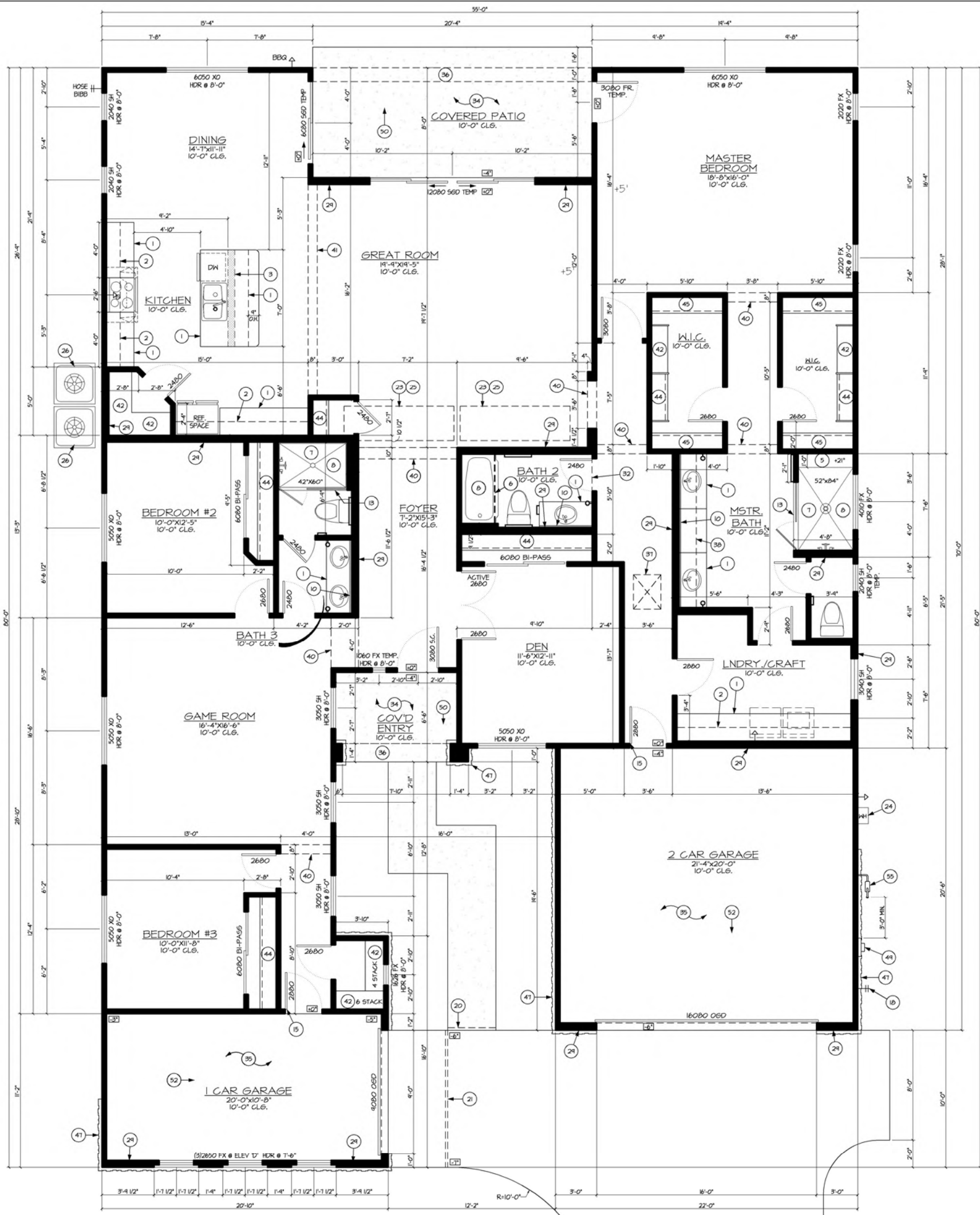


NOTES:

- FIELD CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESSURE-PRESERVATIVE-TREATED WOOD SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH ANPA M4 - REFERENCE IRC SECTION R301.2.
- OTHER PENETRATIONS OF THE GARAGE DWELLING SEPARATION, SUCH AS PIPES, ARE TO BE PROTECTED BY FILLING THE OPENING AROUND THE PENETRATING ITEMS WITH APPROVED MATERIALS TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION PER IRC SECTION R302.11.
- CEILING GYPSUM BOARD APPLICATION: WHEN APPLYING A WATER-BASED TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8 INCH TO 1/2 INCH FOR 16-INCH ON CENTER FRAMING, AND FROM 1/2 INCH TO 5/8 INCH FOR 24-INCH ON CENTER FRAMING OR 1/2-INCH SAG RESISTANT GYPSUM CEILING BOARD SHALL BE USED. ALL MEASUREMENTS ARE TO BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
- PROVIDE AN EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON OR TO BE INSTALLED ON THE WATER LINE OR AT THE METER.
- SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF ATTIC ACCESS AND AIR HANDLER UNIT.
- SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF STONE VENEER & POPOUTS.
- WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT.
- PRE-FAB SHOWER CAN BE REPLACED WITH OPTIONAL SITE-BUILT SHOWER PER IRC-P2704.
- REQUIRED DRAIN PAN FOR WATER HEATER; PAN SHALL BE GALVANIZED PAN HAVING A MIN. THICKNESS OF 24 GA. OR OTHER PANS LISTED FOR SUCH USE; PAN SHALL BE NOT LESS THAN 1-1/2" DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MIN. DIA. OF 3/4"; THE PAN DRAIN SHALL EXTEND FULL-SIZED AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE MAXIMUM 6" ABOVE THE GROUND IN A LOCATION THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE USING MATERIAL LISTED IN TABLE P2405.5 (NOT PVC).
- PROVIDE WATER HAMMER ARRESTORS AT DISHWASHER, ICE MAKER & WASHING MACHINE.
- PROVIDE AIR GAP AT DISHWASHER.
- THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 35 FEET FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5 FEET FOR EACH 45-DEGREE BEND AND 5 FEET FOR EACH 90-DEGREE BEND. ICM M502.4.4.
- THE ADJOINING WALLS AND FLOOR FRAMING ENCLOSING ON-SITE BUILT-UP SHOWER RECEPTORS SHALL BE LINED WITH UTILIZING APPROVED MATERIALS AND METHODS AS IDENTIFIED ON THE PLANS. THE LINING MATERIAL SHALL EXTEND NOT LESS THAN 2 INCHES BEYOND OR AROUND THE ROUGH JAMBS AND NOT LESS THAN 2 INCHES ABOVE FINISHED THRESHOLDS. SHEET-APPLIED LOAD BEARING BONDED WATERPROOF MEMBRANES SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. 2" WATER TEST FOR INSPECTION.
- VERIFY WITH BUILDER FOR GAS OR ELECTRIC APPLIANCES SUCH AS WATER HEATER, RANGE, DRYER, ETC... PRIOR TO CONSTRUCTION.

AREA CALC'S.

LIVABLE AREAS:	
MAIN LIVABLE	2,862 SQ.FT.
COVERED AREAS:	
COVERED ENTRY	58 SQ.FT.
COVERED PATIO	193 SQ.FT.
GARAGE:	
2 CAR GARAGE	457 SQ.FT.
1 CAR GARAGE	233 SQ.FT.
TOTAL SQ. FT.	3,803 SQ.FT.



FLOOR PLAN

1/4"=1'-0"

FLOOR PLAN KEYNOTES

- | No. | DESCRIPTION |
|-----|---|
| 1 | BASE CABINET W/COUNTERTOP (PER SPECS.) |
| 2 | UPPER CABINETS (PER SPECS.) |
| 3 | BREAKFAST BAR W/COUNTERTOP, 2X6 WALL BELOW TO BE @ +34-1/2" UNO. |
| 4 | METAL FRAME AT END OF GLASS ENCLOSURE-SECURE TO FLOOR & CEILING. |
| 5 | SHOWER NICHE/SEAT-SLOPE TO DRAIN |
| 6 | PROVIDE SHOWER ROD (PER SPECS.) |
| 7 | CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREA. KERDI SYSTEM MAY BE USED AS BACKER PER ICG ESR-2461 AND MFG INSTALLATION INSTRUCTIONS. |
| 8 | TUB/SHOWER W/ WATER RESISTANT MANSOAT TO 16" ABV FF (26" @ TILE) IRC R307.2 |
| 9 | RECESSED MEDICINE CABINET (PER SPECS.) - R.O. 14"x24" |
| 10 | MIRROR - RUN ENTIRE LENGTH OF VANITY; SITS ON BACK SPLASH |
| 11 | 2 SET OF VALVES FOR SHOWER FIXTURES - PER SPECS. |
| 12 | OVERHEAD SHOWER FIXTURE-PER SPECS |
| 13 | TEMPERED GLASS ENCLOSURE |
| 14 | WATERPROOF & SLOPE SILL TO DRAIN |
| 15 | MIN. 1-3/8" SOLID CORE DOOR, SELF-CLOSING & SELF-LATCHING PER IRC R302.5.1 |
| 16 | 2" STUCCO POP OUT ABOVE DOOR |
| 17 | FRAMED PLATFORM RAISED 18" A.F.F. |
| 18 | BUILDING WATER MAIN SHUT-OFF VALVE LOCATION. |
| 19 | TEMPERATURE AND PRESSURE RELIEF VALVE SHALL EXTEND OUTSIDE OF BLDG W/ THE END OF PIPE MAX. 6" ABV. THE FLOOR OR WASTE RECEPTOR & POINTING DOWNWARD |
| 20 | DRAINAGE SLEEVE - ZURN Z803 FIBERGLASS-PLASTIC COVER |
| 21 | DRAINAGE SLEEVE - ZURN Z803 FIBERGLASS-METAL COVER |
| 22 | STANDARD SPLIT WATER LOOP |
| 23 | PROVIDE GAS FOR AIR HANDLER |
| 24 | RINNAI TANKLESS WATER HEATER. SEE DETAIL ON A4.1 |
| 25 | AIR HANDLER IN ATTIC SPACE |
| 26 | PREFAB PAD FOR CONDENSER UNITS, HOLD 6" AWAY FROM HOUSE A MIN. 3" ABOVE GRADE. VERIFY THE SIZE WITH THE MECHANICAL CONTRACTOR |
| 27 | *NOT USED |
| 28 | 6" WIDE WALL WITH STAGGERED 2x4 STUDS @ 24" O.C. & INSULATION. |
| 29 | 2x6 WALL |
| 30 | LOW WALL, SEE PLAN FOR HEIGHT |
| 31 | COURTYARD WALL, STANDARD AT ALL ELEVATIONS; SEE DETAILS ON A4. MAX 36" HIGH IN FRONT SETBACK. |
| 32 | LINE OF CEILING CHANGE |
| 33 | PROVIDE MIN. 3" REVEAL AROUND WINDOW/DOOR. SEE ELEVATIONS |
| 34 | 1/2" TYPE MR GYP. BD. @ ALL CVD. PATIOS. (ICG #R-1338 OR EQUAL) 5/8" SAG-RESISTANT TYPE X GYP. BD. @ USABLE AREAS UNDER STAIRS AND GARAGE CLG. PER CITY OF SURPRISE #2014-040. 1/2" SAG-RESISTANT GYP. BOARD @ ALL OTHER WALLS & CLG PER IRC R302.6 |
| 35 | SOFFIT - SEE ELEVATION EXTERIOR SOFFITS TO BE BUILT TO UNDERSIDE OF BEAM PER STRUCTURAL PLANS. |
| 36 | 22"x30" ATTIC ACCESS SEE DETAIL 6 ON SHEET A4.1 |
| 37 | 15" DEEP, 24" TALL SOFFIT |
| 38 | FLAT SOFFIT @ 8'-0" |
| 39 | FLAT SOFFIT @ 9'-0" |
| 40 | FLAT SOFFIT @ 9'-6" |
| 41 | 5'-20" OR 16" DEEP SHELVES, EVENLY SPACED. (6 SHELVES @ PANTRY) |
| 42 | 1 SHELF |
| 43 | 1 ROD, 1 SHELF |
| 44 | 2 RODS, 2 SHELVES |
| 45 | FACE FRAMED LINEN CABINET |
| 46 | EXTENTS OF STONE VENEER, HEIGHTS AND LOCATION PER ELEVATIONS. |
| 47 | MIN. 36"x36" LANDING AT DOOR LOCATION PER IRC R303.3 |
| 48 | ELECTRIC PANEL LOCATION-SEE E-1 AND GEN. NOTES, FRAMER TO PROVIDE LATH BACKING AROUND PANEL |
| 49 | SLOPE 1/8" PER 12", NOT TO EXCEED 1/4" PER 12" |
| 50 | SLOPE 1/4" PER 12" |
| 51 | SLOPE GARAGE 2" OVERALL |
| 52 | HANDRAIL/GUARDRAIL (WOOD OR IRON PER SPECS) TO BE 36" ABOVE WALKING PLANE ON 8" HIGH CURB. RAILS SHOULD BE SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH ANY OPENING. (PER CODE) |
| 53 | HANDRAIL (WOOD OR IRON PER SPECS) TO BE 36" ABOVE WALKING PLANE (PER CODE) |
| 54 | NATURAL GAS METER LOCATION. - SEE PLUMBING PLAN |
| 55 | COMBUSTION & RELIEF GRILLES, 12" FROM FLR. & CLG. W/ GAS APPL. |
| 56 | PROVIDE 100 SQ. IN. MAKEUP AIR FOR GAS OR ELEC DRYER. (TO BE PROVIDED BY JUMP DUCT OR DOOR VENT SEE MECH.) |

