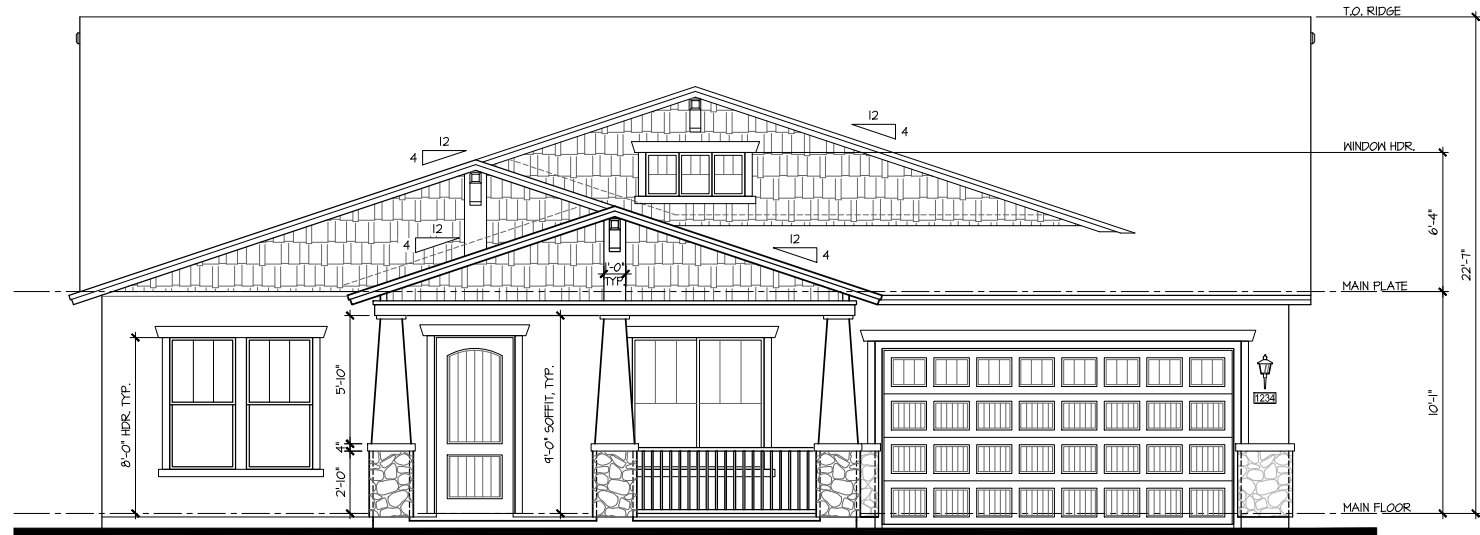
Rear Elevation

SCALE: 1/8"=1'-0"



Right Elevation

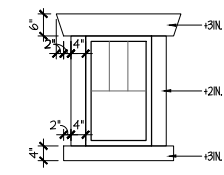
SCALE: 1/8"=1'-0"



Front Elevation

SCALE: 1/4"=1'-0"

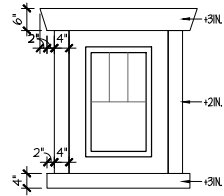
Elevation C - Craftsman



TYPICAL WINDOW TRIM - C

SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - C

SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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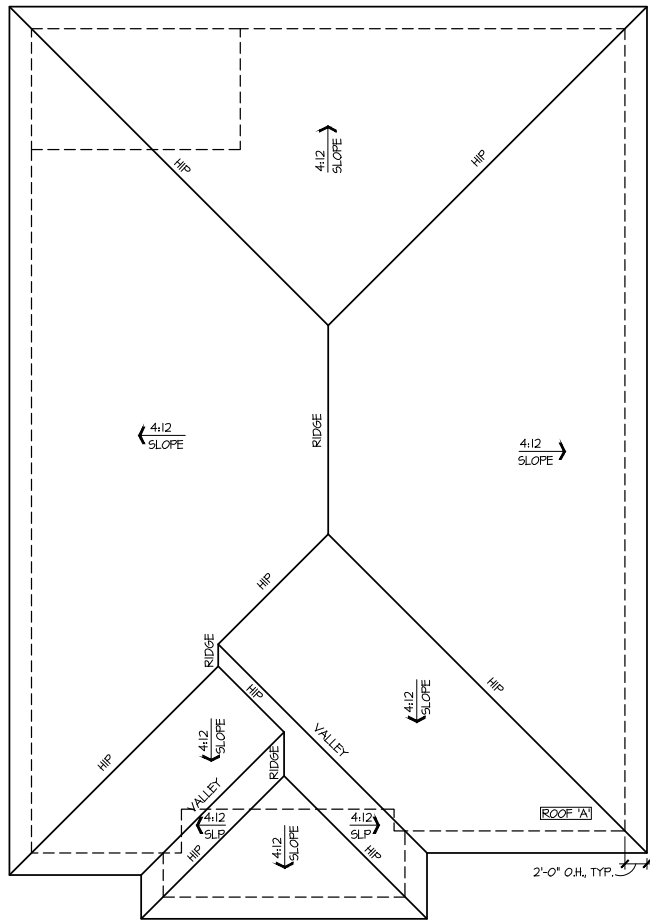


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 EXTERIOR ELEVATIONS AND
 ROOF PLAN
 ELEVATION C - CRAFTSMAN

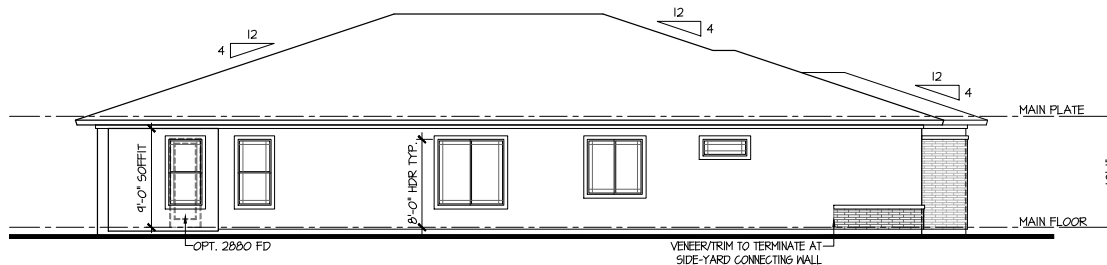
PLAN 5423

A3.1C



Roof Plan

SCALE: 1/8"=1'-0"



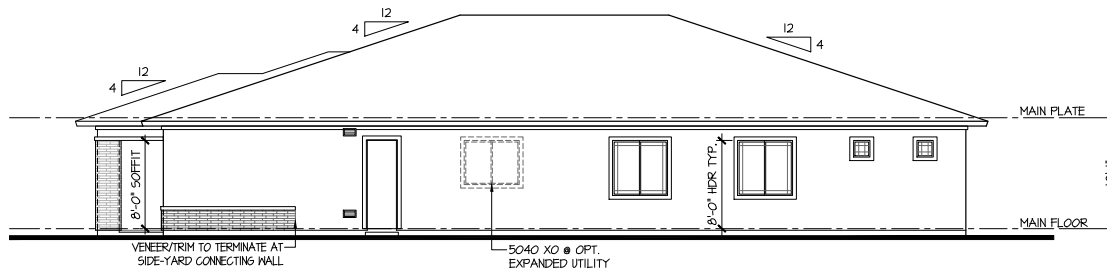
Left Elevation

SCALE: 1/8"=1'-0"



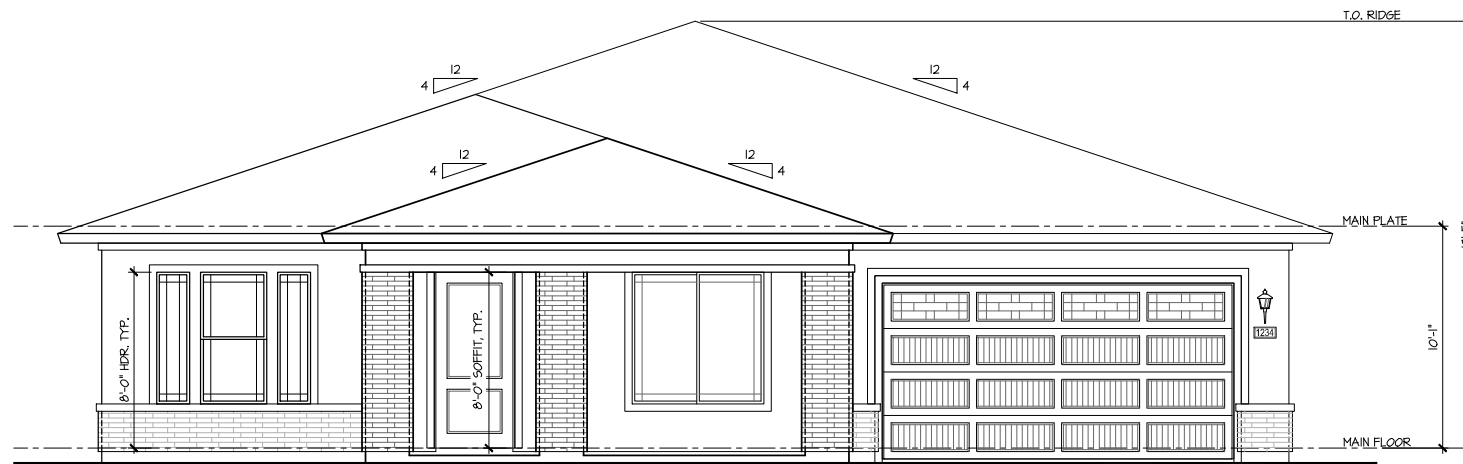
Rear Elevation

SCALE: 1/8"=1'-0"



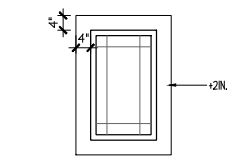
Right Elevation

SCALE: 1/8"=1'-0"



Front Elevation

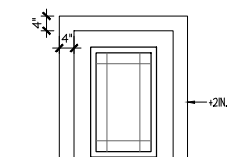
SCALE: 1/4"=1'-0"



TYPICAL WINDOW TRIM - E

SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - E

SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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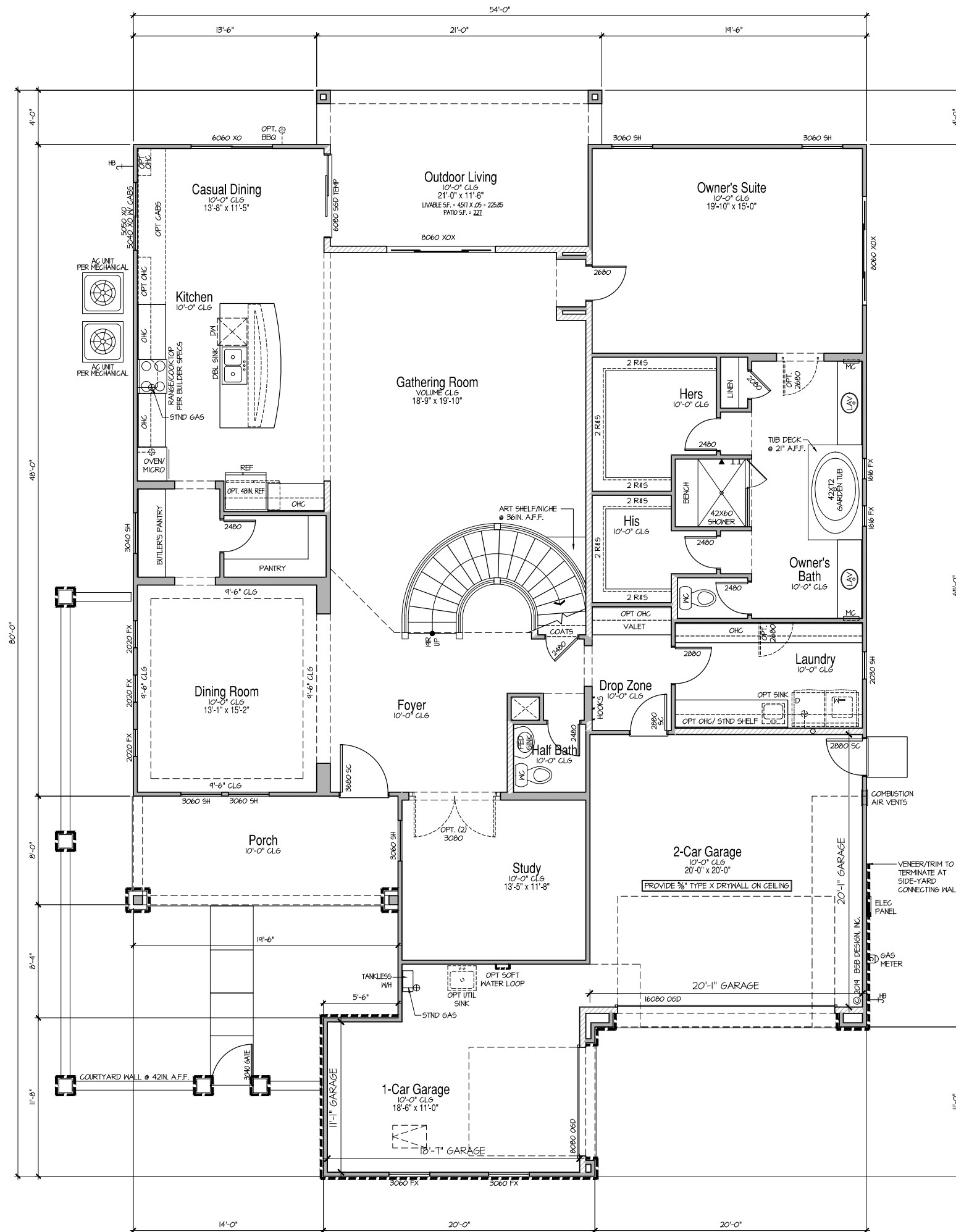
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EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION E - PRAIRIE

PLAN 5423
A3.1E



WALL LEGEND		
2 x 4 WALL	[Symbol]	
2 x 6 WALL	[Symbol]	
BRICK/STONE	[Symbol]	
VENEER	[Symbol]	

AREA SCHEDULE - PLAN 5424		
ALL ELEVATIONS:		
	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,532	2,532
(B) UPPER FLOOR AREA	1,885	1,885
(C) 3-CAR SPLIT GARAGE		700
(D) OUTDOOR LIVING		227
ELEVATION B:		
(E) COVERED PORCH		156
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(G) UPPER FLOOR ARCHITECTURAL PROJECTIONS		30
TOTAL	4,517	5,658
BUILDING FOOTPRINT		3,642
ELEVATION C:		
(H) COVERED PORCH		156
(I) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(J) UPPER FLOOR ARCHITECTURAL PROJECTIONS		32
TOTAL	4,517	5,660
BUILDING FOOTPRINT		3,642
ELEVATION E:		
(K) COVERED PORCH		156
(L) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(M) UPPER FLOOR ARCHITECTURAL PROJECTIONS		27
TOTAL	4,517	5,655
BUILDING FOOTPRINT		3,642
OPTIONS:		
(P) OPT. BED 7 I.L.O. STUDY	+11	+11
(Q) OPT. LAUNDRY I.L.O. PLANNING	+0	+0
(R) OPT. BED 6 I.L.O. GAME ROOM	+0	+0
(S) OPT. MEDIA ROOM I.L.O. GAME ROOM	+0	+0
MAX LIVABLE W/ OPTIONS		
	4,536	4,536
MAX FOOTPRINT W/ OPTIONS		
	NA	NA

Elevation B - Ranch Floor Plan

SCALE: 1/4"=1'-0"

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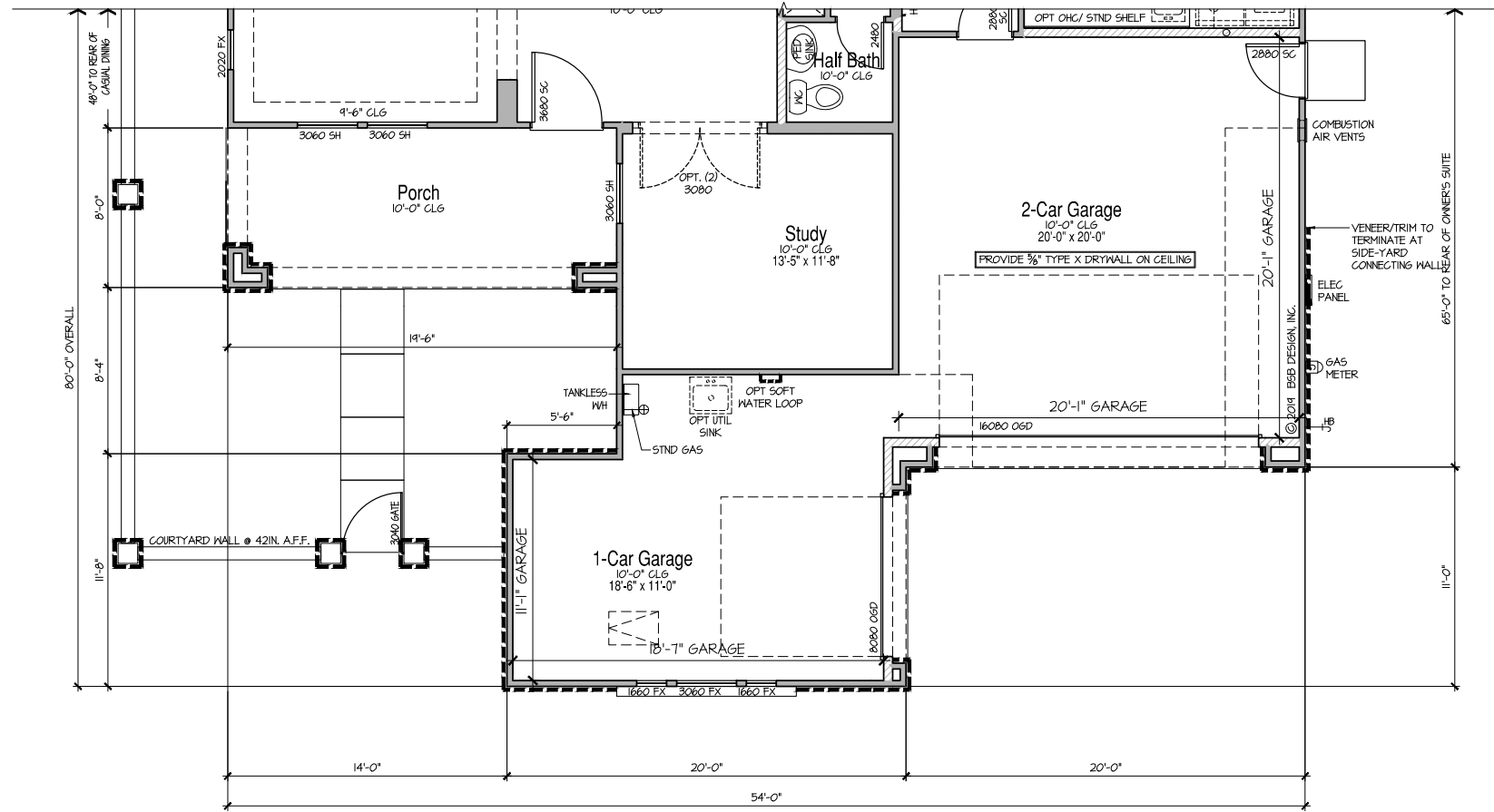
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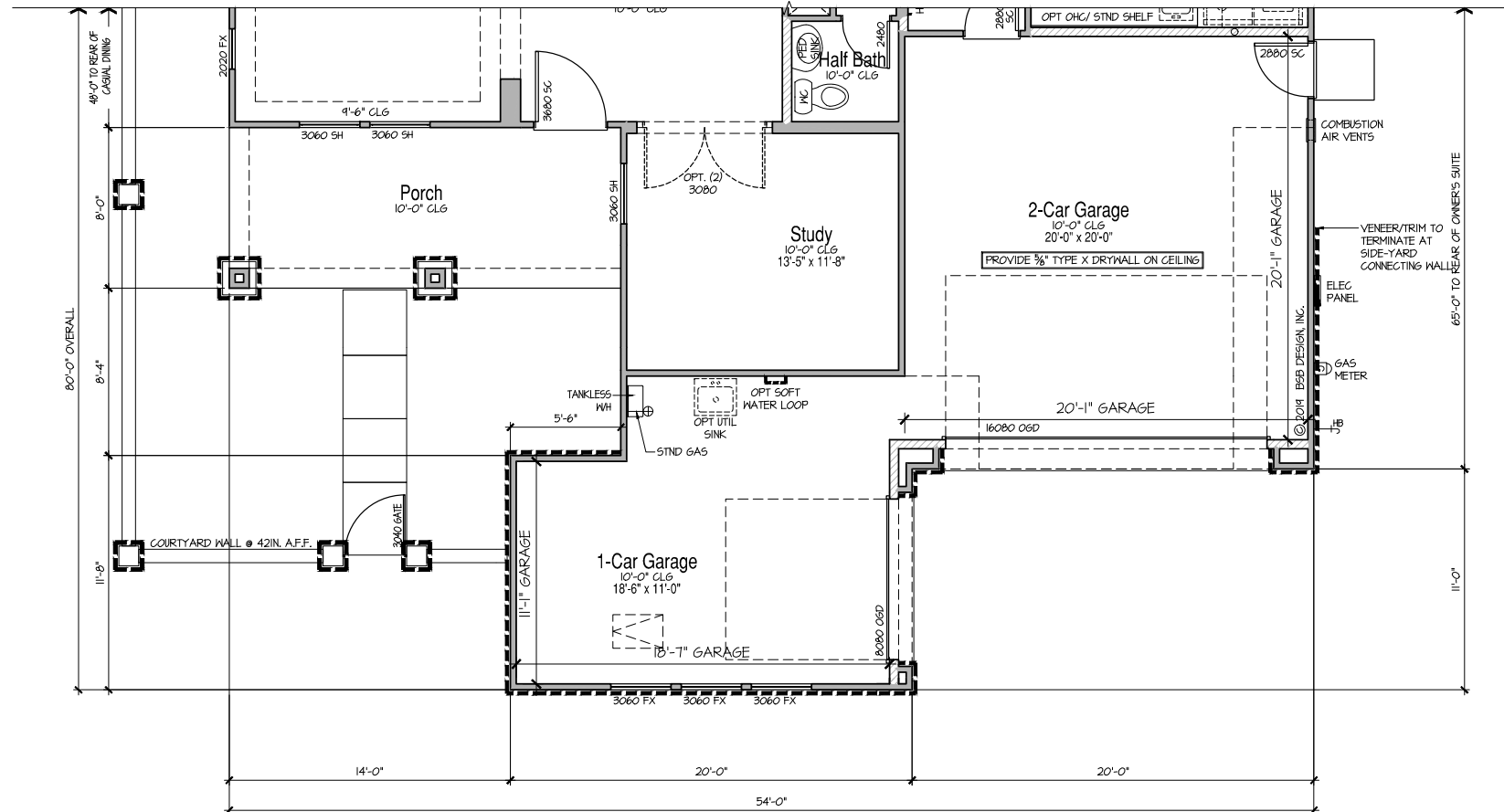
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FLOOR PLAN
ELEVATION B - RANCH
PLAN 5424
A1.1



Elevation E - Prairie

SCALE: 1/4"=1'-0"



Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND			
2 x 4 WALL			
2 x 6 WALL			
BRICK/STONE			
VENEER			

AREA SCHEDULE - PLAN 5424			
ALL ELEVATIONS:			
		LIVABLE SF.	UNDER ROOF SF.
(A)	MAIN FLOOR AREA	2,532	2,532
(B)	UPPER FLOOR AREA	1,985	1,985
(C)	3-CAR SPLIT GARAGE		700
(D)	OUTDOOR LIVING		227
ELEVATION B:			
(E)	COVERED PORCH		156
(F)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(G)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		30
TOTAL		4,517	5,658
BUILDING FOOTPRINT			3,642
ELEVATION C:			
(H)	COVERED PORCH		156
(I)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(J)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		32
TOTAL		4,517	5,660
BUILDING FOOTPRINT			3,642
ELEVATION E:			
(K)	COVERED PORCH		156
(L)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(M)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		27
TOTAL		4,517	5,655
BUILDING FOOTPRINT			3,642
OPTIONS:			
(N)	OPT. BED 1 I.L.O. STUDY	+19	+19
(O)	OPT. LAUNDRY I.L.O. PLANNING	+0	+0
(P)	OPT. BED 6 I.L.O. GAME ROOM	+0	+0
(Q)	OPT. MEDIA ROOM I.L.O. GAME ROOM	+0	+0
MAX LIVABLE w/ OPTIONS		4,536	4,536
MAX FOOTPRINT w/ OPTIONS			NA

Partial Floor Plans

SCALE: 1/4"=1'-0"

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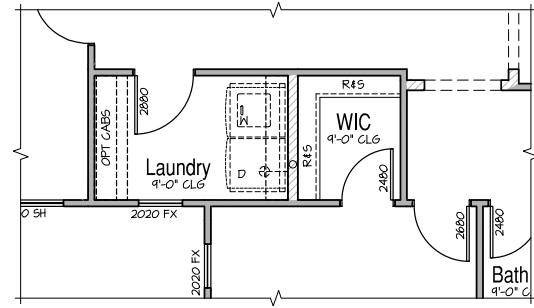
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PARTIAL FLOOR PLANS
ELEVATION C - CRAFTSMAN
ELEVATION E - PRAIRIE

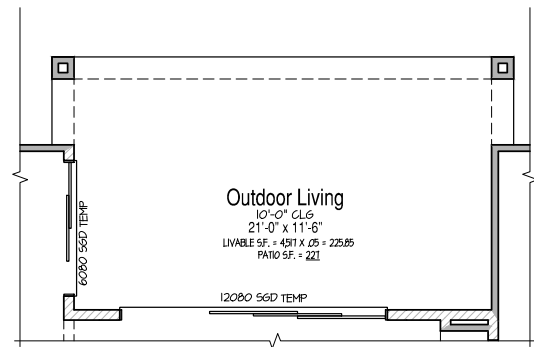
PLAN 5424

A1.2



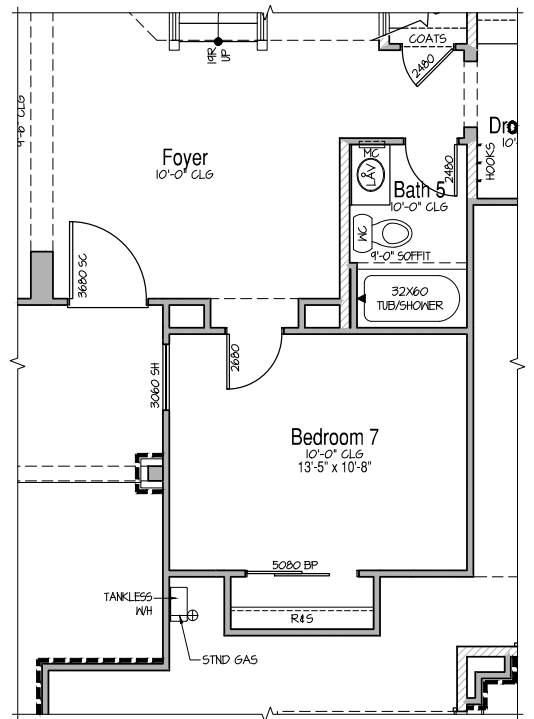
Opt. Laundry i.l.o. Planning Partial Upper Floor Plan

SCALE: 1/4"=1'-0"



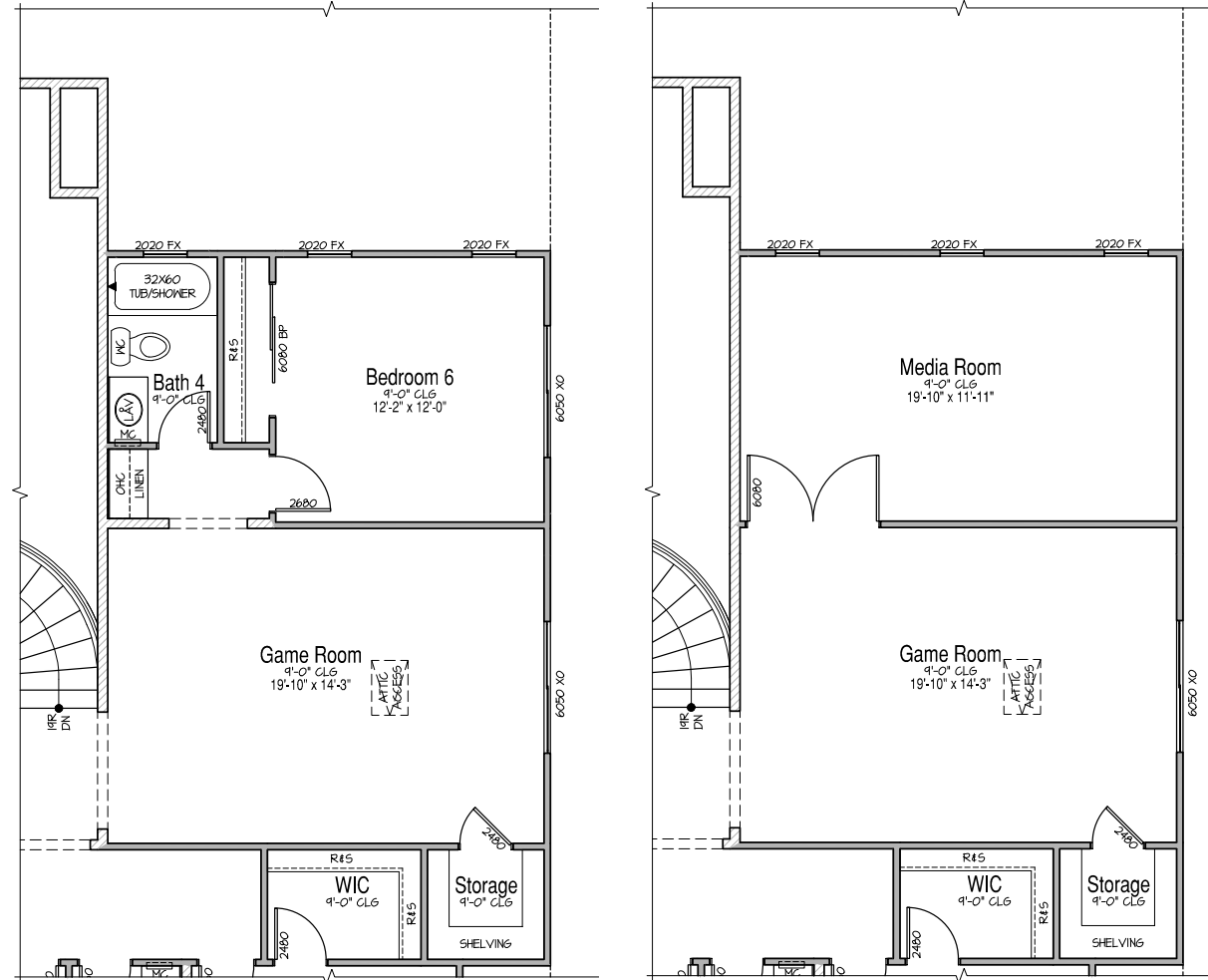
Opt. Multi-Slide Door Partial Main Floor Plan

