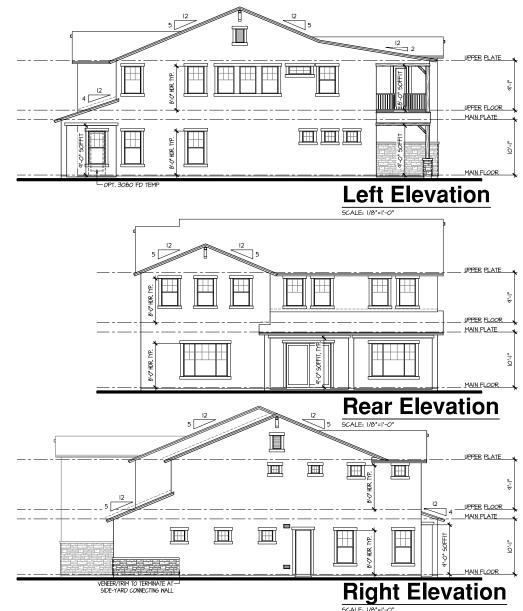
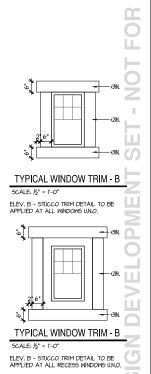


Roof Plan





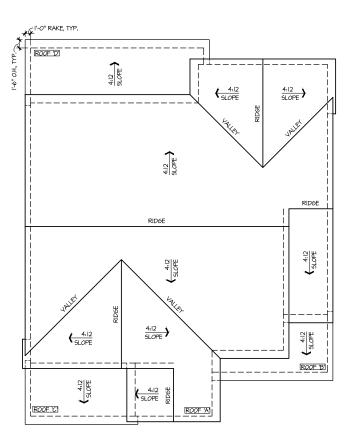


Front Elevation B - Ranch

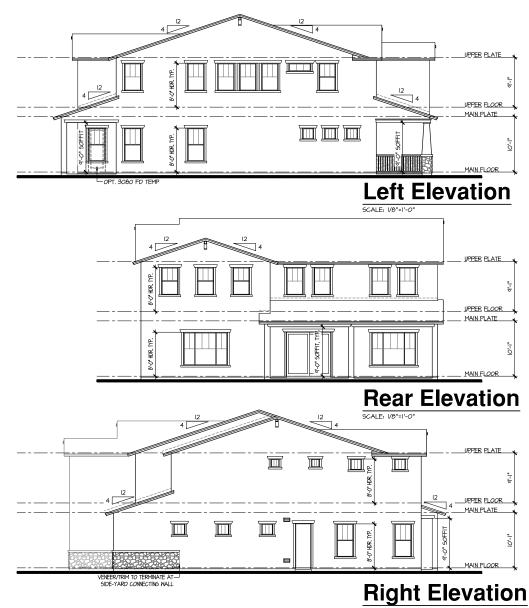


TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

PLAN 5414 A3.1B



Roof Plan





Front Elevation

TYPICAL WINDOW TRIM - C

SCALE: ½' = 1'-0'

ELEV. C - STUCCO TRIM DETAIL TO BE
APPLIED AT ALL WINDOWS UNDO.

TYPICAL WINDOW TRIM - C

SCALE: ½' = 1'-0'

ELEV. C - STUCCO TRIM DETAIL TO BE

TYPICAL WINDOW TRIM - C

Elevation C - Craftsman



TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

FOR

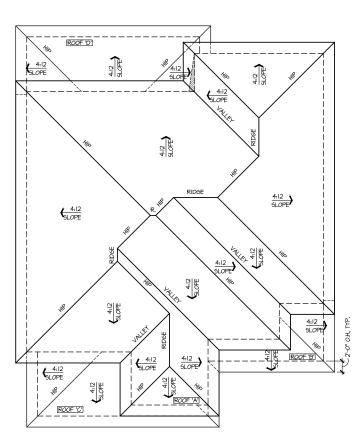


9105 E. Del Camino Drive, Suite 10:
Scottsdale, Arizona 85258
480 663 2100

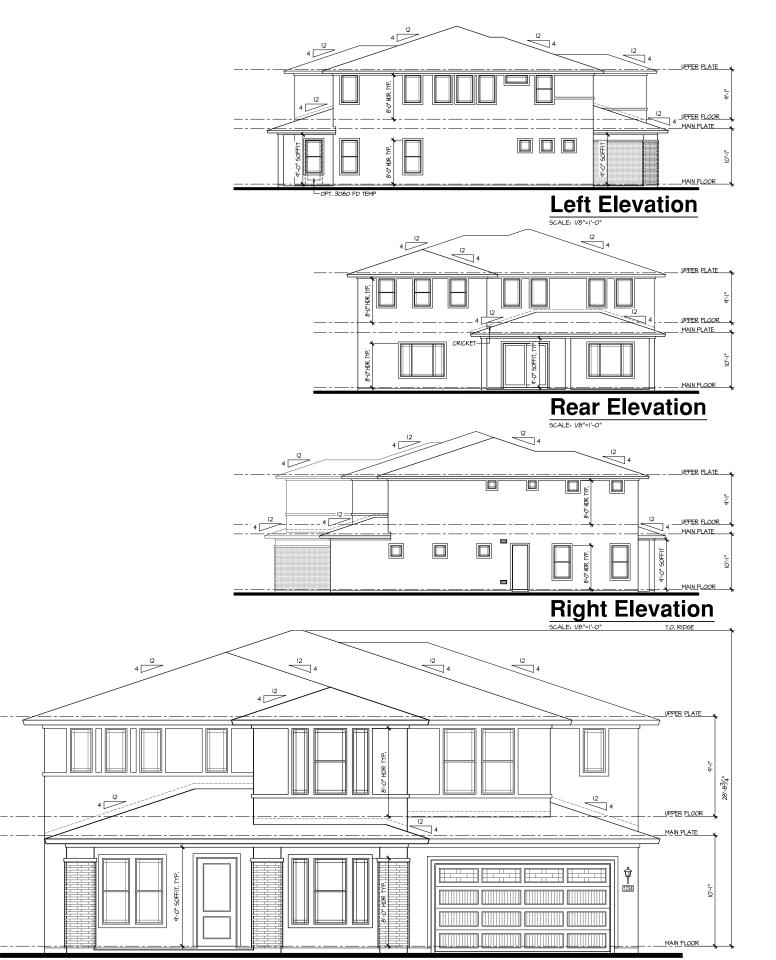
JOB NO: SF190151.00 PROJ MGR: BV
DRAWN: AMC CHECKED: BV

PLAN 5414

A3.1C



Roof Plan



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SCOTTSDALE RZ 83251

TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

- NOT FOR

TYPICAL WINDOW TRIM - E

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UN.O.

TYPICAL WINDOW TRIM - E



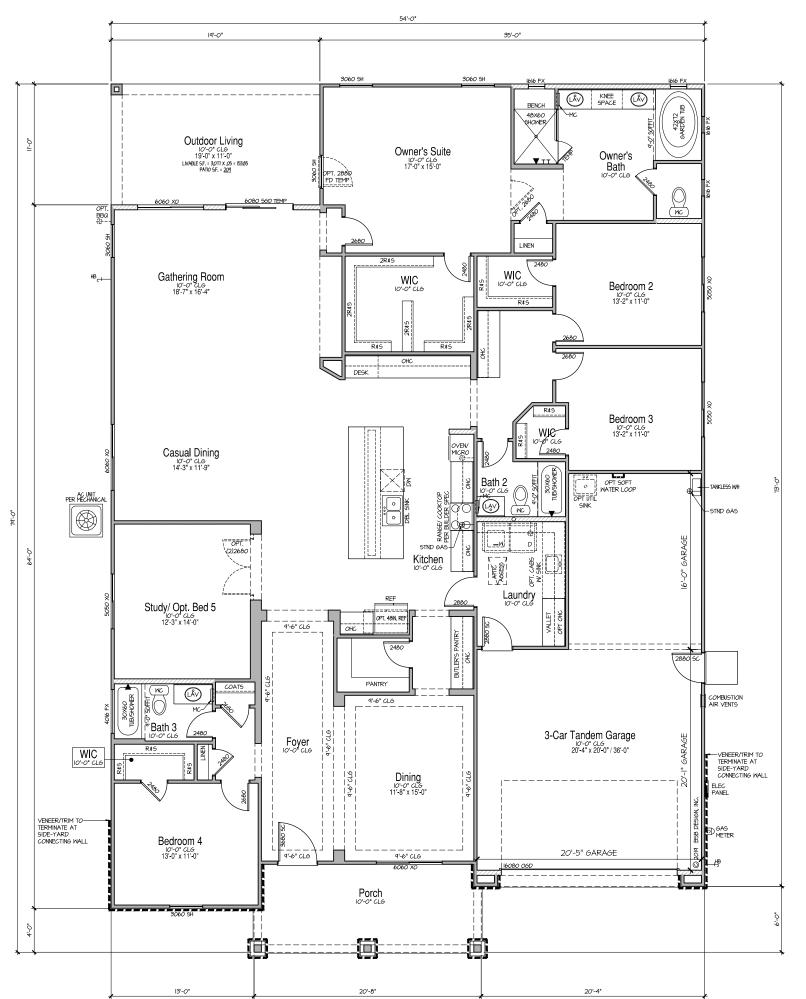
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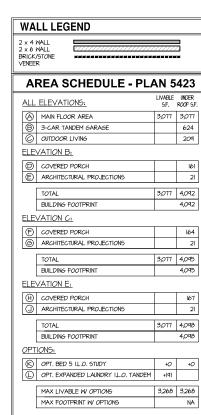
JOB NO: SF190151.00 PROJ MIGR: BVM DRAWN: AMC CHECKED: BVM EXTERIOR ELEVATIONS AND ROOF PLAN

PLAN 5414 **A3.1E**

Front Elevation Elevation

Elevation E - Prairie





Elevation B - Ranch Floor Plan

taylor morrison 08.29.19 CONSTRUCTION TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA - NOT FOR SET

BSB

OPMENT

DEVEL

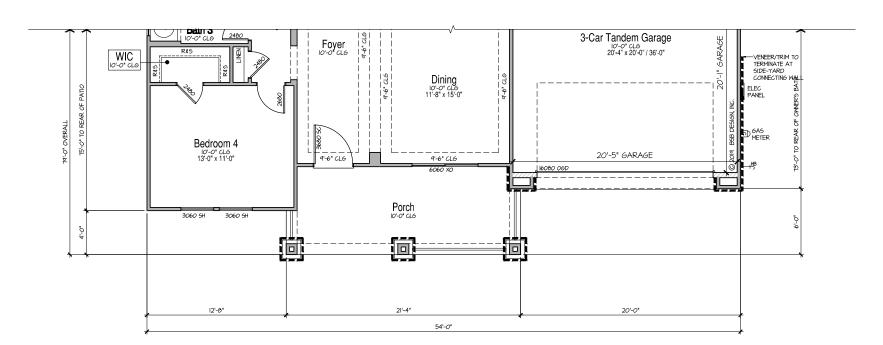
DESIGN

9105 E. Del Camino Drive, Suite Scottsdale, Arizona 85258 480 663 2100

JOB NO: SF190151.00 PROJ MGR: B DRAWN: AMC CHECKED: B FLOOR PLAN ELEVATION B - RANCH

PLAN 5423

Elevation E - Prairie



Elevation C - Craftsman

| WALL LEGEND | | |
|--|-----------------|-----------------------------|
| x 4 WALL | | = |
| × 6 WALL RICK/STONE | | ⊿ = |
| ENEER | | |
| AREA SCHEDULE - PLA | AN 5 | 423 |
| ALL ELEVATIONS: | LIVABLE S.F. | UNDER ROOF SJ |
| MAIN FLOOR AREA | 3,077 | 3,011 |
| B 3-CAR TANDEM GARAGE | | 624 |
| O OUTDOOR LIVING | | 209 |
| ELEVATION B: | | |
| O COVERED PORCH | | 161 |
| ARCHITECTURAL PROJECTIONS | | 21 |
| TOTAL | 3,077 | 4,092 |
| BUILDING FOOTPRINT | | 4,092 |
| ELEVATION C: | | |
| © COVERED PORCH | | 164 |
| ARCHITECTURAL PROJECTIONS | | 21 |
| TOTAL | 3,011 | 4,095 |
| | _ | |
| BUILDING FOOTPRINT | | 4,095 |
| BUILDING FOOTPRINT | | 4,095 |
| BUILDING FOOTPRINT | | |
| BUILDING FOOTPRINT ELEVATION E: | | 167 |
| BUILDING FOOTPRINT ELEVATION E: (H) COVERED PORCH | 3,011 | 167 |
| BUILDING FOOTPRINT ELEVATION E: (H) COVERED PORCH ARCHITECTURAL PROJECTIONS | 3,077 | 167 |
| BUILDING FOOTPRINT ELEVATION E: COVERED PORCH ARCHITECTURAL PROJECTIONS TOTAL BUILDING FOOTPRINT | 3,077 | 167 |
| BUILDING FOOTPRINT ELEVATION E: OVERED PORCH ARCHITECTURAL PROJECTIONS TOTAL BUILDING FOOTPRINT | 3,077 | 167 21 4,098 4,098 |
| BUILDING FOOTPRINT ELEVATION E: COVERED PORCH ARCHITECTURAL PROJECTIONS TOTAL BUILDING FOOTPRINT DPTIONS: | | 167 21 4,098 4,098 |
| BUILDING FOOTPRINT ELEVATION E: (b) COVERED PORCH (c) ARCHITECTURAL PROJECTIONS TOTAL BUILDING FOOTPRINT OPTIONS: (c) OPT. BED 5 I.L.O. STUDY | +0 | 167 |

Partial Floor Plans

taylor morrison

- 08.29.19

CONSTRUCTION

SET - NOT FOR

DEVELOPMENT

DESIGN

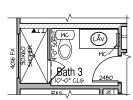
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

JOB NO: SF190151.00 PROJ MGR: BVM
DRAWN: AMC CHECKED: BVM
PARTIAL FLOOR PLANS
ELEVATION C - CRAFTSMAN
ELEVATION E - PRAIRIE

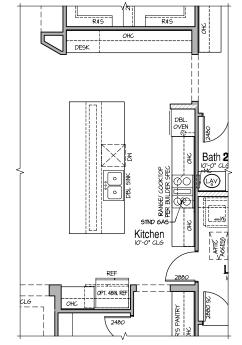
PLAN 5423

A1.2

Opt. Bath 2 Shower



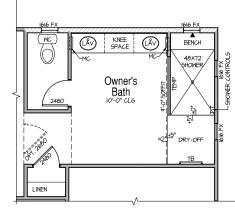
Opt. Bath 3 Shower



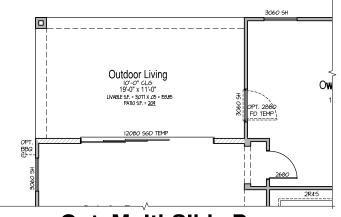
Opt. Gourmet Kitchen



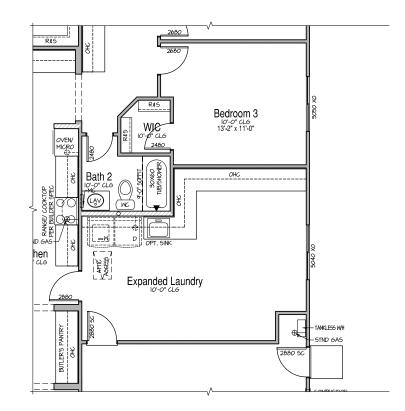
Opt. Bedroom 5 i.l.o. Study



Opt. Walk-In Shower



Opt. Multi-Slide Door



Opt. Expanded Laundry i.l.o. Tandem

| WALL LE | GEND |
|---|------|
| 2 x 4 WALL 2 x 6 WALL BRICK/STONE VENEER | |

Partial Floor Plan Options

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SCOTTSDALE AZ 83251

TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

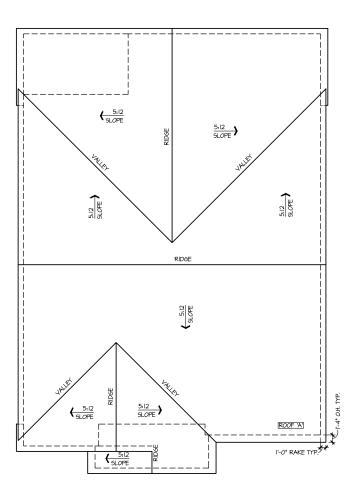
SET - NOT FOR



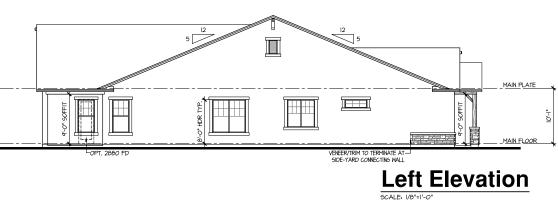
9105 E. Del Camino Drive, Suite Scottsdale, Arizona 85258 480 663 2100

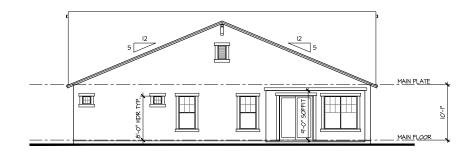
JOB NO: SF190151.00 PROJ MGR: BVM DRAWN: AMC CHECKED: BVM PARTIAL FLOOR PLAN OPTIONS

PLAN 5423 **A1.3**



Roof Plan

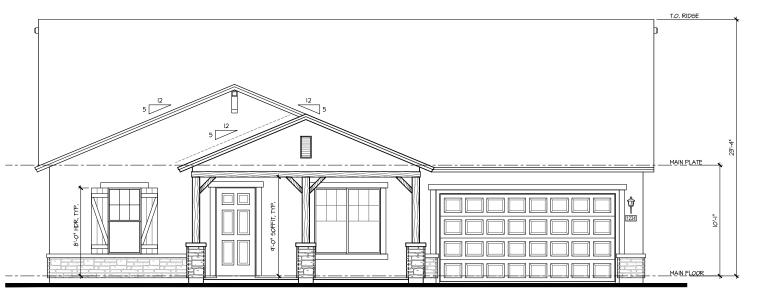




Rear Elevation



Right Elevation





TYPICAL WINDOW TRIM - B ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UN.O.

Front Elevation

Elevation B - Ranch

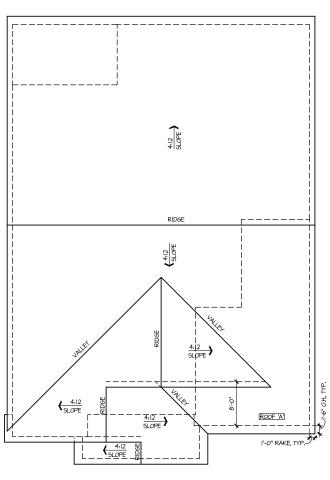
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

NOT FOR CONSTRUCTION - 08,29,19

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PLAN 5423 A3.1B

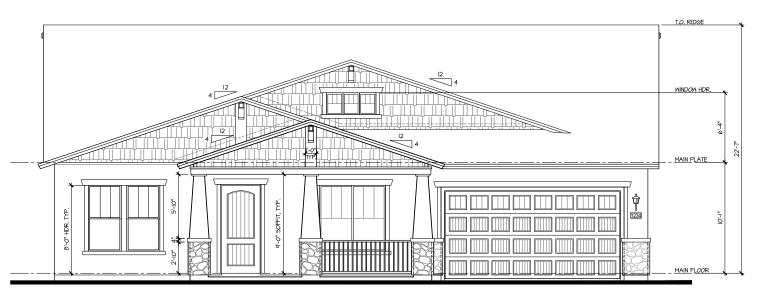


Roof Plan





Right Elevation



Front Elevation

Elevation C - Craftsman

TYPICAL WINDOW TRIM - C

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS U.N.O.