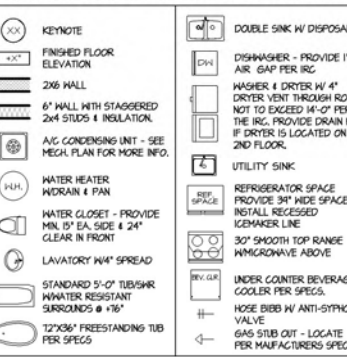
GENERAL NOTES

- WALL FRAMING - SEE STRUCTURAL - UNO. EXTERIOR WALLS - 2x4 @ 16" O.C. UNO. INTERIOR BEARING WALLS - 2x4 @ 16" O.C. UNO. INTERIOR NON BEAR. - 2x4 @ 24" O.C. UNO. PLUMBING WALLS - 2x6 UNO. - 16" O.C. @ TUBS & SHOWERS FOR PROPER INSTALLATION OF DENS SHEILD
- INSULATION MANUFACTURER, CERTAIN TEED OR APPROVED EQUAL. BATT INSULATION: (2x4) R-13, AIR CONDITIONED AREAS (2x6) R-20, AIR CONDITIONED AREAS CEILING INSULATION, R-30 OVER ALL LIVABLE AREAS. KNEE WALL INSULATION, R-13 2X4/R-20 2X6 GULK. AND SEAL BOTTOM PLATES, PENETRATIONS, WINDOWS & DOORS.
- REFER TO FLOOR PLAN SHEETS FOR ALL WINDOW HEADER HEIGHTS. SEE DOOR ROUGH OPENING CHART BELOW.
- SHOWER HEADS @ 82" A.F.F. SHOWER CONTROL VALVES @ 42" A.F.F. STACK SHOWER CONTROL VALVES @ CURVED WALLS UNO.
- PROVIDE PRESSURE BALANCE OR THERMO. MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBO AND GARDEN TUBS.
- GLASS BLOCK SHALL COMPLY WITH IRC.
- ALL BATH ACCESSORIES, (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY BUILDER.
- PROVIDE BLOCKING IN WALLS AS NECESSARY TO SUPPORT ALL WALL MOUNTED FIXTURES.
- ALL MECH. EQUIPMENT SHALL BE SCREENED A MINIMUM OF 12" ABOVE THE HIGHEST POINT OF THE EQUIPMENT. SEE MECH. PLAN FOR A.H. LOC.
- ALL CEILING HEIGHTS INDICATED ARE FROM FINISHED FLOOR ELEVATION.
- REFER TO SPECIFICATIONS FOR ALL FLAT WORK CONCRETE FINISH.
- ALL EQUIPMENT IN GARAGE SHALL HAVE ELECTRIC OR GAS IDENTIFICATION 18" ABOVE FINISH FLOOR AND SHALL BE PROTECTED FROM DAMAGE.
- KXX WINDOW - TO HAVE ONE OPENABLE WINDOW TO BE 5.7" MIN. WITH MIN. CLEAR DIM. OF 20" WIDE x 24" HIGH
- ALL EQUIPMENT SHALL BE INSTALLED SO THAT AIR FLOW OVER SURFACES IS AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS. INSULATION SHALL AT A MINIMUM: 1) MAINTAIN THE MIN. CLEARANCE REQUIREMENTS OF THE VENT PIPES. 2) EXTEND A MINIMUM OF 24" ABV. THE CEILING. 3) HAVE A SLOPED TOP. 4) BE SECURED IN PLACE. 5) NOT OBSTRUCT INSPECTION OF THE VENT PIPE JOINTS.
- CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DRYER VENT TO CONFORM TO IRC SECTION M502. DRYER EXHAUST DUCTS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS M502.4.1 THROUGH M502.4.6, WHERE THE EXHAUST DUCT IS CONCEALED WITH BLDG CONSTRUCTION, THE EQUIVALENT INSULATION SHALL BE IDENTIFIED ON PERMANENT TAG AND BE WITHIN 6 FEET OF THE DUCT CONNECTION. SEE MECHANICAL PLAN FOR DRYER VENT LOCATION AND TYPE.
- STANDARD WATER HEATER - PER SPECS. WATER HEATER TO INCLUDE T & P RELIEF VALVE - SEE SPECS FOR SIZE OF TP LINE AND FLUE SIZE.
- PROVIDE MIN. 15" CLEAR EACH SIDE AND MIN. 24" CLEAR IN FRONT FOR WATER CLOSET.
- PRE PLUMB REFRIGERATOR SPACE FOR ICE MAKER. PROVIDE OSMO.
- PROVIDE REVERSE OSMOSIS ROUGH-IN TO REF. AT DOUBLE SINK.
- PROVIDE INSULATED, DUAL GLAZED, LOW E GLASS AT ALL FRENCH DOORS, WINDOWS AND SLIDING GLASS DOORS
- PLUMBER TO PLACE CLEANOUTS, FEED LINES, ETC. ABOVE 4 3/4" STANDARD BASE BOARD HEIGHT 15 1/4"
- PROVIDE TETHER AT STOVE FOR PREVENTION OF TIP OVER
- WHEN PLAN IS FLIPPED, ARGADIA DOORS FLIP ALSO AND DRYER IS ALWAYS TO THE RIGHT OF THE WASHER.
- PROVIDE CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM AS THE BACKER FOR CERAMIC TILE IN TUB AND SHOWER AREAS.

DOOR ROUGH OPENING

- EXTERIOR DOORS -
 - 6'-8" DOOR HEADERS - 82-1/2" TO 83". NOTE: DOORS FROM THE GARAGE TO THE HOUSE ARE EXTERIOR DOORS.
 - 8'-0" DOOR HEADERS 91" TO 91-1/2".
 - SINGLE DOORS ARE 2" OVER THE WIDTH OF THE DOOR.
 - DOUBLE DOORS ARE 2-1/2" TO 3" OVER THE WIDTH OF THE DOORS.
 - ALL STUCCO GROUNDS WILL BE 1-1/4" X 1-1/4". AT GARAGE SERVICE DOORS HEADERS HEIGHT IS MEASURED FROM GARAGE FLOOR.
 - INTERIOR DOORS -
 - SINGLE DOORS ARE 2" OVER THE WIDTH OF THE DOOR.
 - DOUBLE DOORS ARE 2-1/2" TO 3" OVER THE WIDTH OF THE DOORS.
 - SLOPE GARAGE 2" OVERALL
 - BI-FOLD DOORS ARE 1-1/4" OVER THE WIDTH OF THE DOORS.
- NOTE: ALL DIMENSIONS ARE MINIMUM