SCALE: 1/4"=1'-0"



Opt. Bed 7/Bath 5 i.l.o. Study/Half Bath Partial Main Floor Plan

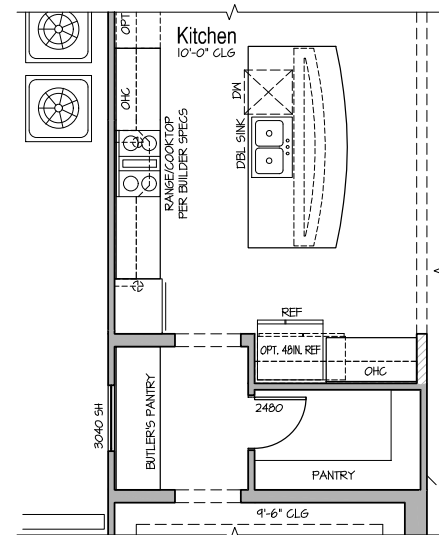
SCALE: 1/4"=1'-0"



Opt. Bed 6 i.l.o. Game Room Opt. Media Room i.l.o. Game Room Partial Upper Floor Plan

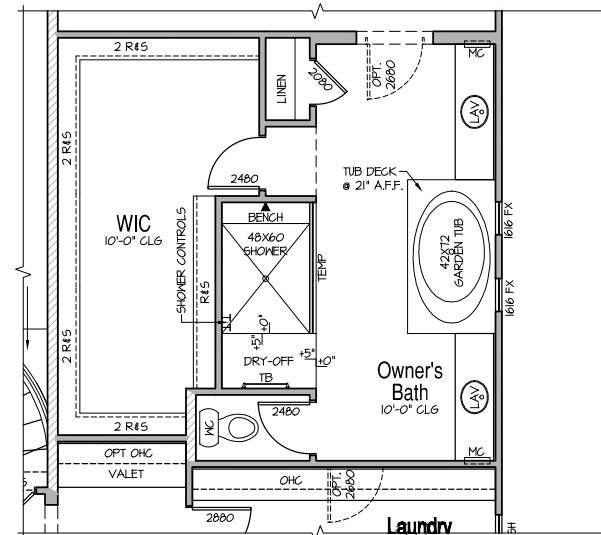
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"



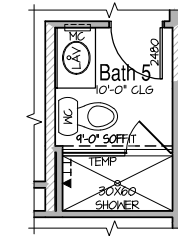
Opt. Gourmet Kitchen Partial Main Floor Plan

SCALE: 1/4"=1'-0"



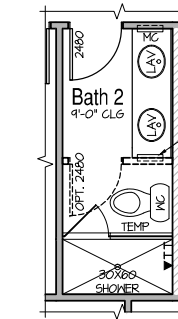
Opt. Walk-In Shower Partial Main Floor Plan

SCALE: 1/4"=1'-0"



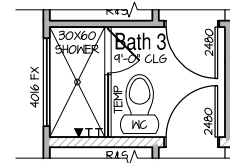
Opt. Bath 5 Shower Partial Main Floor Plan

SCALE: 1/4"=1'-0"



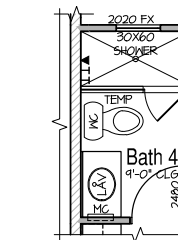
Opt. Bath 2 Shower Partial Upper Floor Plan

SCALE: 1/4"=1'-0"



Opt. Bath 3 Shower Partial Upper Floor Plan

SCALE: 1/4"=1'-0"



Opt. Bath 4 Shower Partial Upper Floor Plan

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENER	

Partial Floor Plan Options

SCALE: 1/4"=1'-0"

ISSUE DATE:	REVISIONS
NA	

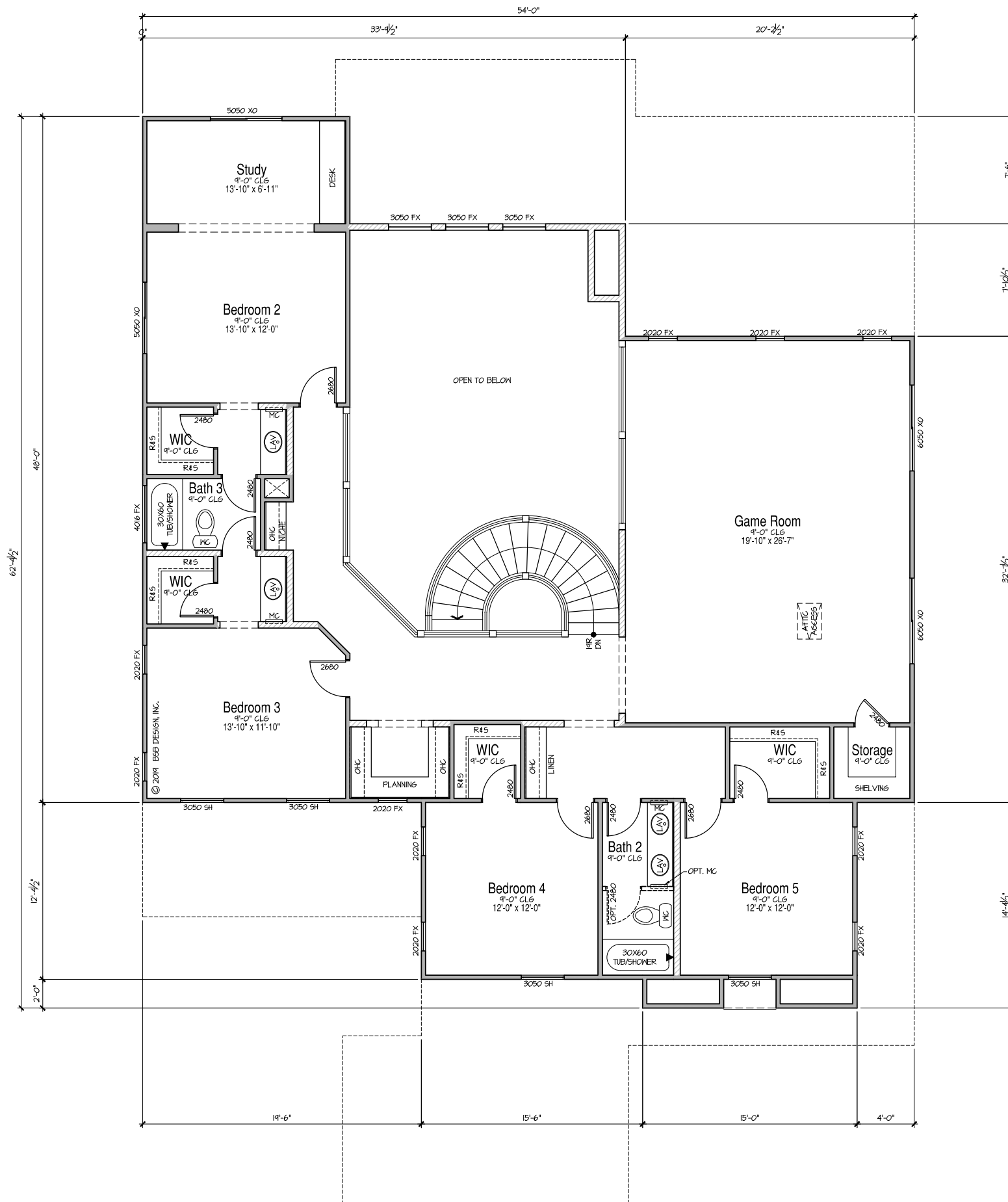
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PARTIAL FLOOR PLAN OPTIONS

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WALL LEGEND		
2 x 4 WALL		
2 x 6 WALL		
BRICK/STONE VENEER		
VENEER		

AREA SCHEDULE - PLAN 5424		
ALL ELEVATIONS:		
	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,592	2,532
(B) UPPER FLOOR AREA	1,885	1,885
(C) 3-CAR SPLIT GARAGE		100
(D) OUTDOOR LIVING		221
ELEVATION B:		
(E) COVERED PORCH		156
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(G) UPPER FLOOR ARCHITECTURAL PROJECTIONS		30
TOTAL	4,517	5,658
BUILDING FOOTPRINT		3,642
ELEVATION C:		
(H) COVERED PORCH		156
(I) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(J) UPPER FLOOR ARCHITECTURAL PROJECTIONS		32
TOTAL	4,517	5,660
BUILDING FOOTPRINT		3,642
ELEVATION E:		
(L) COVERED PORCH		156
(M) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(N) UPPER FLOOR ARCHITECTURAL PROJECTIONS		21
TOTAL	4,517	5,655
BUILDING FOOTPRINT		3,642
OPTIONS:		
(P) OPT. BED 7 I.L.O. STUDY	+11	+11
(Q) OPT. LAUNDRY I.L.O. PLANNING	+0	+0
(R) OPT. BED 6 I.L.O. GAME ROOM	+0	+0
(S) OPT. MEDIA ROOM I.L.O. GAME ROOM	+0	+0
MAX LIVABLE W/ OPTIONS	4,536	4,536
MAX FOOTPRINT W/ OPTIONS		NA

Elevation B - Ranch Upper Floor Plan

SCALE: 1/4"=1'-0"

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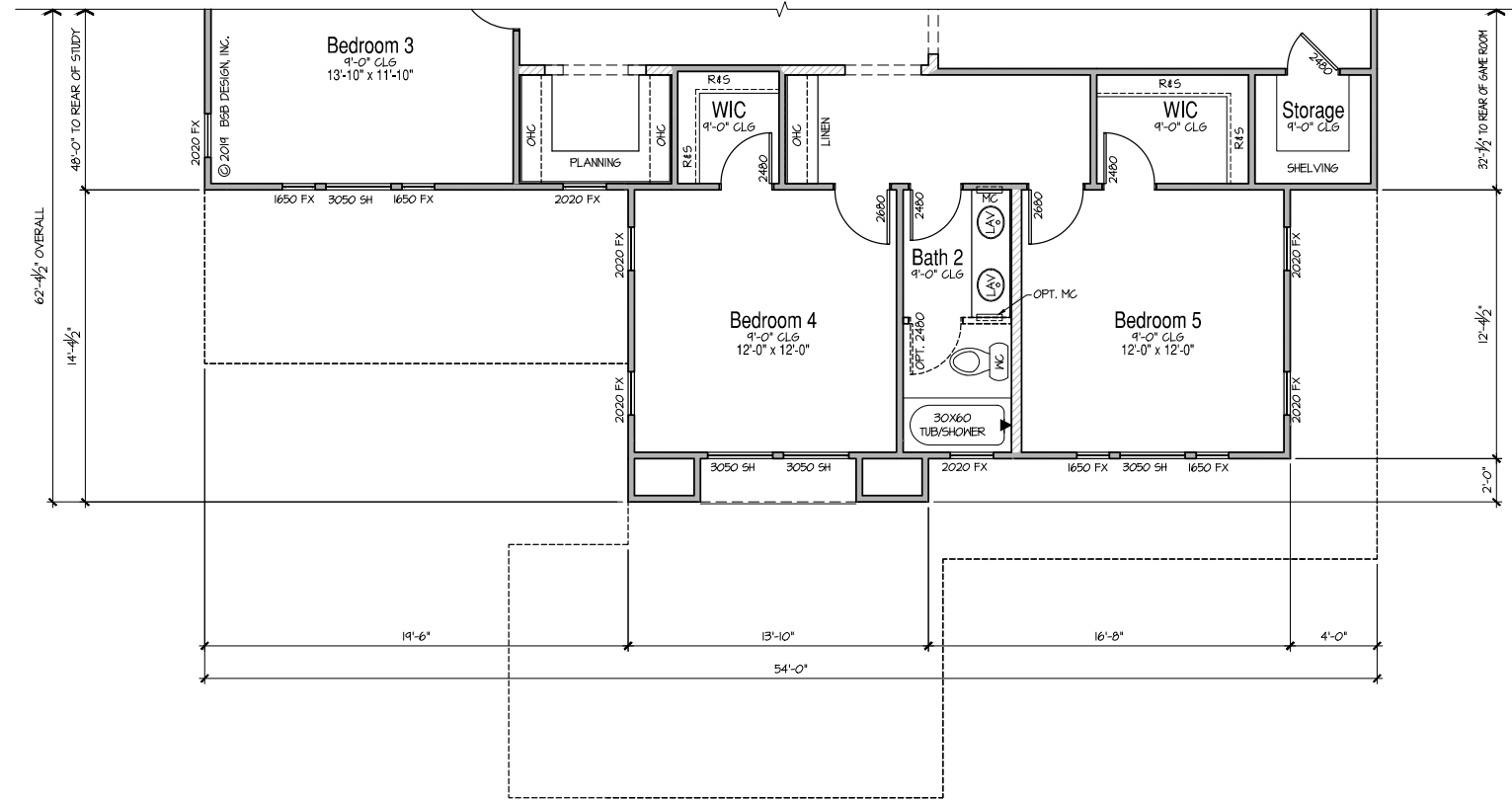
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UPPER FLOOR PLAN
ELEVATION B - RANCH

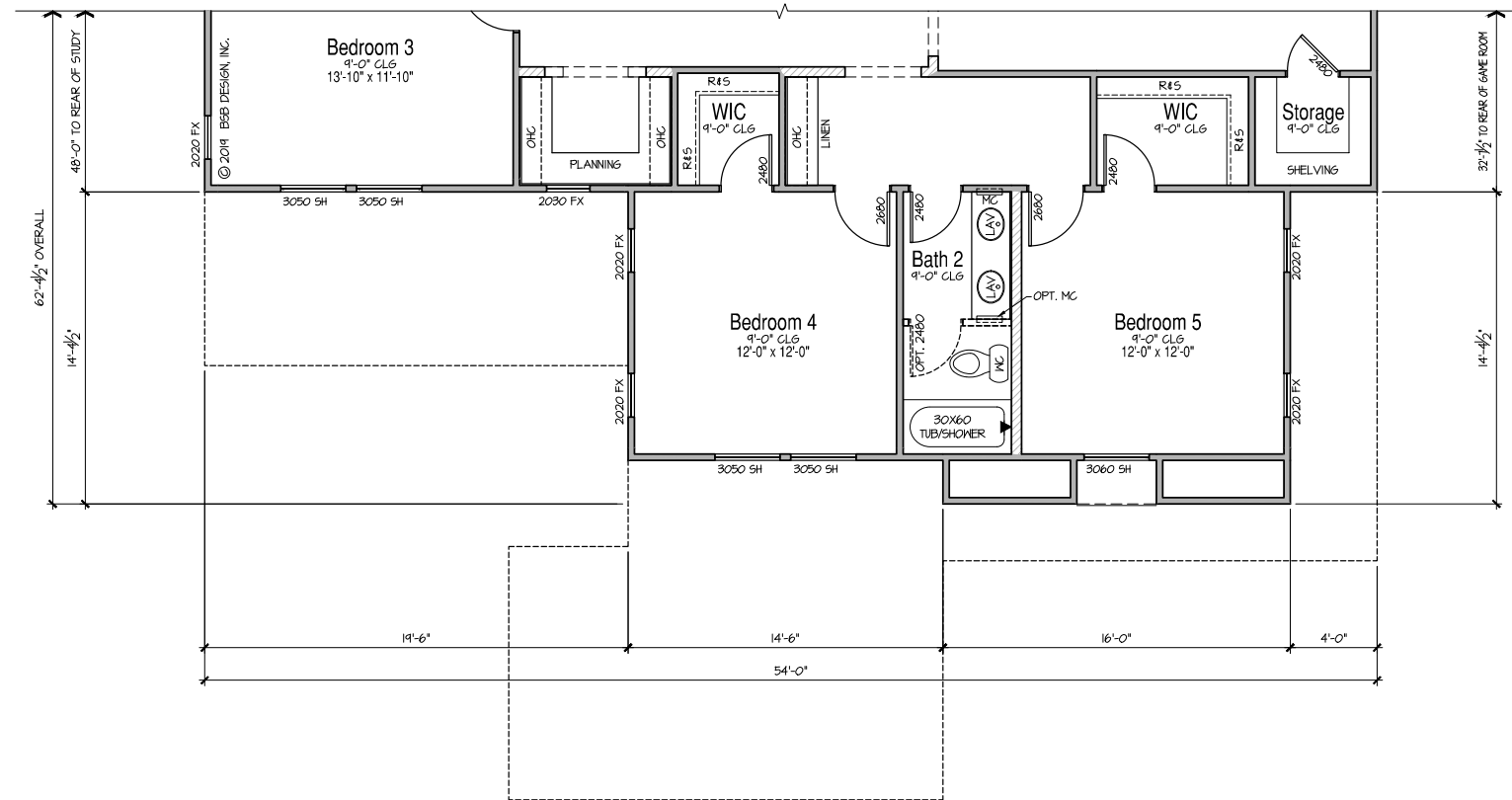
PLAN 5424

A2.1



Elevation E - Prairie

SCALE: 1/4"=1'-0"



Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND		
2 x 4 WALL		
2 x 6 WALL		
BRICK/STONE		
VENEER		

AREA SCHEDULE - PLAN 5424		
ALL ELEVATIONS:		
	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,532	2,532
(B) UPPER FLOOR AREA	1,985	1,985
(C) 3-CAR SPLIT GARAGE		700
(D) OUTDOOR LIVING		227
ELEVATION B:		
(E) COVERED PORCH		156
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(G) UPPER FLOOR ARCHITECTURAL PROJECTIONS		30
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BUILDING FOOTPRINT		3,642
ELEVATION C:		
(H) COVERED PORCH		156
(I) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(J) UPPER FLOOR ARCHITECTURAL PROJECTIONS		32
TOTAL	4,517	5,660
BUILDING FOOTPRINT		3,642
ELEVATION E:		
(K) COVERED PORCH		156
(L) MAIN FLOOR ARCHITECTURAL PROJECTIONS		28
(M) UPPER FLOOR ARCHITECTURAL PROJECTIONS		27
TOTAL	4,517	5,655
BUILDING FOOTPRINT		3,642
OPTIONS:		
(N) OPT. BED 1 I.L.O. STUDY	+19	+19
(O) OPT. LAUNDRY I.L.O. PLANNING	+0	+0
(P) OPT. BED 6 I.L.O. GAME ROOM	+0	+0
(Q) OPT. MEDIA ROOM I.L.O. GAME ROOM	+0	+0
MAX LIVABLE W/ OPTIONS	4,536	4,536
MAX FOOTPRINT W/ OPTIONS		NA

Partial Upper Floor Plans

SCALE: 1/4"=1'-0"

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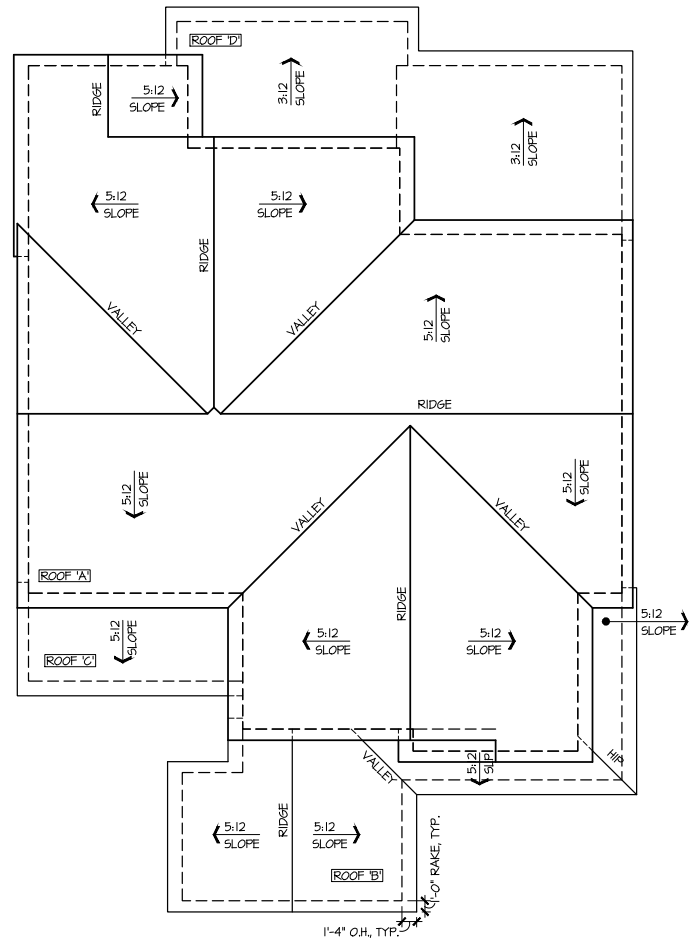
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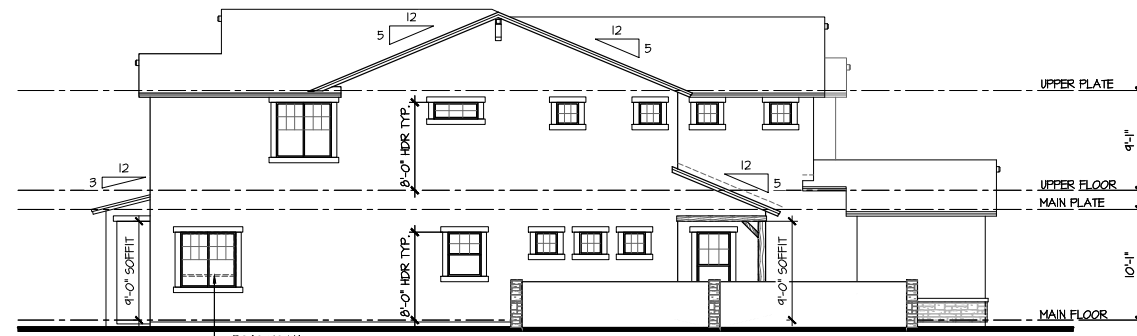
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PARTIAL UPPER FLOOR PLANS
ELEVATION C - CRAFTSMAN
ELEVATION E - PRAIRIE

PLAN 5424
A2.2



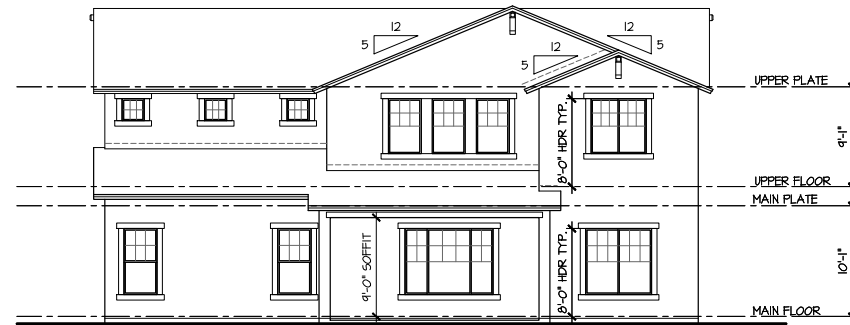
Roof Plan

SCALE: 1/8"=1'-0"



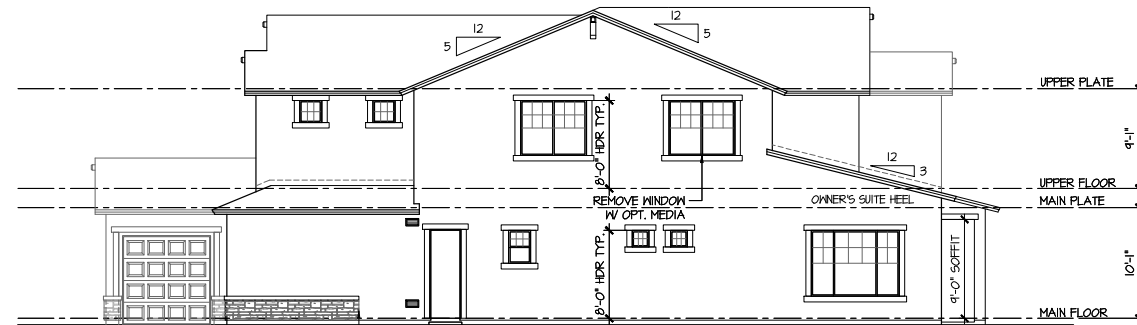
Left Elevation

SCALE: 1/8"=1'-0"



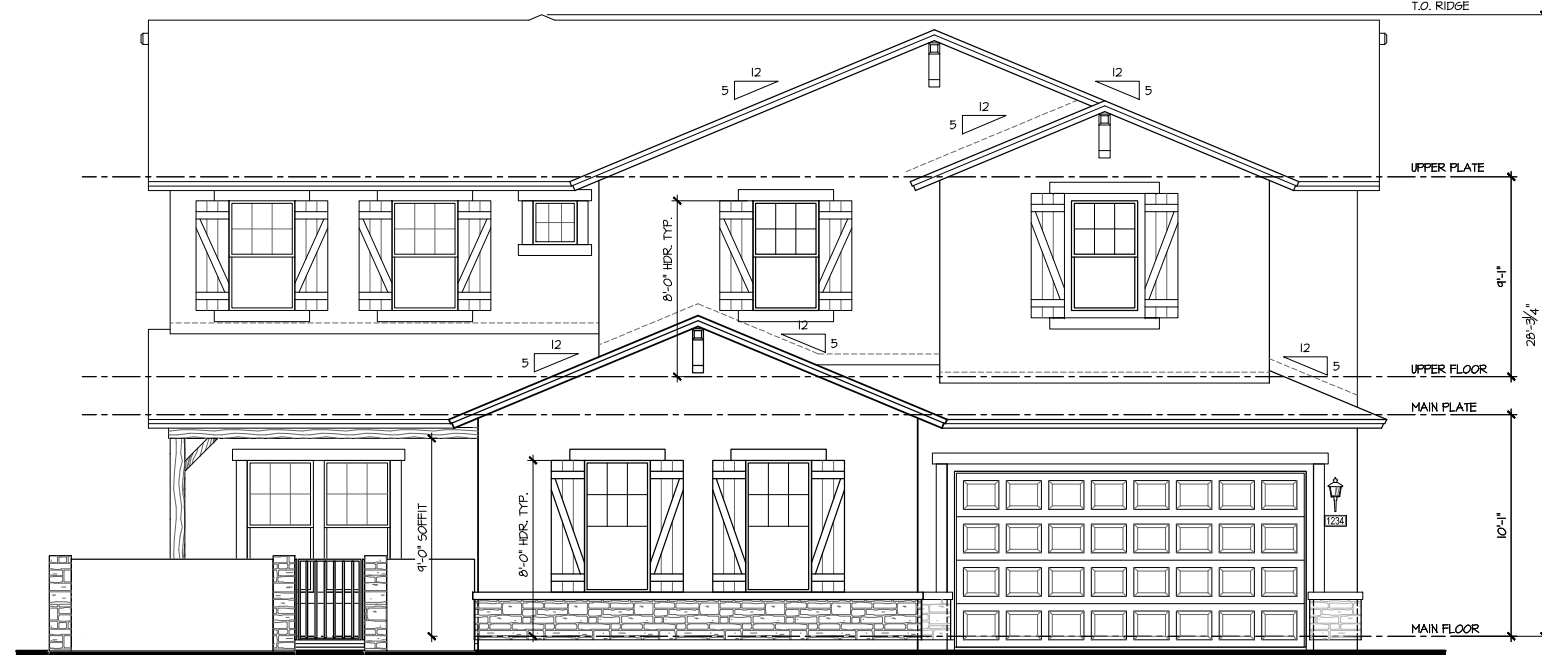
Rear Elevation

SCALE: 1/8"=1'-0"



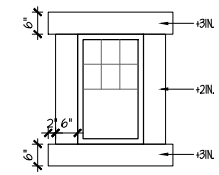
Right Elevation

SCALE: 1/8"=1'-0"



Front Elevation

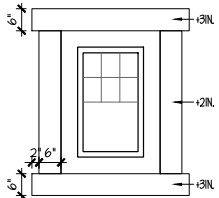
SCALE: 1/4"=1'-0"



