



Requesting Department:
Development Services

TO: Planning and Zoning Commission

THROUGH: Brett Burningham, Development Services Director

FROM: Sarah Clark, Senior Planner/Project Manager

RE: Discussion and Possible Action on (Case P19-0003) “Parkside Estates Preliminary Plat”, a request from Sunrise Engineering for a preliminary plat approval of a 7-lot, 6.3-acre residential subdivision located east of the northeast corner of Sossaman and Appleby roads.

DATE: November 13, 2019

STAFF RECOMMENDATION

Staff recommends approval of (Case P19-0003) “Parkside Estates Preliminary Plat” subject to the Conditions of Approval outlined in this report.

PROPOSED MOTION

Move to approve (Case P19-0003) “Parkside Estates Preliminary Plat” subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOALS



Secure Future

SUMMARY

This proposal consists of a request by Sunrise Engineering for approval of a Preliminary Plat for a seven (7) lot residential subdivision. The 6.3-acre project site is currently zoned R1-43 (Rural Estate District) and is located east of the northeast corner of Sossaman and Appleby roads.

HISTORY

- Dec. 7, 2016: The Town Council approved the Resolution 1127-16 authorizing the exchange of 6.34 acres of Town-owned property for 6.96 acres of property owned by Emperor Farm Investments, LLC for the purpose of facilitating construction and the future public use of the Town's Mansel Carter Oasis Park Site.
- Sept.1, 2018 Grand Opening of the Mansel Carter Oasis Park

PROJECT INFORMATION

Project Name	Parkside Estates Preliminary Plat
Site Location	East of the northeast corner of Sossaman and Appleby roads
Current Zoning	R1-43
Surrounding Zoning:	
North	R1-43 - Town owned property RU-43 - Maricopa County acre residential lots
South	R1-43 - Town owned property
East	R1-43 - Town owned property RU-43 - Maricopa County acre residential lots
West	R1-43 - Town owned property RU-43 - Maricopa County acre residential lots
Gross Acreage:	6.34 acres
Net Acreage	6.34 acres
Total Lots/Units:	7 lots
Net Density:	1.1 du/acre
Open Space Acreage (Total):	Required: 0% Provided: 0%

DISCUSSION

The Parkside Estates property is surrounded on all four sides by Town-owned property. Beyond the Town-owned property, the site is bound to the north, east, and west by existing acre-lot properties located within a Maricopa County island. This unique parcel configuration was created as a result of a previous land exchange agreement between the Town and the property owner (Johan DeKeizer) to facilitate the development and construction of Mansel Carter Oasis Park.

The Parkside Estates property was previously owned by the Town. Mr. DeKeizer owned the 6.96-acre site where the lake at the park currently exists today. During the planning for the Mansel Carter Oasis Park, the Town initiated discussions with Mr. DeKeizer to execute a land exchange agreement to exchange the Town-owned property, which was

more suitable for residential development, for Mr. DeKeizer's property, which could be better integrated into the park design.

As part of the land exchange process, the two properties were appraised and the parcels were sized to present equal values based on the appraisals. This sizing ultimately yielded the existing parcel boundaries.

The land exchange agreement established the required undertakings of both the Town and the developer (Mr. DeKeizer). Per the agreement, the Town is required to allow for access for the residential development of the subject site utilizing the Town property. The improvements to be undertaken by the developer include constructing a public accessway on the west side of the subject site, located on the Town property, to provide access to the future residential subdivision, constructing a drainage area north of the subject site, and installing a 20-foot decomposed granite trail east of the subject site.

The proposed lot sizes are slightly under an acre in size, ranging from 39,370 square feet to 39,500 square feet. The Planning Administrator may authorize relief of up to 10 percent of any development standard. The Planning Administrator has provided a 10 percent relief from the minimum 43,560 square foot lot sizes for the R1-43 zoning district.

The proposed 7-lot neighborhood will be accessed from Twin Acres Drive from Sossaman Road. The majority of Twin Acres Drive is Town right-of-way, but approximately 230-feet of the roadway is located in a roadway easement across two existing properties located in the Maricopa County islands. The Parkside Estates subdivision has legal rights to utilize the private roadway easement to access the property. Access to the proposed development will not be provided on Appleby Road.

Lot 1 of the development includes a roadway easement across the frontage of the lot to accommodate the cul-de-sac at the end of the subdivision. The impetus behind doing so allows for the square footage of the roadway easement to be included in the square footage of the lot. Allowing for the public accessway easement provides the lot with the necessary square footage to meet the minimum lot size standard.

The Zoning Ordinance requires 0% open space and 0% active open space for properties zoned R1-43. While the development is not proposing any landscaping within the development, per the land exchange agreement, the developer is required to landscape the retention basins (located on Town property) north and south of the site.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. A signed agreement with the Queen Creek Unified School District shall be executed prior to approval of the Final Plat.

3. Development of this property will require an Arizona Department of Water Resources (ADWR) Certificate of Assured Water Supply (CAWS). Obtaining a CAWS may be accomplished by transferring a current CAWS, converting an existing Analysis of Assured Water Supply associated with the proposed development, or by applying for a new CAWS.
4. In conjunction with obtaining a CAWS, the development will also need to be enrolled as a member in the Central Arizona Groundwater Replenishment District ("CAGRDR") program with ADWR.
5. For the onsite improvements the Town requires cash, irrevocable letter of credit (IRLOC), bond, or a signed certificate of occupancy hold agreement to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount will be determined by an engineer's estimate during the Final Plat review. Construction assurance shall be deposited with the Town prior recording of the Final Plat.
6. For the offsite public improvements the Town requires cash, irrevocable letter of credit (IRLOC), or bond, to cover the costs for construction assurance. The IRLOC and bond are required to be approved by the Town Attorney. The assurance amount will be determined by an engineer's estimate during the Final Plat review. Construction assurance shall be deposited with the Town prior recording of the Final Plat.
7. Lot 1 shall provide a 20-foot front yard setback from the back of curb of the cul-de-sac.
8. The developer shall comply with the required undertakings as defined in the exchange agreement and as demonstrated by the Preliminary Plat.