SYMBOL LEGEND



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 OF CENTRAL ARIZONA

INSTITUTE OF BUILDING DESIGN
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 PROFESSIONAL BUILDING DESIGNER

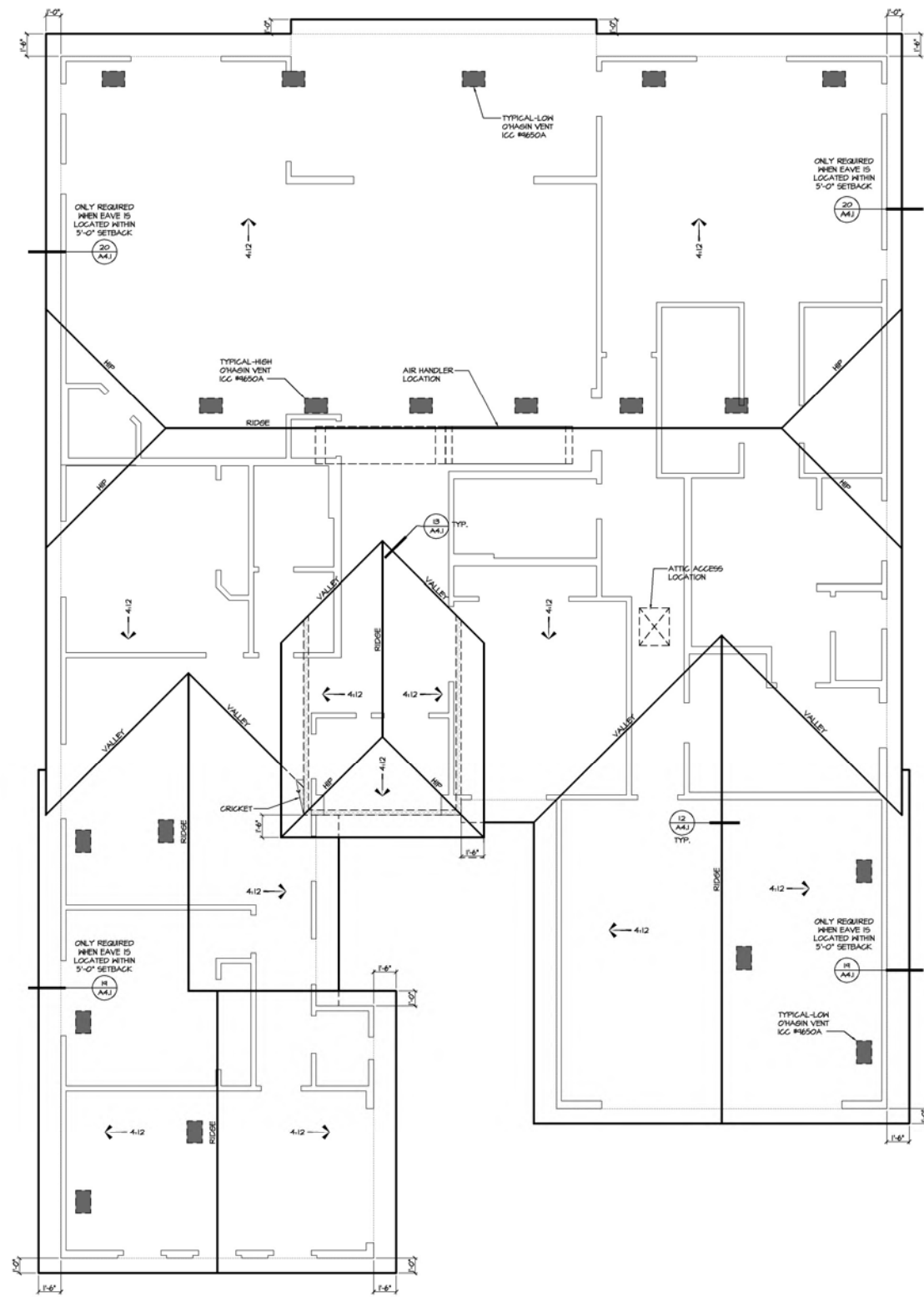
FLOOR PLAN

PLOT DATE: 8-01-19

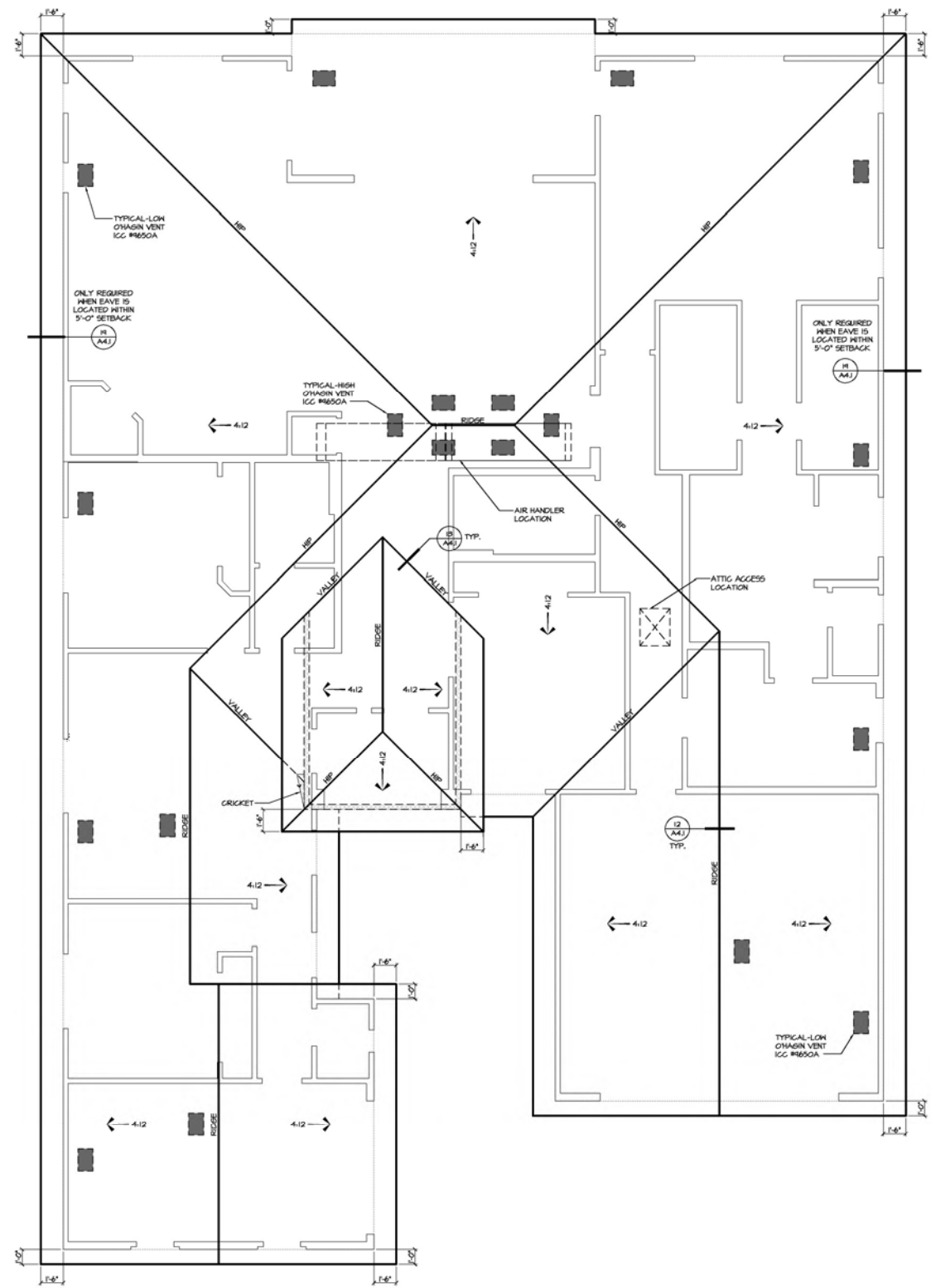
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2	
3	
4	

PLAN
5580
 Nauvo Station

SHEET
A1



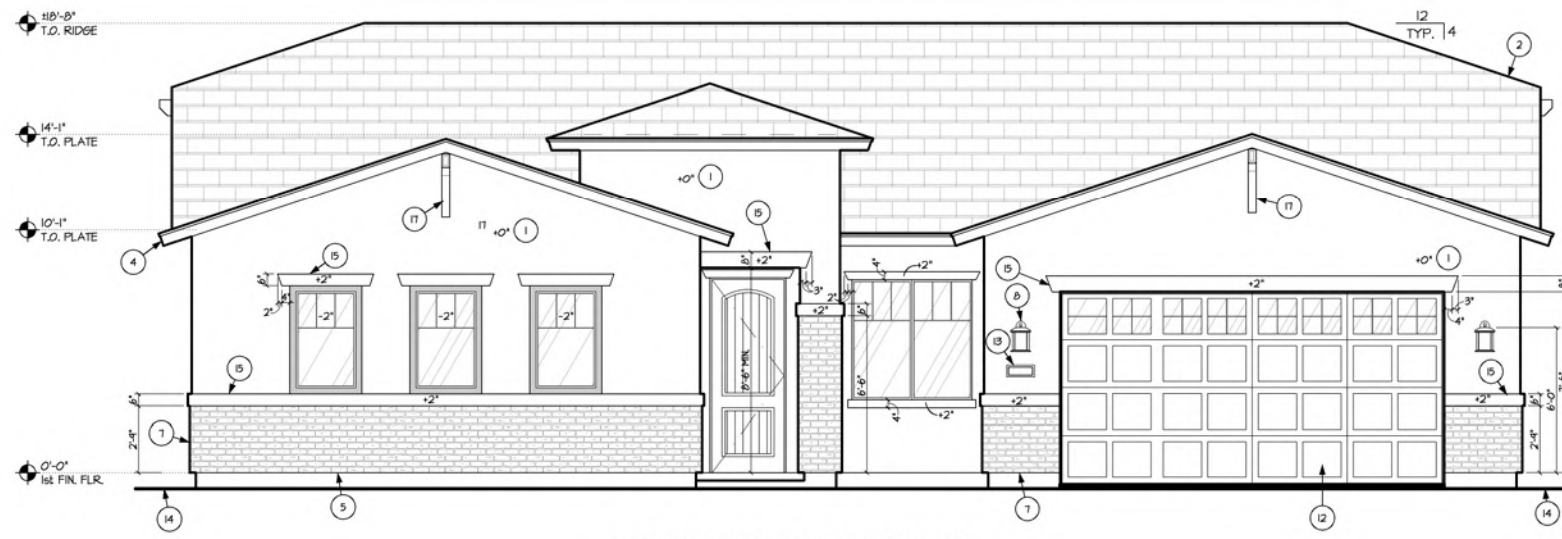
ROOF PLAN 'A'
3/16"=1'-0"



ROOF PLAN 'B'
3/16"=1'-0"

VENT CALC'S		
ROOF AREA	REQ. VENT	PROVIDED
S.F. (1/300)	S.F.	S.F.
3,803	12.68	12.92
HIGH 9	CHIMNEY VENTS @ 0.68 S.F. EACH	6.12 S.F.
LOW 10	CHIMNEY VENTS @ 0.68 S.F. EACH	6.80 S.F.
TOTAL = 12.92 S.F.		