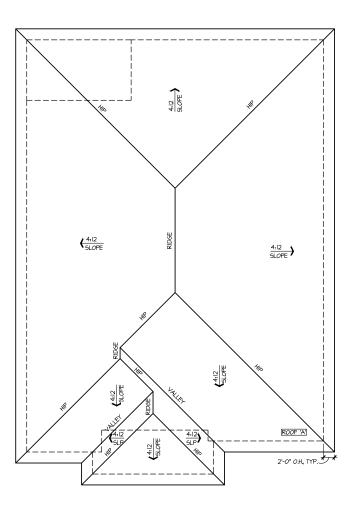
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA



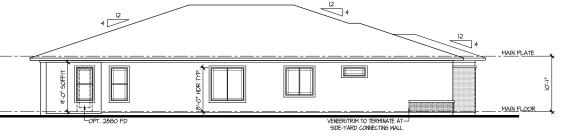
9105 E, Del Camino Drive, Suite 1 Scottsdale, Arizona 85258 480 663 2100

JOB NO: SF190151.00 PROJ MGR: BVI DRAWN: AMC CHECKED: BVI EXTERIOR ELEVATIONS AND ROOF PLAN ELEVATION C - CRAFTSMAN

PLAN 5423 **A3.1C**



Roof Plan





Rear Elevation

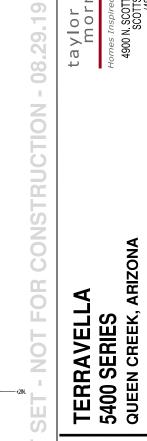


Right Elevation



Front Elevation

Elevation E - Prairie

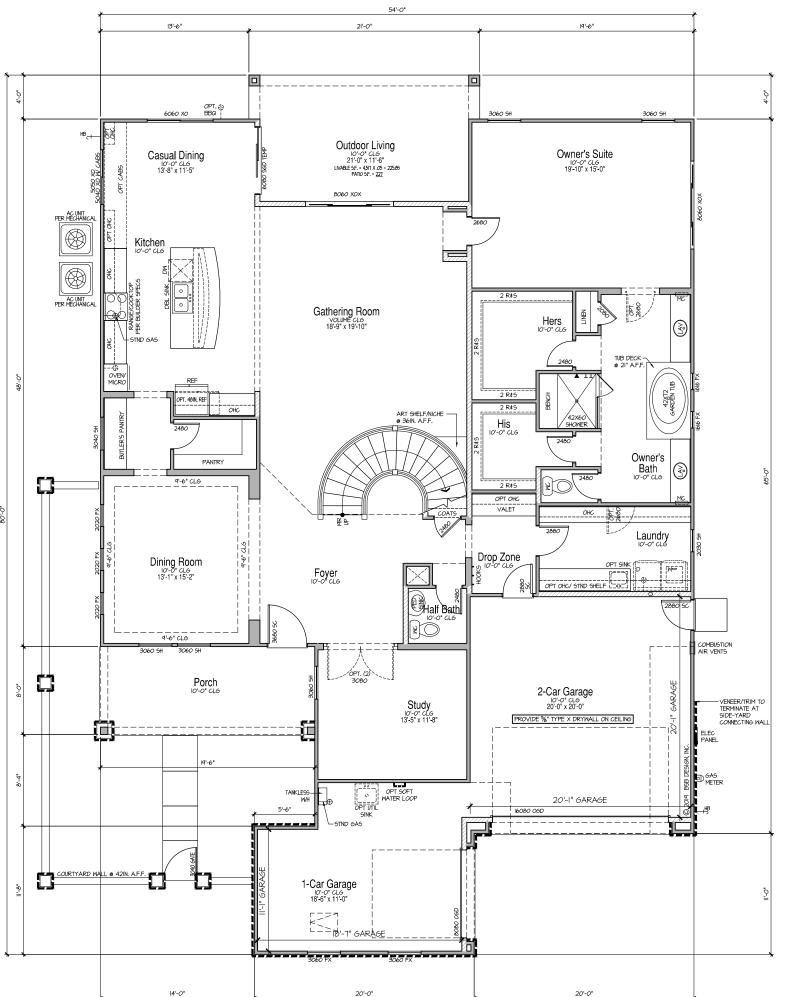


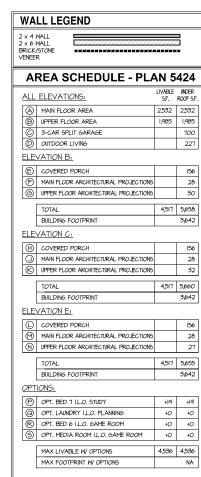
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PLAN 5423

A3.1E





Elevation B - Ranch Floor Plan

08.29.19 CONSTRUCTION SET - NOT FOR OPMENT DEVEL DESIGN

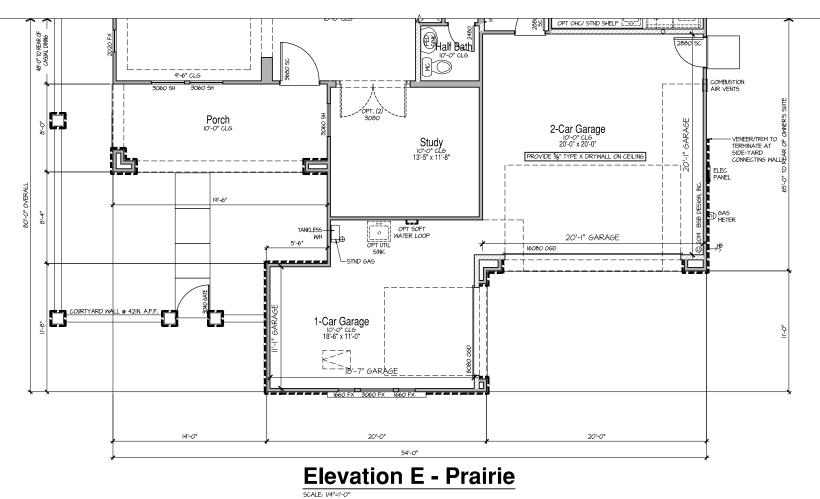
taylor morrison

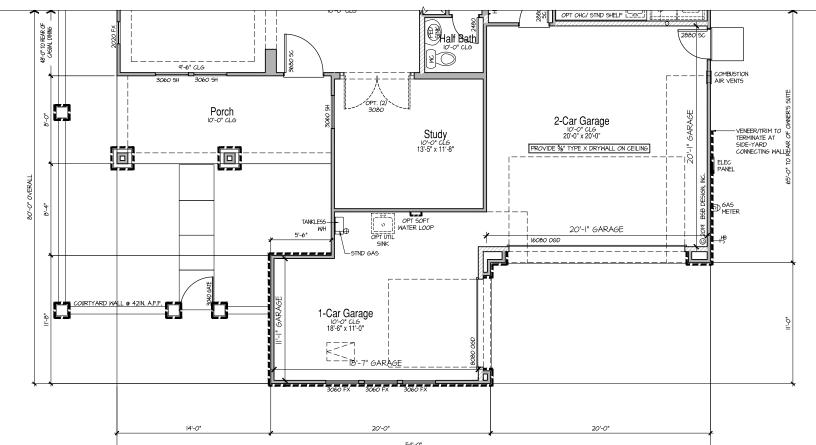
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

9105 E. Del Camino Drive, Su Scottsdale, Arizona 8525 480 663 2100

JOB NO: SF190151.00 PROJ MGR: BNDRAWN: AMC CHECKED: BNDRAWN: AMC CHECKED: BNDRAWN: AMC PLOOR PLAN ELEVATION B - RANCH

PLAN 5424 **A1.1**





Elevation C - Craftsman

WALL LEGEND 2 x 4 WALL 2 x 6 WALL BRICK/STONE VENEER **AREA SCHEDULE - PLAN 5424** ALL ELEVATIONS: MAIN FLOOR AREA 2,532 2,532 1,985 1,985 3) UPPER FLOOR AREA 3-CAR SPLIT GARAGE 100 (D) OUTDOOR LIVING 227 ELEVATION B: © COVERED PORCH MAIN FLOOR ARCHITECTURAL PROJECTIONS UPPER FLOOR ARCHITECTURAL PROJECTIONS 30 4,517 5,658 TOTAL BUILDING FOOTPRIN 3,642 ELEVATION C: (H) COVERED PORCH MAIN FLOOR ARCHITECTURAL PROJECTIONS 28 32 UPPER FLOOR ARCHITECTURAL PROJECTIONS 4,517 5,660 TOTAL 3,642 BUILDING FOOTPRINT ELEVATION E: (L) COVERED PORCH (M) MAIN FLOOR ARCHITECTURAL PROJECTIONS 28 (N) UPPER FLOOR ARCHITECTURAL PROJECTIONS 27 TOTAL 4,517 5,655 BUILDING FOOTPRINT 3,642 OPTIONS: P OPT. BED 1 IL.O. STUDY OPT. LAUNDRY I.L.O. PLANNING R) OPT. BED 6 I.L.O. GAME ROOM +0 +0 (S) OPT. MEDIA ROOM I.L.O. GAME ROOM 4,536 4,536 MAX LIVABLE W OPTIONS

Partial Floor Plans



08.29.19

CONSTRUCTION

FOR

- NOT

SET

OPMENT

ᆸ

DEV

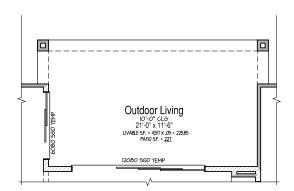
DESIGN

TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

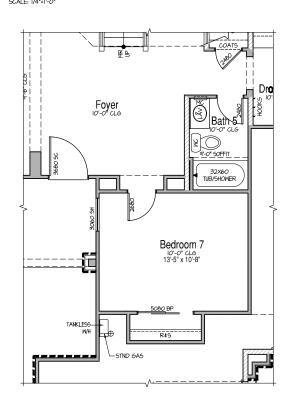
PARTIAL FLOOR PLANS ELEVATION C - CRAFTSMAN ELEVATION E - PRAIRIE

PLAN 5424 A1.2

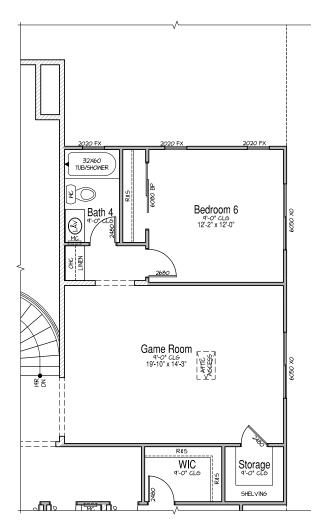
Opt. Laundry i.l.o. Planning Partial Upper Floor Plan



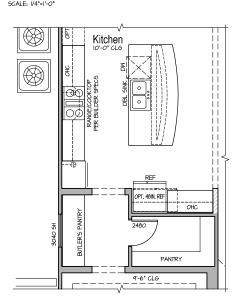
Opt. Multi-Slide Door Partial Main Floor Plan



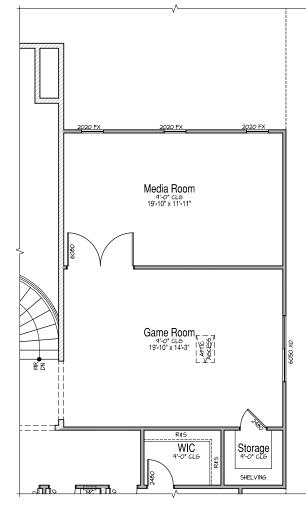
Opt. Bed 7/Bath 5 i.l.o. Study/Half Bath **Partial Main Floor Plan**



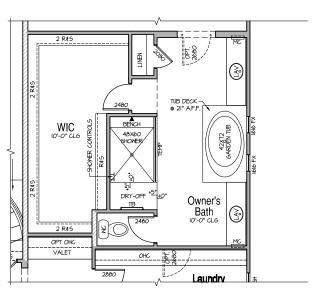
Opt. Bed 6 i.l.o. Game Room Opt. Media Room i.l.o. Game **Partial Upper Floor Plan**



Opt. Gourmet Kitchen Partial Main Floor Plan



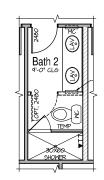
Partial Upper Floor Plan



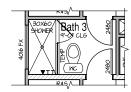
Opt. Walk-In Shower **Partial Main Floor Plan**



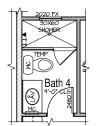
Opt. Bath 5 Shower **Partial Main Floor Plan**



Opt. Bath 2 Shower Partial Upper Floor Plan



Opt. Bath 3 Shower Partial Upper Floor Plan



Opt. Bath 4 Shower Partial Upper Floor Plan

WALL LEGEND

Partial Floor Plan Options

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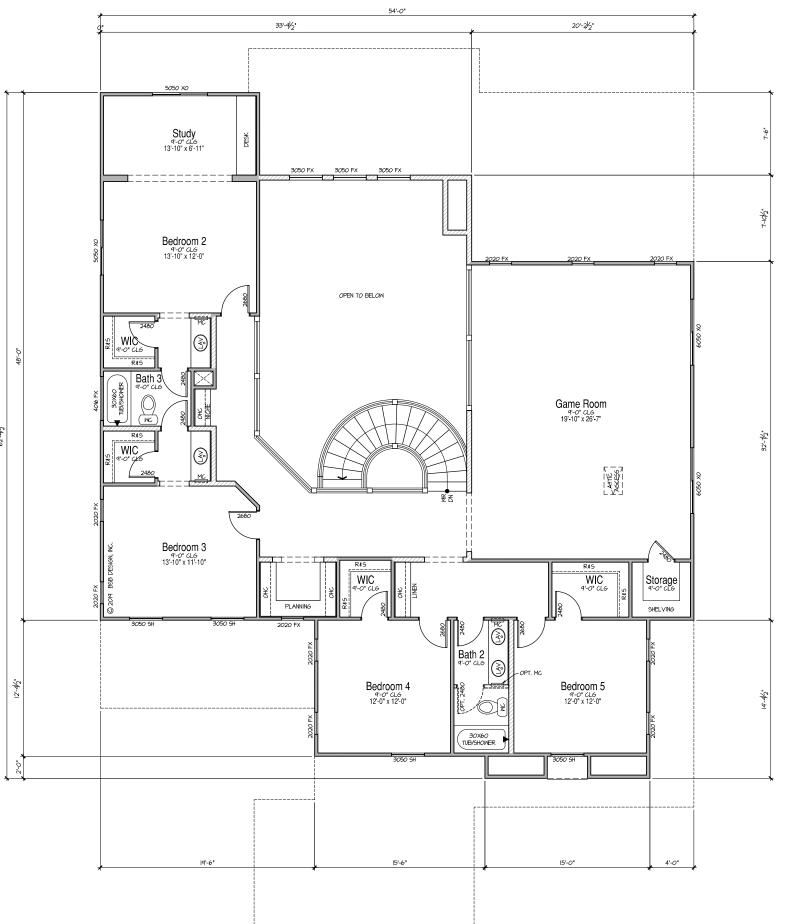
TERRAVELLA 5400 SERIES QUEEN CREEK, ARI

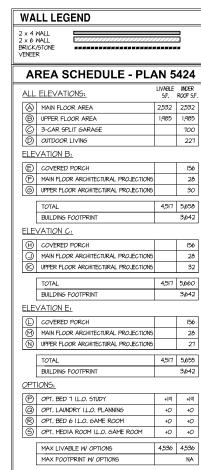


SET

'ARTIAL FLOOR PLAN OPT

PLAN 5424 A1.3





Elevation B - Ranch Upper Floor Plan

08.29.19 CONSTRUCTION SET - NOT FOR OPMENT DEVEL DESIGN

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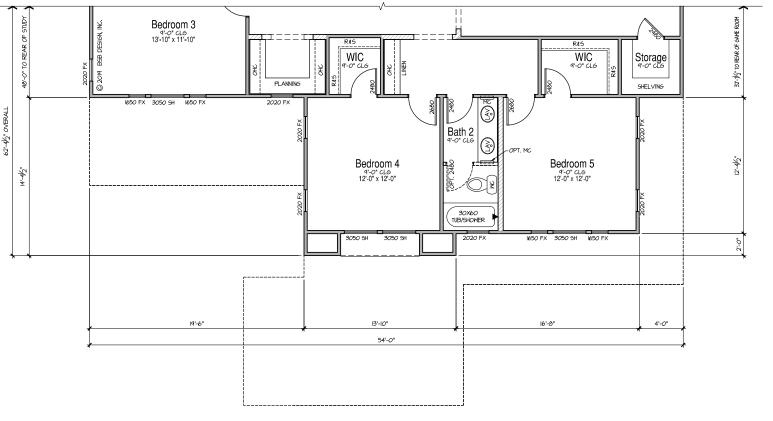
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

9105 E. Del Camino Drive, Suit Scottsdale, Arizona 85258 480 663 2100

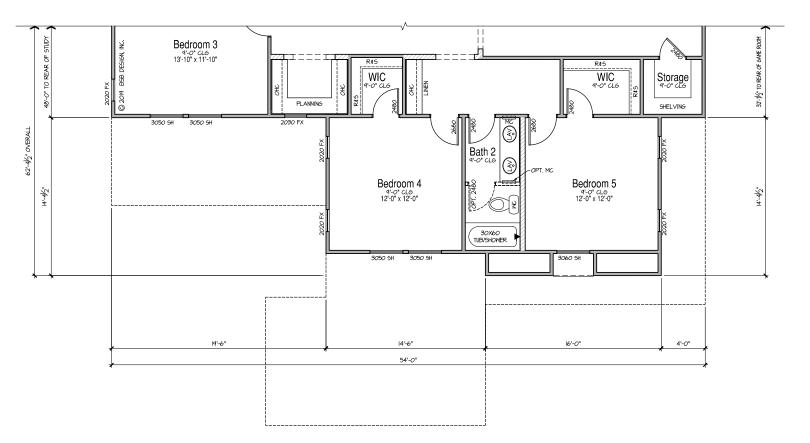
JOB NO: SF190151.00 PROJ MGR: BVM DRAWN: AMC CHECKED: BVM UPPER FLOOR PLAN ELEVATION B - RANCH

PLAN 5424

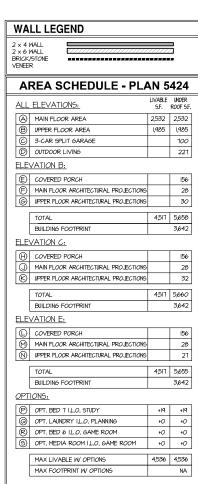
A2.1







Elevation C - Craftsman



Partial Upper Floor Plans

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morrison

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08.29.19

CONSTRUCTION

FOR

- NOT

SET

OPMENT

DEVEL

DESIGN

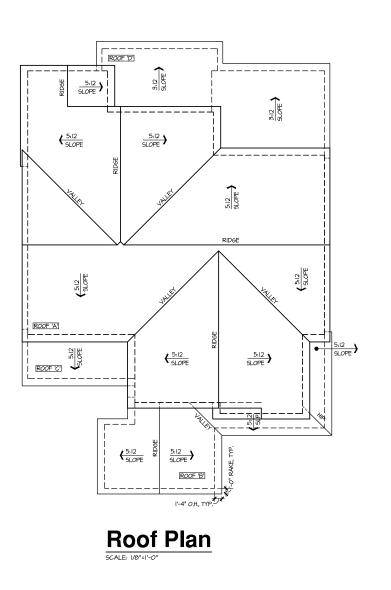
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

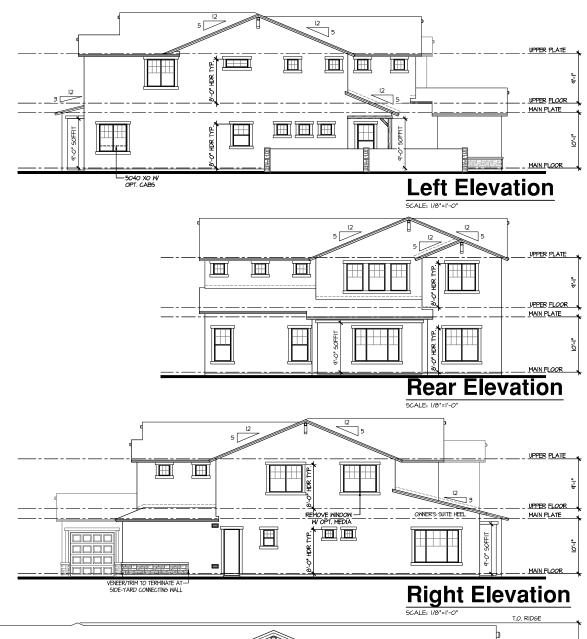
9105 E. Del Camino Drive, Suit Scottsdale, Arizona 85258 480 663 2100

JOB NO: SF190151.00 PROJ MGR: BVM DRAWN: AMC CHECKED: BVM PARTIAL UPPER FLOOR PLANS ELEVATION C - CRAFTSMAN ELEVATION E - PRAIRIE

PLAN 5424

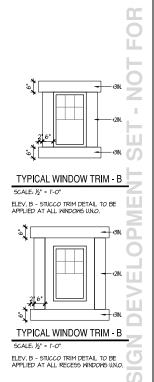
A2.2











Elevation B - Ranch



TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA

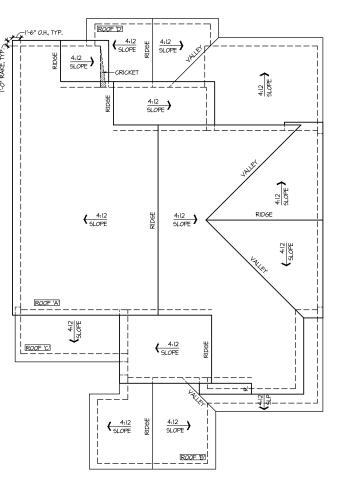


Scottsdale, Arizona 85258 480 663 2100

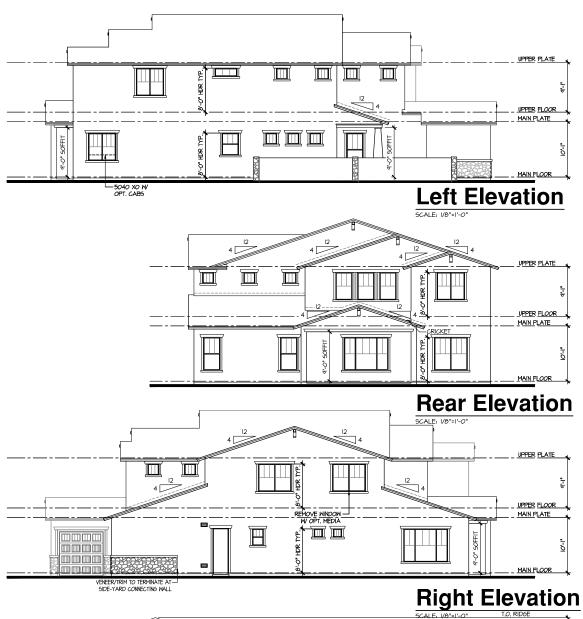
JOB NO: SF190151:00 PROJ MGR: BV DRAWN: AMC CHECKED: BV EXTERIOR ELEVATIONS AND

PLAN 5424

A3.1B



Roof Plan





Front Elevation

Elevation C - Craftsman

TYPICAL WINDOW TRIM - C

TYPICAL WINDOW TRIM - C

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UN.O.