TYPICAL WINDOW TRIM - B

SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - B

SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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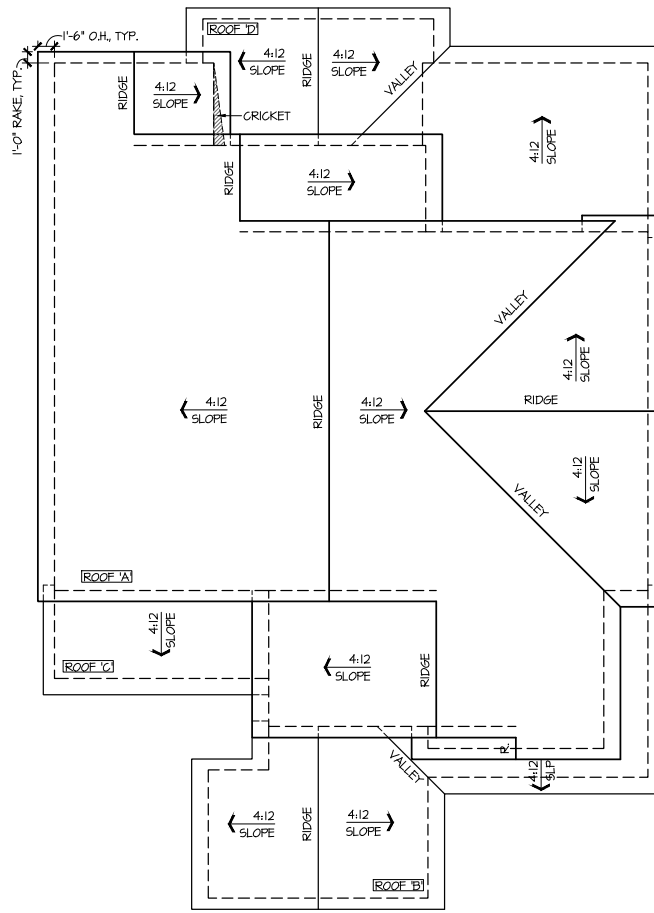
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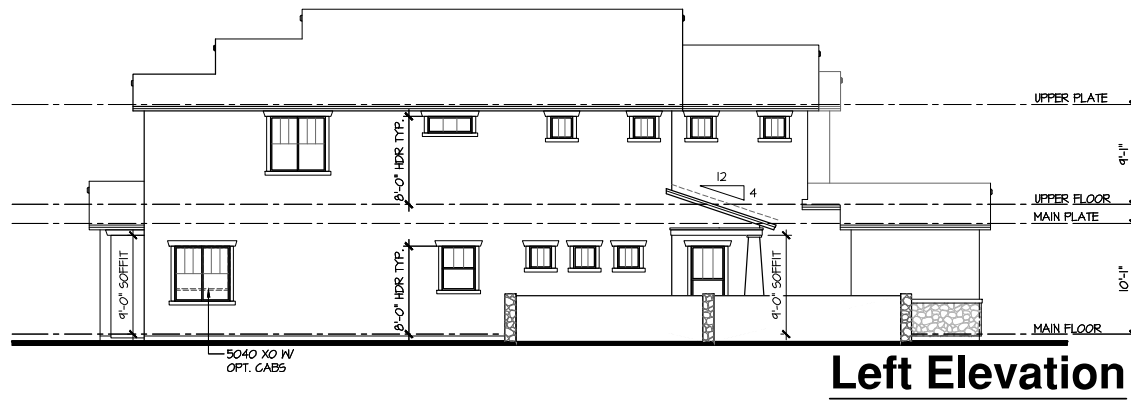


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 EXTERIOR ELEVATIONS AND
 ROOF PLAN
 ELEVATION B - RANCH

PLAN 5424
A3.1B



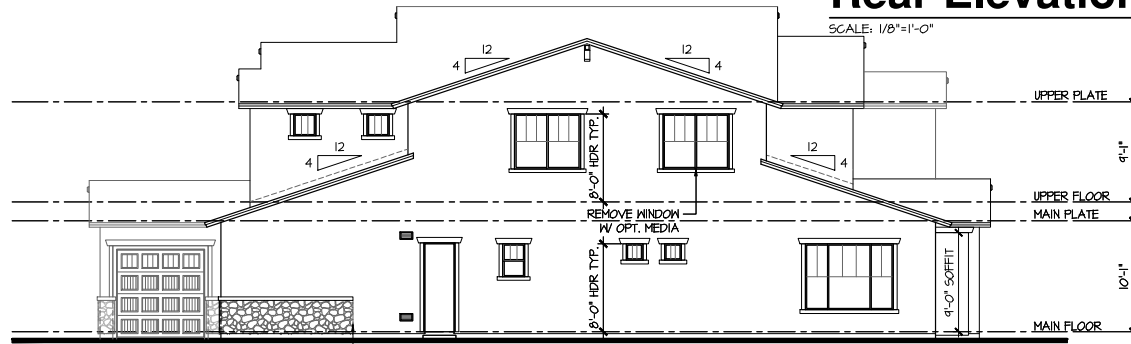
Roof Plan
SCALE: 1/8"=1'-0"



Left Elevation
SCALE: 1/8"=1'-0"



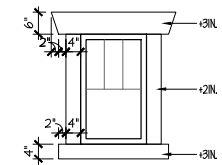
Rear Elevation
SCALE: 1/8"=1'-0"



Right Elevation
SCALE: 1/8"=1'-0"

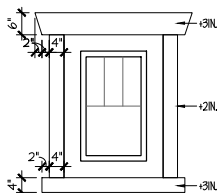


Front Elevation
SCALE: 1/4"=1'-0"



TYPICAL WINDOW TRIM - C
SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - C
SCALE: 1/2" = 1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

Elevation C - Craftsman

ISSUE DATE: NA

REVISIONS	DATE	BY

SCALE: ALL DIMENSIONS UNLESS OTHERWISE NOTED. ALL HEIGHTS AND FINISHES TO FACE UNLESS NOTED OTHERWISE.

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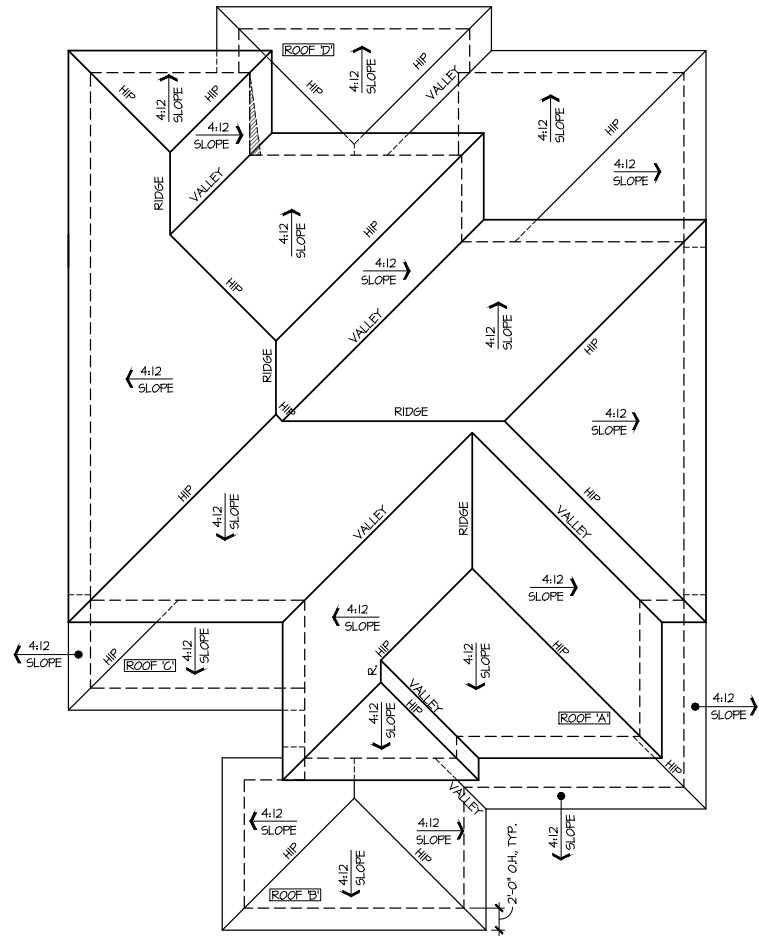
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EXTERIOR ELEVATIONS AND ROOF PLAN
ELEVATION C - CRAFTSMAN

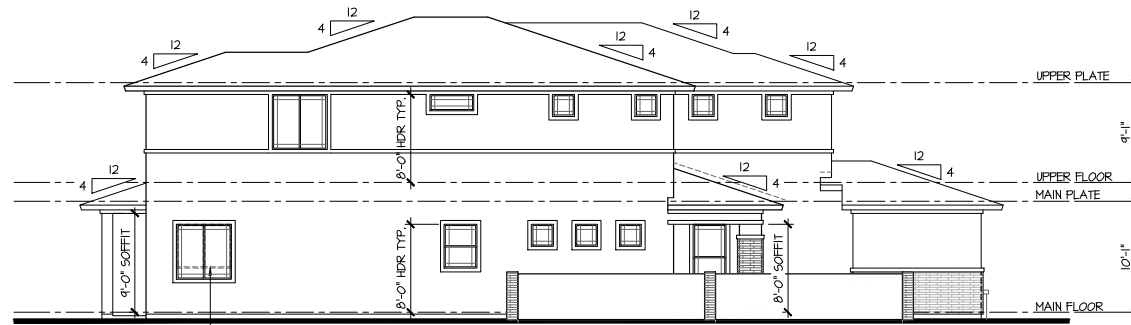
PLAN 5424

A3.1C

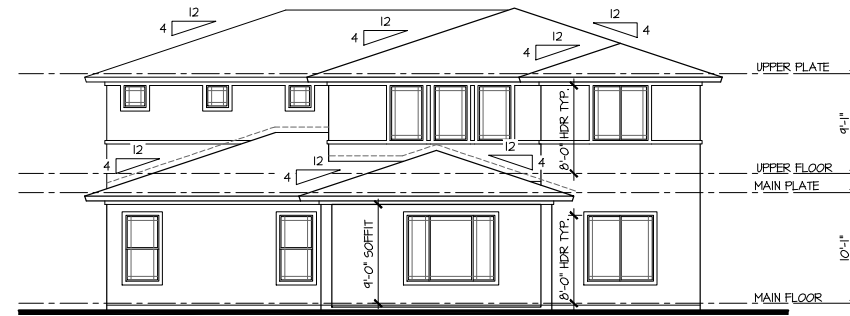
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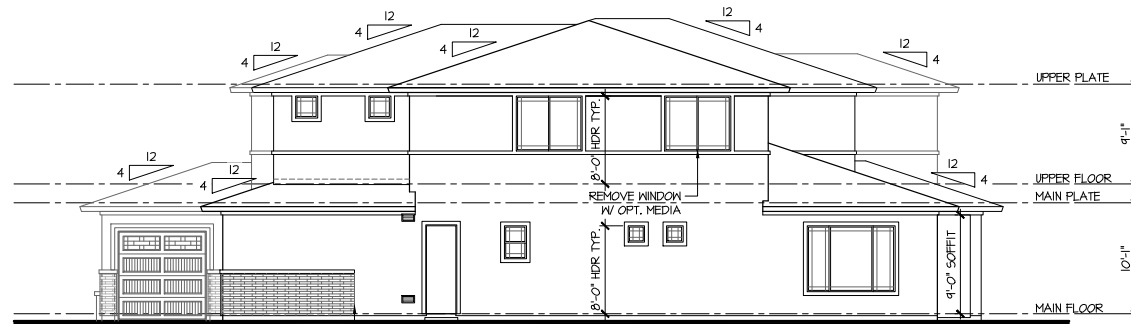
Roof Plan
SCALE: 1/8"=1'-0"



Left Elevation
SCALE: 1/8"=1'-0"



Rear Elevation
SCALE: 1/8"=1'-0"

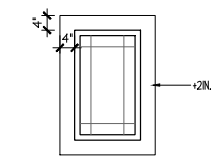


Right Elevation
SCALE: 1/8"=1'-0"



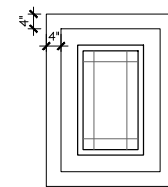
Front Elevation
SCALE: 1/4"=1'-0"

Elevation E - Prairie



TYPICAL WINDOW TRIM - E
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - E
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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EXTERIOR ELEVATIONS AND
ROOF PLAN
ELEVATION E - PRAIRIE

PLAN 5424
A3.1E

**Lot Fit Analysis for Terravella
5400 Series
Plan 5403**

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE :	R1-5	R1-9
	55% (1-story)	45% (1-story)
	50% (2-story)	40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5403 - Ranch						Plan 5403 - Craftsman						Plan 5403 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,469 S.F.	Max. Footprint Coverage % 3,469 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,571 S.F.	Max. Footprint Coverage % 3,571 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,415 S.F.	Max. Footprint Coverage % 3,415 S.F.
277	3,4	8,945	Yes / E	20'	5/5'	15'	38.8%	38.8%	Yes / E	20'	5/5'	15'	39.9%	39.9%	Yes / E	20'	5/5'	15'	38.2%	38.2%
278	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
279	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
280	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
281	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
282	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
283	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
284	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
285	3,4	8,808	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
286	3,4	8,807	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
287	3,4	8,807	Yes / R	20'	5/5'	15'	39.4%	39.4%	Yes / R	20'	5/5'	15'	40.5%	40.5%	Yes / R	20'	5/5'	15'	38.8%	38.8%
288	3,4	8,807	Yes / L	20'	5/5'	15'	39.4%	39.4%	Yes / L	20'	5/5'	15'	40.5%	40.5%	Yes / L	20'	5/5'	15'	38.8%	38.8%
289	3,4	8,807	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
290	3,4	8,807	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
291	3,4	8,807	Yes / E	20'	5/5'	15'	39.4%	39.4%	Yes / E	20'	5/5'	15'	40.5%	40.5%	Yes / E	20'	5/5'	15'	38.8%	38.8%
292	3,4	9,087	Yes / E	20'	5/5'	15'	38.2%	38.2%	Yes / E	20'	5/5'	15'	39.3%	39.3%	Yes / E	20'	5/5'	15'	37.6%	37.6%
293	3,4,7	8,714	Yes / L	20'	5/5'	15'	39.8%	39.8%	Yes / L	20'	5/5'	15'	41.0%	41.0%	Yes / L	20'	5/5'	15'	39.2%	39.2%
294	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
295	3,4	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
296	3,4	8,764	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.7%	40.7%	Yes / L	20'	5/5'	15'	39.0%	39.0%
297	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
298	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
299	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
300	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
301	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
302	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
303	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
304	3	8,764	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	39.0%	39.0%
305	3,4,7	8,714	Yes / R	20'	5/5'	15'	39.8%	39.8%	Yes / R	20'	5/5'	15'	41.0%	41.0%	Yes / R	20'	5/5'	15'	39.2%	39.2%
306	3,4,7	8,700	Yes / L	20'	5/5'	15'	39.9%	39.9%	Yes / L	20'	5/5'	15'	41.0%	41.0%	Yes / L	20'	5/5'	15'	39.3%	39.3%
307	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
308	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
309	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
310	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
311	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
312	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
313	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
314	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
315	3,4	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
316	3,4	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
317	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
318	3,4,7	8,700	Yes / R	20'	5/5'	15'	39.9%	39.9%	Yes / R	20'	5/5'	15'	41.0%	41.0%	Yes / R	20'	5/5'	15'	39.3%	39.3%
319	3,4,7	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
320	3,4	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
321	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
322	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
323	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
324	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%

Lot Fit Analysis for Terravella 5400 Series Plan 5403

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE : R1-5 R1-9
 55% (1-story) 45% (1-story)
 50% (2-story) 40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5403 - Ranch						Plan 5403 - Craftsman						Plan 5403 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,469 S.F.	Max. Footprint Coverage % 3,469 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,571 S.F.	Max. Footprint Coverage % 3,571 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,415 S.F.	Max. Footprint Coverage % 3,415 S.F.
325	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
326	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
327	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
328	3,4,7	8,709	Yes / R	20'	5/5'	15'	39.8%	39.8%	Yes / R	20'	5/5'	15'	41.0%	41.0%	Yes / R	20'	5/5'	15'	39.2%	39.2%
329	3,4,7	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
330	3	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
331	3	8,750	Yes / R	20'	5/5'	15'	39.6%	39.6%	Yes / R	20'	5/5'	15'	40.8%	40.8%	Yes / R	20'	5/5'	15'	39.0%	39.0%
332	3	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
333	3	8,750	Yes / R	20'	5/5'	15'	39.6%	39.6%	Yes / R	20'	5/5'	15'	40.8%	40.8%	Yes / R	20'	5/5'	15'	39.0%	39.0%
334	3	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
335	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
336	3,	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
337	3,4	9,155	Yes / L	20'	5/5'	15'	37.9%	37.9%	Yes / L	20'	5/5'	15'	39.0%	39.0%	Yes / L	20'	5/5'	15'	37.3%	37.3%
338	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
339	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
340	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
341	3,4,7	8,700	Yes / R	20'	5/5'	15'	39.9%	39.9%	Yes / R	20'	5/5'	15'	41.0%	41.0%	Yes / R	20'	5/5'	15'	39.3%	39.3%
342	3,4,7	8,700	Yes / L	20'	5/5'	15'	39.9%	39.9%	Yes / L	20'	5/5'	15'	41.0%	41.0%	Yes / L	20'	5/5'	15'	39.3%	39.3%
343	3	8,750	Yes / R	20'	5/5'	15'	39.6%	39.6%	Yes / R	20'	5/5'	15'	40.8%	40.8%	Yes / R	20'	5/5'	15'	39.0%	39.0%
344	3	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
345	3	8,750	Yes / R	20'	5/5'	15'	39.6%	39.6%	Yes / R	20'	5/5'	15'	40.8%	40.8%	Yes / R	20'	5/5'	15'	39.0%	39.0%
346	3,4	8,990	Yes / L	20'	5/5'	15'	38.6%	38.6%	Yes / L	20'	5/5'	15'	39.7%	39.7%	Yes / L	20'	5/5'	15'	38.0%	38.0%
347	3,4	8,769	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.7%	40.7%	Yes / E	20'	5/5'	15'	38.9%	38.9%
348	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
349	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
350	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
351	3,4,7	8,700	Yes / R	20'	5/5'	15'	39.9%	39.9%	Yes / R	20'	5/5'	15'	41.0%	41.0%	Yes / R	20'	5/5'	15'	39.3%	39.3%
352	3,4,7	8,700	Yes / L	20'	5/5'	15'	39.9%	39.9%	Yes / L	20'	5/5'	15'	41.0%	41.0%	Yes / L	20'	5/5'	15'	39.3%	39.3%
353	3	8,750	Yes / L	20'	5/5'	15'	39.6%	39.6%	Yes / L	20'	5/5'	15'	40.8%	40.8%	Yes / L	20'	5/5'	15'	39.0%	39.0%
354	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
355	3	8,750	Yes / E	20'	5/5'	15'	39.6%	39.6%	Yes / E	20'	5/5'	15'	40.8%	40.8%	Yes / E	20'	5/5'	15'	39.0%	39.0%
356	3,4,7	8,749	Yes / R	20'	5/5'	15'	39.7%	39.7%	Yes / R	20'	5/5'	15'	40.8%	40.8%	Yes / R	20'	5/5'	15'	39.0%	39.0%
357	3,4	11,250	Yes / R	20'	5/10'	25'	30.8%	30.8%	Yes / R	20'	5/10'	25'	31.7%	31.7%	Yes / R	20'	5/10'	25'	30.4%	30.4%
358	3,4	11,250	Yes / L	20'	5/10'	25'	30.8%	30.8%	Yes / L	20'	5/10'	25'	31.7%	31.7%	Yes / L	20'	5/10'	25'	30.4%	30.4%
359	3,4	11,250	Yes / E	20'	5/10'	25'	30.8%	30.8%	Yes / E	20'	5/10'	25'	31.7%	31.7%	Yes / E	20'	5/10'	25'	30.4%	30.4%
360	3,4	11,250	Yes / E	20'	5/10'	25'	30.8%	30.8%	Yes / E	20'	5/10'	25'	31.7%	31.7%	Yes / E	20'	5/10'	25'	30.4%	30.4%

Lot Fit Analysis for Terravella 5400 Series Plan 5404

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE : R1-5 R1-9
 55% (1-story) 45% (1-story)
 50% (2-story) 40% (2-story)

Revision Date: _____

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5404 - Ranch						Plan 5404 - Craftsman						Plan 5404 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,067 S.F.	Max. Footprint Coverage % 3,067 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,003 S.F.	Max. Footprint Coverage % 3,003 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 2,867 S.F.	Max. Footprint Coverage % 2,867 S.F.
325	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
326	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
327	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
328	3,4,7	8,709	Yes / R	20'	5'/5'	20'	35.2%	35.2%	Yes / R	20'	5'/5'	20'	34.5%	34.5%	Yes / R	20'	5'/5'	20'	32.9%	32.9%
329	3,4,7	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
330	3	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
331	3	8,750	Yes / R	20'	5'/5'	20'	35.1%	35.1%	Yes / R	20'	5'/5'	20'	34.3%	34.3%	Yes / R	20'	5'/5'	20'	32.8%	32.8%
332	3	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
333	3	8,750	Yes / R	20'	5'/5'	20'	35.1%	35.1%	Yes / R	20'	5'/5'	20'	34.3%	34.3%	Yes / R	20'	5'/5'	20'	32.8%	32.8%
334	3	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
335	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
336	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
337	3,4	9,155	Yes / L	20'	5'/5'	20'	33.5%	33.5%	Yes / L	20'	5'/5'	20'	32.8%	32.8%	Yes / L	20'	5'/5'	20'	31.3%	31.3%
338	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
339	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
340	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
341	3,4,7	8,700	Yes / R	20'	5'/5'	20'	35.3%	35.3%	Yes / R	20'	5'/5'	20'	34.5%	34.5%	Yes / R	20'	5'/5'	20'	33.0%	33.0%
342	3,4,7	8,700	Yes / L	20'	5'/5'	20'	35.3%	35.3%	Yes / L	20'	5'/5'	20'	34.5%	34.5%	Yes / L	20'	5'/5'	20'	33.0%	33.0%
343	3	8,750	Yes / R	20'	5'/5'	20'	35.1%	35.1%	Yes / R	20'	5'/5'	20'	34.3%	34.3%	Yes / R	20'	5'/5'	20'	32.8%	32.8%
344	3	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
345	3	8,750	Yes / R	20'	5'/5'	20'	35.1%	35.1%	Yes / R	20'	5'/5'	20'	34.3%	34.3%	Yes / R	20'	5'/5'	20'	32.8%	32.8%
346	3,4	8,990	Yes / L	20'	5'/5'	20'	34.1%	34.1%	Yes / L	20'	5'/5'	20'	33.4%	33.4%	Yes / L	20'	5'/5'	20'	31.9%	31.9%
347	3,4	8,769	Yes / E	20'	5'/5'	20'	35.0%	35.0%	Yes / E	20'	5'/5'	20'	34.2%	34.2%	Yes / E	20'	5'/5'	20'	32.7%	32.7%
348	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
349	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
350	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
351	3,4,7	8,700	Yes / R	20'	5'/5'	20'	35.3%	35.3%	Yes / R	20'	5'/5'	20'	34.5%	34.5%	Yes / R	20'	5'/5'	20'	33.0%	33.0%
352	3,4,7	8,700	Yes / L	20'	5'/5'	20'	35.3%	35.3%	Yes / L	20'	5'/5'	20'	34.5%	34.5%	Yes / L	20'	5'/5'	20'	33.0%	33.0%
353	3	8,750	Yes / L	20'	5'/5'	20'	35.1%	35.1%	Yes / L	20'	5'/5'	20'	34.3%	34.3%	Yes / L	20'	5'/5'	20'	32.8%	32.8%
354	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
355	3	8,750	Yes / E	20'	5'/5'	20'	35.1%	35.1%	Yes / E	20'	5'/5'	20'	34.3%	34.3%	Yes / E	20'	5'/5'	20'	32.8%	32.8%
356	3,4,7	8,749	Yes / R	20'	5'/5'	20'	35.1%	35.1%	Yes / R	20'	5'/5'	20'	34.3%	34.3%	Yes / R	20'	5'/5'	20'	32.8%	32.8%
357	3,4	11,250	Yes / R	20'	5'/10'	25'	27.3%	27.3%	Yes / R	20'	5'/10'	25'	26.7%	26.7%	Yes / R	20'	5'/10'	25'	25.5%	25.5%
358	3,4	11,250	Yes / L	20'	5'/10'	25'	27.3%	27.3%	Yes / L	20'	5'/10'	25'	26.7%	26.7%	Yes / L	20'	5'/10'	25'	25.5%	25.5%
359	3,4	11,250	Yes / E	20'	5'/10'	25'	27.3%	27.3%	Yes / E	20'	5'/10'	25'	26.7%	26.7%	Yes / E	20'	5'/10'	25'	25.5%	25.5%
360	3,4	11,250	Yes / E	20'	5'/10'	25'	27.3%	27.3%	Yes / E	20'	5'/10'	25'	26.7%	26.7%	Yes / E	20'	5'/10'	25'	25.5%	25.5%

**Lot Fit Analysis for Terravella
5400 Series
Plan 5413**

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE :	R1-5	R1-9
	55% (1-story)	45% (1-story)
	50% (2-story)	40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5413 - Ranch						Plan 5413 - Craftsman						Plan 5413 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,849 S.F.	Max. Footprint Coverage % 4,014 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,772 S.F.	Max. Footprint Coverage % 3,937 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,735 S.F.	Max. Footprint Coverage % 3,900 S.F.
325	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
326	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
327	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
328	3,4,7	8,709	Yes / R	20'	5/5'	15'	44.2%	46.1%	Yes / R	20'	5/5'	15'	43.3%	45.2%	Yes / R	20'	5/5'	15'	42.9%	44.8%
329	3,4,7	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
330	3	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
331	3	8,750	Yes / R	20'	5/5'	15'	44.0%	45.9%	Yes / R	20'	5/5'	15'	43.1%	45.0%	Yes / R	20'	5/5'	15'	42.7%	44.6%
332	3	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
333	3	8,750	Yes / R	20'	5/5'	15'	44.0%	45.9%	Yes / R	20'	5/5'	15'	43.1%	45.0%	Yes / R	20'	5/5'	15'	42.7%	44.6%
334	3	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
335	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
336	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
337	3,4	9,155	Yes / L	20'	5/5'	15'	42.0%	43.8%	Yes / L	20'	5/5'	15'	41.2%	43.0%	Yes / L	20'	5/5'	15'	40.8%	42.6%
338	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
339	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
340	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
341	3,4,7	8,700	Yes / R	20'	5/5'	15'	44.2%	46.1%	Yes / R	20'	5/5'	15'	43.4%	45.3%	Yes / R	20'	5/5'	15'	42.9%	44.8%
342	3,4,7	8,700	Yes / L	20'	5/5'	15'	44.2%	46.1%	Yes / L	20'	5/5'	15'	43.4%	45.3%	Yes / L	20'	5/5'	15'	42.9%	44.8%
343	3	8,750	Yes / R	20'	5/5'	15'	44.0%	45.9%	Yes / R	20'	5/5'	15'	43.1%	45.0%	Yes / R	20'	5/5'	15'	42.7%	44.6%
344	3	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
345	3	8,750	Yes / R	20'	5/5'	15'	44.0%	45.9%	Yes / R	20'	5/5'	15'	43.1%	45.0%	Yes / R	20'	5/5'	15'	42.7%	44.6%
346	3,4	8,990	Yes / L	20'	5/5'	15'	42.8%	44.6%	Yes / L	20'	5/5'	15'	42.0%	43.8%	Yes / L	20'	5/5'	15'	41.5%	43.4%
347	3,4	8,769	Yes / E	20'	5/5'	15'	43.9%	45.8%	Yes / E	20'	5/5'	15'	43.0%	44.9%	Yes / E	20'	5/5'	15'	42.6%	44.5%
348	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
349	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
350	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
351	3,4,7	8,700	Yes / R	20'	5/5'	15'	44.2%	46.1%	Yes / R	20'	5/5'	15'	43.4%	45.3%	Yes / R	20'	5/5'	15'	42.9%	44.8%
352	3,4,7	8,700	Yes / L	20'	5/5'	15'	44.2%	46.1%	Yes / L	20'	5/5'	15'	43.4%	45.3%	Yes / L	20'	5/5'	15'	42.9%	44.8%
353	3	8,750	Yes / L	20'	5/5'	15'	44.0%	45.9%	Yes / L	20'	5/5'	15'	43.1%	45.0%	Yes / L	20'	5/5'	15'	42.7%	44.6%
354	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
355	3	8,750	Yes / E	20'	5/5'	15'	44.0%	45.9%	Yes / E	20'	5/5'	15'	43.1%	45.0%	Yes / E	20'	5/5'	15'	42.7%	44.6%
356	3,4,7	8,749	Yes / R	20'	5/5'	15'	44.0%	45.9%	Yes / R	20'	5/5'	15'	43.1%	45.0%	Yes / R	20'	5/5'	15'	42.7%	44.6%
357	3,4	11,250	Yes / R	20'	5/10'	25'	34.2%	35.7%	Yes / R	20'	5/10'	25'	33.5%	35.0%	Yes / R	20'	5/10'	25'	33.2%	34.7%
358	3,4	11,250	Yes / L	20'	5/10'	25'	34.2%	35.7%	Yes / L	20'	5/10'	25'	33.5%	35.0%	Yes / L	20'	5/10'	25'	33.2%	34.7%
359	3,4	11,250	Yes / E	20'	5/10'	25'	34.2%	35.7%	Yes / E	20'	5/10'	25'	33.5%	35.0%	Yes / E	20'	5/10'	25'	33.2%	34.7%
360	3,4	11,250	Yes / E	20'	5/10'	25'	34.2%	35.7%	Yes / E	20'	5/10'	25'	33.5%	35.0%	Yes / E	20'	5/10'	25'	33.2%	34.7%