TYPICAL FREE VENT AREAS			
SIZE	12/12	12/14	12/18
FREE VENT AREA	0.50	0.58	0.75
FREE VENT AREA	1.13	1.29	1.50
FREE VENT AREA	1.58	1.88	2.25
FREE VENT AREA	2.00	2.30	2.75
FREE VENT AREA	2.50	2.90	3.50
FREE VENT AREA	3.00	3.50	4.25
FREE VENT AREA	3.50	4.10	5.00
FREE VENT AREA	4.00	4.70	5.75
FREE VENT AREA	4.50	5.30	6.50
FREE VENT AREA	5.00	5.90	7.25
FREE VENT AREA	5.50	6.50	8.00
FREE VENT AREA	6.00	7.10	8.75
FREE VENT AREA	6.50	7.70	9.50
FREE VENT AREA	7.00	8.30	10.25
FREE VENT AREA	7.50	8.90	11.00
FREE VENT AREA	8.00	9.50	11.75
FREE VENT AREA	8.50	10.10	12.50
FREE VENT AREA	9.00	10.70	13.25
FREE VENT AREA	9.50	11.30	14.00
FREE VENT AREA	10.00	11.90	14.75
FREE VENT AREA	10.50	12.50	15.50
FREE VENT AREA	11.00	13.10	16.25
FREE VENT AREA	11.50	13.70	17.00
FREE VENT AREA	12.00	14.30	17.75
FREE VENT AREA	12.50	14.90	18.50
FREE VENT AREA	13.00	15.50	19.25
FREE VENT AREA	13.50	16.10	20.00
FREE VENT AREA	14.00	16.70	20.75
FREE VENT AREA	14.50	17.30	21.50
FREE VENT AREA	15.00	17.90	22.25
FREE VENT AREA	15.50	18.50	23.00
FREE VENT AREA	16.00	19.10	23.75
FREE VENT AREA	16.50	19.70	24.50
FREE VENT AREA	17.00	20.30	25.25
FREE VENT AREA	17.50	20.90	26.00
FREE VENT AREA	18.00	21.50	26.75
FREE VENT AREA	18.50	22.10	27.50
FREE VENT AREA	19.00	22.70	28.25
FREE VENT AREA	19.50	23.30	29.00
FREE VENT AREA	20.00	23.90	29.75
FREE VENT AREA	20.50	24.50	30.50
FREE VENT AREA	21.00	25.10	31.25
FREE VENT AREA	21.50	25.70	32.00
FREE VENT AREA	22.00	26.30	32.75
FREE VENT AREA	22.50	26.90	33.50
FREE VENT AREA	23.00	27.50	34.25
FREE VENT AREA	23.50	28.10	35.00
FREE VENT AREA	24.00	28.70	35.75
FREE VENT AREA	24.50	29.30	36.50
FREE VENT AREA	25.00	29.90	37.25
FREE VENT AREA	25.50	30.50	38.00
FREE VENT AREA	26.00	31.10	38.75
FREE VENT AREA	26.50	31.70	39.50
FREE VENT AREA	27.00	32.30	40.25
FREE VENT AREA	27.50	32.90	41.00
FREE VENT AREA	28.00	33.50	41.75
FREE VENT AREA	28.50	34.10	42.50
FREE VENT AREA	29.00	34.70	43.25
FREE VENT AREA	29.50	35.30	44.00
FREE VENT AREA	30.00	35.90	44.75
FREE VENT AREA	30.50	36.50	45.50
FREE VENT AREA	31.00	37.10	46.25
FREE VENT AREA	31.50	37.70	47.00
FREE VENT AREA	32.00	38.30	47.75
FREE VENT AREA	32.50	38.90	48.50
FREE VENT AREA	33.00	39.50	49.25
FREE VENT AREA	33.50	40.10	50.00
FREE VENT AREA	34.00	40.70	50.75
FREE VENT AREA	34.50	41.30	51.50
FREE VENT AREA	35.00	41.90	52.25
FREE VENT AREA	35.50	42.50	53.00
FREE VENT AREA	36.00	43.10	53.75
FREE VENT AREA	36.50	43.70	54.50
FREE VENT AREA	37.00	44.30	55.25
FREE VENT AREA	37.50	44.90	56.00
FREE VENT AREA	38.00	45.50	56.75
FREE VENT AREA	38.50	46.10	57.50
FREE VENT AREA	39.00	46.70	58.25
FREE VENT AREA	39.50	47.30	59.00
FREE VENT AREA	40.00	47.90	59.75
FREE VENT AREA	40.50	48.50	60.50
FREE VENT AREA	41.00	49.10	61.25
FREE VENT AREA	41.50	49.70	62.00
FREE VENT AREA	42.00	50.30	62.75
FREE VENT AREA	42.50	50.90	63.50
FREE VENT AREA	43.00	51.50	64.25
FREE VENT AREA	43.50	52.10	65.00
FREE VENT AREA	44.00	52.70	65.75
FREE VENT AREA	44.50	53.30	66.50
FREE VENT AREA	45.00	53.90	67.25
FREE VENT AREA	45.50	54.50	68.00
FREE VENT AREA	46.00	55.10	68.75
FREE VENT AREA	46.50	55.70	69.50
FREE VENT AREA	47.00	56.30	70.25
FREE VENT AREA	47.50	56.90	71.00
FREE VENT AREA	48.00	57.50	71.75
FREE VENT AREA	48.50	58.10	72.50
FREE VENT AREA	49.00	58.70	73.25
FREE VENT AREA	49.50	59.30	74.00
FREE VENT AREA	50.00	59.90	74.75
FREE VENT AREA	50.50	60.50	75.50
FREE VENT AREA	51.00	61.10	76.25
FREE VENT AREA	51.50	61.70	77.00
FREE VENT AREA	52.00	62.30	77.75
FREE VENT AREA	52.50	62.90	78.50
FREE VENT AREA	53.00	63.50	79.25
FREE VENT AREA	53.50	64.10	80.00
FREE VENT AREA	54.00	64.70	80.75
FREE VENT AREA	54.50	65.30	81.50
FREE VENT AREA	55.00	65.90	82.25
FREE VENT AREA	55.50	66.50	83.00
FREE VENT AREA	56.00	67.10	83.75
FREE VENT AREA	56.50	67.70	84.50
FREE VENT AREA	57.00	68.30	85.25
FREE VENT AREA	57.50	68.90	86.00
FREE VENT AREA	58.00	69.50	86.75
FREE VENT AREA	58.50	70.10	87.50
FREE VENT AREA	59.00	70.70	88.25
FREE VENT AREA	59.50	71.30	89.00
FREE VENT AREA	60.00	71.90	89.75
FREE VENT AREA	60.50	72.50	90.50
FREE VENT AREA	61.00	73.10	91.25
FREE VENT AREA	61.50	73.70	92.00
FREE VENT AREA	62.00	74.30	92.75
FREE VENT AREA	62.50	74.90	93.50
FREE VENT AREA	63.00	75.50	94.25
FREE VENT AREA	63.50	76.10	95.00
FREE VENT AREA	64.00	76.70	95.75
FREE VENT AREA	64.50	77.30	96.50
FREE VENT AREA	65.00	77.90	97.25
FREE VENT AREA	65.50	78.50	98.00
FREE VENT AREA	66.00	79.10	98.75
FREE VENT AREA	66.50	79.70	99.50
FREE VENT AREA	67.00	80.30	100.25
FREE VENT AREA	67.50	80.90	101.00
FREE VENT AREA	68.00	81.50	101.75
FREE VENT AREA	68.50	82.10	102.50
FREE VENT AREA	69.00	82.70	103.25
FREE VENT AREA	69.50	83.30	104.00
FREE VENT AREA	70.00	83.90	104.75
FREE VENT AREA	70.50	84.50	105.50
FREE VENT AREA	71.00	85.10	106.25
FREE VENT AREA	71.50	85.70	107.00
FREE VENT AREA	72.00	86.30	107.75
FREE VENT AREA	72.50	86.90	108.50
FREE VENT AREA	73.00	87.50	109.25
FREE VENT AREA	73.50	88.10	110.00
FREE VENT AREA	74.00	88.70	110.75
FREE VENT AREA	74.50	89.30	111.50
FREE VENT AREA	75.00	89.90	112.25
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FREE VENT AREA	76.00	91.10	113.75
FREE VENT AREA	76.50	91.70	114.50
FREE VENT AREA	77.00	92.30	115.25
FREE VENT AREA	77.50	92.90	116.00
FREE VENT AREA	78.00	93.50	116.75
FREE VENT AREA	78.50	94.10	117.50
FREE VENT AREA	79.00	94.70	118.25
FREE VENT AREA	79.50	95.30	119.00
FREE VENT AREA	80.00	95.90	119.75
FREE VENT AREA	80.50	96.50	120.50
FREE VENT AREA	81.00	97.10	121.25
FREE VENT AREA	81.50	97.70	122.00
FREE VENT AREA	82.00	98.30	122.75
FREE VENT AREA	82.50	98.90	123.50
FREE VENT AREA	83.00	99.50	124.25
FREE VENT AREA	83.50	100.10	125.00
FREE VENT AREA	84.00	100.70	125.75
FREE VENT AREA	84.50	101.30	126.50
FREE VENT AREA	85.00	101.90	127.25
FREE VENT AREA	85.50	102.50	128.00
FREE VENT AREA	86.00	103.10	128.75
FREE VENT AREA	86.50	103.70	129.50
FREE VENT AREA	87.00	104.30	130.25
FREE VENT AREA	87.50	104.90	131.00
FREE VENT AREA	88.00	105.50	131.75
FREE VENT AREA	88.50	106.10	132.50
FREE VENT AREA	89.00	106.70	133.25
FREE VENT AREA	89.50	107.30	134.00
FREE VENT AREA	90.00	107.90	134.75
FREE VENT AREA	90.50	108.50	135.50
FREE VENT AREA	91.00	109.10	136.25
FREE VENT AREA	91.50	109.70	137.00
FREE VENT AREA	92.00	110.30	137.75
FREE VENT AREA	92.50	110.90	138.50
FREE VENT AREA	93.00	111.50	139.25
FREE VENT AREA	93.50	112.10	140.00
FREE VENT AREA	94.00	112.70	140.75
FREE VENT AREA	94.50	113.30	141.50
FREE VENT AREA	95.00	113.90	142.25
FREE VENT AREA	95.50	114.50	143.00
FREE VENT AREA	96.00	115.10	143.75
FREE VENT AREA	96.50	115.70	144.50
FREE VENT AREA	97.00	116.30	145.25
FREE VENT AREA	97.50	116.90	146.00
FREE VENT AREA	98.00	117.50	146.75
FREE VENT AREA	98.50	118.10	147.50
FREE VENT AREA	99.00	118.70	148.25
FREE VENT AREA	99.50	119.30	149.00
FREE VENT AREA	100.00	119.90	149.75
FREE VENT AREA	100.50	120.50	150.50
FREE VENT AREA	101.00	121.10	151.25
FREE VENT AREA	101.50	121.70	152.00
FREE VENT AREA	102.00	122.30	152.75
FREE VENT AREA	102.50	122.90	153.50
FREE VENT AREA	103.00	123.50	154.25
FREE VENT AREA	103.50	124.10	155.00
FREE VENT AREA	104.00	124.70	155.75
FREE VENT AREA	104.50	125.30	156.50
FREE VENT AREA	105.00	125.90	157.25
FREE VENT AREA	105.50	126.50	158.00
FREE VENT AREA	106.00	127.10	158.75
FREE VENT AREA	106.50	127.70	159.50
FREE VENT AREA	107.00	128.30	160.25
FREE VENT AREA	107.50	128.90	161.00
FREE VENT AREA	108.00	129.50	161.75
FREE VENT AREA	108.50	130.10	162.50
FREE VENT AREA	109.00	130.70	163.25
FREE VENT AREA	109.50	131.30	164.00
FREE VENT AREA	110.00	131.90	164.75
FREE VENT AREA	110.50	132.50	165.50
FREE VENT AREA	111.00	133.10	166.25
FREE VENT AREA	111.50	133.70	167.00
FREE VENT AREA	112.00	134.30	167.75
FREE VENT AREA	112.50	134.90	168.50
FREE VENT AREA	113.00	135.50	169.25
FREE VENT AREA	113.50	136.10	170.00
FREE VENT AREA	114.00	136.70	170.75
FREE VENT AREA			



FRONT ELEVATION 'A'

SCALE: 1/4" = 1'-0"

CRAFTSMAN

- ### GENERAL NOTES
- SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS - REFER TO FLOOR PLAN SHEET 4 STRUCTURAL.
 - THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATION BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER. WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
 - FLASHINGS OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN 26 GA. CORROSION RESISTANT METAL PER THE IRC.
 - CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, ICGO® ESR-1641 4 PER THE IRC.
 - BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
 - KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
 - ROOF SLOPES ARE 4:12 TYP. U.N.O.
 - WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE U.N.O.
 - ALL VENTS, ELEC. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE U.N.O.
 - PAINT EXPOSED STEMWALLS TO MATCH U.N.O.
 - SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.

KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.C. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE D BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE ICGO ESR-1641, OVER UNDERLAYMENT. UNDERLAYMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS M MINERAL SURFACED ROLL ROOFING. (STYLE PER ELEVATION)
3	MASONRY LON WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4.J
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4.J
5	KEEP SCREED - PER DETAIL 9 ON SHEET A4.J
6	FYPON BOARD AND BATTEN SHUTTERS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	ADHERED CULTURED STONE VENEER PER ICG REG-1364 PER SPEC'S. WEATHER RESISTIVE BARRIER SEE DETAILS 8 & 9 ON SHEET A4.J
8	EXTERIOR LIGHT-PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4.J FOR INSTALLATION AT STONE VENEER
9	FYPON TILE VENT (GN6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	FYPON COVE CORBEL (CORCV18X8X6S) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	STUCCO SYSTEM OVER FOAM PROJECTION. SCORED TO RESEMBLE STONE.
12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4.J FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION (PER SPECIFICATIONS).
16	DECORATIVE FEATURE-SEE DETAIL ON SHEET A4.J
17	FYPON OUTLOOKER (BKT36X36X4) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION. SCORED TO RESEMBLE STONE.
19	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
20	SIDE YARD FENCE WALL

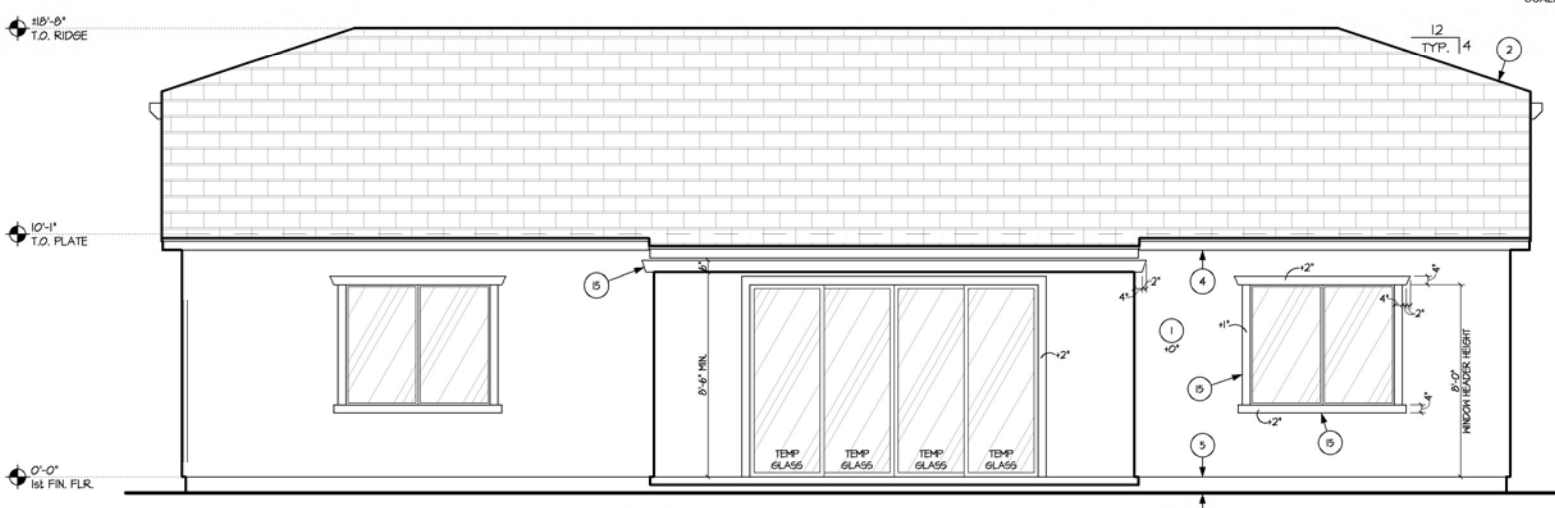
NOTE:
ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NOTE:
FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL. FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:
WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL.

NOTE:
WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER.

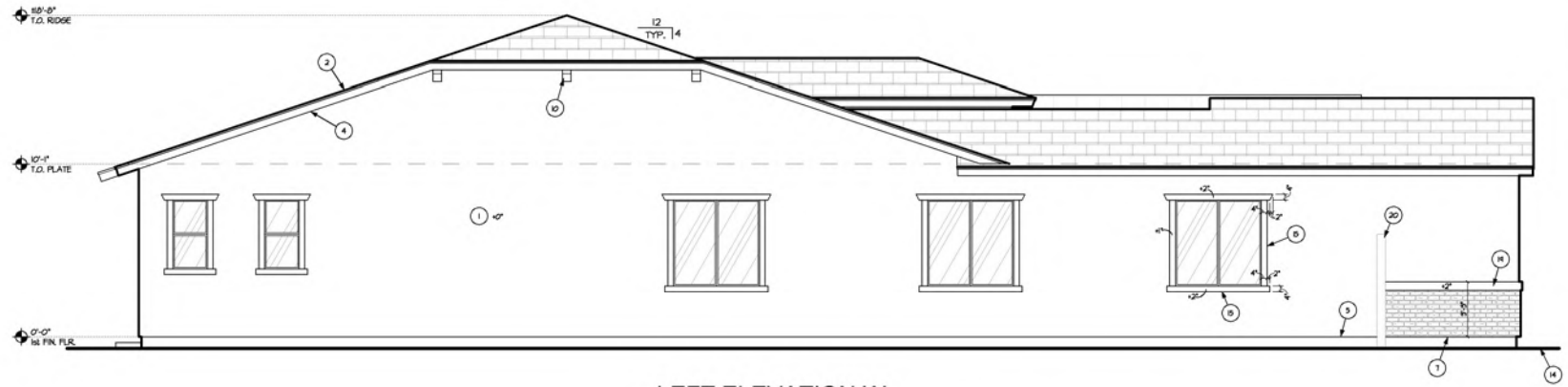
NOTE:
ALL ITEMS SHOWN ARE STANDARD U.N.O.



REAR ELEVATION 'A'

SCALE: 1/4" = 1'-0"

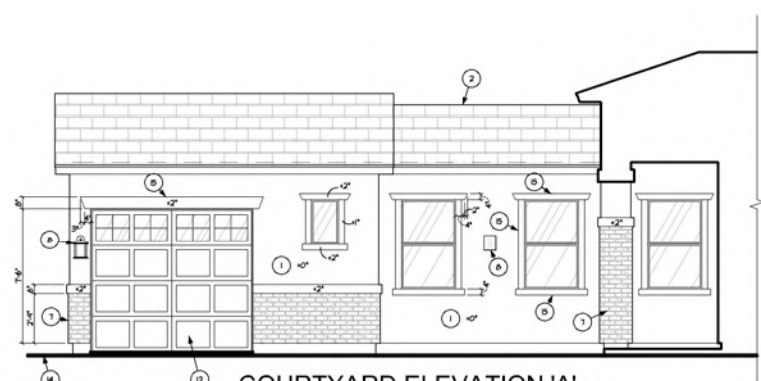
CRAFTSMAN



LEFT ELEVATION 'A'

SCALE: 3/16" = 1'-0"

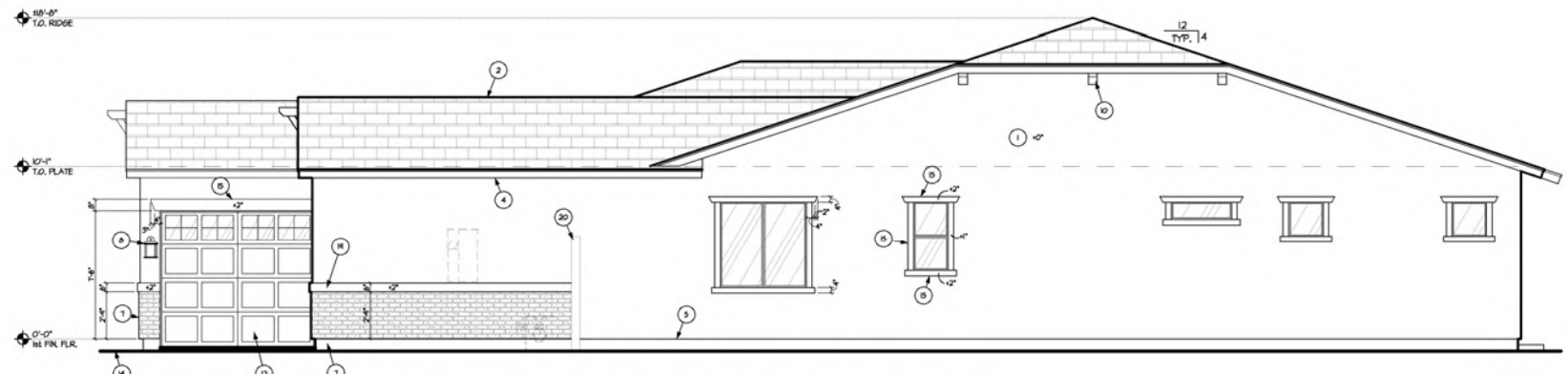
CRAFTSMAN



COURTYARD ELEVATION 'A'

SCALE: 3/16" = 1'-0"

CRAFTSMAN



RIGHT ELEVATION 'A'

SCALE: 3/16" = 1'-0"

CRAFTSMAN

PLOT DATE: 7-31-19

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GENERAL NOTES

- SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS REFER TO FLOOR PLAN SHEET & STRUCTURAL.
- THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATION BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
- FLASHINGS OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN 26 GA. CORROSION RESISTANT METAL PER THE IRC.
- CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, ICGO® ESR-1641 4 PER THE IRC.
- BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
- KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/4" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
- ROOF SLOPES ARE 4:12 TYP. U.N.O.
- WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE U.N.O.
- ALL VENTS, ELEC. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE U.N.O.
- PAINT EXPOSED STEMWALLS TO MATCH U.N.O.
- SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.

KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.G. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE "D" BUILDING PAPER PER THE IRC.
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3	MASONRY LON WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4.J
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4.J
5	KEEP SCREED - PER DETAIL 9 ON SHEET A4.J
6	FYPON BOARD AND BATTEN SHUTTERS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	ADHERED CULTURED STONE VENEER PER ICG ESR-1364 PER SPEC'S. WEATHER RESISTIVE BARRIER SEE DETAILS 9 & 11 ON SHEET A4.J
8	EXTERIOR LIGHT-PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4.J FOR INSTALLATION AT STONE VENEER
9	FYPON TILE VENT (6N6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	FYPON COVE CORBEL (CORCV18X8X6S) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	STUCCO SYSTEM OVER FOAM PROJECTION. SCORED TO RESEMBLE STONE.
12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4.J FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION (PER SPECIFICATIONS).
16	DECORATIVE FEATURE-SEE DETAIL ON SHEET A4.J
17	FYPON OUTLOOKER (BKT36X36X4) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION. SCORED TO RESEMBLE STONE.
19	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
20	SIDE YARD FENCE WALL



FRONT ELEVATION 'B'

SCALE: 1/4" = 1'-0"

SPANISH

NOTE:

ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NOTE:

FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:

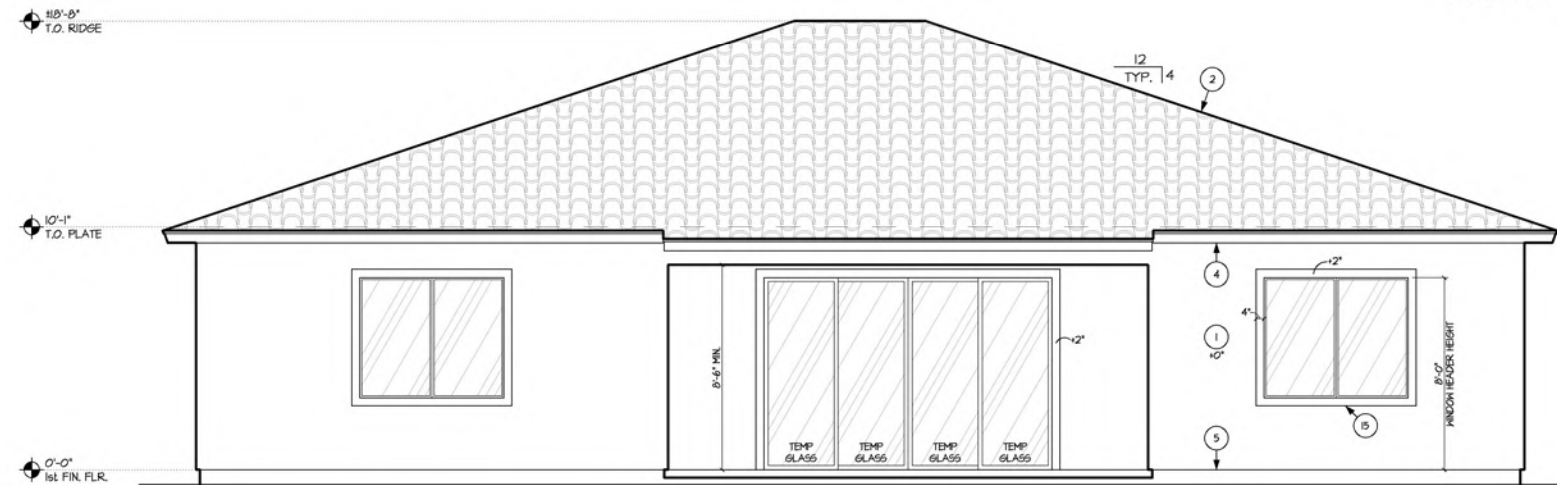
WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER.

NOTE:

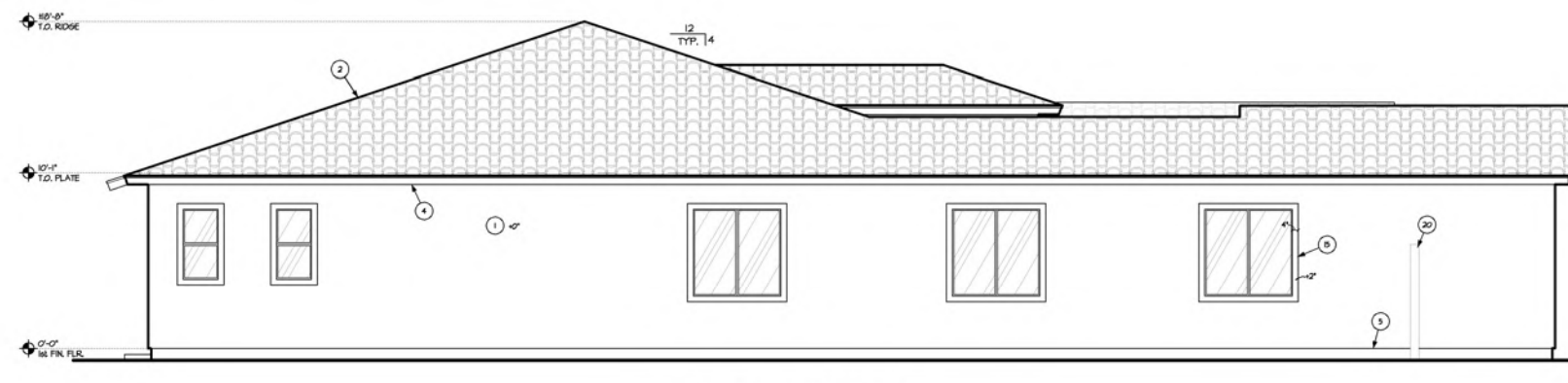
ALL ITEMS SHOWN ARE STANDARD U.N.O.



REAR ELEVATION 'B'

SCALE: 1/4" = 1'-0"

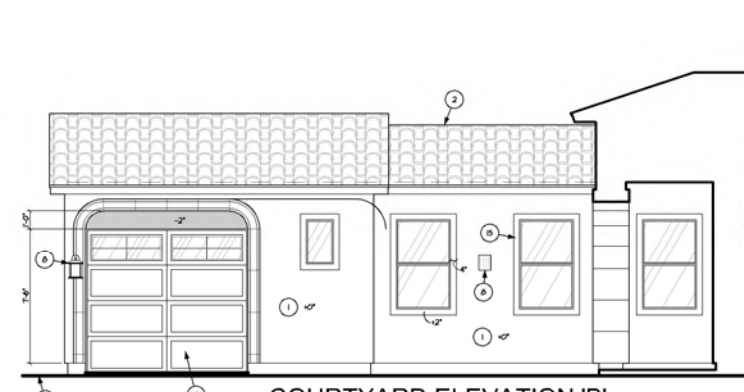
SPANISH



LEFT ELEVATION 'B'

SCALE: 3/16" = 1'-0"

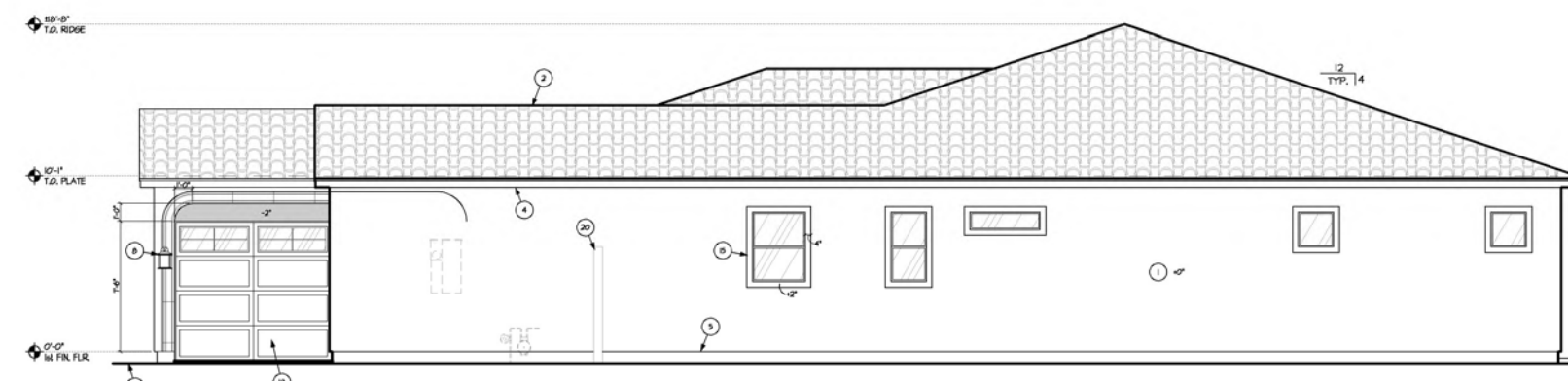
SPANISH



COURTYARD ELEVATION 'B'

SCALE: 3/16" = 1'-0"

SPANISH



RIGHT ELEVATION 'B'

SCALE: 3/16" = 1'-0"

SPANISH

PLOT DATE: 7-31-19

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FRONT ELEVATION 'C'
SCALE: 1/4" = 1'-0" MEDITERRANEAN

- ### GENERAL NOTES
- SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS - REFER TO FLOOR PLAN SHEET 4 STRUCTURAL.
 - THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
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 - KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
 - ROOF SLOPES ARE 4:12 TYP. UNO.
 - WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE UNO.
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 - PAINT EXPOSED STEMWALLS TO MATCH UNO.
 - SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.

KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.G. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE 'D' BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE ICGO ESR-1641, OVER UNDERLAYMENT. UNDERLAYMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS M MINERAL SURFACED ROLL ROOFING. (STYLE: PER ELEVATION)
3	MASONRY LON WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4.1
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4.1
5	KEEP SCREED - PER DETAIL 9 ON SHEET A4.1
6	FYPON BOARD AND BATTEN SHUTTERS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	ADHERED CULTURED STONE VENEER PER ICG REG-1364 PER SPEC'S. D/WEATHER RESISTIVE BARRIER SEE DETAIL 5 & 4.1 ON SHEET A4.1
8	EXTERIOR LIGHT-PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4.1 FOR INSTALLATION AT STONE VENEER
9	FYPON TILE VENT (6N6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
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12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4.1 FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5/8" AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION (PER SPECIFICATIONS).
16	DECORATIVE FEATURE-SEE DETAIL ON SHEET A4.1
17	FYPON OUTLOOKER (BKT36X36X4) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
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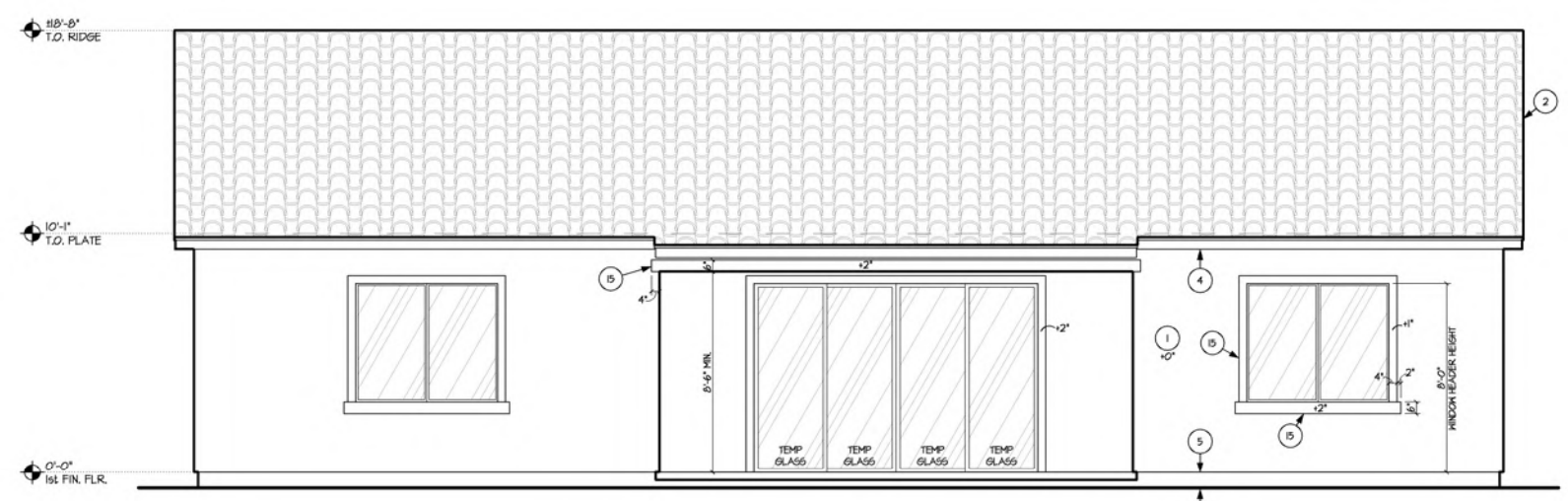
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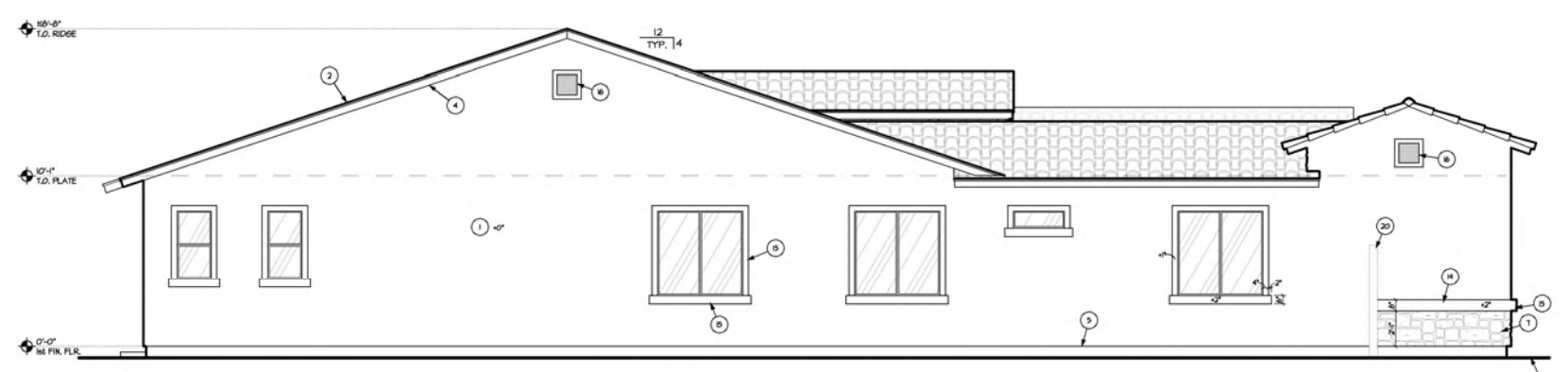
NOTE:
WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL.

NOTE:
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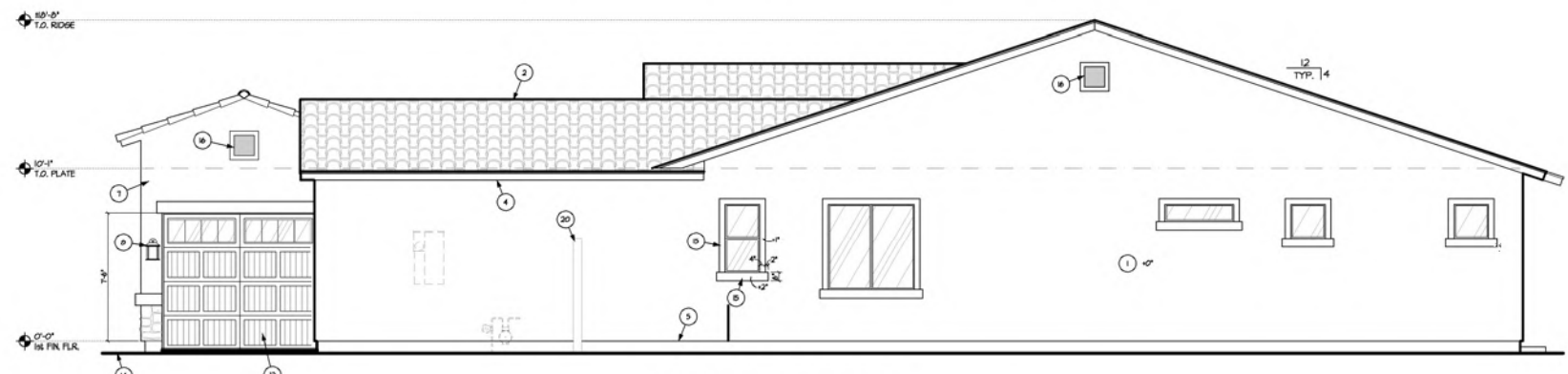
REAR ELEVATION 'C'
SCALE: 1/4" = 1'-0" MEDITERRANEAN



LEFT ELEVATION 'C'
SCALE: 3/16" = 1'-0" MEDITERRANEAN



COURTYARD ELEVATION 'C'
SCALE: 3/16" = 1'-0" MEDITERRANEAN



RIGHT ELEVATION 'C'
SCALE: 3/16" = 1'-0" MEDITERRANEAN

PLOT DATE: 7-31-19

Rev.	DATE
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GENERAL NOTES

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- BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
- KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/2" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
- ROOF SLOPES ARE 4:12 TYP. U.N.O.
- WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE U.N.O.
- ALL VENTS, ELEG. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE U.N.O.
- PAINT EXPOSED STEMWALLS TO MATCH U.N.O.
- SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.

KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.C. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE "D" BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE ICG ESR-1641, OVER UNDERLAYMENT. UNDERLAYMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS M MINERAL SURFACED ROLL ROOFING. (STYLE: PER ELEVATION)
3	MASONRY LON WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4.1
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4.1
5	KEEP SCREED - PER DETAIL 9 ON SHEET A4.1
6	FYPON BOARD AND BATTEN SHUTTERS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	ADHERED CULTURED STONE VENEER PER ICG ESR-1364 PER SPEC'S. WEATHER RESISTIVE BARRIER SEE DETAILS 5 & 4.1 ON SHEET A4.1
8	EXTERIOR LIGHT-PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4.1 FOR INSTALLATION AT STONE VENEER
9	FYPON TILE VENT (6N6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	FYPON COVE CORBEL (CORCV18X8X6S) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	STUCCO SYSTEM OVER FOAM PROJECTION. SCORED TO RESEMBLE STONE.
12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4.1 FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION (PER SPECIFICATIONS).
16	DECORATIVE FEATURE-SEE DETAIL ON SHEET A4.1
17	FYPON OUTLOOKER (BKT36X36X4) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION SCORED TO RESEMBLE STONE.
19	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
20	SIDE YARD FENCE WALL



FRONT ELEVATION 'D'

SCALE: 1/4" = 1'-0"

NOTE:

ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

NOTE:

FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:

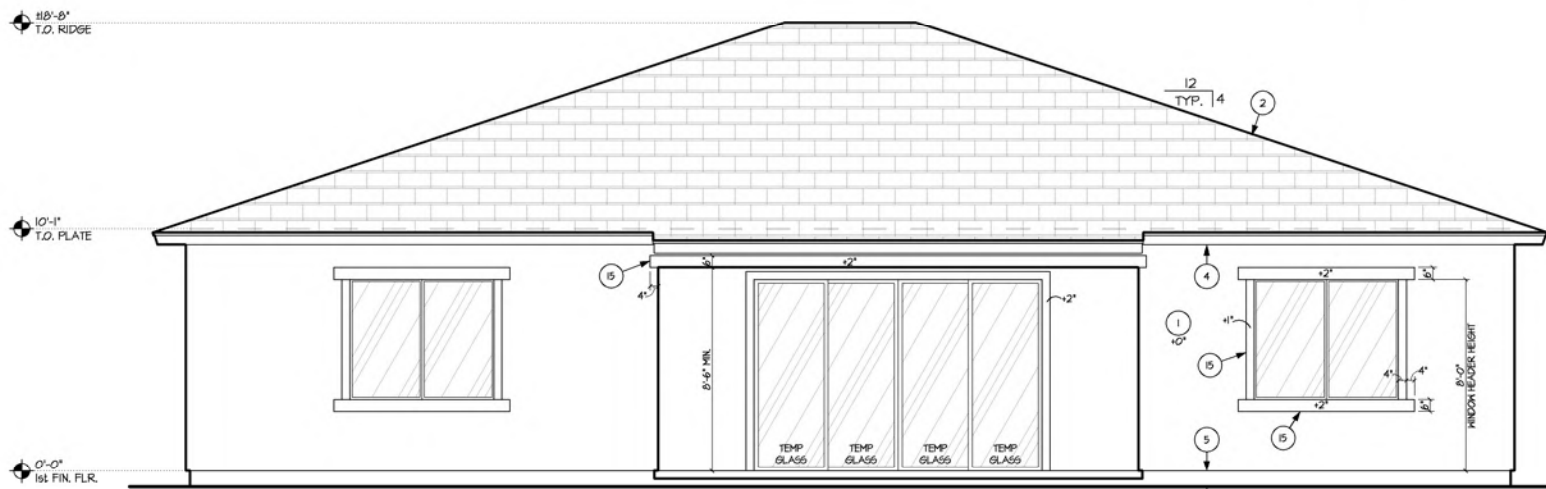
WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER.

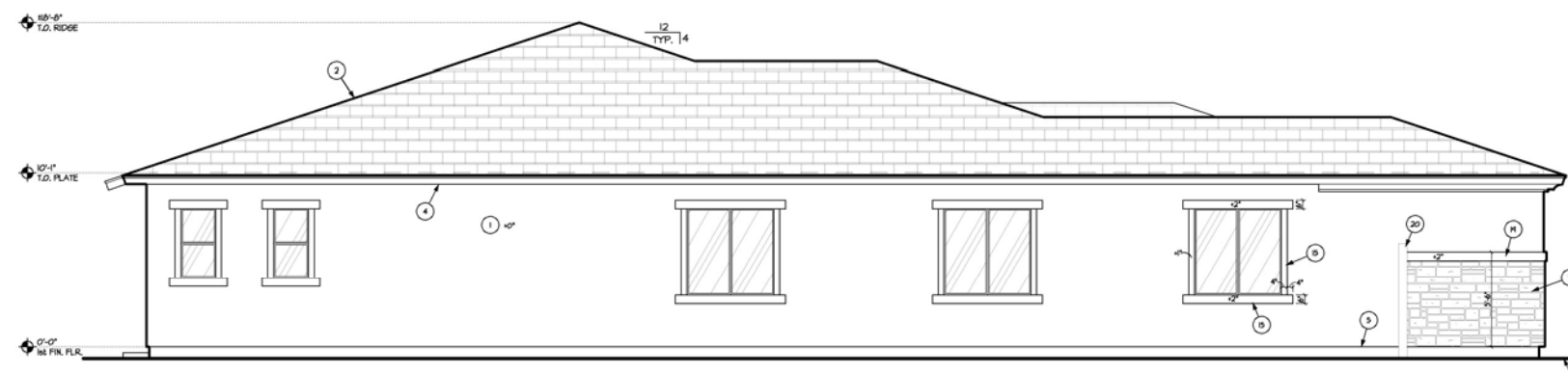
NOTE:

ALL ITEMS SHOWN ARE STANDARD U.N.O.



