

Requesting Department:

Development Services



**TO: Planning and Zoning Commission**

**THRU: Brett Burningham, Development Services Director**

**FROM: Kyle Barichello, Planner II**

**RE: Discussion and Possible Action on P19-0184 “Taylor Morrison at Terravella Residential Design Review”.** Taylor Morrison is requesting approval of six (6) new standard plans with three (3) elevations each to be constructed on 84 lots in Phase II of the Terravella subdivision located at the northeast corner of Ellsworth and Queen Creek roads.

**DATE: November 13, 2019**

#### **STAFF RECOMMENDATION**

Staff recommends approval of P19-0184 “Taylor Morrison at Terravella Residential Design Review” subject to the Conditions of Approval included in this report.

#### **PROPOSED MOTION**

Move to approve P19-0184 “Taylor Morrison at Terravella Residential Design Review” subject to the Conditions of Approval included in this report.

#### **RELEVANT COUNCIL GOAL(S)**



Secure Future

#### **SUMMARY**

The proposal consists of a request by Taylor Morrison for approval of six (6) floor plans with three (3) distinct elevations to be built on 84 lots within Phase II of Terravella subdivision. The Terravella subdivision has 360 lots in total. All lots are zoned R1-5 (Urban Development District). Floor plans range in size from approximately 3,491 square feet (total) to 5,658 square feet (total).

## HISTORY

Sept. 16, 2015	Town Council approved the North Specific Area Plan.
Dec. 16, 2015	Town Council approved the North Specific Area Plan Major General Plan Amendment (Resolution 1076-15) and Rezone (Ordinance 582-15).
Dec. 14, 2016	The Planning Commission approved the Terravella Preliminary Plat
Sept. 20, 2017	The Town Council approves the Terravella Phase I and Phase II Final Plats.

## DISCUSSION

<b>Subdivision Information</b>	
Project Name	Taylor Morrison at Terravella Residential Design Review
Site Location	Northeast corner of Ellsworth and Queen Creek roads
Current Zoning	R1-5 (Urban Development District)
General Plan	Neighborhood
Total Lots/Units	84 lots
Home Product Square Footage	3,491 square feet (total) to 5,658 square feet (total)
Minimum Lot Width	60-feet
Minimum Lot Depth	120-feet
Minimum Lot Area	7,200 square feet

Taylor Morrison is proposing three (3) elevation styles available per plan which include Ranch, Craftsman, and Prairie. Three (3) of the proposed floor plans are two-story and three (3) of the proposed floor plans are single-story. Five (5) of the six (6) of the proposed floor plans incorporate covered front porches, providing additional useable outdoor space at the front of the home for homeowners.

Plan	Square Footage	Stories
5403	2,351 square feet	1
5413	2,428 square feet	1
5423	2,610 square feet	1
5404	2,774 square feet	2
5414	3,512 square feet	2
5424	3,964 square feet	2

Taylor Morrison offers pavers as standard for all floor plans. The proposed plans also include optional changes to floor plans including optional casitas or bonus rooms in-lieu of one-car garages, two-car side turn garages, and rear patio extensions. Both the Ranch

and Prairie style incorporates 4-sided architectural elements on all of the plans. The Craftsman elevation features shake shingle siding as an architectural treatment on the front elevation and rear elevations.

## ANALYSIS

### **Standard Plans Design Review for New Standard Plans:**

The proposed standard plans all comply with *Town of Queen Creek Zoning Ordinance and Design Standards*, subsection *DS.4 Single-Family Residential Standards*. The standard plans presented by Taylor Morrison contain a variety of quality materials and are consistent with approved plans within the immediate area.

### **Lot Fit Analysis:**

Staff has reviewed the lot fit analysis for the six (6) new standard plans. All six (6) plans fit on all 84 lots within Phase II of Terravella.

## CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits attached to this case and all the provisions of the zoning ordinance applicable to this case.
2. The Developer shall provide for a waiver agreement, which shall run with the land, for each initial homebuyer to sign and shall include the following statement in the waiver agreement: "This property is located in proximity to adjacent to land designated for development as industrial, commercial, and/or multi-family uses and may be subject to potential noise intrusion vibrations dust and all other effects that may be associated with such uses. The owner does release and discharge the Town of Queen Creek, the Developer, and the Homebuilder from any liability from any claims for future damages and complaints of any kind to persons or property that may arise at any time in the future from the development of such uses".
3. The same floor plan and building elevation shall not be utilized across from, or adjacent to each other.
4. Mechanical equipment, electrical meter and service components, and similar utility devices whether ground level, wall mounted, shall be screened and designed to appear as an integral part of the building.
5. The construction, alteration, moving, and substantial repair of any human occupied building or structure in the new project shall achieve an exterior to interior Noise Level Reduction (NLR) of 20 decibels (dB) or an exterior to interior NLR that results in an interior noise level of 45 DNL or less. The developer shall submit a signed and sealed letter from a registered architect or engineer certifying that construction materials, methods and design employed to achieve the required noise reduction. A copy of the certification shall be submitted with the application for a building permit.

6. Sales offices for new single family residential projects shall provide notice to prospective buyers that the project is located within an Overflight Area. Such notice shall consist of a sign at least 2-foot x 3-foot installed at the entrance to the sales office or leasing office at the residential project. The sign shall be installed prior to commencement of sales and shall not be removed until the sales office is permanently closed. The sign shall state the following in letters of at least one inch (1") in height: "This subdivision, due to its proximity to Phoenix-Mesa Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals. The mix of aircraft consists of cargo, commercial, charter, corporate, general aviation and military aircraft. For additional information contact the Arizona Department of Real Estate at: 602-468-1414 or Phoenix-Mesa Gateway Airport Public Relations Office at: 480-988-7600."
7. Public reports filed with the Arizona Department of Real Estate shall disclose the location of the Airport and potential aircraft overflights. The following statement shall be included in the public report: "This property, due to its proximity to Phoenix-Mesa Gateway Airport, is likely to experience aircraft overflights, which could generate noise levels which may be of concern to some individuals."

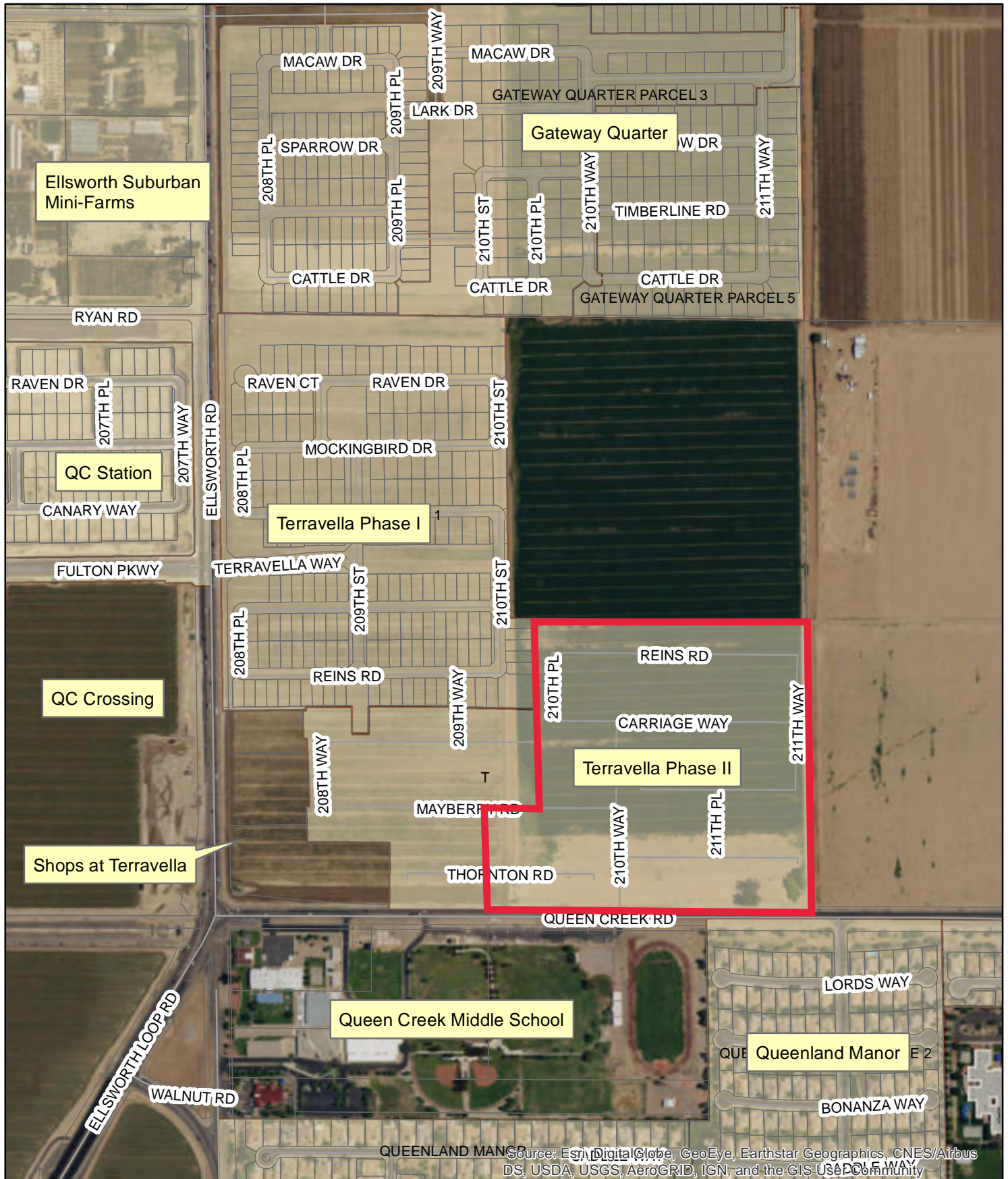
## ATTACHMENTS

1. Location Map
2. Taylor Morrison Design Review Submittal

Project Name: Taylor Morrison at Terravella Phase II Aerial Map

Case Number: P19-0184

Planning Commission Hearing: November 13, 2019



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

October 25, 2019

Town of Queen Creek  
Development Services Department  
22358 S Ellsworth Rd  
Queen Creek, Arizona 85142-9311

Re: Terravella Phase 2 House Product Submittal

Taylor Morrison is respectfully submitting a design book for our newest community *Terravella Phase 2*. Terravella is located just east of Ellsworth Road and Queen Creek Road and consists of 80 (typical) 70' x 125' lots in Parcel 4 and four (4) 90' x 100' in Parcel 4A (see site plan included in submittal packet) in the overlay district. Our home product is as follows:

TM Plan #	Base Liv SF	Non-Liv SF	Beds	Baths	Flrs
5403	2,341	1,150	3	2.5	1
5413	2,661	1,208	3	2.5	1
5423	3,077	1,015	4	3.0	1
5404	3,663	1,362	4	3.5	2
5414	4,205	1,534	4	3.5	2
5424	4,517	1,141	5	3.5	2

Our home plans consist of three elevational styles: Ranch, Craftsman and Prairie. These elevations include different elements within their design and application.

#### Ranch Elevation:

- Window Grids – Top sash divided into 6 window grids, lower sash is without grids
- Window Trim – Four sided popout with overlays at the top and bottom
- Entry Door – 6 Panel entry door
- Garage Door - 4 Section, 8 raised short panel door
- Exterior Lighting – Courtyard Collection wall lantern
- Roof Styles – Mainly gables with a few added shed roofs
- Eaves – Wooden fascia and eaves
- Gable Treatment – Ranch gable bracket with gable vents
- Façade Treatment – Stucco based façade with four sided window popouts, Ranch style shutters, wooden posts, beams, angle brackets, gable brackets, stone accents

## Craftsman Elevation

Window Grids – Top sash divided into 3 window grids, lower sash is without grids

Window Trim – Four sided popout with angled top and square bottom

Entry Door – 2 Panel Carriage style door with slight arch at the top

Garage Door – 4 Section, 8 raised Carriage style short panel door

Exterior Lighting – Beckett Collection wall lantern

Roof Styles – Multiple six gables running front to back and side to side

Eaves – Wooden fascia and eaves

Gable Treatment – Front gables include center batten board trim and Craftsman bracket surrounded by shingle shake siding

Façade Treatment – Stucco based façade with stone, shingle shake siding, batten trim, gable brackets, four sided window popouts, tapered front porch columns

## Prairie Elevation

Window Grids – Perimeter Prairie window grids

Window Trim – Four sided window popouts, square ends

Entry Door – 2 Panel raised front door

Garage Door – 4 Section, 4 raised Carriage style long panel door

Exterior Lighting – Cameron Collection wall lantern

Roof Styles – Hips and intersecting hips

Eaves – Wooden fascia and eaves

Gable Treatment – No gables

Façade Treatment – Stucco based façade with Prairie style horizontal banding, slim line vertical window designs scattered throughout the front facades, stone/brick on columns and front façade areas

We will be offering fifteen (15) different color schemes, each with its own base color and roof tile. You will find each roof tile in the color scheme it is associated with. Stone or brick veneer will be standard per elevation style and color scheme.

I've also included the following attachments to help the Town further understand our homes:

- Product DR Matrix — This matrix states how our plans meet the Town's Design review Guidelines. The guideline item and page number are included.
- Product Diversification Matrix — Includes the typical lot information, setbacks, lot coverage, plan square footage, bed/bath/floor counts and garage configurations.
- Black and White Floorplans and Elevations — These easy to read plans display floorplans, elevations, options and roof designs for each of our six plans and 18 elevations.
- Colored Rendering — Each of our 18 elevations are on display here in full color.
- Entry Doors, Garage Doors and Exterior Lighting — Each of the entry doors, garage doors (with optional glass), and exterior lighting described in the previous paragraphs above are shown.

- Typical Landscape Designs — Each of our plans are shown with three landscape designs as created by Gothic Landscaping.
- Typical Plot Plans and Lot Fit Analysis — These drawings and calculations show how each plan fits on the typical lot and how it fits on each actual lot, including lot coverage calculations. Also included area any special conditions, square footage details, and which plan fits on which lot.
- Plan by Plan Revision Narrative — BSB Designs listed out each revision made to each plan in this concise list.
- Color Schemes — An outline of our color schemes, where we place each paint color and how the roof tile and stone fit into each scheme.
- Paver Driveway — A picture of one of our standard paver driveway surfaces.
- Recorded Final Plat — This shows which lots are ours within Phase 2 of Terravella.
- Staff Comments/Taylor Morrison Comments — The Town's letter of plan comments followed by our comments as to how we proceeded with revisions. This letter works in conjunction with the Plan by Plan Revision Narrative from BSB Design.

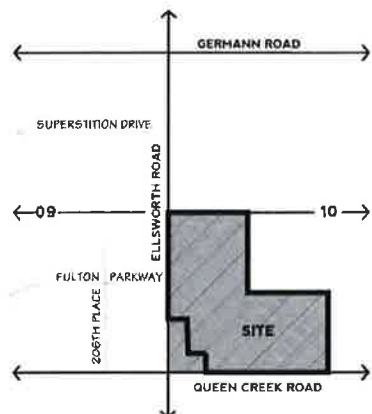
Taylor Morrison will be creating a model home complex consisting of three model homes. This model home complex will be completed at a later date in a separate submittal.

All of us here at Taylor Morrison are very excited to begin another journey into Terravella and look forward to a beautiful community in a beautiful part of Queen Creek.

Sincerely,

Michael Devereux  
Architectural Manager  
Taylor Morrison - Phoenix Division





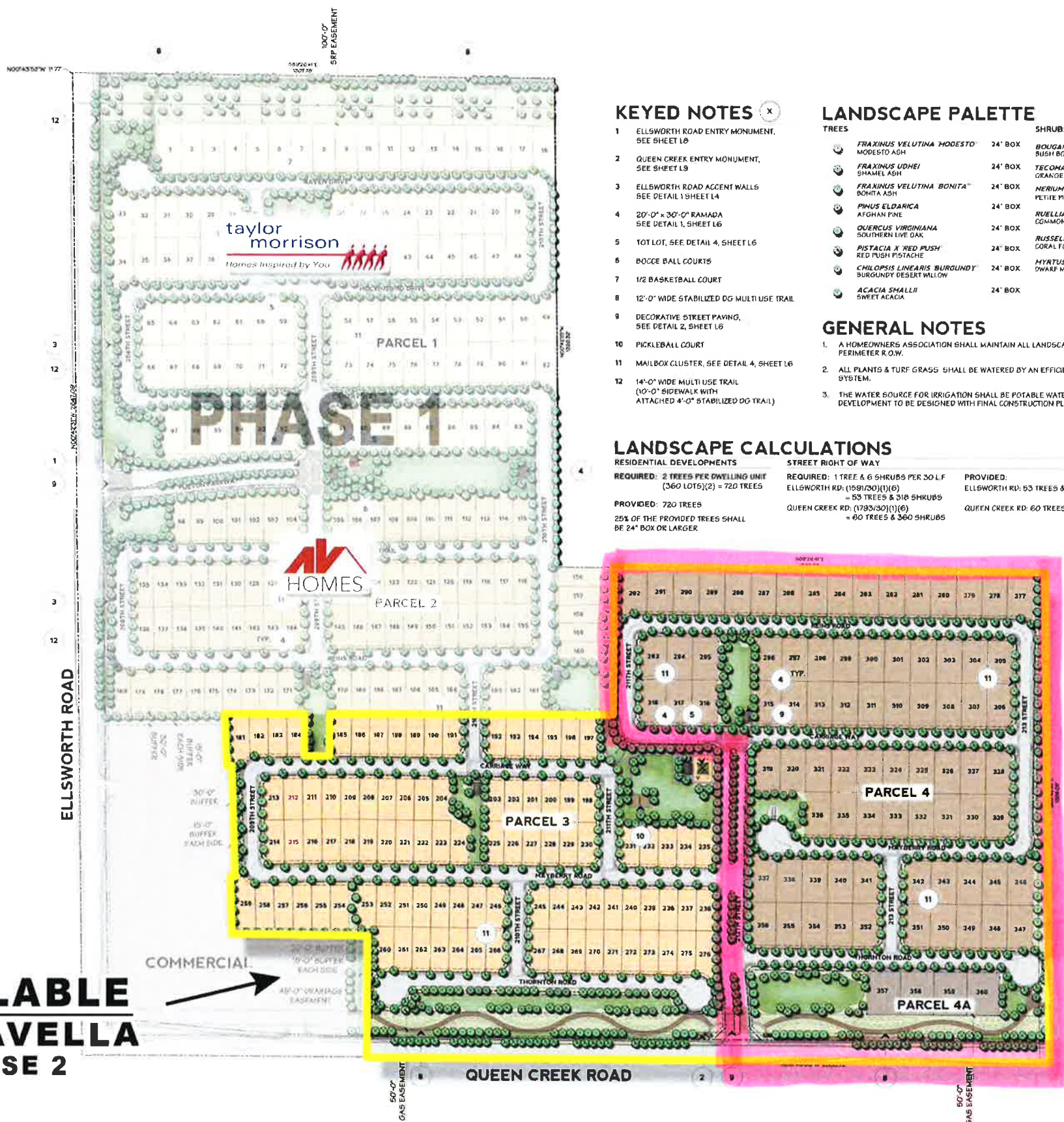
VICINITY MAP  
PLAN SCALE: N.T.S.

**PROJECT TEAM**

**OWNER**  
QCE RESIDENTIAL LAND LP  
QCE COMMERCIAL LAND LP  
7001 N. SCOTTSDALE ROAD, SUITE 1015  
SCOTTSDALE, AZ 85253  
P: (480) 315.2600  
CONTACT: MICHELLE YERGER

**LANDSCAPE ARCHITECT**  
THOMAS + CROWLEY LLC  
126 E. CONSTITUTION COURT  
GILBERT, AZ 85296  
P: (480) 878.4708  
CONTACT: PAUL THOMAS, RLA  
EMAIL: PAUL@THOMAS-CROWLEY.COM

**CIVIL ENGINEER**  
BOWMAN CONSULTING  
1295 N. WASHINGTON STREET, SUITE 108  
TEMPE, AZ 85281  
PH: (480) 829.8830  
CONTACT: TROY PETERSON, PE



**KEYED NOTES**

- 1 ELLSWORTH ROAD ENTRY MONUMENT, SEE SHEET L8
- 2 QUEEN CREEK ENTRY MONUMENT, SEE SHEET L9
- 3 ELLSWORTH ROAD ACCENT WALLS SEE DETAIL 1 SHEET L4
- 4 20'-0" x 30'-0" RAMADA SEE DETAIL 1, SHEET L6
- 5 TOT LOT, SEE DETAIL 4, SHEET L6
- 6 BOCCIE BALL COURTS
- 7 1/2 BASKETBALL COURT
- 8 12'-0" WIDE STABILIZED DG MULTI USE TRAIL
- 9 DECORATIVE STREET PAVING, SEE DETAIL 2, SHEET L6
- 10 PICKLEBALL COURT
- 11 MAILBOX CLUSTER, SEE DETAIL 4, SHEET L6
- 12 14'-0" WIDE MULTI USE TRAIL (10'-0" SIDEWALK WITH ATTACHED 4'-0" STABILIZED DG TRAIL)

**LANDSCAPE PALETTE**

- TREES**
- FRAXINUS VELUTINA 'MODESTO' MODESTO ASH 24" BOX
  - FRAXINUS UDEI SHAMEL ASH 24" BOX
  - FRAXINUS VELUTINA 'BONITA' BONITA ASH 24" BOX
  - PINUS ELDARICA AFGHAN FINE 24" BOX
  - QUERCUS VIRGINIANA SOUTHERN LIVE OAK 24" BOX
  - PISTACIA X 'RED PUSH' RED PUSH PISTACHE 24" BOX
  - CHILIPIS LINEARIS 'BURGUNDY' BURGUNDY DESERT WILLOW 24" BOX
  - ACACIA SMALLII SWEET ACACIA 24" BOX
- SHRUBS**
- BOUGAINVILLEA SPECIES BUSH BOUGAINVILLEA 5 GAL
  - TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE 5 GAL
  - NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER 5 GAL
  - RUELLIA BRITTONIANA COMMON RUELLIA 5 GAL
  - RUSSELLIA EQUESETIFORMIS CORAL FOUNTAIN 5 GAL
  - MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE 5 GAL
- ACCENTS**
- HESPERALOE FUNIFERA GIANT HESPERALOE 5 GAL
  - HESPERALOE PARVIFOLIA RED YUCCA 5 GAL
  - MULLENBERGIA RIGENS DEER GRASS 5 GAL
  - MULLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS 5 GAL
- GROUND COVER**
- LANTANA X 'NEW GOLD' YELLOW LANTANA 1 GAL
  - LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA 1 GAL
  - LANTANA X 'WHITE LIGHTNING' WHITE TRAILING LANTANA 1 GAL
  - WEDDIA TRILOBATA YELLOW DOT 1 GAL
  - HYPOPORUM PARVIFOLIUM HYDROFORUM 1 GAL
- TURF**
- TURF CYNODON DACTYLON MIDKICK 500
- INORGANIC GROUND COVER**
- DECOMPOSED GRANITE 1/2" COLOR: DESERT BROWN SCREENED
  - STABILIZED D.G. COLOR: DESERT BROWN 1/4" MINUS

**GENERAL NOTES**

1. A HOMEOWNERS ASSOCIATION SHALL MAINTAIN ALL LANDSCAPE IN TRACTS AND IN PERIMETER R.O.W.
2. ALL PLANTS & TURF GRASS SHALL BE WATERED BY AN EFFICIENT DRIP AND SPRINKLER SYSTEM.
3. THE WATER SOURCE FOR IRRIGATION SHALL BE POTABLE WATER METERS THROUGHOUT THE DEVELOPMENT TO BE DESIGNED WITH FINAL CONSTRUCTION PLAN.

**LANDSCAPE CALCULATIONS**

**RESIDENTIAL DEVELOPMENTS**  
REQUIRED: 2 TREES PER DWELLING UNIT (360 LOTS)(2) = 720 TREES  
PROVIDED: 720 TREES  
25% OF THE PROVIDED TREES SHALL BE 24" BOX OR LARGER

**STREET RIGHT OF WAY**  
REQUIRED: 1 TREE & 6 SHRUBS PER 30 LF  
ELLSWORTH RD: (1591/30)(1)(6) = 53 TREES & 318 SHRUBS  
QUEEN CREEK RD: (1783/30)(1)(6) = 60 TREES & 360 SHRUBS  
PROVIDED: ELLSWORTH RD: 53 TREES & 318 SHRUBS  
QUEEN CREEK RD: 60 TREES & 360 SHRUBS

**SITE DATA**

ZONING:	R1-B, R1-B, & C-1
SITE GROSS AREA:	120.01 AC
SITE NET AREA:	112.50 AC
RESIDENTIAL GROSS AREA:	108.71 AC
RESIDENTIAL NET AREA:	103.91 AC
OPEN SPACE:	22.90 AC (22%)
ACTIVE OPEN SPACE:	8.0 AC (35%)
DENSITY (NET):	3.48 DU/AC
MIN. LOT SIZE:	60' x 120'
MIN. LOT AREA:	5,700 S.F.
MAX. LOT AREA:	11,610 S.F.
AVERAGE LOT AREA:	7,057 S.F.

**LOT TABLE**

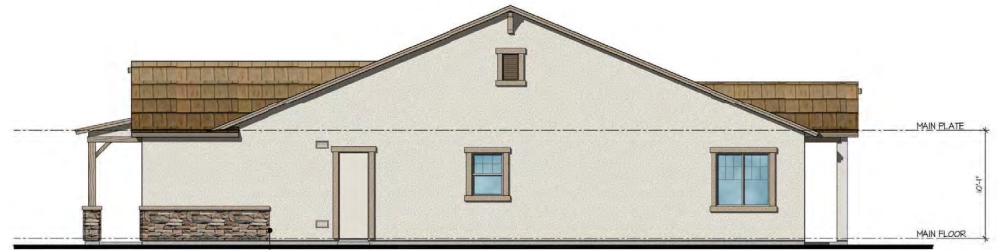
PARCEL	LOT SIZE	ACREAGE	LOTS
1	60' x 120'	28.24 AC	97
2	90' x 120'	20.23 AC	83
3	50' x 120'	22.50 AC	96
4	70' x 125'	30.48 AC	80
4A	90' x 100'	1.05 AC	4
<b>TOTAL</b>			<b>360</b>

**AVAILABLE TERRAVELLA PHASE 2**

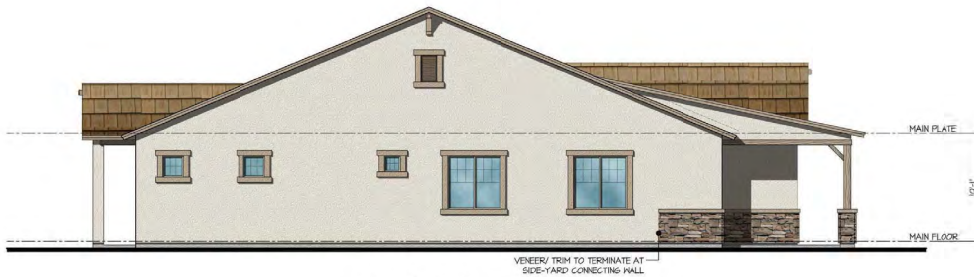
TAYLOR MORRISON LOTS (84)



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
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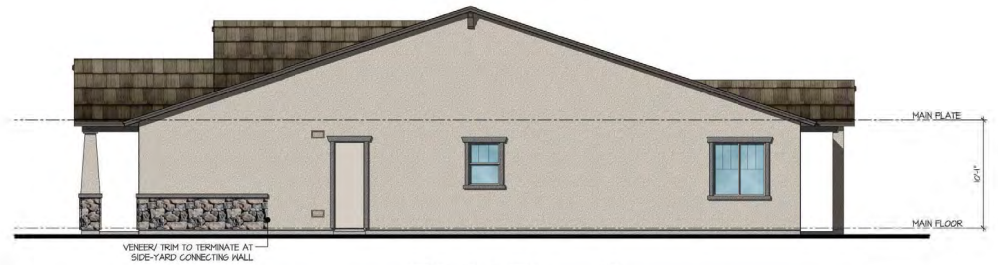


**Front Elevation**  
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**5403 - Elevation B - Ranch**  
COLOR SCHEME - RANCH #6



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
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**5403 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #1



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
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**Front Elevation**  
SCALE: 3/16"=1'-0"

**5403 - Elevation E - Prairie**  
COLOR SCHEME - PRAIRIE #6



**Rear Elevation**

SCALE: 3/16"=1'-0"



**Right Elevation**

SCALE: 3/16"=1'-0"



**Left Elevation**

SCALE: 3/16"=1'-0"



**Front Elevation**

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**5404 - Elevation B - Ranch**

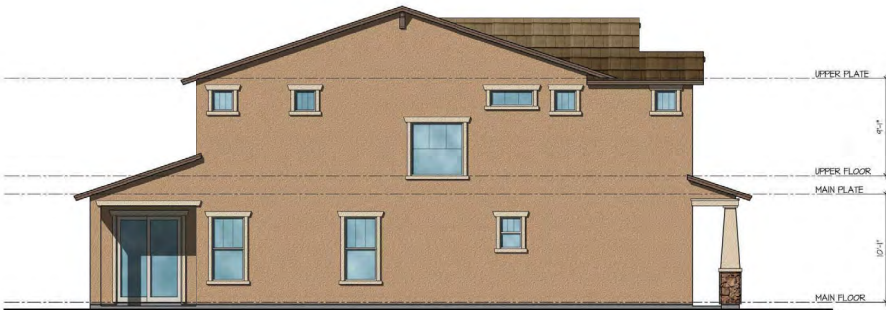
COLOR SCHEME - RANCH #R3



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
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**Front Elevation**  
SCALE: 3/16"=1'-0"

**5404 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #C2



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
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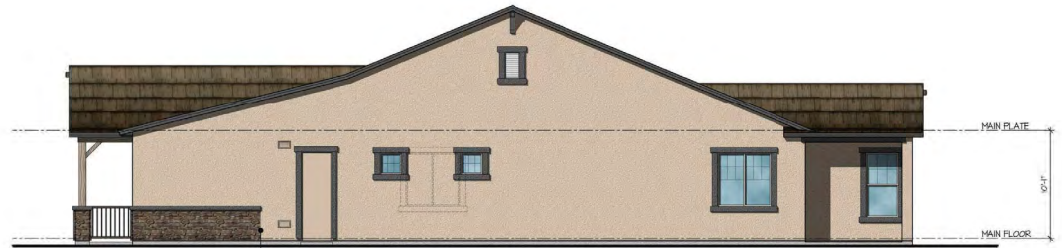