Lot Fit Analysis for Terravella 5400 Series Plan 5414

Building Setbacks

Front Loaded Garage = 20'
 Side Loaded Garage = 10'
 Livable = 10'
 (R1-5) Side Yard = 5' and 5'
 (R1-9) Side Yard = 5' and 10'
 (R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
 (R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
 R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
 R = Plan fits Right Drive Only
 L = Plan fits Left Drive Only
 E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE : R1-5 R1-9
 55% (1-story) 45% (1-story)
 50% (2-story) 40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5414 - Ranch						Plan 5414 - Craftsman						Plan 5414 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,536 S.F.	Max. Footprint Coverage % 3,536 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,374 S.F.	Max. Footprint Coverage % 3,374 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,394 S.F.	Max. Footprint Coverage % 3,394 S.F.
325	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
326	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
327	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
328	3,4,7	8,709	Yes / R	20'	5/5'	20'	40.6%	40.6%	Yes / R	20'	5/5'	20'	38.7%	38.7%	Yes / R	20'	5/5'	20'	39.0%	39.0%
329	3,4,7	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
330	3	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
331	3	8,750	Yes / R	20'	5/5'	20'	40.4%	40.4%	Yes / R	20'	5/5'	20'	38.6%	38.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%
332	3	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
333	3	8,750	Yes / R	20'	5/5'	20'	40.4%	40.4%	Yes / R	20'	5/5'	20'	38.6%	38.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%
334	3	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
335	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
336	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
337	3,4	9,155	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	36.9%	36.9%	Yes / L	20'	5/5'	20'	37.1%	37.1%
338	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
339	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
340	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
341	3,4,7	8,700	Yes / R	20'	5/5'	20'	40.6%	40.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%	Yes / R	20'	5/5'	20'	39.0%	39.0%
342	3,4,7	8,700	Yes / L	20'	5/5'	20'	40.6%	40.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%	Yes / L	20'	5/5'	20'	39.0%	39.0%
343	3	8,750	Yes / R	20'	5/5'	20'	40.4%	40.4%	Yes / R	20'	5/5'	20'	38.6%	38.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%
344	3	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
345	3	8,750	Yes / R	20'	5/5'	20'	40.4%	40.4%	Yes / R	20'	5/5'	20'	38.6%	38.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%
346	3,4	8,990	Yes / L	20'	5/5'	20'	39.3%	39.3%	Yes / L	20'	5/5'	20'	37.5%	37.5%	Yes / L	20'	5/5'	20'	37.8%	37.8%
347	3,4	8,769	Yes / E	20'	5/5'	20'	40.3%	40.3%	Yes / E	20'	5/5'	20'	38.5%	38.5%	Yes / E	20'	5/5'	20'	38.7%	38.7%
348	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
349	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
350	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
351	3,4,7	8,700	Yes / R	20'	5/5'	20'	40.6%	40.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%	Yes / R	20'	5/5'	20'	39.0%	39.0%
352	3,4,7	8,700	Yes / L	20'	5/5'	20'	40.6%	40.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%	Yes / L	20'	5/5'	20'	39.0%	39.0%
353	3	8,750	Yes / L	20'	5/5'	20'	40.4%	40.4%	Yes / L	20'	5/5'	20'	38.6%	38.6%	Yes / L	20'	5/5'	20'	38.8%	38.8%
354	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
355	3	8,750	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	38.6%	38.6%	Yes / E	20'	5/5'	20'	38.8%	38.8%
356	3,4,7	8,749	Yes / R	20'	5/5'	20'	40.4%	40.4%	Yes / R	20'	5/5'	20'	38.6%	38.6%	Yes / R	20'	5/5'	20'	38.8%	38.8%
357	3,4	11,250	Yes / R	20'	5/10'	25'	31.4%	31.4%	Yes / R	20'	5/10'	25'	30.0%	30.0%	Yes / R	20'	5/10'	25'	30.2%	30.2%
358	3,4	11,250	Yes / L	20'	5/10'	25'	31.4%	31.4%	Yes / L	20'	5/10'	25'	30.0%	30.0%	Yes / L	20'	5/10'	25'	30.2%	30.2%
359	3,4	11,250	Yes / E	20'	5/10'	25'	31.4%	31.4%	Yes / E	20'	5/10'	25'	30.0%	30.0%	Yes / E	20'	5/10'	25'	30.2%	30.2%
360	3,4	11,250	Yes / E	20'	5/10'	25'	31.4%	31.4%	Yes / E	20'	5/10'	25'	30.0%	30.0%	Yes / E	20'	5/10'	25'	30.2%	30.2%

**Lot Fit Analysis for Terravella
5400 Series
Plan 5423**

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE : R1-5 R1-9
55% (1-story) 45% (1-story)
50% (2-story) 40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5423 - Ranch						Plan 5423 - Craftsman						Plan 5423 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 4,092 S.F.	Max. Footprint Coverage % 4,092 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 4,096 S.F.	Max. Footprint Coverage % 4,096 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 4,098 S.F.	Max. Footprint Coverage % 4,098 S.F.
277	3,4	8,945	Yes / E	20'	5/5'	15'	45.7%	45.7%	Yes / E	20'	5/5'	15'	45.8%	45.8%	Yes / E	20'	5/5'	15'	45.8%	45.8%
278	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
279	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
280	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
281	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
282	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
283	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
284	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
285	3,4	8,808	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
286	3,4	8,807	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
287	3,4	8,807	Yes / R	20'	5/5'	15'	46.5%	46.5%	Yes / R	20'	5/5'	15'	46.5%	46.5%	Yes / R	20'	5/5'	15'	46.5%	46.5%
288	3,4	8,807	Yes / L	20'	5/5'	15'	46.5%	46.5%	Yes / L	20'	5/5'	15'	46.5%	46.5%	Yes / L	20'	5/5'	15'	46.5%	46.5%
289	3,4	8,807	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
290	3,4	8,807	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
291	3,4	8,807	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%	Yes / E	20'	5/5'	15'	46.5%	46.5%
292	3,4	9,087	Yes / E	20'	5/5'	15'	45.0%	45.0%	Yes / E	20'	5/5'	15'	45.1%	45.1%	Yes / E	20'	5/5'	15'	45.1%	45.1%
293	3,4,7	8,714	Yes / L	20'	5/5'	15'	47.0%	47.0%	Yes / L	20'	5/5'	15'	47.0%	47.0%	Yes / L	20'	5/5'	15'	47.0%	47.0%
294	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
295	3,4	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
296	3,4	8,764	Yes / L	20'	5/5'	15'	46.7%	46.7%	Yes / L	20'	5/5'	15'	46.7%	46.7%	Yes / L	20'	5/5'	15'	46.8%	46.8%
297	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
298	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
299	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
300	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
301	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
302	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
303	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
304	3	8,764	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.7%	46.7%	Yes / E	20'	5/5'	15'	46.8%	46.8%
305	3,4,7	8,714	Yes / R	20'	5/5'	15'	47.0%	47.0%	Yes / R	20'	5/5'	15'	47.0%	47.0%	Yes / R	20'	5/5'	15'	47.0%	47.0%
306	3,4,7	8,700	Yes / L	20'	5/5'	15'	47.0%	47.0%	Yes / L	20'	5/5'	15'	47.1%	47.1%	Yes / L	20'	5/5'	15'	47.1%	47.1%
307	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
308	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
309	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
310	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
311	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
312	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
313	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
314	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
315	3,4	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
316	3,4	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
317	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
318	3,4,7	8,700	Yes / R	20'	5/5'	15'	47.0%	47.0%	Yes / R	20'	5/5'	15'	47.1%	47.1%	Yes / R	20'	5/5'	15'	47.1%	47.1%
319	3,4,7	8,750	Yes / L	20'	5/5'	15'	46.8%	46.8%	Yes / L	20'	5/5'	15'	46.8%	46.8%	Yes / L	20'	5/5'	15'	46.8%	46.8%
320	3,4	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
321	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
322	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
323	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%
324	3	8,750	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%	Yes / E	20'	5/5'	15'	46.8%	46.8%

Lot Fit Analysis for Terravella 5400 Series Plan 5424

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

E = Plan fits Left or Right Drive
R = Plan fits Right Drive Only
L = Plan fits Left Drive Only
E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE :	R1-5	R1-9
	55% (1-story)	45% (1-story)
	50% (2-story)	40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5424 - Ranch						Plan 5424 - Craftsman						Plan 5424 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.
277	3,4	8,945	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	40.4%	40.4%	Yes / E	20'	5/5'	20'	40.4%	40.4%
278	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
279	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
280	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
281	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
282	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
283	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
284	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
285	3,4	8,808	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
286	3,4	8,807	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
287	3,4	8,807	Yes / R	20'	5/5'	20'	41.0%	41.0%	Yes / R	20'	5/5'	20'	41.0%	41.0%	Yes / R	20'	5/5'	20'	41.0%	41.0%
288	3,4	8,807	Yes / L	20'	5/5'	20'	41.0%	41.0%	Yes / L	20'	5/5'	20'	41.0%	41.0%	Yes / L	20'	5/5'	20'	41.0%	41.0%
289	3,4	8,807	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
290	3,4	8,807	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
291	3,4	8,807	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%	Yes / E	20'	5/5'	20'	41.0%	41.0%
292	3,4	9,087	Yes / E	20'	5/5'	20'	39.8%	39.8%	Yes / E	20'	5/5'	20'	39.8%	39.8%	Yes / E	20'	5/5'	20'	39.8%	39.8%
293	3,4,7	8,714	Yes / L	20'	5/5'	20'	41.5%	41.5%	Yes / L	20'	5/5'	20'	41.5%	41.5%	Yes / L	20'	5/5'	20'	41.5%	41.5%
294	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
295	3,4	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
296	3,4	8,764	Yes / L	20'	5/5'	20'	41.2%	41.2%	Yes / L	20'	5/5'	20'	41.2%	41.2%	Yes / L	20'	5/5'	20'	41.2%	41.2%
297	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
298	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
299	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
300	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
301	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
302	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
303	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
304	3	8,764	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
305	3,4,7	8,714	Yes / R	20'	5/5'	20'	41.5%	41.5%	Yes / R	20'	5/5'	20'	41.5%	41.5%	Yes / R	20'	5/5'	20'	41.5%	41.5%
306	3,4,7	8,700	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%
307	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
308	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
309	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
310	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
311	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
312	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
313	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
314	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
315	3,4	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
316	3,4	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
317	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
318	3,4,7	8,700	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%
319	3,4,7	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
320	3,4	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
321	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
322	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
323	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
324	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%

Lot Fit Analysis for Terravella 5400 Series Plan 5424

Building Setbacks

Front Loaded Garage = 20'
Side Loaded Garage = 10'
Livable = 10'
(R1-5) Side Yard = 5' and 5'
(R1-9) Side Yard = 5' and 10'
(R1-5) Rear Setback = 15' (1-story or patio) ; 20' (2-story)
(R1-9) Rear Setback = 25'

Zoning

R1-5 (Lots 277 - 356)
R1-9 (Lots 357 - 360)

Special Condition Notes:

1. Use and Benefit Easement
2. Landscape and Pedestrian Easement
3. Public Utility Easement
4. Other Easement
5. Arterial Street Adjacency - Increased Setback Required
6. Open Space Tract Adjacency - Increased Setback Required
7. Corner Lot
8. Other Notes

Legend

- E = Plan fits Left or Right Drive
- R = Plan fits Right Drive Only
- L = Plan fits Left Drive Only
- E1/L1/R1 = Options can not be selected together

= Plan exceeds coverage

= Plan exceeds setback limits

LOT COVERAGE :
 R1-5 R1-9
 55% (1-story) 45% (1-story)
 50% (2-story) 40% (2-story)

Revision Date:

LOT INFORMATION

Lot Number	Special Conditions	Lot Area (Sq. Ft.)	Plan 5424 - Ranch						Plan 5424 - Craftsman						Plan 5424 - Prairie					
			Fit: Yes / No	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.	Fit Y/N	Front Setback	Side Setback	Rear Setback	Std. Footprint Coverage % 3,615 S.F.	Max. Footprint Coverage % 3,615 S.F.
325	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
326	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
327	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
328	3,4,7	8,709	Yes / R	20'	5/5'	20'	41.5%	41.5%	Yes / R	20'	5/5'	20'	41.5%	41.5%	Yes / R	20'	5/5'	20'	41.5%	41.5%
329	3,4,7	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
330	3	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
331	3	8,750	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%
332	3	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
333	3	8,750	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%
334	3	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
335	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
336	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
337	3,4	9,155	Yes / L	20'	5/5'	20'	39.5%	39.5%	Yes / L	20'	5/5'	20'	39.5%	39.5%	Yes / L	20'	5/5'	20'	39.5%	39.5%
338	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
339	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
340	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
341	3,4,7	8,700	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%
342	3,4,7	8,700	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%
343	3	8,750	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%
344	3	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
345	3	8,750	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%
346	3,4	8,990	Yes / L	20'	5/5'	20'	40.2%	40.2%	Yes / L	20'	5/5'	20'	40.2%	40.2%	Yes / L	20'	5/5'	20'	40.2%	40.2%
347	3,4	8,769	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%	Yes / E	20'	5/5'	20'	41.2%	41.2%
348	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
349	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
350	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
351	3,4,7	8,700	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%	Yes / R	20'	5/5'	20'	41.6%	41.6%
352	3,4,7	8,700	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%	Yes / L	20'	5/5'	20'	41.6%	41.6%
353	3	8,750	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%	Yes / L	20'	5/5'	20'	41.3%	41.3%
354	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
355	3	8,750	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%	Yes / E	20'	5/5'	20'	41.3%	41.3%
356	3,4, 7	8,749	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%	Yes / R	20'	5/5'	20'	41.3%	41.3%
357	3,4	11,250	Yes / R	20'	5/10'	25'	32.1%	32.1%	Yes / R	20'	5/10'	25'	32.1%	32.1%	Yes / R	20'	5/10'	25'	32.1%	32.1%
358	3,4	11,250	Yes / L	20'	5/10'	25'	32.1%	32.1%	Yes / L	20'	5/10'	25'	32.1%	32.1%	Yes / L	20'	5/10'	25'	32.1%	32.1%
359	3,4	11,250	Yes / E	20'	5/10'	25'	32.1%	32.1%	Yes / E	20'	5/10'	25'	32.1%	32.1%	Yes / E	20'	5/10'	25'	32.1%	32.1%
360	3,4	11,250	Yes / E	20'	5/10'	25'	32.1%	32.1%	Yes / E	20'	5/10'	25'	32.1%	32.1%	Yes / E	20'	5/10'	25'	32.1%	32.1%

**taylor
morrison**

Homes Inspired by You



**9000 E. Pima Center Pkwy.
Suite #300
Scottsdale, Arizona 85258
Phone (480) 344-7000**

VOYAGE 70'S

PACKAGES

- * STANDARD DESERT PACKAGE #1
- * UPGRADE DESERT W/ BOULDER PACKAGE #2
- * UPGRADE TURF PACKAGE #3

PLANS

PLAN 5403
PLAN 5404
PLAN 5413
PLAN 5414
PLAN 5423
PLAN 5424








GOTHIC LANDSCAPE

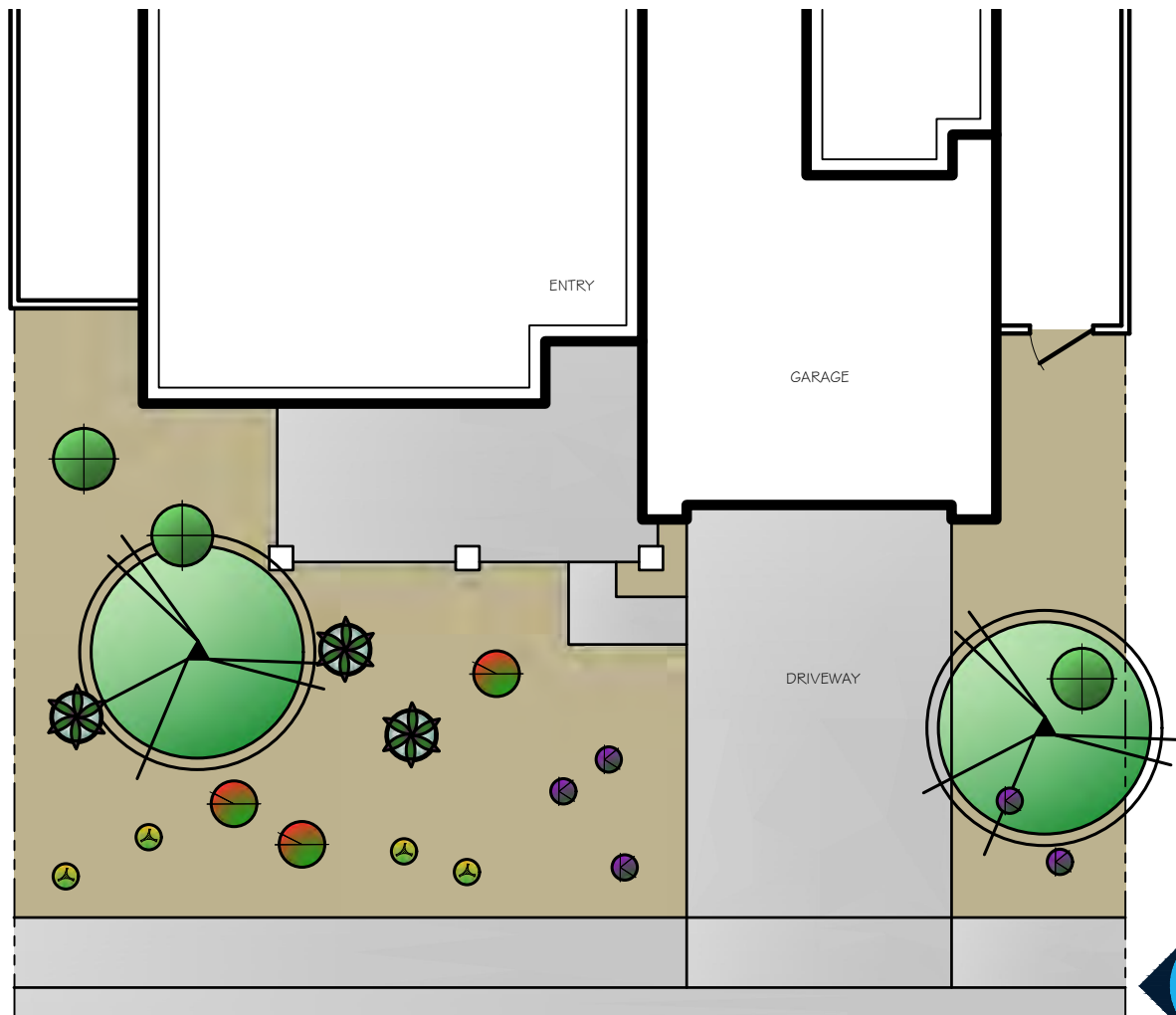
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5403

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
-  PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.











GOTHIC LANDSCAPE

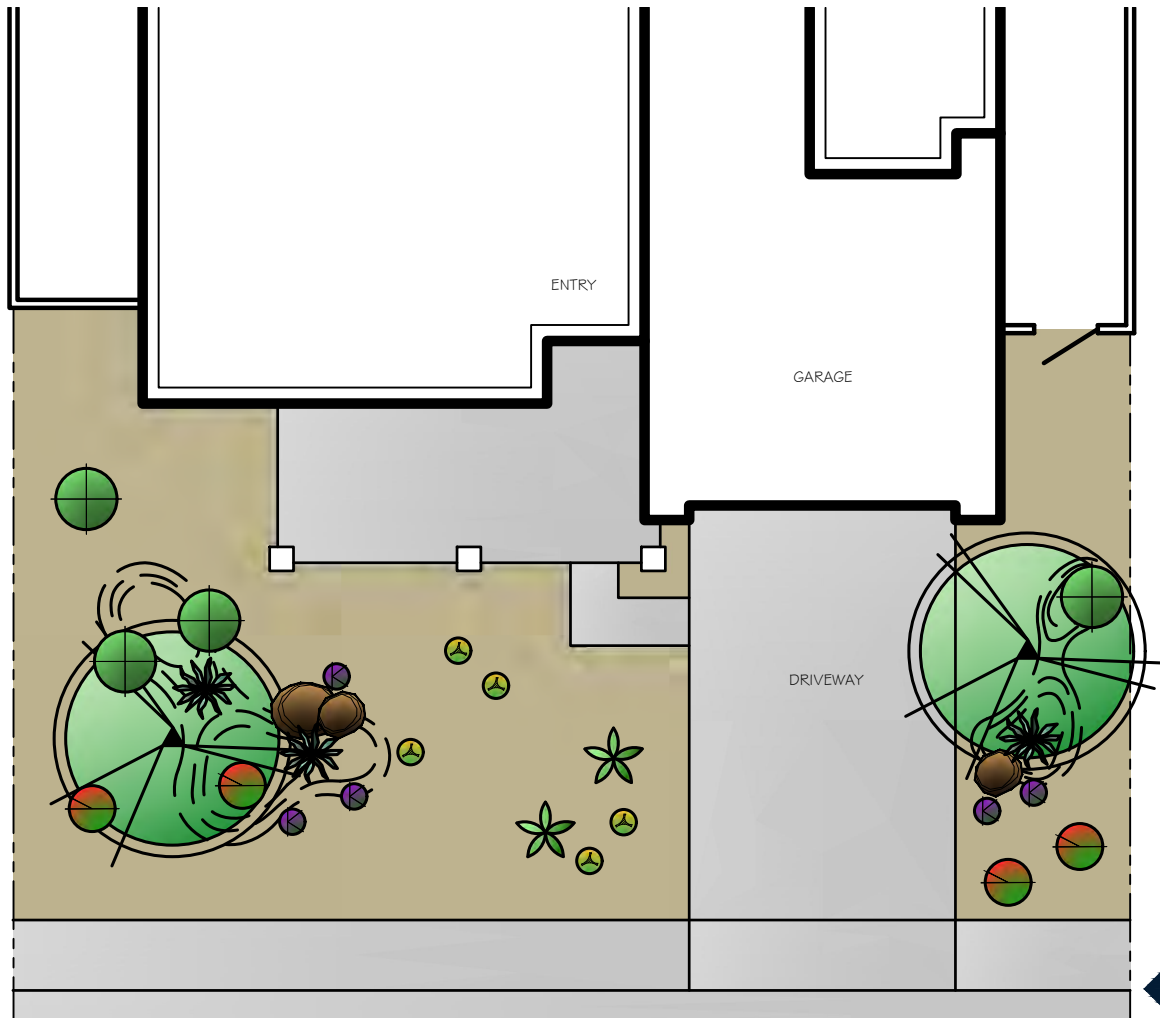
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5403

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  AUTOMATIC IRRIGATION SYSTEM
-  PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

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

GOTHIC LANDSCAPE

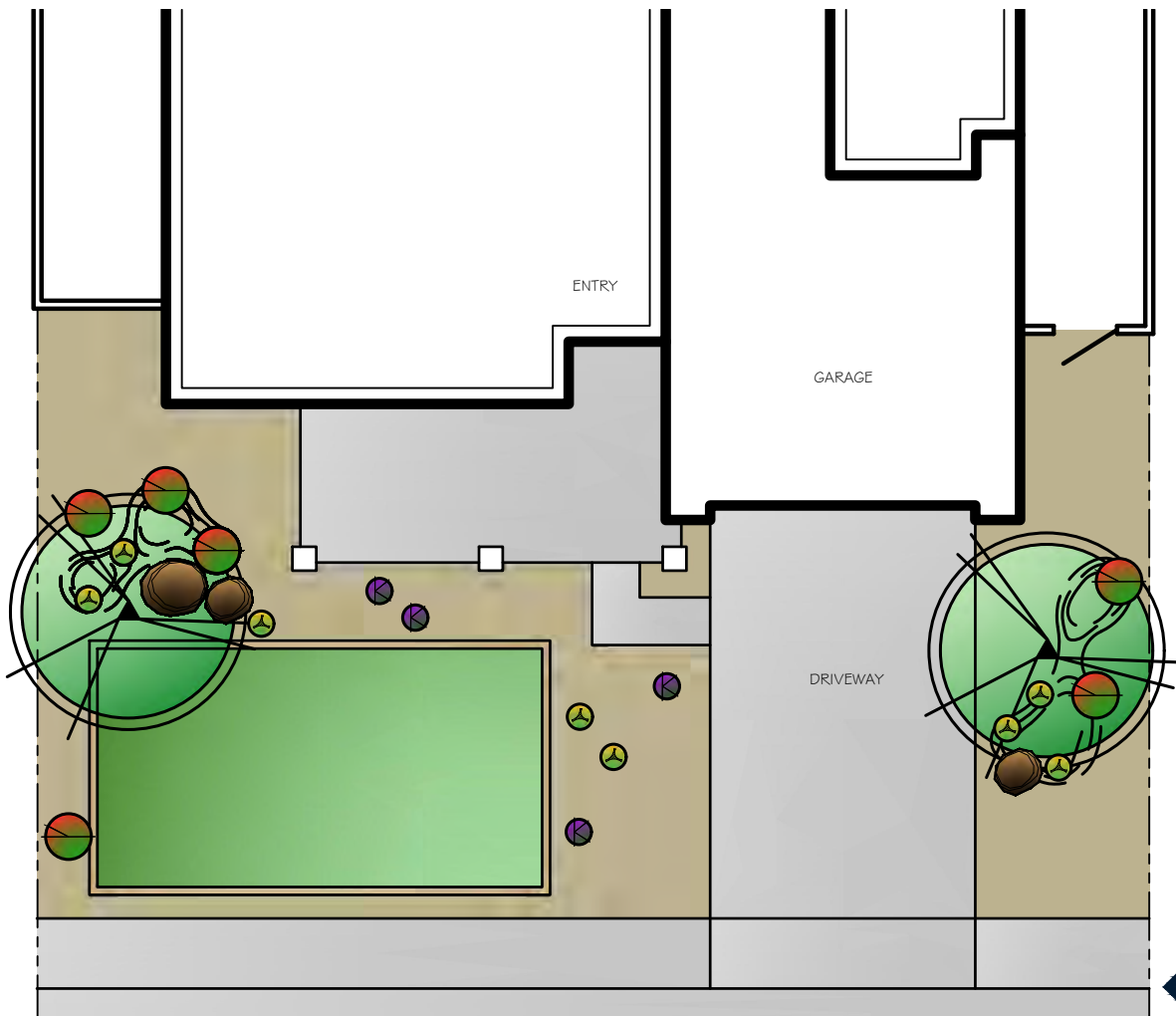
DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5403

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

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GOTHIC LANDSCAPE

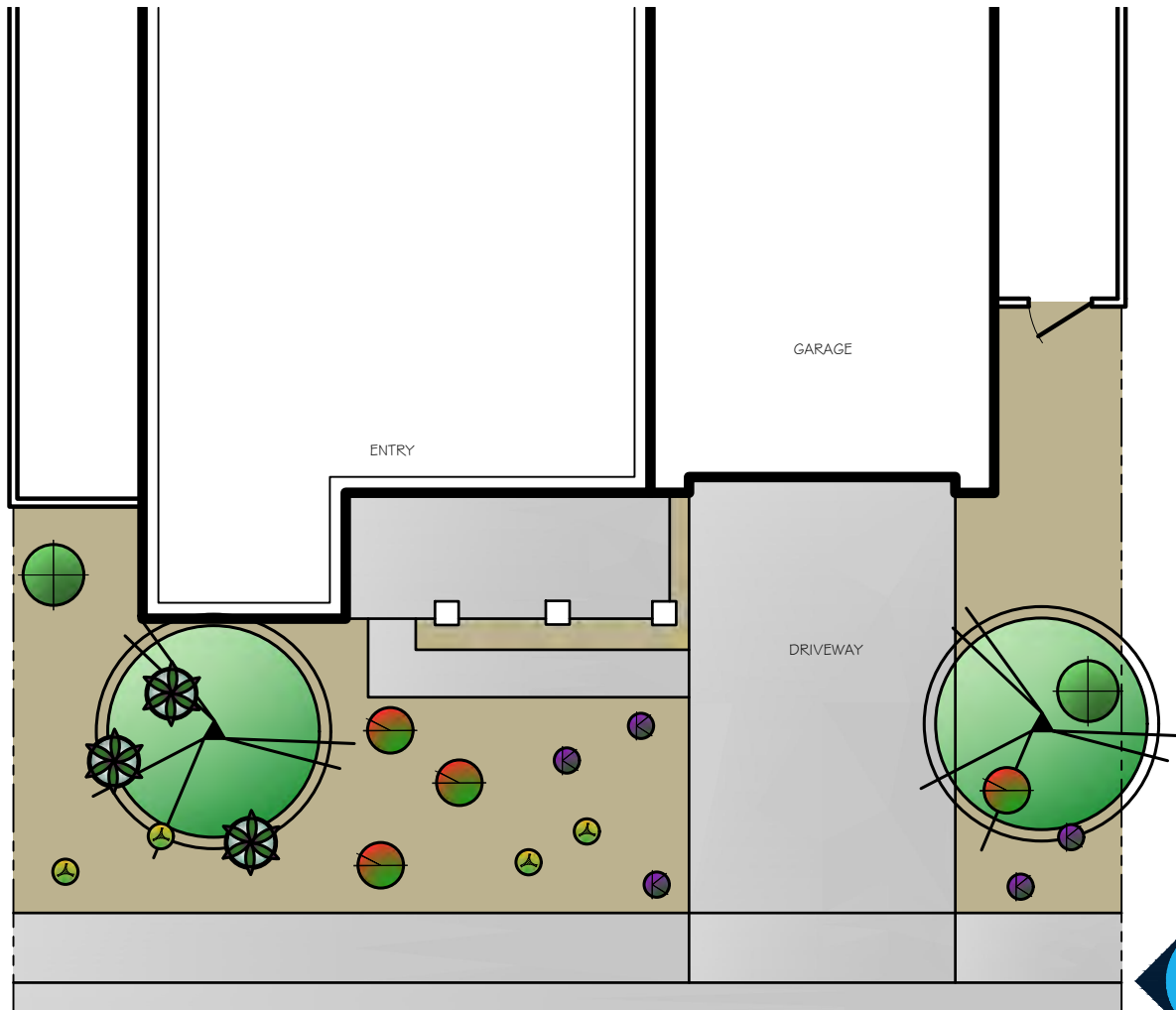
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5404