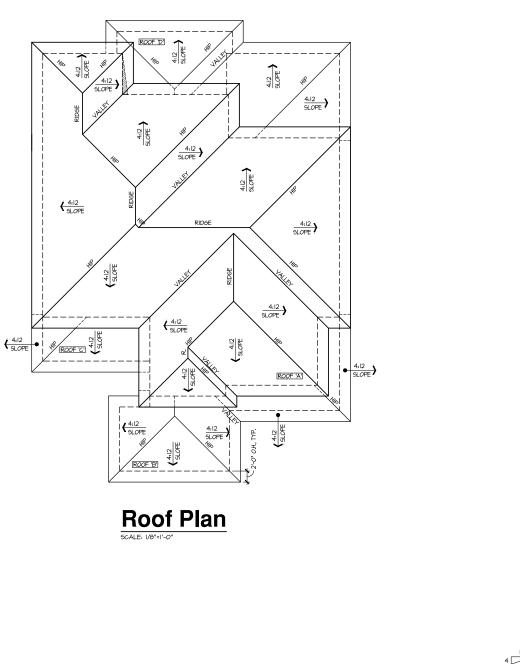


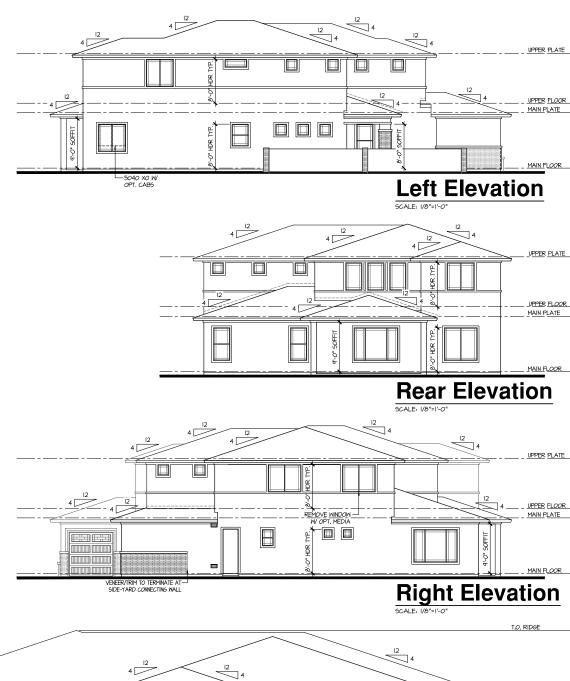
TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA



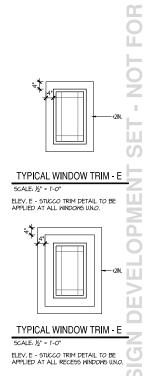
PLAN 5424

A3.1C









Front Elevation Elevation

Elevation E - Prairie



TERRAVELLA 5400 SERIES QUEEN CREEK, ARIZONA



9105 E. Del Camino Drive, Suite 10 Scottsdale, Arizona 85258 480 663 2100

JOB NO: SF190151.00 PROJ MGR: BVM DRAWN: AMC CHECKED: BVM EXTERIOR ELEVATIONS AND ROOF PLAN ELEVATION E - PRAIRIE

PLAN 5424 **A3.1E**

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

45% (1-story) 40% (2-story)

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| | LOT INFORMATION | | | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5403 | 3 - Ranc | h | | | Plai | n 5403 - | Craftsn | nan | | | Р | lan 5403 | - Prairi | ie | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,469 S.F. | Max. Footprint Coverage % 3,469 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,571 S.F. | Max. Footprint Coverage % 3,571 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,415 S.F. | Max. Footprint Coverage % 3,415 S.F. |
| 277 | 3,4 | 8,945 | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% | Yes / E | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / E | 20' | 5'/5' | 15' | 38.2% | 38.2% |
| 278 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 279 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 280 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 281 282 | 3,4 3,4 | 8,808 8,808 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.4% 39.4% | 39.4% 39.4% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 40.5% 40.5% | 40.5% 40.5% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 38.8% 38.8% | 38.8% |
| 283 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 284 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 285 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 286 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 287 | 3,4 | 8,807 | Yes / R | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / R | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / R | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 288 | 3,4 | 8,807 | Yes / L | 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / L | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / L | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 289 290 | 3,4 3,4 | 8,807 | Yes / E Yes / E | 20' | 5'/5' 5'/5' | 15' 15' | 39.4% 39.4% | 39.4% 39.4% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 40.5% 40.5% | 40.5% 40.5% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 38.8% | 38.8% |
| 290 | 3,4 | 8,807 8,807 | Yes / E | 20' 20' | 5'/5' | 15' | 39.4% | 39.4% | Yes / E | 20' | 5'/5' | 15' | 40.5% | 40.5% | Yes / E | 20' | 5'/5' | 15' | 38.8% | 38.8% |
| 292 | 3,4 | 9,087 | Yes / E | 20' | 5'/5' | 15' | 38.2% | 38.2% | Yes / E | 20' | 5'/5' | 15' | 39.3% | 39.3% | Yes / E | 20' | 5'/5' | 15' | 37.6% | 37.6% |
| 293 | 3,4,7 | 8,714 | Yes / L | 20' | 5'/5' | 15' | 39.8% | 39.8% | Yes / L | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / L | 20' | 5'/5' | 15' | 39.2% | 39.2% |
| 294 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 295 | 3,4 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 296 | 3,4 | 8,764 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 297 | 3 | 8,764 | Yes / E | 20' | 5'/5' 5'/5' | 15' 15' | 39.6% 39.6% | 39.6% | Yes / E | 20' | 5'/5' 5'/5' | 15' 15' | 40.7% 40.7% | 40.7% 40.7% | Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.0% | 39.0% |
| 298 299 | 3 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' | 15' | 39.6% | 39.6% 39.6% | Yes / E Yes / E | 20' 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E Yes / E | 20' | 5'/5' | 15' | 39.0% 39.0% | 39.0% |
| 300 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 301 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 302 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 303 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 304 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 305 | 3,4,7 | 8,714 | Yes / R | 20' | 5'/5' | 15' | 39.8% | 39.8% | Yes / R | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / R | 20' | 5'/5' | 15' | 39.2% | 39.2% |
| 306 307 | 3,4,7 | 8,700 8,750 | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.9% 39.6% | 39.9% 39.6% | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 41.0% 40.8% | 41.0% | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.3% 39.0% | 39.3% |
| 308 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 309 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 310 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 311 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 312 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 313 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 314 315 | 3,4 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.6% 39.6% | 39.6% 39.6% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 40.8% 40.8% | 40.8% 40.8% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 39.0% 39.0% | 39.0% |
| 316 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 317 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 318 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / R | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / R | 20' | 5'/5' | 15' | 39.3% | 39.3% |
| 319 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 320 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 321 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 322 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' 15' | 39.6% | 39.6% | Yes / E | 20' 20' | 5'/5' | 15' 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' 15' | 39.0% | 39.0% |
| 323 324 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' | 39.6% 39.6% | 39.6% 39.6% | Yes / E Yes / E | 20' | 5'/5' 5'/5' | 15' | 40.8% 40.8% | 40.8% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' | 39.0% 39.0% | 39.0% |
| J24 | J | 0,700 | TES/E | ∠∪ | 5/5 | 10 | J9.0% | J9.0% | TES/E | ∠∪ | 5/5 | 10 | 40.0% | 40.0% | TES/E | _∠∪ | υ/ ວ | 10 | J9.U% | JB.U% |

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE :

R1-5 55% (1-story) 50% (2-story)

45% (1-story) 40% (2-story)

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| LOT INFORMATION | V |
|-----------------|---|
|-----------------|---|

| | LOT INFORMATION | | | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|---------------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5403 | 3 - Ranc | h | | | Pla | n 5403 - | Craftsn | nan | | | Р | lan 5403 | - Prairi | e | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,469 S.F. | Max. Footprint Coverage % 3,469 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,571 S.F. | Max. Footprint Coverage % 3,571 S.F. | N/A 1/H | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,415 S.F. | Max. Footprint Coverage % 3,415 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 327 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 328 | 3,4,7 | 8,709 | Yes / R | 20' | 5'/5' | 15' | 39.8% | 39.8% | Yes / R | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / R | 20' | 5'/5' | 15' | 39.2% | 39.2% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 330 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / R | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / R | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 332 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 333 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / R | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / R | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 335 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 15' | 37.9% | 37.9% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% | Yes / L | 20' | 5'/5' | 15' | 37.3% | 37.3% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 339 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 340 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / R | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / R | 20' | 5'/5' | 15' | 39.3% | 39.3% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / L | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / L | 20' | 5'/5' | 15' | 39.3% | 39.3% |
| 343 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / R | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / R | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 344 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 345 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / R | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / R | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 346 | 3,4 | 8,990 | Yes / L | 20' | 5'/5' | 15' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 15' | 39.7% | 39.7% | Yes / L | 20' | 5'/5' | 15' | 38.0% | 38.0% |
| 347 | 3,4 | 8,769 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.7% | 40.7% | Yes / E | 20' | 5'/5' | 15' | 38.9% | 38.9% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / R | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / R | 20' | 5'/5' | 15' | 39.3% | 39.3% |
| 352 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 39.9% | 39.9% | Yes / L | 20' | 5'/5' | 15' | 41.0% | 41.0% | Yes / L | 20' | 5'/5' | 15' | 39.3% | 39.3% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / L | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 39.6% | 39.6% | Yes / E | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / E | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 15' | 39.7% | 39.7% | Yes / R | 20' | 5'/5' | 15' | 40.8% | 40.8% | Yes / R | 20' | 5'/5' | 15' | 39.0% | 39.0% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 30.8% | 30.8% | Yes / R | 20' | 5'/10' | 25' | 31.7% | 31.7% | Yes / R | 20' | 5'/10' | 25' | 30.4% | 30.4% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 30.8% | 30.8% | Yes / L | 20' | 5'/10' | 25' | 31.7% | 31.7% | Yes / L | 20' | 5'/10' | 25' | 30.4% | 30.4% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 30.8% | 30.8% | Yes / E | 20' | 5'/10' | 25' | 31.7% | 31.7% | Yes / E | 20' | 5'/10' | 25' | 30.4% | 30.4% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 30.8% | 30.8% | Yes / E | 20' | 5'/10' | 25' | 31.7% | 31.7% | Yes / E | 20' | 5'/10' | 25' | 30.4% | 30.4% |

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| $I \cap I$ | - INII | CAM | |
|------------|--------|------|-----|
| LUI | IIVI | IVIA | HON |

| | | | LOTINFORMATION | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|---|---|
| | | | | Р | lan 5404 | l - Ranc | h | | | Plar | า 5404 - | Craftsn | nan | | | Р | lan 5404 | - Prairi | e | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,067 S.F. | Max. Footprint Coverage % 3,067 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,003 S.F. | Max. Footprint Coverage % 3,003 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 2,867 S.F. | Max. Footprint Coverage % 2,867 S.F. |
| 277 | 3,4 | 8,945 | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 33.6% | 33.6% | Yes / E | 20' | 5'/5' | 20' | 32.1% | 32.1% |
| 278 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 279 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 280 281 | 3,4 3,4 | 8,808 8,808 | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' | 34.8% 34.8% | 34.8% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.1% 34.1% | 34.1% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' | 32.5% 32.5% | 32.5% |
| 282 | 3,4 | 8,808 | Yes / E Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 283 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 284 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 285 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.5% | 32.5% |
| 286 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.6% | 32.6% |
| 287 288 | 3,4 3,4 | 8,807 8,807 | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.8% 34.8% | 34.8% 34.8% | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.1% 34.1% | 34.1% 34.1% | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 32.6% 32.6% | 32.6% 32.6% |
| 289 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.6% | 32.6% |
| 290 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.6% | 32.6% |
| 291 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 34.8% | 34.8% | Yes / E | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / E | 20' | 5'/5' | 20' | 32.6% | 32.6% |
| 292 | 3,4 | 9,087 | Yes / E | 20' | 5'/5' | 20' | 33.8% | 33.8% | Yes / E | 20' | 5'/5' | 20' | 33.0% | 33.0% | Yes / E | 20' | 5'/5' | 20' | 31.6% | 31.6% |
| 293 | 3,4,7 | 8,714 | Yes / L | 20' | 5'/5' | 20' | 35.2% | 35.2% | Yes / L | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / L | 20' | 5'/5' | 20' | 32.9% | 32.9% |
| 294 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 295 296 | 3,4 3,4 | 8,764 8,764 | Yes / E Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 35.0% 35.0% | 35.0% 35.0% | Yes / E Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.3% 34.3% | 34.3% | Yes / E Yes / L | 20' 20' | 5'/5' 5'/5' | 20' | 32.7% 32.7% | 32.7% 32.7% |
| 297 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 298 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 299 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 300 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 301 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 302 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 303 304 | 3 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 35.0% 35.0% | 35.0% 35.0% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.3% 34.3% | 34.3% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 32.7% 32.7% | 32.7% 32.7% |
| 305 | 3,4,7 | 8,714 | Yes / R | 20' | 5'/5' | 20' | 35.2% | 35.2% | Yes / R | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / R | 20' | 5'/5' | 20' | 32.7% | 32.7 % |
| 306 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 35.3% | 35.3% | Yes / L | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / L | 20' | 5'/5' | 20' | 33.0% | 33.0% |
| 307 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 308 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 309 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 310 311 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 35.1% 35.1% | 35.1% 35.1% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.3% 34.3% | 34.3% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 32.8% 32.8% | 32.8% 32.8% |
| 312 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 313 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 314 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 315 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 316 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 317 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 318 319 | 3,4,7 3,4,7 | 8,700 8,750 | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 35.3% 35.1% | 35.3% 35.1% | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' 20' | 34.5% 34.3% | 34.5% 34.3% | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 20' | 33.0% 32.8% | 33.0% 32.8% |
| 320 | 3,4,7 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 321 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 322 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 323 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 324 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE :

55% (1-story) 50% (2-story)

R1-5

45% (1-story) 40% (2-story)

R1-9

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

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| | LOT INFORMATION | | | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|---------------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5404 | 4 - Ranc | h | | | Plai | n 5404 - | Craftsn | nan | | | Р | lan 5404 | l - Prair | ie | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,067 S.F. | Max. Footprint Coverage % 3,067 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,003 S.F. | Max. Footprint Coverage % 3,003 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 2,867 S.F. | Max. Footprint Coverage % 2,867 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 327 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 328 | 3,4,7 | 8,709 | Yes / R | 20' | 5'/5' | 20' | 35.2% | 35.2% | Yes / R | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / R | 20' | 5'/5' | 20' | 32.9% | 32.9% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 330 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / R | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / R | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 332 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 333 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / R | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / R | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 335 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 20' | 33.5% | 33.5% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% | Yes / L | 20' | 5'/5' | 20' | 31.3% | 31.3% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 339 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 340 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 35.3% | 35.3% | Yes / R | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / R | 20' | 5'/5' | 20' | 33.0% | 33.0% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 35.3% | 35.3% | Yes / L | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / L | 20' | 5'/5' | 20' | 33.0% | 33.0% |
| 343 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / R | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / R | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 344 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 345 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / R | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / R | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 346 | 3,4 | 8,990 | Yes / L | 20' | 5'/5' | 20' | 34.1% | 34.1% | Yes / L | 20' | 5'/5' | 20' | 33.4% | 33.4% | Yes / L | 20' | 5'/5' | 20' | 31.9% | 31.9% |
| 347 | 3,4 | 8,769 | Yes / E | 20' | 5'/5' | 20' | 35.0% | 35.0% | Yes / E | 20' | 5'/5' | 20' | 34.2% | 34.2% | Yes / E | 20' | 5'/5' | 20' | 32.7% | 32.7% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 35.3% | 35.3% | Yes / R | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / R | 20' | 5'/5' | 20' | 33.0% | 33.0% |
| 352 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 35.3% | 35.3% | Yes / L | 20' | 5'/5' | 20' | 34.5% | 34.5% | Yes / L | 20' | 5'/5' | 20' | 33.0% | 33.0% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / L | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / L | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / E | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / E | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 20' | 35.1% | 35.1% | Yes / R | 20' | 5'/5' | 20' | 34.3% | 34.3% | Yes / R | 20' | 5'/5' | 20' | 32.8% | 32.8% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 27.3% | 27.3% | Yes / R | 20' | 5'/10' | 25' | 26.7% | 26.7% | Yes / R | 20' | 5'/10' | 25' | 25.5% | 25.5% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 27.3% | 27.3% | Yes / L | 20' | 5'/10' | 25' | 26.7% | 26.7% | Yes / L | 20' | 5'/10' | 25' | 25.5% | 25.5% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 27.3% | 27.3% | Yes / E | 20' | 5'/10' | 25' | 26.7% | 26.7% | Yes / E | 20' | 5'/10' | 25' | 25.5% | 25.5% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 27.3% | 27.3% | Yes / E | 20' | 5'/10' | 25' | 26.7% | 26.7% | Yes / E | 20' | 5'/10' | 25' | 25.5% | 25.5% |

Building Setbacks

Zoning

Special Condition Notes:

Front Loaded Garage = 20' Side Loaded Garage = 10'

R1-5 (Lots 277 - 356) R1-9 (Lots 357 - 360)

1. Use and Benefit Easement 2. Landscape and Pedestrian Easement

Livable = 10' (R1-5) Side Yard = 5' and 5' 3. Public Utility Easement

(R1-9) Side Yard = 5' and 10'

4. Other Easement 5. Arterial Street Adiacency - Incressed Setback Required

(R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story)

6. Open Space Tract Adjacency - Increased Setback Required

(R1-9) Rear Setback = 25'

8. Other Notes

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

= Plan exceeds coverage

E1/L1/R1 = Options can not be selected together

= Plan exceeds setback limits

R1-5 55% (1-story)

R1-9 45% (1-story)

Revision Date:

301

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LOT COVERAGE :

Plan 5413 - Ranch Plan 5413 - Craftsman Plan 5413 - Prairie Conditions E. Coverage S.F. Coverage Coverage S.F. Sq. Covers S.F. Setback Setback Setback ŝ Setback Setback Setback Setback S S S.F. Area S. F. S.F Ϋ́ Ϋ́ Lot Special Yes/ Footprint (3,772 § Footprint 3,937 \$ Footprint (3,735 § 3,900 4.014 Footprint Footprint 3,849 Footprint 盂 盂 þ Front Side Rear Side Rear Side Rear Std. Лах. Std. ∕lax. Std. Max. 277 5'/5' 43.0% 44.9% 5'/5' 42.2% 44.0% 43.6% 8.945 Yes / E 20' Yes / E 20' 15' Yes / E 20' 5'/5' 15 41.8% 3.4 15' 278 8,808 Yes / E 20' 5'/5' 43.7% 45.6% Yes / E 5'/5' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 3,4 15' 20' 15' 44.3% 279 3,4 8,808 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 20' 5'/5' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 280 8,808 Yes / E 20' 5'/5 43.7% 45.6% Yes / E 20' 5'/5 42.8% 44.7% Yes / E 20' 5'/5 42.4% 44.3% 281 3,4 8,808 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 20' 5'/5' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 282 8.808 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 5'/5' 15' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42 4% 44 3% 283 3,4 8,808 Yes / E 20' 51/5 15' 43.7% 45.6% Yes / E 20' 5'/5 15' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 284 3.4 8,808 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 20' 5'/5' 15' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 285 3.4 8.808 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 20' 5'/5' 15' 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 15' 43.7% 45.6% 42.8% 44.7% 42.4% 44.3% 286 3,4 8,807 Yes / E 20' 5'/5' Yes / E 20' 5'/5' 15' Yes / E 20' 5'/5' 15' 8.807 Yes / R 43.7% 45.6% Yes / R 5'/5 15' 42.8% 44.7% Yes / R 15 42.4% 44.3% 287 51/5 5'/5' 3.4 20' 20 20 43.7% 45.6% 5'/5 42.8% 44.7% 20' 15' 42.4% 44.3% 288 3,4 8,807 Yes / L 20' Yes / L 20' 15' Yes / L 5'/5 43.7% 45.6% 5'/5 42.8% 44.7% 20' 42.4% 44.3% 289 8,807 Yes / E 5'/5 Yes / E Yes / E 5'/5 290 8,807 Yes / E 20' 5'/5' 15' 43.7% 45.6% Yes / E 20' 5'/5' 15 42.8% 44.7% Yes / E 20' 5'/5' 15' 42.4% 44.3% 3,4 291 8,807 Yes / E 5'/5' 15' 43.7% 45.6% Yes / E 5'/5' 15' 42.8% 44.7% Yes / E 15' 42.4% 44.3% 3,4 20' 20' 5'/5' 292 3.4 9,087 Yes / E 20' 5'/5' 15' 42.4% 44.2% Yes / E 20' 5'/5' 15' 41.5% 43.3% Yes / E 20' 5'/5' 15' 41.1% 42.9% 293 3.4.7 8.714 Yes / L 20' 5'/5' 15' 44.2% 46.1% Yes / L 20' 5'/5' 15 43.3% 45.2% Yes / L 20' 5'/5' 15' 42.9% 44.8% 5'/5' 43.9% 45.8% 5'/5' 43.0% 44.9% 20' 42.6% 44.5% 294 8.764 Yes / E 20' 15' Yes / E 20' 15' Yes / E 5'/5' 15' 295 43.9% 45.8% 5'/5' 5'/5' Yes / E 43.0% 44.9% 20' 15' 42.6% 44.5% 3.4 8.764 20' 15' Yes / E 5'/5' Yes / E 20' 8,764 Yes / L 5'/5' 43.9% 45.8% Yes / L 20' 5'/5' 15' 43.0% 44.9% Yes / L 20' 15' 42.6% 44.5% 296 3.4 20' 15' 5'/5' 297 8,764 Yes / E 20' 5'/5' 15' 43.9% 45.8% Yes / E 20' 5'/5' 15' 43.0% 44.9% Yes / E 20' 5'/5' 15' 42.6% 44.5% 3 43.0% 44.9% 298 8,764 Yes / E 20' 5'/5 43.9% 45.8% Yes / E 20' 5'/5 Yes / E 20 5'/5 42.6% 44.5% Yes / E 42.6% 299 8,764 Yes / E 15' 43.9% 45.8% Yes / E 5'/5' 15' 43.0% 44.9% 20' 15' 44.5% 20' 5'/5' 20' 5'/5' 300 8,764 Yes / E 20' 5'/5' 15' 43.9% 45.8% Yes / E 20' 5'/5' 15' 43.0% 44.9% Yes / E 20' 5'/5' 15' 42.6% 44 5%