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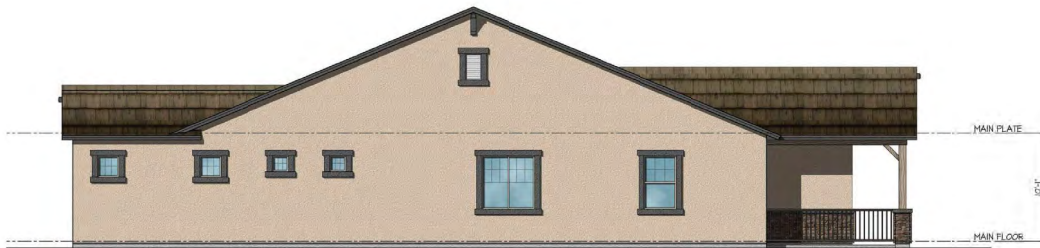
**5404 - Elevation E - Prairie**  
COLOR SCHEME - PRAIRIE #P4



**Rear Elevation**  
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**Left Elevation**  
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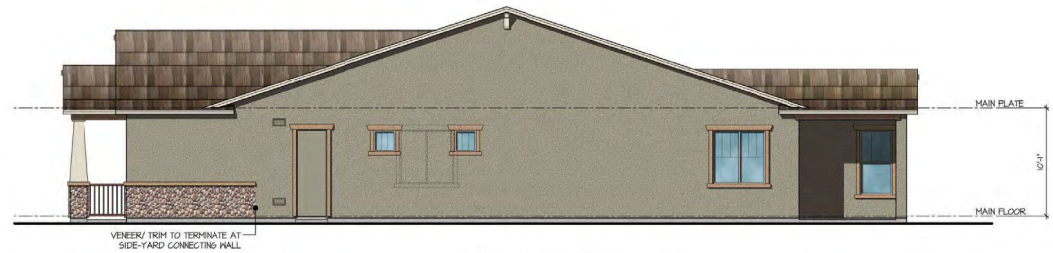
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**5413 - Elevation B - Ranch**  
COLOR SCHEME - RANCH #R6

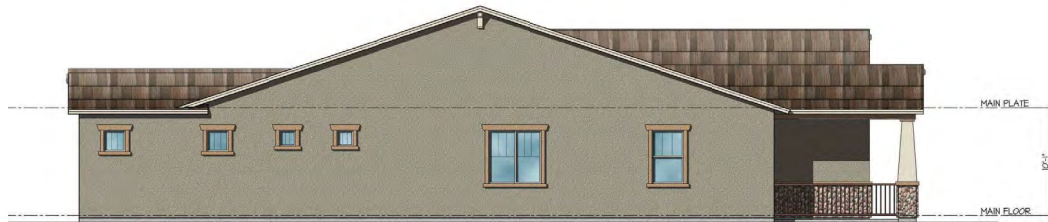




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**Right Elevation**  
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**Left Elevation**  
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**Front Elevation**  
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**5413 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #C3



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
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**Front Elevation**  
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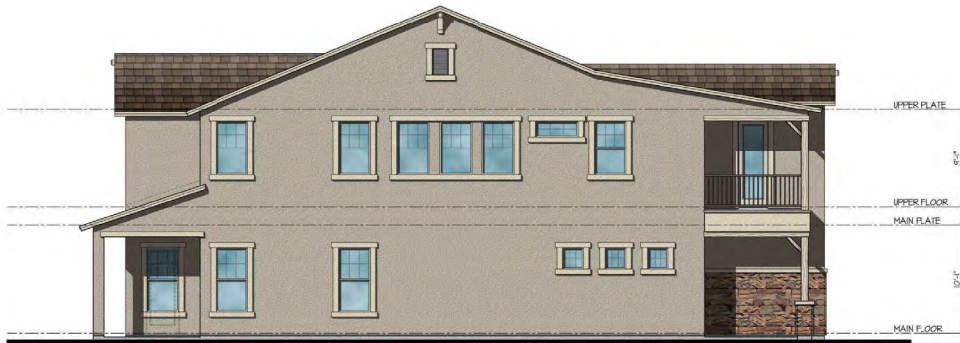
**5413 - Elevation E - Prairie**  
COLOR SCHEME - PRAIRIE #P5



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**Right Elevation**  
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**Left Elevation**  
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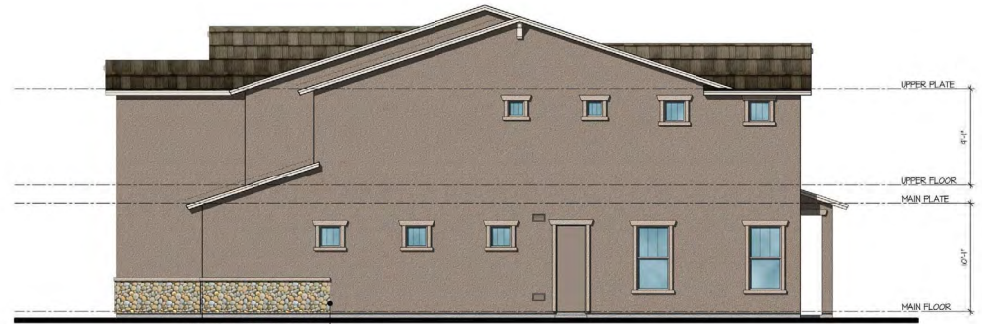


**Front Elevation**  
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**5414 - Elevation B - Ranch**  
COLOR SCHEME - RANCH #R10



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**Right Elevation**  
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**Left Elevation**  
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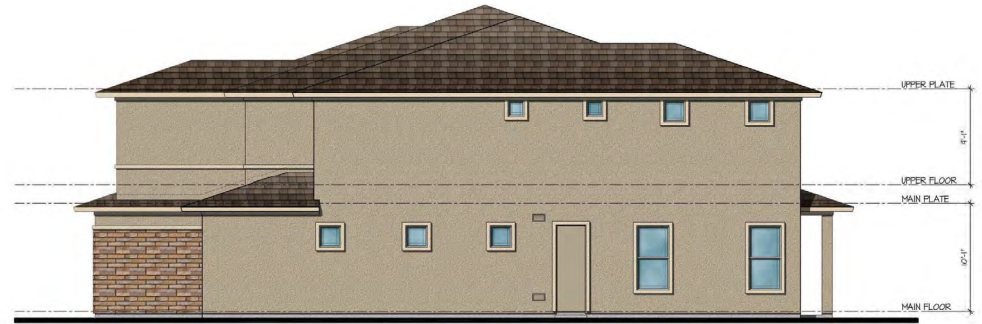


**Front Elevation**  
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**5414 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #C4



**Rear Elevation**  
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**Right Elevation**  
SCALE: 3/16"=1'-0"



**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
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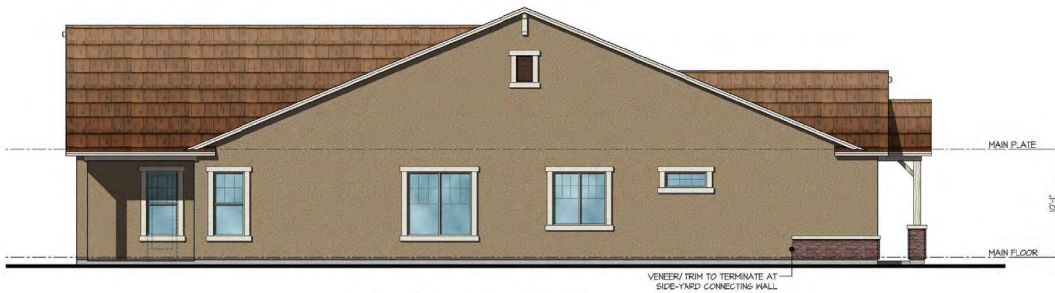
**5414 - Elevation E - Prairie**  
COLOR SCHEME - PRAIRIE #P9



**Rear Elevation**  
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**Right Elevation**  
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**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
SCALE: 3/16"=1'-0"

**5423 - Elevation B - Ranch**  
COLOR SCHEME - RANCH #R12



**Rear Elevation**  
SCALE: 3/16"=1'-0"



**Right Elevation**  
SCALE: 3/16"=1'-0"



**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
SCALE: 3/16"=1'-0"

- T.O. RIDGE
- SHAKE SHINGLE SIDING, TYP.
- CONCRETE TILE ROOF, TYP.
- 32'-0"
- MAIN PLATE
- STUCCO TRIM, TYP.
- COACH LIGHTS PER BUILDER, TYP.
- STUCCO FINISH, TYP.
- 8'-0"
- MAIN FLOOR
- STONE VENEER, TYP.
- DECORATIVE WROUGHT IRON RAILING

**5423 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #C5



**Rear Elevation**  
SCALE: 3/16"=1'-0"



**Right Elevation**  
SCALE: 3/16"=1'-0"



**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
SCALE: 3/16"=1'-0"

**5423 - Elevation E - Prairie**  
COLOR SCHEME - PRAIRIE #P12





**Rear Elevation**  
SCALE: 3/16"=1'-0"



**Right Elevation**  
SCALE: 3/16"=1'-0"



**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
SCALE: 3/16"=1'-0"

**5424 - Elevation B - Ranch**  
COLOR SCHEME - RANCH #R1



**Rear Elevation**  
SCALE: 3/16"=1'-0"



**Right Elevation**  
SCALE: 3/16"=1'-0"



**Left Elevation**  
SCALE: 3/16"=1'-0"



**Front Elevation**  
SCALE: 3/16"=1'-0"

**5424 - Elevation C - Craftsman**  
COLOR SCHEME - CRAFTSMAN #C1

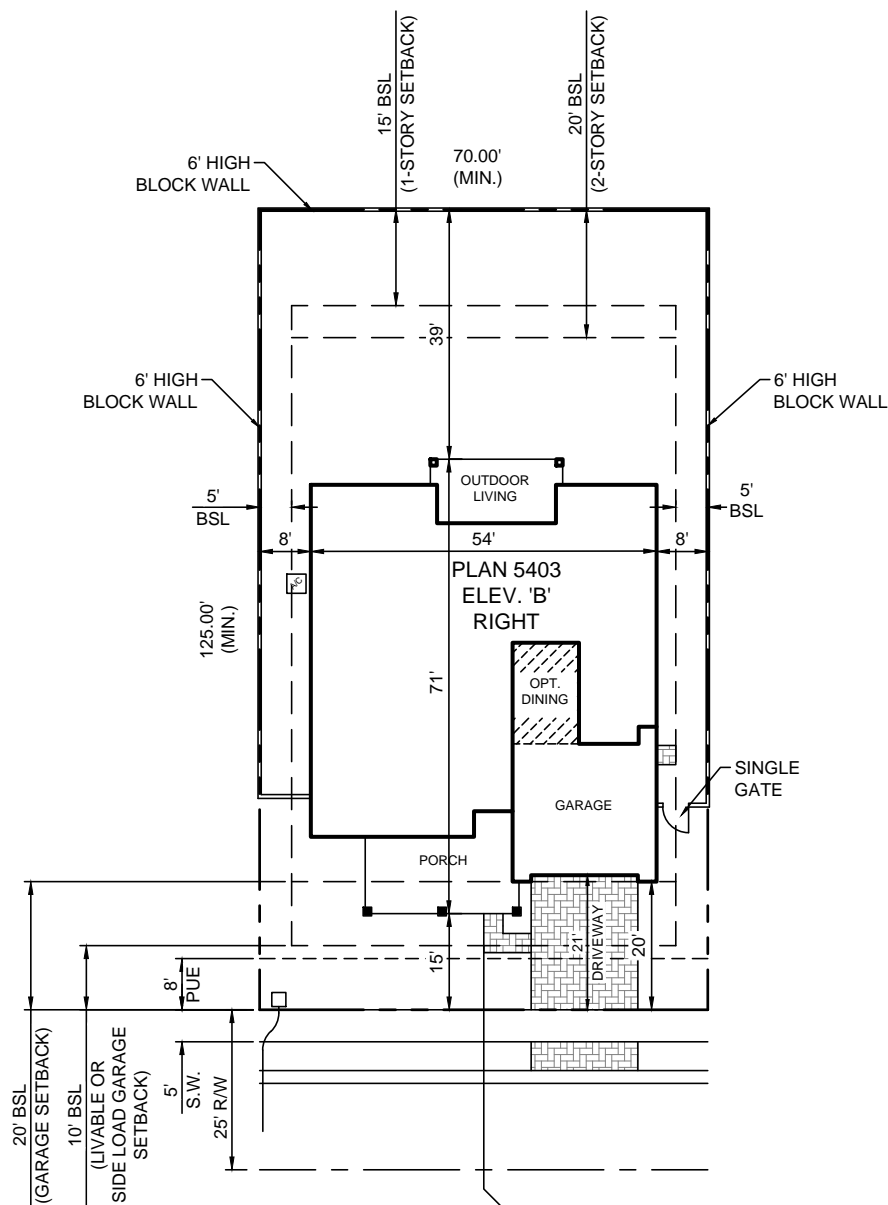


# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

DATE DRAWN: 6/13/19  
REVISION DATE: 8/15/19

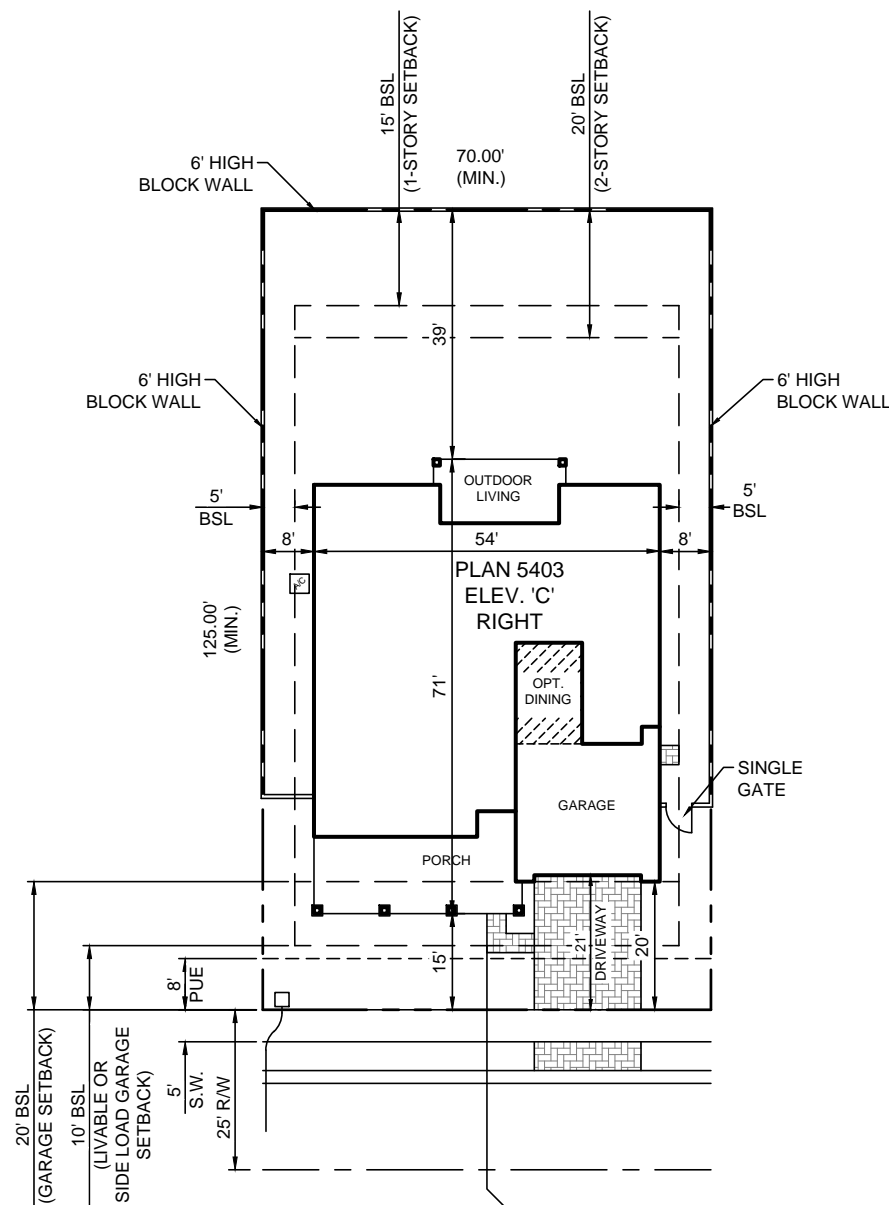


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	2341 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	628 SQ.FT.	OPT. DINING OPT. STUDY
PATIO:	195 SQ.FT.	
ENTRY / PORCH:	305 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	2341 SQ.FT.	
TOTAL UNDER ROOF :	3469 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3469 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	39.6 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

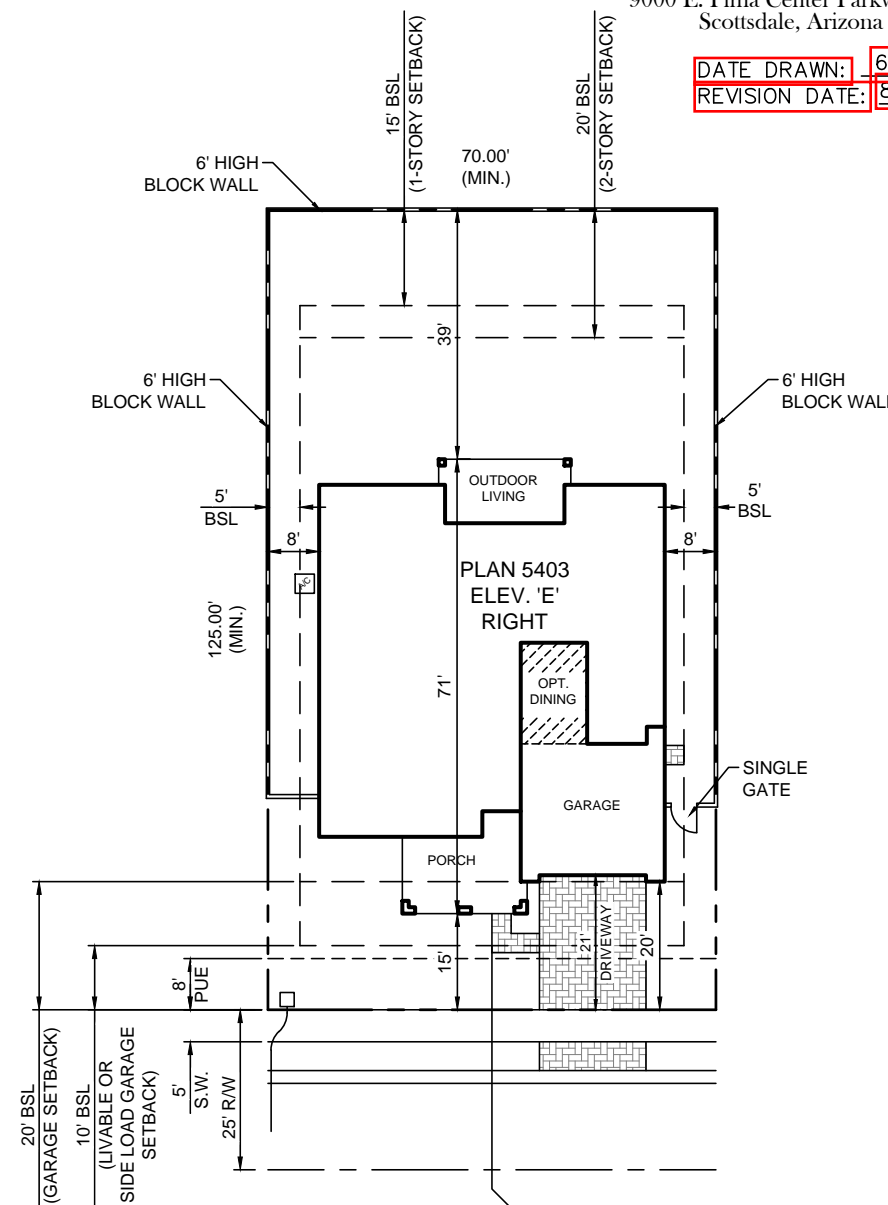


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	2341 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	628 SQ.FT.	OPT. DINING OPT. STUDY
PATIO:	195 SQ.FT.	
ENTRY / PORCH:	407 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	2341 SQ.FT.	
TOTAL UNDER ROOF :	3571 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3571 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	40.8 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



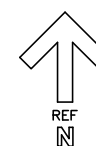
TYPICAL STREET

ELEVATION - E

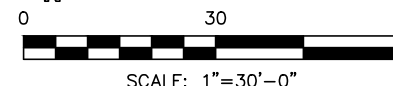
LIVABLE 1st Flr:	2341 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	628 SQ.FT.	OPT. DINING OPT. STUDY
PATIO:	195 SQ.FT.	
ENTRY / PORCH:	251 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	2341 SQ.FT.	
TOTAL UNDER ROOF :	3415 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3415 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	39.0 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5403



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL

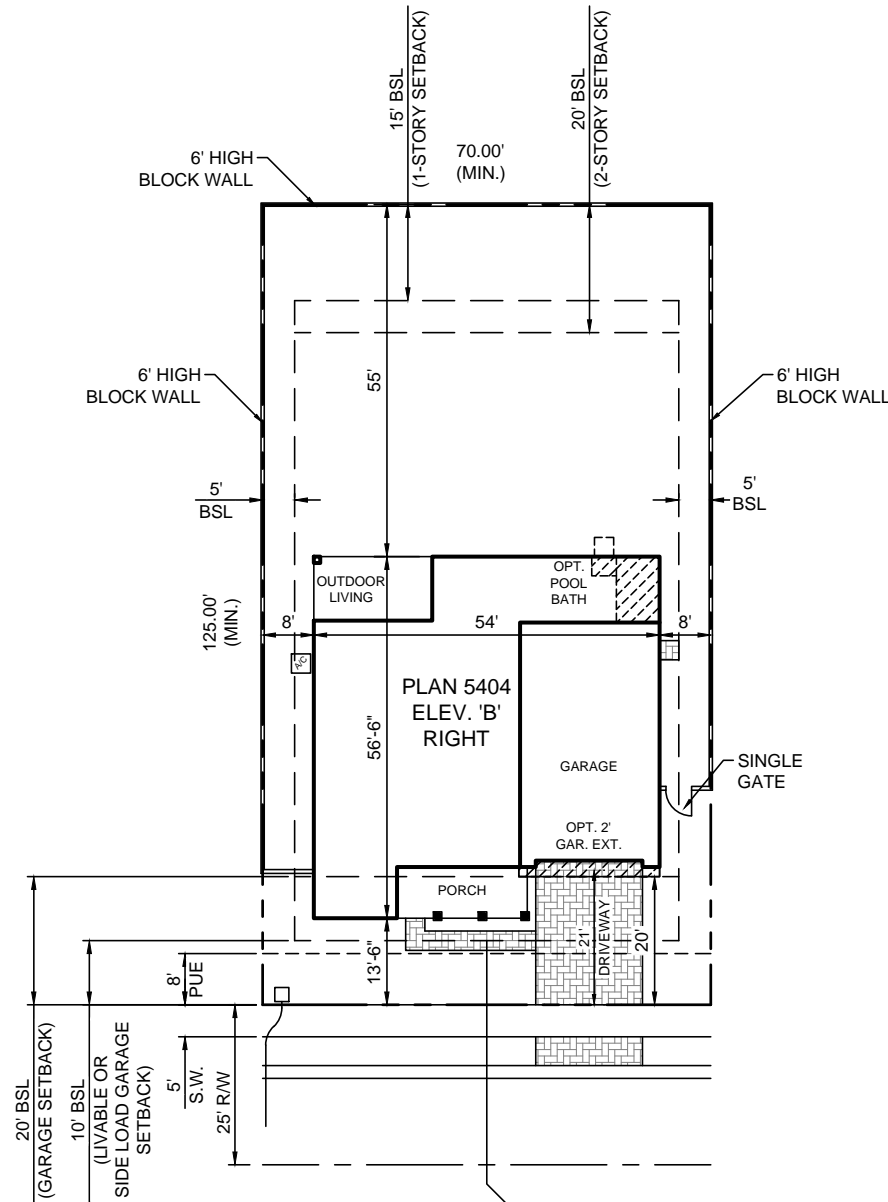


R1-5 ZONING	ARCHITECTURAL OPTIONS
BUILDING SETBACKS:	VISIBILITY EASEMENT
FRONT LOAD GARAGE = 20'	V.E.
SIDE LOAD GARAGE = 10'	N.V.A.E.
FRONT LIVABLE = 10'	P.U.E.
REAR = 5'	B.S.L.
REAR = 15' (1-STORY)	FIRE HYDRANT
20' (2-STORY)	ELECTRIC SERVICE LOCATION
MAXIMUM LOT COVERAGE	JUNCTION BOX LOCATION
55% (1-STORY)	STREET LIGHT LOCATION
50% (2-STORY)	HOSE BIB LOCATION

# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

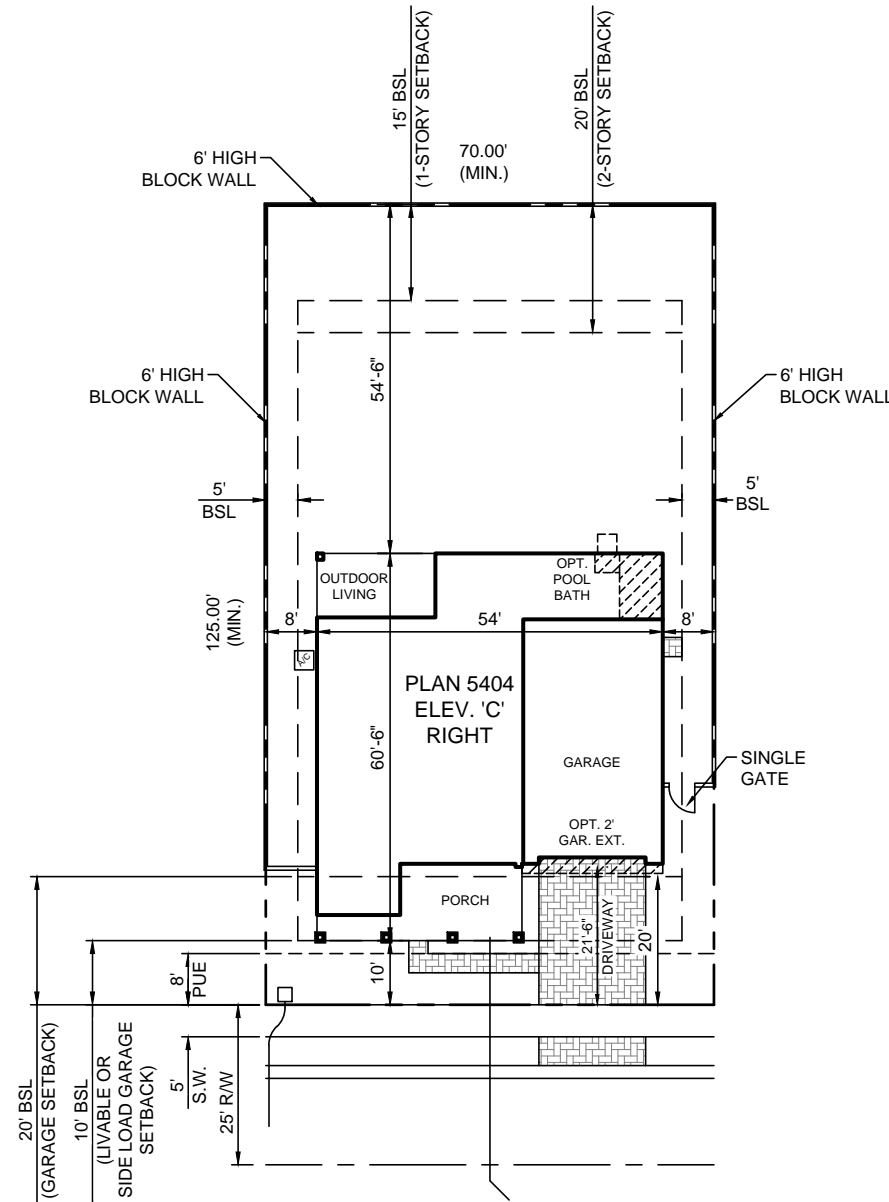


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	1705 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1956 SQ.FT.	
GARAGE:	833 SQ.FT.	OPT. POOL BATH
PATIO:	185 SQ.FT.	
ENTRY / PORCH:	163 SQ.FT.	
BALCONY:	181 SQ.FT.	
TOTAL LIVABLE :	3661 SQ.FT.	
TOTAL UNDER ROOF :	5023 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3067 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	35.1%	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