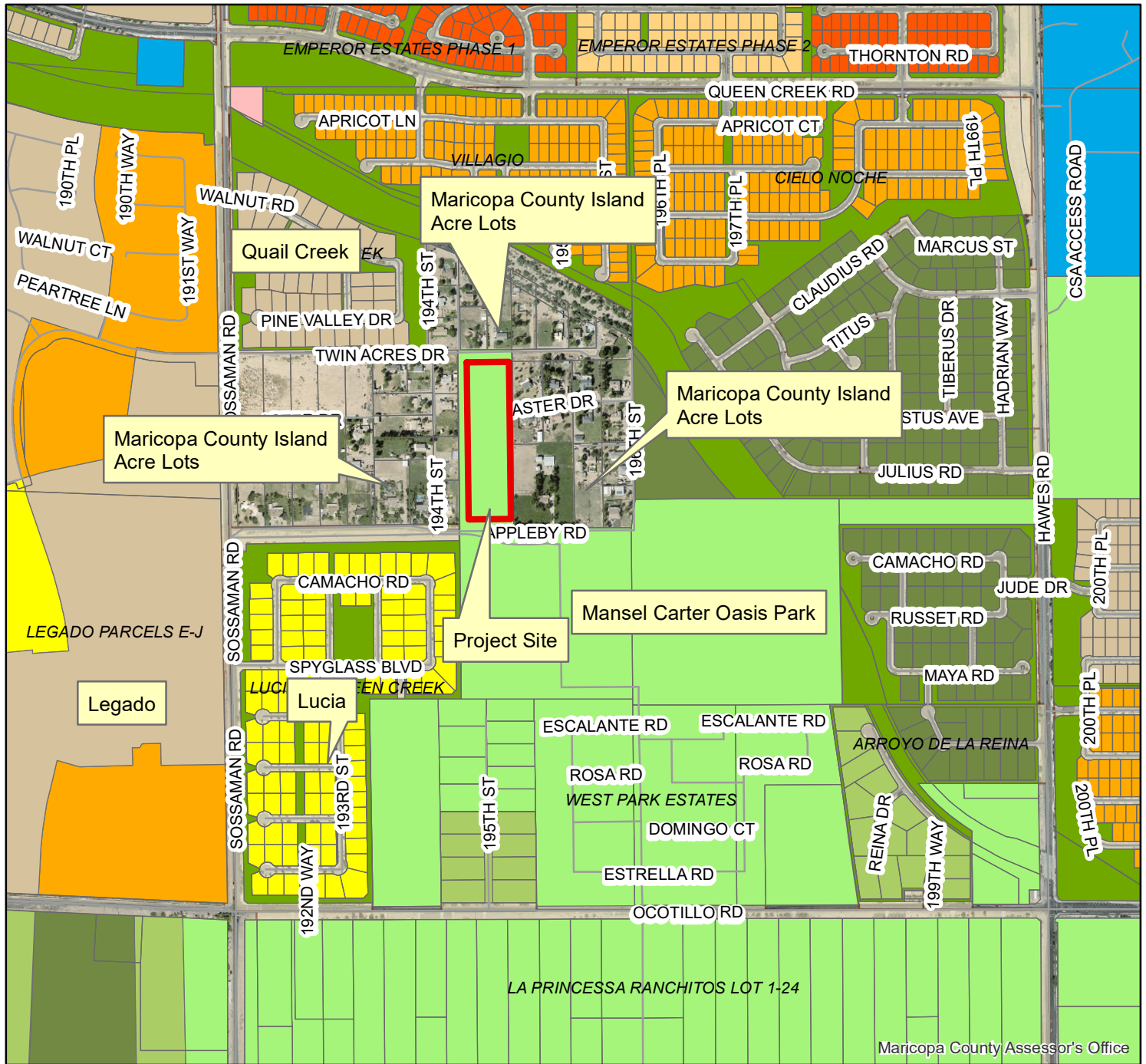
ATTACHMENTS

1. Aerial Photo Exhibit
2. Current Zoning Map
3. Parkside Estates Neighborhood Preliminary Plat
4. Parkside Estates Landscape Plans

Project Name: Parkside Estates Preliminary Plat Aerial Exhibit
Case Numbers: P19-0003
Hearing Date: November 13, 2019 (Planning Commission)



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Zoning Districts

C-1 - Commercial	PQP - Public/Quasi-Public	R1-6 - Residential	R1-18 - Residential
C-2 - Commercial	RC - Recreation/Conservation	R1-7 - Residential	R1-35 - Residential
C-3 - Commercial	MDR - Residential	R1-8 - Residential	R1-43 - Residential
TC - Commercial	HDR	R1-9 - Residential	R1-54 - Residential
EMP A - Office/Industrial Park	R1-4 - Residential	R1-12 - Residential	R1-190 - Residential
EMP B - General Industrial	R1-5 - Residential	R1-15 - Residential	PCD - Planned Community
			AT - Agritainment

Maricopa County Assessor's Office

PARKSIDE ESTATES

AN R1-43 PLANNED RESIDENTIAL DEVELOPMENT SUBJECT TO SINGLE FAMILY DESIGN REVIEW

PRELIMINARY PLAT

A PORTION OF THE WEST HALF OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY ARIZONA

OWNER/DEVELOPER/APPLICANT

EMPEROR FARM INVESTMENTS LLC
19942 E. RUSSET ROAD
QUEEN CREEK, AZ 85142
CONTACT: JOHAN DE KEIZER
PHONE: (602) 680-6759

ENGINEER

SUNRISE ENGINEERING, INC.
2045 SOUTH VINEYARD, SUITE 101
MESA, ARIZONA 85210
CONTACT: DAVID BOND, P.E.
PHONE: (480) 768-8600

SITE DATA

GROSS SITE AREA: 276,380 SF (6.34 AC)
NET SITE AREA: 276,380 SF (6.34 AC)
EXISTING ZONING: R1-43
DWELLING UNITS: 7
DENSITY (GROSS): 1.10 DU/AC
DENSITY (NET): 1.10 DU/AC
AVERAGE LOT SIZE: 39,436 SF (0.91 AC)

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN BEING S00°58'06"E BETWEEN THE WEST QUARTER CORNER OF SAID SECTION 17 BEING A 1/2" REBAR AND THE SOUTHWEST CORNER OF SAID SECTION 17, BEING A BRASS CAP FLUSH.

BENCHMARK

BRASS CAP FLUSH IN POTHOLE SOUTHWEST CORNER OF SECTION 17 TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER MERIDIAN

ELEVATION = 1370.17 NAVD 88

PROJECT DESCRIPTION

SEVEN (7) SINGLE-FAMILY RESIDENTIAL LOTS WITH ROADWAY AND UTILITY IMPROVEMENTS (PUBLIC WATER, PRIVATE SEPTIC, PRIVATE IRRIGATION, ON-LOT RETENTION).

LEGAL DESCRIPTION

SUBJECT PARCEL:
A PORTION OF LOT 5, AMENDED RESULT OF SURVEY SUN VALLEY FARMS UNIT III, ACCORDING TO BOOK 198, PAGE 30, OFFICIAL RECORDS OF MARICOPA COUNTY, ARIZONA, LYING WITHIN A PORTION OF THE WEST HALF OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 17, FROM WHICH THE SOUTHWEST CORNER OF SAID SECTION 17 BEARS SOUTH 0 DEGREES 55 MINUTES 52 SECONDS EAST, A DISTANCE OF 2666.57 FEET;

THENCE SOUTH 0 DEGREES 55 MINUTES 52 SECONDS EAST, 180.68 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION TO THE SOUTHWEST CORNER OF LOT 6 OF SAID AMENDED RESULT OF SURVEY SUN VALLEY FARMS UNIT III;

THENCE NORTH 89 DEGREES 07 MINUTES 28 SECONDS EAST, 1486.27 FEET ALONG THE SOUTH LINE OF SAID LOT 6 TO THE WEST LINE OF SAID LOT 5;

THENCE NORTH 0 DEGREES 35 MINUTES 34 SECONDS WEST, 1123.57 FEET ALONG THE WEST LINE OF SAID LOT 5 TO THE NORTHWEST CORNER OF SAID LOT 5;

THENCE NORTH 89 DEGREES 02 MINUTES 28 SECONDS EAST, 57.48 FEET ALONG THE NORTH LINE OF SAID LOT 5;

THENCE SOUTH 0 DEGREES 57 MINUTES 32 SECONDS EAST 80.85 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 89 DEGREES 07 MINUTES 28 SECONDS EAST 272.00 FEET;

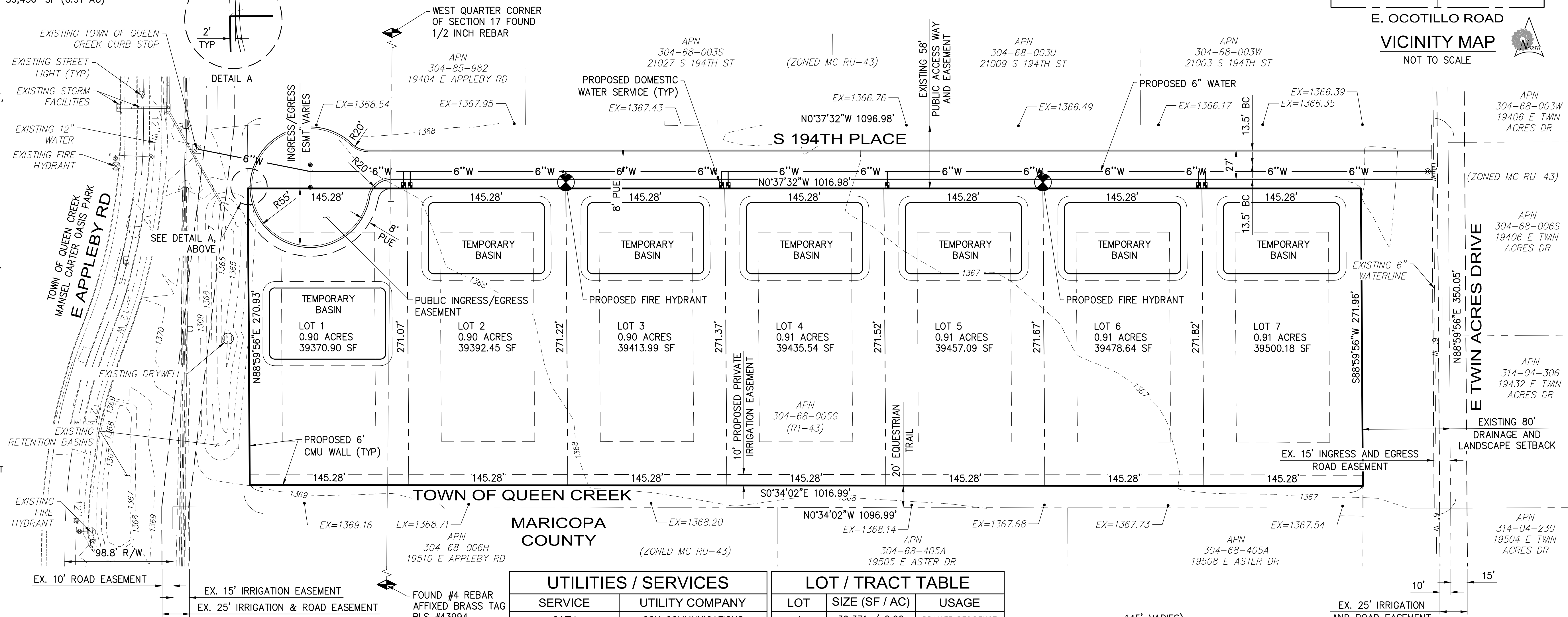
THENCE SOUTH 0 DEGREES 35 MINUTES 34 SECONDS EAST, 1016.12 FEET;

THENCE SOUTH 89 DEGREES 07 MINUTES 28 SECONDS WEST, 272.00 FEET;

THENCE NORTH 0 DEGREES 35 MINUTES 34 SECONDS WEST, 1016.12 FEET TO THE POINT OF BEGINNING.