LOT INFORMATION

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Yes / E

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Yes / E

Yes / R

Yes / L

Yes / E

Yes / R

Yes / L

Yes / E

Yes / E

Yes / E

Yes / E

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 8. Other Notes

= Plan exceeds coverage

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| | LOT INFORMATION | | | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|---------------|---------------|--------------|--------------|--------------------------------------|---|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5413 | 3 - Ranc | h | | | Pla | n 5413 - | Craftsn | nan | | | Р | lan 5413 | - Prairi | e | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,849 S.F. | Max. Footprint Coverage % 4,014 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,772 S.F. | Max. Footprint Coverage % 3,937 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,735 S.F. | Max. Footprint Coverage % 3,900 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 327 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 328 | 3,4,7 | 8,709 | Yes / R | 20' | 5'/5' | 15' | 44.2% | 46.1% | Yes / R | 20' | 5'/5' | 15' | 43.3% | 45.2% | Yes / R | 20' | 5'/5' | 15' | 42.9% | 44.8% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 330 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / R | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / R | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 332 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 333 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / R | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / R | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 335 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 15' | 42.0% | 43.8% | Yes / L | 20' | 5'/5' | 15' | 41.2% | 43.0% | Yes / L | 20' | 5'/5' | 15' | 40.8% | 42.6% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 339 | 3 | 8.750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 340 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 44.2% | 46.1% | Yes / R | 20' | 5'/5' | 15' | 43.4% | 45.3% | Yes / R | 20' | 5'/5' | 15' | 42.9% | 44.8% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 44.2% | 46.1% | Yes / L | 20' | 5'/5' | 15' | 43.4% | 45.3% | Yes / L | 20' | 5'/5' | 15' | 42.9% | 44.8% |
| 343 | 3 | 8.750 | Yes / R | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / R | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / R | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 344 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 345 | 3 | 8.750 | Yes / R | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / R | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / R | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 346 | 3,4 | 8,990 | Yes / L | 20' | 5'/5' | 15' | 42.8% | 44.6% | Yes / L | 20' | 5'/5' | 15' | 42.0% | 43.8% | Yes / L | 20' | 5'/5' | 15' | 41.5% | 43.4% |
| 347 | 3,4 | 8,769 | Yes / E | 20' | 5'/5' | 15' | 43.9% | 45.8% | Yes / E | 20' | 5'/5' | 15' | 43.0% | 44.9% | Yes / E | 20' | 5'/5' | 15' | 42.6% | 44.5% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 44.2% | 46.1% | Yes / R | 20' | 5'/5' | 15' | 43.4% | 45.3% | Yes / R | 20' | 5'/5' | 15' | 42.9% | 44.8% |
| 352 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 44.2% | 46.1% | Yes / L | 20' | 5'/5' | 15' | 43.4% | 45.3% | Yes / L | 20' | 5'/5' | 15' | 42.9% | 44.8% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / L | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / L | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / E | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 15' | 44.0% | 45.9% | Yes / R | 20' | 5'/5' | 15' | 43.1% | 45.0% | Yes / R | 20' | 5'/5' | 15' | 42.7% | 44.6% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 34.2% | 35.7% | Yes / R | 20' | 5'/10' | 25' | 33.5% | 35.0% | Yes / R | 20' | 5'/10' | 25' | 33.2% | 34.7% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 34.2% | 35.7% | Yes / L | 20' | 5'/10' | 25' | 33.5% | 35.0% | Yes / L | 20' | 5'/10' | 25' | 33.2% | 34.7% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 34.2% | 35.7% | Yes / E | 20' | 5'/10' | 25' | 33.5% | 35.0% | Yes / E | 20' | 5'/10' | 25' | 33.2% | 34.7% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 34.2% | 35.7% | Yes / E | 20' | 5'/10' | 25' | 33.5% | 35.0% | Yes / E | 20' | 5'/10' | 25' | 33.2% | 34.7% |
| | | | | | | | | | | | | | | | | | | | | |

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10' Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

R1-9 55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 8. Other Notes

= Plan exceeds coverage

| LOT | INFORMATION |
|-----|-------------|
| | |

| | | | | | | | | | OT INFO | KIVIA | HON | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5414 | 1 - Ranc | h | | | Plai | n 5414 - | Craftsn | nan | | | Р | an 5414 | - Prairi | е | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,536 S.F. | Max. Footprint Coverage % 3,536 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,374 S.F. | Max. Footprint Coverage % 3,374 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,394 S.F. | Max. Footprint Coverage % 3,394 S.F. |
| 277 | 3,4 | 8,945 | Yes / E | 20' | 5'/5' | 20' | 39.5% | 39.5% | Yes / E | 20' | 5'/5' | 20' | 37.7% | 37.7% | Yes / E | 20' | 5'/5' | 20' | 37.9% | 37.9% |
| 278 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 279 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 280 281 | 3,4 | 8,808 | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 40.1% 40.1% | 40.1% 40.1% | Yes / E | 20' 20' | 5'/5' | 20' 20' | 38.3% 38.3% | 38.3% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.5% | 38.5% 38.5% |
| 282 | 3,4 3,4 | 8,808 8,808 | Yes / E Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E Yes / E | 20' | 5'/5' 5'/5' | 20' | 38.3% | 38.3% | Yes / E Yes / E | 20' | 5'/5' | 20' | 38.5% 38.5% | 38.5% |
| 283 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 284 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 285 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 286 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 287 | 3,4 | 8,807 | Yes / R | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / R | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / R | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 288 | 3,4 | 8,807 | Yes / L | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / L | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / L | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 289 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 290 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 40.1% | 40.1% | Yes / E | 20' | 5'/5' | 20' | 38.3% | 38.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% |
| 291 292 | 3,4 3,4 | 8,807 9,087 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 40.1% 38.9% | 40.1% 38.9% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.3% 37.1% | 38.3% 37.1% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.5% 37.4% | 38.5% 37.4% |
| 293 | 3,4,7 | 8,714 | Yes / L | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / L | 20' | 5'/5' | 20' | 38.7% | 38.7% | Yes / L | 20' | 5'/5' | 20' | 38.9% | 38.9% |
| 294 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 295 | 3,4 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 296 | 3,4 | 8,764 | Yes / L | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / L | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / L | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 297 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 298 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 299 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 300 | 3 | 8,764 | Yes / E | 20' | 5'/5' 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 301 302 | 3 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' | 20' 20' | 40.3% 40.3% | 40.3% 40.3% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' | 38.5% 38.5% | 38.5% 38.5% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.7% 38.7% | 38.7% 38.7% |
| 303 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 304 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 305 | 3,4,7 | 8,714 | Yes / R | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / R | 20' | 5'/5' | 20' | 38.7% | 38.7% | Yes / R | 20' | 5'/5' | 20' | 38.9% | 38.9% |
| 306 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / L | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 307 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 308 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 309 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 310 311 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' | 5'/5' 5'/5' | 20' 20' | 40.4% 40.4% | 40.4% 40.4% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.6% 38.6% | 38.6% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.8% | 38.8% 38.8% |
| 311 | 3 | 8,750 | Yes / E | 20' 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 313 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 314 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 315 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 316 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 317 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 318 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / R | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 319 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 320 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 321 322 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 40.4% | 40.4% 40.4% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.6% 38.6% | 38.6% 38.6% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 38.8% | 38.8% 38.8% |
| 323 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 323 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| UZ-T | | 0,730 | 103/L | 20 | 0/0 | 20 | -TUT/0 | -7U.T/0 | 103/L | 20 | 373 | 20 | 30.070 | 50.070 | 103/L | 20 | 0/0 | 20 | 30.070 | 30.070 |

Building Setbacks Front Loaded Garage = 20'

Side Loaded Garage = 10'

Livable = 10' (R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10'

(R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement
- 4. Other Easement
- Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| | | | | | | | | L | OT INFO | RMA | TION | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5414 | I - Ranc | h | | | Plai | n 5414 - | Craftsn | nan | | | Р | lan 5414 | - Prair | ie | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,536 S.F. | Max. Footprint Coverage % 3,536 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,374 S.F. | Max. Footprint Coverage % 3,374 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,394 S.F. | Max. Footprint Coverage % 3,394 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 327 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 328 | 3,4,7 | 8,709 | Yes / R | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / R | 20' | 5'/5' | 20' | 38.7% | 38.7% | Yes / R | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 330 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / R | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 332 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 333 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / R | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 335 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 36.9% | 36.9% | Yes / L | 20' | 5'/5' | 20' | 37.1% | 37.1% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 339 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 340 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / R | | 5'/5' | | 39.0% | 39.0% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / L | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 343 | 3 | 8,750 | Yes / R | 20' 20' | 5'/5' 5'/5' | 20' 20' | 40.4% 40.4% | 40.4% | Yes / R | 20' 20' | 5'/5' 5'/5' | 20' | 38.6% | 38.6% | Yes / R | 20' 20' | 5'/5' 5'/5' | 20' | 38.8% | 38.8% |
| 344 | 3 | 8,750 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% 40.4% | Yes / L Yes / R | 20' | 5'/5' | 20' | 38.6% 38.6% | 38.6% 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% 38.8% |
| 346 | 3.4 | 8,990 | Yes / R Yes / L | 20' | 5'/5' | 20' | 39.3% | 39.3% | Yes / L | 20' | 5'/5' | 20' | 37.5% | 37.5% | Yes / R Yes / L | 20' | 5'/5' | 20' | 37.8% | 37.8% |
| 347 | 3,4 | 8.769 | Yes / E | 20' | 5'/5' | 20' | 40.3% | 40.3% | Yes / E | 20' | 5'/5' | 20' | 38.5% | 38.5% | Yes / E | 20' | 5'/5' | 20' | 38.7% | 38.7% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / R | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 352 | 3.4.7 | 8.700 | Yes / L | 20' | 5'/5' | 20' | 40.6% | 40.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% | Yes / L | 20' | 5'/5' | 20' | 39.0% | 39.0% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / L | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / L | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / E | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / R | 20' | 5'/5' | 20' | 38.6% | 38.6% | Yes / R | 20' | 5'/5' | 20' | 38.8% | 38.8% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 31.4% | 31.4% | Yes / R | 20' | 5'/10' | 25' | 30.0% | 30.0% | Yes / R | 20' | 5'/10' | 25' | 30.2% | 30.2% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 31.4% | 31.4% | Yes / L | 20' | 5'/10' | 25' | 30.0% | 30.0% | Yes / L | 20' | 5'/10' | 25' | 30.2% | 30.2% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 31.4% | 31.4% | Yes / E | 20' | 5'/10' | 25' | 30.0% | 30.0% | Yes / E | 20' | 5'/10' | 25' | 30.2% | 30.2% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 31.4% | 31.4% | Yes / E | 20' | 5'/10' | 25' | 30.0% | 30.0% | Yes / E | 20' | 5'/10' | 25' | 30.2% | 30.2% |

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 8. Other Notes

= Plan exceeds coverage

| LOT | INFORMATION |
|-----|-------------|
| | Plan 5423 |

| \vdash | | | | | | | | | | | | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|---------------------------------------|------------------------------------|--------------------|---------------|----------------|--------------|---------------------------------------|------------------------------------|--------------------|---------------|----------------|--------------|---------------------------------------|------------------------------------|
| | | | | Р | lan 5423 | 3 - Ranc | h | | | Plai | n 5423 - | Craftsn | nan | | | Р | lan 5423 | 3 - Prairi | е | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | 1. Footprint Coverage % 4,092 S.F. | x. Footprint Coverage % 4,092 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | 1. Footprint Coverage % 4,096 S.F. | x. Footprint Coverage % 4,096 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | 1. Footprint Coverage % 4,098 S.F. | x. Footprint Coverage % 4,098 S.F. |
| | | | | | | | Std. | Мах. | | | | | Std. | Мах. | | | | | Std. | Мах. |
| 277 | 3,4 | 8,945 | Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 45.7% 46.5% | 45.7% 46.5% | Yes / E | 20' | 5'/5' | 15' 15' | 45.8% 46.5% | 45.8% 46.5% | Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 45.8% 46.5% | 45.8% 46.5% |
| 278 279 | 3,4 3,4 | 8,808 8,808 | Yes / E Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' | 46.5% | 46.5% | Yes / E Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 280 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 281 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 282 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 283 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 284 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 285 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 286 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 287 288 | 3,4 | 8,807 | Yes / R Yes / L | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.5% 46.5% | 46.5% | Yes / R | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.5% 46.5% | 46.5% 46.5% | Yes / R | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.5% 46.5% | 46.5% 46.5% |
| 289 | 3,4 3,4 | 8,807 8,807 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% 46.5% | Yes / L Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / L Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 290 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 291 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% | Yes / E | 20' | 5'/5' | 15' | 46.5% | 46.5% |
| 292 | 3,4 | 9,087 | Yes / E | 20' | 5'/5' | 15' | 45.0% | 45.0% | Yes / E | 20' | 5'/5' | 15' | 45.1% | 45.1% | Yes / E | 20' | 5'/5' | 15' | 45.1% | 45.1% |
| 293 | 3,4,7 | 8,714 | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% |
| 294 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 295 | 3,4 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 296 | 3,4 | 8,764 | Yes / L | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / L | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 297 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 298 299 | 3 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.7% 46.7% | 46.7% 46.7% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.7% 46.7% | 46.7% 46.7% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% |
| 300 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 301 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 302 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 303 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 304 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 305 | 3,4,7 | 8,714 | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% |
| 306 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 307 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 308 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 309 310 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' | 46.8% 46.8% | 46.8% 46.8% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% | Yes / E Yes / E | 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% |
| 311 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 312 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 313 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 314 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 315 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 316 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 317 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 318 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 319 320 | 3,4,7 3,4 | 8,750 8,750 | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% | Yes / L Yes / E | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 46.8% | 46.8% 46.8% |
| 321 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 322 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 323 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 324 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| | • | | | | | | • | | | | | | | | | | | | | |

Building Setbacks

Front Loaded Garage = 20'

Zoning R1-5 (Lots 277 - 356) R1-9 (Lots 357 - 360) Special Condition Notes:

Side Loaded Garage = 10' Livable = 10'

1. Use and Benefit Easement 2. Landscape and Pedestrian Easement

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

3. Public Utility Easement

Other Easement
 Arterial Street Adjacency - Incressed Setback Required
 Open Space Tract Adjacency - Increased Setback Required

Legend

8. Other Notes

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

= Plan exceeds coverage

= Plan exceeds setback limits

E1/L1/R1 = Options can not be selected together

55% (1-story) 50% (2-story)

R1-5

R1-9 45% (1-story) 40% (2-story)

Revision Date:

LOT COVERAGE :

| | | | | | | | | L | OT INFO | RMA | ΓΙΟΝ | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|
| | | | | Р | lan 5423 | 3 - Ranc | h | | | Plai | n 5423 - | Craftsn | nan | | | Р | lan 5423 | 3 - Prairi | le | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 4,092 S.F. | Max. Footprint Coverage % 4,092 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 4,096 S.F. | Max. Footprint Coverage % 4,096 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 4,098 S.F. | Max. Footprint Coverage % 4,098 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 327 328 | 3,4,7 | 8,750 8,709 | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 47.0% | 46.8% 47.0% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 47.0% | 46.8% 47.0% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 15' 15' | 46.8% 47.1% | 46.8% 47.1% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 330 | 3,4,7 | 8.750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 332 | 3 | 8.750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 333 | 3 | 8.750 | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 335 | 3 | 8.750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 15' | 44.7% | 44.7% | Yes / L | 20' | 5'/5' | 15' | 44.7% | 44.7% | Yes / L | 20' | 5'/5' | 15' | 44.8% | 44.8% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 339 | 3 | 8.750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 340 | 3 | 8.750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 343 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 344 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 345 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 346 | 3,4 | 8,990 | Yes / L | 20' | 5'/5' | 15' | 45.5% | 45.5% | Yes / L | 20' | 5'/5' | 15' | 45.6% | 45.6% | Yes / L | 20' | 5'/5' | 15' | 45.6% | 45.6% |
| 347 | 3,4 | 8,769 | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% | Yes / E | 20' | 5'/5' | 15' | 46.7% | 46.7% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / R | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 352 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 15' | 47.0% | 47.0% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% | Yes / L | 20' | 5'/5' | 15' | 47.1% | 47.1% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / L | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / E | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% | Yes / R | 20' | 5'/5' | 15' | 46.8% | 46.8% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / R | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / R | 20' | 5'/10' | 25' | 36.4% | 36.4% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / L | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / L | 20' | 5'/10' | 25' | 36.4% | 36.4% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% | Yes / E | 20' | 5'/10' | 25' | 36.4% | 36.4% |

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE :

R1-5 55% (1-story) 50% (2-story)

R1-9 45% (1-story) 40% (2-story)

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

Revision Date:

Special Condition Notes:

- Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| LOT | INICODMATION |
|-----|--------------|
| LUI | INFORMATION |

| | | | | | | | | | OT INFO | MINIM | IION | | | | | | | | | |
|------------|--------------------|--------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|--------------------|---------------|----------------|--------------|--------------------------------------|--------------------------------------|
| | | | | PI | lan 5424 | l - Ranc | h | | | Plai | า 5424 - | Craftsn | nan | | | Р | lan 5424 | l - Prair | е | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. |
| 277 | 3,4 | 8,945 | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% | Yes / E | 20' | 5'/5' | 20' | 40.4% | 40.4% |
| 278 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 279 280 | 3,4 | 8,808 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.0% 41.0% | 41.0% 41.0% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.0% 41.0% | 41.0% | Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.0% 41.0% | 41.0% 41.0% |
| 281 | 3,4 3.4 | 8,808 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 282 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 283 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 284 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 285 | 3,4 | 8,808 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 286 287 | 3,4 3,4 | 8,807 8,807 | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.0% 41.0% | 41.0% 41.0% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.0% 41.0% | 41.0% 41.0% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' | 41.0% 41.0% | 41.0% 41.0% |
| 288 | 3,4 | 8,807 | Yes / L | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / L | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / L | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 289 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 290 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 291 | 3,4 | 8,807 | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% | Yes / E | 20' | 5'/5' | 20' | 41.0% | 41.0% |
| 292 | 3,4 | 9,087 | Yes / E | 20' | 5'/5' | 20' | 39.8% | 39.8% | Yes / E | 20' | 5'/5' | 20' | 39.8% | 39.8% | Yes / E | 20' | 5'/5' | 20' | 39.8% | 39.8% |
| 293 | 3,4,7 | 8,714 | Yes / L | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / L | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / L | 20' | 5'/5' | 20' | 41.5% | 41.5% |
| 294 295 | 3,4 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% |
| 296 | 3,4 | 8,764 | Yes / L | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / L | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / L | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 297 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 298 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 299 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 300 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 301 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 302 | 3 | 8,764 8,764 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.2% 41.2% | 41.2% 41.2% |
| 304 | 3 | 8,764 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 305 | 3,4,7 | 8,714 | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% |
| 306 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% |
| 307 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 308 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 309 310 | 3 | 8,750 8,750 | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' | 41.3% 41.3% | 41.3% 41.3% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.3% 41.3% | 41.3% 41.3% | Yes / E Yes / E | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.3% 41.3% | 41.3% 41.3% |
| 311 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 312 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 313 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 314 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 315 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 316 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 317 318 | 3,4,7 | 8,750 8,700 | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.3% 41.6% | 41.3% 41.6% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' 20' | 41.3% 41.6% | 41.3% 41.6% | Yes / E Yes / R | 20' 20' | 5'/5' 5'/5' | 20' | 41.3% 41.6% | 41.3% 41.6% |
| 319 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.8% | 41.8% | Yes / L | 20' | 5'/5' | 20' | 41.8% | 41.8% | Yes / L | 20' | 5'/5' | 20' | 41.8% | 41.8% |
| 320 | 3,4 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 321 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 322 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 323 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 324 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |

Zoning R1-5 (Lots 277 - 356)

R1-9 (Lots 357 - 360)

R1-9

Building Setbacks

Front Loaded Garage = 20' Side Loaded Garage = 10'

Livable = 10'

(R1-5) Side Yard = 5' and 5' (R1-9) Side Yard = 5' and 10' (R1-5) Rear Setback = 15' (1-story or patio); 20' (2-story) (R1-9) Rear Setback = 25'

Legend

= Plan fits Left or Right Drive R = Plan fits Right Drive Only = Plan fits Left Drive Only

E1/L1/R1 = Options can not be selected together

LOT COVERAGE : R1-5

55% (1-story) 50% (2-story) 45% (1-story) 40% (2-story)

Revision Date:

Special Condition Notes:

- 1. Use and Benefit Easement
- 2. Landscape and Pedestrian Easement
- 3. Public Utility Easement

- Other Easement
 Arterial Street Adjacency Incressed Setback Required
 Open Space Tract Adjacency Increased Setback Required
- 7. Corner Lot
- 8. Other Notes

= Plan exceeds coverage

| LOT INFORMATIO | IUN |
|----------------|-----|
|----------------|-----|

| | | | | | | | | L | OT INFO | RMA | ΓΙΟΝ | | | | | | | | | |
|------------|--------------------|--------------------|---------------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|--------------------------------------|---------|---------------|--------------|--------------|--------------------------------------|---|
| | | | | Р | lan 5424 | l - Ranc | h | | | Plai | า 5424 - | Craftsn | nan | | | Р | lan 5424 | l - Prair | ie | |
| Lot Number | Special Conditions | Lot Area (Sq. Ft.) | Fit: Yes / No | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. | Fit Y/N | Front Setback | Side Setback | Rear Setback | Std. Footprint Coverage % 3,615 S.F. | Max. Footprint Coverage % 3,615 S.F. |
| 325 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 326 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 327 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 328 | 3,4,7 | 8,709 | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% | Yes / R | 20' | 5'/5' | 20' | 41.5% | 41.5% |
| 329 | 3,4,7 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 330 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 331 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 332 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 333 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 334 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 335 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 336 | 3, | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 337 | 3,4 | 9,155 | Yes / L | 20' | 5'/5' | 20' | 39.5% | 39.5% | Yes / L | 20' | 5'/5' | 20' | 39.5% | 39.5% | Yes / L | 20' | 5'/5' | 20' | 39.5% | 39.5% |
| 338 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 339 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 340 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 341 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% |
| 342 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% |
| 343 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 344 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 345 | 3 | 8,750 | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 346 | 3,4 | 8,990 | Yes / L | 20' | 5'/5' | 20' | 40.2% | 40.2% | Yes / L | 20' | 5'/5' | 20' | 40.2% | 40.2% | Yes / L | 20' | 5'/5' | 20' | 40.2% | 40.2% |
| 347 | 3,4 | 8,769 | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% | Yes / E | 20' | 5'/5' | 20' | 41.2% | 41.2% |
| 348 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 349 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 350 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 351 | 3,4,7 | 8,700 | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / R | 20' | 5'/5' | 20' | 41.6% | 41.6% |
| 352 | 3,4,7 | 8,700 | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% | Yes / L | 20' | 5'/5' | 20' | 41.6% | 41.6% |
| 353 | 3 | 8,750 | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / L | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 354 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 355 | 3 | 8,750 | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / E | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 356 | 3,4, 7 | 8,749 | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% | Yes / R | 20' | 5'/5' | 20' | 41.3% | 41.3% |
| 357 | 3,4 | 11,250 | Yes / R | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / R | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / R | 20' | 5'/10' | 25' | 32.1% | 32.1% |
| 358 | 3,4 | 11,250 | Yes / L | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / L | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / L | 20' | 5'/10' | 25' | 32.1% | 32.1% |
| 359 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% |
| 360 | 3,4 | 11,250 | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% | Yes / E | 20' | 5'/10' | 25' | 32.1% | 32.1% |