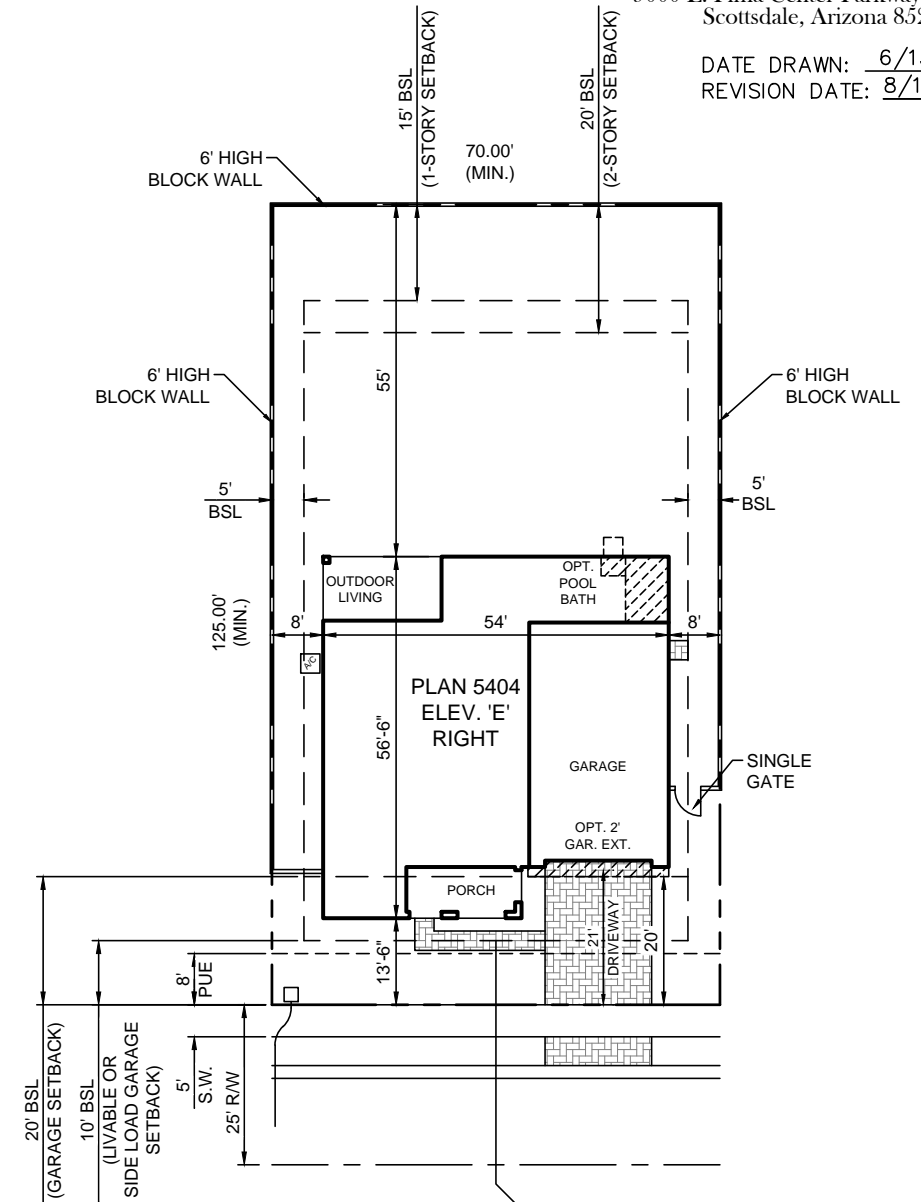


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	1705 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1956 SQ.FT.	
GARAGE:	833 SQ.FT.	OPT. POOL BATH
PATIO:	185 SQ.FT.	
ENTRY / PORCH:	280 SQ.FT.	
BALCONY:	0 SQ.FT.	
TOTAL LIVABLE :	3661 SQ.FT.	
TOTAL UNDER ROOF :	4959 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3003 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	34.3%	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



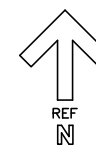
TYPICAL STREET

ELEVATION - E

LIVABLE 1st Flr:	1705 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1956 SQ.FT.	
GARAGE:	833 SQ.FT.	OPT. POOL BATH
PATIO:	185 SQ.FT.	
ENTRY / PORCH:	144 SQ.FT.	
BALCONY:	0 SQ.FT.	
TOTAL LIVABLE :	3661 SQ.FT.	
TOTAL UNDER ROOF :	4823 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	2867 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	32.8%	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5404



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL



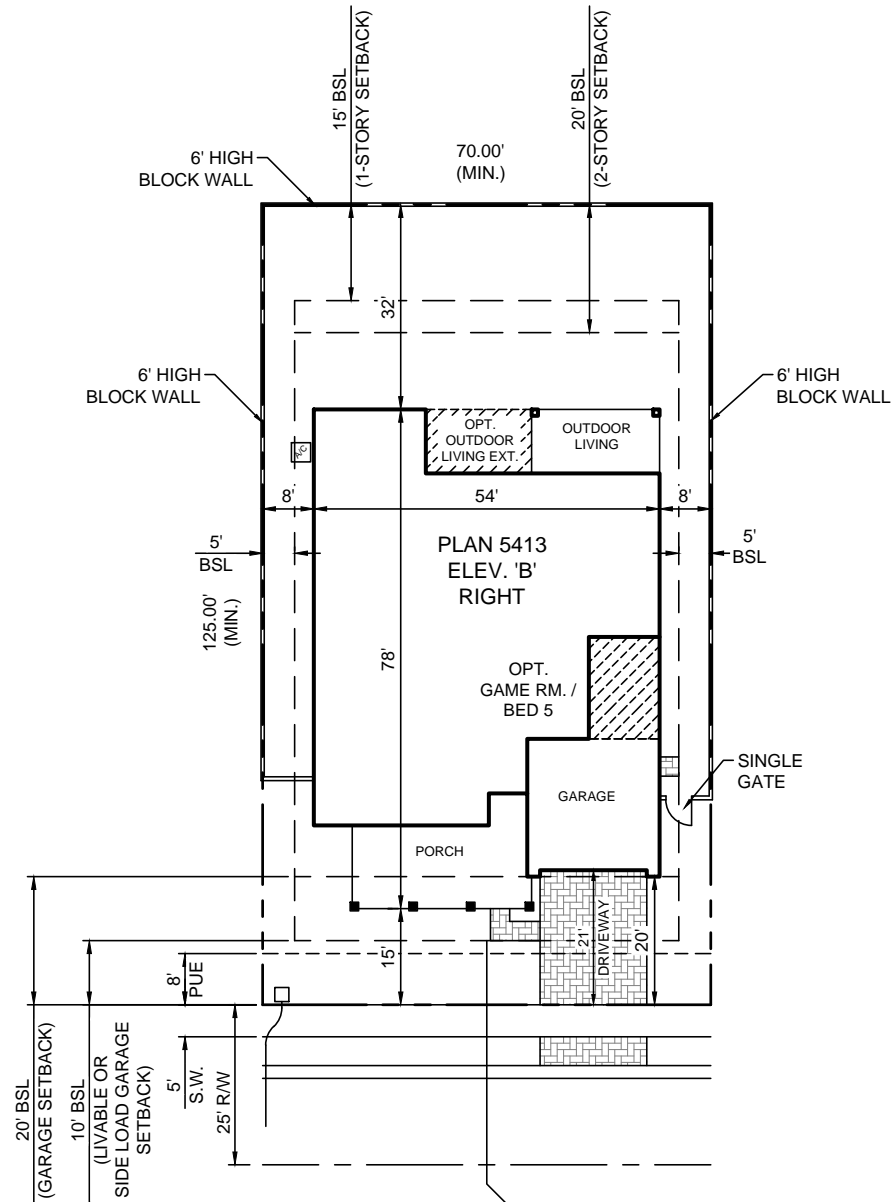
R1-5 ZONING  
BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
SIDE LOAD GARAGE = 10'  
FRONT LIVABLE = 10'  
SIDE = 5'  
REAR = 15' (1-STORY)  
20' (2-STORY)  
MAXIMUM LOT COVERAGE  
55% (1-STORY)  
50% (2-STORY)

	ARCHITECTURAL OPTIONS
	VISIBILITY EASEMENT
	V.E.
	N.V.A.E.
	NON-VEHICULAR ACCESS EASE.
	P.U.E.
	PUBLIC UTILITY EASEMENT
	B.S.L.
	BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SERVICE LOCATION
	JUNCTION BOX LOCATION
	STREET LIGHT LOCATION
	HOSE BIB LOCATION

# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

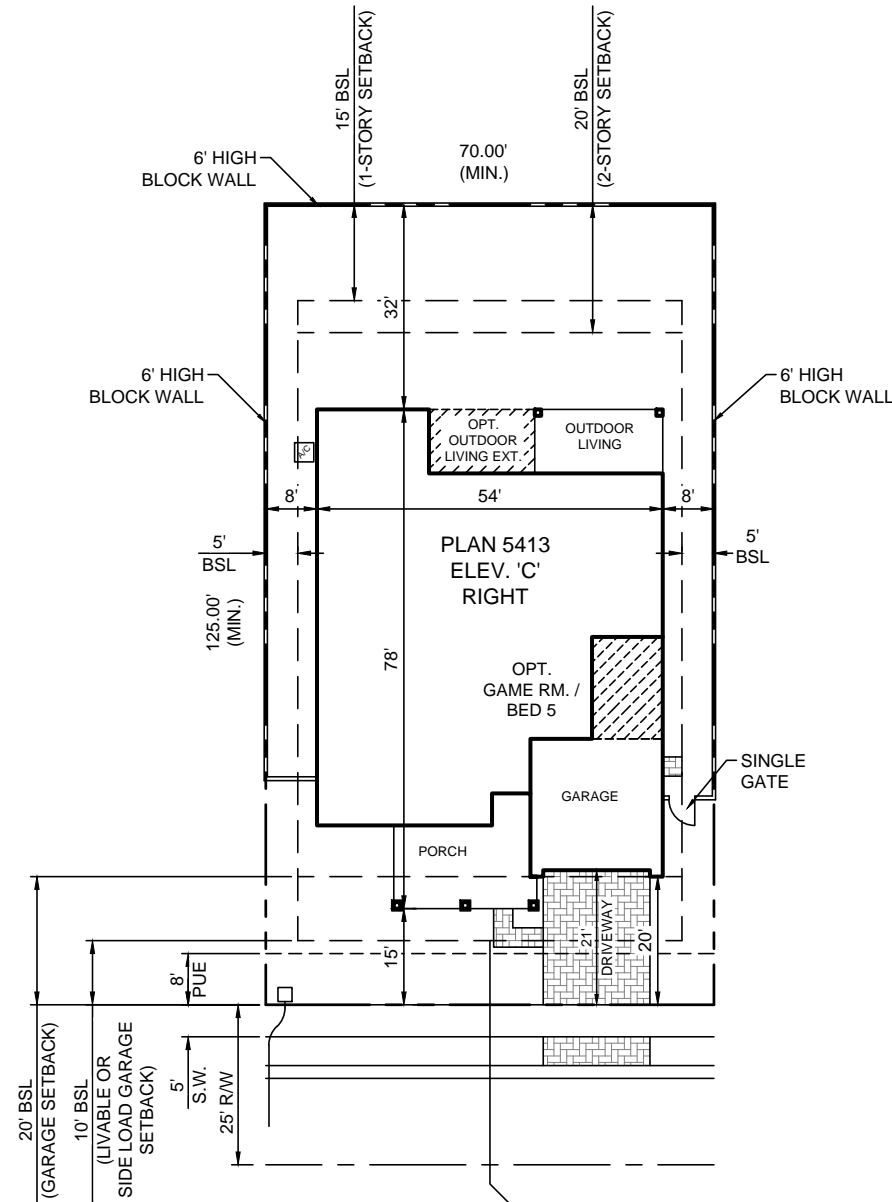


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	2661 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	599 SQ.FT.	
PATIO:	200 SQ.FT.	OPT. OUTDOOR LIVING EXTENSION
ENTRY / PORCH:	389 SQ.FT.	OPT. GAME ROOM
ARCH. PROJECTIONS:	0 SQ.FT.	OPT. BEDROOM 5
TOTAL LIVABLE :	2661 SQ.FT.	
TOTAL UNDER ROOF :	3849 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3849 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	44.0 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

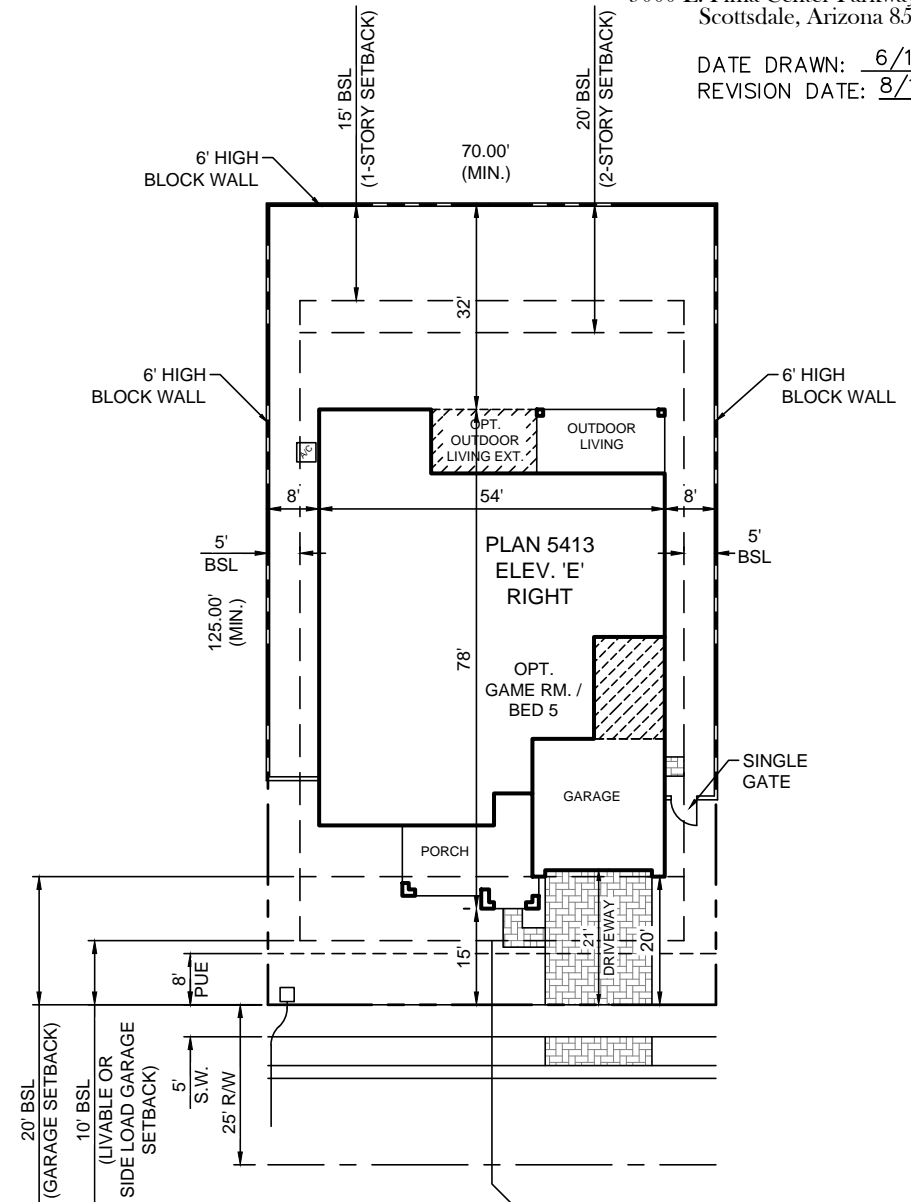


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	2661 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	599 SQ.FT.	
PATIO:	200 SQ.FT.	OPT. OUTDOOR LIVING EXTENSION
ENTRY / PORCH:	312 SQ.FT.	OPT. GAME ROOM
ARCH. PROJECTIONS:	0 SQ.FT.	OPT. BEDROOM 5
TOTAL LIVABLE :	2661 SQ.FT.	
TOTAL UNDER ROOF :	3772 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3772 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	43.1 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



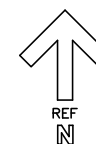
TYPICAL STREET

ELEVATION - E

LIVABLE 1st Flr:	2661 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	599 SQ.FT.	
PATIO:	200 SQ.FT.	OPT. OUTDOOR LIVING EXTENSION
ENTRY / PORCH:	275 SQ.FT.	OPT. GAME ROOM
ARCH. PROJECTIONS:	0 SQ.FT.	OPT. BEDROOM 5
TOTAL LIVABLE :	2661 SQ.FT.	
TOTAL UNDER ROOF :	3735 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3735 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	42.7 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5413



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL



SCALE: 1"=30'-0"

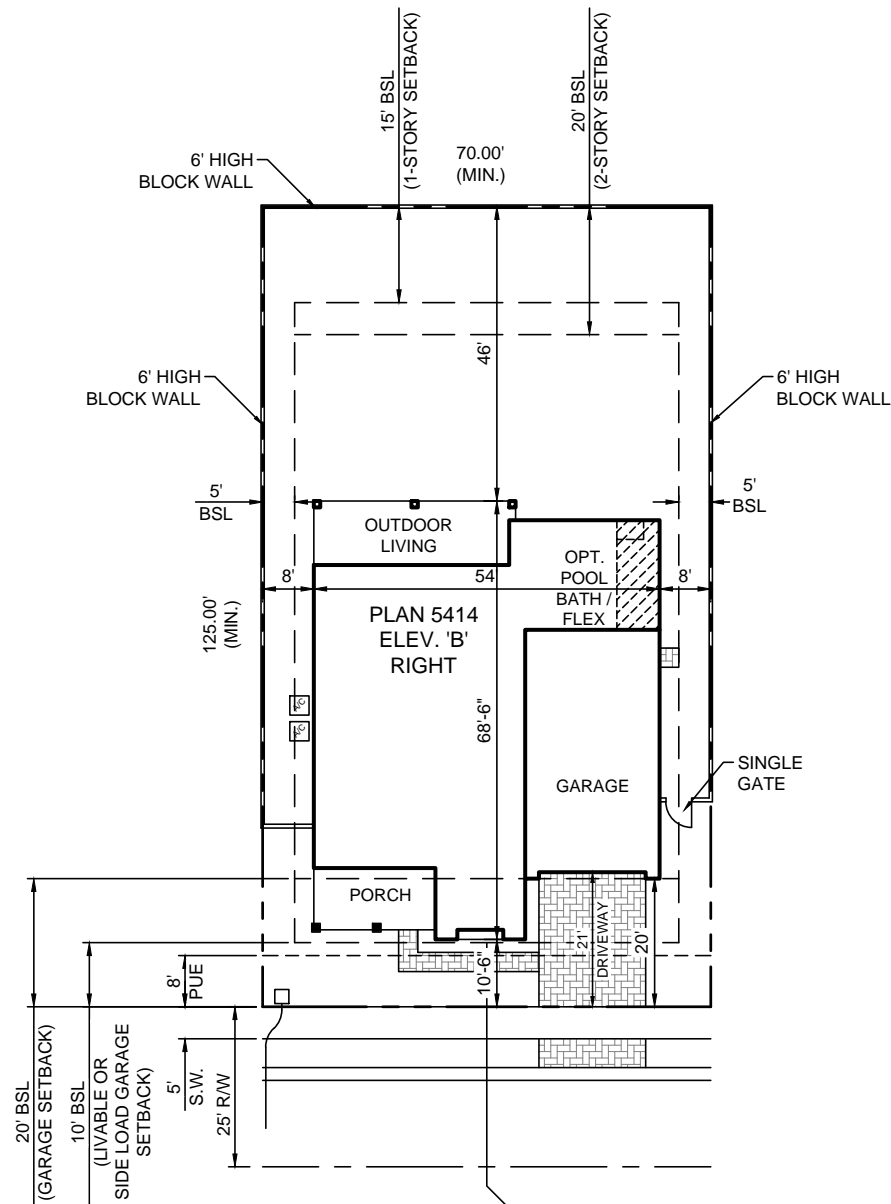
R1-5 ZONING  
BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
SIDE LOAD GARAGE = 10'  
FRONT LIVABLE = 10'  
SIDE = 5'  
REAR = 15' (1-STORY)  
20' (2-STORY)  
MAXIMUM LOT COVERAGE  
55% (1-STORY)  
50% (2-STORY)

	ARCHITECTURAL OPTIONS
	V.E. VISIBILITY EASEMENT
	N.V.A.E. NON-VEHICULAR ACCESS EASE.
	P.U.E. PUBLIC UTILITY EASEMENT
	B.S.L. BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SERVICE LOCATION
	JUNCTION BOX LOCATION
	STREET LIGHT LOCATION
	HOSE BIB LOCATION

# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

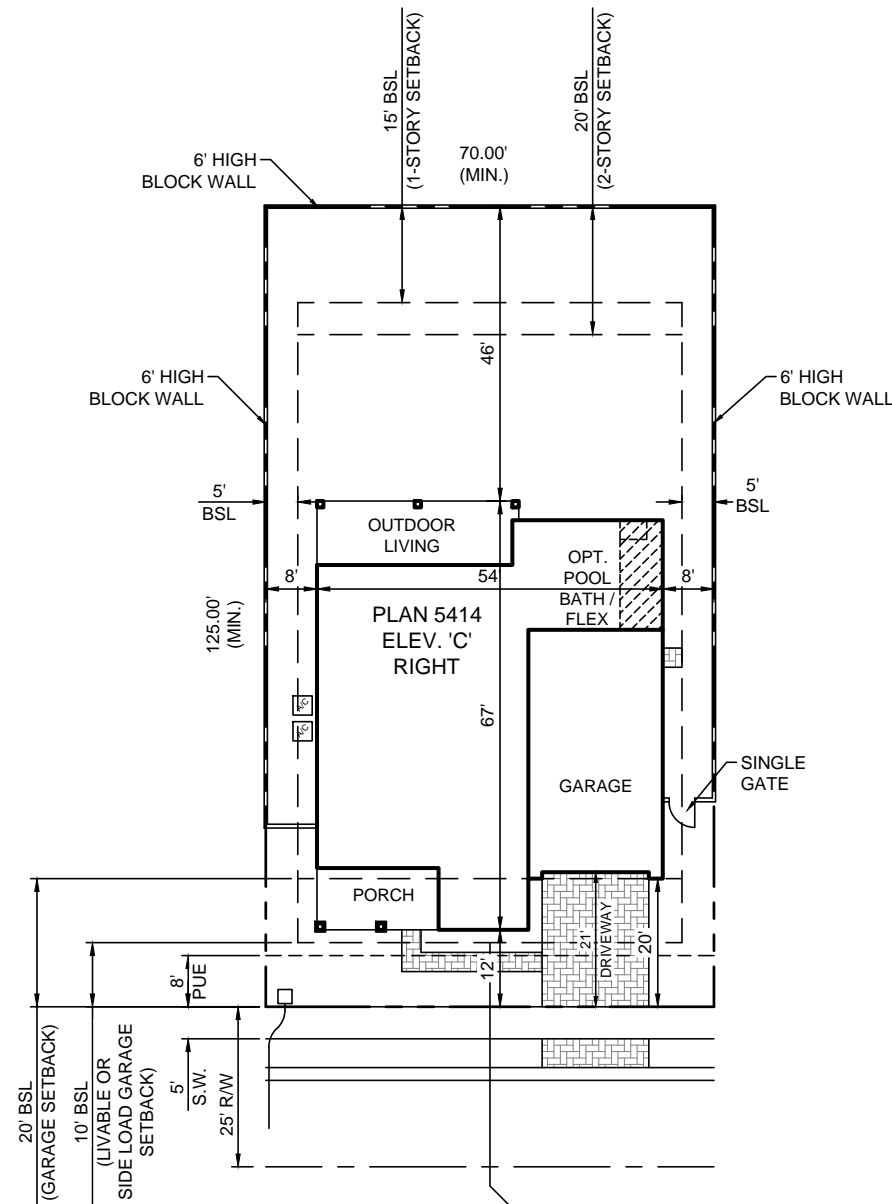


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	2062 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	2127 SQ.FT.	
GARAGE:	829 SQ.FT.	OPT. POOL BATH
PATIO:	299 SQ.FT.	
ENTRY / PORCH:	162 SQ.FT.	
BALCONY:	184 SQ.FT.	
TOTAL LIVABLE :	4189 SQ.FT.	
TOTAL UNDER ROOF :	5663 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3536 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	40.4 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

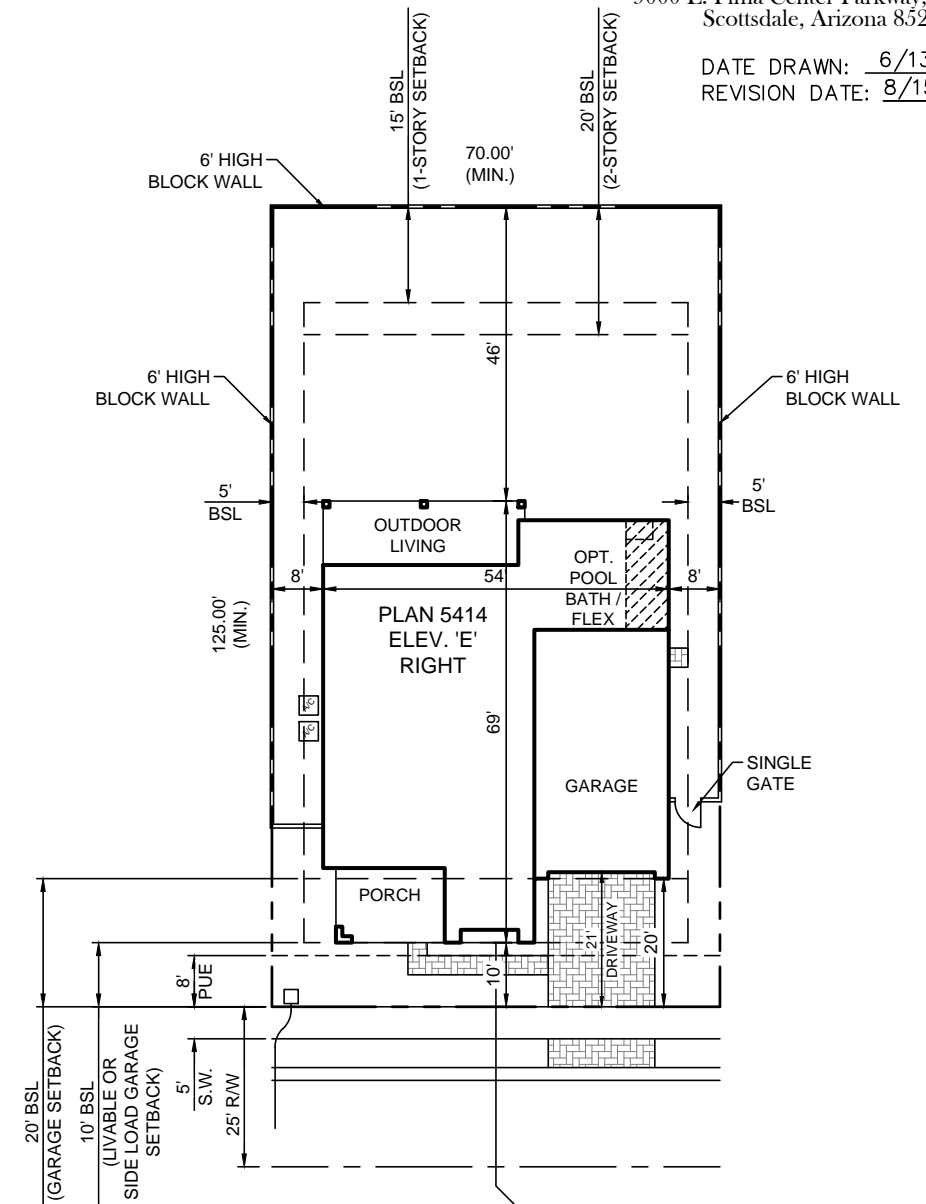


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	2062 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	2127 SQ.FT.	
GARAGE:	829 SQ.FT.	OPT. POOL BATH
PATIO:	299 SQ.FT.	
ENTRY / PORCH:	184 SQ.FT.	
BALCONY:	0 SQ.FT.	
TOTAL LIVABLE :	4189 SQ.FT.	
TOTAL UNDER ROOF :	5501 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3374 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	38.6 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



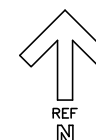
TYPICAL STREET

ELEVATION - E

LIVABLE 1st Flr:	2062 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	2127 SQ.FT.	
GARAGE:	829 SQ.FT.	OPT. POOL BATH
PATIO:	299 SQ.FT.	
ENTRY / PORCH:	204 SQ.FT.	
BALCONY:	0 SQ.FT.	
TOTAL LIVABLE :	4189 SQ.FT.	
TOTAL UNDER ROOF :	5521 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3394 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	38.8 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5414



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL



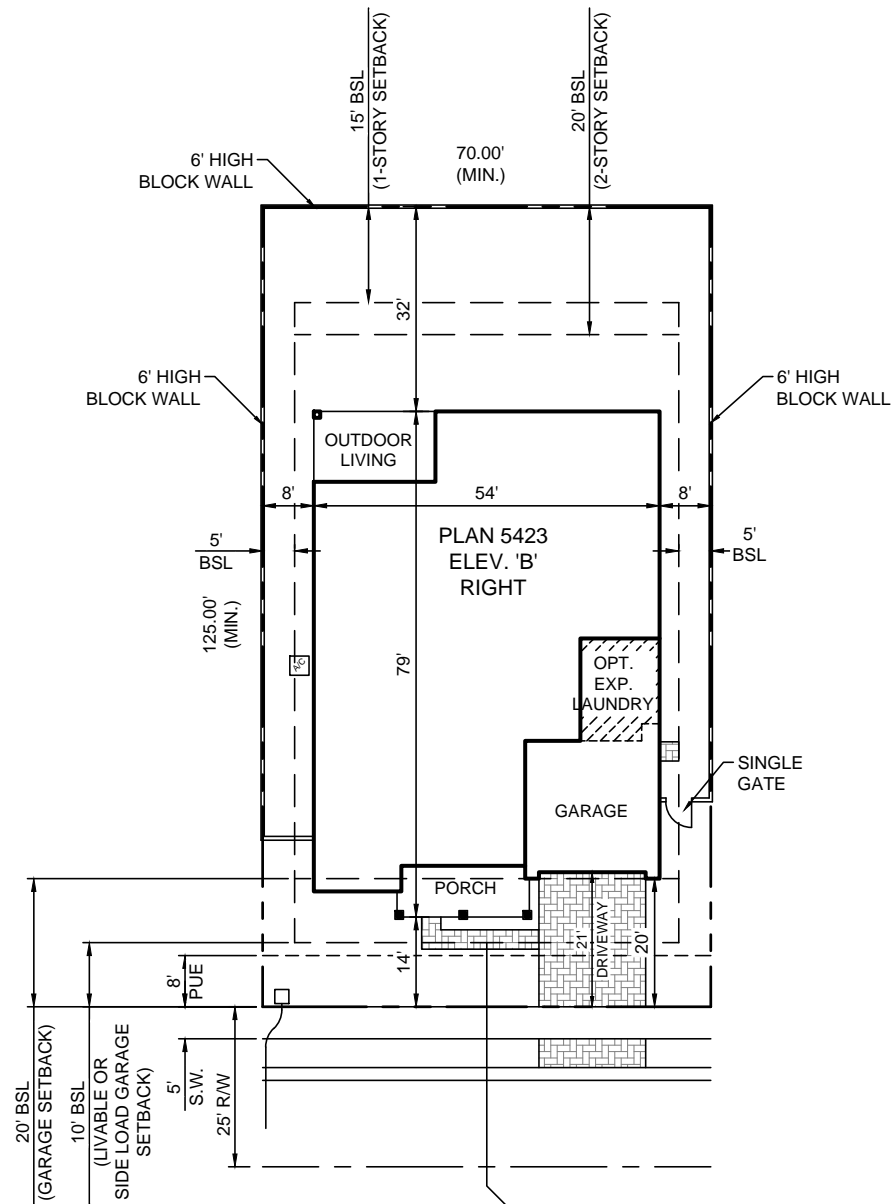
R1-5 ZONING  
BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
SIDE LOAD GARAGE = 10'  
FRONT LIVABLE = 10'  
SIDE = 5'  
REAR = 15' (1-STORY)  
20' (2-STORY)  
MAXIMUM LOT COVERAGE  
55% (1-STORY)  
50% (2-STORY)