AIRPORT PROXIMITY NOTICE

THIS PROPERTY, DUE TO ITS PROXIMITY TO PHOENIX MESA GATEWAY AIRPORT, WILL EXPERIENCE AIRCRAFT OVERFLIGHTS, WHICH ARE EXPECTED TO GENERATE NOISE LEVELS THAT MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AVIATION ACTIVITIES AND TYPES OF AIRCRAFT EXPECTED TO BE LOCATED AND OPERATE AT THE AIRPORT NOW AND IN THE FUTURE INCLUDE: SCHEDULED AND UNSCHEDULED COMMERCIAL CHARTERS, COMMERCIAL AIR CARRIERS AND COMMERCIAL AIR CARGO OPERATIONS, ALL OF WHICH ARE EXPECTED TO USE LARGE COMMERCIAL AIRCRAFT, GENERAL AVIATION ACTIVITY USING CORPORATE AND EXECUTIVE JETS, HELICOPTERS, AND PROPELLER AIRCRAFT, AVIATION FLIGHT TRAINING SCHOOLS USING TRAINING AIRCRAFT, AND MILITARY ACTIVITY USING HIGH PERFORMANCE MILITARY JETS. THE SIZE OF AIRCRAFT AND FREQUENCY OF USE OF SUCH AIRCRAFT MAY CHANGE OVER TIME DEPENDING ON MARKET AND TECHNOLOGY CHANGES.