9000 E. Pima Center Pkwy. Suite #300 Scottsdale, Arizona 85258 Phone (480) 344-7000

VOYAGE 70'S

PACKAGES

- * STANDARD DESERT PACKAGE #1
- * UPGRADE DESERT W/ BOULDER PACKAGE #2
- * UPGRADE TURF PACKAGE #3

PLANS PLAN 5403 PLAN 5404 PLAN 5413 PLAN 5414 PLAN 5423 PLAN 5424





Standard Desert Package #1 PLAN 5403



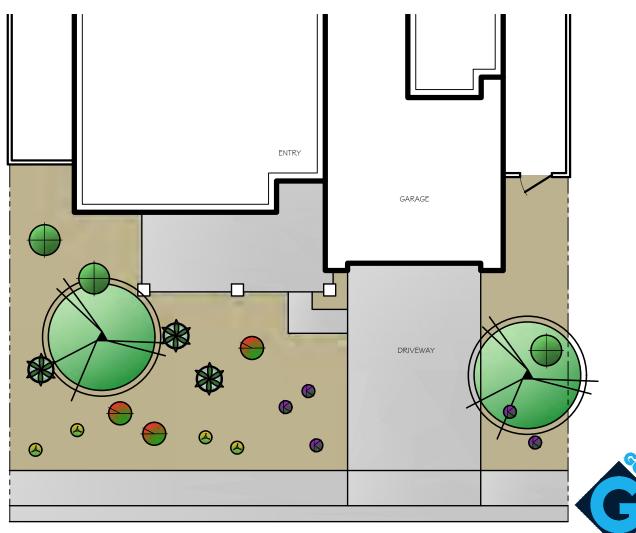
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Desert with Boulder Package #2 **PLAN 5403**

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

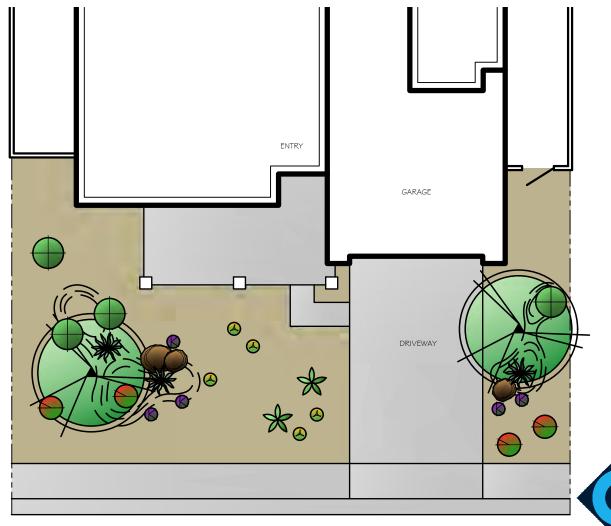
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



Homeowner: _ Lot #: _____ Date:

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Turf Package #3 **PLAN 5403**



(2): TREES @ 24" BOX



(18): SHRUBS/GROUNDCOVER @ 5 GALLON



(3): I.5' X 2' X 2' SURFACE SELECT BOULDERS



MOUNDING



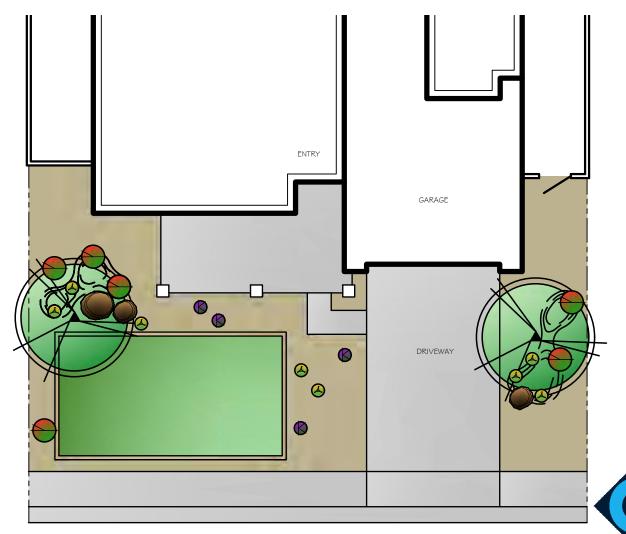
MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Homeowner: _ Lot #: _____ Date:

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE DATE: 06/17/19



Standard Desert Package #1 PLAN 5404



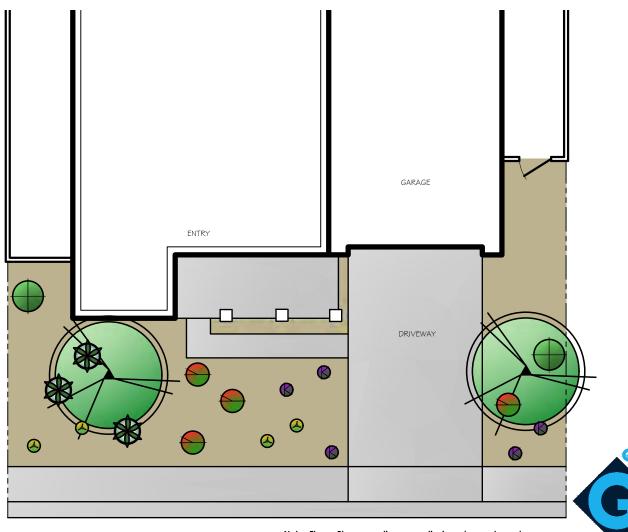
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Desert with Boulder Package #2 PLAN 5404

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

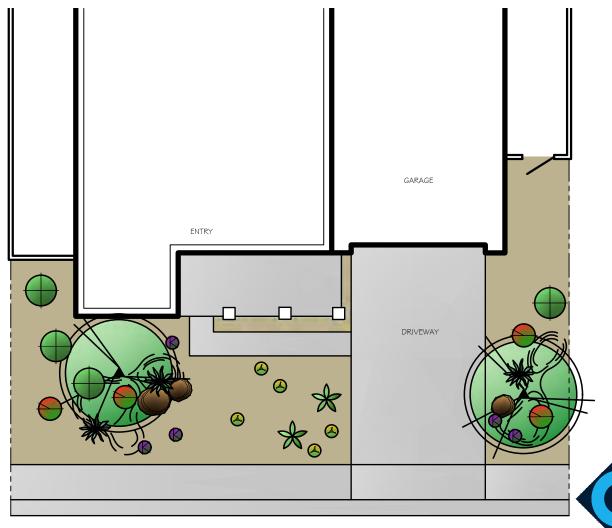
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Turf Package #3 **PLAN 5404**

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING



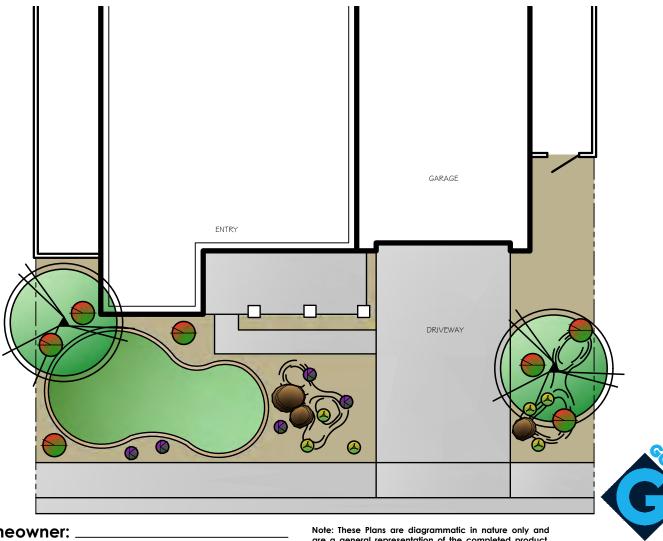
MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Homeowner: _ Date: Lot #: _____

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Standard Desert Package #1 PLAN 5413



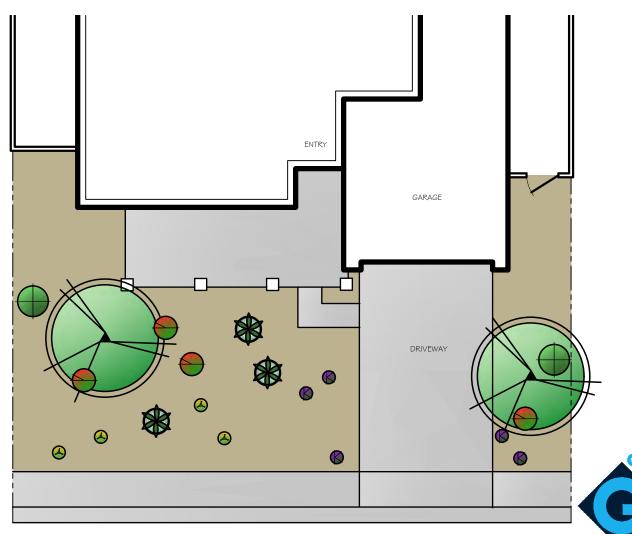
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE
DATE: 06/17/19



Upgrade Desert with Boulder Package #2 PLAN 5413

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

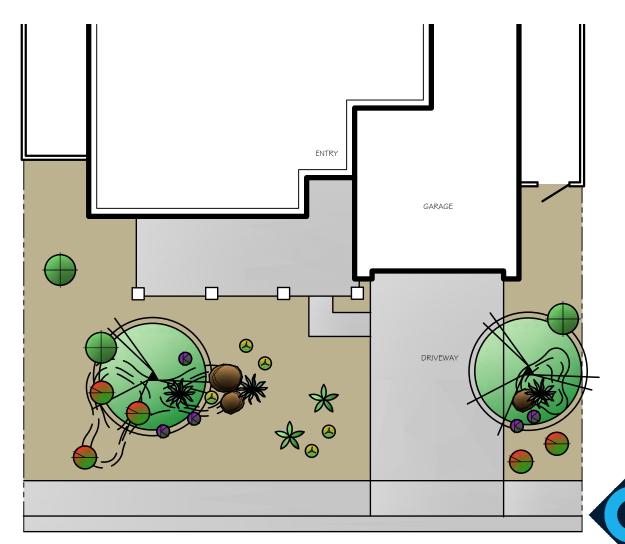
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Turf Package #3 **PLAN 5413**

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING



MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Homeowner: __ Date: Lot #: _____

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Standard Desert Package #1 PLAN 5414



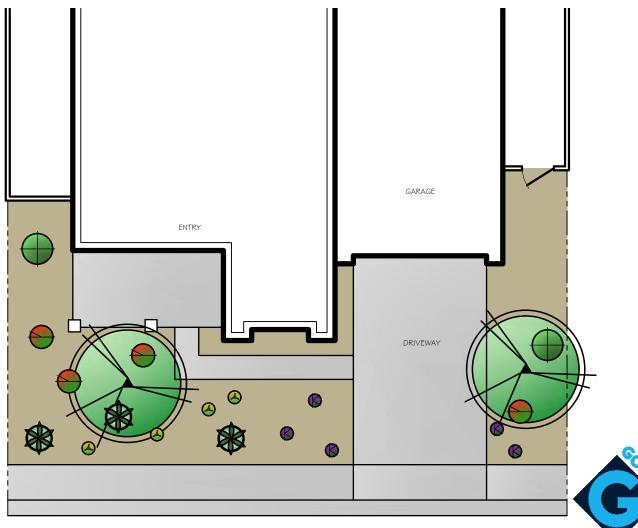
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Desert with Boulder Package #2 PLAN 5414

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

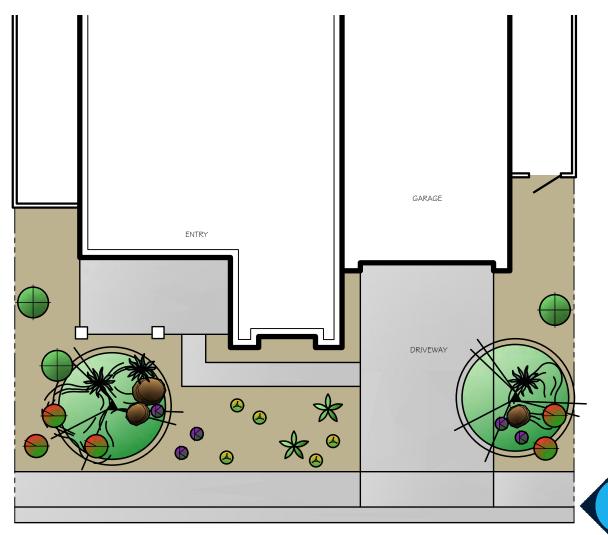
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Turf Package #3 **PLAN 5414**

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON



(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS



MOUNDING



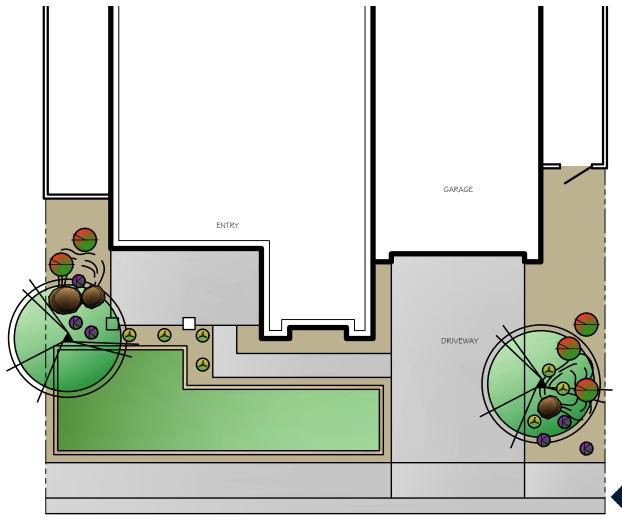
MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Homeowner: __ Date: Lot #: _____

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Standard Desert Package #1 PLAN 5423

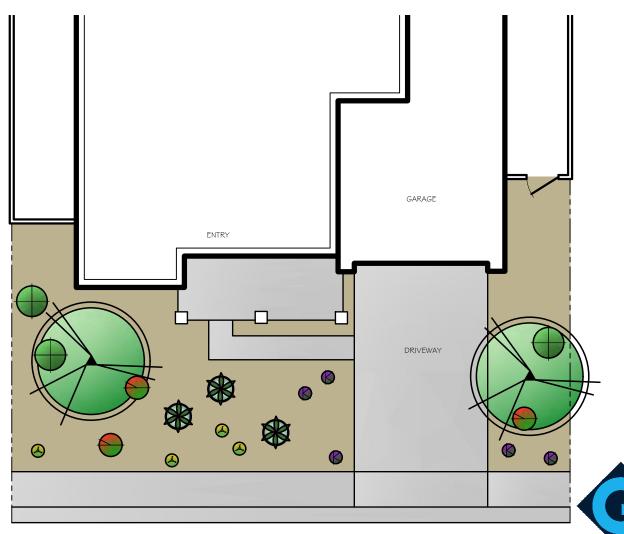
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Desert with Boulder Package #2 PLAN 5423

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

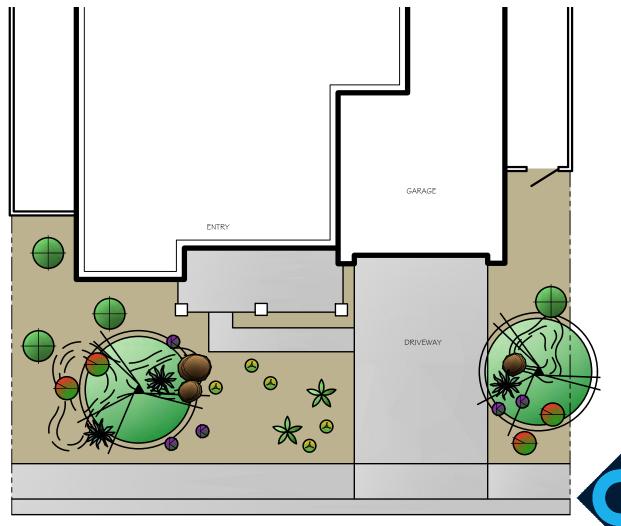
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE
DATE: 06/17/19



Upgrade Turf Package #3 **PLAN 5423**



(2): TREES @ 24" BOX



(18): SHRUBS/GROUNDCOVER @ 5 GALLON



(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS



MOUNDING



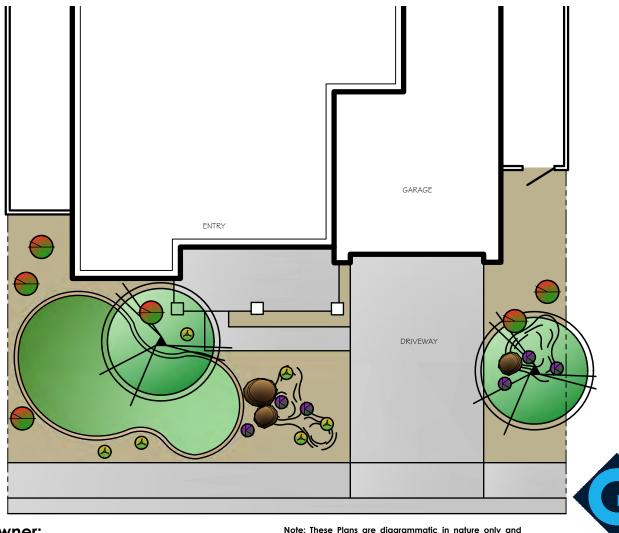
MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Homeowner: _ Date: Lot #: _____

SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Standard Desert Package #1 PLAN 5424



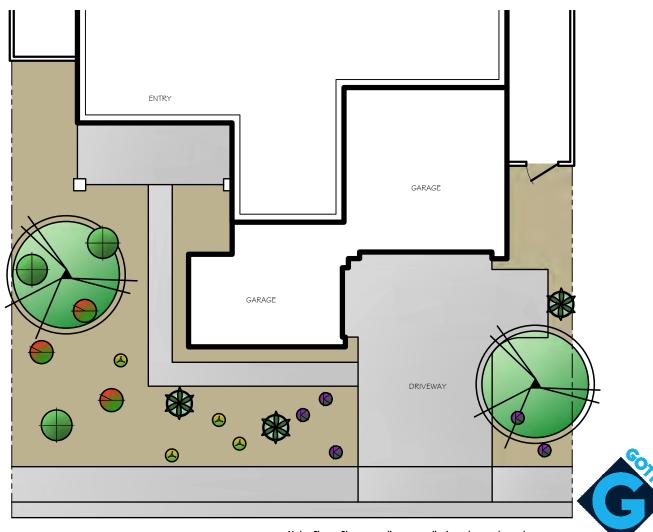
(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED
APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Desert with Boulder Package #2 PLAN 5424

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(5): ACCENTS @ 5 GALLON

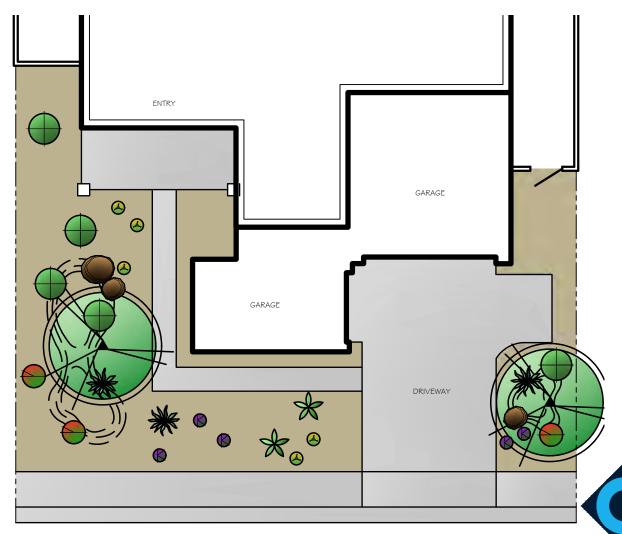
(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT

5/8" SCREENED APACHE BROWN



SCALE: N.T.S.

Note: These Plans are diagrammatic in nature only and are a general representation of the completed product. They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE



Upgrade Turf Package #3 **PLAN 5424**

(2): TREES @ 24" BOX

(18): SHRUBS/GROUNDCOVER @ 5 GALLON

(3): 1.5' X 2' X 2' SURFACE SELECT BOULDERS

MOUNDING



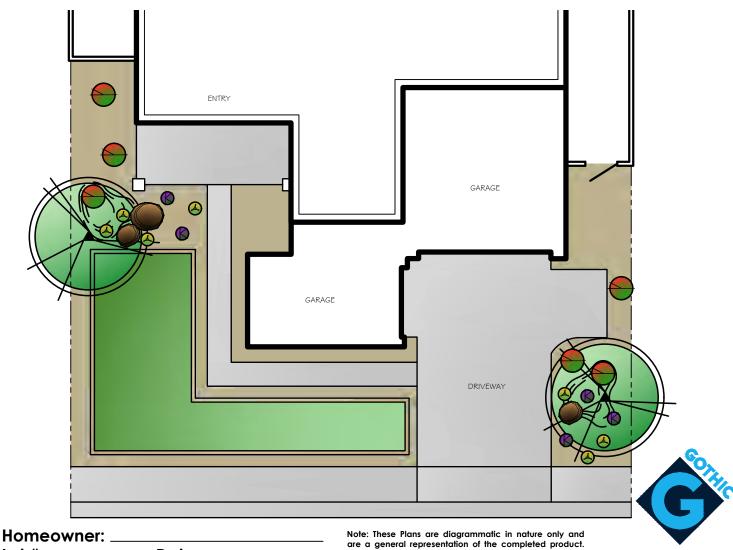
MIDIRON SOD LAWN PAVER BORDER UP TO 500 SQ. FT.