	ARCHITECTURAL OPTIONS
	VISIBILITY EASEMENT
	V.E.
	N.V.A.E.
	NON-VEHICULAR ACCESS EASE.
	P.U.E.
	PUBLIC UTILITY EASEMENT
	B.S.L.
	BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SERVICE LOCATION
	JUNCTION BOX LOCATION
	STREET LIGHT LOCATION
	HOSE BIB LOCATION

# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

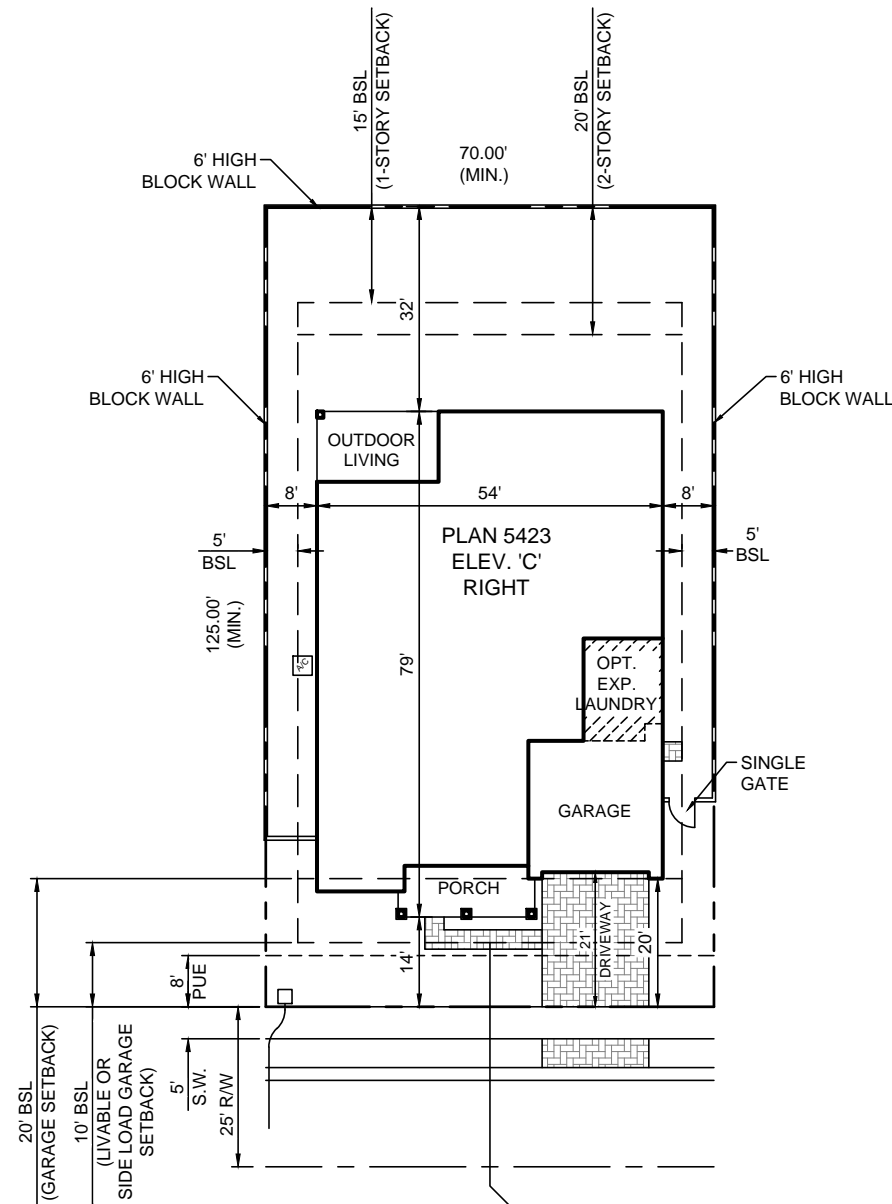


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	3072 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	650 SQ.FT.	OPT. EXPANDED LAUNDRY
PATIO:	209 SQ.FT.	
ENTRY / PORCH:	161 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	3072 SQ.FT.	
TOTAL UNDER ROOF :	4092 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	4092 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	46.8 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

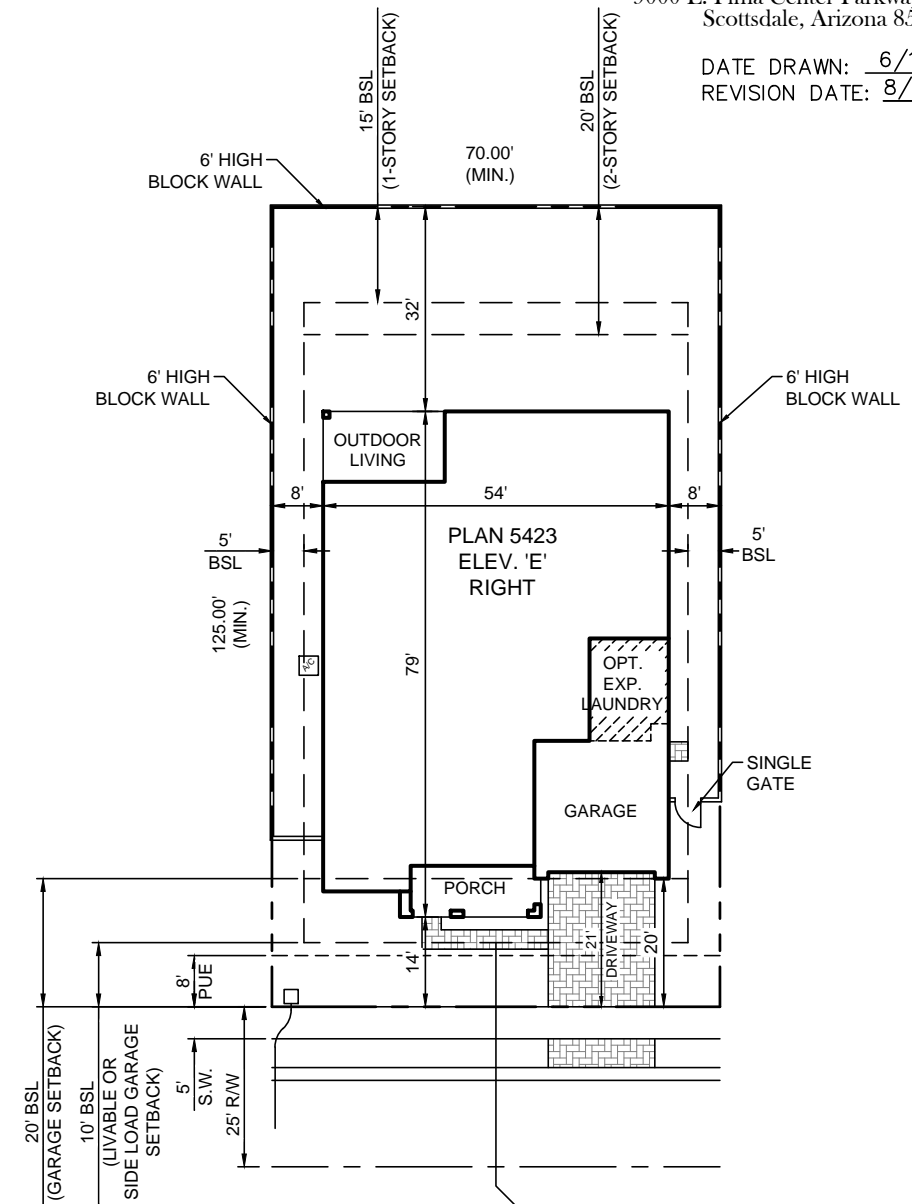


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	3072 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	650 SQ.FT.	OPT. EXPANDED LAUNDRY
PATIO:	209 SQ.FT.	
ENTRY / PORCH:	165 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	3072 SQ.FT.	
TOTAL UNDER ROOF :	4096 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	4096 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	46.8 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



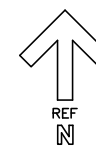
TYPICAL STREET

ELEVATION - E

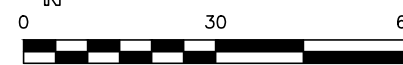
LIVABLE 1st Flr:	3072 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	0 SQ.FT.	
GARAGE:	650 SQ.FT.	OPT. EXPANDED LAUNDRY
PATIO:	209 SQ.FT.	
ENTRY / PORCH:	167 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	3072 SQ.FT.	
TOTAL UNDER ROOF :	4098 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	4098 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	46.8 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5423



COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL



R1-5 ZONING  
BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
SIDE LOAD GARAGE = 10'  
FRONT LIVABLE = 10'  
SIDE = 5'  
REAR = 15' (1-STORY)  
20' (2-STORY)  
MAXIMUM LOT COVERAGE  
55% (1-STORY)  
50% (2-STORY)

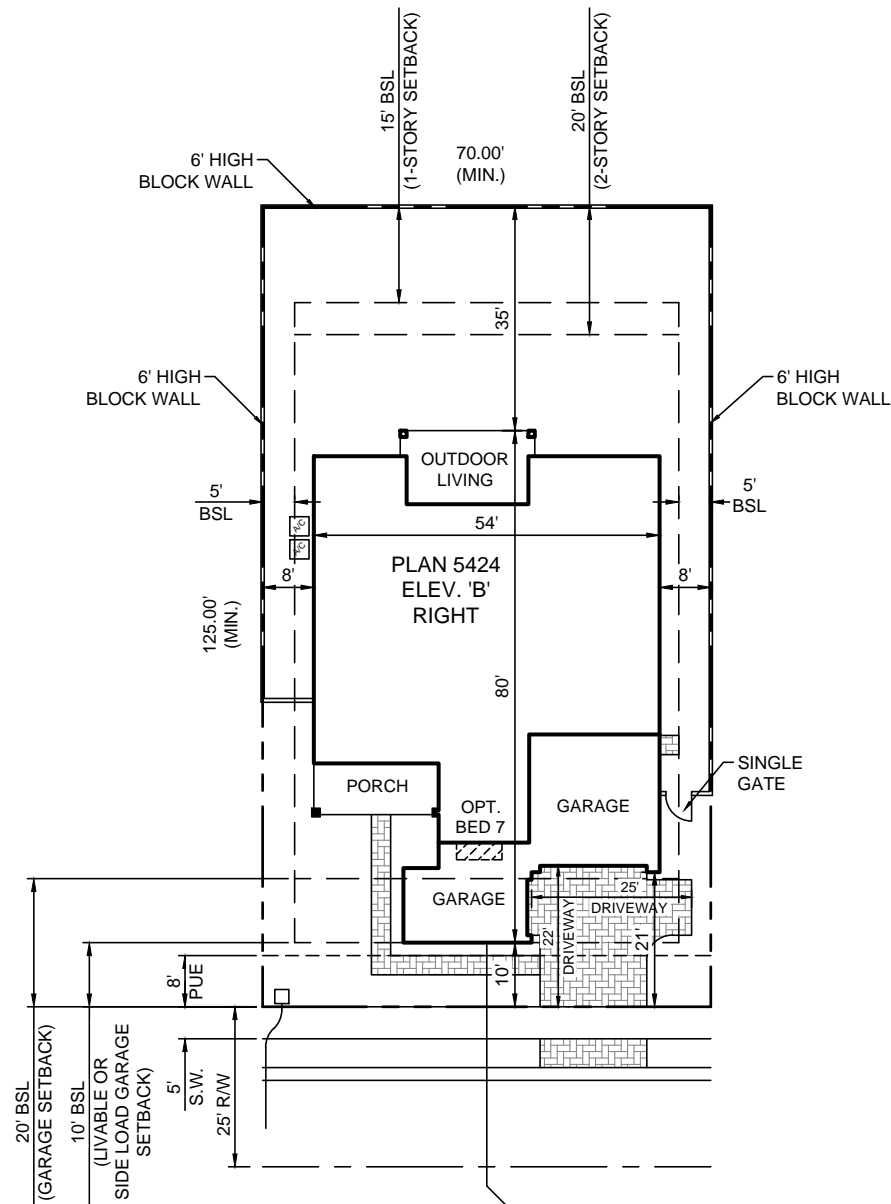
	ARCHITECTURAL OPTIONS
	V.E. VISIBILITY EASEMENT
	N.V.A.E. NON-VEHICULAR ACCESS EASE.
	P.U.E. PUBLIC UTILITY EASEMENT
	B.S.L. BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SERVICE LOCATION
	JUNCTION BOX LOCATION
	STREET LIGHT LOCATION
	HOSE BIB LOCATION



# TERRAVELLA - PHASE 2

## TYPICAL PLOT PLANS

70' x 125' MINIMUM LOT SIZE

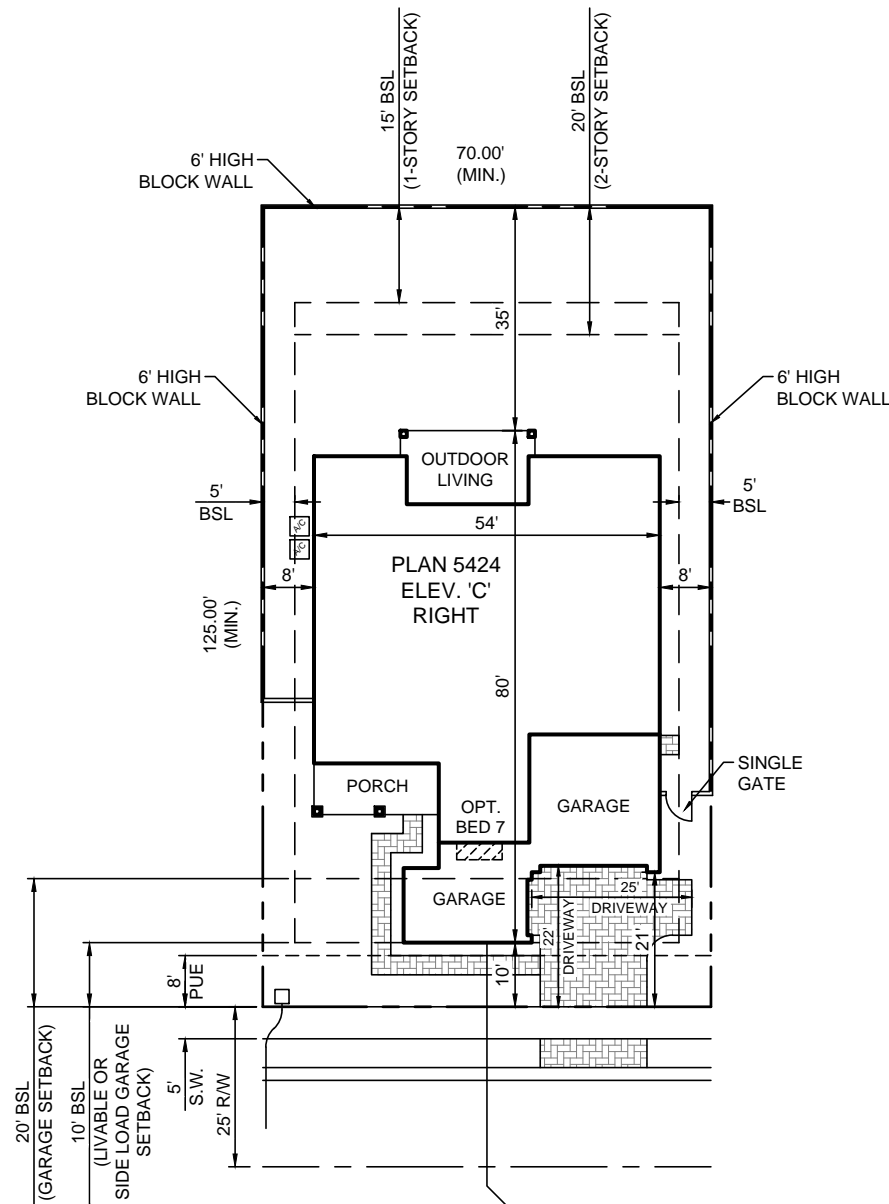


TYPICAL STREET

ELEVATION - B

LIVABLE 1st Flr:	2532 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1985 SQ.FT.	
GARAGE:	700 SQ.FT.	OPT. BED 7
PATIO:	227 SQ.FT.	
ENTRY / PORCH:	156 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	4517 SQ.FT.	
TOTAL UNDER ROOF :	5600 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3615 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	41.3 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

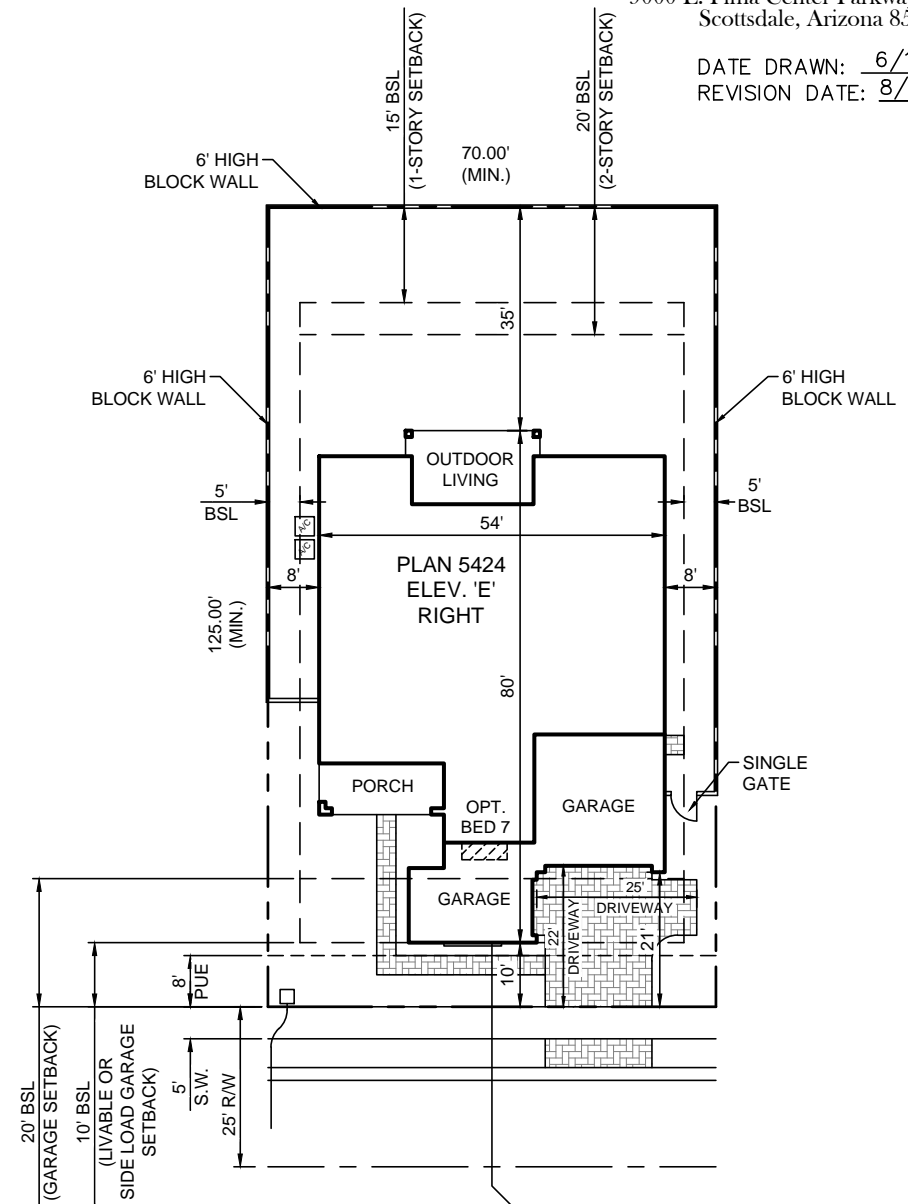


TYPICAL STREET

ELEVATION - C

LIVABLE 1st Flr:	2532 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1985 SQ.FT.	
GARAGE:	700 SQ.FT.	OPT. BED 7
PATIO:	227 SQ.FT.	
ENTRY / PORCH:	156 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	4517 SQ.FT.	
TOTAL UNDER ROOF :	5600 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3615 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	41.3 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.



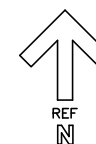
TYPICAL STREET

ELEVATION - E

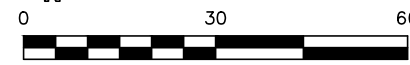
LIVABLE 1st Flr:	2532 SQ.FT.	OPTIONS TO BE BUILT WITH STANDARD HOME:
LIVABLE 2nd Flr:	1985 SQ.FT.	
GARAGE:	700 SQ.FT.	OPT. BED 7
PATIO:	227 SQ.FT.	
ENTRY / PORCH:	156 SQ.FT.	
ARCH. PROJECTIONS:	0 SQ.FT.	
TOTAL LIVABLE :	4517 SQ.FT.	
TOTAL UNDER ROOF :	5600 SQ.FT.	
TOTAL 1st FLOOR FOOTPRINT:	3615 SQ.FT.	
LOT :	8,750 SQ.FT.	
LOT COVERAGE :	41.3 %	

NOTE: AVAILABLE OPTIONS NOT REFLECTED IN SQUARE FOOTAGE INFORMATION.

### PLAN 5424

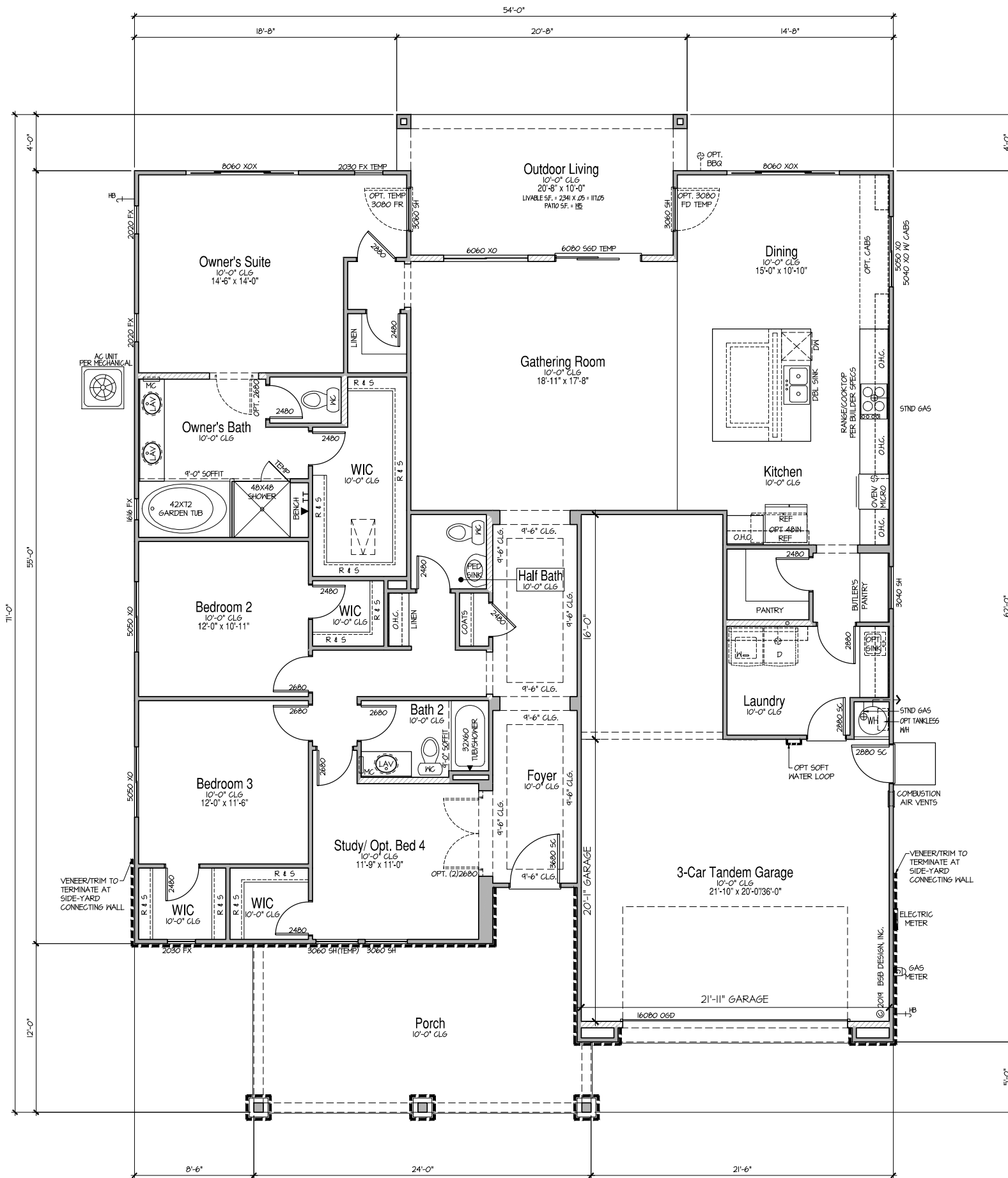


COORDINATE ALL EASEMENTS (U.B.E., P.U.E., N.V.A.E., ETC.) w/ APPROVED PLAT - TYPICAL



R1-5 ZONING  
BUILDING SETBACKS:  
FRONT LOAD GARAGE = 20'  
SIDE LOAD GARAGE = 10'  
FRONT LIVABLE = 10'  
SIDE = 5'  
REAR = 15' (1-STORY)  
20' (2-STORY)  
MAXIMUM LOT COVERAGE  
55% (1-STORY)  
50% (2-STORY)

	ARCHITECTURAL OPTIONS
	V.E. VISIBILITY EASEMENT
	N.V.A.E. NON-VEHICULAR ACCESS EASE.
	P.U.E. PUBLIC UTILITY EASEMENT
	B.S.L. BUILDING SETBACK LINE
	FIRE HYDRANT
	ELECTRIC SERVICE LOCATION
	JUNCTION BOX LOCATION
	STREET LIGHT LOCATION
	HOSE BIB LOCATION



WALL LEGEND		
2 x 4 WALL		
2 x 6 WALL		
BRICK/STONE		
VENEER		

AREA SCHEDULE - PLAN 5403		
ALL ELEVATIONS:	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,341	2,341
(B) 3-CAR TANDEM GARAGE		628
(C) OUTDOOR LIVING		145
<b>ELEVATION B:</b>		
(D) COVERED PORCH		305
(E) ARCHITECTURAL PROJECTIONS		22
TOTAL	2,341	3,441
BUILDING FOOTPRINT		3,441
<b>ELEVATION C:</b>		
(F) COVERED PORCH		407
(G) ARCHITECTURAL PROJECTIONS		22
TOTAL	2,341	3,543
BUILDING FOOTPRINT		3,543
<b>ELEVATION E:</b>		
(H) COVERED PORCH		251
(I) ARCHITECTURAL PROJECTIONS		22
TOTAL	2,341	3,437
BUILDING FOOTPRINT		3,437
<b>OPTIONS:</b>		
(K) OPT. DINING I.L.O. TANDEM	+161	+161
MAX LIVABLE W/ OPTIONS	2,502	2,502
MAX FOOTPRINT W/ OPTIONS		NA