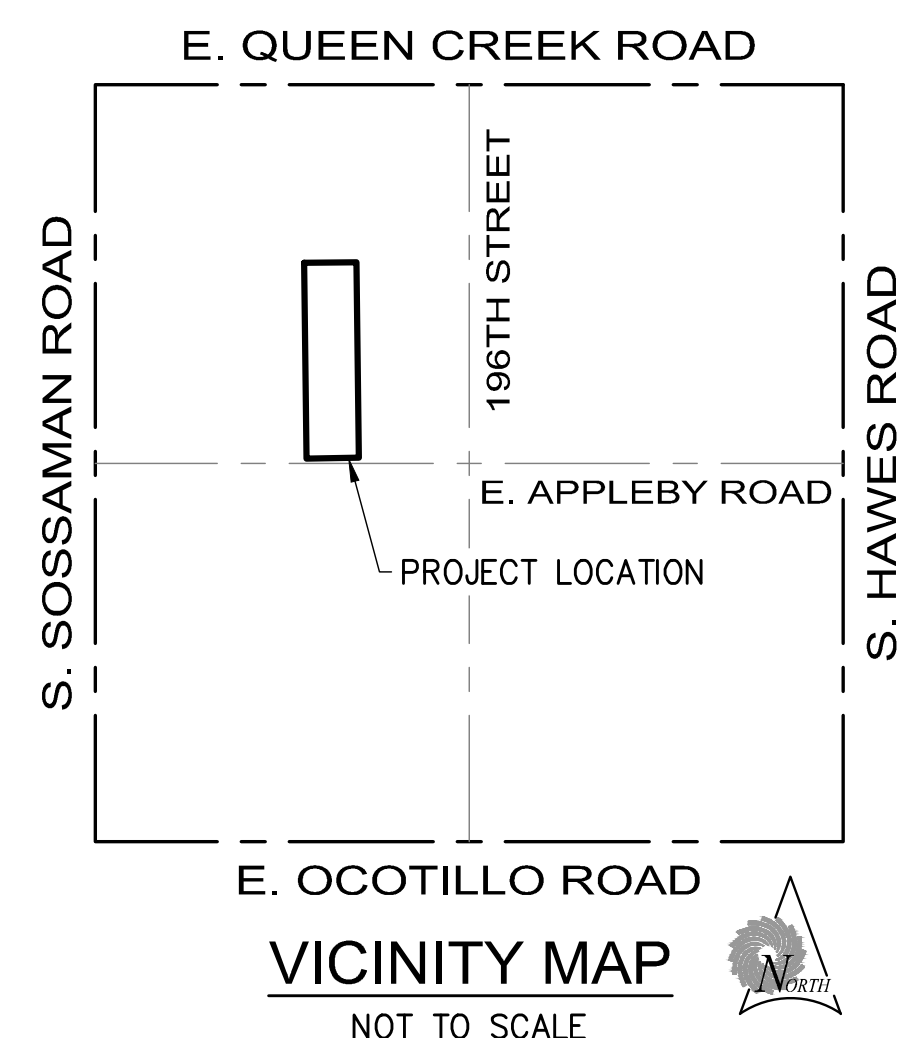
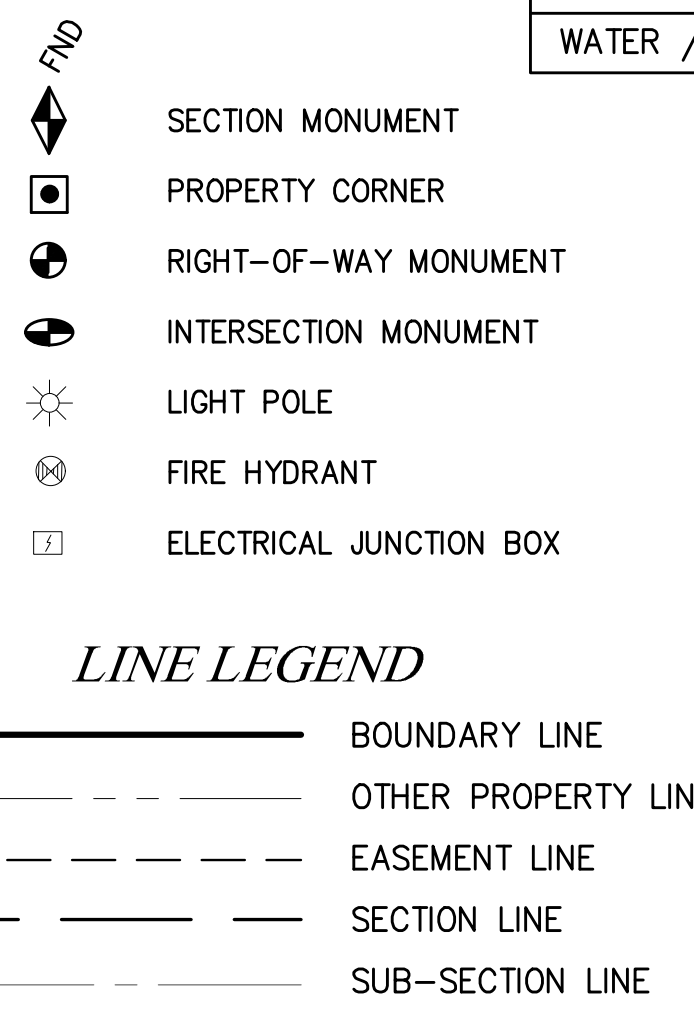
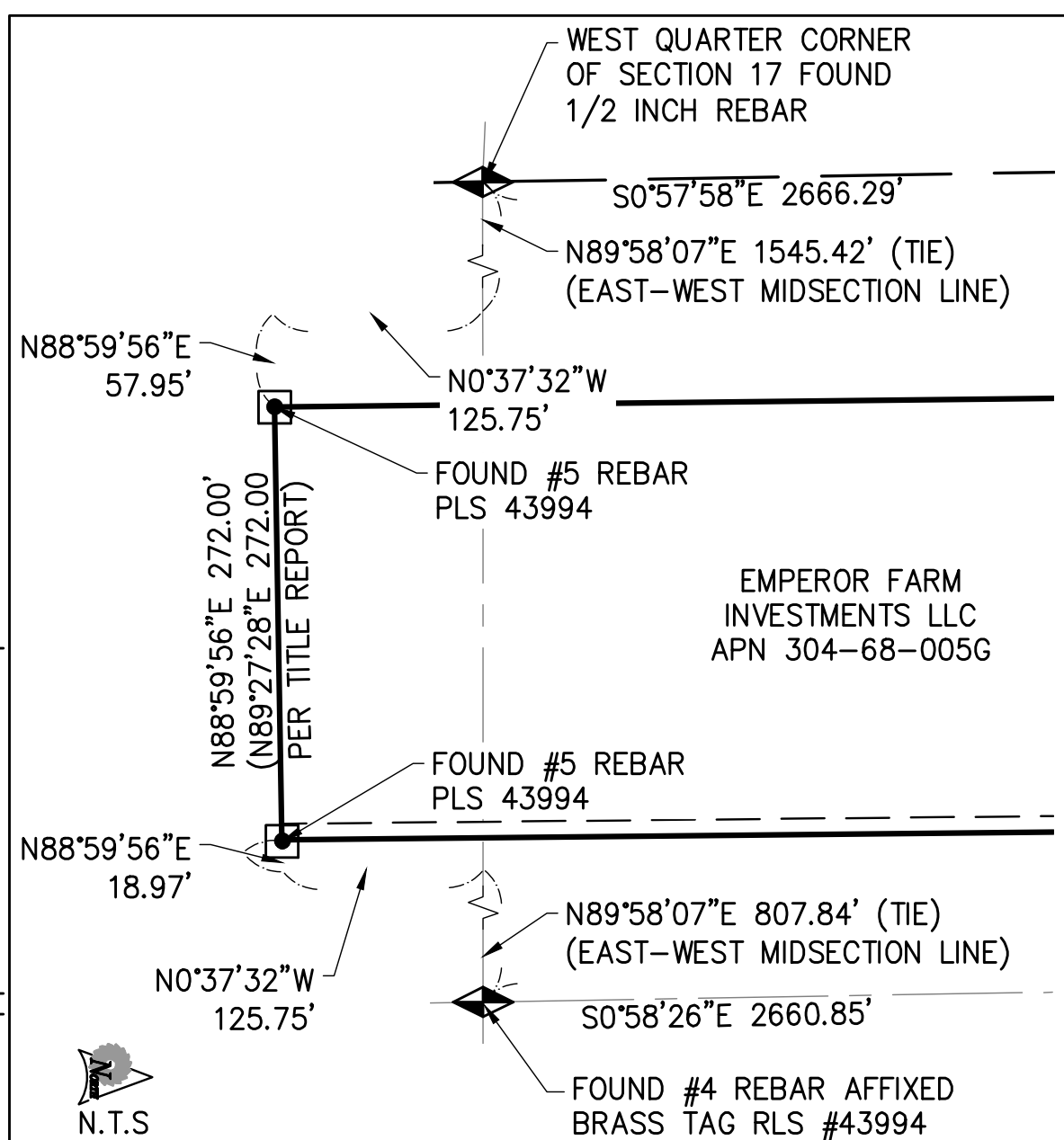
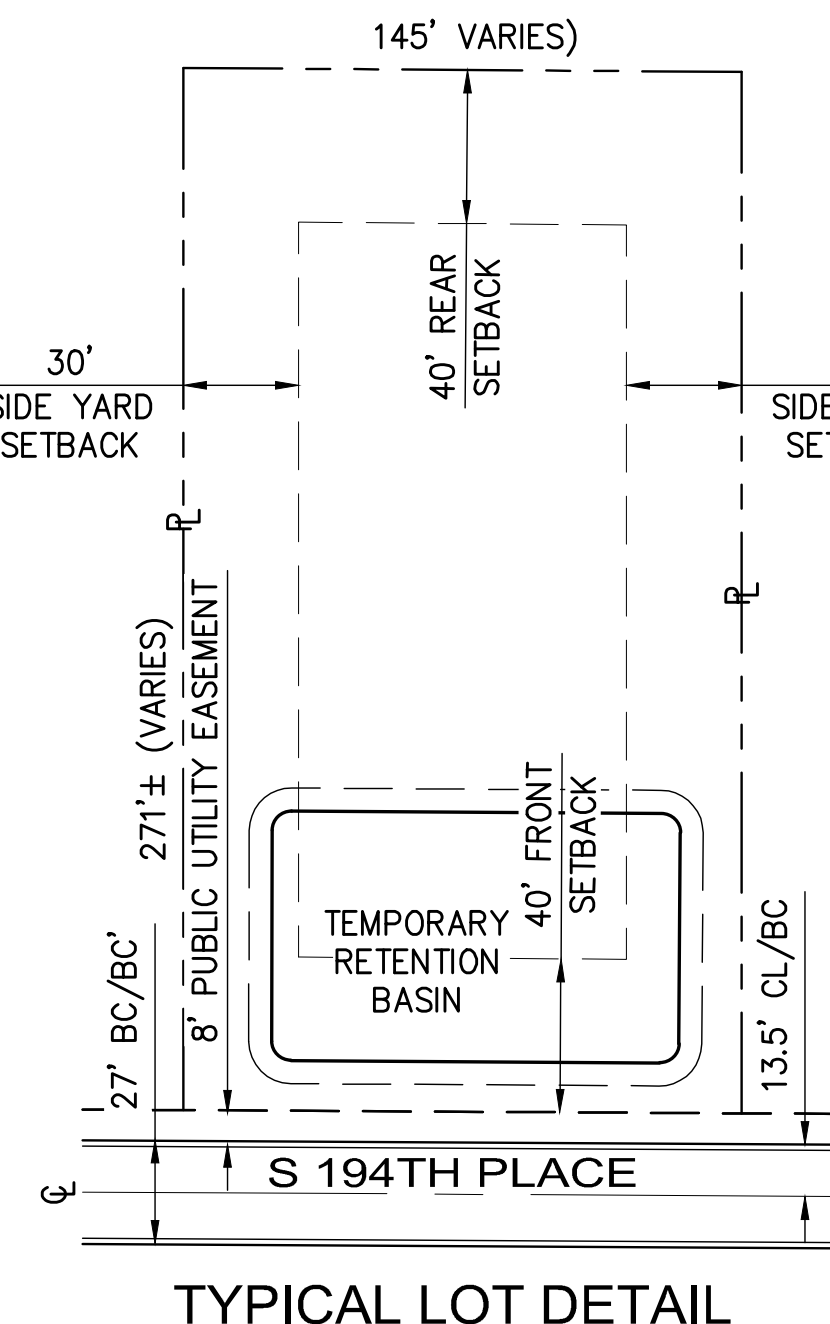
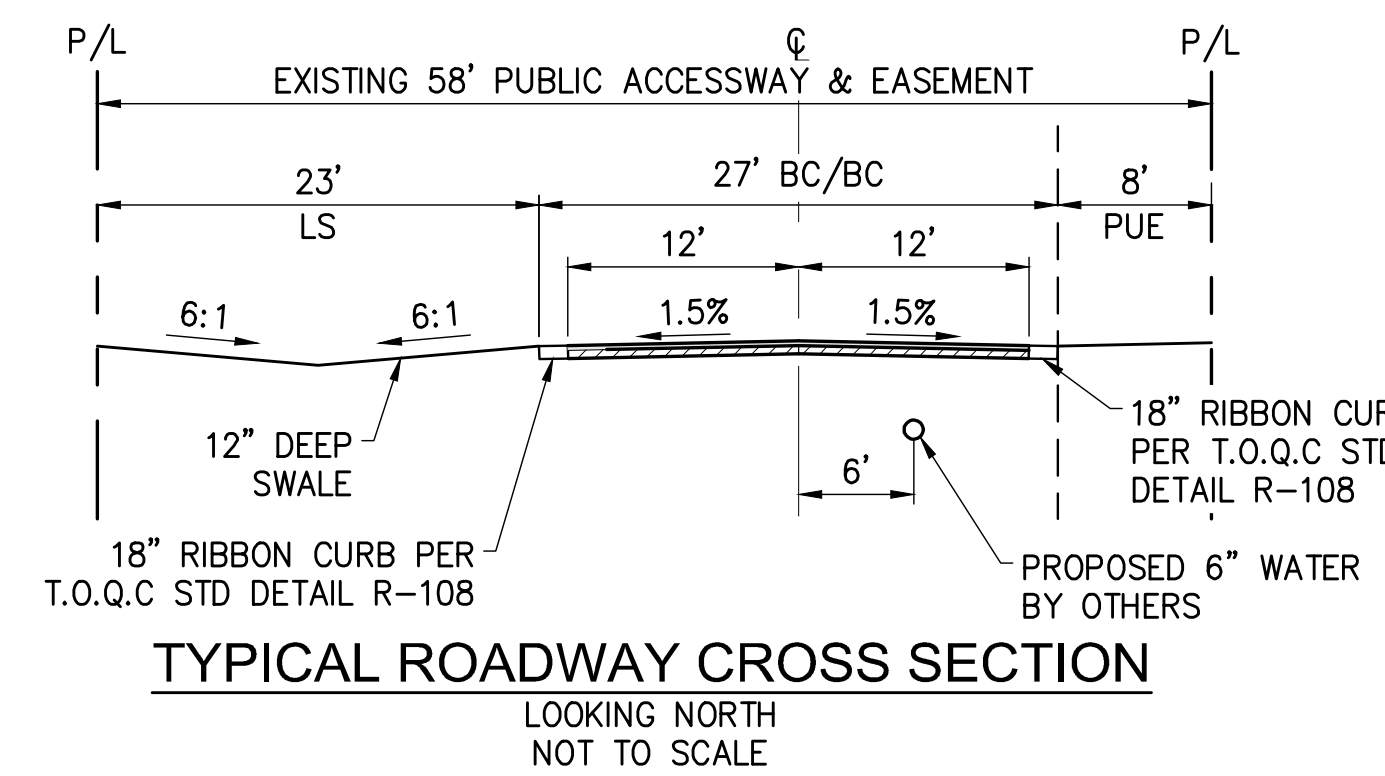