AUTOMATIC IRRIGATION SYSTEM

PRE-EMERGENT



5/8" SCREENED APACHE BROWN



Lot #: _____ Date:

SCALE: N.T.S.

They will vary due to site conditions, plans adjacent, ect. in order to keep an aesthetically pleasing and varied site scene. Plants are to be selected by the landscape contractor and may vary due to season, availability, ect.

GOTHIC LANDSCAPE

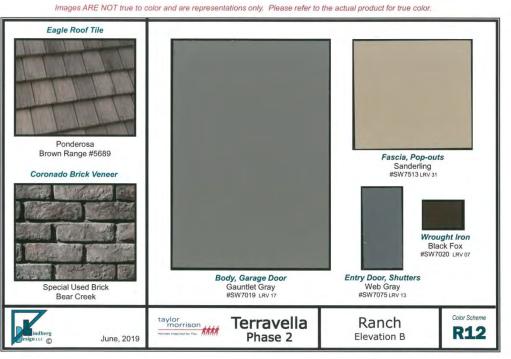














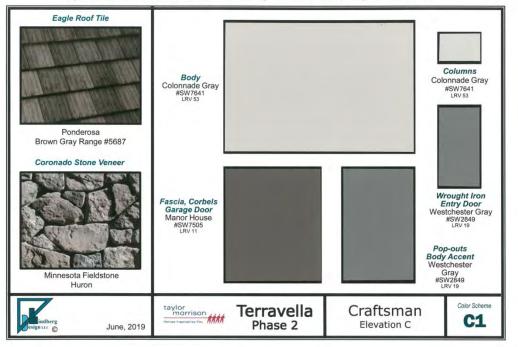
Terravella Phase 2

Ranch Elevation B Page 1 of 3

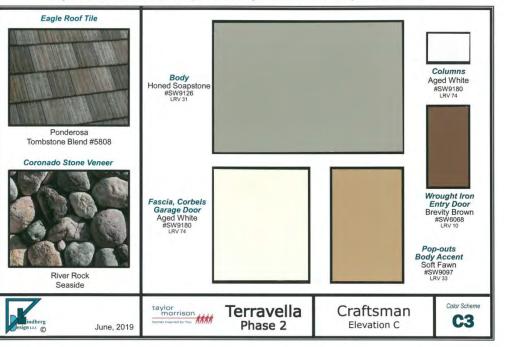
Images ARE NOT true to color and are representations only. Please refer to the actual product for true color,

Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.

Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.















Terravella Phase 2

Craftsman Elevation C Page 2 of 3 Images ARE NOT true to color and are representations only. Please refer to the actual product for true color,

Images ARE NOT true to color and are representations only. Please refer to the actual product for true color.















Terravella Phase 2

Prairie Elevation E Page 3 of 3

Terravella Taylor Morrison Entry Doors by Elevation



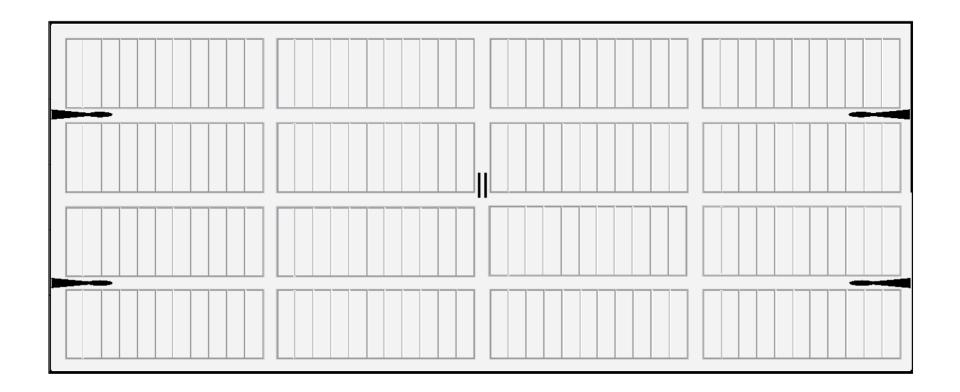
Therma-Tru FC60 Ranch Elevation



Therma-Tru CCR8205
Craftsman Elevation

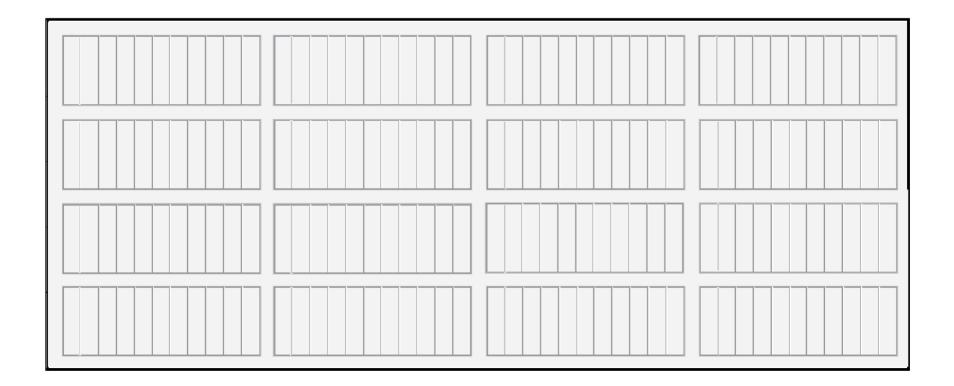


Therma-Tru CCR8222Prairie Elevation

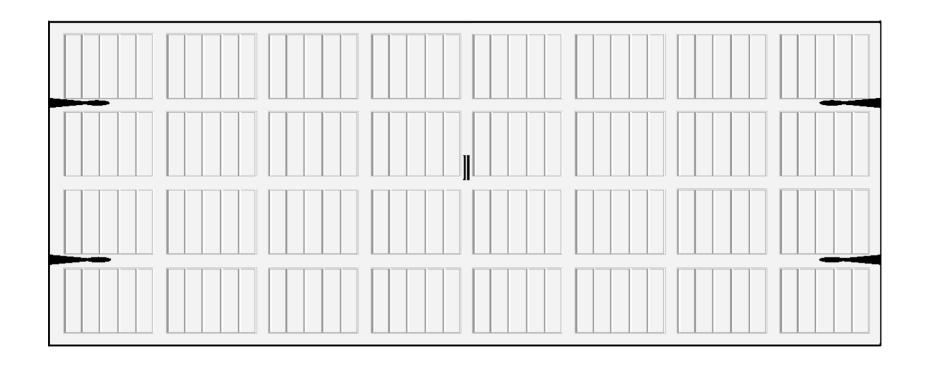


Taylor Morrison

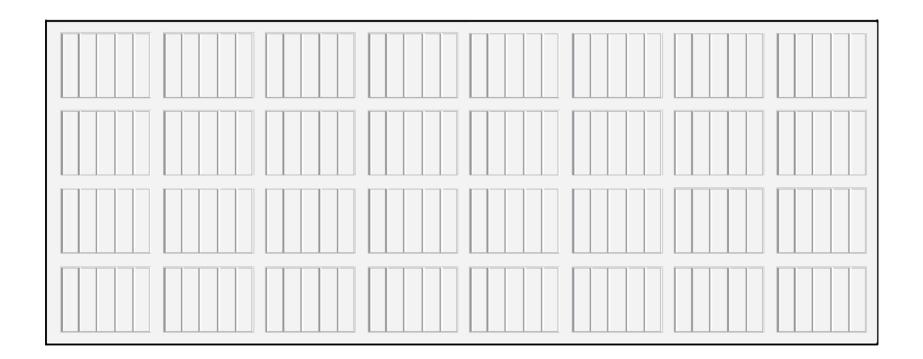
Terravella
Carriage Style Long Panel Door
With Optional Hardware
Prairie Elevation Only



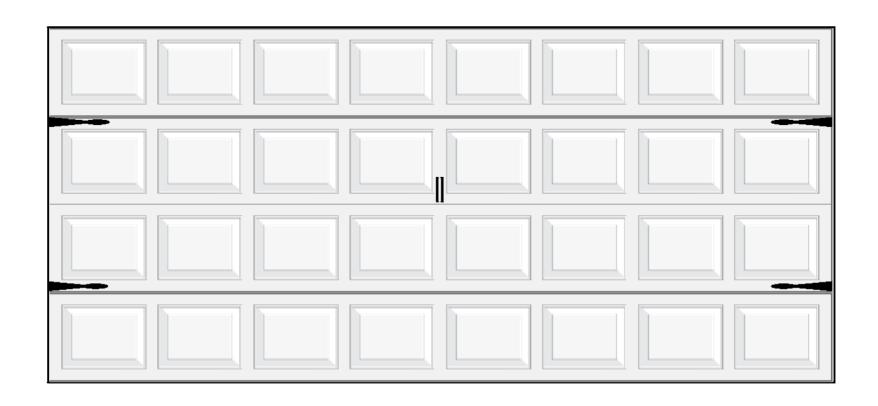
Taylor Morrison
Terravella
Carriage Style Long Panel Door
Prairie Elevation Only



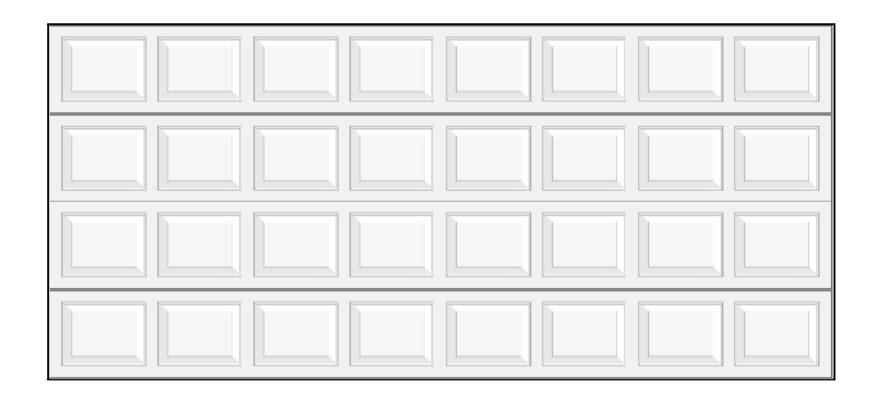
Taylor Morrison
Terravella
Carriage Style Short Panel Door
With Optional Hardware
Craftsman Elevation Only



Taylor Morrison
Terravella
Carriage Style Short Panel Door
Craftsman Elevation Only



Taylor Morrison Terravella Raised Short Panel Door With Optional Hardware Ranch Elevation Only



Taylor Morrison
Terravella
Raised Short Panel Door
Ranch Elevation Only

Taylor Morrison

Terravella Phase 2
Town of Queen Creek
Product Diversification Matrix
9/20/2019

| Product | Typical Lot | Typical Lot | Front | | Min Side | | | | |
|---------|-------------|-------------|-------------|------------------------|----------|--------------|------------|---------|--------|
| Width | Width | Depth | Setbacks | Rear Setbacks | Setbacks | Lot Coverage | Total Lots | Lot #'s | Zoning |
| | | | FLG 20' | 15' - 1 Story or Patio | | 55% 1 Story | | | |
| 54 | 70 | 125 | SLG/Liv 10' | 20' - 2 Story | 5' / 5' | 50% 2 Story | 80 | 277-356 | R1-5 |
| | | | FLG 20' | | | 45% 1 Story | | | |
| 54 | 70 | 125 | SLG/Liv 10' | 25' | 5' / 10' | 40% 2 Story | 4 | 357-360 | R1-9 |

4500 / 5000 Series - Expedition Series

| Plan # | Plan Name | Elevation | Liv SF | Non-Liv SF | Total SF | Depth | Floors | Std Bed | Std Bath | Garage |
|--------|-----------|-----------|--------|------------|----------|--------|--------|---------|----------|--------|
| 5403 | | Ranch | 2345 | 1150 | 3495 | 71'-0" | 1 | 3 | 2.5 | 3T |
| | | Craftsman | 2345 | 1150 | 3495 | 71'-0" | | | | |
| | | Prairie | 2345 | 1150 | 3495 | 71'-0" | | | | |
| 5413 | | Ranch | 2656 | 1208 | 3864 | 78'-0" | 1 | 3 | 2.5 | 3T |
| | | Craftsman | 2656 | 1208 | 3864 | 78'-0" | | | | |
| | | Prairie | 2656 | 1208 | 3864 | 78'-0" | | | | |
| 5423 | | Ranch | 3072 | 1015 | 4087 | 79'-0" | 1 | 4 | 3 | 3T |
| | | Craftsman | 3072 | 1015 | 4087 | 79'-0" | | | | |
| | | Prairie | 3072 | 1015 | 4087 | 79'-0" | | | | |
| 5404 | | Ranch | 3661 | 1362 | 5023 | 56'-6" | 2 | 4 | 3.5 | 4T |
| | | Craftsman | 3661 | 1362 | 5023 | 60'-6" | | | | |
| | | Prairie | 3661 | 1362 | 5023 | 56'-6" | | | | |
| 5414 | | Ranch | 4189 | 1534 | 5723 | 68'-6" | 2 | 4 | 3.5 | 4T |
| | | Craftsman | 4189 | 1534 | 5723 | 67'-0" | | | | |
| | | Prairie | 4189 | 1534 | 5723 | 69'-0" | | | | |
| 5424 | | Ranch | 4521 | 1141 | 5662 | 80'-0" | 2 | 5 | 3.5 | 2F 1S |
| | | Craftsman | 4521 | 1141 | 5662 | 80'-0" | | | | |
| | | Prairie | 4521 | 1141 | 5662 | 80'-0" | | | | |

Note: Unless noted otherwise, all information above is from the standard Ranch floorplan and elevation

Taylor Morrison Terravella Phase 2 - 54's

City of Queen Creek DR Guideline Sheet

See DR Guidelines for Definitions 9/19/2019 Rev: 10/28/19

| 3/13/2013 | Rev: 10/28/19 | | Г | | | Terravella P | hase 2 - 54's | | |
|-------------|--|--------------|----------|------------|---------------|------------------|---------------|--------------|---------------|
| DS.4 - Mini | mum Requirements | Section | Page # | 5403 | 5413 | 5423 | 5404 | 5414 | 5424 |
| 1 | Pre-Application Meeting w/Dev Services Dept | C1 | 5 | DONE | DONE | DONE | DONE | DONE | DONE |
| 2 | Front yard landscaping prior to C of O | D2b | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| 3 | Model Complexes: | D2c | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| | - Offer at least 3 front yard landsape opts, one to | 52.4 | _ | Yes | Yes | Yes | Yes | Yes | Yes |
| | be xeriscape option | D2c1 | 7 | V | | | V | V | |
| | - Drought tolerant trees, shrubs, cover | D2c2 | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| | - Predominant use of grass is prohibited | D2c3 | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| | - Parking lots to use same landscaping as models | D2c4 | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| 4 | Min 4 plans w/ 3 elevations each | D2d | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| | Same elevations prohibited across from or | D2d | 7 | | | | | | |
| 5 | adjecent to each other | | | Yes | Yes | Yes | Yes | Yes | Yes |
| 6 | Avoid monotinous, uniform roofs | D2e | 7 | Yes | Yes | Yes | Yes | Yes | Yes |
| 7 | Primary colors to neutral earthy colors | 2g1 | 8 | Yes | Yes | Yes | Yes | Yes | Yes |
| 8 | Min of 7 color and roof combinations used | 2g2 | 8 | Yes | Yes | Yes | Yes | Yes | Yes |
| 9 | Open gable roofs to be avoided | 2h | 8 | Yes | Yes | Yes | Yes | Yes | Yes |
| | Min 12" roof overhang measured from vertical | 2h | 8 | Per | Per | Per | Per | Per | Per |
| 10 | portion of home | | | elevation | elevation | elevation | elevation | elevation | elevation |
| | Use of accent materials (stone, brick, etc) is to be | 2i | 8 | Per | Per | Per | Per | Per | Per |
| 11 | used and have a natural ending point | | | elevation | elevation | elevation | elevation | elevation | elevation |
| | Fence returns facing the street are to match | 2j | 8 | 014 | 01/ | 01/ | 01/ | 014 | 014 |
| 4.2 | home's material and color, or the communities | | | OK | OK | OK | OK | OK | OK |
| 12 | theme wall | 2k | 0 | | | | | | |
| 13 | 3 car drives are to incorporate alternate paving | ZK | 8 | Std Pavers | Std Pavers | Std Pavers | Std Pavers | Std Pavers | Std Pavers |
| 15 | designs Interior dimensions of the garage are to be a min | 3a | 8 | 21'-10" x | 20'-0" v 36'. | 20'-4" v 20'. | 21'-5" x 36'- | 20'-7" v 37' | 20'-0" v 20'- |
| 14 | 20'x20' | Ja | ° | 20'-0" | 0" | 0" | 8" | 4" | 0" |
| 14 | Exterior material to be brick stone, masonry | 3c1 | 8, 9 | 20 -0 | 0 | 0 | O | - 4 | U |
| | veneer, frame or block stucco siding, skip trowel | 3c2 | 0, 3 | Per | Per | Per | Per | Per | Per |
| 15 | preferred | 302 | | elevation | elevation | elevation | elevation | elevation | elevation |
| 16 | Organic wood products are discouraged | 3c4 | 9 | ОК | OK | ОК | ОК | OK | ОК |
| | Street elevations to provide overhanging eaves, | 3d | 9 | | - | | | | - |
| | recessed windows, or other building details | | | Yes | Yes | Yes | Yes | Yes | Yes |
| 17 | | | | | | | | | |
| | All windows to meet one of the following two | 3f1 3f2 | 9 | | | | | | |
| | items: 2" min recess or appropriate trim at the sill, | | | Yes | Yes | Yes | Yes | Yes | Yes |
| 18 | head and jambs | | | | | | | | |
| 19 | Four sided architecture | 3g | 9 | Yes | Yes | Yes | Yes | Yes | Yes |
| | Cov'd rear patios to be not less than 5% of home | 3h | 9 | Yes | Yes | Yes | Yes | Yes | Yes |
| 20 | SF opn lot less than 18,000 SF. | | | | | | | | |
| | Cov'd rear patios to be not less than 6' deep and | 3h | 9 | Yes | Yes | Yes | Yes | Yes | Yes |
| 21 | shall be integrated in home's design | 2: | 0 | | | | | | |
| 22 | Windows and doors to be proportionate to one | 3j | 9 | Yes | Yes | Yes | Yes | Yes | Yes |
| 22 | another and aligned for sense of order Front loaded garages to be recessed a min of 5' | 3 1 | 10 | | | | | | |
| 23 | from front plane of home | 311 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 24 | Min of 3 different garage door designs | 3l3 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 24 | R1-5 and R1-7 zoning districts to have varied | 314 | 10 | 163 | 103 | 103 | 103 | 103 | Forward |
| | garages (orientation, plane, materials, etc) | 311 | 10 | | | | | | Facing 2 |
| | Barages (orientation) plane, materials, etc., | | | 3 Car | 3 Car | 3 Car | 4 Car | 4 Car | Car w/ |
| | | | | Tandem | Tandem | Tandem | Tandem | Tandem | Single Car |
| 25 | | | | L | | | | | Side Load |
| | Vehicular access to rear yards for storage should | 316 | 10 | 01/ | OV. | OV. | OV. | OV. | |
| 26 | be provided where possible | | | OK | OK | OK | OK | OK | OK |
| | Front elevation shall feature entrance for persons | 3m1 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 27 | rather than for automobiles | | | 162 | 162 | 162 | 162 | 162 | 162 |
| | Provide engaging architecture on the rest of the | 3m3 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 28 | home | | | 163 | 163 | 163 | 163 | 163 | 163 |
| | Remove decorative detail (stone) from garage | 3m4 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 29 | mass and add to livable massings | | | 1.55 | | | | | |
| | Provide one and half or two story massing to offset | 3m5 | 10 | Yes | Yes | Yes | Yes | Yes | Yes |
| 30 | garage | | 4.1 | | | | | | |
| 31 | Avoid large gables over garage | 3m7 | 11 | Yes | Yes | Yes | Yes | Yes | Yes |
| 32 | Turn garage 90 degrees to street | 3m8 | 11 | No | No | No | No Ont | No | Yes |
| 33 | Provide coach house details to garage door | 3m10 | 11 | Opt | Opt | Opt | Opt | Opt | Opt |
| 34 | Deeply recessed garage door 12"-24" | 3m12 | 11 | Yes | Yes | Yes | Yes | Yes | Yes |
| 35 36 | Use 2 single car doors ILO one double door Use paver driveways | 3m13 3m14 | 11 | No Yes | No Yes | No Ves | No Yes | No Yes | No Yes |
| 30 | Garage door color to match house or darker. No | 3m14 3m15 | 11 11 | See color | See color | Yes See color | See color | See color | See color |
| 37 | accent colors. | 211117 | 11 | schemes | schemes | schemes | schemes | schemes | schemes |
| | accent colors. | | | SCHEIHES | 3011011103 | 3611611163 | SCHEIHES | 3011011103 | SCHEINES |

20190097636 02/12/2019 03:06 BOOK 1439 PAGE 42 PAPER RECORDING

20190144526-1 navarrom

FINAL PLAT TERRAVELLA PHASE II

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, HAS SUBDIVIDED UNDER THE NAME "TERRAVELLA PHASE II", LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREON, AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF SAID "TERRAVELLA PHASE II", AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN TO EACH, RESPECTIVELY ON SAID PLAT, AND THAT TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, AS OWNER, HEREBY DEDICATES TO THE PUBLIC FOR USE AS SUCH STREETS, AND OTHER EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

OWNER HEREBY DEDICATES AND CONVEYS TO THE TOWN OF QUEEN CREEK ALL REAL PROPERTY DESIGNATED ON THIS PLAT AS "RIGHT-OF-WAY" FOR USE AS PUBLIC RIGHT-OF-WAY.