**Elevation B - Ranch Floor Plan**  
SCALE: 1/4"=1'-0"

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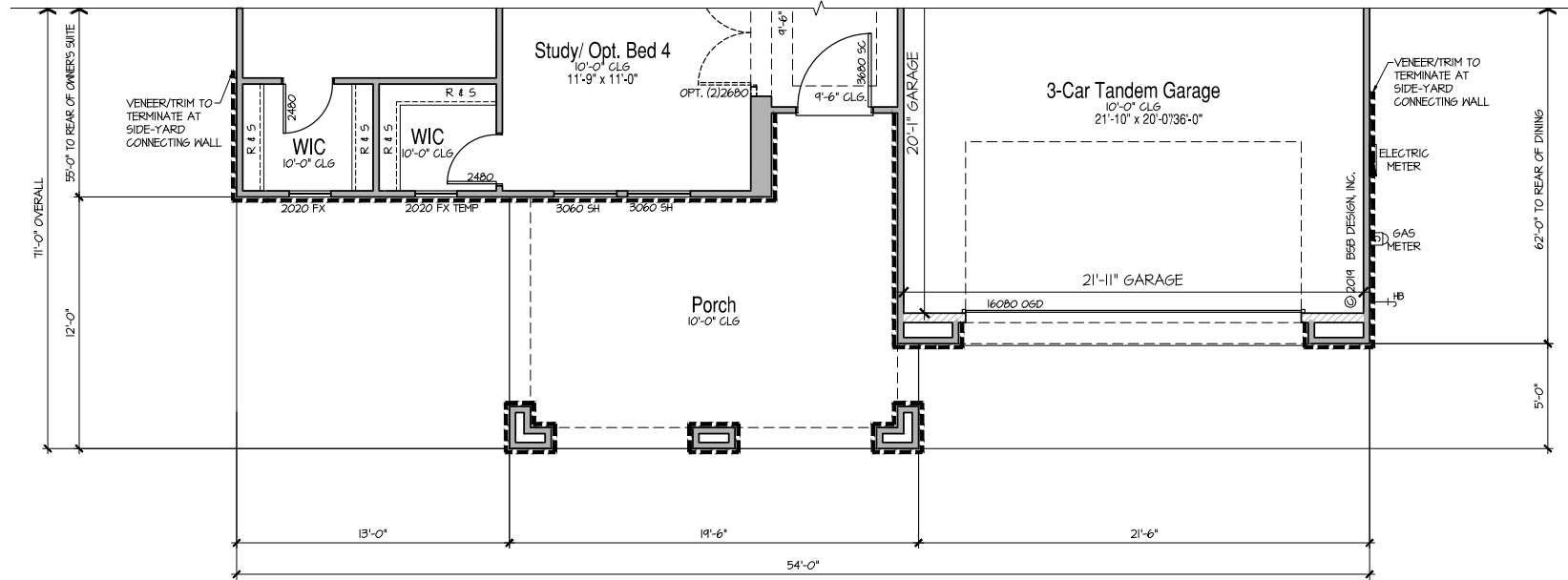
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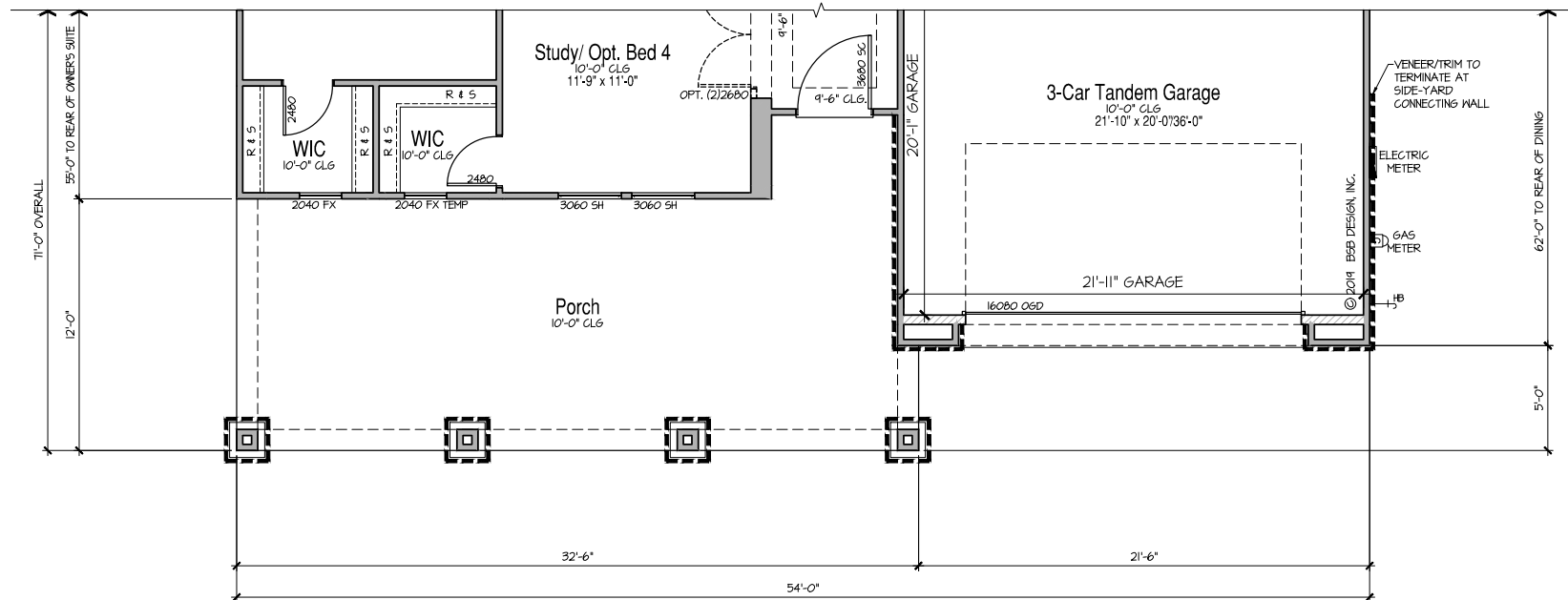
9105 E. Del Camino Drive, Suite 105  
Scottsdale, Arizona 85258  
480 663 2100  
JOB NO: SF190151.00 PROJ. MGR: BVM  
DRAWN: AMC CHECKED: BVM  
FLOOR PLAN  
ELEVATION B - RANCH

PLAN 5403  
**A1.1**



**Elevation E - Prairie**

SCALE: 1/4"=1'-0"



**Elevation C - Craftsman**

SCALE: 1/4"=1'-0"

WALL LEGEND		
2 x 4 WALL	[Symbol]	
2 x 6 WALL	[Symbol]	
BRICK/STONE	[Symbol]	
VENEER	[Symbol]	

AREA SCHEDULE - PLAN 5403			
ALL ELEVATIONS:	LIVABLE SF.	UNDER SF.	ROOF SF.
(A) MAIN FLOOR AREA	2,341	2,341	
(B) 3-CAR TANDEM GARAGE		628	
(C) OUTDOOR LIVING		195	
<b>ELEVATION B:</b>			
(D) COVERED PORCH		305	
(E) ARCHITECTURAL PROJECTIONS		22	
TOTAL	2,341	3,441	
BUILDING FOOTPRINT		3,441	
<b>ELEVATION C:</b>			
(F) COVERED PORCH		401	
(G) ARCHITECTURAL PROJECTIONS		22	
TOTAL	2,341	3,543	
BUILDING FOOTPRINT		3,543	
<b>ELEVATION E:</b>			
(H) COVERED PORCH		251	
(I) ARCHITECTURAL PROJECTIONS		22	
TOTAL	2,341	3,431	
BUILDING FOOTPRINT		3,431	
<b>OPTIONS:</b>			
(J) OPT. DINING I.L.O. TANDEM	+161	+161	
MAX LIVABLE IV OPTIONS	2,502	2,502	
MAX FOOTPRINT IV OPTIONS		NA	

**Partial Floor Plans**

SCALE: 1/4"=1'-0"

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ISSUE DATE:	REVISIONS:
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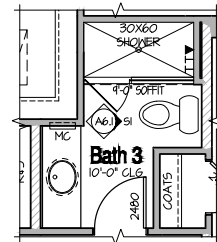
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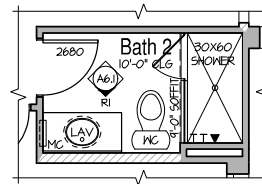
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 480 663 2100  
 JOB NO: SF190151.00 PROJ MGR: BVM  
 DRAWN: AMC CHECKED: BVM  
 PARTIAL FLOOR PLANS  
 ELEVATION C - CRAFTSMAN  
 ELEVATION E - PRAIRIE

PLAN 5403  
**A1.2**



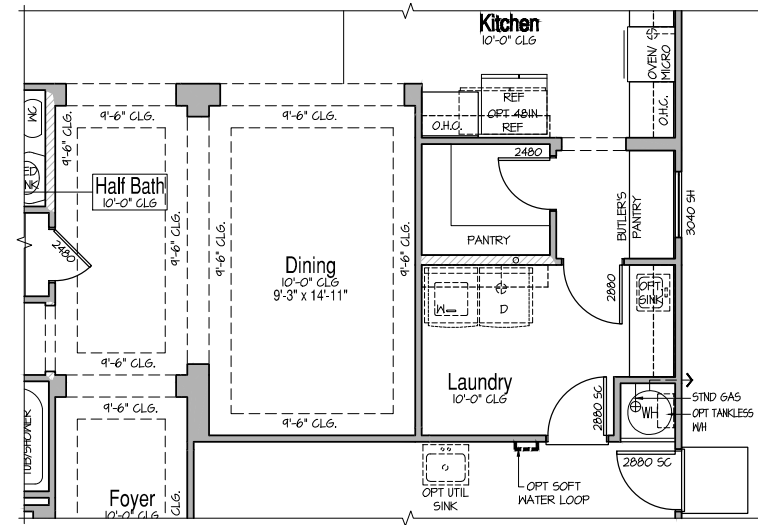
**Opt. Bath 3 Shower**

SCALE: 1/4"=1'-0"



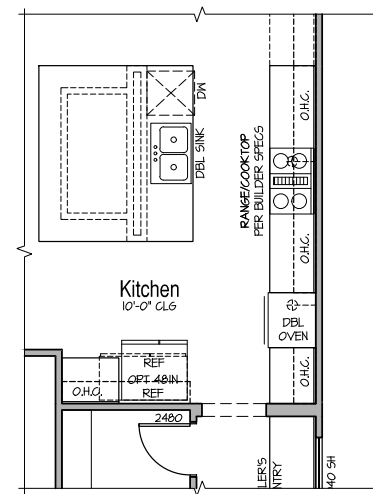
**Opt. Bath 2 Shower**

SCALE: 1/4"=1'-0"



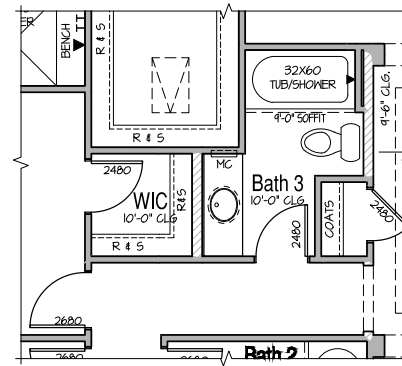
**Opt. Dining i.l.o. Tandem**

SCALE: 1/4"=1'-0"



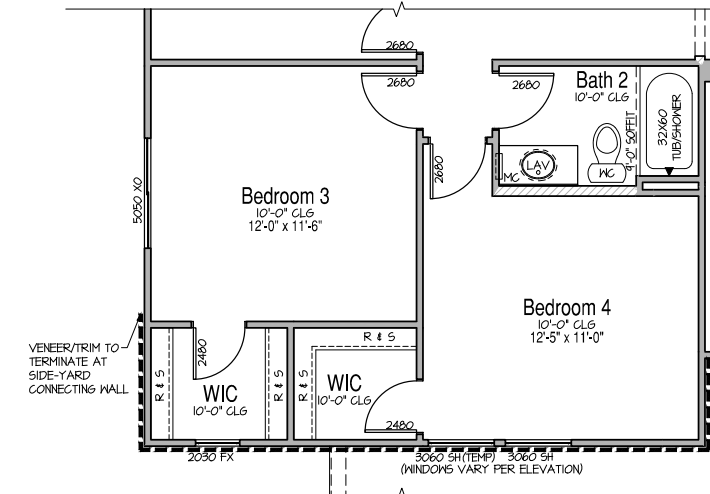
**Opt. Gourmet Kitchen**

SCALE: 1/4"=1'-0"



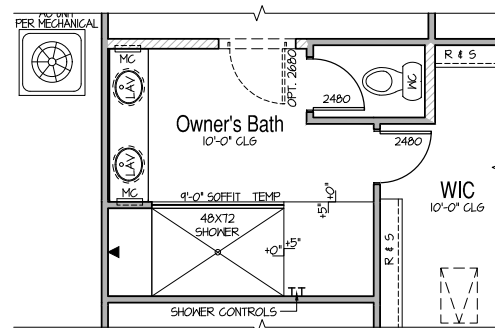
**Opt. Bath 3 i.l.o. Half Bath**

SCALE: 1/4"=1'-0"



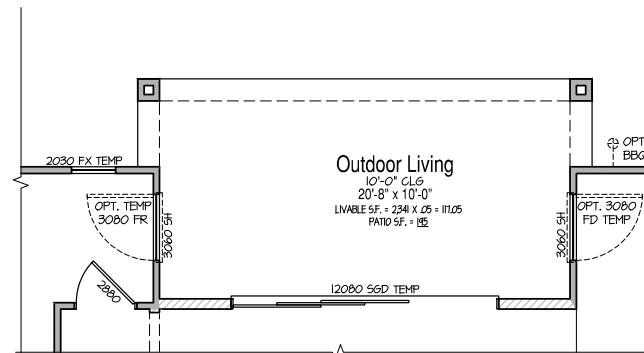
**Opt. Bedroom 4 i.l.o. Study**

SCALE: 1/4"=1'-0"



**Opt. Walk-In Shower**

SCALE: 1/4"=1'-0"



**Opt. MSD @ Gathering**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENEER	

**Partial Floor Plan Options**

SCALE: 1/4"=1'-0"

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 DRAWN: AMC CHECKED: BVM  
 PARTIAL FLOOR PLAN OPTIONS

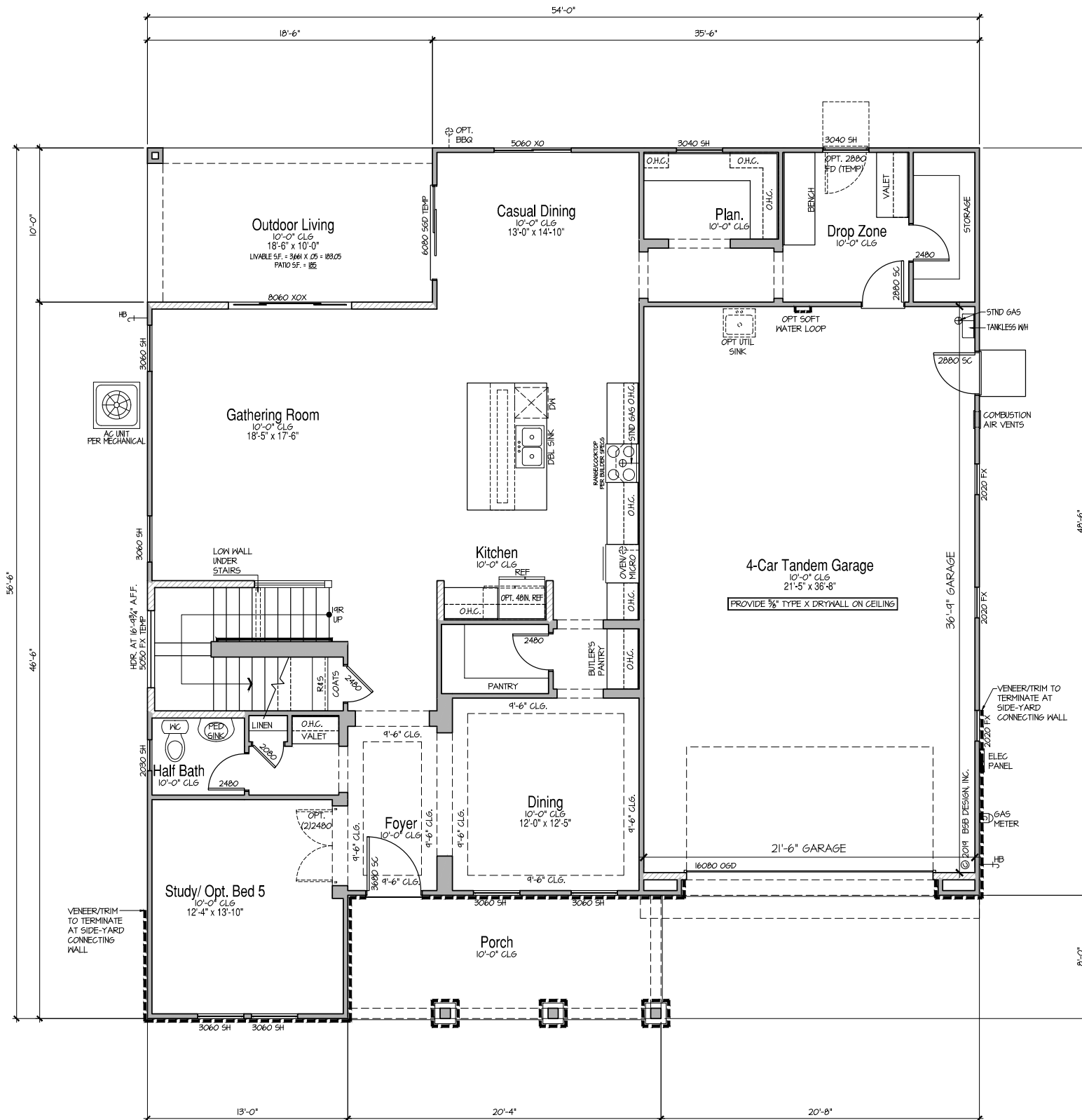
PLAN 5403

**A1.3**









WALL LEGEND		
2 x 4 MALL		
2 x 6 MALL		
BRICK/STONE		
VENEER		

AREA SCHEDULE - PLAN 5404		
ALL ELEVATIONS:	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	1,705	1,705
(B) UPPER FLOOR AREA	1,458	1,458
(C) 4-CAR TANDEM GARAGE		811
(D) OUTDOOR LIVING		185
ELEVATION B:		
(E) COVERED PORCH		163
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(G) COVERED BALCONY		181
TOTAL	3,663	5,025
BUILDING FOOTPRINT		2,286
ELEVATION C:		
(H) COVERED PORCH		280
(I) MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(J) UPPER FLOOR ARCHITECTURAL PROJECTIONS		38
TOTAL	3,663	4,949
BUILDING FOOTPRINT		3,003
ELEVATION E:		
(K) COVERED PORCH		144
(L) ARCHITECTURAL PROJECTIONS		22
TOTAL	3,663	4,825
BUILDING FOOTPRINT		2,261
OPTIONS:		
(N) OPT. BED 5 I.L.O. DEN	+0	+0
(O) OPT. POOL BATH I.L.O. OWNER'S ENTRY	-12	
MAX LIVABLE W/ OPTIONS	3,663	3,663
MAX FOOTPRINT W/ OPTIONS		NA

## Elevation B - Ranch Floor Plan

SCALE: 1/4"=1'-0"

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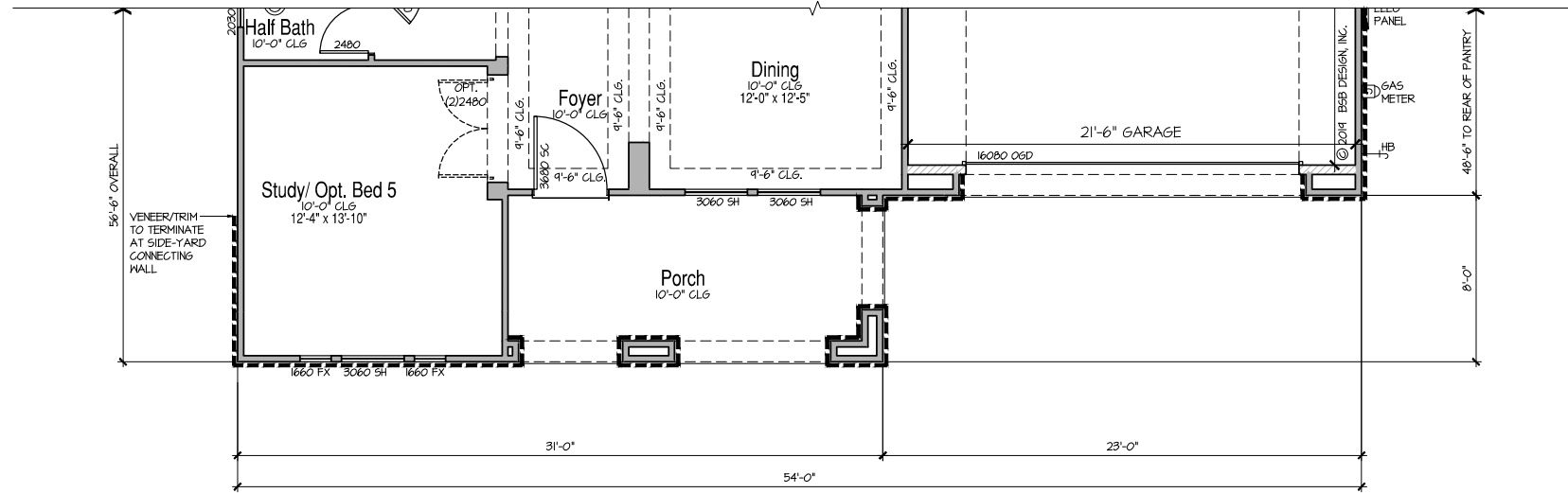
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 480.663.2100  
 JOB NO: SF190151.00 PROJ. MGR: BVM  
 DRAWN: AMC CHECKED: BVM  
 FLOOR PLAN  
 ELEVATION B - RANCH

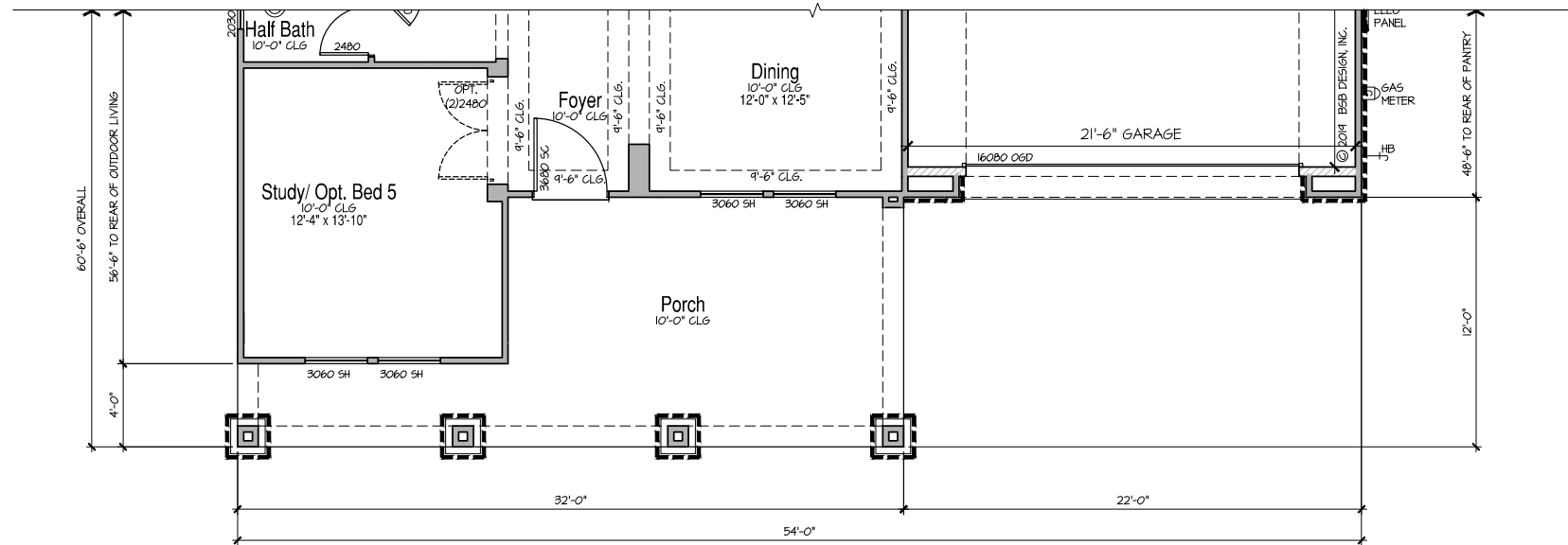
PLAN 5404  
**A1.1**





### Elevation E - Prairie

SCALE: 1/4"=1'-0"



### Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND			
2 x 4 WALL			
2 x 6 WALL			
BRICK/STONE			
VENEER			

AREA SCHEDULE - PLAN 5404			
ALL ELEVATIONS:			
		LIVABLE SF.	UNDER ROOF SF.
(A)	MAIN FLOOR AREA	1,705	1,705
(B)	UPPER FLOOR AREA	1,950	1,950
(C)	4-CAR TANDEM GARAGE		811
(D)	OUTDOOR LIVING		185
ELEVATION B:			
(E)	COVERED PORCH		163
(F)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(G)	COVERED BALCONY		181
TOTAL		3,663	5,025
BUILDING FOOTPRINT			2,886
ELEVATION C:			
(H)	COVERED PORCH		280
(I)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(J)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		38
TOTAL		3,663	4,991
BUILDING FOOTPRINT			3,003
ELEVATION E:			
(K)	COVERED PORCH		144
(L)	ARCHITECTURAL PROJECTIONS		22
TOTAL		3,663	4,825
BUILDING FOOTPRINT			2,861
OPTIONS:			
(M)	OPT. BED 5 I.L.O. DEN	+0	+0
(N)	OPT. POOL BATH I.L.O. OWNER'S ENTRY	-12	
MAX LIVABLE IV OPTIONS		3,663	3,663
MAX FOOTPRINT IV OPTIONS			NA

## Partial Floor Plans

SCALE: 1/4"=1'-0"

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ISSUE DATE:	REVISIONS:
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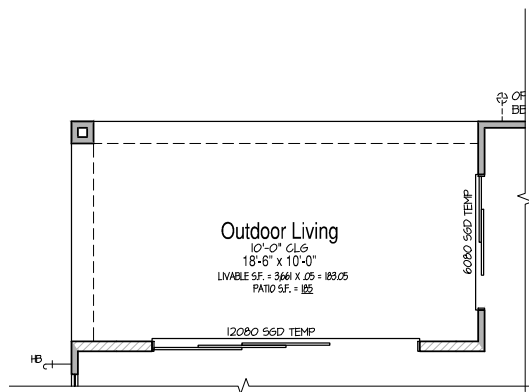
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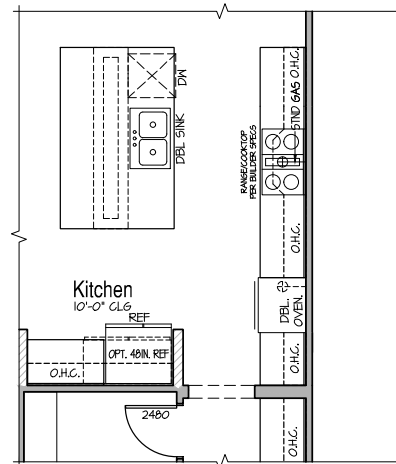
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 JOB NO: SF190151.00 PROJ.MGR: BVM  
 DRAWN: AMC CHECKED: BVM  
 PARTIAL FLOOR PLANS  
 ELEVATION C - CRAFTSMAN  
 ELEVATION E - PRAIRIE

PLAN 5404  
**A1.2**



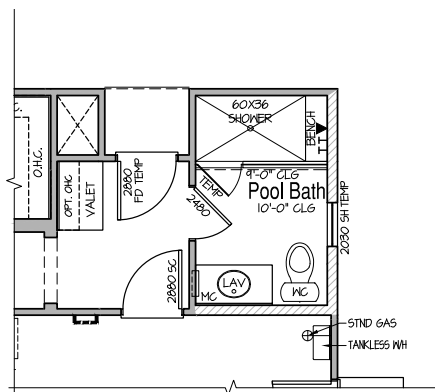
**Opt. Multi-Slide Door  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



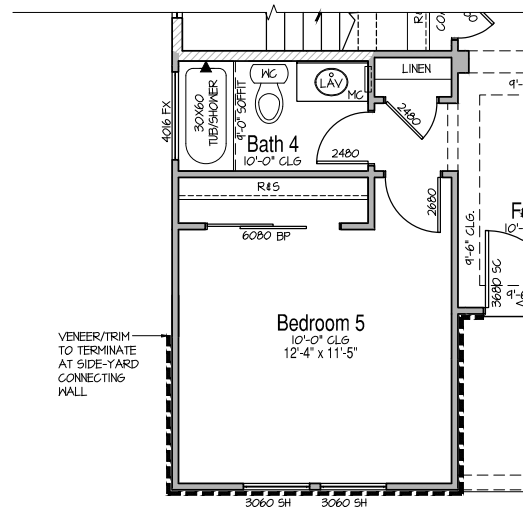
**Opt. Gourmet Kitchen  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



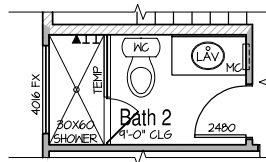
**Opt. Pool Bath i.l.o. Drop Zone  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



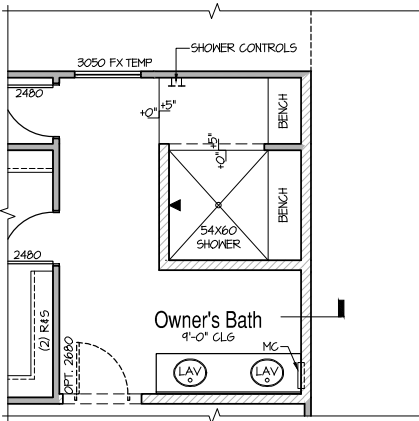
**Opt. Bedroom 5 i.l.o. Study  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



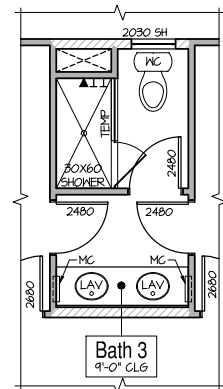
**Opt. Shower at Bath 2  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



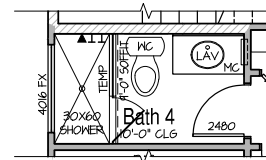
**Opt. Walk-In Shower  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Shower at Bath 3  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Shower at Bath 4  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENEER	

**Partial Floor Plan Options**

SCALE: 1/4"=1'-0"

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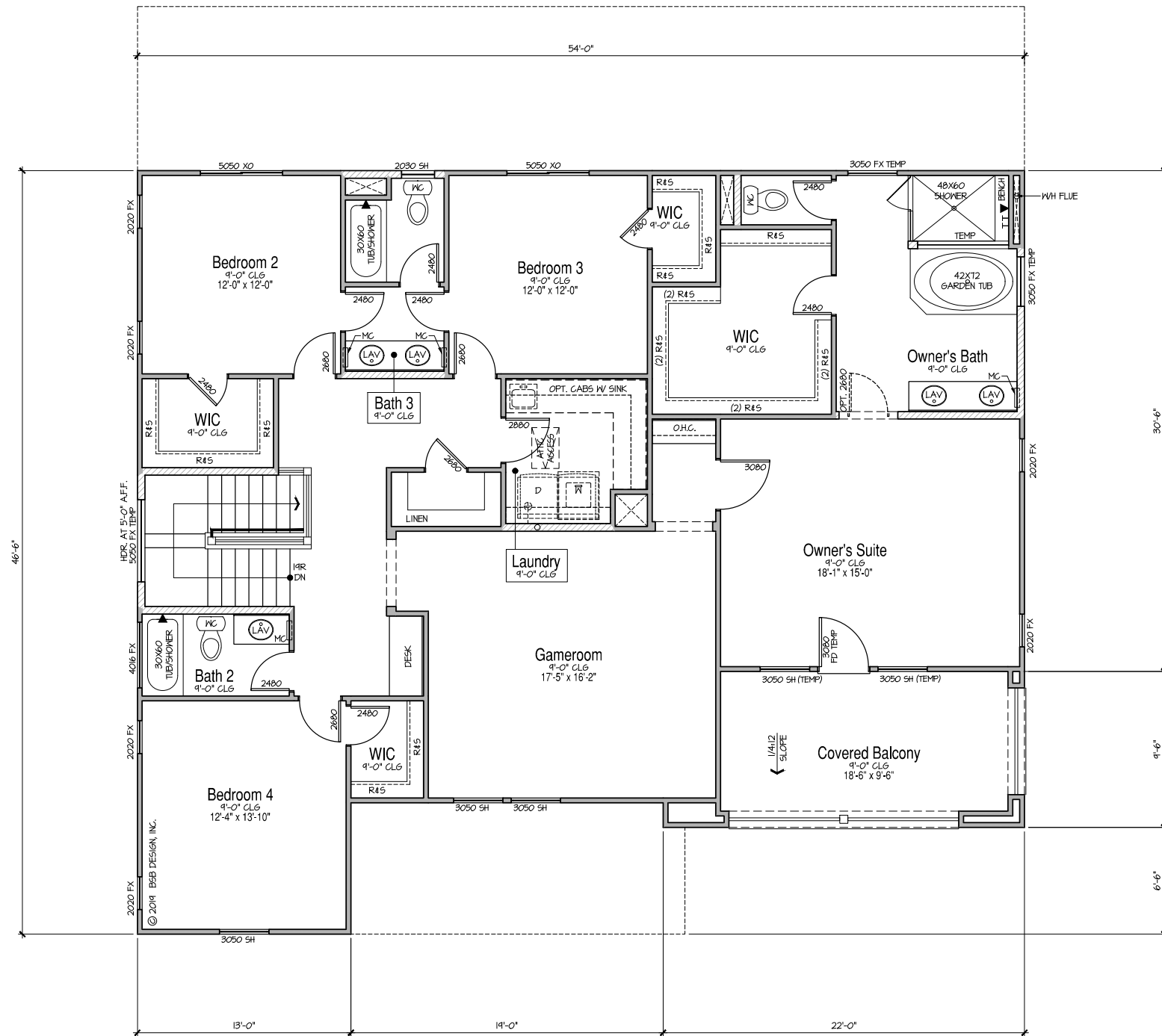
JOB NO: SF190151.00 PROJ.MGR: BVM  
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PARTIAL FLOOR PLAN OPTIONS