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

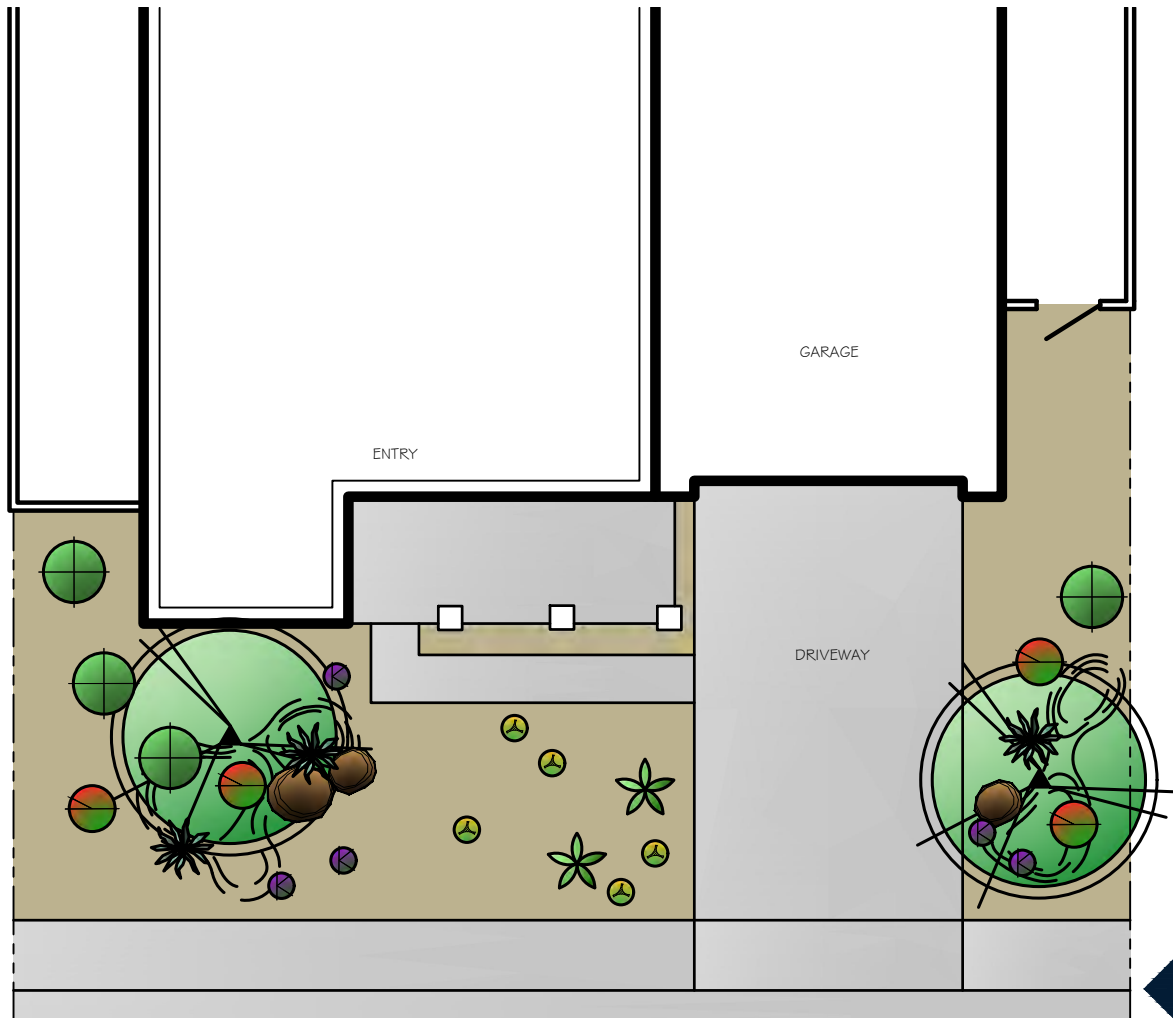
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5404

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

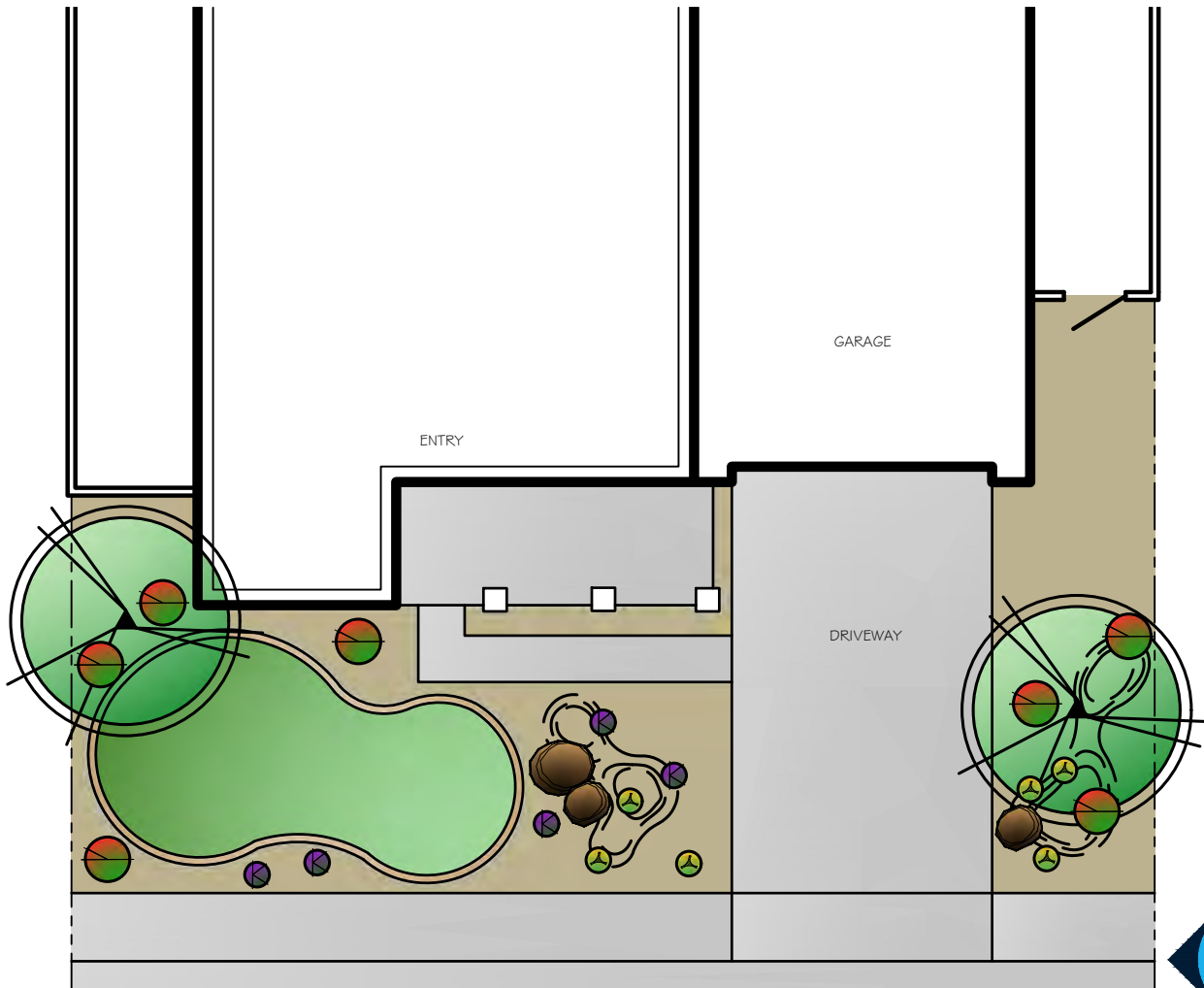
DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5404

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

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GOTHIC LANDSCAPE

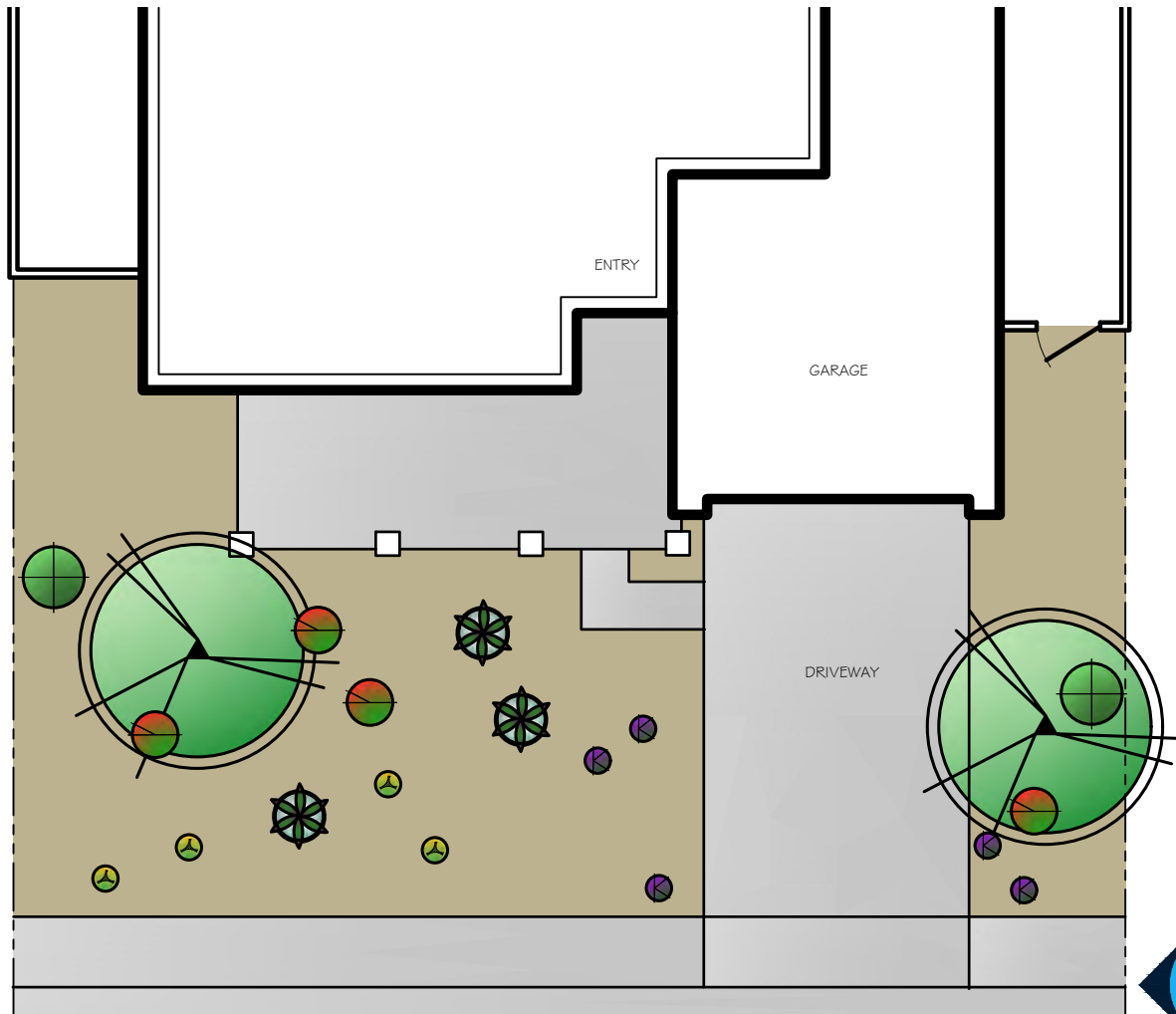
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5413

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

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GOTHIC LANDSCAPE

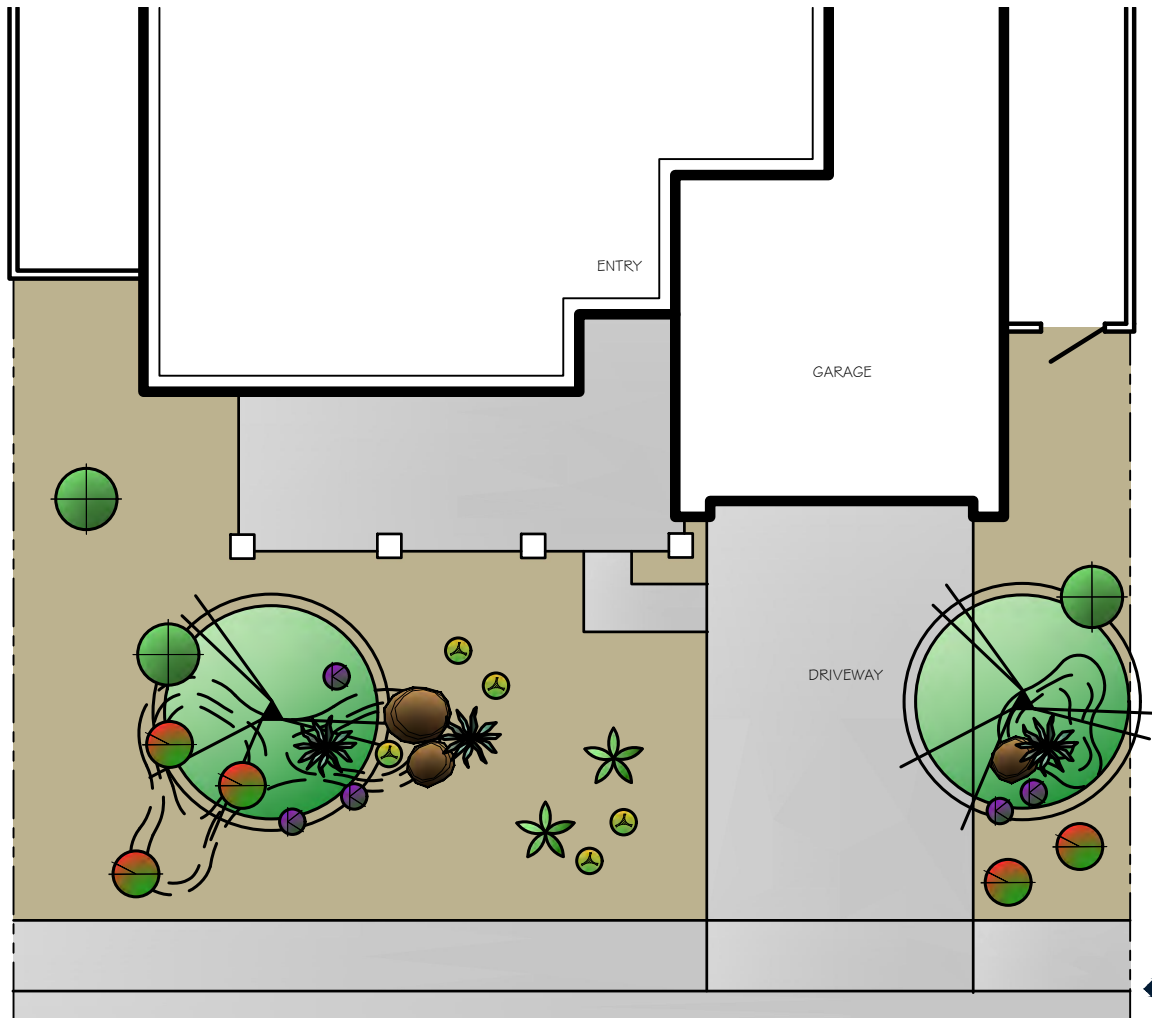
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5413

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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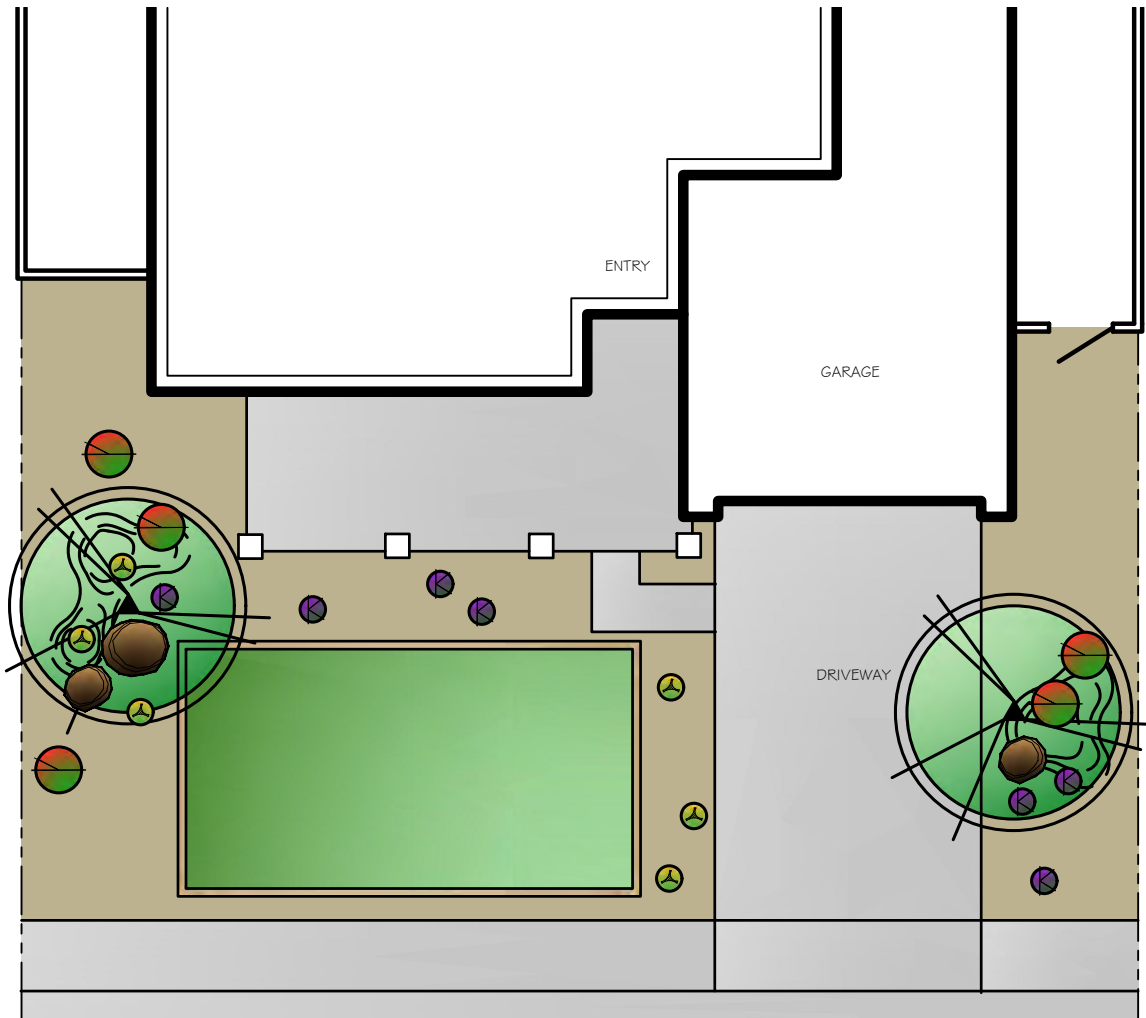
DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5413

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

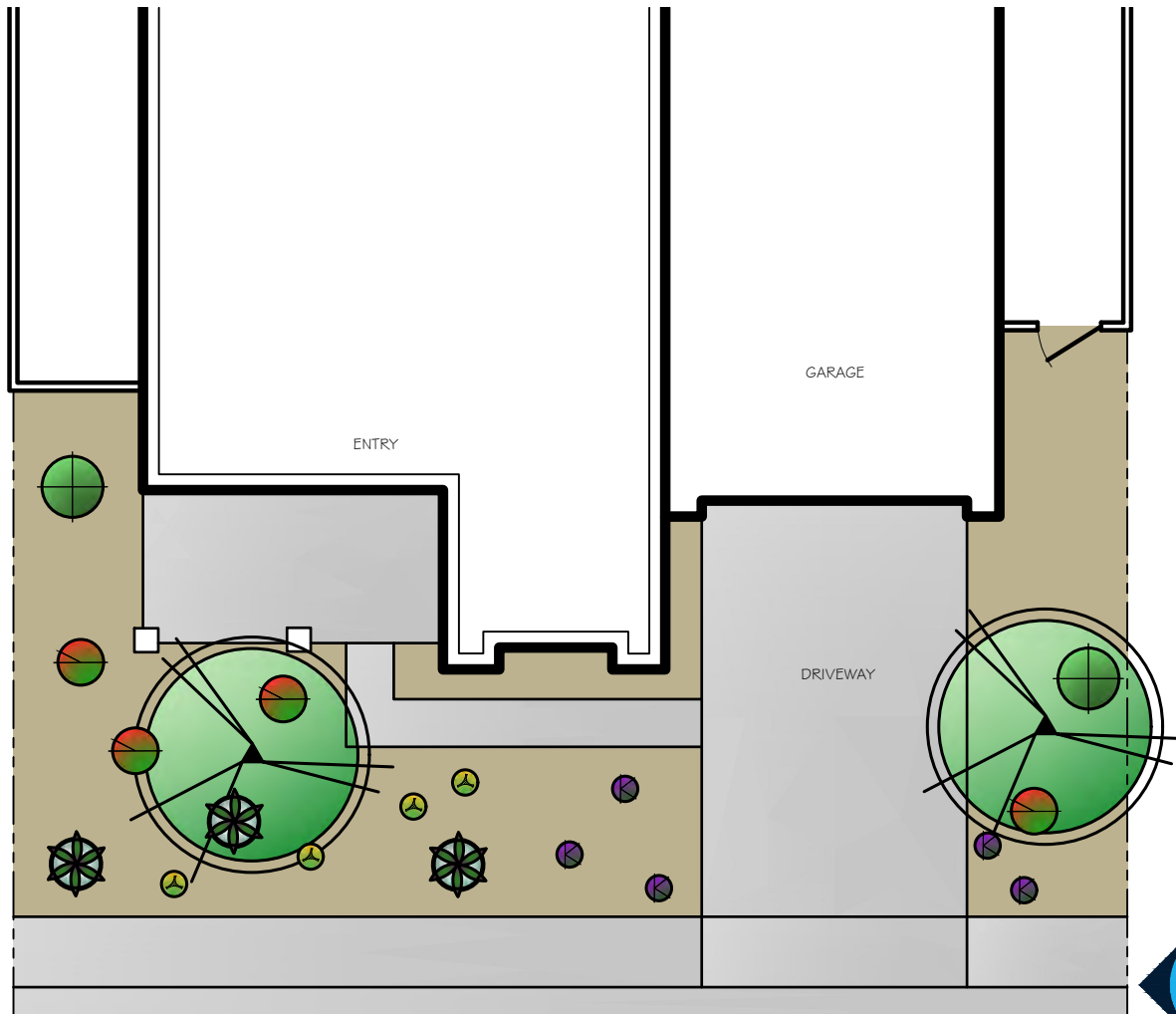
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5414

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

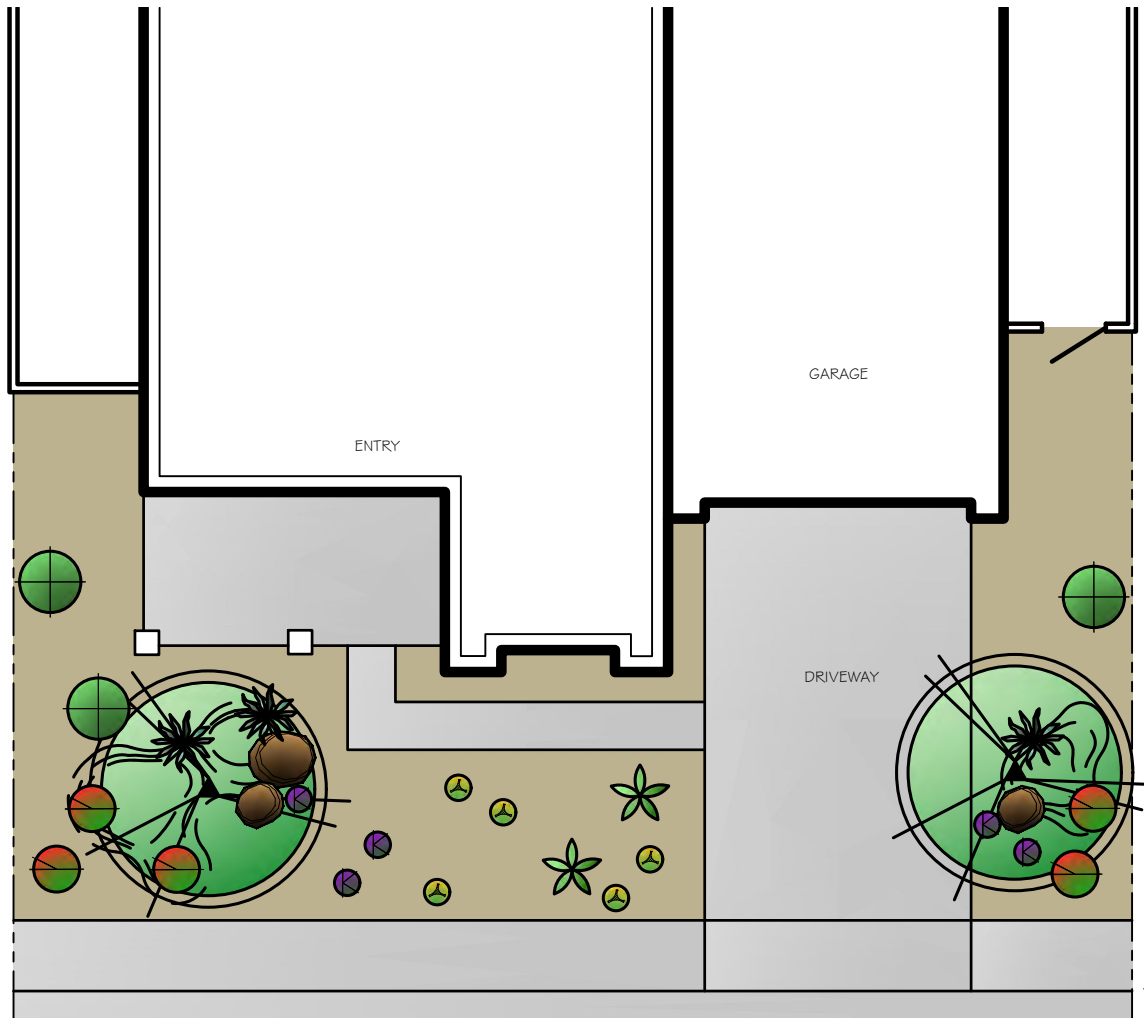
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5414

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  AUTOMATIC IRRIGATION SYSTEM
-  PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

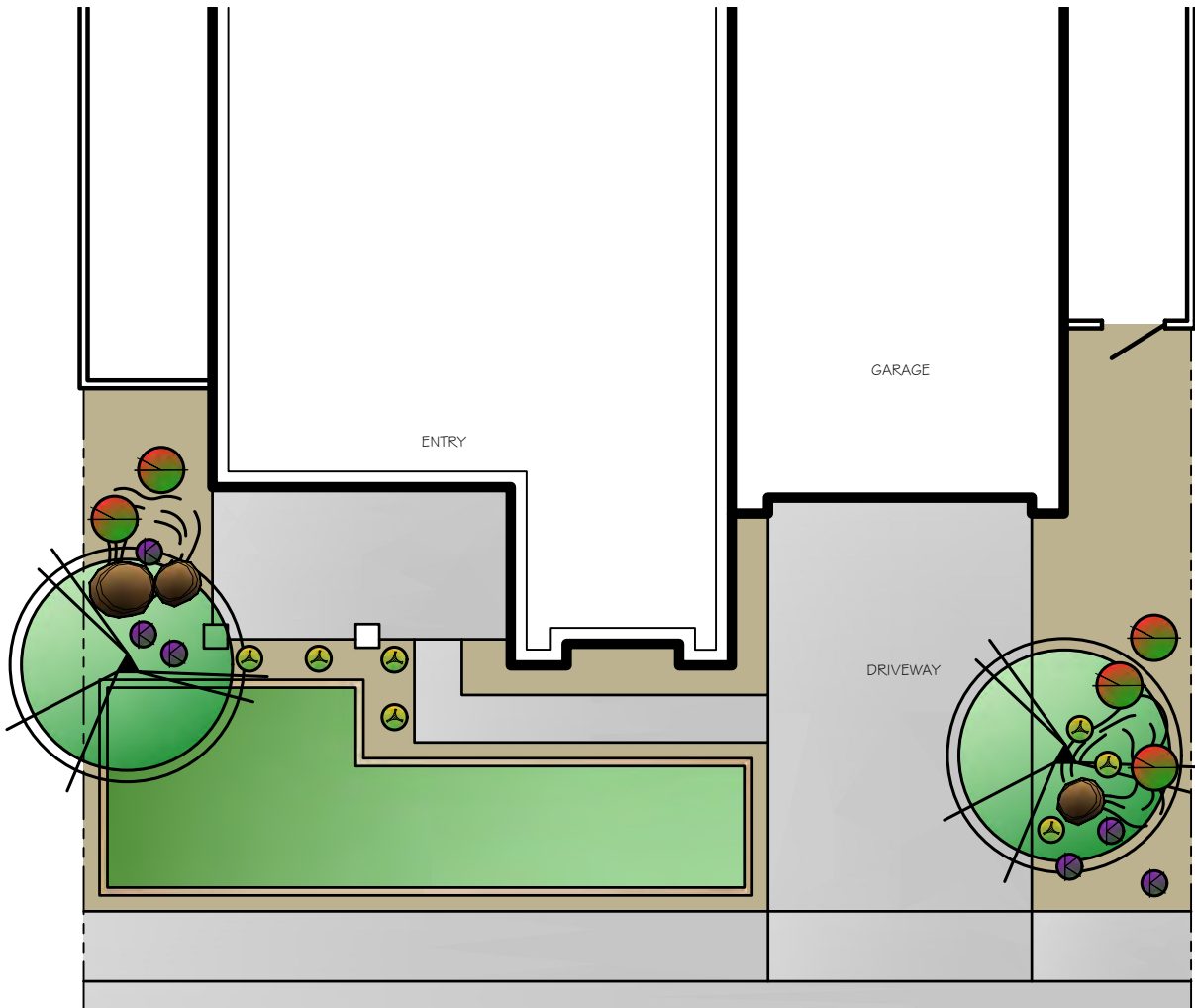
DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5414