ALL TRACTS THAT WILL NOT BE CONVEYED TO THE TOWN OF QUEEN CREEK AND ALL COMMON PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH PLANS APPROVED BY THE TOWN OF QUEEN CREEK AND SHALL BE CONVEYED BY WARRANTY (OR SPECIAL WARRANTY) DEED TO THE TERRAVELLA COMMUNITY ASSOCIATION. THE TERRAVELLA COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON PROPERTY.

TRACTS "3B", "3C", "3D", "3E", "3F", "3G", "3H", "3I", "3J", "3K", "3L", "3M", "4A", "4B", "4C", "4D", "4E", "4F", "4G", "4H", "4I", "4J", "4K" AND "4L" ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PLATTED AS COMMON PROPERTY FOR THE USE AND ENJOYMENT OF THE TERRAVELLA COMMUNITY ASSOCIATION AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS. CONDITIONS AND RESTRICTIONS.

THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB INCLUDING MEDIANS SHALL BE THE RESPONSIBILITY OF THE TERRAVELLA COMMUNITY ASSOCIATION OR ABUTTING PROPERTY OWNER.

ALL PROPERTY, AMENITIES AND FACILITIES PROPOSED TO BE MAINTAINED BY THE TERRAVELLA COMMUNITY ASSOCIATION ARE HEREWITH PLATTED AS COMMON PROPERTY WITH AN UNDIVIDED INTEREST OWNED IN COMMON BY EACH PARCEL

EASEMENTS ARE GRANTED FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF:

TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE OFFICER LISTED BELOW. THEREUNTO DULY AUTHORIZED

TAYLOR MORRISON / ARIZONA, INC., AN ARIZONA CORPORATION

BY: Theren Train NAME: SHAMON FRANCOEMR ITS: VICE PRESIDENT

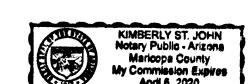
ACKNOWLEDGMENT

STATE OF ARIZONA

DAY OF JANUARY 2019 BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED Shannon Franceur, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

COUNTY OF MARICOPA



LEGAL DESCRIPTION

THAT PART OF THE WEST HALF OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 10, FROM WHICH THE TOWN OF QUEEN CREEK BRASS CAP IN HAND HOLE MARKING THE WEST QUARTER CORNER OF SAID SECTION 10 BEARS NORTH 00 DEGREES 42 MINUTES 21 SECONDS WEST, A DISTANCE OF 2,647.09 FEET;

THENCE NORTH 00 DEGREES 42 MINUTES 31 SECONDS WEST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 10. A DISTANCE OF 922.63 FEET TO A POINT:

THENCE DEPARTING SAID WEST LINE, NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 70.00 FEET TO THE EAST LINE OF THE WEST 70 FEET OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 00 DEGREES 42 MINUTES 31 SECONDS EAST, ALONG SAID EAST LINE, A DISTANCE OF 15.00 FEET TO A POINT; THENCE DEPARTING SAID EAST LINE, NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 325.88 FEET TO THE POINT OF BEGINNING:

THENCE NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 15.01 FEET; THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 15.01 FEET; THENCE NORTH 89 DEGREES 16 MINUTES 55 SECONDS EAST, A DISTANCE OF 202.92 FEET;

THENCE SOUTH 00 DEGREES 43 MINUTES 33 SECONDS EAST, A DISTANCE OF 120.29 FEET TO THE BEGINNING OF A NONTANGENT CURVE TO THE RIGHT, CONCAVE SOUTHERLY AND HAVING A RADIUS POINT WHICH BEARS SOUTH OO DEGREES 43 MINUTES 33 SECONDS EAST, A RADIAL DISTANCE OF 7685.00 FEET:

THENCE EASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 00 DEGREES 32 MINUTES 11 SECONDS, AN ARC DISTANCE OF 71.94 FEET TO A POINT:

THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 120.65 FEET; THENCE NORTH 89 DEGREES 55 MINUTES 08 SECONDS EAST, A DISTANCE OF 385.02 FEET; THENCE SOUTH 00 DEGREES 04 MINUTES 52 SECONDS EAST, A DISTANCE OF 4.28 FEET; THENCE SOUTH 89 DEGREES 26 MINUTES 38 SECONDS EAST, A DISTANCE OF 355.50 FEET; THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 119.50 FEET; THENCE NORTH 21 DEGREES 00 MINUTES 26 SECONDS WEST, A DISTANCE OF 33.39 FEET; THENCE NORTH 00 DEGREES 43 MINUTES 05 SECONDS WEST, A DISTANCE OF 250.37 FEET; THENCE SOUTH 89 DEGREES 26 MINUTES 41 SECONDS EAST, A DISTANCE OF 1208.29 FEET; THENCE SOUTH 00 DEGREES 42 MINUTES 25 SECONDS EAST, A DISTANCE OF 1326.34 FEET; THENCE NORTH 89 DEGREES 43 MINUTES 03 SECONDS WEST, A DISTANCE OF 1859.92 FEET; THENCE NORTH 00 DEGREES 16 MINUTES 57 SECONDS EAST, A DISTANCE OF 55.00 FEET; THENCE NORTH 00 DEGREES 33 MINUTES 22 SECONDS EAST, A DISTANCE OF 275.58 FEET; THENCE NORTH 89 DEGREES 26 MINUTES 38 SECONDS WEST, A DISTANCE OF 363.66 FEET; THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 153.85 FEET; THENCE NORTH 87 DEGREES 47 MINUTES 04 SECONDS EAST, A DISTANCE OF 15.00 FEET; THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 302.05 FEET; THENCE SOUTH 87 DEGREES 47 MINUTES 04 SECONDS WEST, A DISTANCE OF 15.00 FEET THENCE NORTH 02 DEGREES 12 MINUTES 56 SECONDS WEST, A DISTANCE OF 126.74 FEET TO THE POINT OF BEGINNING

NOTES

- 1. NO STRUCTURES OR VEGETATION OF ANY KIND MAY BE CONSTRUCTED OR ANY VEGETATION PLANTED NOR ALLOWED TO GROW WITHIN OR ACROSS NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES OR EASEMENTS WHICH WOULD IMPEDE THE FLOW OF WATER OVER, UNDER OR THROUGH THE EASEMENTS THAT ARE A PART OF THIS DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION OF THE TOWN. THE TOWN MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND OF THE EASEMENT.
- 2. IN EASEMENTS FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER, OR ANY COMBINATION THEREOF, ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN THE EASEMENT AREA. NO TREES ARE ALLOWED.
- 3. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND WITH THE EXCEPTION OF POWER LINES WHICH ARE 69KV LINES OR MORE.
- 4. 69KV ELECTRICAL LINES MUST BE RELOCATED OUTSIDE OF THE RIGHT-OF-WAY OR TO THE EDGE OF THE RIGHT-OF-WAY.
- 5. ELECTRICAL LINES SHALL BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION.
- 6. CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES AND DRIVEWAYS.
- 7. IMPROVEMENTS TO BE CONSTRUCTED WITHIN THE 50' GAS EASEMENT TO KINDER MORGAN SHALL COMPLY WITH THE TERMS OF THE EASEMENT RECORDED IN DOC. 2017-0178724, M.C.R.
- 8. ALL RETENTION BASINS MUST BE MAINTAINED TO DRAIN WITHIN (36) THIRTY-SIX HOURS AFTER ANY STORM EVENT UP TO AND INCLUDING THE 100-TEAR 2 HOUR STORM. THE OWNERS OF ANY SUCH BASINS FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASINS INTO COMPLIANCE.
- 9. THE TOWN OF QUEEN CREEK IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY LANDSCAPED AREAS WITHIN THIS PROJECT. THE TERRAVELLA COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPED ISLANDS AND MEDIANS WITH THE EXCEPTION OF THOSE LOCATED WITHIN ARTERIAL ROADWAYS. THE MAINTENANCE OF LANDSCAPING WITHIN TRACTS "3B", "3C", "3D", "3E", "3F", "3G", "3H", "3I", "3J", "3K", "3L", "3M", "4A", "4B", "4C", "4D", "4E", "4F", "4G", "4H", "4I", "4J", "4K" AND "4L" SHALL BE THE RESPONSIBILITY OF THE TERRAVELLA COMMUNITY ASSOCIATION.
- 10. THIS SITE, DUE TO ITS PROXIMITY TO PHOENIX MESA GATEWAY AIRPORT, IS LIKELY TO EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH COULD GENERATE NOISE LEVELS WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIRCRAFT TRAFFIC CONSISTS OF CARGO, COMMERCIAL, SCHOOL, CROP DUSTING, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT.
- 11. THIS SITE LIES IN THE VICINITY OF THE UNION PACIFIC RAILWAY LINE. THIS RAILWAY LINE EXPERIENCES AT LEAST 10 TRAINS PER DAY. ALL BUILDERS ARE ENCOURAGED TO USE GENERALLY ACCEPTED NOISE/SOUND ATTENUATION MEASURES IN CONSTRUCTION OF ALL BUILDINGS WITHIN 300' OF THE RAILWAY LINE.
- 12. THIS SITE IS NEAR CROP DUSTING OPERATIONS. GENERAL AGRICULTURE OPERATIONS ALSO EXIST IN THE AREA AND THIS SITE MAY BE SUBJECT TO NOISE, DUST AND POSSIBLY ODORS NORMALLY ASSOCIATED WITH AGRICULTURAL OPERATIONS. ADDITIONALLY, THIS SITE IS LOCATED IN AN AREA WHERE THERE ARE AIRCRAFT OPERATIONS ASSOCIATED WITH AGRICULTURE
- 13. THIS SITE IS IN CLOSE PROXIMITY TO FUTURE COMMERCIAL DEVELOPMENT, AND MAY EXPERIENCE NOISE FROM DELIVERIES, TRAFFIC, LIGHTS AND PARKING ISSUES RELATED TO THE OPERATION OF THESE COMMERCIAL PROPERTIES.
- 14. LOT, TRACT, PARCEL, CENTERLINE AND PARCEL MONUMENTATION ARE OR WILL BE PERMANENTLY SET BY COMPLETION OF CONSTRUCTION, BY THE RESPONSIBLE SURVEYOR HIRED BY OWNER OR ITS ASSIGNEE.
- 15. THIS SUBDIVISION IS WITHIN AN AIRPORT IMPACT OVERLAY DISTRICT.

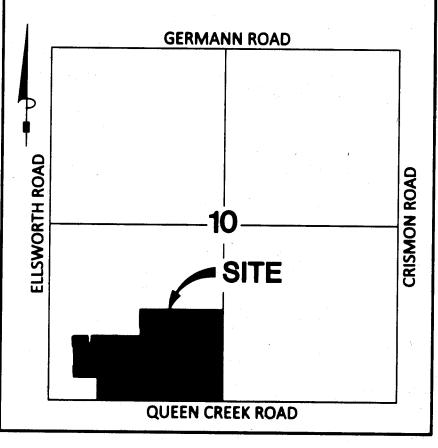
OWNER

TAYLOR MORRISON / ARIZONA, INC. 9000 E PIMA CENTER PARKWAY, SUITE 350 SCOTTSDALE, AZ 85258 PHONE: 480-840-8100 CONTACT: SHANNON FRANCOEUR

ENGINEER

BOWMAN CONSULTING 1295 W. WASHINGTON STREET #108 TEMPE. AZ 85281 PHONE: (480) 629-8830

CONTACT: JOHN GRAY



VICINITY MAP

SHEET INDEX

COVER, NOTES, DEDICATION, SITE DATA, BASIS OF BEARINGS, CERTIFICATIONS KEY MAP, LEGEND, TYPICAL LOT DETAILS, LOT AREA TABLE, TRACT AREA & USAGE TABLE, LINE & CURVE TABLES FINAL PLAT PLAN SHEETS

SITE DATA

R1-5, R1-9 NUMBER OF LOTS

GROSS AREA NET AREA MINIMUM LOT AREA MAXIMUM LOT AREA AVERAGE LOT AREA

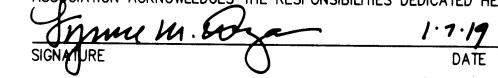
2,417,243 SQ.FT. OR 55.4923 ACRES, MORE OR LESS 1,808,649 SQ.FT. OR 41.5209 ACRES, MORE OR LESS 5.700 SQ.FT. OR 0.1309 ACRES, MORE OR LESS 11,250 SQ.FT. OR 0.2583 ACRES, MORE OR LESS 7.373 SQ.FT. OR 0.1693 ACRES, MORE OR LESS

BASIS OF BEARINGS

NORTH 00 DEGREES 42 MINUTES 31 SECONDS WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO BOOK 1195 OF MAPS, PAGE 17, M.C.R.

HOMEOWNERS RATIFICATION

BY THIS RATIFICATION LYNNE M. DURAN, DULY ELECTED PRESIDENT OF THE TERRAVELLA COMMUNITY ASSOCIATION ACKNOWLEDGES THE RESPONSIBILITIES DEDICATED HEREIN.

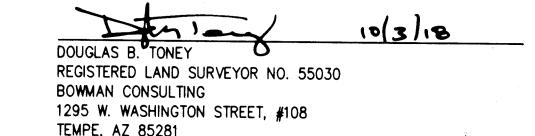


DEED RESTRICTIONS

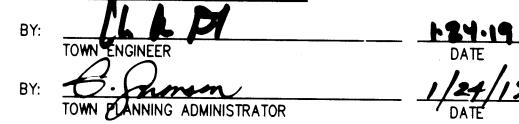
COVENANTS, CODES AND RESTRICTIONS FOR TERRAVELLA, QUEEN CREEK, ARIZONA ARE RECORDED IN DOCUMENT NO. 2017-0900627, MARICOPA COUNTY RECORDS, ARIZONA

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET OR LOCATED AS DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.



DEPARTMENT APPROVALS



TOWN APPROVAL

APPROVED, BY THE TOWN COUNCIL OF QUEEN CREEK, ARIZONA, THIS 17th DAY OF September 2018.



ASSURED WATER SUPPLY

THE ARIZONA DEPARTMENT OF WATER RESOURCES HAS GRANTED A CERTIFICATE OF ASSURED WATER SUPPLY, DWR FILE NO. 29-700938.0001.

ASSURANCE STATEMENT

ASSURANCE IN THE FORM OF A CASH, PERFORMANCE OR SUBDIVISION BOND OR IRREVOCABLE LETTER OF CREDIT IN AN AMOUNT OF \$ 581 .376.13 HAS BEEN DEPOSITED WITH THE TOWN ENGINEERING MANAGER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.



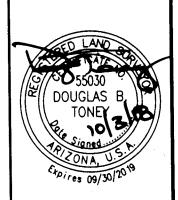
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DATE: 10/3/18 PROJ NO: 050263-01 TASK NUM: 001 DRAWN BY: DT

CHECKED: KG QUALITY: CLIENT NO: SCALE

N.T.S. 1 of 5

| EXAMPLE, IF ONE LOT DE YARD MINIMUM OF IN BUILDING | |
|---|------------|
| | |
| SIDE SETBACK LINE REAR SETBACK LINE FRONT SETBACK LINE PUBLIC UTILITY EASEMENT RIGHT OF WAY | |
| FSL ⁽²⁾ ' FSL ⁽¹⁾ | VAN GIV |





S 4 VE. N N 4

| KENINGA | | | | | | | | | 6 Bowman Consulting Group, Ltd. | • |
|--------------|-----|-----|-----|----|-----|-----|----|----|---------------------------------|---|
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| DRAWN BY: DT | | | | | | | | | | |

CHECKED: KG

SCALE

N.T.S.

2 of 5

QUALITY: CLIENT NO:

(3) 15' REAR SETBACK FOR SINGLE STORY PRODUCTS OR COVERED PATIOS (4) 20' REAR SETBACK FOR TWO STORY PRODUCTS (5) 0' SIDE SETBACK FOR ATTACHED PRODUCTS (6) ADJOINING LOTS SHALL HAVE A MINIMUM SPACING OF FIFTEEN FEET (15') BETWEEN BUILDINGS. FOR HAS AN EXISTING FIVE FOOT (5') SIDE YARD SETBACK, THEN THE ADJOINING LOT SHALL HAVE A SID

| 15' RSL ⁽³⁾ | A TEN FOOT (10') SETBACK. ORIENTATION TO THE STREET. | STAGGERED SETBACKS ARE | ENCOURAGED TO CRE | ATE DIFFERENTIATION IN B |
|--|--|------------------------|---|--|
| 5' SSL ⁽⁵⁾ PUE 5' SSL ⁽⁵⁾ 7 TRACT 7 20' FSL ⁽²⁾ 7 10' FSL ⁽¹⁾ 8' PUE 8' PUE R/W 25' R/W | 20' RSL ⁽⁴⁾ — 15' RSL ⁽³⁾ — 5' SSL ⁽⁵⁾ — | 20' PSI (4)- | 25' RSL — 90' | 5' SSL ⁽⁶⁾ SSL SIDE RSL REAR FSL FRON PUE PUBL R/W RIGH |
| C/L STRE | 8' PUE | | ===+-================================== | ===== |

TYP

20' RSL⁽⁴⁾¬

CURVE TABLE

218.63' 50.00'

C30 | 9.18' | 25.00' | 021'02'22"

C32 | 301.73' | 7685.00' | 002'14'58"

50.00'

78.54' | 50.00' | 090'00'00"

9.18' | 25.00' | 021'02'22"

30.77' | 25.00' | 070'31'44"

218.63' 50.00' 250'31'44"

C43 | 30.77' | 25.00' | 070'31'44"

C44 | 264.71' | 7394.00' | 002'03'04

C45 | 274.76' | 7635.00' | 002'03'43'

C46 | 73.96' | 5895.00' | 000'43'08'

78.54' 50.00'

96.90' 50.00'

287.75' | 7344.00' | 002'14'42"

50.00' 110'53'05"

250'31'44"

090'00'00"

090,00,00

111'02'22"

021'02'22"

111'02'22"

250'31'44"

CURVE # LENGTH | RADIUS |

C29 | 9.18' | 25.00'

C31 | 97.03' | 50.00'

78.5**4**′

C38 | 9.18' | 25.00'

C39 | 96.90' | 50.00'

C40 | 218.63' | 50.00'

C37

C28 96.77'

CURVE TABLE

C2 | 131.23' | 1007.42' | 007'27'49

C4 | 129.30' | 992.58' | 007'27'49"

C5 | 24.33' | 1007.42' | 001'23'01'

C6 | 23.31' | 7.42' | 180°00'00"

C13 | 68.47' | 1000.00' | 003'55'23"

C14 | 26.78' | 1007.42' | 001°31'23"

C16 | 26.39' | 992.58' | 001'31'23"

23.31

30.77

23.97' 992.58' 001'23'01"

123.19' | 1032.00' | 006'50'22"

| 23.38' | 968.00' | 001°23'02*

114.43' | 968.00' | 006'46'24'

23.31' 7.42' 180'00'00"

23.42' | 968.00' | 001'23'10"

320.81' | 7660.00' | 002'23'59"

308.67' | 7369.00' | 002'24'00"

25.00'

25.00'

218.63' 50.00'

1032.00' | 008'06'45"

1000.00' 004'11'22"

7.42' 180'00'00"

7.42' | 180'00'00"

7.42' | 180'00'00"

070'31'44"

070'31'44"

136.81' | 1000.00' | 007'50'20'

7.42' | 180'00'00'

CURVE # | LENGTH | RADIUS |

C3 23.31'

C12 73.12'

C15

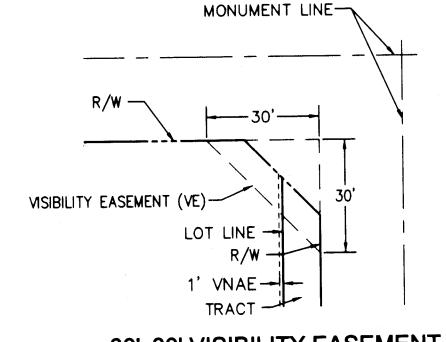
C20

| 25' R/W | 5' SSL ⁽⁵⁾ | 5' SSL ⁽⁵⁾ |
|---------------------------|-----------------------|-----------------------|
| C/L STREET | + 8' PUE | |
| PICAL CORNER LOT (N.T.S.) | <u> </u> | <u> </u> |
| | | |

KEY MAP

1"=200'

TYPICAL LOT DETAIL



30'x30' VISIBILITY EASEMENT

(N.T.S.) VISIBILITY EASEMENT RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE VISIBILITY EASEMENT EXCEPT TREES TRIMMED TO NOT LESS THAN 6' ABOVE THE GROUND. TREES SHALL BE SPACED NOT LESS THAN 8' APART.