UTILITIES / SERVICES

SERVICE	UTILITY COMPANY
CATV	COX COMMUNICATIONS
ELECTRIC	SALT RIVER PROJECT
FIBER	CENTURY LINK, SPRINT, COX COMMUNICATIONS, AMERICAN TELEPHONE & TELEGRAPH
GAS	SOUTHWEST GAS
WATER / IRRIGATION	TOWN OF QUEEN CREEK

LOT / TRACT TABLE

LOT	SIZE (SF / AC)	USAGE
1	39,371 / 0.90	PRIVATE RESIDENCE
2	39,392 / 0.90	"
3	39,414 / 0.90	"
4	39,436 / 0.91	"
5	39,457 / 0.91	"
6	39,479 / 0.91	"
7	39,500 / 0.91	PRIVATE RESIDENCE



SCALE 1" = 50'

REV. NO. COMMENT DATE

SUNRISE ENGINEERING
2045 SOUTH VINEYARD, SUITE 101
MESA, ARIZONA 85210
TEL 480.768.8600
www.sunrise-eng.com

EMPEROR FARM INVESTMENTS LLC
PARKSIDE ESTATES
PRELIMINARY PLAT

SET NO. 06202 DESIGNED DB DRAWN JC CHECKED DB SHEET NO. 1 of 1 PRE-PLAT

APPLEBY 7 PROJECT DEVELOPMENT

HP + D
HARRINGTON PLANNING + DESIGN
 3116 S. Mill Avenue, Suite 305
 Tempe, Arizona 85282
 Tel: 480-250-0116
 www.HarringtonPlanningDesign.com



APPLEBY 7 DEVELOPMENT
 Appleby Road & 194th Street
 Queen Creek, Arizona 85142

PLANTING MATERIAL LEGEND

TREES	SIZE	NOTES	QTY
Pistacia chinensis Chinese Pistache Caliper Size: 1.5"	24" Box	*ADWR	14
Quercus virginiana Live Oak Caliper Size: 2.0"	36" Box	*ADWR	9
GROUNDCOVERS			QTY
Lantana montevidensis Trailing Lantana	5 Gallon	*ADWR	37
Myoporum parvifolium Myoporum	5 Gallon	*ADWR	7
Convolvulus mauritanicus Ground Morning Glory	5 Gallon	*ADWR	40
SHRUBS / ACCENTS			QTY
Hesperaloe parviflora 'brakelights' Red Yucca 'Brakelights'	5 Gallon	*ADWR	20
Bougainvillea gl. v. 'Barb Karst' Barbara Karst Bougainvillea	5 Gallon	*ADWR	19
Justicia californica Chuparosa	5 Gallon	*ADWR	76
Muhlenbergia capillaris Regal Mist Grass	5 Gallon	*ADWR	89
Ruella californica Baja Ruella	5 Gallon	*ADWR	54

LANDSCAPE MATERIALS		
	Decomposed Granite. 3/4" screened Color-Express Gold- 2" deep in planting areas per plan.	42,393 s.f.
	Equestrian Trail - 1/4" minus Decomposed Granite Color-Express Gold-6" deep	21,105 s.f.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

LANDSCAPE SITE NOTES

- UNAUTHORIZED CHANGES TO DRAWINGS - THE LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USE OF DRAWINGS. CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- OWNER SHALL OBTAIN AND PAY FOR ONLY CITY OF SURPRISE ISSUED PERMITS TO COMPLETE WORK. CONTRACTOR SHALL PAY FOR ALL OTHER PERMITS.
- NOTIFY LANDSCAPE ARCHITECT AT LEAST 4 WORKING DAYS IN ADVANCE PRIOR TO REQUIRED OR DESIRED INSPECTION AT (480) 250-0116.
- STAKE SITE MATERIALS LOCATION AND RECEIVE LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- PROTECT ALL EXISTING PLANT MATERIALS DURING CONSTRUCTION. REPLACE IN KIND ANY DAMAGED OR DESTROYED MATERIALS.
- PRESERVE EXISTING IRRIGATION SYSTEM IN PLACE. MAINTAIN IRRIGATION TO EXISTING PLANTS DURING CONSTRUCTION. REPLACE ANY DAMAGED OR DESTROYED EQUIPMENT.

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	NOTES
	SERVICE POINT	CONNECT TO EXISTING MUNICIPAL POTABLE WATER SERVICE
	WATER METER	PER LOCAL STANDARDS, NEW IRRIGATION METER - REF. CIVIL PLANS FOR INSTALL.
	RPBFA	BACKFLOW PREVENTER ASSEMBLY, FEBCO 825YA, WITH ENCLOSURE PER COS STD DETAIL 2354
	CONTROLLER	HUNTER I-CORE COMMERCIAL CONTROLLER, 6 STATION. METAL PEDESTAL MOUNT
	CONTROL VALVE	HUNTER ICV SERIES SIZE PER PLAN
	FLOW SENSOR	BADGER - BRASS, NTP THREADED CONNECTION, 1" SIZE.
	DRIP VALVE	HUNTER ICV SERIES WITH 150 MESH WYE-STRAINER SIZE PER PLAN
	DRIP FLUSH CAP	SPEARS FLUSH CAP 1/2" FLUSH VALVE
	PRESSURE REG.	SENNIGER 30 PSI - LOCATE IN SEPARATE BOXES MEDIUM FLOW 2-20GPM - 30 PSI (100 MESH)
	EMITTER - SP	BOWSMITH 1.0 GPH (1 PER PLANT)
	EMITTER - MP	BOWSMITH 1.0 GPH 6 PORT (2 PER TREE)

PIPE LEGEND	
	MAINLINE - 1" SIZE PVC SCH. 40
	TREE LATERAL PVC SCH. 40 - SOLVENT WELD, SIZE PER PLAN
	SHRUB LATERAL PVC SCH. 40 - SOLVENT WELD, SIZE PER PLAN
	PIPE SLEEVE PVC SCH. 40 - 2 X PIPE SIZE MINIMUM

IRRIGATION GENERAL NOTES

- IRRIGATION PLAN IS DIAGRAMMATIC. ADJUST LOCATION OF EMISSION POINTS TO PROVIDE FULL AND ADEQUATE COVERAGE OR ADD EMITTERS AS NECESSARY TO ENSURE 100% COVERAGE OF PLANT MATERIALS. PREVENT OVERSPRAY ON ADJACENT IMPROVEMENTS.
- VERIFY WATER PRESSURE IN FIELD AND NOTIFY OWNER IMMEDIATELY SHOULD A DISCREPANCY EXIST.
- COORDINATE IRRIGATION SLEEVES LOCATION AND SIZE WITH A MINIMUM DIAMETER TWICE THE SIZE OF THE IRRIGATION LINE. EXTEND SLEEVES 12" BEYOND EDGE OF PAVEMENT, WALL, WALKS OR CURB.
- PROGRAM CONTROLLERS TO MAINTAIN SUFFICIENT FLOW RATES THROUGHOUT THE SYSTEM. ADJUST AS REQUIRED FOR SEASON AND PLANT MATERIAL UNTIL FINAL ACCEPTANCES.
- LOCATE TAN COLOR (CARSON OR EQUAL) VALVE BOXES (IRRIGATION, GATE VALVE, FLUSH CAP, QUICK COUPLERS, AND OTHER ELEMENTS) IN PLANTER AREAS. DO NOT LOCATE VALVE BOXES IN A LAWN OR HARDSCAPE UNLESS REQUIRED AND APPROVED BY OWNER.
- ALL IRRIGATION EQUIPMENT DESCRIBED IN LEGEND WILL BE ACCEPTED AS APPROVED EQUALS FOR PERFORMANCE. CONTRACTOR MAY SUBMIT FOR REVIEW EQUAL PERFORMANCE EQUIPMENT.