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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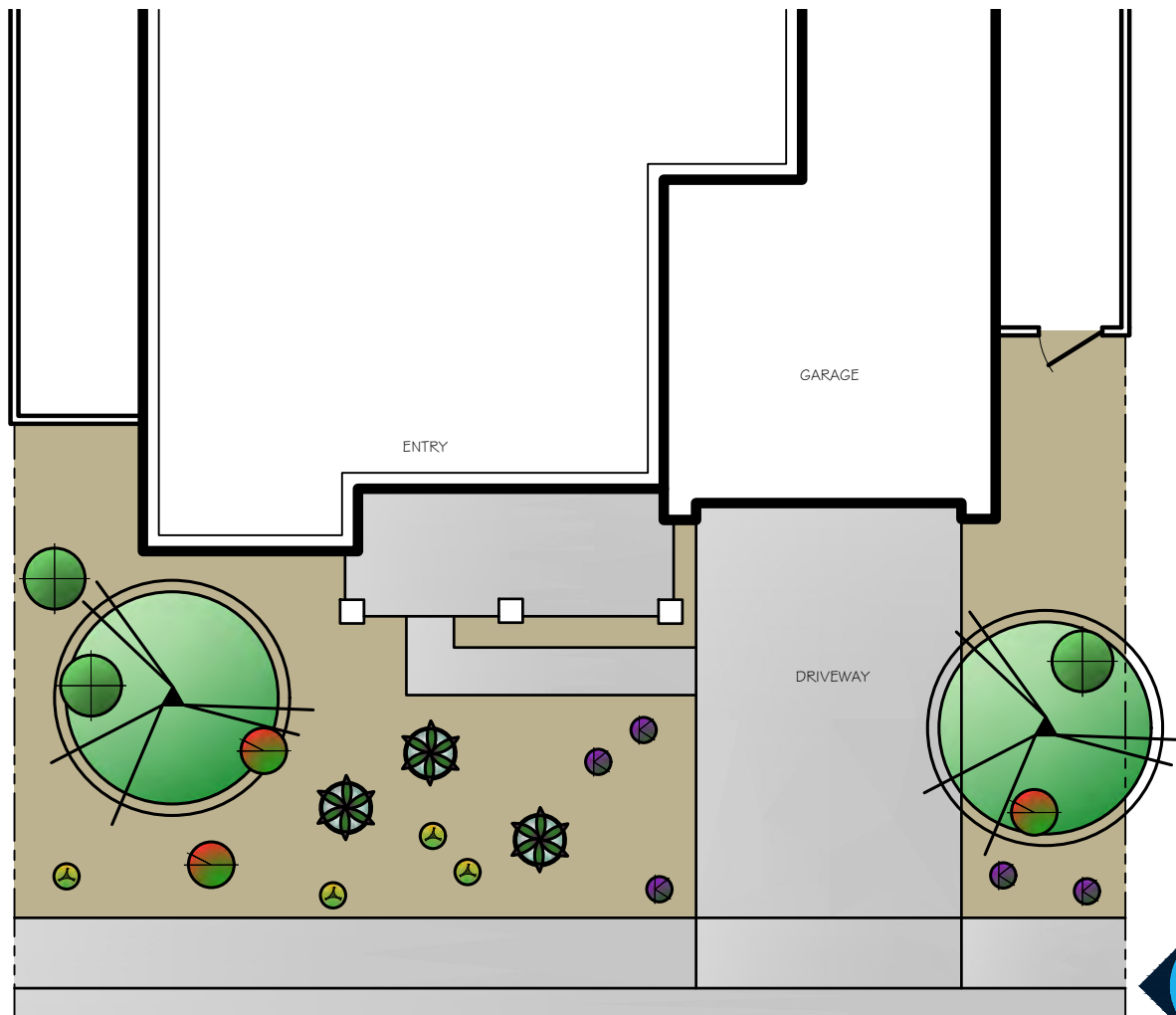
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5423

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

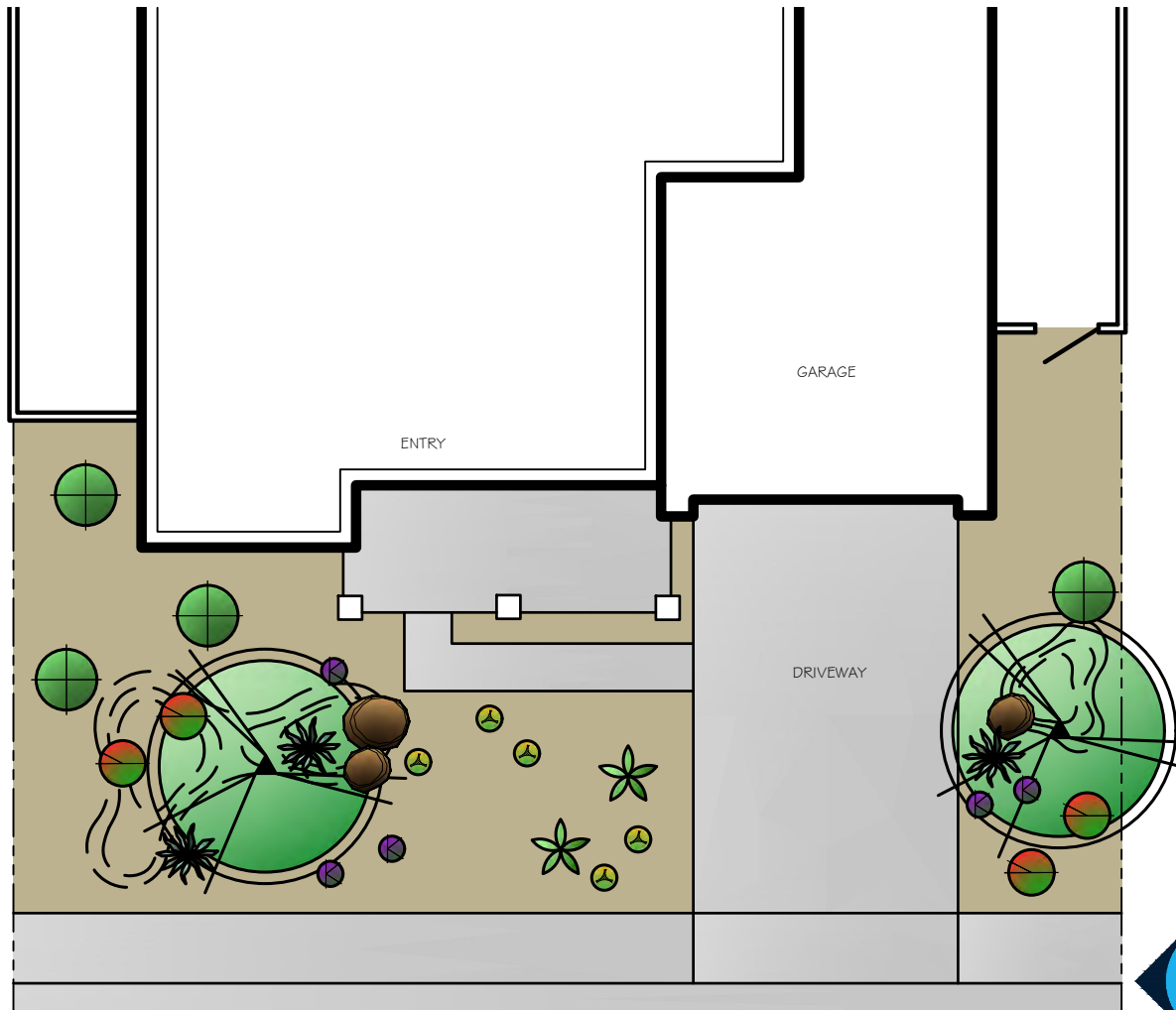
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5423

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  AUTOMATIC IRRIGATION SYSTEM
-  PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

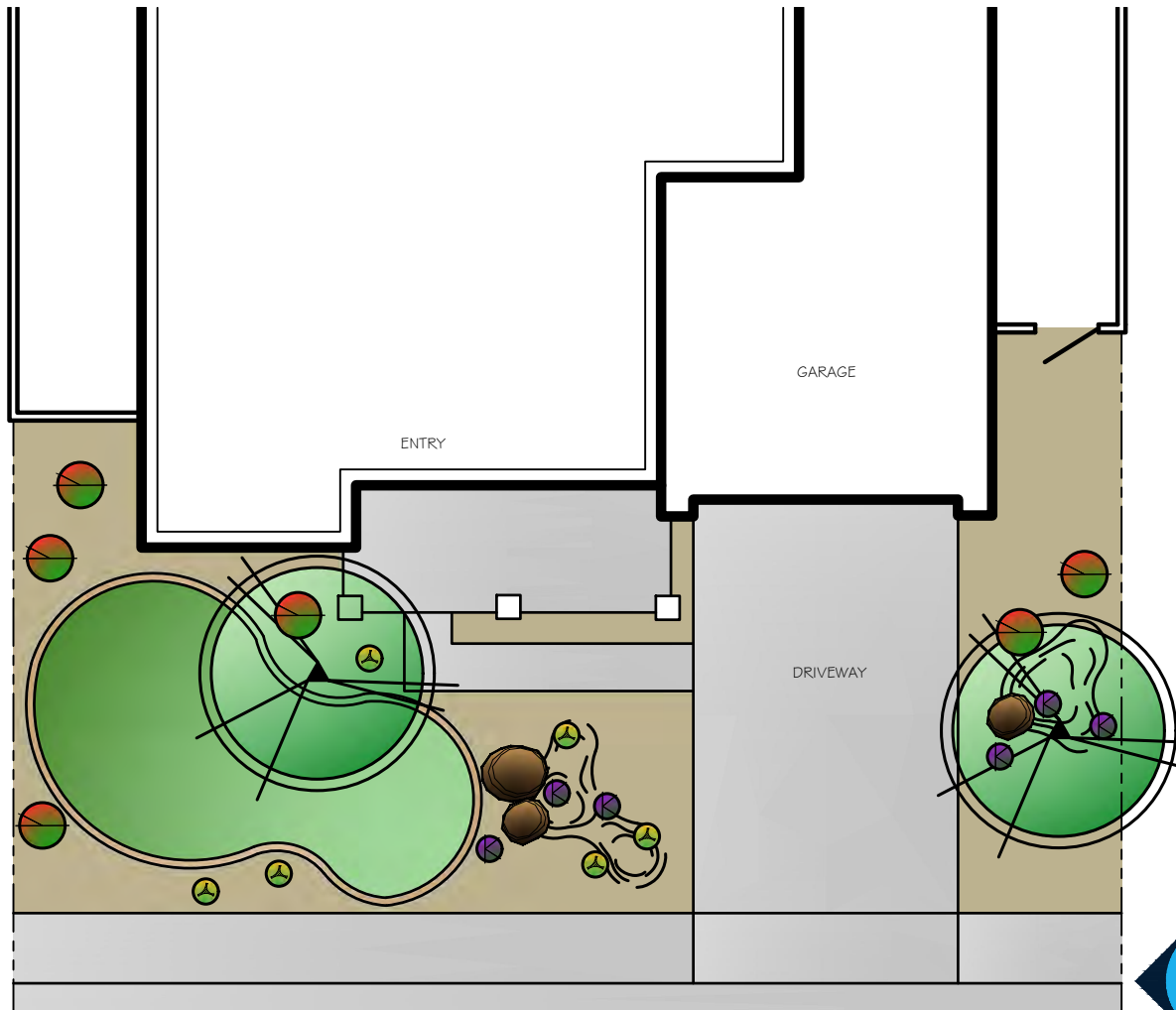
DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5423

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

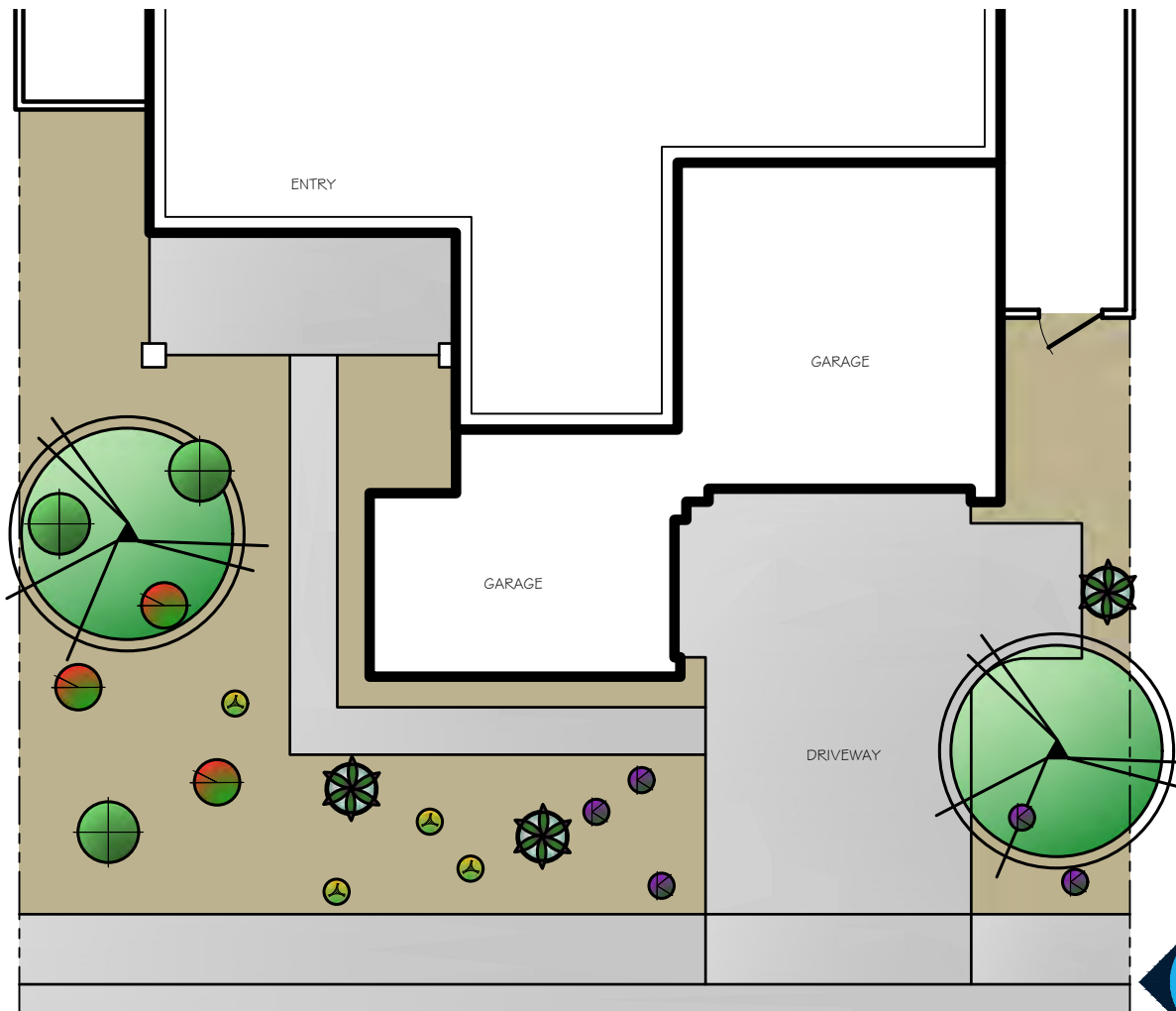
DATE: 06/17/19



VOYAGE 70'S

Standard Desert Package #1
PLAN 5424

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

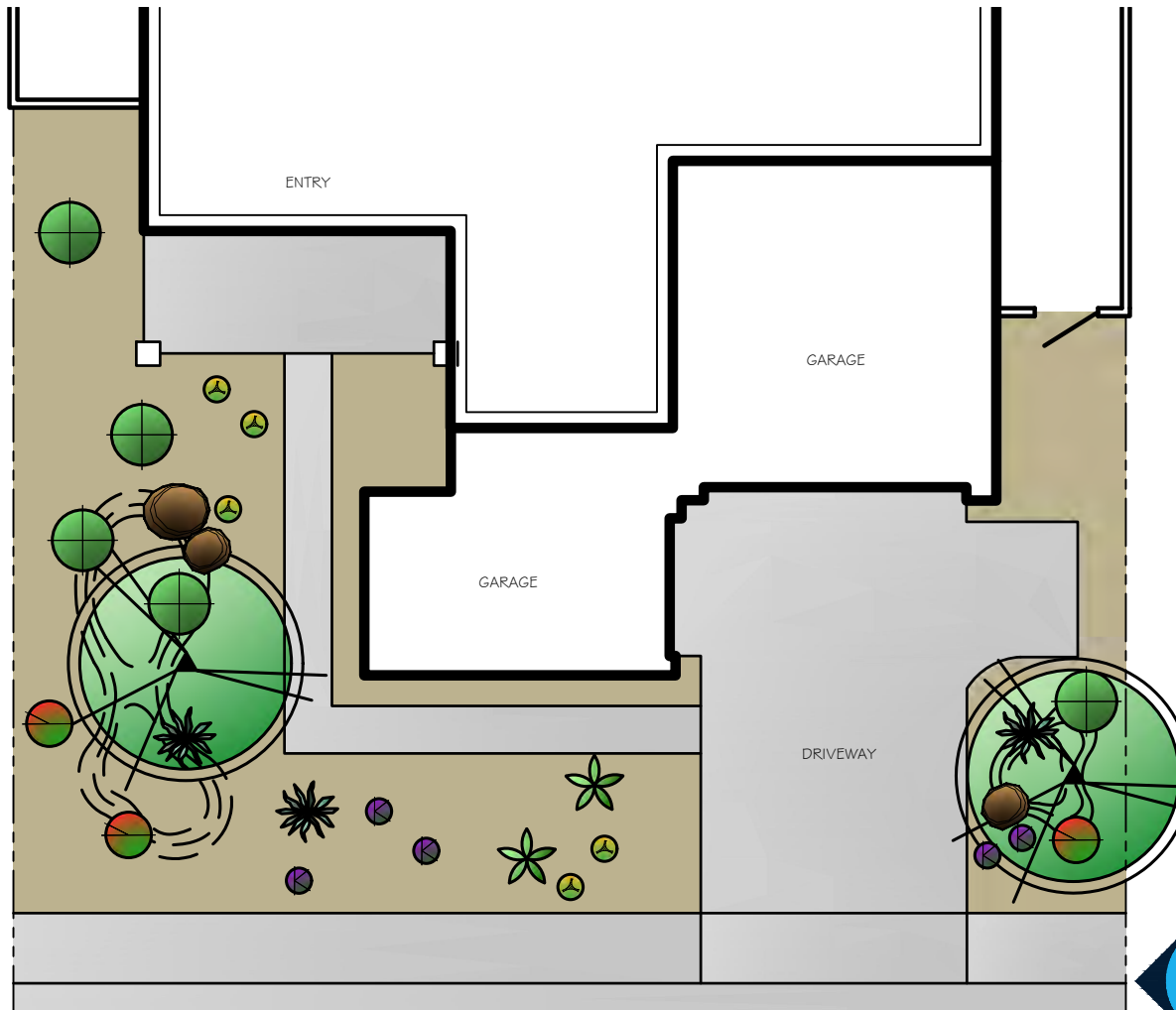
DATE: 06/17/19



VOYAGE 70'S

Upgrade Desert with Boulder Package #2
PLAN 5424

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (5): ACCENTS @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  AUTOMATIC IRRIGATION SYSTEM
-  PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

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GOTHIC LANDSCAPE

DATE: 06/17/19



VOYAGE 70'S

Upgrade Turf Package #3
PLAN 5424

-  (2): TREES @ 24" BOX
-  (18): SHRUBS/GROUNDCOVER @ 5 GALLON
-  (3): 1.5' X 2' X 2'
SURFACE SELECT BOULDERS
-  MOUNDING
-  MIDIRON SOD LAWN
PAVER BORDER
UP TO 500 SQ. FT.
- AUTOMATIC IRRIGATION SYSTEM
- PRE-EMERGENT
-  5/8" SCREENED
APACHE BROWN



Homeowner: _____

Lot #: _____ Date: _____

SCALE: N.T.S.

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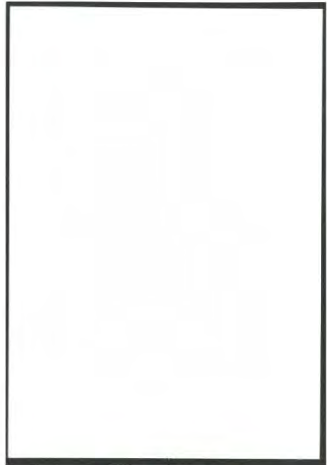





GOTHIC LANDSCAPE

DATE: 06/17/19


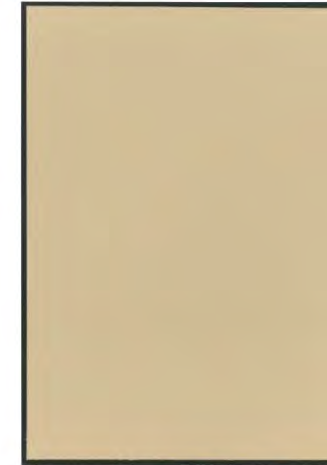





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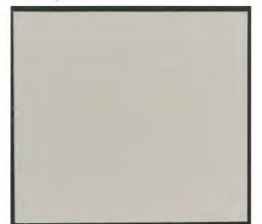




<p>Eagle Roof Tile</p>  <p>Ponderosa Palo Verde #5548</p> <p>Coronado Stone Veneer</p>  <p>Old Country Ledge Aspen</p>	 <p>Body, Garage Door Dover White #SW6385 LRV 83</p>	 <p>Fascia, Pop-outs Morris Room Grey #SW0037 LRV 37</p>  <p>Entry Door, Shutters Rocky River #SW6215 LRV 15</p>  <p>Wrought Iron Black Bean #SW6006 LRV 04</p>	
 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Ranch Elevation B</p>	<p>Color Scheme R1</p>

<p>Eagle Roof Tile</p>  <p>Ponderosa Brown Gray Range #5687</p> <p>Coronado Brick Veneer</p>  <p>Special Used Brick Eagle Buff</p>	 <p>Body, Garage Door Nantucket Dune #SW7527 LRV 54</p>	 <p>Fascia, Pop-outs Peppercorn #SW7674 LRV 10</p>  <p>Entry Door, Shutters Nebulous White #SW7063 LRV 74</p>  <p>Wrought Iron Black Fox #SW7020 LRV 07</p>	
 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Ranch Elevation B</p>	<p>Color Scheme R3</p>

<p>Eagle Roof Tile</p>  <p>Ponderosa Arcadia #5502</p> <p>Coronado Stone Veneer</p>  <p>Eastern Mountain Ledge Madison County</p>	 <p>Body, Garage Door Townhall Tan #SW7690 LRV 42</p>	 <p>Fascia, Pop-outs Homestead Brown #SW7515 LRV 12</p>  <p>Entry Door, Shutters Rustic Red #SW7593 LRV 06</p>  <p>Wrought Iron Black Bean #SW6006 LRV 04</p>	
 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Ranch Elevation B</p>	<p>Color Scheme R6</p>

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<p>Eagle Roof Tile</p>  <p>Ponderosa Santa Paula #5549</p> <p>Coronado Stone Veneer</p>  <p>Eastern Mountain Ledge Provo Canyon Grey</p>	 <p>Body, Garage Door Backdrop #SW7025 LRV 20</p>	 <p>Fascia, Pop-outs Perfect Greige #SW6073 LRV 42</p>  <p>Entry Door, Shutters Sturdy Brown #SW6097 LRV 08</p>  <p>Wrought Iron Black Bean #SW6006 LRV 04</p>	
 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Ranch Elevation B</p>	<p>Color Scheme R10</p>

<p>Eagle Roof Tile</p>  <p>Ponderosa Brown Range #5689</p> <p>Coronado Brick Veneer</p>  <p>Special Used Brick Bear Creek</p>	 <p>Body, Garage Door Gauntlet Gray #SW7019 LRV 17</p>	 <p>Fascia, Pop-outs Sanderling #SW7513 LRV 31</p>  <p>Entry Door, Shutters Web Gray #SW7075 LRV 13</p>  <p>Wrought Iron Black Fox #SW7020 LRV 07</p>	
 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Ranch Elevation B</p>	<p>Color Scheme R12</p>

taylor
morrison

Homes Inspired by You 

Terravella Phase 2

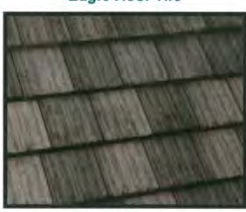

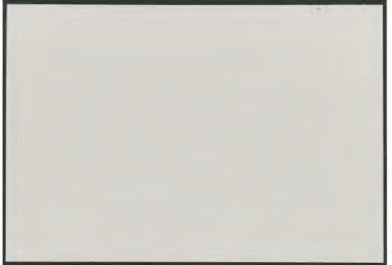






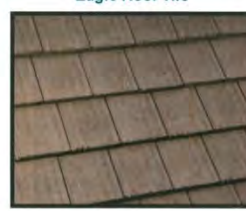

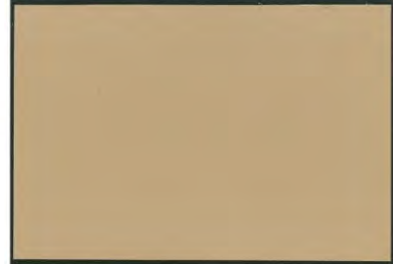







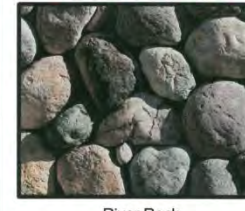
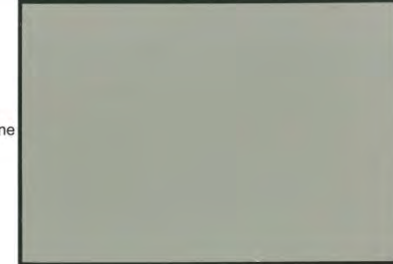









Ranch Elevation B



Page 1 of 3

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<p>Eagle Roof Tile</p>  <p>Ponderosa Brown Gray Range #5687</p> <p>Coronado Stone Veneer</p>  <p>Minnesota Fieldstone Huron</p>	<p>Body Colonnade Gray #SW7641 LRV 53</p>  <p>Columns Colonnade Gray #SW7641 LRV 53</p>  <p>Wrought Iron Entry Door Westchester Gray #SW2849 LRV 19</p>  <p>Pop-outs Body Accent Westchester Gray #SW2849 LRV 19</p>   <p>Fascia, Corbels Garage Door Manor House #SW7505 LRV 11</p>  	<p>Eagle Roof Tile</p>  <p>Ponderosa Weathered Adobe #5530</p> <p>Coronado Stone Veneer</p>  <p>Minnesota Fieldstone Dakota Brown</p>	<p>Body Soft Fawn #SW9097 LRV 33</p>  <p>Columns Softer Tan #SW6141 LRV 60</p>  <p>Wrought Iron Entry Door Cobble Brown #SW6082 LRV 14</p>  <p>Pop-outs Body Accent Softer Tan #SW6141 LRV 60</p>   <p>Fascia, Corbels Garage Door Cobble Brown #SW6082 LRV 14</p>  	<p>Eagle Roof Tile</p>  <p>Ponderosa Tombstone Blend #5808</p> <p>Coronado Stone Veneer</p>  <p>River Rock Seaside</p>	<p>Body Honed Soapstone #SW9126 LRV 31</p>  <p>Columns Aged White #SW9180 LRV 74</p>  <p>Wrought Iron Entry Door Brevery Brown #SW6068 LRV 10</p>  <p>Pop-outs Body Accent Soft Fawn #SW9097 LRV 33</p>   <p>Fascia, Corbels Garage Door Aged White #SW9180 LRV 74</p>  						
 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C1</p>	 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C2</p>	 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C3</p>