N.T.S. NOT TO SCALE M.C.R. MARICOPA COUNTY RECORDER

- - - - C/L STREET

25' R/W

BUILDING SETBACK LINE PUBLIC UTILITY EASEMENT R/W RIGHT-OF-WAY SWE SIDEWALK EASEMENT

LEGEND

VISIBILITY EASEMENT VNAE VEHICULAR NON-ACCESS EASEMENT ___ - SECTION LINE

FOUND SECTION CORNER AS NOTED FOUND SURVEY MONUMENT AS NOTED

WITH CAP AND TAG 55030

● C/L MONUMENT TO BE SET PER MAG STANDARDS

▲ SUBDIVISION CORNER TO BE SET WITH 1/2" REBAR

| RIGHT-OF-WAY |
|-------------------------------|
| PROPERTY LINE |
| ROADWAY MONUMENT LINE |
| SUBDIVISION BOUNDARY |
| EASEMENT LINE |
| VEHICULAR NON-ACCESS EASEMENT |
| |

| ₂₉₂ | 291 | 290 | 289 | 288 | 287 | 286 | 285 | 284 | 283 | 282 | 281 | 280 | 279 | 278 | 277 | **REINS ROAD** 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 293 | 294 | 295 | TRACT 4B CLICET E | TRACT 4D-

| | TRACT 3B— TRACT 3C | TRACT 4℃— SHEE I 5 318 317 316 315 314 313 312 311 310 309 308 307 306 |
|--|--|--|
| 181 182 183 184 185 | 187 188 189 190 191 193 194 195 196 197 | CARRIAGE WAY TRACT 4A |
| | MGE WAY 88 75 70 70 70 70 70 70 70 70 70 70 70 70 70 | |
| TRACT 3D TRACT 3E | TRACT 3F- | = 1 TRACT 3H 1 |
| | T 3 MAYBERRY ROAD | ± 337 338 339 340 341 U 342 343 344 345 346 |
| 259 258 257 256 256 254 | 252 253 254 245 245 245 245 245 245 245 245 245 | TRACT 4G - TRACT 4H - TRACT 4K 356 355 354 353 352 7 351 350 349 348 347 |
| | | SHEET 4 THORNTON ROAD |
| | THORNTON ROAD TRACT 3J | TRACT 4I 357 358 359 360 |

QUEEN CREEK ROAD

| OPEN | SPACE, | LA |
|------|--------|----|
| OPEN | SPACE, | LA |
| OPEN | SPACE, | L/ |
| OPEN | SPACE, | L |
| OPEN | SPACE, | L/ |
| OPEN | SPACE, | L |
| OPEN | SPACE, | L |
| OPEN | SPACE, | L |
| | | |
| | | |
| | | |

OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER ADRIAN FONTES BOOK 1439 PAGE 42 PAPER RECORDING

20190144526-1

navarrom

355 8,750 0.2009

356 8,749 0.2008

357 | 11,250 | 0.2583

358 | 11,250 | 0.2583

359 | 11,250 | 0.2583

360 | 11,250 | 0.2583

186 | 6,044 | 0.1388 307 8,750 0.2009 247 | 6,000 | 0.1377 187 | 6,069 | 0.1393 308 8,750 0.2009 248 | 6,000 | 0.1377 188 | 6,097 | 0.1400 309 8,750 0.2009 249 6,000 0.1377 189 | 6,125 | 0.1406 310 8,750 0.2009 250 6,000 0.1377 190 | 6,153 | 0.1413 311 8,750 0.2009 251 | 6,000 | 0.1377 191 | 6,143 | 0.1410 312 8,750 0.2009 252 | 6,000 | 0.1377 192 | 6,044 | 0.1388 313 | 8,750 | 0.2009 253 | 6,000 | 0.1377 193 | 6,001 | 0.1378 314 | 8,750 | 0.2009 254 | 6,438 | 0.1478 194 | 6,001 | 0.1378 315 | 8,750 | 0.2009 255 | 6,404 | 0.1470 195 | 6,000 | 0.1377 256 | 6,353 | 0.1458 316 8,750 0.2009 196 | 6,000 | 0.1377 317 8,750 0.2009 257 6,284 0.1443 197 | 6,000 | 0.1377 318 8,700 0.1997 258 6,214 0.1427 198 | 5,950 | 0.1366 319 | 8,750 | 0.2009 259 6,831 0.1568 199 | 6,000 | 0.1377 320 8,750 0.2009 260 6,209 0.1425 200 | 6,000 | 0.1377 321 8,750 0.2009 261 | 6,000 | 0.1377 201 | 6,000 | 0.1377 322 | 8,750 | 0.2009 262 | 6,000 | 0.1377 202 | 6,000 | 0.1377 323 | 8,750 | 0.2009 263 | 6,000 | 0.1377 203 | 6,000 | 0.1377 324 8,750 0.2009 204 | 6,000 | 0.1377 264 6,000 0.1377 325 8,750 0.2009 265 | 6,000 | 0.1377 205 | 6,000 | 0.1377 326 8,750 0.2009 266 | 5,950 | 0.1366 206 | 6,000 | 0.1377 327 8,750 0.2009 267 | 5,950 | 0.1366 207 | 6,000 | 0.1377 328 8,709 0.1999 268 | 6,000 | 0.1377 208 | 6,074 | 0.1394 329 | 8,709 | 0.1999 269 | 6,000 | 0.1377 6,139 0.1409 330 8,750 0.2009 270 | 6,000 | 0.1377 6,139 | 0.1409 271 6,000 0.1377 331 8,750 0.2009 211 6,139 0.1409 332 8,750 0.2009 272 | 6,000 | 0.1377 212 | 6,139 | 0.1409 333 8,750 0.2009 273 6,000 0.1377 213 | 6,198 | 0.1423 334 8,750 0.2009 274 6,000 0.1377 214 6,029 0.1384 335 8,750 0.2009 275 6,000 0.1377 215 6,039 0.1386 336 8,750 0.2009 276 | 6,328 | 0.1453 216 6,039 0.1386 337 9,155 0.2102 277 | 8,945 | 0.2053 217 6,039 0.1386 338 8,750 0.2009 278 8,808 0.2022 218 6,039 0.1386 339 8,750 0.2009 279 8,808 0.2022 219 6,024 0.1383 340 8,750 0.2009 220 6,000 0.1377 280 8,808 0.2022 341 | 8,700 | 0.1997 221 | 6,000 | 0.1377 281 8,808 0.2022 342 8,700 0.1997 282 | 8,808 | 0.2022 222 | 6,000 | 0.1377 343 8,750 0.2009 283 8,808 0.2022 223 6,000 0.1377 284 | 8,808 | 0.2022 344 8,750 0.2009 224 6,000 0.1377 345 8,750 0.2009 285 8,808 0.2022 225 6,000 0.1377 346 8,990 0.2064 286 | 8,807 | 0.2022 226 | 6,000 | 0.1377 287 8,807 0.2022 347 8,769 0.2013 227 | 6,000 | 0.1377 348 8,750 0.2009 288 8,807 0.2022 228 | 6,000 | 0.1377 349 8,750 0.2009 289 | 8,807 | 0.2022 229 | 6,000 | 0.1377 350 8,750 0.2009 290 8,807 0.2022 230 5,950 0.1366 351 8,700 0.1997 291 8,807 231 5,700 0.1309 0.2022 352 8,700 0.1997 292 9,087 0.2086 232 5,750 0.1320 353 8,750 0.2009 293 | 8,714 | 0.2000 233 5,750 0.1320 354 8,750 0.2009 294 | 8,764 | 0.2012 234 5,750 0.1320

295 8,764 0.2012

296 8,764 0.2012

297 8,764 0.2012

298 8,764 0.2012

299 8,764 0.2012

300 8,764 0.2012

235 | 5,749 | 0.1320

236 | 5,982 | 0.1373

237 | 6,000 | 0.1377

238 | 6,000 | 0.1377

239 6,000 0.1377

240 | 6,000 | 0.1377

LOT AREA TABLE

LOT | SQ. FT. | ACRES

241 | 6,000 | 0.1377

242 | 6,000 | 0.1377

243 | 6,000 | 0.1377

244 6,000 0.1377

245 | 5,950 | 0.1366

246 | 5,950 | 0.1366

LOT AREA TABLE

LOT | SQ. FT. | ACRES

181 | 6,905 | 0.1585

182 | 6,135 | 0.1408

183 | 6,074 | 0.1394

184 6,057 0.1390

185 | 6,033 | 0.1385

| L18 | 28.28 | N45'33'22"E |
|--------------|--------|-------------|
| L19 | 28.28' | N44'26'38"W |
| L20 | 28.28' | N45'33'22"E |
| L21 | 28.28' | N44'26'38"W |
| L22 | 28.28' | N45'33'22"E |
| L23 | 28.28' | N44'26'38"W |
| L24 | 28.28' | N45'33'22"E |
| L25 | 28.28' | N44'26'38"W |
| L26 | 28.28' | N45'33'22"E |
| L27 | 28.28' | N45'33'22"E |
| L28 | 28.28' | N44'26'38"W |
| L29 | 28.28' | N44'26'38"W |
| L30 | 28.28 | N45'33'22"E |
| L31 | 28.28' | N44'26'38"W |
| L32 | 28.44' | N44'45'45"W |
| L33 | 28.13' | N45'14'15"E |
| L34 | 28.22' | N43'17'16"E |
| L35 | 28.35' | N46'42'30"W |
| L36 | 28.28' | N44'26'38"W |
| L37 | 28.28' | N45'33'22"E |
| L38 | 28.28' | N45'33'22"E |
| L39 | 28.28' | N44'26'38"W |
| L40 | 17.27 | N41"25'52"W |
| L41 | 17.26 | N58'08'35"E |
| L 4 2 | 17.38' | N61'51'21"W |
| L43 | 17.27 | N48'34'08"E |
| L44 | 29.16' | N89'26'38"W |
| L45 | 28.10' | N50'45'01"E |
| L46 | 29.54 | N89'26'38"W |
| L47 | 9.53' | N47"13'56"W |
| | 1 | |

L48 12.75' N37'44'05"E

L49 | 19.09' | N43'04'47"W

L50 74.04' N35'24'37"E

LINE TABLE

LINE # LENGTH DIRECTION

L1 | 15.01' | S89'16'55"W

L2 | 15.01' | N02'12'56"W

L3 | 15.00' | N87'47'04"E

L4 | 15.00' | N87'47'04"E

L5 | 25.00' | N00'33'22"E

L6 | 25.00' | N00'33'22"E

L7 | 25.00' | N00'33'22"E

L8 | 25.00' | N00'33'22"E

L9 | 46.64' | N45'14'29"E

L10 | 46.71' | N44'45'44"W

L11 | 26.87' | N42'27'31"E

L12 | 28.28' | N44'26'38"W

L13 | 103.25' | N00'33'22"E

L15 28.28' N44'26'38"W

L16 | 28.28' | N45'33'22"E

L17 | 28.28' | N44'26'38"W

103.25'

N00'33'22"E

LOT AREA TABLE

LOT | SQ. FT. | ACRES

301 8,764 0.2012

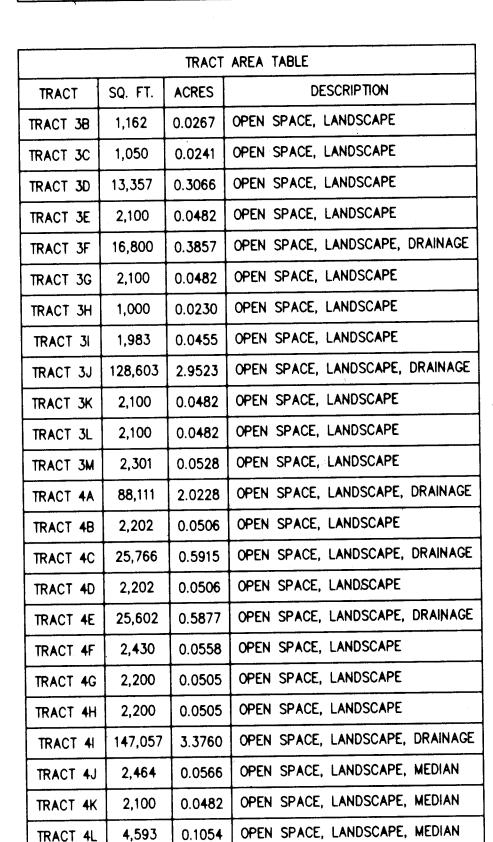
302 8,764 0.2012

303 | 8,764 | 0.2012

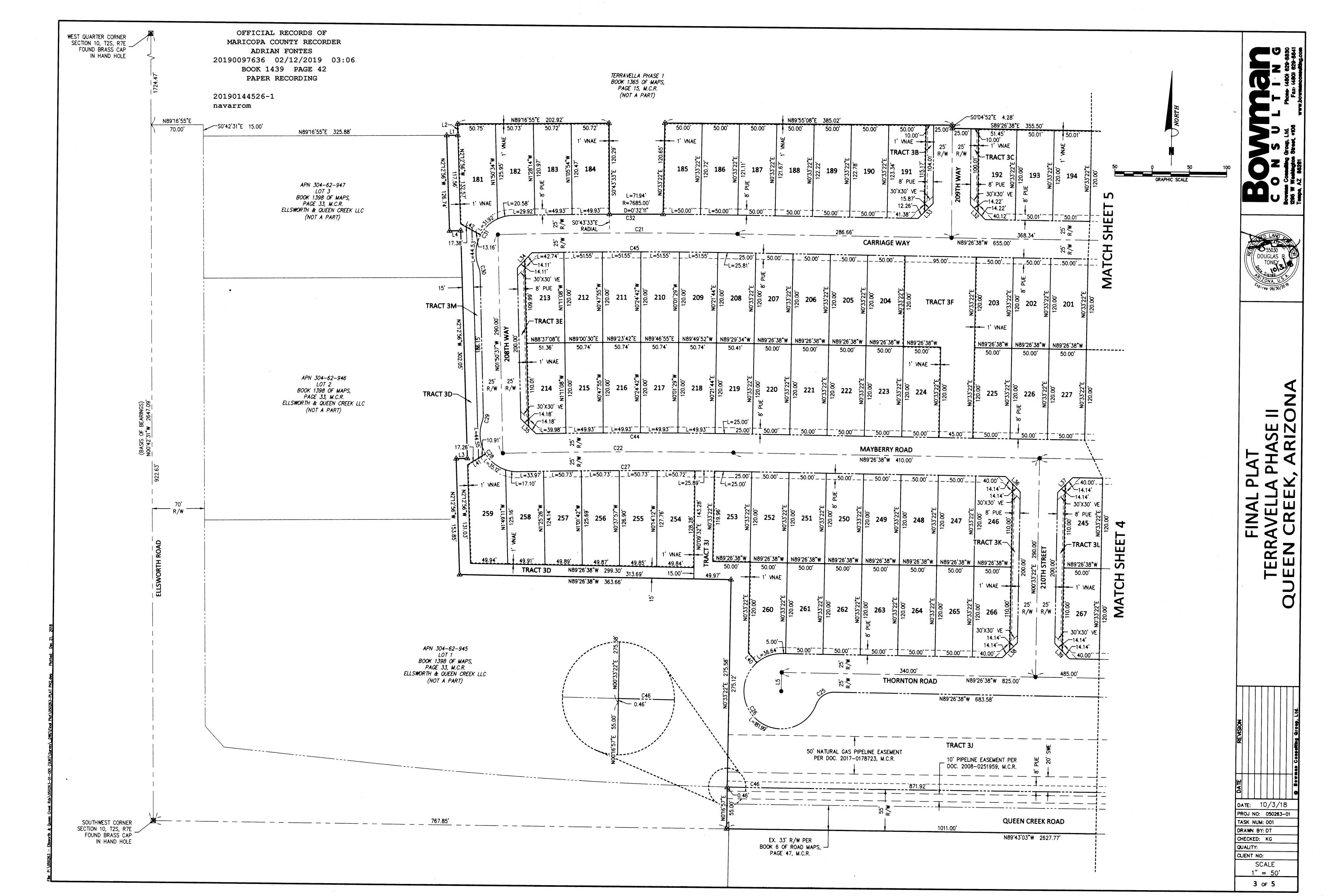
304 | 8,764 | 0.2012

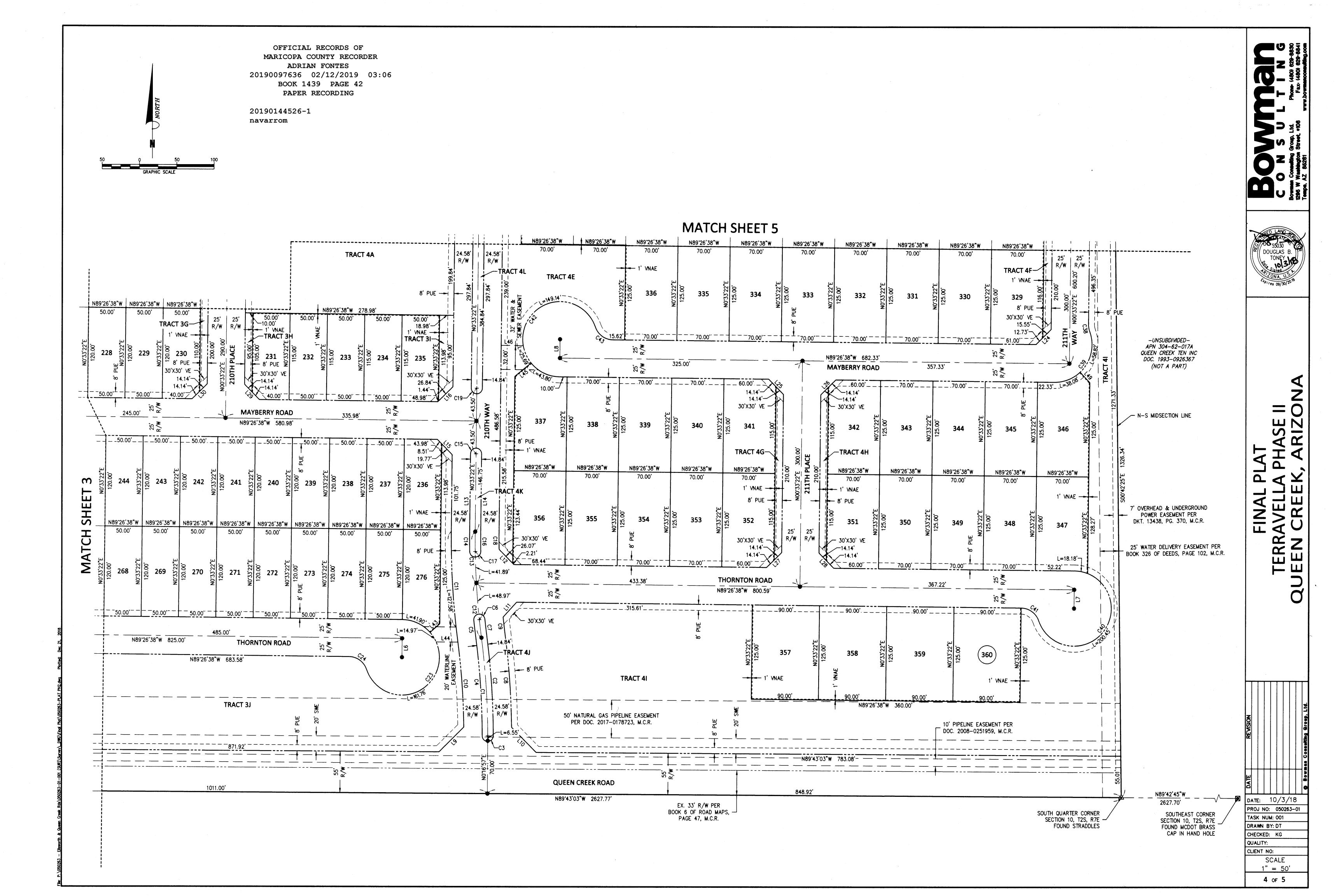
305 | 8,714 | 0.2000

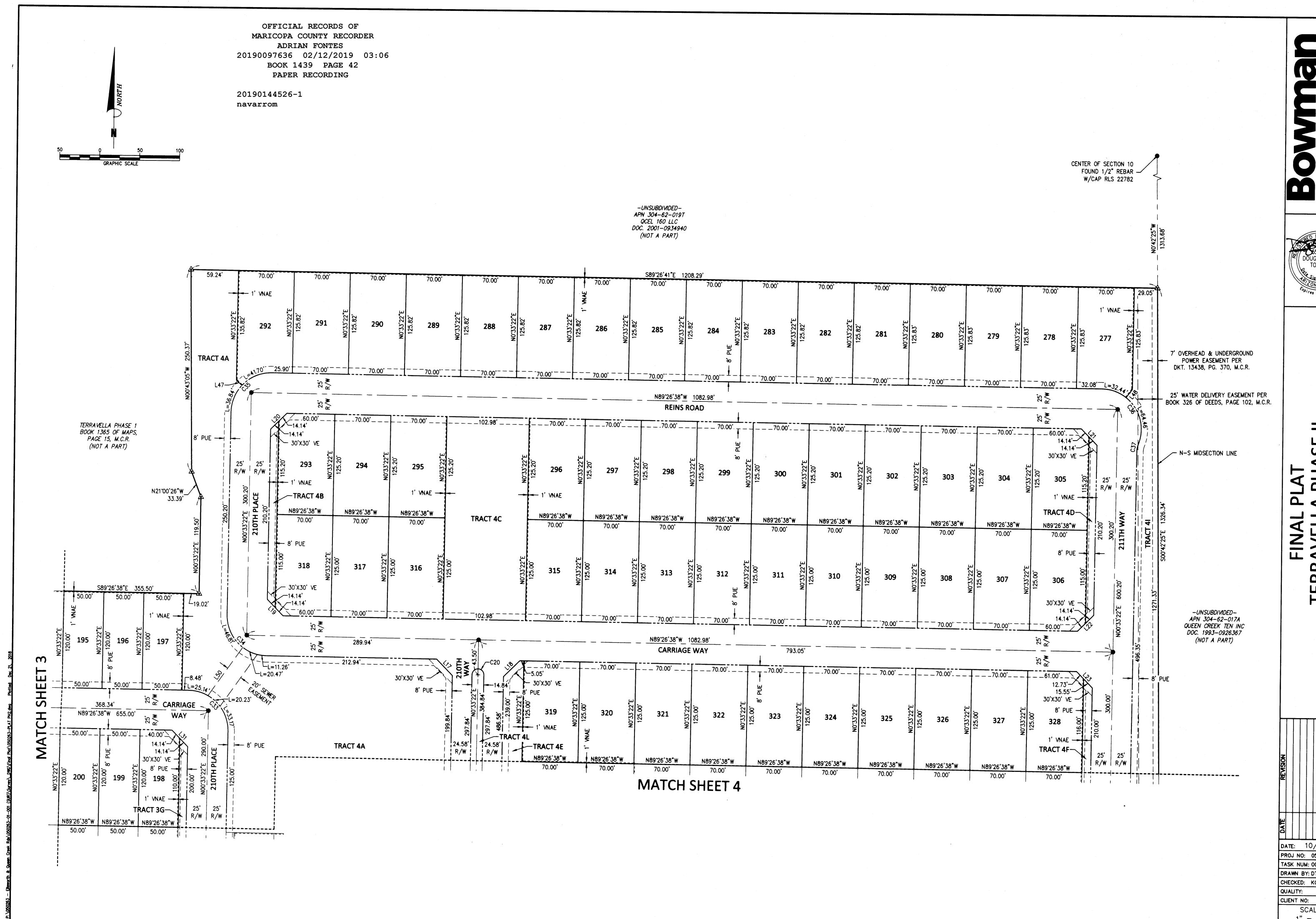
306 8,700 0.1997



20190097636 02/12/2019 03:06









DATE: 10/3/18 PROJ NO: 050263-01 TASK NUM: 001 DRAWN BY: DT CHECKED: KG

SCALE

1" = 50' 5 of 5