PLAN 5404

**A1.3**

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WALL LEGEND	
2 x 4 MALL	
2 x 6 MALL	
BRICK/STONE	
VENEER	

AREA SCHEDULE - PLAN 5404			
ALL ELEVATIONS:		LIVABLE SF.	UNDER ROOF SF.
(A)	MAIN FLOOR AREA	1,705	1,705
(B)	UPPER FLOOR AREA	1,458	1,458
(C)	4-CAR TANDEM GARAGE		811
(D)	OUTDOOR LIVING		185
ELEVATION B:			
(E)	COVERED PORCH		163
(F)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(G)	COVERED BALCONY		181
TOTAL		3,663	5,025
BUILDING FOOTPRINT			2,286
ELEVATION C:			
(H)	COVERED PORCH		280
(I)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		22
(J)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		38
TOTAL		3,663	4,949
BUILDING FOOTPRINT			3,003
ELEVATION E:			
(K)	COVERED PORCH		144
(L)	ARCHITECTURAL PROJECTIONS		22
TOTAL		3,663	4,825
BUILDING FOOTPRINT			2,861
OPTIONS:			
(N)	OPT. BED 5 I.L.O. DEN	+0	+0
(O)	OPT. POOL BATH I.L.O. OWNER'S ENTRY	-12	
MAX LIVABLE W/ OPTIONS		3,663	3,663
MAX FOOTPRINT W/ OPTIONS			NA

**Elevation B - Ranch  
Upper Floor Plan**  
SCALE: 1/4"=1'-0"

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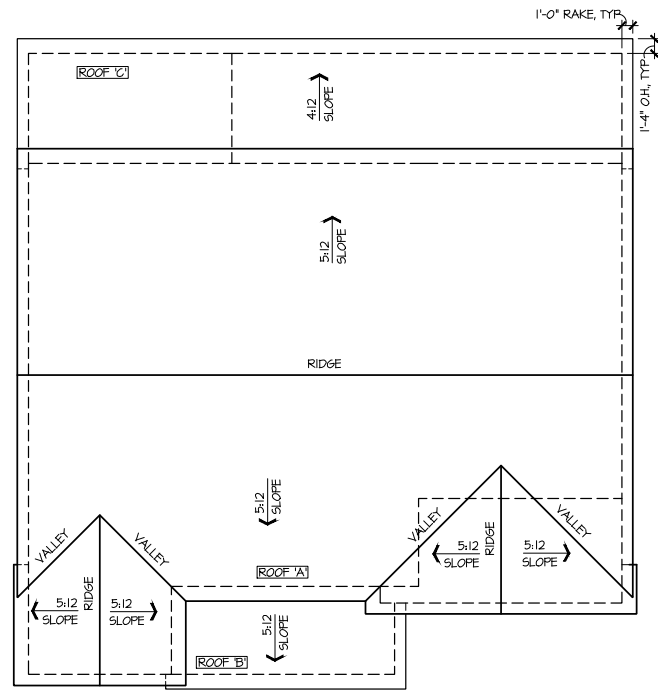
**TERRAVELLA  
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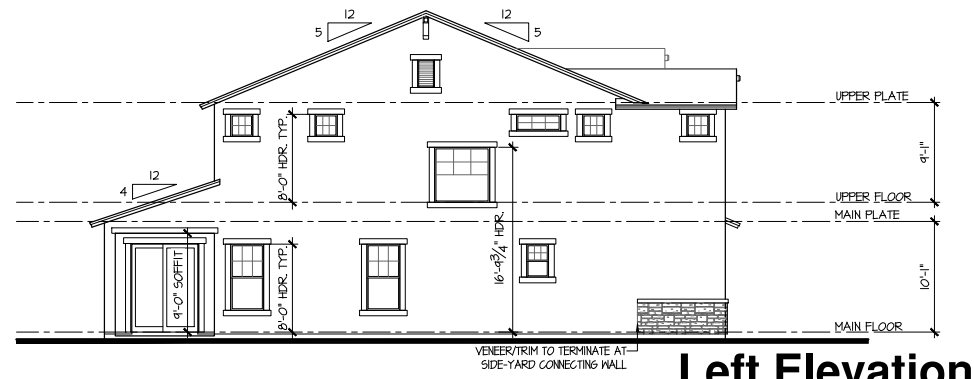
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DRAWN: AMC CHECKED: BVM

UPPER FLOOR PLAN  
ELEVATION B - RANCH  
**PLAN 5404  
A2.1**

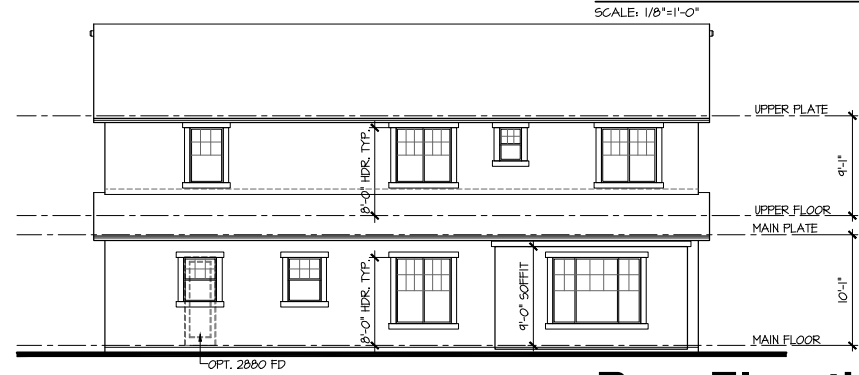




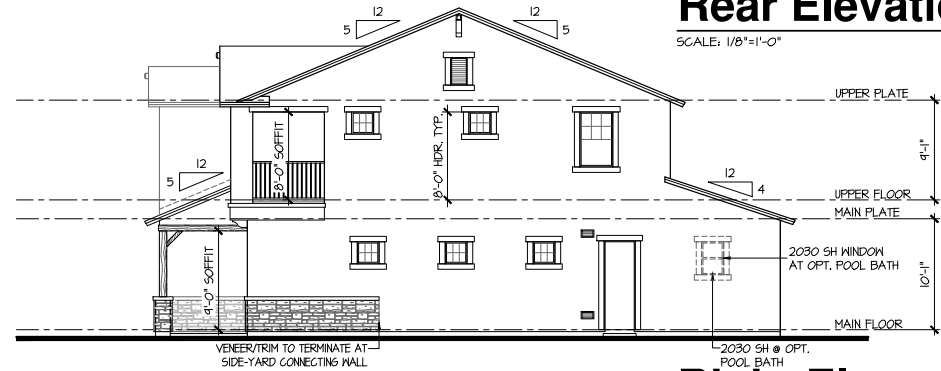
**Roof Plan**  
SCALE: 1/8"=1'-0"



**Left Elevation**  
SCALE: 1/8"=1'-0"



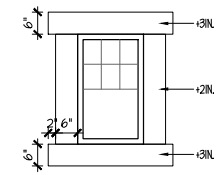
**Rear Elevation**  
SCALE: 1/8"=1'-0"



**Right Elevation**  
SCALE: 1/8"=1'-0"

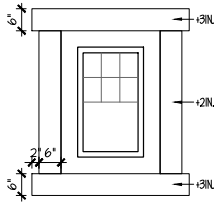


**Front Elevation**  
SCALE: 1/4"=1'-0"



TYPICAL WINDOW TRIM - B  
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



TYPICAL WINDOW TRIM - B  
SCALE: 1/2" = 1'-0"

ELEV. B - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

**Elevation B - Ranch**

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**TERRAVELLA**  
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QUEEN CREEK, ARIZONA

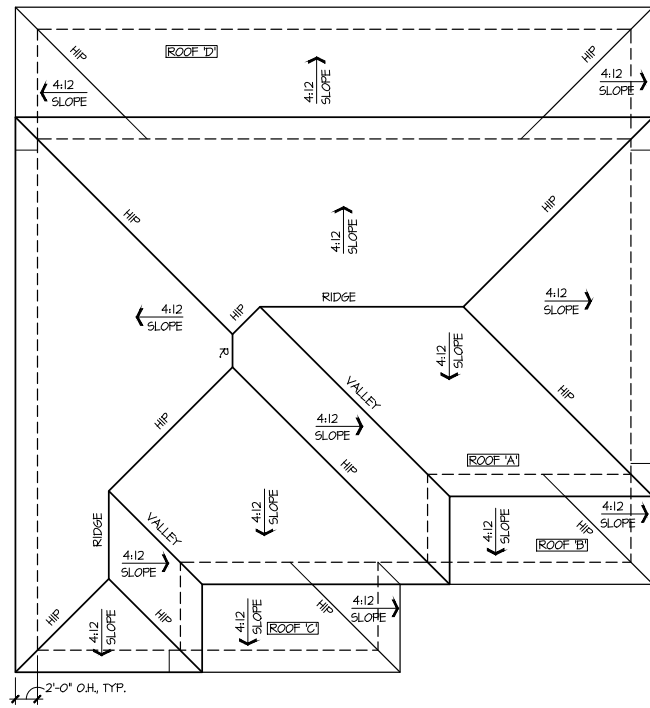


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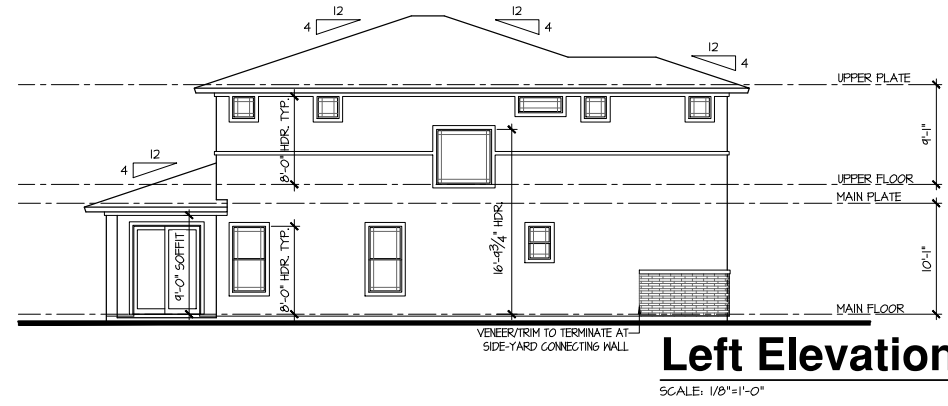
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DRAWN: AMC CHECKED: BVM  
EXTERIOR ELEVATIONS AND  
ROOF PLAN  
ELEVATION B - RANCH

PLAN 5404  
**A3.1B**

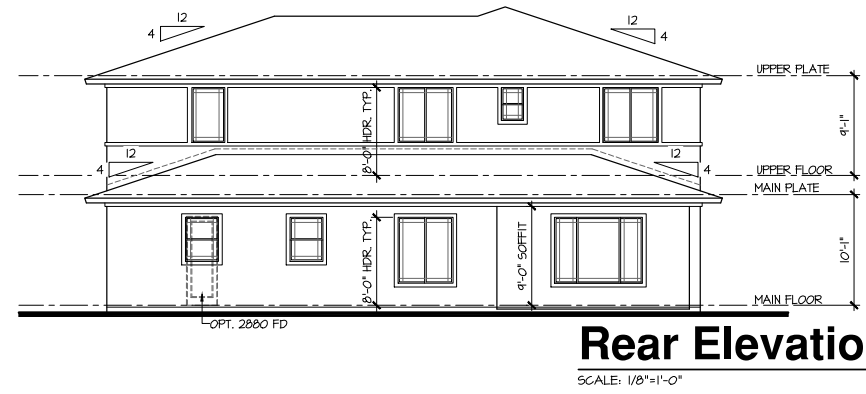




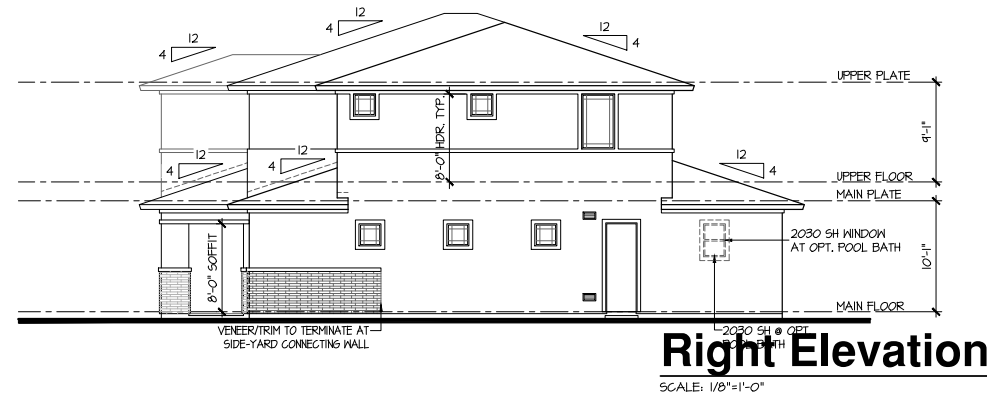
**Roof Plan**  
SCALE: 1/8"=1'-0"



**Left Elevation**  
SCALE: 1/8"=1'-0"



**Rear Elevation**  
SCALE: 1/8"=1'-0"

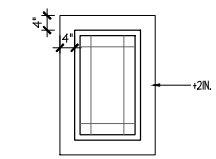


**Right Elevation**  
SCALE: 1/8"=1'-0"



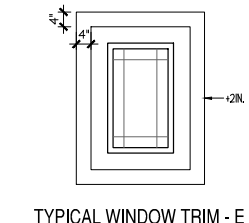
**Front Elevation**  
SCALE: 1/4"=1'-0"

**Elevation E - Prairie**



**TYPICAL WINDOW TRIM - E**  
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



**TYPICAL WINDOW TRIM - E**  
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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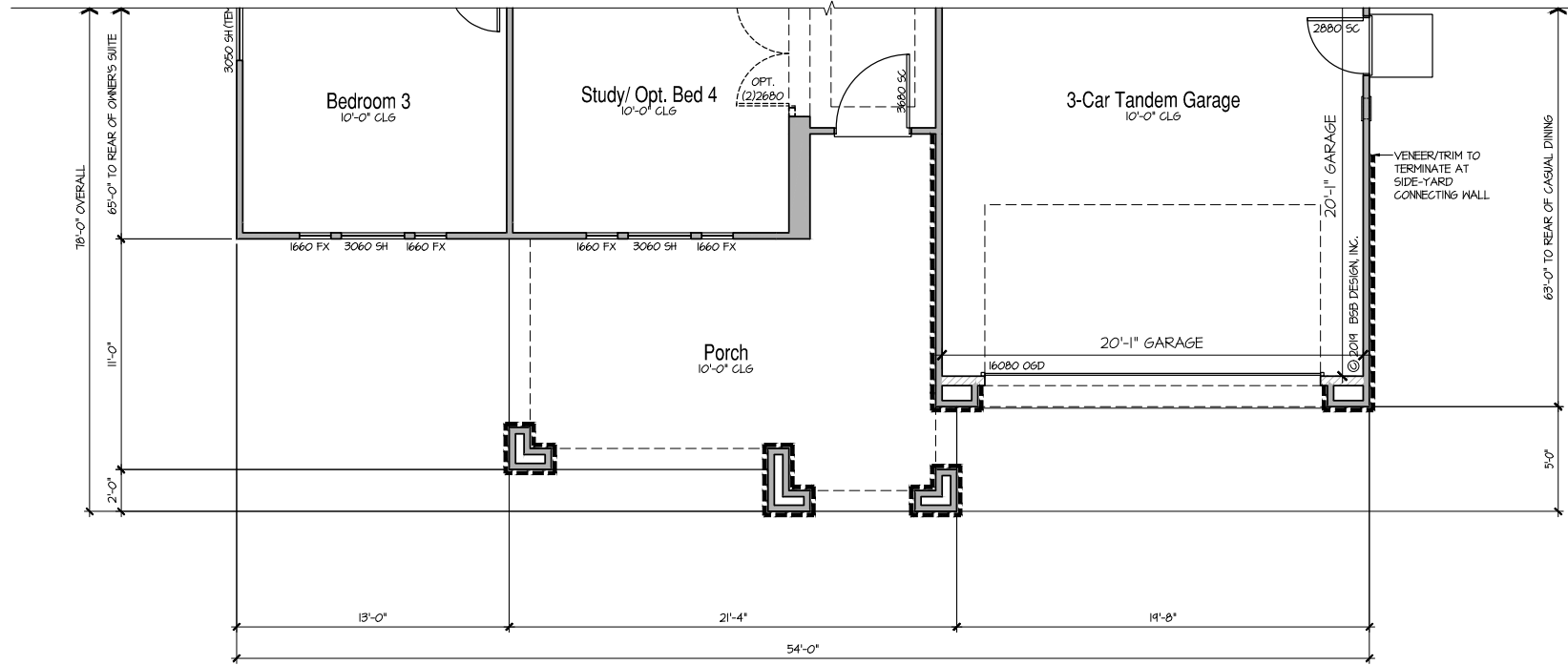
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DRAWN: AMC CHECKED: BVM  
EXTERIOR ELEVATIONS AND  
ROOF PLAN  
ELEVATION E - PRAIRIE

PLAN 5404  
**A3.1E**

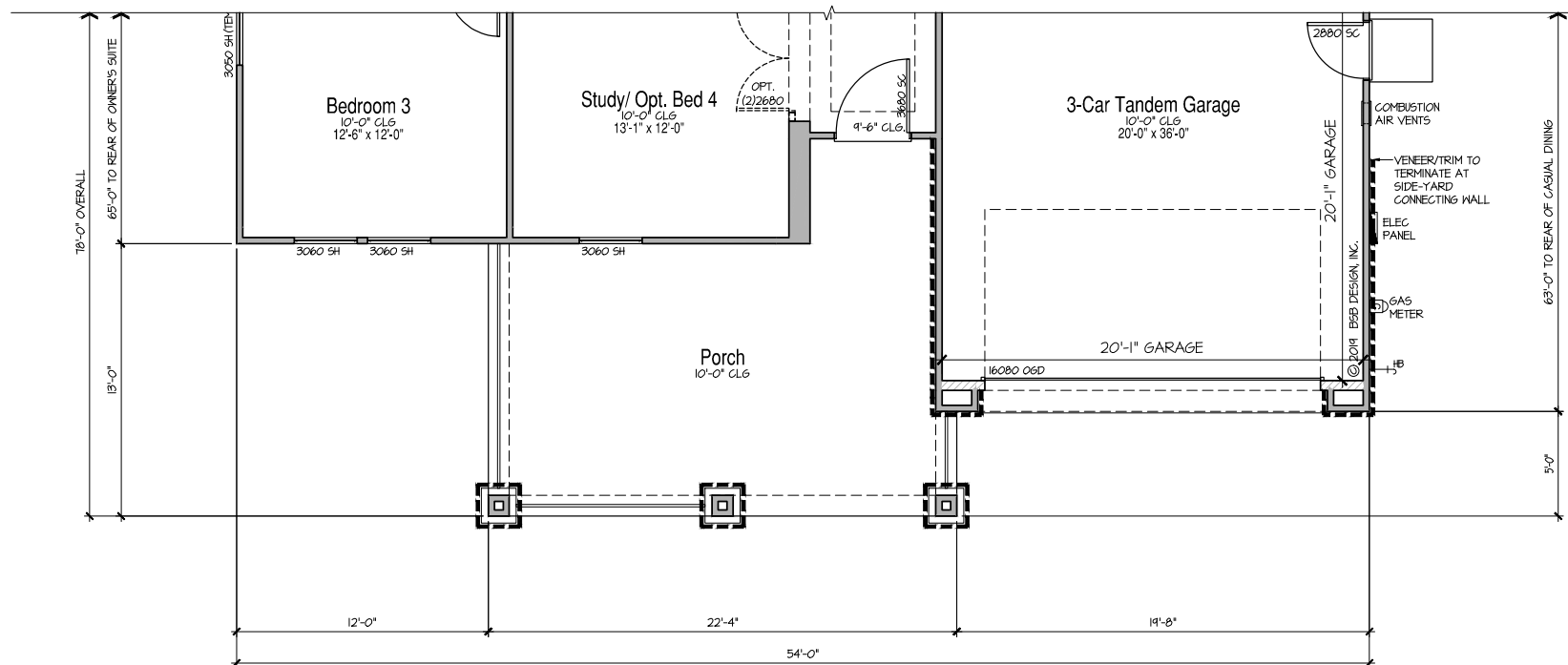






### Elevation E - Prairie

SCALE: 1/4"=1'-0"



### Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENEER	

AREA SCHEDULE - PLAN 5413		
ALL ELEVATIONS:	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,661	2,661
(B) 3-CAR TANDEM GARAGE		549
(C) OUTDOOR LIVING		200
ELEVATION B:		
(D) COVERED PORCH		304
(E) ARCHITECTURAL PROJECTIONS		20
TOTAL	2,661	3,864
BUILDING FOOTPRINT		3,864
ELEVATION C:		
(F) COVERED PORCH		312
(G) ARCHITECTURAL PROJECTIONS		20
TOTAL	2,661	3,142
BUILDING FOOTPRINT		3,142
ELEVATION E:		
(H) COVERED PORCH		275
(I) ARCHITECTURAL PROJECTIONS		20
TOTAL	2,661	3,155
BUILDING FOOTPRINT		3,155
OPTIONS:		
(J) OPT. BED 4 I.L.O. STUDY	+0	+0
(K) OPT. BED 5 I.L.O. TANDEM	+171	
(L) OPT. GAME ROOM I.L.O. TANDEM	+171	
(M) OPT. OUTDOOR LIVING EXTENSION	+165	
MAX LIVABLE IV OPTIONS	2,838	2,838
MAX FOOTPRINT IV OPTIONS		4,034

### Partial Floor Plans

SCALE: 1/4"=1'-0"

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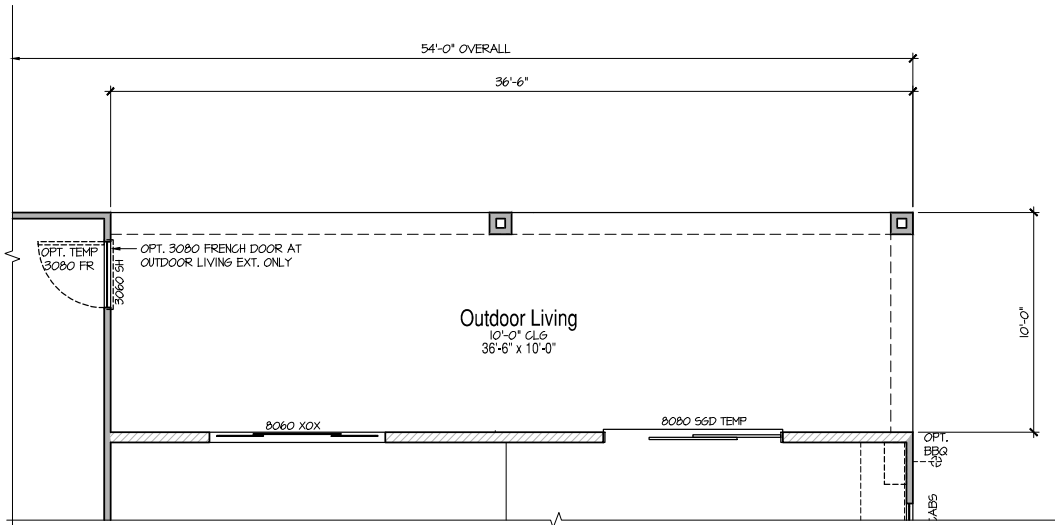
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JOB NO: SF190151.00 PROJ.MGR: BVM  
DRAWN: AMC CHECKED: BVM

PARTIAL FLOOR PLANS  
ELEVATION C - CRAFTSMAN  
ELEVATION E - PRAIRIE

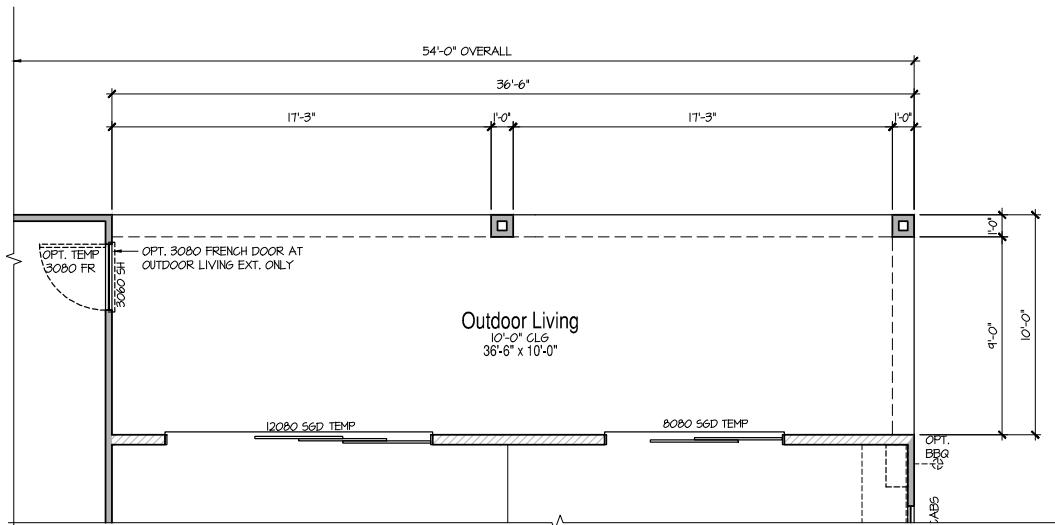
PLAN 5413

A1.2



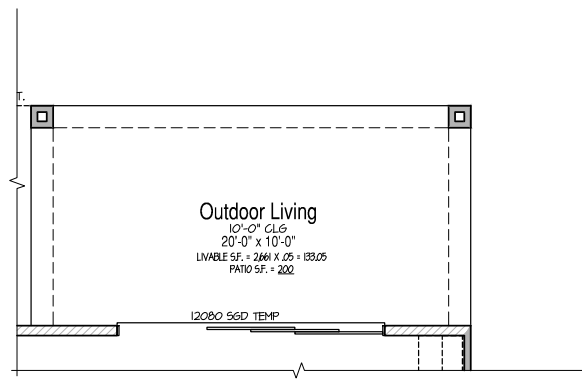
**Opt. Outdoor Living Extension**

SCALE: 1/4"=1'-0"



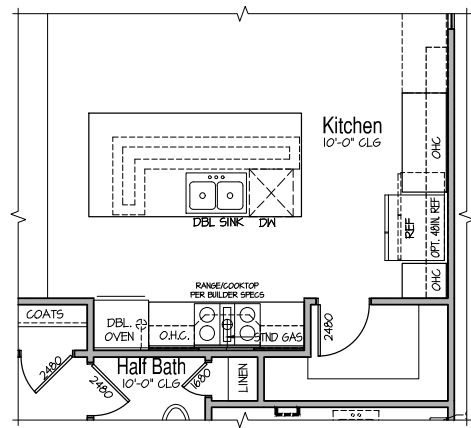
**Opt. Multi-Slide Door @ Gathering Room w/ Outdoor Living Extension**

SCALE: 1/4"=1'-0"



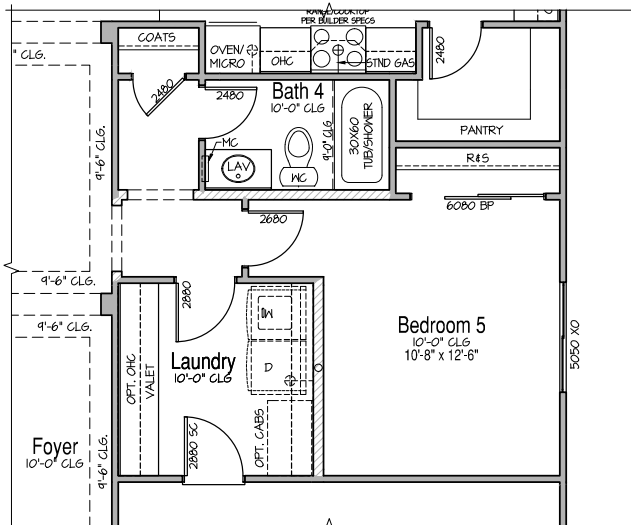
**Opt. Multi-Slide Door @ Casual Dining**

SCALE: 1/4"=1'-0"



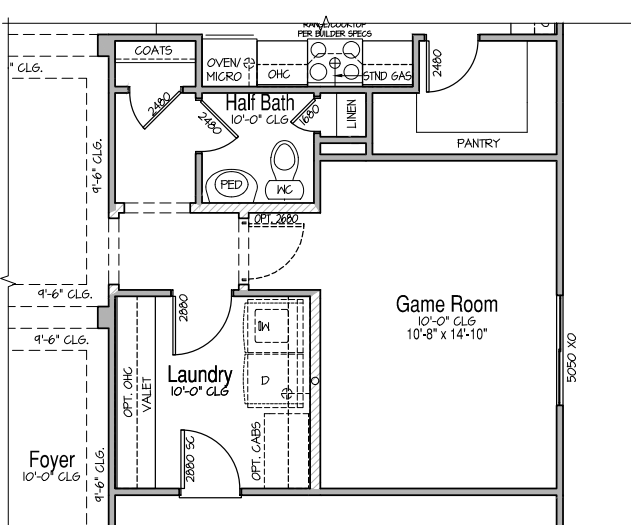
**Opt. Gourmet Kitchen**

SCALE: 1/4"=1'-0"