TOWN OF QUEEN CREEK GENERAL NOTES

- THE TOWN OF QUEEN CREEK GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
- THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE TOWN IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN HATE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARDS SPECIFICATIONS AND DETAILS.
- FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING OR APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE TOWN OF QUEEN CREEK STAFF.
- ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERY ASSOCIATION STANDARDS.
- ALL RIGHT-OF-WAY AND CITY REQUIRED (PERIMETER, RETENTION, AND PARKING) PLANT MATERIAL TO BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE PLANT LIST.
- CONTACT THE TOWN OF QUEEN CREEK, TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE TOWN STAFF PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY TOWN PLANT MATERIAL OR EQUIPMENT.
- ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.
- THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO TIE THE EXISTING IRRIGATION IN THE RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THROUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPPING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL, IN RIGHT-OF-WAY, PER THE APPROVED PLAN.
- WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL HAVE A MINIMUM CANOPY CLEARANCE OF EIGHT FOOT ZERO INCHES 8'-0").
- P.V.C. PIPE LATERALS ARE REQUIRED. A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE P.V.C. PIPE LATERAL IS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.
- PLANT QUANTITIES AND CALIPER SIZES PER THE SPECIFIC ZONING REQUIREMENTS FOR THIS SITE, PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO HATE APPROVED PLAN.
NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENTS. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

TOWN OF QUEEN CREEK APPROVAL/SIGNATURE BLOCK	
SIGNATURE: APPROVED BY TOWN ENGINEER	DATE
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY THE TOWN OF QUEEN CREEK INSPECTION SERVICES BEFORE CERTIFICATION OF OCCUPANCY IS ISSUED.	
SIGNATURE: APPROVED BY TOWN PLANNING ADMINISTRATOR	DATE

SHEET INDEX

SHEET	TITLE
L0.1	LANDSCAPE COVER
L1.0	LANDSCAPE PLAN
L2.0	IRRIGATION PLAN
L3.0-L31	LANDSCAPE DETAILS
L4.0-4.1	IRRIGATION DETAILS

OWNER CONTACT

EMPEROR FARM INVESTMENTS LLC
 19942 E RUSSET ROAD
 QUEEN CREEK, AZ 85142
 MR JOHAN DE KEIZER
 (602)-680-6759
 JJDDKEIZER@OUTLOOK.COM

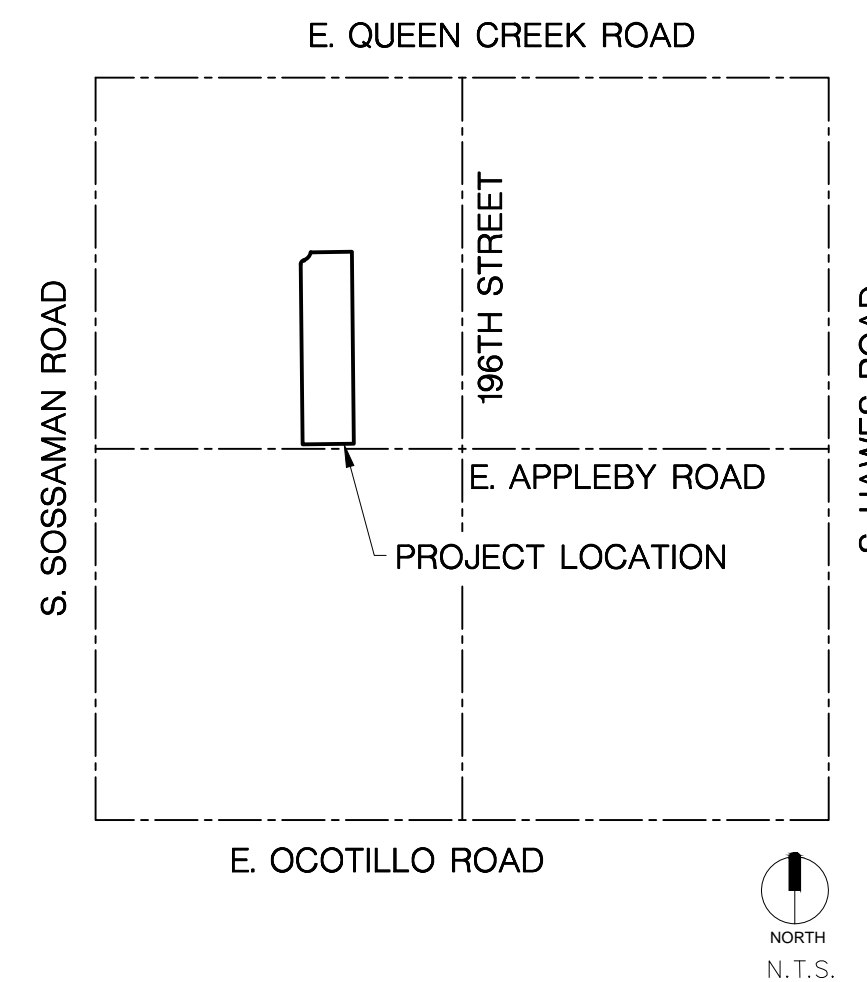
LANDSCAPE ARCHITECT

HARRINGTON PLANNING + DESIGN (HP+D)
 1921 S ALMA SCHOOL RD. SUITE 100
 MESA, ARIZONA 85210
 JASON HARRINGTON, RLA, ASLA, ASIC, APWA
 (480) 250-0116
 JASON@HARRINGTONPLANNINGDESIGN.COM

PROJECT DATA

ZONING: - R1-43
 CASE #:
 PLAN ID #:
 QS: -
 APN# 304-68-005G

VICINITY MAP

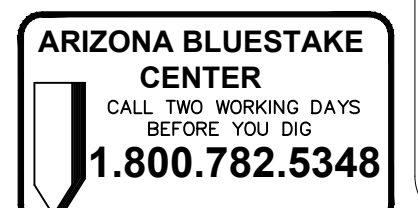


REV.	COMMENT	DATE

FIRST REVIEW	11.01.19
ISSUE	DATE

NOVEMBER 01, 2019
 DRAWN BY: KA
 CHECK BY: JEH
 PROJ. NO.: 2018-042
 CASE NO.: INA

LANDSCAPE COVER
L0.1
 1 of 7



N.I.C.

N.I.C.

EASEMENT

S. 194TH PLACE

N.I.C.

N.I.C.

N.I.C.

N.I.C.

N.I.C.

PLANTING MATERIAL LEGEND

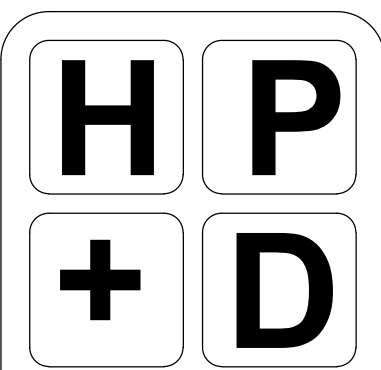
TREES	SIZE	NOTES	QTY
Pistacia chinensis Chinese Pistache Caliper Size: 1.5"	24" Box	*ADWR	14
Quercus virginiana Live Oak Caliper Size: 2.0"	36" Box	*ADWR	9
GROUNDCOVERS			QTY
Lantana montevidensis Trailing Lantana	5 Gallon	*ADWR	37
Myoporum parvifolium Myoporum	5 Gallon	*ADWR	7
Convolvulus mauritanicus Ground Morning Glory	5 Gallon	*ADWR	40
SHRUBS / ACCENTS			QTY
Hesperaloe parviflora 'brakelights' Red Yucca 'Brakelights'	5 Gallon	*ADWR	20
Bougainvillea gl. v. 'Barb Karst' Barbara Karst Bougainvillea	5 Gallon	*ADWR	19
Justicia californica Chuparosa	5 Gallon	*ADWR	76
Muhlenbergia capillaris Regal Mist Grass	5 Gallon	*ADWR	89
Ruellia californica Baja Ruellia	5 Gallon	*ADWR	54

LANDSCAPE MATERIALS		
Decomposed Granite, 3/4" screened Color-Express Gold- 2" deep in planting areas per plan.		42,393 sf.
Equestrian Trail - 1/4" minus Decomposed Granite Color-Express Gold-6" deep		21,105 sf.