<p>Eagle Roof Tile</p>  <p>Ponderosa Brown Gray Range #5687</p> <p>Coronado Stone Veneer</p>  <p>River Rock Desert Rust</p>	<p>Body Hammered Silver #SW2840 LRV 26</p>  <p>Columns Futon #SW7101 LRV 80</p>  <p>Wrought Iron Entry Door Meadowlark #SW7522 LRV 24</p>  <p>Pop-outs Body Accent Diverse Beige #SW6079 LRV 47</p>   <p>Fascia, Corbels Garage Door Futon #SW7101 LRV 80</p>  	<p>Eagle Roof Tile</p>  <p>Ponderosa Concord Blend #5602</p> <p>Coronado Stone Veneer</p>  <p>River Rock Reno Blend</p>	<p>Body Gauntlet Gray #SW7019 LRV 17</p>  <p>Columns Pure White #SW7005 LRV 84</p>  <p>Wrought Iron Entry Door Caraibe #SW9090 LRV 13</p>  <p>Pop-outs Body Accent Dorian Gray #SW7017 LRV 39</p>   <p>Fascia, Corbels Garage Door Pure White #SW7005 LRV 84</p>  	<p>Eagle Roof Tile</p>  <p>Ponderosa Concord Blend #5602</p> <p>Coronado Stone Veneer</p>  <p>River Rock Reno Blend</p>	<p>Body Hammered Silver #SW2840 LRV 26</p>  <p>Columns Pure White #SW7005 LRV 84</p>  <p>Wrought Iron Entry Door Caraibe #SW9090 LRV 13</p>  <p>Pop-outs Body Accent Dorian Gray #SW7017 LRV 39</p>   <p>Fascia, Corbels Garage Door Futon #SW7101 LRV 80</p>  						
 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C4</p>	 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C5</p>	 <p>June, 2019</p>	<p>taylor morrison Homes Inspired by You</p> <p>Terravella Phase 2</p>	<p>Craftsman Elevation C</p>	<p>Color Scheme C5</p>

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Terravella Phase 2

Craftsman Elevation C

Page 2 of 3

Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

<p>Eagle Roof Tile</p>  <p>Bel Air Weathered Adobe #4530</p> <p>Coronado Stone Veneer</p>  <p>Old World Ledge Etowah</p>	 <p>Body, Garage Door Aesthetic White #SW7035 LRV 73</p>	 <p>Fascia, Pop-outs, Banding Stone Lion #SW7507 LRV 38</p>  <p>Wrought Iron Thunder Gray #SW7645 LRV 09</p>	<p>Entry Dr, Shutters, Corbels Smokehouse #SW7040 LRV 13</p>	 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Prairie Elevation E</p>	<p>Color Scheme P1</p>
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Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

<p>Eagle Roof Tile</p>  <p>Bel Air Sunrise Blend #4645</p> <p>Coronado Stone Veneer</p>  <p>Old World Ledge Burnt Oak</p>	 <p>Body, Garage Door Wool Skein #SW6148 LRV 63</p>	 <p>Fascia, Pop-outs, Banding Chatroom #SW6171 LRV 41</p>  <p>Wrought Iron Sealskin #SW7675 LRV 06</p>	<p>Entry Dr, Shutters, Corbels Red Barn #SW7591 LRV 09</p>	 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Prairie Elevation E</p>	<p>Color Scheme P4</p>
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Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

<p>Eagle Roof Tile</p>  <p>Bel Air Arcadia #4502</p> <p>Coronado Stone Veneer</p>  <p>Old World Ledge Monarch</p>	 <p>Body, Garage Door Accessible Beige #SW7036 LRV 58</p>	 <p>Fascia, Pop-outs, Banding Sticks & Stones #SW7503 LRV 31</p>  <p>Wrought Iron Sealskin #SW7675 LRV 06</p>	<p>Entry Dr, Shutters, Corbels Porpoise #SW7047 LRV 13</p>	 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Prairie Elevation E</p>	<p>Color Scheme P5</p>
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Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

<p>Eagle Roof Tile</p>  <p>Bel Air Brown Range #4689</p> <p>Coronado Brick Veneer</p>  <p>Roman Brick Ambrosia</p>	 <p>Body, Garage Door Stone Lion #SW7507 LRV 38</p>	 <p>Fascia, Pop-outs, Banding Chopsticks #SW7575 LRV 65</p>  <p>Wrought Iron Thunder Gray #SW7645 LRV 09</p>	<p>Entry Dr, Shutters, Corbels Hardware #SW6172 LRV 23</p>	 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Prairie Elevation E</p>	<p>Color Scheme P9</p>
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Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

<p>Eagle Roof Tile</p>  <p>Bel Air Weathered Terracotta Flashed #4520</p> <p>Coronado Brick Veneer</p>  <p>Roman Brick Sorano</p>	 <p>Body, Garage Door Sawdust #SW6158 LRV 26</p>	 <p>Fascia, Pop-outs, Banding Nacre #SW6154 LRV 76</p>  <p>Wrought Iron Sealskin #SW7675 LRV 06</p>	<p>Entry Dr, Shutters, Corbels Turkish Coffee #SW6076 LRV 05</p>	 <p>June, 2019</p>	 <p>Terravella Phase 2</p>	<p>Prairie Elevation E</p>	<p>Color Scheme P12</p>
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Terravella Phase 2

Prairie Elevation E

Page 3 of 3

Terravella
Taylor Morrison
Entry Doors by Elevation



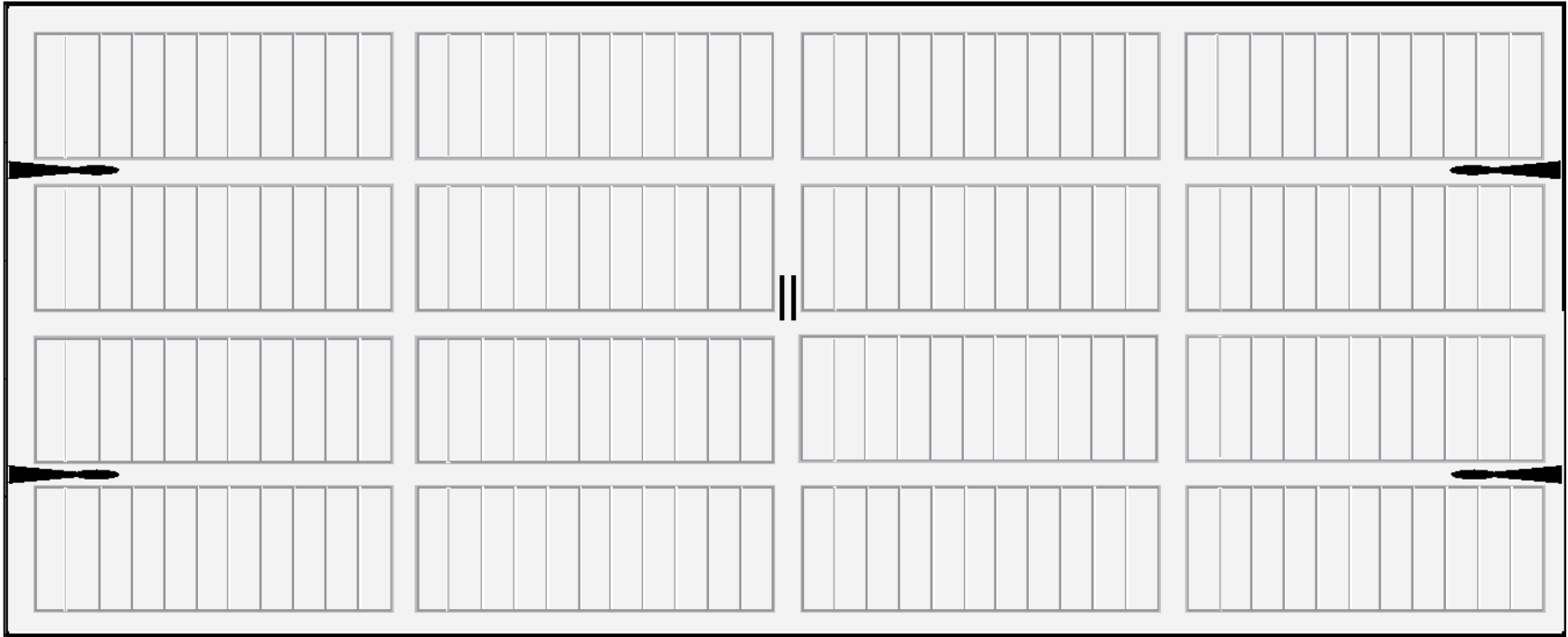
Therma-Tru FC60
Ranch Elevation



Therma-Tru CCR8205
Craftsman Elevation



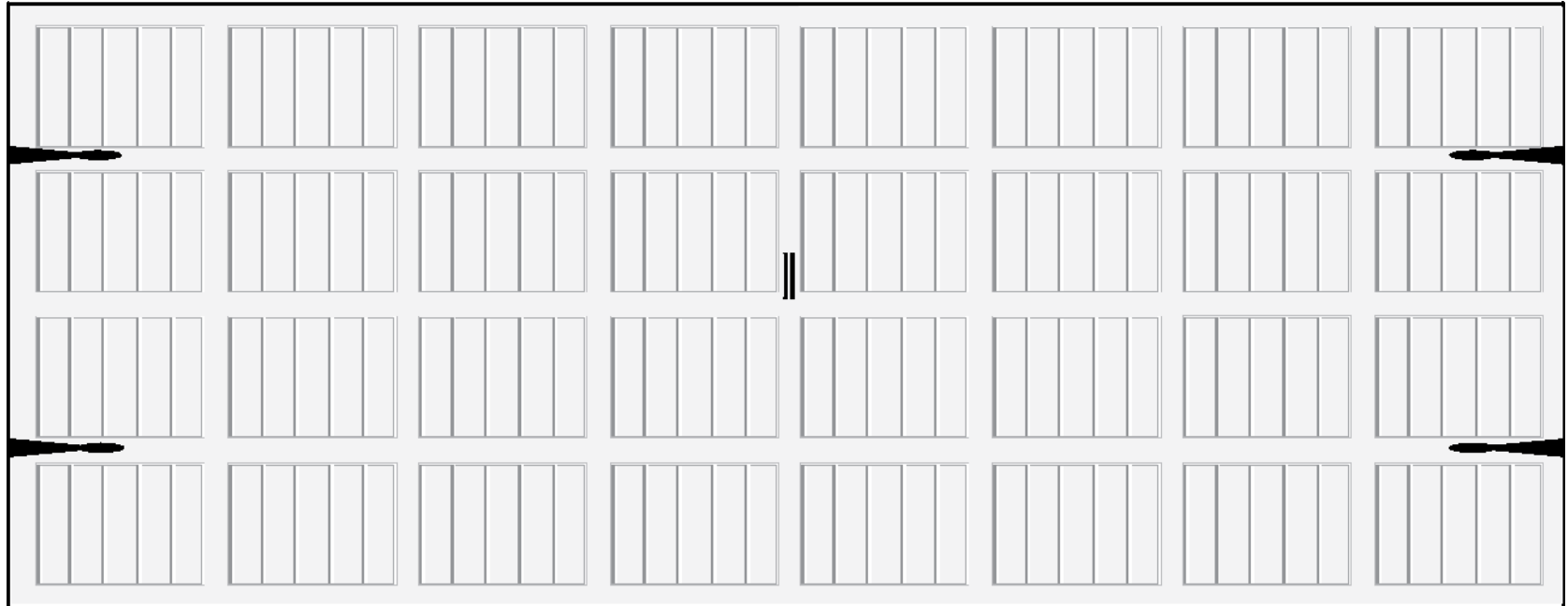
Therma-Tru CCR8222
Prairie Elevation



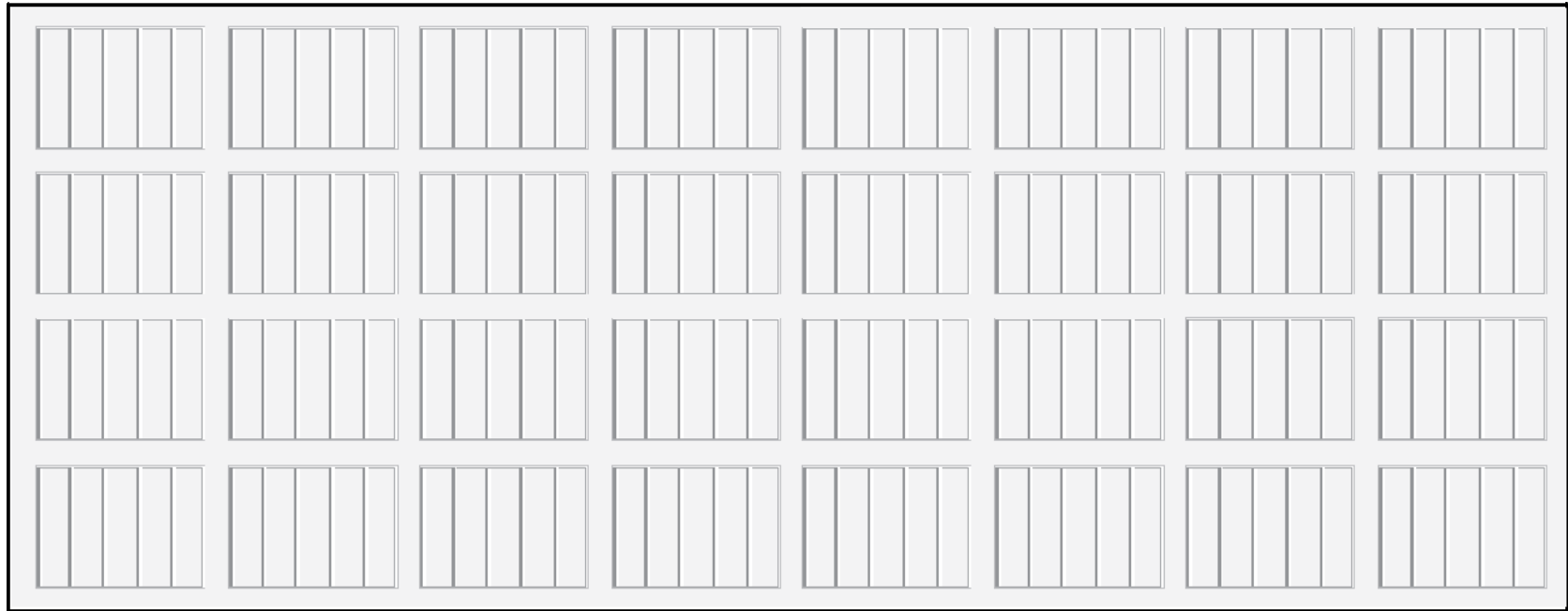
Taylor Morrison
Terravella
Carriage Style Long Panel Door
With Optional Hardware
Prairie Elevation Only



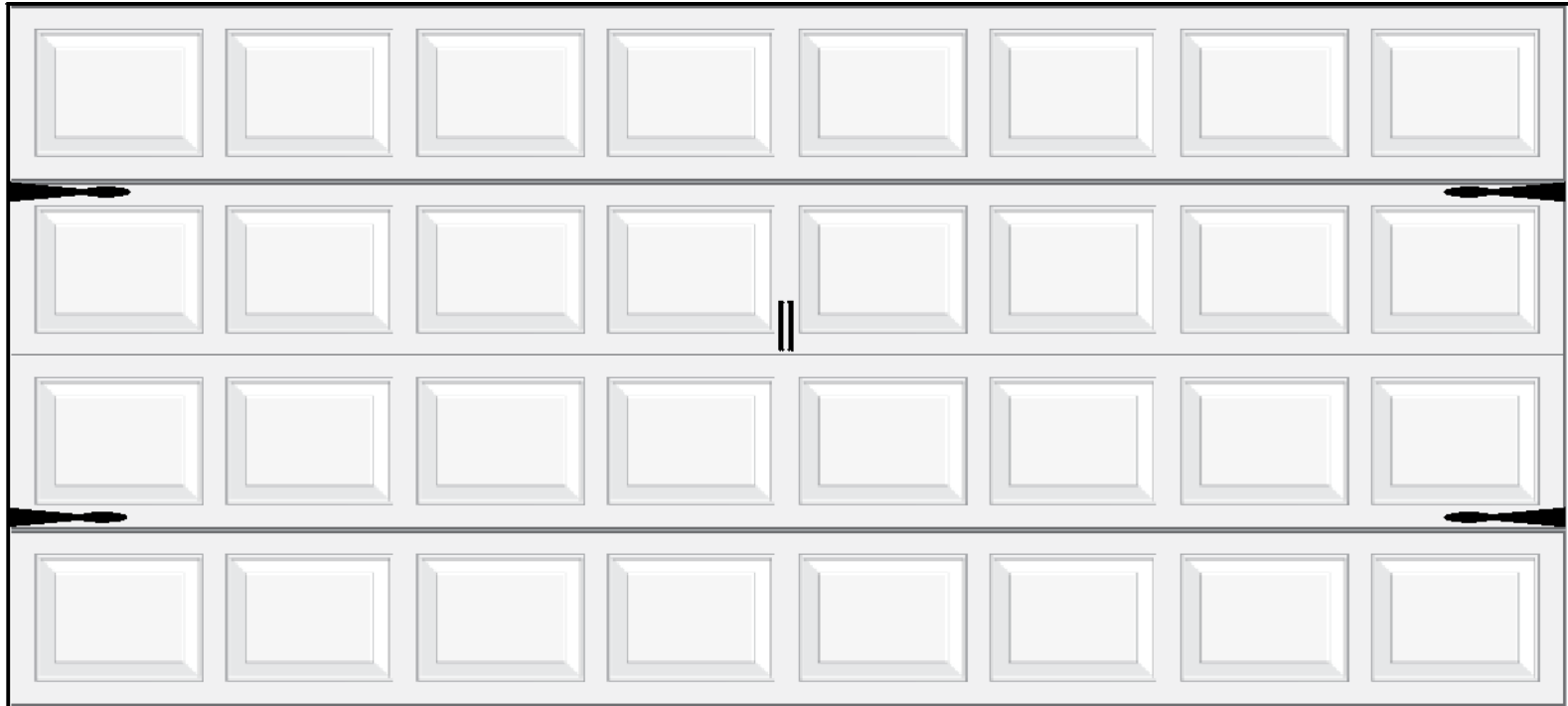
Taylor Morrison
Terravella
Carriage Style Long Panel Door
Prairie Elevation Only



Taylor Morrison
Terravella
Carriage Style Short Panel Door
With Optional Hardware
Craftsman Elevation Only



Taylor Morrison
Terravella
Carriage Style Short Panel Door
Craftsman Elevation Only



Taylor Morrison
Terravella
Raised Short Panel Door
With Optional Hardware
Ranch Elevation Only



Taylor Morrison
Terravella
Raised Short Panel Door
Ranch Elevation Only

Taylor Morrison

Terravella Phase 2

Town of Queen Creek

Product Diversification Matrix

9/20/2019

Product Width	Typical Lot Width	Typical Lot Depth	Front Setbacks	Rear Setbacks	Min Side Setbacks	Lot Coverage	Total Lots	Lot #'s	Zoning
54	70	125	FLG 20' SLG/Liv 10'	15' - 1 Story or Patio 20' - 2 Story	5' / 5'	55% 1 Story 50% 2 Story	80	277-356	R1-5
54	70	125	FLG 20' SLG/Liv 10'	25'	5' / 10'	45% 1 Story 40% 2 Story	4	357-360	R1-9

4500 / 5000 Series - Expedition Series

Plan #	Plan Name	Elevation	Liv SF	Non-Liv SF	Total SF	Depth	Floors	Std Bed	Std Bath	Garage
5403		Ranch	2345	1150	3495	71'-0"	1	3	2.5	3T
		Craftsman	2345	1150	3495	71'-0"				
		Prairie	2345	1150	3495	71'-0"				
5413		Ranch	2656	1208	3864	78'-0"	1	3	2.5	3T
		Craftsman	2656	1208	3864	78'-0"				
		Prairie	2656	1208	3864	78'-0"				
5423		Ranch	3072	1015	4087	79'-0"	1	4	3	3T
		Craftsman	3072	1015	4087	79'-0"				
		Prairie	3072	1015	4087	79'-0"				
5404		Ranch	3661	1362	5023	56'-6"	2	4	3.5	4T
		Craftsman	3661	1362	5023	60'-6"				
		Prairie	3661	1362	5023	56'-6"				
5414		Ranch	4189	1534	5723	68'-6"	2	4	3.5	4T
		Craftsman	4189	1534	5723	67'-0"				
		Prairie	4189	1534	5723	69'-0"				
5424		Ranch	4521	1141	5662	80'-0"	2	5	3.5	2F 1S
		Craftsman	4521	1141	5662	80'-0"				
		Prairie	4521	1141	5662	80'-0"				

Note: Unless noted otherwise, all information above is from the standard Ranch floorplan and elevation

20190144526-1
 navarrom

FINAL PLAT TERRAVELLA PHASE II

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH,
 RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
 MARICOPA COUNTY, ARIZONA.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, HAS SUBDIVIDED UNDER THE NAME "TERRAVELLA PHASE II", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREON, AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF SAID "TERRAVELLA PHASE II", AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN TO EACH, RESPECTIVELY ON SAID PLAT, AND THAT TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, HEREBY DEDICATES TO THE PUBLIC FOR USE AS SUCH STREETS, AND OTHER EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

OWNER HEREBY DEDICATES AND CONVEYS TO THE TOWN OF QUEEN CREEK ALL REAL PROPERTY DESIGNATED ON THIS PLAT AS "RIGHT-OF-WAY" FOR USE AS PUBLIC RIGHT-OF-WAY.

ALL TRACTS THAT WILL NOT BE CONVEYED TO THE TOWN OF QUEEN CREEK AND ALL COMMON PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH PLANS APPROVED BY THE TOWN OF QUEEN CREEK AND SHALL BE CONVEYED BY WARRANTY (OR SPECIAL WARRANTY) DEED TO THE TERRAVELLA COMMUNITY ASSOCIATION. THE TERRAVELLA COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON PROPERTY.

TRACTS "3B", "3C", "3D", "3E", "3F", "3G", "3H", "3I", "3J", "3K", "3L", "3M", "4A", "4B", "4C", "4D", "4E", "4F", "4G", "4H", "4I", "4J", "4K" AND "4L" ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PLATTED AS COMMON PROPERTY FOR THE USE AND ENJOYMENT OF THE TERRAVELLA COMMUNITY ASSOCIATION AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS.

THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB INCLUDING MEDIANS SHALL BE THE RESPONSIBILITY OF THE TERRAVELLA COMMUNITY ASSOCIATION OR ABUTTING PROPERTY OWNER.

ALL PROPERTY, AMENITIES AND FACILITIES PROPOSED TO BE MAINTAINED BY THE TERRAVELLA COMMUNITY ASSOCIATION ARE HEREWITH PLATTED AS COMMON PROPERTY WITH AN UNDIVIDED INTEREST OWNED IN COMMON BY EACH PARCEL OWNER.

EASEMENTS ARE GRANTED FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF:

TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE OFFICER LISTED BELOW, THEREUNTO DULY AUTHORIZED.

TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION

BY: Shannon Francoeur
 NAME: SHANNON FRANCOEUR
 ITS: VICE PRESIDENT

ACKNOWLEDGMENT

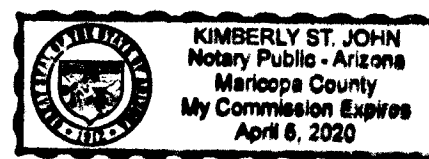
STATE OF ARIZONA } S.S.
 COUNTY OF MARICOPA }

ON THIS 7th DAY OF January, 2019 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED Shannon Francoeur WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

Kimberly St. John 1/7/19
 NOTARY PUBLIC DATE

MY COMMISSION EXPIRES: 4/16/20



LEGAL DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 10, FROM WHICH THE TOWN OF QUEEN CREEK BRASS CAP IN HAND HOLE MARKING THE WEST QUARTER CORNER OF SAID SECTION 10 BEARS NORTH 00 DEGREES 42 MINUTES 21 SECONDS WEST, A DISTANCE OF 2,647.09 FEET;

THENCE NORTH 00 DEGREES 42 MINUTES 31 SECONDS WEST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 10, A DISTANCE OF 922.63 FEET TO A POINT;

THENCE DEPARTING SAID WEST LINE, NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 70.00 FEET TO THE EAST LINE OF THE WEST 70 FEET OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 00 DEGREES 42 MINUTES 31 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 15.00 FEET TO A POINT; THENCE DEPARTING SAID EAST LINE, NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 325.88 FEET TO THE POINT OF BEGINNING;

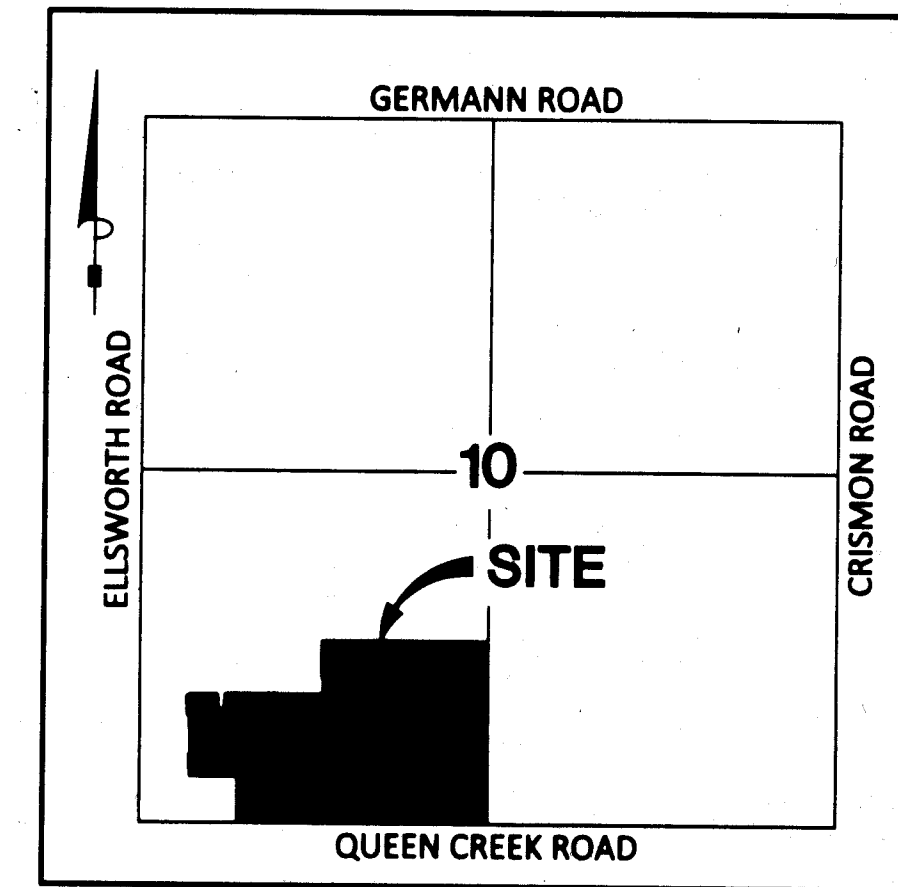
THENCE NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 15.01 FEET;
 THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 15.01 FEET;
 THENCE NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 202.92 FEET;
 THENCE SOUTH 00 DEGREES 43 MINUTES 33 SECONDS EAST, A DISTANCE OF 120.29 FEET TO THE BEGINNING OF A NONTANGENT CURVE TO THE RIGHT, CONCAVE SOUTHERLY AND HAVING A RADIUS POINT WHICH BEARS SOUTH 00 DEGREES 43 MINUTES 33 SECONDS EAST, A RADIAL DISTANCE OF 7685.00 FEET;

THENCE EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 00 DEGREES 32 MINUTES 11 SECONDS, AN ARC DISTANCE OF 71.94 FEET TO A POINT;

THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 120.65 FEET;
 THENCE NORTH 89 DEGREES 55 MINUTES 08 SECONDS EAST, A DISTANCE OF 385.02 FEET;
 THENCE SOUTH 00 DEGREES 04 MINUTES 52 SECONDS EAST, A DISTANCE OF 4.28 FEET;
 THENCE SOUTH 89 DEGREES 26 MINUTES 38 SECONDS EAST, A DISTANCE OF 355.50 FEET;
 THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 119.50 FEET;
 THENCE NORTH 21 DEGREES 00 MINUTES 26 SECONDS WEST, A DISTANCE OF 33.39 FEET;
 THENCE NORTH 00 DEGREES 43 MINUTES 05 SECONDS WEST, A DISTANCE OF 250.37 FEET;
 THENCE SOUTH 89 DEGREES 26 MINUTES 41 SECONDS EAST, A DISTANCE OF 1208.29 FEET;
 THENCE SOUTH 00 DEGREES 42 MINUTES 25 SECONDS EAST, A DISTANCE OF 1326.34 FEET;
 THENCE NORTH 89 DEGREES 43 MINUTES 03 SECONDS WEST, A DISTANCE OF 1859.92 FEET;
 THENCE NORTH 00 DEGREES 16 MINUTES 57 SECONDS EAST, A DISTANCE OF 55.00 FEET;
 THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 275.58 FEET;
 THENCE NORTH 89 DEGREES 26 MINUTES 38 SECONDS WEST, A DISTANCE OF 363.66 FEET;
 THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 153.85 FEET;
 THENCE NORTH 87 DEGREES 47 MINUTES 04 SECONDS EAST, A DISTANCE OF 15.00 FEET;
 THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 302.05 FEET;
 THENCE SOUTH 87 DEGREES 47 MINUTES 04 SECONDS WEST, A DISTANCE OF 15.00 FEET;
 THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 126.74 FEET TO THE POINT OF BEGINNING