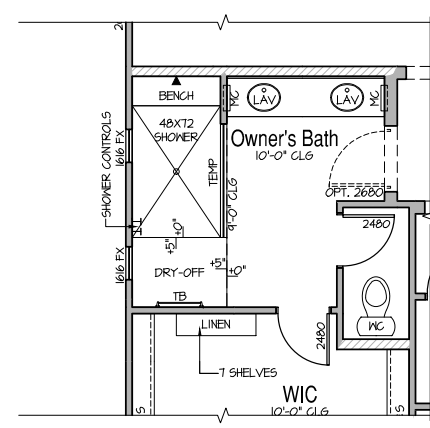
**Opt. Bedroom 5 i.l.o. Tandem**

SCALE: 1/4"=1'-0"



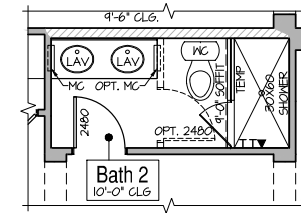
**Opt. Game Room i.l.o. Tandem**

SCALE: 1/4"=1'-0"



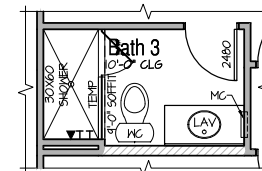
**Opt. Walk-In Shower**

SCALE: 1/4"=1'-0"



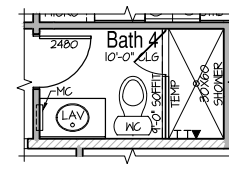
**Opt. Shower at Bath 2**

SCALE: 1/4"=1'-0"



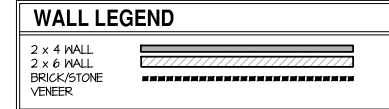
**Opt. Shower at Bath 3**

SCALE: 1/4"=1'-0"



**Opt. Shower at Bath 4**

SCALE: 1/4"=1'-0"



**Partial Floor Plan Options**

SCALE: 1/4"=1'-0"

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NA	

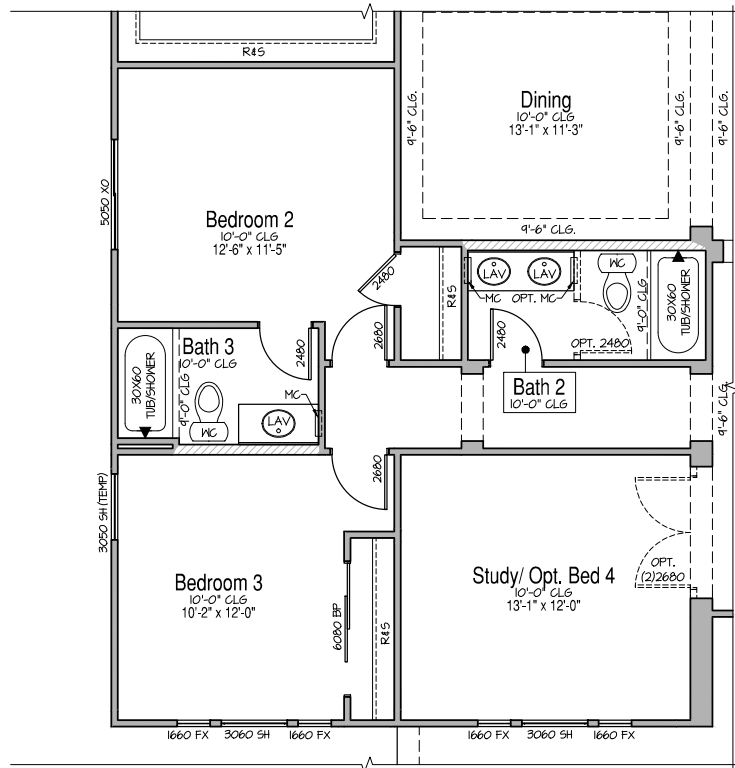
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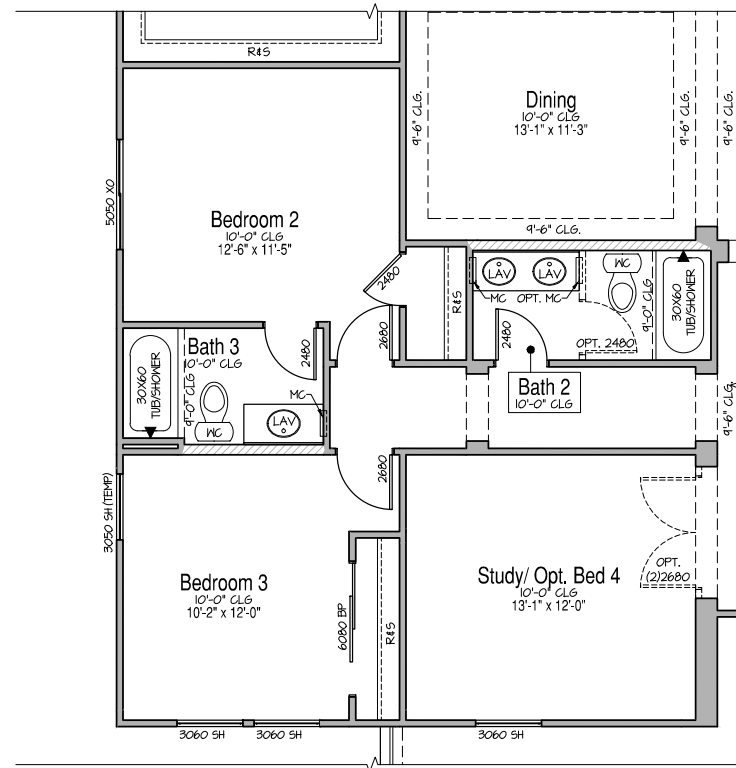
9105 E. Del Camino Drive, Suite 105  
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480 663 2100  
JOB NO. SF190151.00 PROJ/MGR: BVM  
DRAWN: AMC CHECKED: BVM  
PARTIAL FLOOR PLAN OPTIONS

PLAN 5413  
**A1.3**



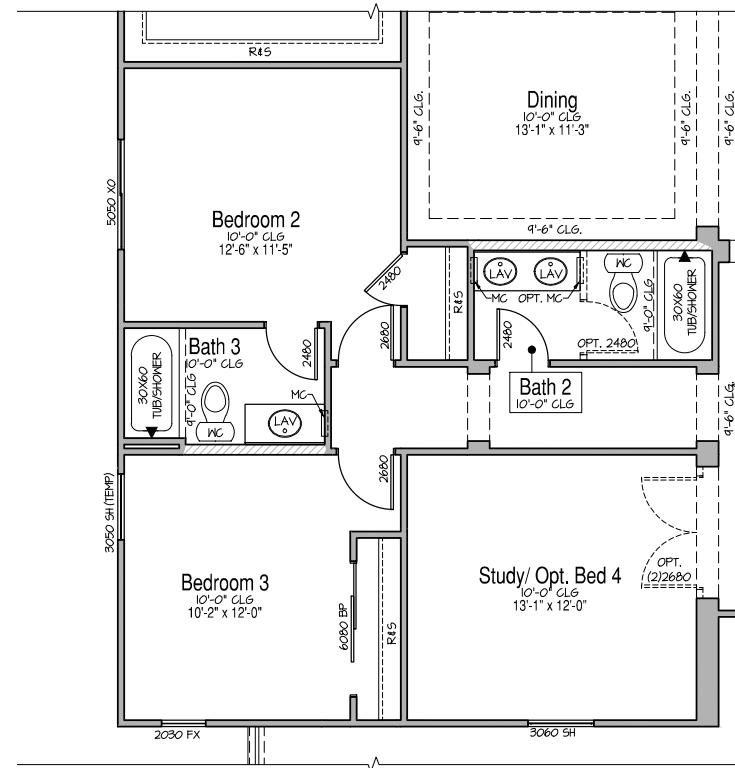
**Opt. Bath 3 @ Bedroom 2  
Elevation E - Prairie**

SCALE: 1/4"=1'-0"



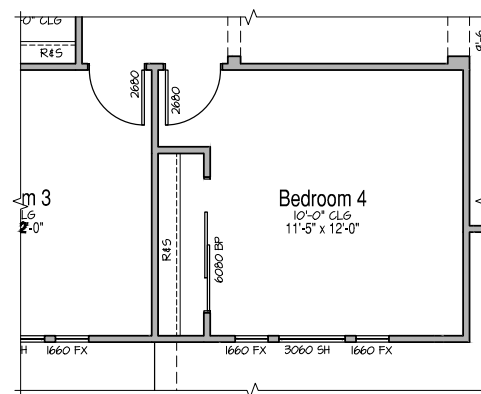
**Opt. Bath 3 @ Bedroom 2  
Elevation C - Craftsman**

SCALE: 1/4"=1'-0"



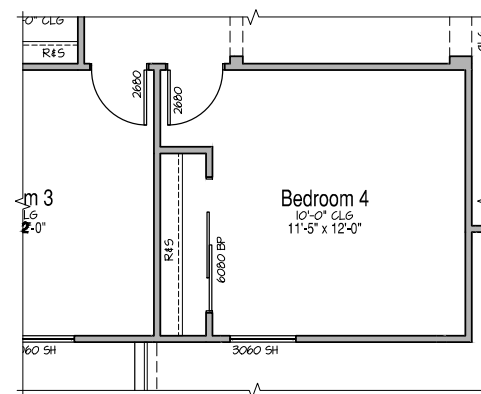
**Opt. Bath 3 @ Bedroom 2  
Elevation B - Ranch**

SCALE: 1/4"=1'-0"



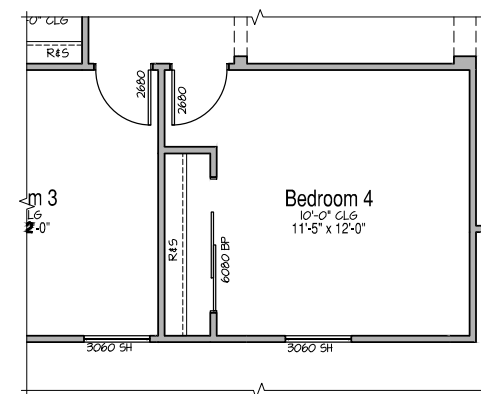
**Opt. Bedroom 4 i.l.o. Study  
Elevation E - Prairie**

SCALE: 1/4"=1'-0"



**Opt. Bedroom 4 i.l.o. Study  
Elevation C - Craftsman**

SCALE: 1/4"=1'-0"



**Opt. Bedroom 4 i.l.o. Study  
Elevation B - Ranch**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENEER	

**Partial Floor Plan Options**

SCALE: 1/4"=1'-0"

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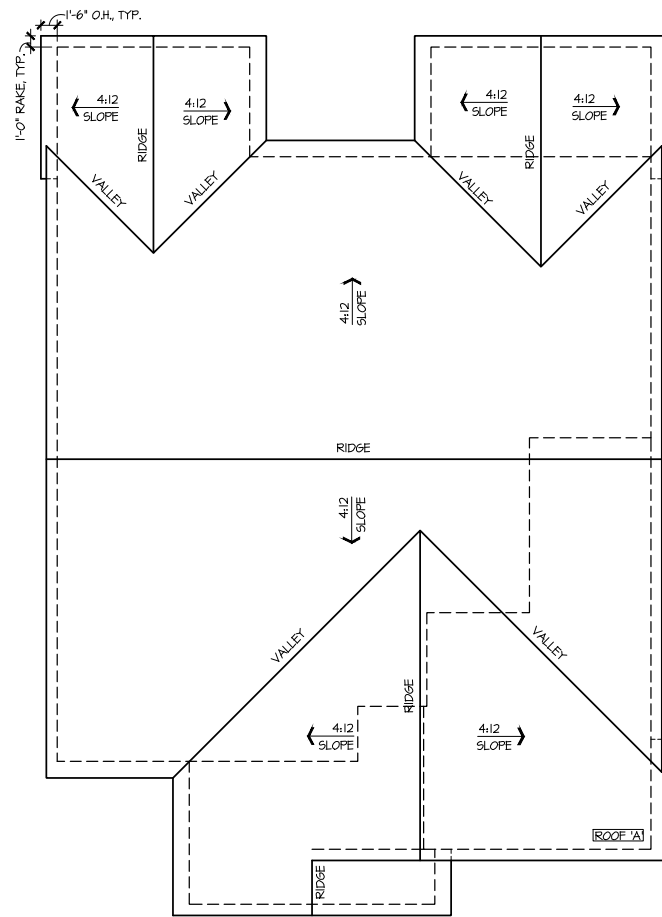
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PARTIAL FLOOR PLAN OPTIONS

PLAN 5413

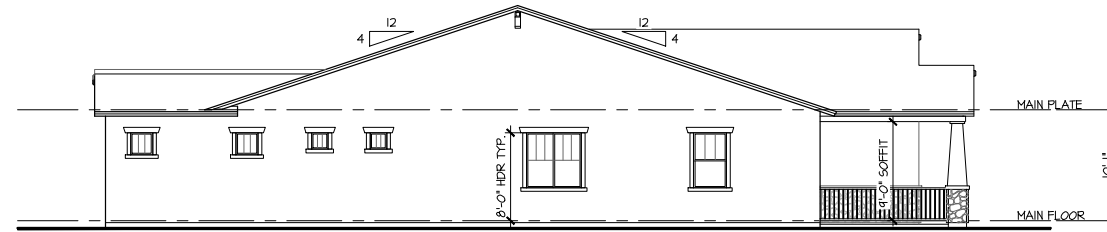
**A1.4**





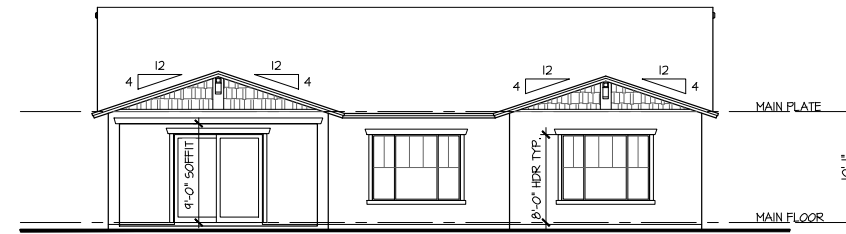
**Roof Plan**

SCALE: 1/8"=1'-0"



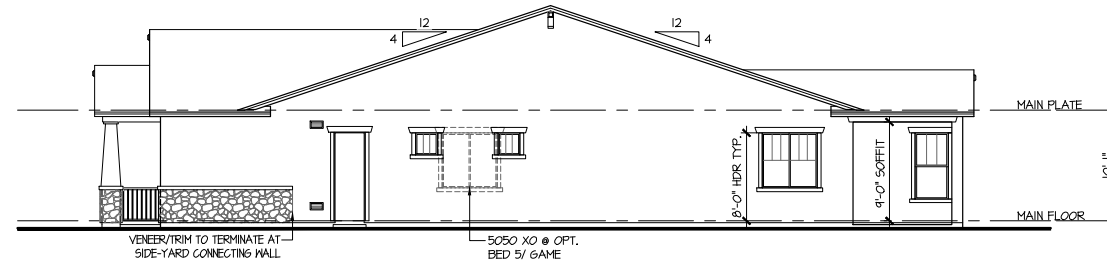
**Left Elevation**

SCALE: 1/8"=1'-0"



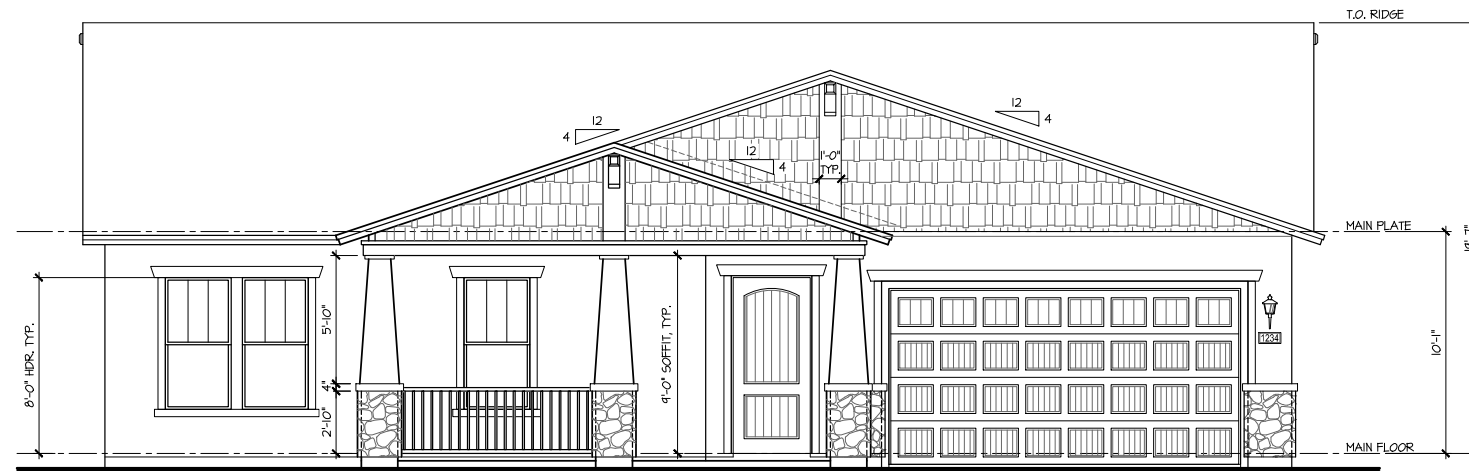
**Rear Elevation**

SCALE: 1/8"=1'-0"



**Right Elevation**

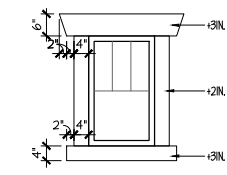
SCALE: 1/8"=1'-0"



**Front Elevation**

SCALE: 1/4"=1'-0"

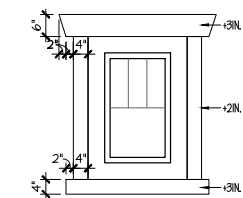
**Elevation C - Craftsman**



**TYPICAL WINDOW TRIM - C**

SCALE: 1/2"=1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



**TYPICAL WINDOW TRIM - C**

SCALE: 1/2"=1'-0"

ELEV. C - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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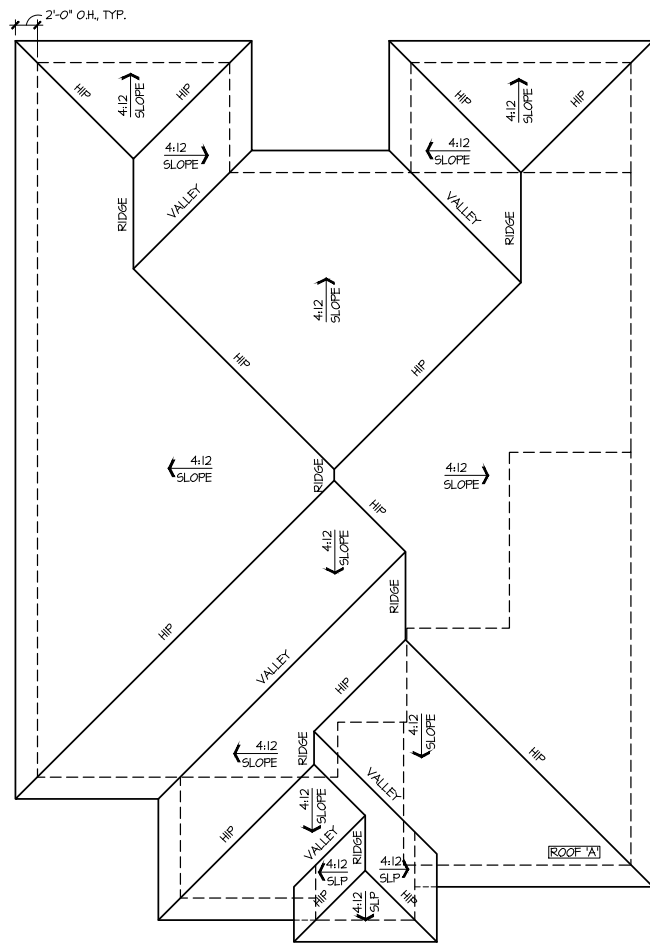
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 QUEEN CREEK, ARIZONA



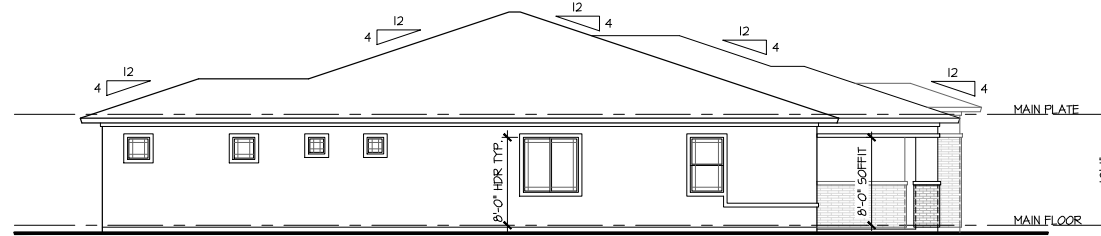
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 EXTERIOR ELEVATIONS AND  
 ROOF PLAN  
 ELEVATION C - CRAFTSMAN

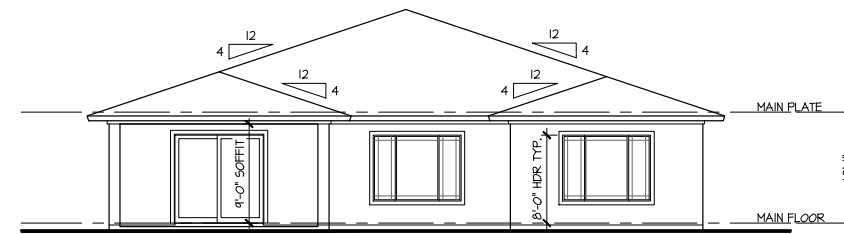
PLAN 5413  
**A3.1C**



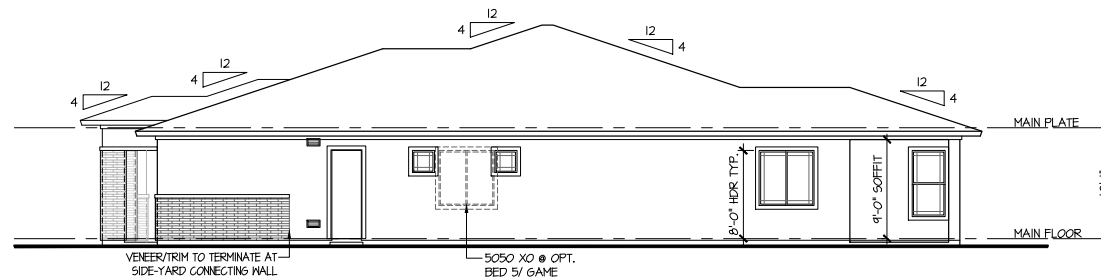
**Roof Plan**  
SCALE: 1/8"=1'-0"



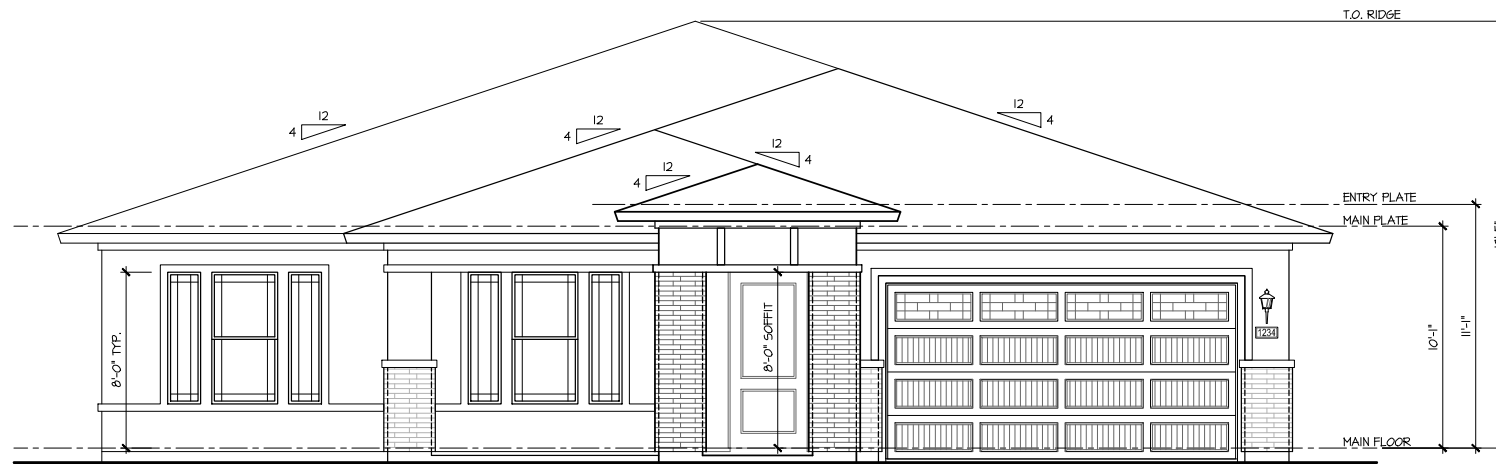
**Left Elevation**  
SCALE: 1/8"=1'-0"



**Rear Elevation**  
SCALE: 1/8"=1'-0"

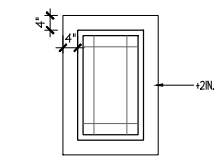


**Right Elevation**  
SCALE: 1/8"=1'-0"



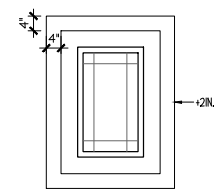
**Front Elevation**  
SCALE: 1/4"=1'-0"

**Elevation E - Prairie**



**TYPICAL WINDOW TRIM - E**  
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL WINDOWS UNO.



**TYPICAL WINDOW TRIM - E**  
SCALE: 1/2" = 1'-0"

ELEV. E - STUCCO TRIM DETAIL TO BE APPLIED AT ALL RECESS WINDOWS UNO.