*ADWR = Arizona Department of Water Resources Approved Low-Water Use Plant

SITE LANDSCAPE NOTES

- FIELD VERIFY EXISTING SITE PRIOR TO BID AND CONSTRUCTION.
- REFER TO CIVIL ENGINEERING PLANS FOR VERTICAL AND HORIZONTAL CONTROL.
- PROTECT ALL UTILITIES DURING CONSTRUCTION.



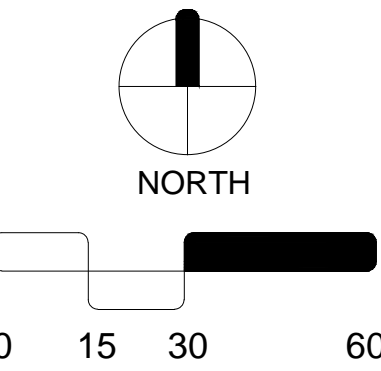
HARRINGTON PLANNING + DESIGN
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APPLEBY 7 DEVELOPMENT
Appleby Road & 194th Street
Queen Creek, Arizona 85142

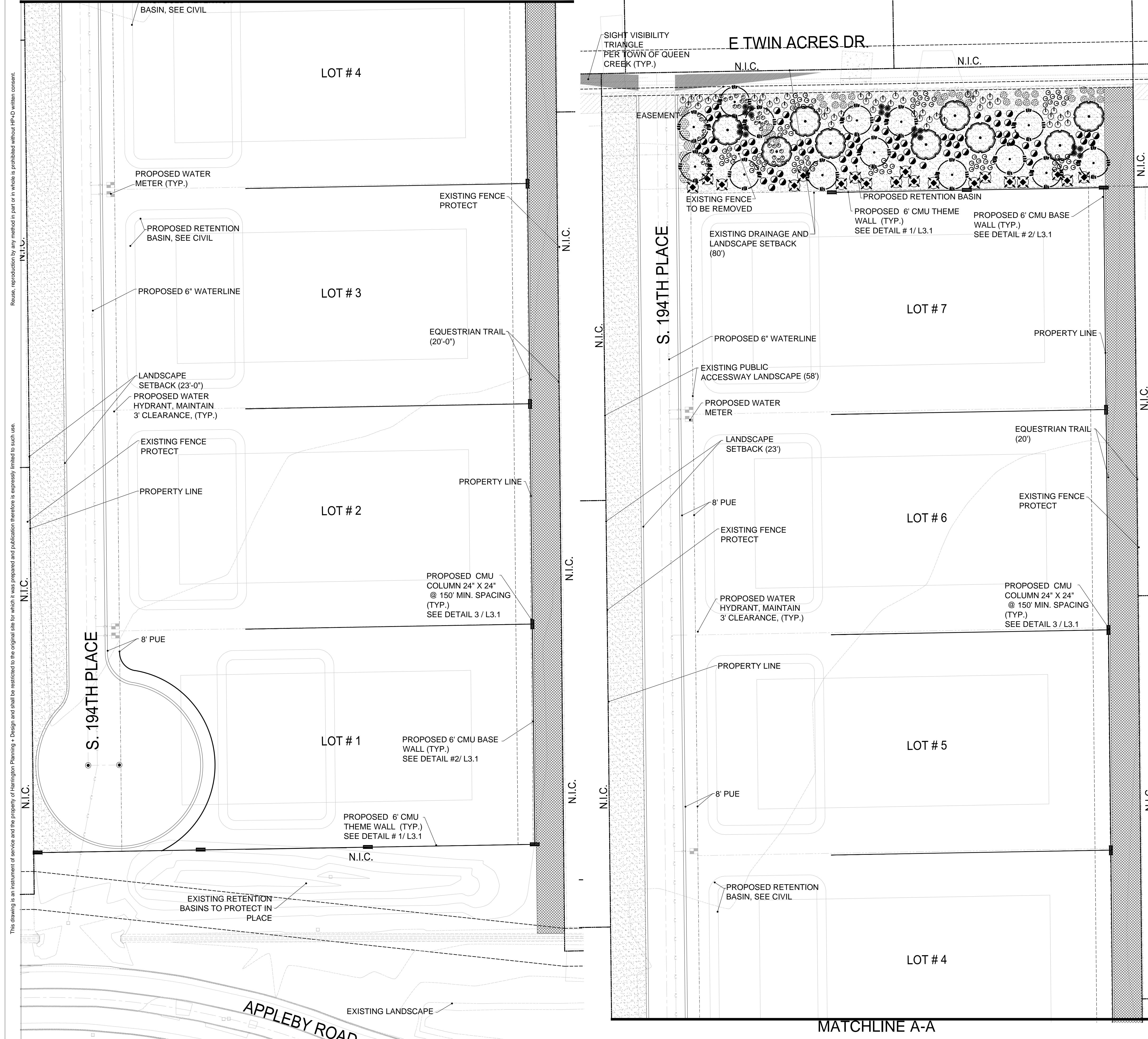
REV.	COMMENT	DATE

NOVEMBER 01, 2019
DRAWN BY: KA
CHECK BY: JEH
PROJ. NO.: 2018-042
CASE NO.: NA



LANDSCAPE PLAN
L1.0
2 of 7

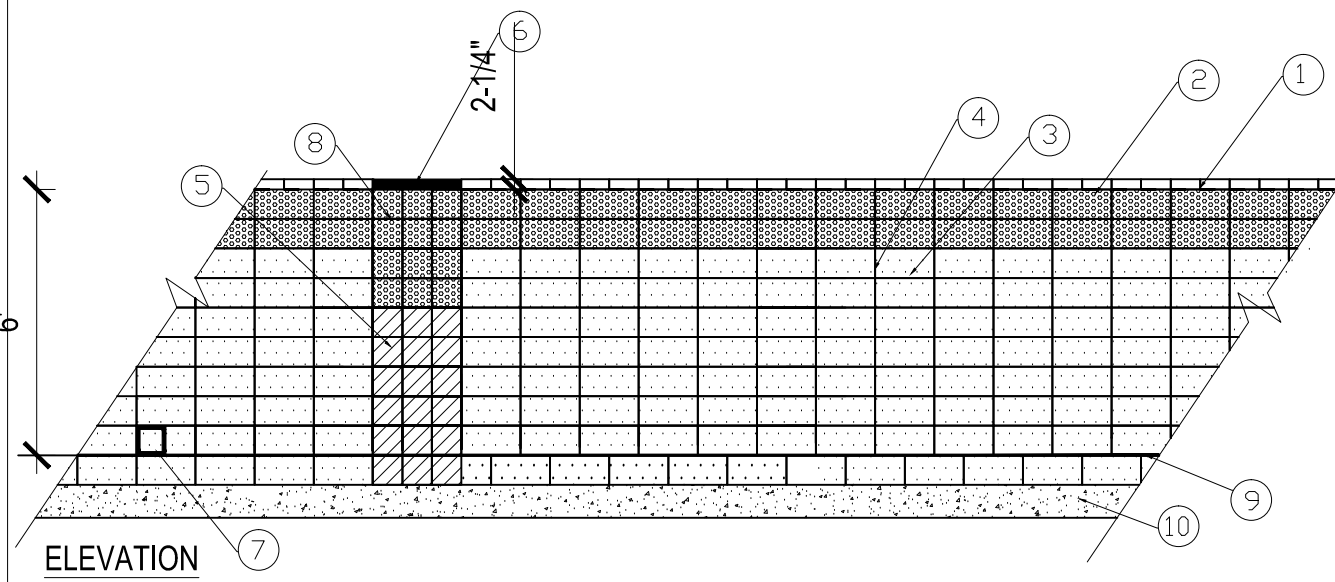
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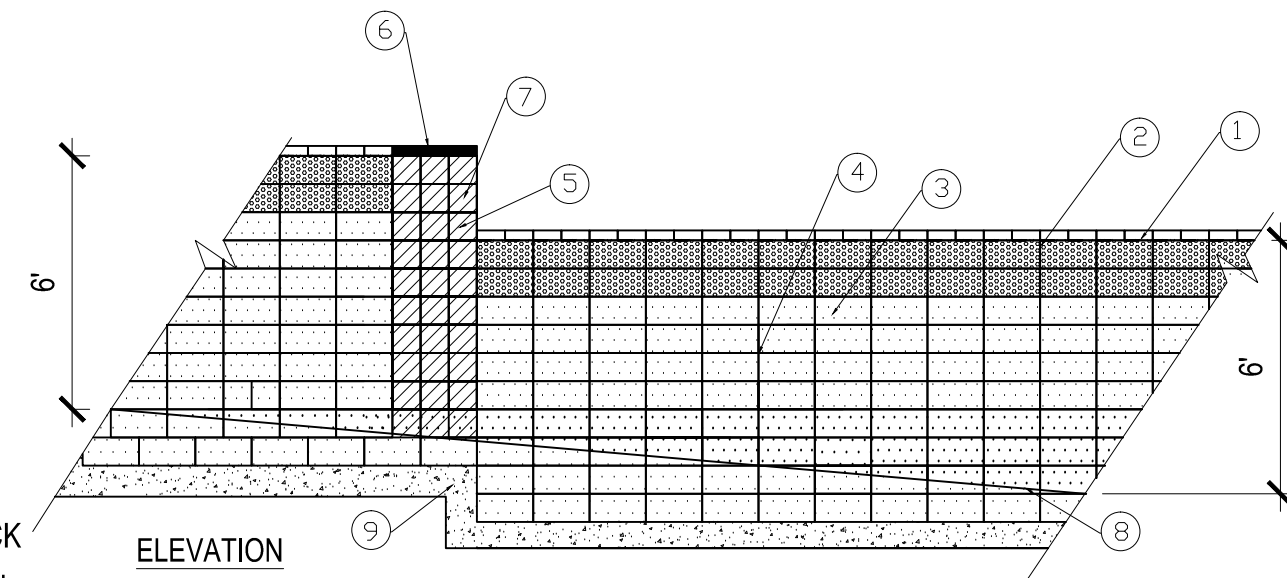
- ① 4" x 2-1/4" x 8" PACIFIC CLAY PAVER - BEAR PATH PAVER - COLOR DARK IRONSPOT - INSTALL 3-COURSE-RUNNINGBOND ON TOP OF CMU BLOCK (PARALLEL TO CMU WALL)
- ② 6" x 8" x 16" SUPERLITE TRENDSTONE CMU BLOCK WITH CELLS - GROUND FACE - COLOR- EARTHEN TONE - CENTERED ON WALL
- ③ 6"X8"X16" SUPERLITE PRECISION CMU BLOCK WITH CELLS-INTEGRAL COLOR - SUPERSTITION - PATTERN-STACK BOND (SEE STRUCTURAL FOR REINFORCING)
- ④ HORIZONTAL AND VERTICAL JOINTS-RAKED
- ⑤ 8" X 8" X 8" SOLID SUPERLITE PRECISION CMU BLOCK WITH CELLS - CAP-INTEGRAL COLOR- BLACK MOUNTAIN
- ⑥ 26" X 26" X 26" CUT STONE CAP-2" THICK FLAGSTONE
- ⑦ 6" X 8" X 8" SUPERLITE PRECISION CMU BLOCK WITH CELL -INTEGRAL COLOR-SUPERSTITION (DRAINAGE CELL)
- ⑧ COLUMN 2' X 2'
- ⑨ FINISH GRADE
- ⑩ STEP FOOTING (WHEN NECESSARY)