NOTES

- NO STRUCTURES OR VEGETATION OF ANY KIND MAY BE CONSTRUCTED OR ANY VEGETATION PLANTED NOR ALLOWED TO GROW WITHIN OR ACROSS NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES OR EASEMENTS WHICH WOULD IMPEDE THE FLOW OF WATER OVER, UNDER OR THROUGH THE EASEMENTS THAT ARE A PART OF THIS DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION OF THE TOWN. THE TOWN MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND OF THE EASEMENT.
- IN EASEMENTS FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER, OR ANY COMBINATION THEREOF, ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN THE EASEMENT AREA. NO TREES ARE ALLOWED.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND WITH THE EXCEPTION OF POWER LINES WHICH ARE 69KV LINES OR MORE.
- 69KV ELECTRICAL LINES MUST BE RELOCATED OUTSIDE OF THE RIGHT-OF-WAY OR TO THE EDGE OF THE RIGHT-OF-WAY.
- ELECTRICAL LINES SHALL BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION.
- CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES AND DRIVEWAYS.
- IMPROVEMENTS TO BE CONSTRUCTED WITHIN THE 50' GAS EASEMENT TO KINDER MORGAN SHALL COMPLY WITH THE TERMS OF THE EASEMENT RECORDED IN DOC. 2017-0178724, M.C.R.
- ALL RETENTION BASINS MUST BE MAINTAINED TO DRAIN WITHIN (36) THIRTY-SIX HOURS AFTER ANY STORM EVENT UP TO AND INCLUDING THE 100-YEAR 2 HOUR STORM. THE OWNERS OF ANY SUCH BASINS FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASINS INTO COMPLIANCE.
- THE TOWN OF QUEEN CREEK IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY LANDSCAPED AREAS WITHIN THIS PROJECT. THE TERRAVELLA COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPED ISLANDS AND MEDIANS WITH THE EXCEPTION OF THOSE LOCATED WITHIN ARTERIAL ROADWAYS. THE MAINTENANCE OF LANDSCAPING WITHIN TRACTS "3B", "3C", "3D", "3E", "3F", "3G", "3H", "3I", "3J", "3K", "3L", "3M", "4A", "4B", "4C", "4D", "4E", "4F", "4G", "4H", "4I", "4J", "4K" AND "4L" SHALL BE THE RESPONSIBILITY OF THE TERRAVELLA COMMUNITY ASSOCIATION.
- THIS SITE, DUE TO ITS PROXIMITY TO PHOENIX MESA GATEWAY AIRPORT, IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIRCRAFT TRAFFIC CONSISTS OF CARGO, COMMERCIAL, SCHOOL, CROP DUSTING, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.
- THIS SITE LIES IN THE VICINITY OF THE UNION PACIFIC RAILWAY LINE. THIS RAILWAY LINE EXPERIENCES AT LEAST 10 TRAINS PER DAY. ALL BUILDERS ARE ENCOURAGED TO USE GENERALLY ACCEPTED NOISE/SOUND ATTENUATION MEASURES IN CONSTRUCTION OF ALL BUILDINGS WITHIN 300' OF THE RAILWAY LINE.
- THIS SITE IS NEAR CROP DUSTING OPERATIONS. GENERAL AGRICULTURE OPERATIONS ALSO EXIST IN THE AREA AND THIS SITE MAY BE SUBJECT TO NOISE, DUST AND POSSIBLY ODORS NORMALLY ASSOCIATED WITH AGRICULTURAL OPERATIONS. ADDITIONALLY, THIS SITE IS LOCATED IN AN AREA WHERE THERE ARE AIRCRAFT OPERATIONS ASSOCIATED WITH AGRICULTURE.
- THIS SITE IS IN CLOSE PROXIMITY TO FUTURE COMMERCIAL DEVELOPMENT, AND MAY EXPERIENCE NOISE FROM DELIVERIES, TRAFFIC, LIGHTS AND PARKING ISSUES RELATED TO THE OPERATION OF THESE COMMERCIAL PROPERTIES.
- LOT, TRACT, PARCEL, CENTERLINE AND PARCEL MONUMENTATION ARE OR WILL BE PERMANENTLY SET BY COMPLETION OF CONSTRUCTION, BY THE RESPONSIBLE SURVEYOR HIRED BY OWNER OR ITS ASSIGNEE.
- THIS SUBDIVISION IS WITHIN AN AIRPORT IMPACT OVERLAY DISTRICT.



VICINITY MAP
 N.T.S.

OWNER

TAYLOR MORRISON / ARIZONA, INC.
 9000 E PIMA CENTER PARKWAY, SUITE 350
 SCOTTSDALE, AZ 85258
 PHONE: 480-840-8100
 CONTACT: SHANNON FRANCOEUR

ENGINEER

BOWMAN CONSULTING
 1295 W. WASHINGTON STREET #108
 TEMPE, AZ 85281
 PHONE: (480) 629-8830
 CONTACT: JOHN GRAY

SHEET INDEX

- | | |
|-----|---|
| 1 | COVER, NOTES, DEDICATION, SITE DATA, BASIS OF BEARINGS, CERTIFICATIONS |
| 2 | KEY MAP, LEGEND, TYPICAL LOT DETAILS, LOT AREA TABLE, TRACT AREA & USAGE TABLE, LINE & CURVE TABLES |
| 3-5 | FINAL PLAT PLAN SHEETS |

SITE DATA

ZONING	R1-5, R1-9
NUMBER OF LOTS	180
GROSS AREA	2,417,243 SQ.FT. OR 55.4923 ACRES, MORE OR LESS
NET AREA	1,808,649 SQ.FT. OR 41.5209 ACRES, MORE OR LESS
MINIMUM LOT AREA	5,700 SQ.FT. OR 0.1309 ACRES, MORE OR LESS
MAXIMUM LOT AREA	11,250 SQ.FT. OR 0.2583 ACRES, MORE OR LESS
AVERAGE LOT AREA	7,373 SQ.FT. OR 0.1693 ACRES, MORE OR LESS

BASIS OF BEARINGS

NORTH 00 DEGREES 42 MINUTES 31 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO BOOK 1195 OF MAPS, PAGE 17, M.C.R.

HOMEOWNERS RATIFICATION

BY THIS RATIFICATION Lynne M. Duggan, DULY ELECTED PRESIDENT OF THE TERRAVELLA COMMUNITY ASSOCIATION ACKNOWLEDGES THE RESPONSIBILITIES DEDICATED HEREIN.

Lynne M. Duggan 1/7/19
 SIGNATURE DATE

DEED RESTRICTIONS

COVENANTS, CODES AND RESTRICTIONS FOR TERRAVELLA, QUEEN CREEK, ARIZONA ARE RECORDED IN DOCUMENT NO. 2017-090627, MARICOPA COUNTY RECORDS, ARIZONA.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET OR LOCATED AS DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

John Gray 10/3/18
 DOUGLAS B. TONEY
 REGISTERED LAND SURVEYOR NO. 55030

BOWMAN CONSULTING
 1295 W. WASHINGTON STREET, #108
 TEMPE, AZ 85281

DEPARTMENT APPROVALS

BY: John Gray 1/24/19
 TOWN ENGINEER DATE

BY: Shannon Francoeur 1/24/19
 TOWN PLANNING ADMINISTRATOR DATE

TOWN APPROVAL

APPROVED BY THE TOWN COUNCIL OF QUEEN CREEK, ARIZONA, THIS 17th DAY OF September, 2018.

BY: John Gray ATTEST: Jennifer Robinson
 MAYOR TOWN CLERK

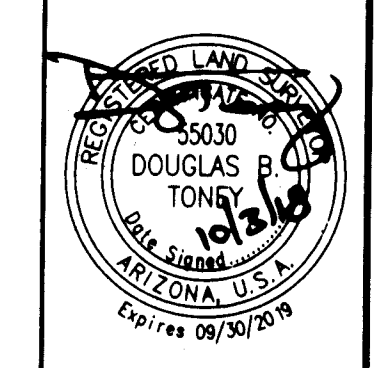
ASSURED WATER SUPPLY

THE ARIZONA DEPARTMENT OF WATER RESOURCES HAS GRANTED A CERTIFICATE OF ASSURED WATER SUPPLY, DWR FILE NO. 29-700938.0001.

ASSURANCE STATEMENT

ASSURANCE IN THE FORM OF A CASH, PERFORMANCE OR SUBDIVISION BOND OR IRREVOCABLE LETTER OF CREDIT IN AN AMOUNT OF \$591,376.13 HAS BEEN DEPOSITED WITH THE TOWN ENGINEERING MANAGER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

Bowman
 CONSULTING
 Bowman Consulting Group, Ltd.
 1295 W. Washington Street, #108
 Tempe, AZ 85281
 Phone: (480) 629-8830
 Fax: (480) 629-8841
 www.bowmanconsulting.com



FINAL PLAT
 TERRAVELLA PHASE II
 QUEEN CREEK, ARIZONA

DATE	REVISION

DATE: 10/3/18
 PROJ NO: 050263-01
 TASK NUM: 001
 DRAWN BY: DT
 CHECKED: KG
 QUALITY:
 CLIENT NO:
 SCALE
 N.T.S.
 1 OF 5

WEST QUARTER CORNER
SECTION 10, T2S, R7E
FOUND BRASS CAP
IN HAND HOLE

OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
ADRIAN FONTES
20190097636 02/12/2019 03:06
BOOK 1439 PAGE 42
PAPER RECORDING

20190144526-1
navarrom

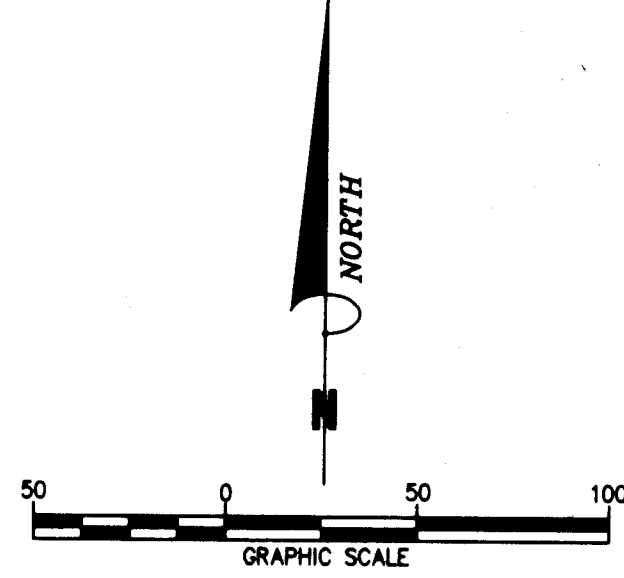
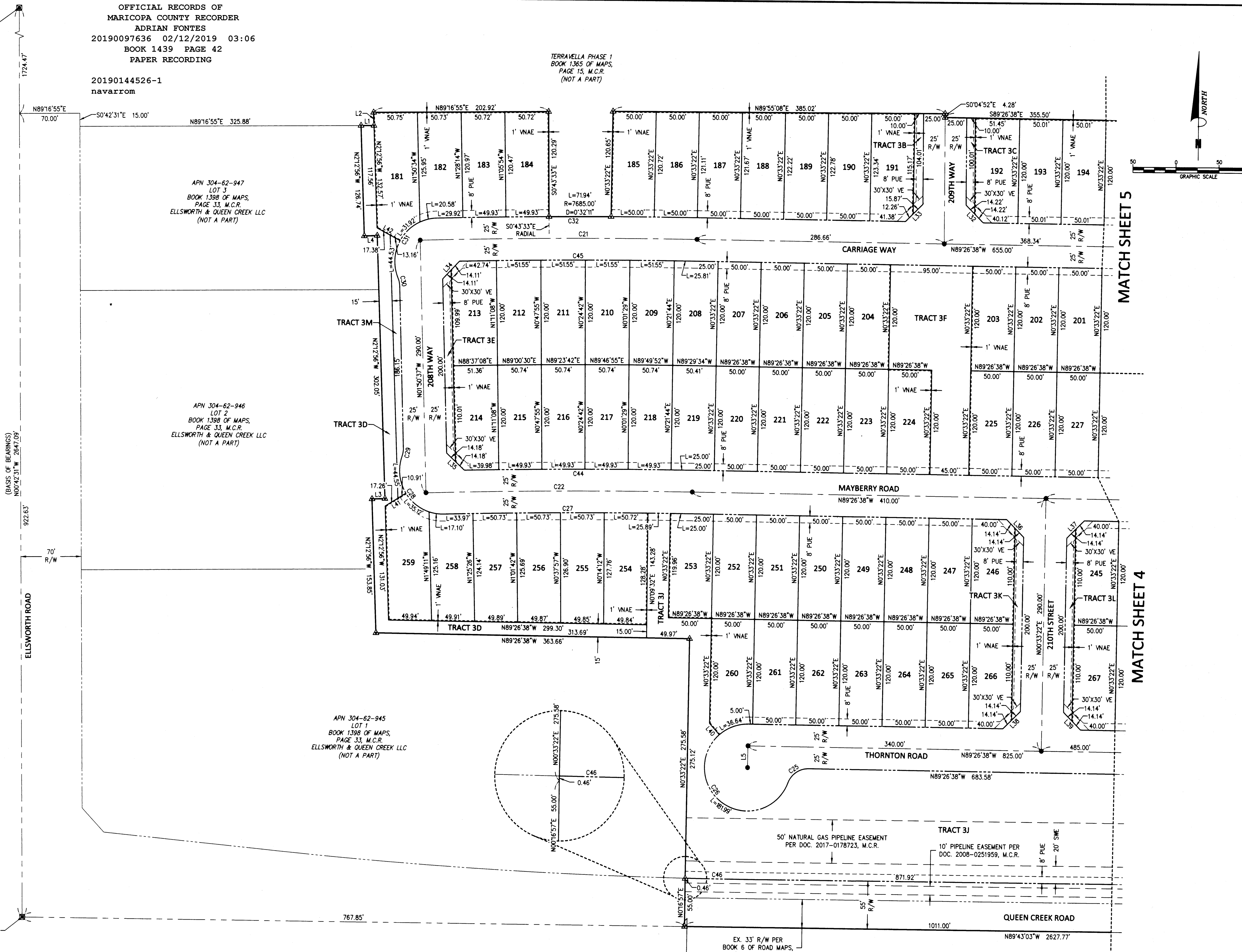
TERRAVELLA PHASE 1
BOOK 1365 OF MAPS,
PAGE 15, M.C.R.
(NOT A PART)

APN 304-62-947
LOT 3
BOOK 1398 OF MAPS,
PAGE 33, M.C.R.
ELLSWORTH & QUEEN CREEK LLC
(NOT A PART)

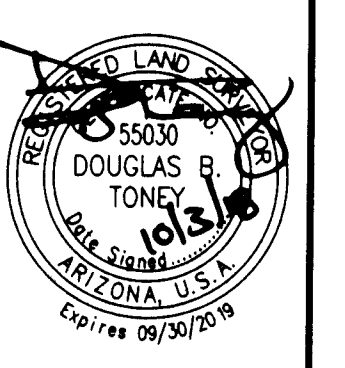
APN 304-62-946
LOT 2
BOOK 1398 OF MAPS,
PAGE 33, M.C.R.
ELLSWORTH & QUEEN CREEK LLC
(NOT A PART)

APN 304-62-945
LOT 1
BOOK 1398 OF MAPS,
PAGE 33, M.C.R.
ELLSWORTH & QUEEN CREEK LLC
(NOT A PART)

SOUTHWEST CORNER
SECTION 10, T2S, R7E
FOUND BRASS CAP
IN HAND HOLE



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FINAL PLAT
TERRAVELLA PHASE II
QUEEN CREEK, ARIZONA

DATE	REVISION

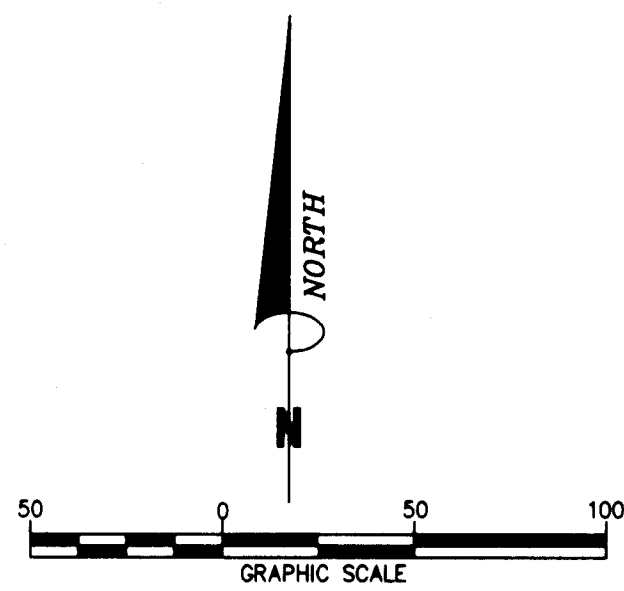
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 PROJ NO: 050263-01
 TASK NUM: 001
 DRAWN BY: DT
 CHECKED: KG
 QUALITY:
 CLIENT NO:

SCALE
 1" = 50'

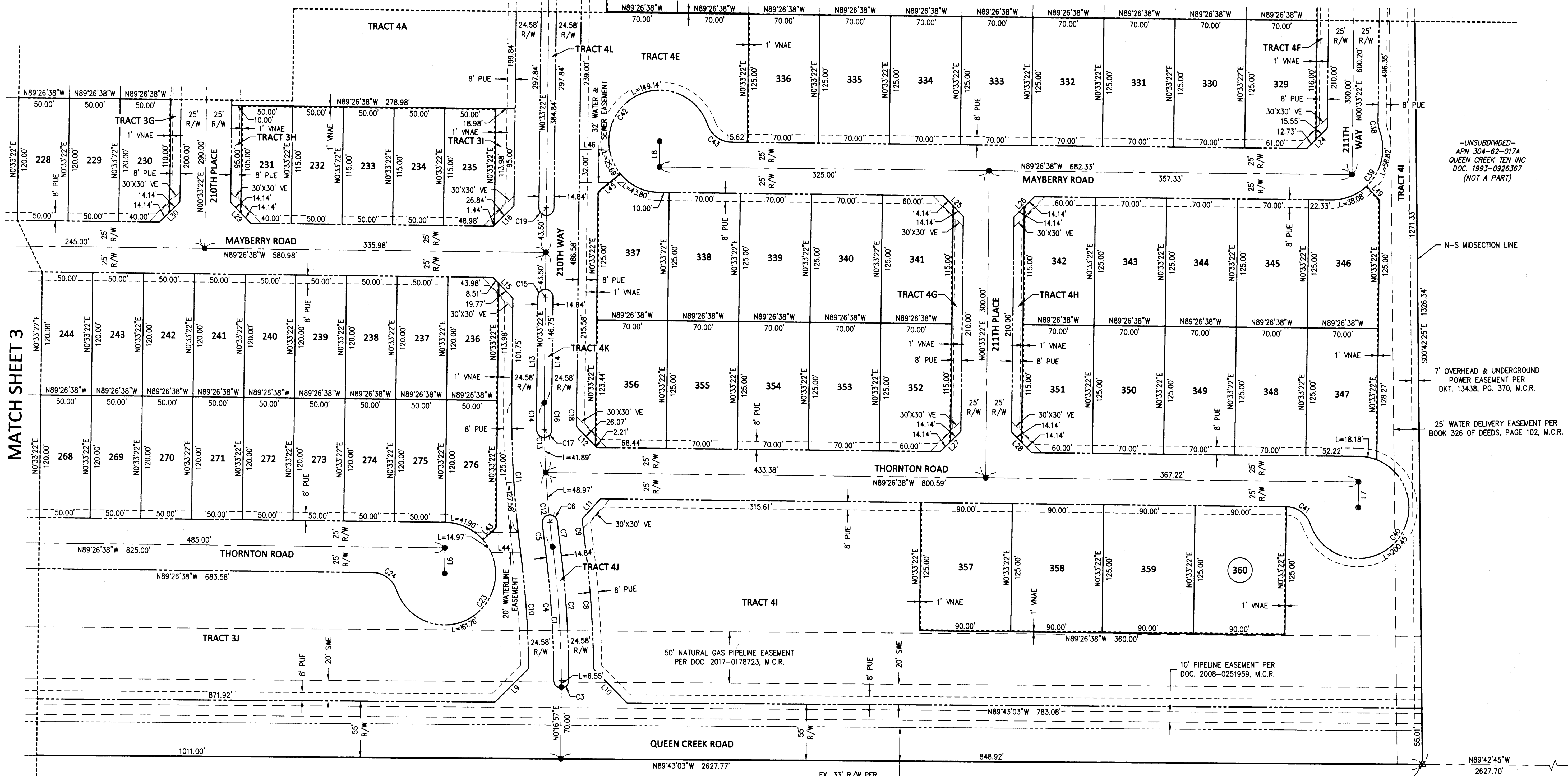
3 of 5

File: P:\050263 - Ellsworth & Queen Creek (84)\050263-01-001 (3/18)\Survey\050263-01 Final Plat.dwg Printed: 10/3/2018

20190144526-1
 navarrom



MATCH SHEET 5



-UNSUBDIVIDED-
 APN 304-62-017A
 QUEEN CREEK TEN INC
 DOC. 1993-0926367
 (NOT A PART)

7' OVERHEAD & UNDERGROUND
 POWER EASEMENT PER
 DKT. 13438, PG. 370, M.C.R.

25' WATER DELIVERY EASEMENT PER
 BOOK 326 OF DEEDS, PAGE 102, M.C.R.

EX. 33' R/W PER
 BOOK 6 OF ROAD MAPS,
 PAGE 47, M.C.R.

SOUTH QUARTER CORNER
 SECTION 10, T2S, R7E
 FOUND STRADDLES

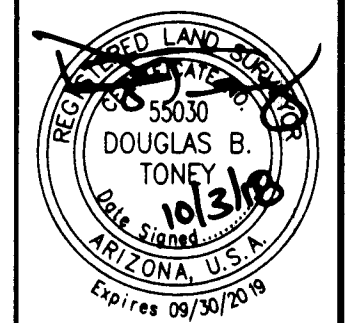
SOUTHEAST CORNER
 SECTION 10, T2S, R7E
 FOUND MCDOT BRASS
 CAP IN HAND HOLE

FINAL PLAT
 TERRAVELLA PHASE II
 QUEEN CREEK, ARIZONA

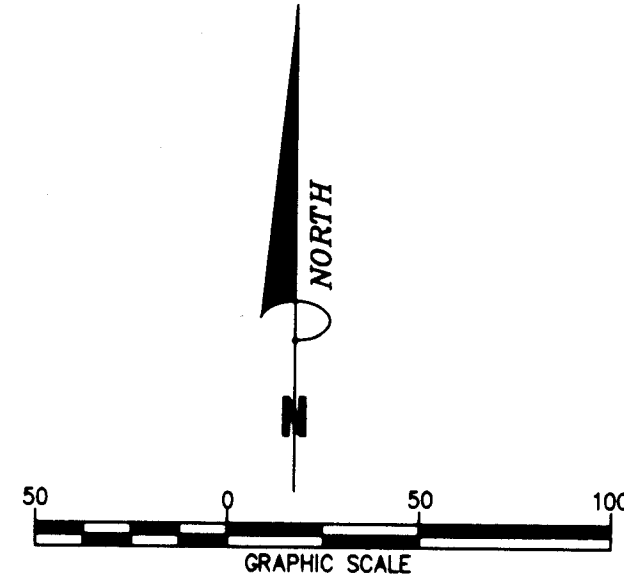
DATE	REVISION
10/3/18	

PROJ NO: 050263-01
 TASK NUM: 001
 DRAWN BY: DT
 CHECKED BY: KG
 QUALITY:
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 SCALE
 1" = 50'
 4 OF 5

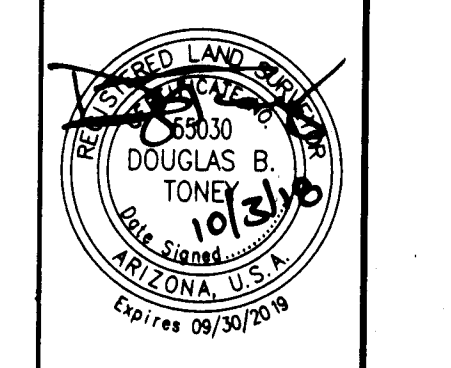
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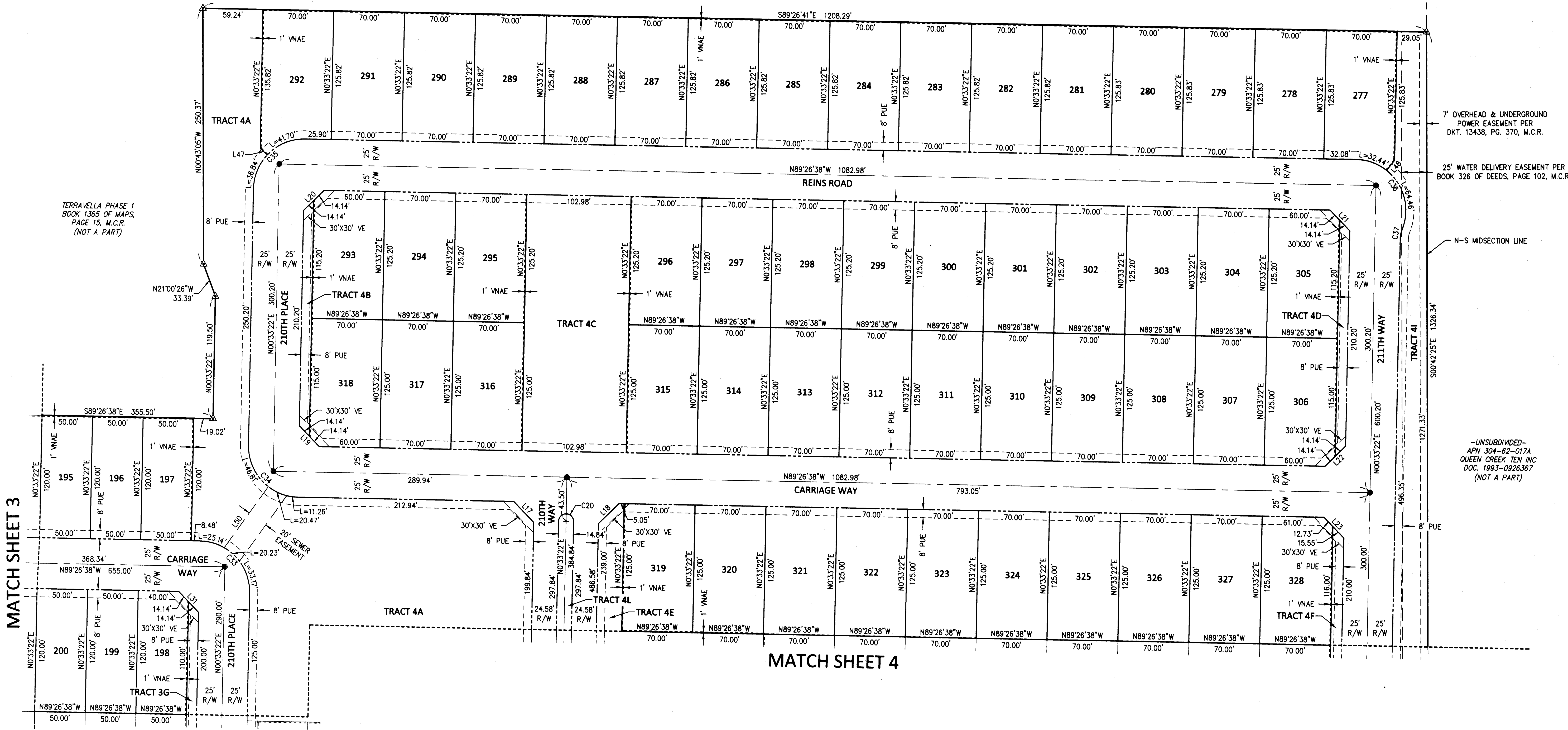


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-UNSUBDIVIDED-
 APN 304-62-019T
 QCCEL 160 LLC
 DOC. 2001-0934940
 (NOT A PART)

CENTER OF SECTION 10
 FOUND 1/2" REBAR
 W/CAP RLS 22782



TERRAVELLA PHASE I
 BOOK 1365 OF MAPS,
 PAGE 15, M.C.R.
 (NOT A PART)

7' OVERHEAD & UNDERGROUND
 POWER EASEMENT PER
 DKT. 13438, PG. 370, M.C.R.
 25' WATER DELIVERY EASEMENT PER
 BOOK 326 OF DEEDS, PAGE 102, M.C.R.

-UNSUBDIVIDED-
 APN 304-62-017A
 QUEEN CREEK TEN INC
 DOC. 1993-0926367
 (NOT A PART)

FINAL PLAT
TERRAVELLA PHASE II
QUEEN CREEK, ARIZONA

REVISION	DATE	DESCRIPTION

DATE: 10/3/18
 PROJ NO: 050263-01
 TASK NUM: 001
 DRAWN BY: DT
 CHECKED: KG
 QUALITY:
 CLIENT NO:
 SCALE
 1" = 50'
 5 OF 5

P:\A\050263-01 - Queen Creek Phase II\050263-01-001 (SPLIT)\SPLIT\PLAT\PLAT\050263-PLAT\PLAT.dwg Plot Date: 10/3/18