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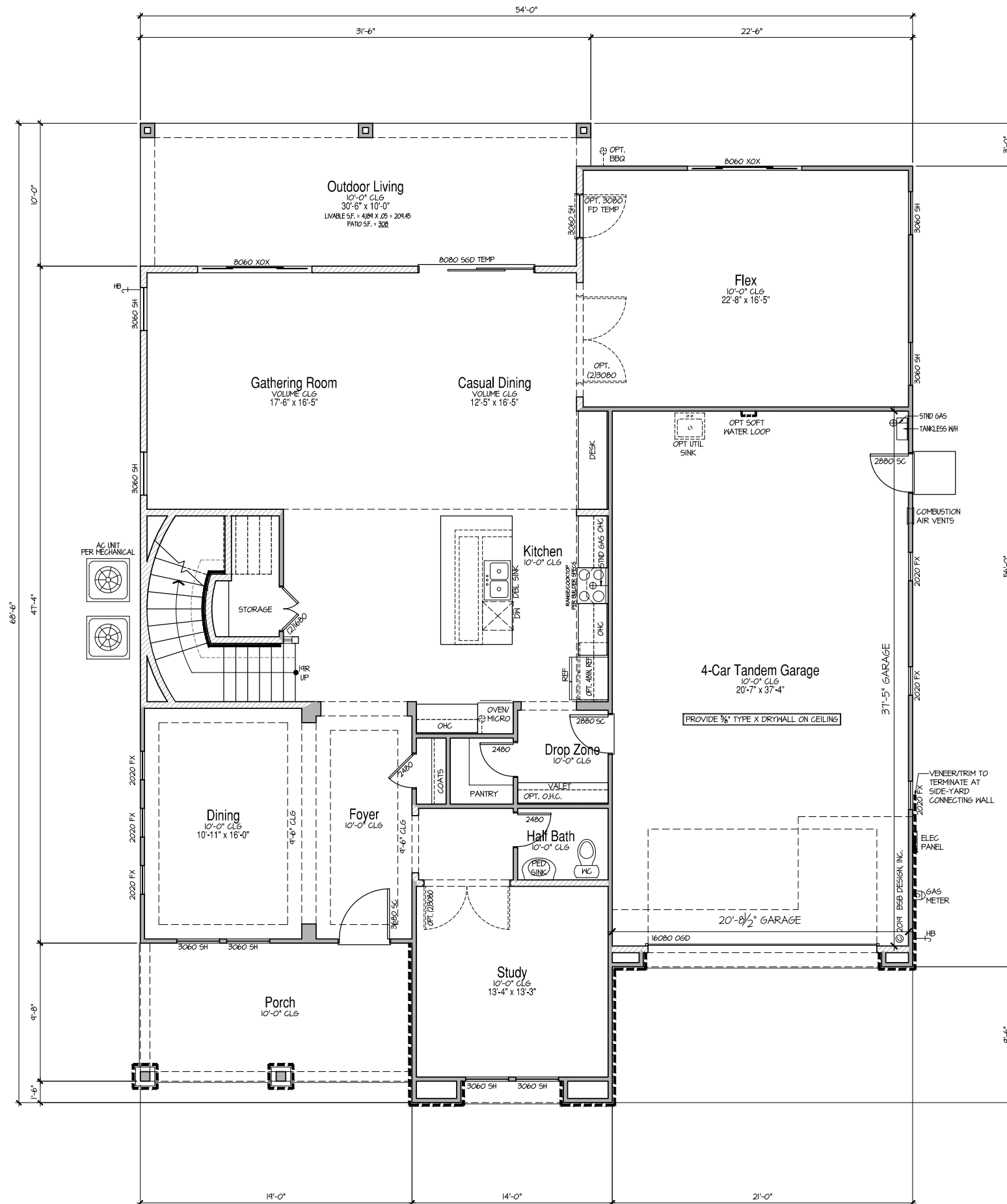
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EXTERIOR ELEVATIONS AND  
ROOF PLAN  
ELEVATION E - PRAIRIE

PLAN 5413  
**A3.1E**





WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE VENEER	

AREA SCHEDULE - PLAN 5414		
ALL ELEVATIONS:		
	LIVABLE SF.	UNDER ROOF SF.
(A) MAIN FLOOR AREA	2,074	2,074
(B) UPPER FLOOR AREA	2,131	2,131
(C) 4-CAR TANDEM GARAGE		745
(D) OUTDOOR LIVING		309
ELEVATION B:		
(E) COVERED PORCH		184
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		42
(G) UPPER FLOOR ARCHITECTURAL PROJECTIONS		21
(H) COVERED BALCONY		184
TOTAL	4,205	5,739
BUILDING FOOTPRINT		3,404
ELEVATION C:		
(I) COVERED PORCH		184
(J) MAIN FLOOR ARCHITECTURAL PROJECTIONS		21
TOTAL	4,205	5,513
BUILDING FOOTPRINT		3,383
ELEVATION E:		
(K) COVERED PORCH		184
(L) MAIN FLOOR ARCHITECTURAL PROJECTIONS		49
TOTAL	4,205	5,555
BUILDING FOOTPRINT		3,425
OPTIONS:		
(N) OPT. GUEST SUITE I.L.O. FLEX	+0	+0
(O) OPT. POOL BATH + FLEX 2 I.L.O. FLEX	-12	
MAX LIVABLE W/ OPTIONS	4,205	4,205
MAX FOOTPRINT W/ OPTIONS		NA

## Elevation B - Ranch Floor Plan

SCALE: 1/4"=1'-0"

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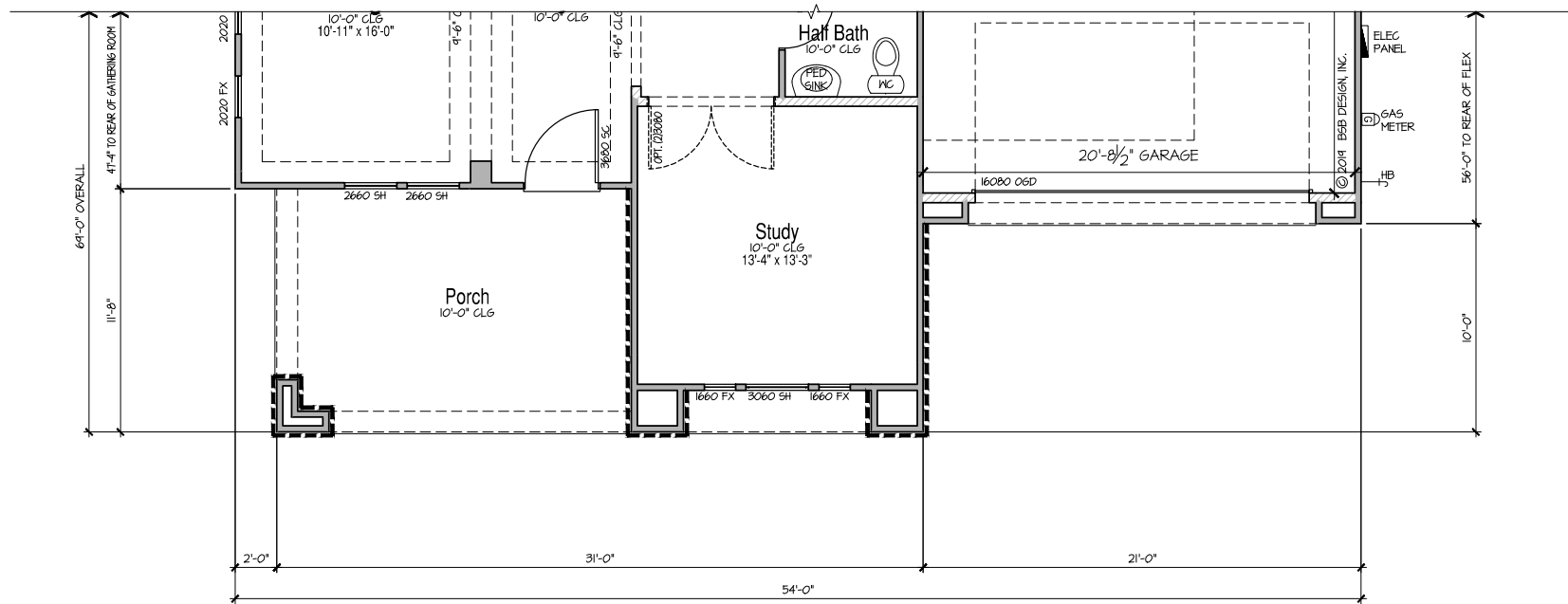
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480 663 2100  
JOB NO: SF190151.00 PROJ.MGR: BVM  
DRAWN: AMC CHECKED: BVM  
FLOOR PLAN  
ELEVATION B - RANCH

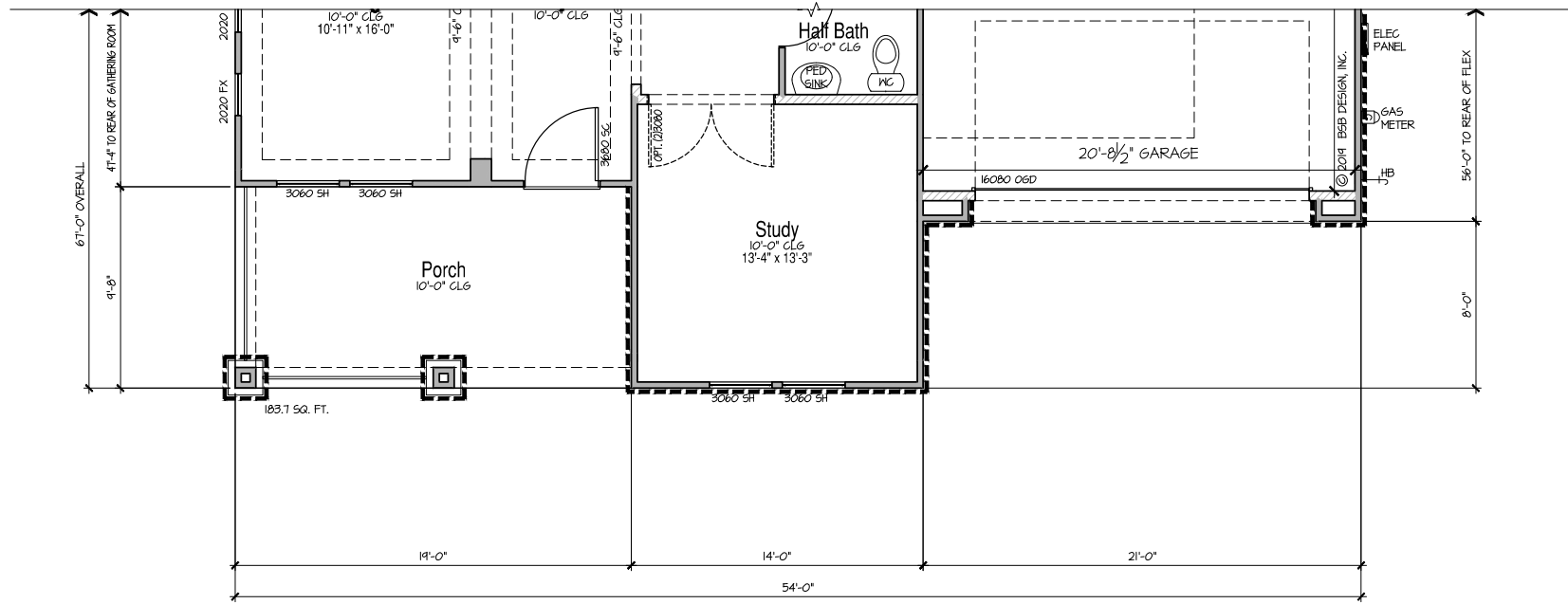
PLAN 5414  
**A1.1**





### Elevation E - Prairie

SCALE: 1/4"=1'-0"



### Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND			
2 x 4 WALL			
2 x 6 WALL			
BRICK/STONE VENEER			

AREA SCHEDULE - PLAN 5414			
ALL ELEVATIONS:			
		LIVABLE SF.	UNDER ROOF SF.
(A)	MAIN FLOOR AREA	2,074	2,074
(B)	UPPER FLOOR AREA	2,131	2,131
(C)	4-CAR TANDEM GARAGE		795
(D)	OUTDOOR LIVING		308
ELEVATION B:			
(E)	COVERED PORCH		184
(F)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		42
(G)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		21
(H)	COVERED BALCONY		184
TOTAL		4,205	5,191
BUILDING FOOTPRINT			3,404
ELEVATION C:			
(I)	COVERED PORCH		184
(J)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		21
TOTAL		4,205	5,513
BUILDING FOOTPRINT			3,383
ELEVATION E:			
(K)	COVERED PORCH		184
(L)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		41
TOTAL		4,205	5,555
BUILDING FOOTPRINT			3,425
OPTIONS:			
(M)	OPT. GUEST SUITE I.L.O. FLEX	+0	+0
(N)	OPT. POOL BATH + FLEX 2 I.L.O. FLEX	-12	
MAX LIVABLE W/ OPTIONS		4,205	4,205
MAX FOOTPRINT W/ OPTIONS			NA

### Partial Floor Plans

SCALE: 1/4"=1'-0"

DESIGN DEVELOPMENT SET - NOT FOR CONSTRUCTION - 08.29.19

ISSUE DATE:	REVISIONS:
NA	

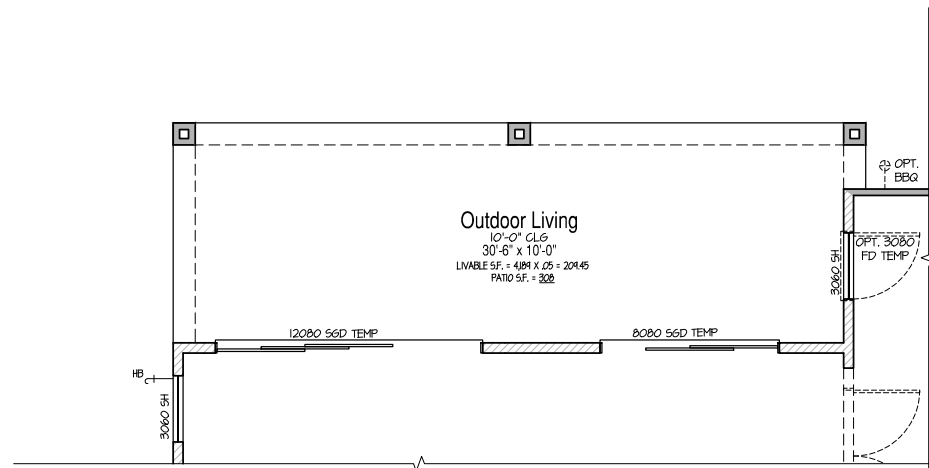
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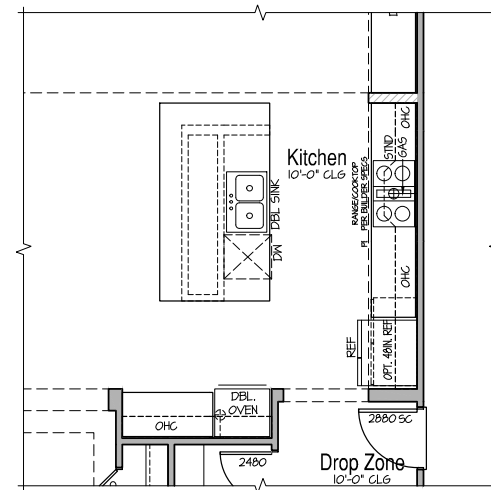
9105 E. Del Camino Drive, Suite 105  
Scottsdale, Arizona 85258  
480.663.2100  
JOB NO: SF190151.00 PROJ.MGR: BVM  
DRAWN: AMC CHECKED: BVM  
PARTIAL FLOOR PLANS  
ELEVATION C - CRAFTSMAN  
ELEVATION E - PRAIRIE

PLAN 5414  
**A1.2**



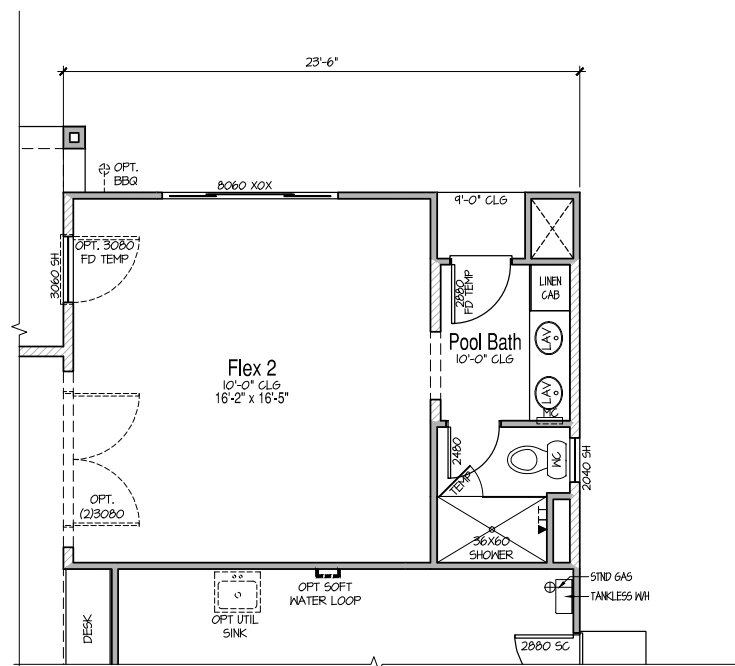
**Opt. Multi-Slide Door  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



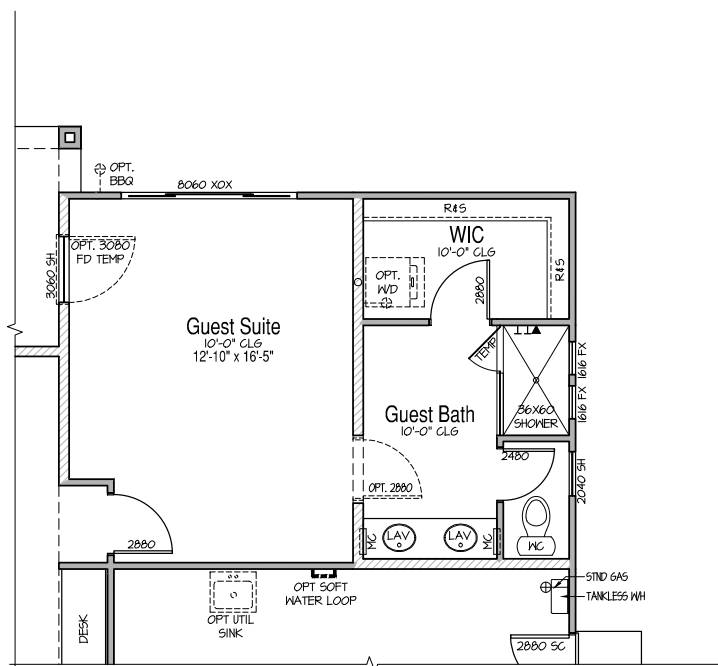
**Opt. Gourmet Kitchen  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



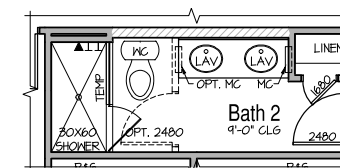
**Opt. Pool Bath i.l.o. Flex  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



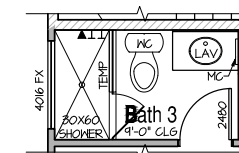
**Opt. Guest Suite i.l.o. Flex  
Partial Main Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Bath 2 Shower  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"



**Opt. Bath 3 Shower  
Partial Upper Floor Plan**

SCALE: 1/4"=1'-0"

WALL LEGEND	
2 x 4 WALL	
2 x 6 WALL	
BRICK/STONE	
VENER	

**Partial Floor Plan Options**

SCALE: 1/4"=1'-0"

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ISSUE DATE:	REVISIONS:
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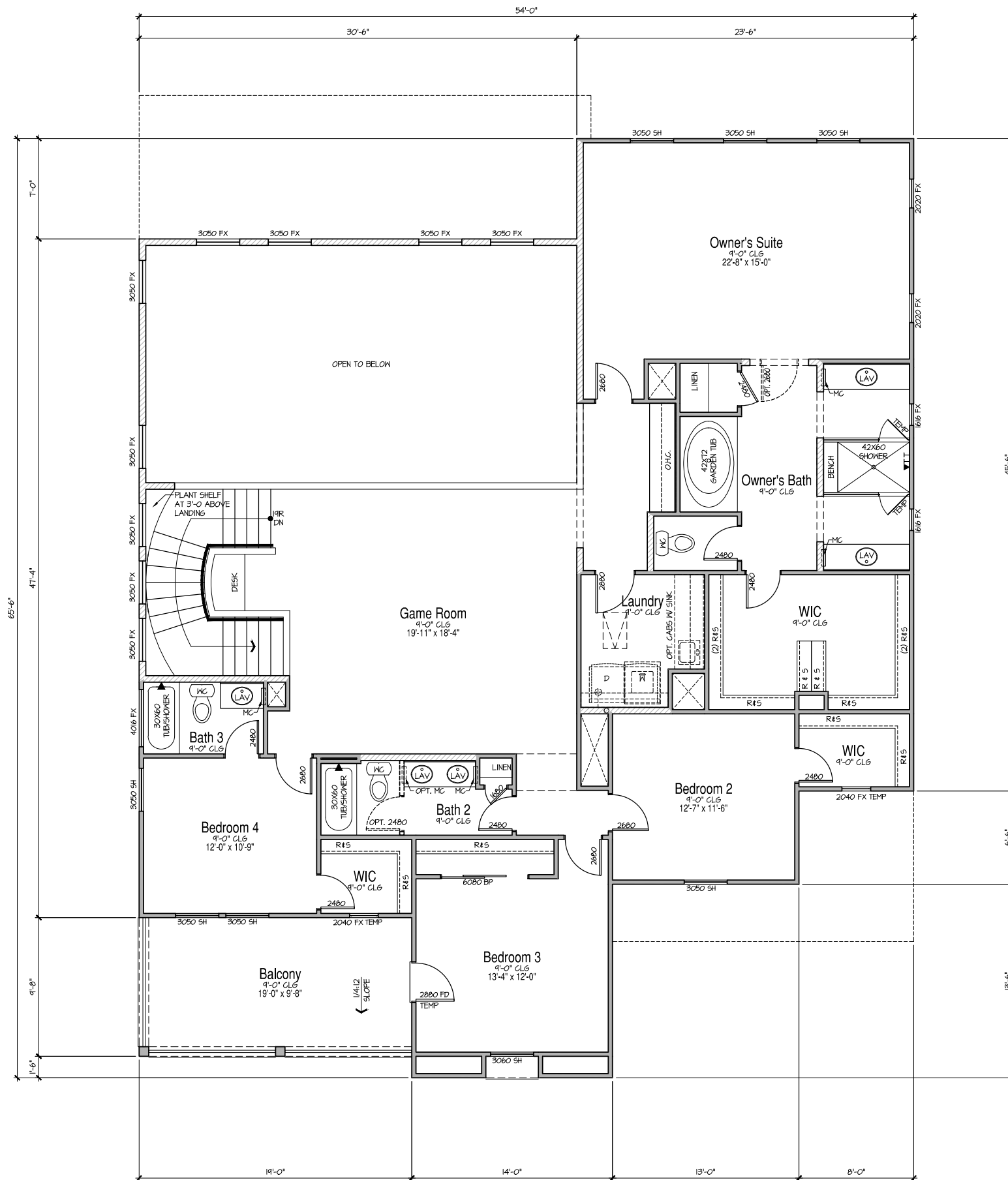
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PARTIAL FLOOR PLAN OPTIONS

PLAN 5414  
**A1.3**



WALL LEGEND	
2 x 4 MALL	
2 x 6 MALL	
BRICK/STONE VENEER	

AREA SCHEDULE - PLAN 5414			
ALL ELEVATIONS:		LIVABLE SF.	UNDER ROOF SF.
(A)	MAIN FLOOR AREA	2,074	2,074
(B)	UPPER FLOOR AREA	2,731	2,731
(C)	4-CAR TANDEM GARAGE		745
(D)	OUTDOOR LIVING		309
ELEVATION B:			
(E)	COVERED PORCH		184
(F)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		42
(G)	UPPER FLOOR ARCHITECTURAL PROJECTIONS		21
(H)	COVERED BALCONY		184
TOTAL		4,205	5,739
BUILDING FOOTPRINT			3,404
ELEVATION C:			
(I)	COVERED PORCH		184
(J)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		21
TOTAL		4,205	5,513
BUILDING FOOTPRINT			3,383
ELEVATION E:			
(K)	COVERED PORCH		148
(L)	MAIN FLOOR ARCHITECTURAL PROJECTIONS		49
TOTAL		4,205	5,555
BUILDING FOOTPRINT			3,425
OPTIONS:			
(N)	OPT. GUEST SUITE I.L.O. FLEX	+0	+0
(O)	OPT. POOL BATH + FLEX 2 I.L.O. FLEX	-12	-12
MAX LIVABLE W/ OPTIONS		4,205	4,205
MAX FOOTPRINT W/ OPTIONS			NA

## Elevation B - Ranch Upper Floor Plan

SCALE: 1/4"=1'-0"

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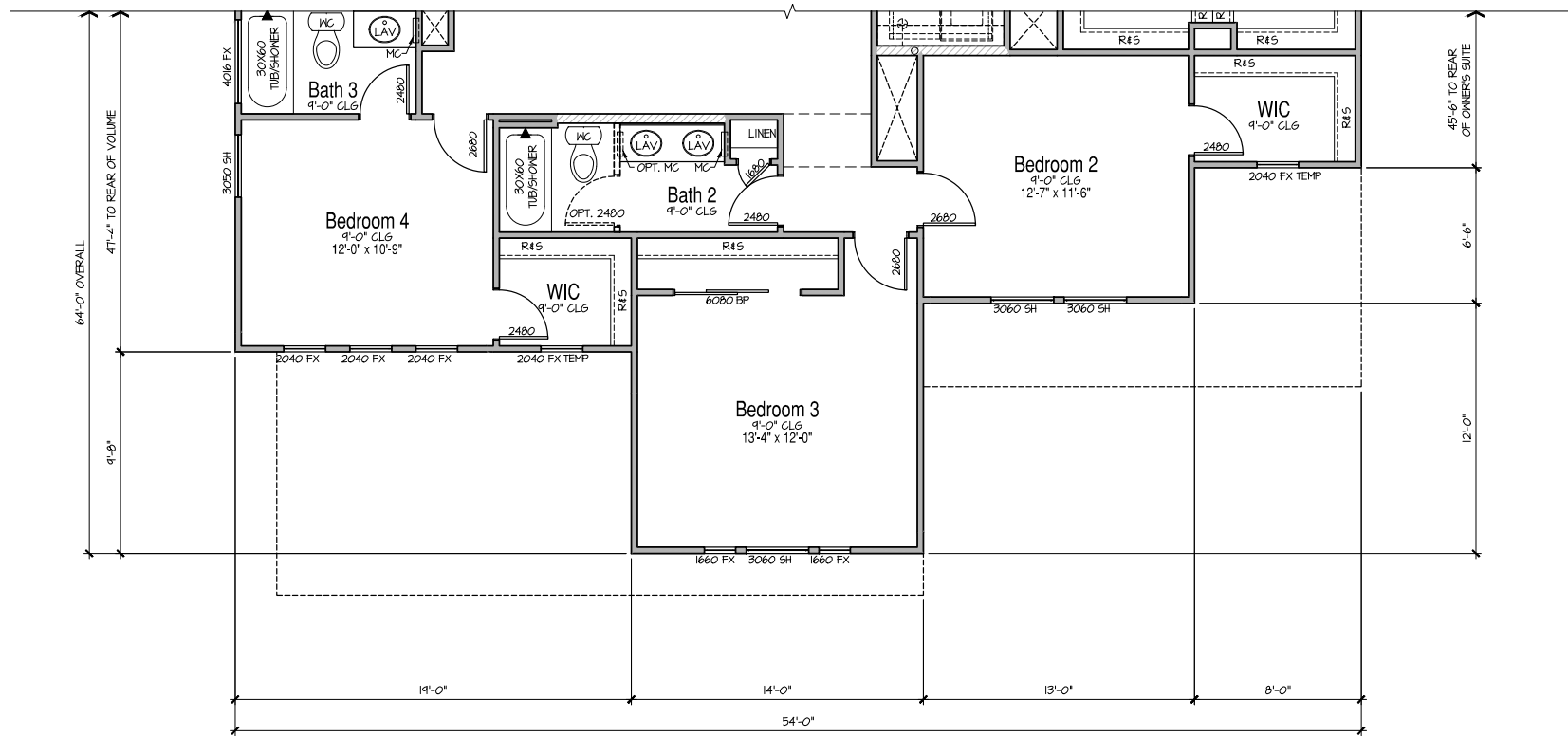
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UPPER FLOOR PLAN  
ELEVATION B - RANCH

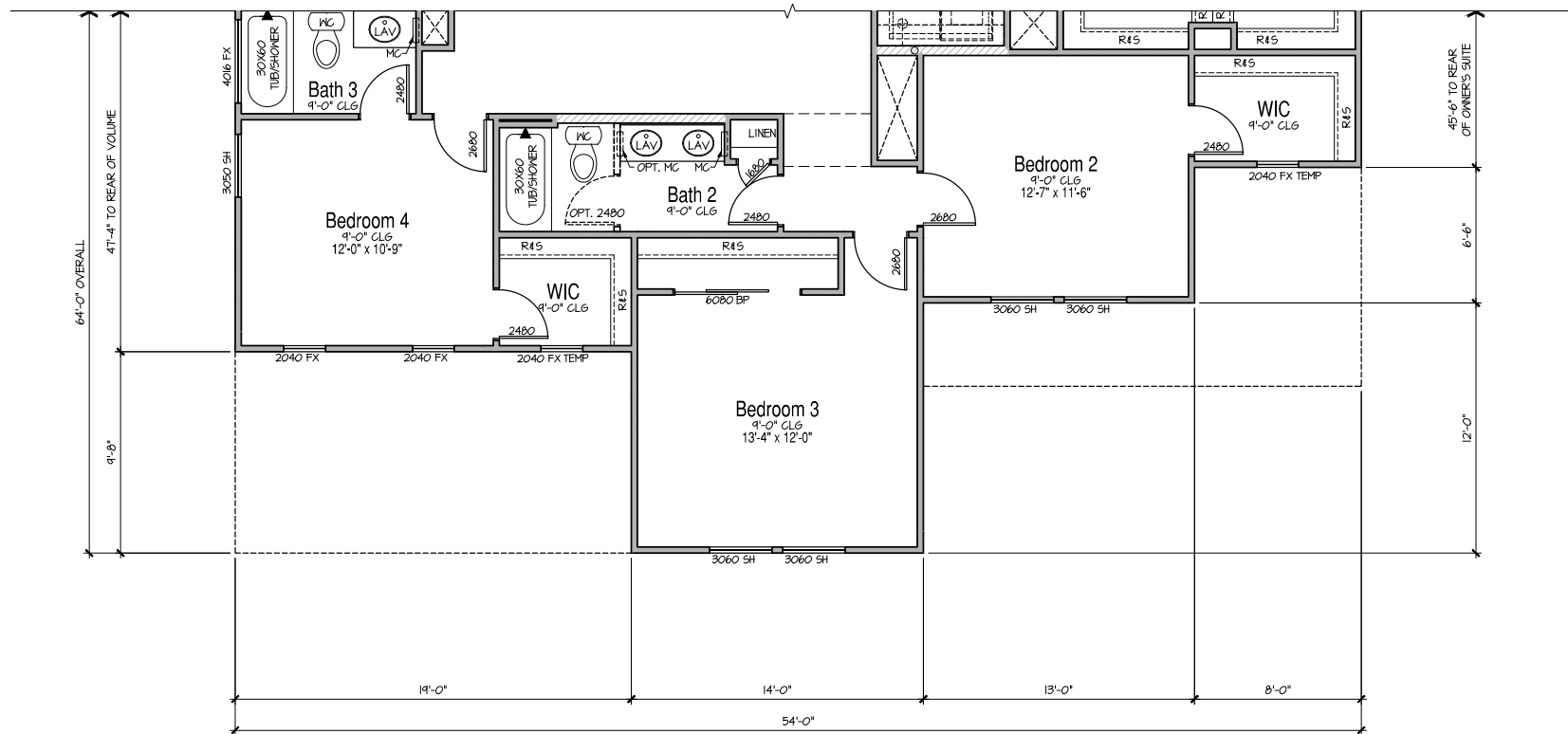
PLAN 5414

**A2.1**



### Elevation E - Prairie

SCALE: 1/4"=1'-0"



### Elevation C - Craftsman

SCALE: 1/4"=1'-0"

WALL LEGEND			
2 x 4 WALL			
2 x 6 WALL			
BRICK/STONE VENEER			

AREA SCHEDULE - PLAN 5414			
ALL ELEVATIONS:	LIVABLE SF.	UNDER SF.	ROOF SF.
(A) MAIN FLOOR AREA	2,074	2,074	
(B) UPPER FLOOR AREA	2,131	2,131	
(C) 4-CAR TANDEM GARAGE		795	
(D) OUTDOOR LIVING		308	

ELEVATION B:			
(E) COVERED PORCH		184	
(F) MAIN FLOOR ARCHITECTURAL PROJECTIONS		42	
(G) UPPER FLOOR ARCHITECTURAL PROJECTIONS		21	
(H) COVERED BALCONY		184	
TOTAL	4,205	5,131	
BUILDING FOOTPRINT		3,404	

ELEVATION C:			
(I) COVERED PORCH		184	
(J) MAIN FLOOR ARCHITECTURAL PROJECTIONS		21	
TOTAL	4,205	5,513	
BUILDING FOOTPRINT		3,383	

ELEVATION E:			
(K) COVERED PORCH		198	
(L) MAIN FLOOR ARCHITECTURAL PROJECTIONS		41	
TOTAL	4,205	5,555	
BUILDING FOOTPRINT		3,425	

OPTIONS:			
(M) OPT. GUEST SUITE I.L.O. FLEX	+0	+0	
(N) OPT. POOL BATH + FLEX 2 I.L.O. FLEX	-12		
MAX LIVABLE I/V OPTIONS	4,205	4,205	
MAX FOOTPRINT I/V OPTIONS		NA	

### Partial Upper Floor Plans

SCALE: 1/4"=1'-0"

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ISSUE DATE:	REVISIONS
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PARTIAL UPPER FLOOR PLANS  
 ELEVATION C - CRAFTSMAN  
 ELEVATION E - PRAIRIE

PLAN 5414

**A2.2**