NOTES:

- 1. ONLY THEME WALLS RECEIVE ADDITIONAL GROUND FACED CMU BLOCK ON COLUMNS

1 THEME WALL

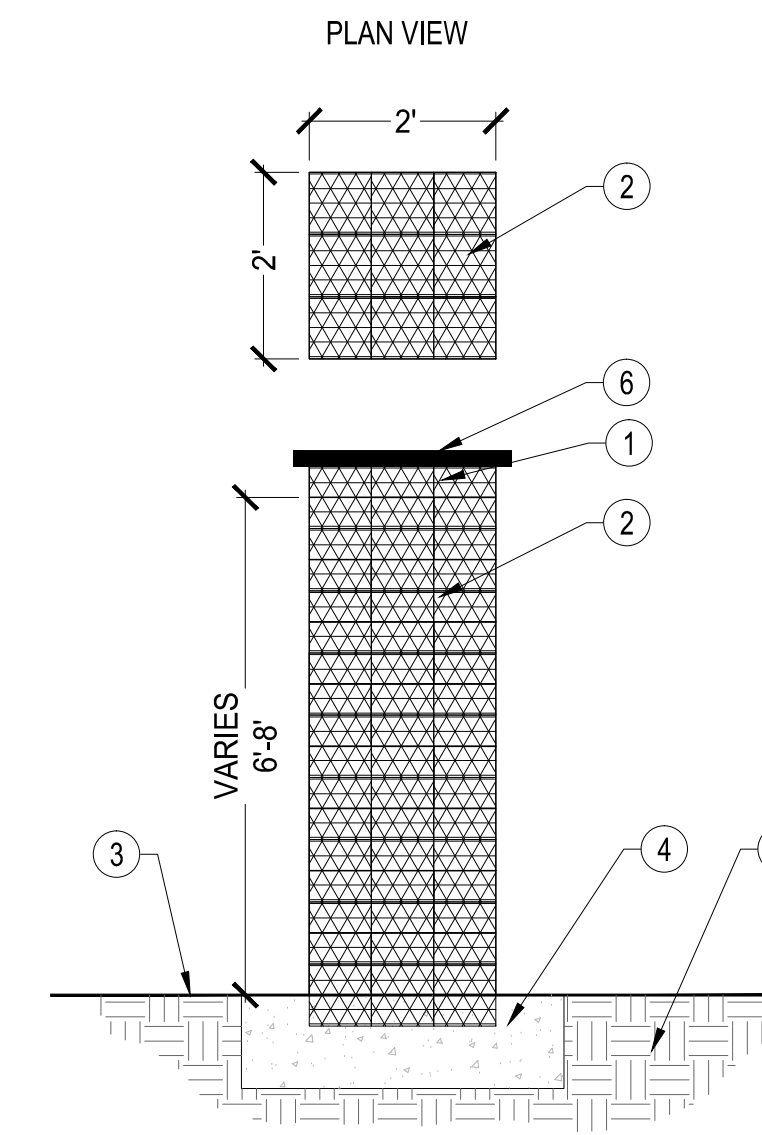
SCALE: N.T.S



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- ② 6" X 8" X 16" SUPERLITE TRENDSTONE CMU BLOCK WITH CELLS - GROUND FACE - COLOR- EARTHEN TONE - CENTERED ON WALL
- ③ 6"X8"X16" SUPERLITE PRECISION CMU BLOCK WITH CELLS-INTEGRAL COLOR - SUPERSTITION - PATTERN-STACK BOND (SEE STRUCTURAL FOR REINFORCING)
- ④ HORIZONTAL AND VERTICAL JOINTS-RAKED
- ⑤ 8" X 8" X 8" SOLID SUPERLITE PRECISION CMU BLOCK WITH CELLS - CAP-INTEGRAL COLOR- BLACK MOUNTAIN
- ⑥ 26" X 26" X 26" CUT STONE CAP-2" THICK FLAGSTONE - CENTERED ON COLUMN
- ⑦ COLUMN 2' X 2'
- ⑧ FINISH GRADE
- ⑨ STEP FOOTING (WHEN NECESSARY)

2 BASE WALL

SCALE: N.T.S.



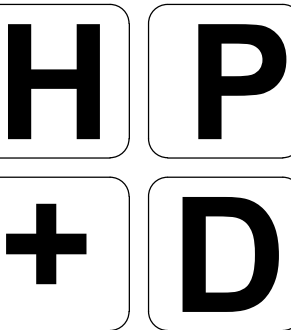
3 CMU COLUMN - 24" X 24"

SCALE: N.T.S.

- ① 4"X24"X24" ANACAPA PILASTER CAP #Q-PC-ANACAPA-24 (<http://www.qcp-corp.com/detail/anacapa-pilaster-cap/981>)
- ② 8"X8"X8" CMU BLOCK.
- ③ FINISH GRADE.
- ④ CONCRETE FOOTING PER STRUCTURAL.
- ⑤ COMPACTED SUBGRADE PER STRUCTURAL.
- ⑥ 26" X 26" X 2" FLAGSTONE CAP - CENTERED ON COLUMN.

NOTES:

- 1. THEME WALL: CMU BLOCK - PRECISION - COLOR BLACK MOUNTAIN AND TRENDSTONE GROUND FACE- COLOR EARTHEN TONE - SEE DET. 1/L3.1)
- BASE WALL: CMU BLOCK - PRECISION - COLOR BLACK MOUNTAIN SEE DET. 2/ L3.1
- 2. PROVIDE MASONRY CONTROL JOINTS AT 30'-0" O.C. MAX.
- 3. WALL REINFORCEMENT PER CIVILSTRUCTURAL.



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FIRST REVIEW	11.01.19
ISSUE	DATE

NOVEMBER 01, 2019
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**LANDSCAPE
DETAILS
L3.1**