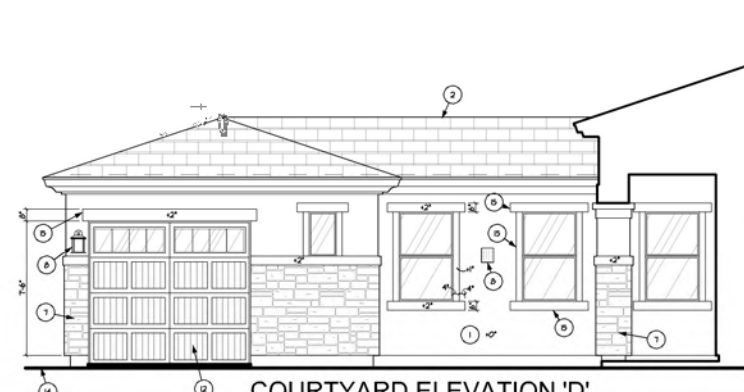
REAR ELEVATION 'D'

SCALE: 1/4" = 1'-0"



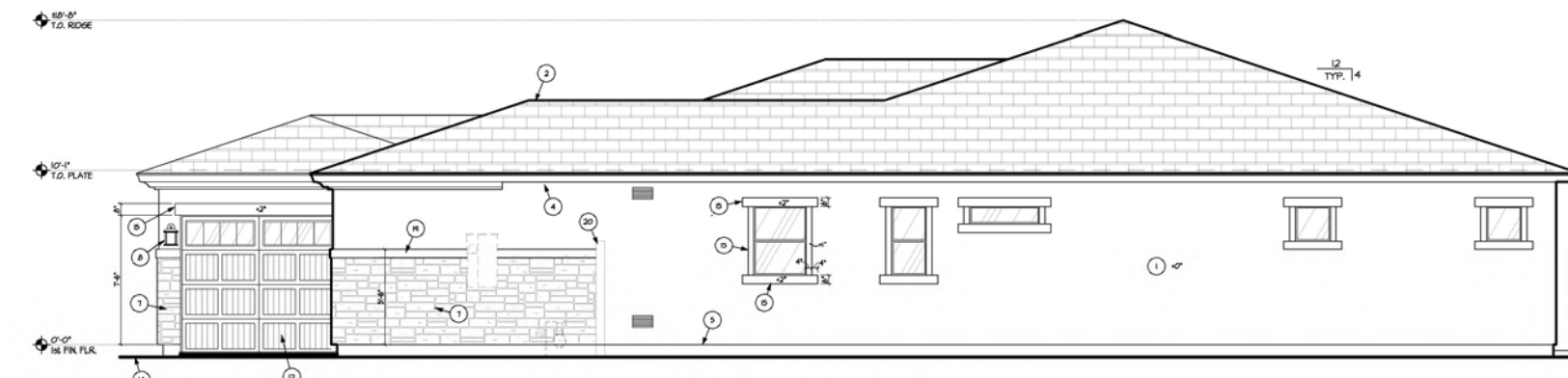
LEFT ELEVATION 'D'

SCALE: 3/16" = 1'-0"



COURTYARD ELEVATION 'D'

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION 'D'

SCALE: 3/16" = 1'-0"

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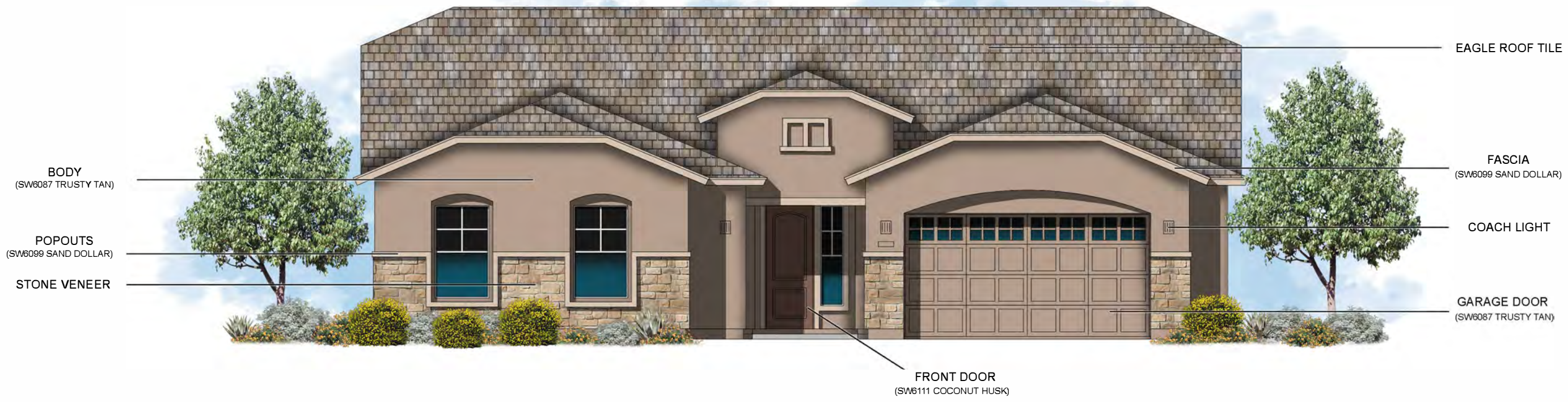
ELEVATION 'D'

PLOT DATE: 7-31-19

Rev.	DATE
1	
2	
3	
4	

PLAN
5580
Nauvoo Station

SHEET
A3.3



BACK



LEFT



RIGHT



BACK



LEFT



RIGHT



BACK



LEFT



RIGHT

NOTES:

FIELD CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESSURE-PRESERVATIVE-TREATED WOOD SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AHPA M4 - REFERENCE IRC SECTION R301.2. OTHER PENETRATIONS OF THE GARAGE DWELLING SEPARATION, SUCH AS PIPES, ARE TO BE PROTECTED BY FILLING THE OPENING AROUND THE PENETRATING ITEMS WITH APPROVED MATERIALS TO RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION PER IRC SECTION R302.11.

CEILING GYPSUM BOARD APPLICATION: WHEN APPLYING A WATER-BASED TEXTURE MATERIAL, THE MINIMUM GYPSUM BOARD THICKNESS SHALL BE INCREASED FROM 3/8 INCH TO 1/2 INCH FOR 16-INCH ON CENTER FRAMING, AND FROM 1/2 INCH TO 5/8 INCH FOR 24-INCH ON CENTER FRAMING OR 1/2-INCH SAG RESISTANT GYPSUM CEILING BOARD SHALL BE USED. ALL MEASUREMENTS ARE TO BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.

PROVIDE AN EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL AT THE WATER HEATER IF A BACKFLOW PREVENTER IS ON OR TO BE INSTALLED ON THE WATER LINE OR AT THE METER.

SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF ATTIC ACCESS AND AIR HANDLER UNIT.

SEE EXTERIOR ELEVATIONS FOR LOCATIONS OF STONE VENEER & POPOUTS.

WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT.

PRE-FAB SHOWER CAN BE REPLACED WITH OPTIONAL SITE-BUILT SHOWER PER IRC-P2109.

REQUIRED DRAIN PAN FOR WATER HEATER; PAN SHALL BE GALVANIZED PAN HAVING A MIN. THICKNESS OF 24 GA. OR OTHER PANS LISTED FOR SUCH USE; PAN SHALL BE NOT LESS THAN 1-1/2" DEEP AND SHALL BE OF SUFFICIENT SIZE AND SHAPE TO RECEIVE ALL DRIPPING OR CONDENSATE FROM THE TANK OR WATER HEATER. THE PAN SHALL BE DRAINED BY AN INDIRECT WASTE PIPE HAVING A MIN. DIA. OF 3/4". THE PAN DRAIN SHALL EXTEND FULL-SIZED AND TERMINATE OVER A SUITABLY LOCATED INDIRECT WASTE RECEPTOR OR SHALL EXTEND TO THE EXTERIOR OF THE BUILDING AND TERMINATE MAXIMUM 6" ABOVE THE GROUND IN A LOCATION THAT DOES NOT CAUSE PERSONAL INJURY OR STRUCTURAL DAMAGE USING MATERIAL LISTED IN TABLE P2405.5 (NOT PVC).

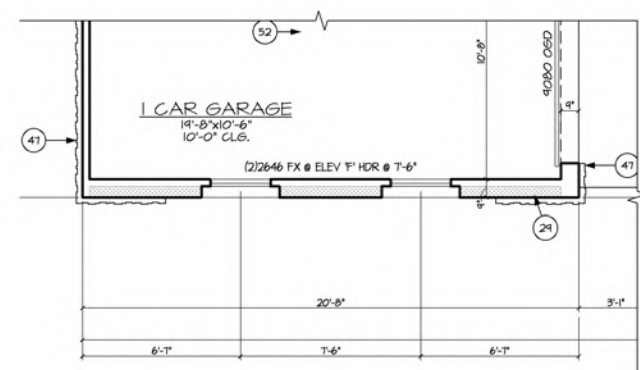
PROVIDE WATER HAMMER ARRESTORS AT DISHWASHER, ICE MAKER & WASHING MACHINE.

PROVIDE AIR GAP AT DISHWASHER.

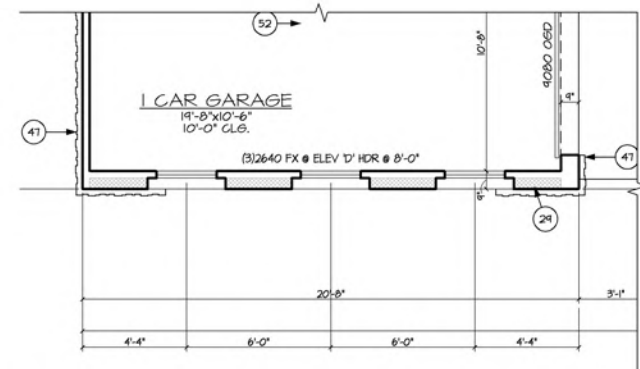
THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 35 FEET FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5 FEET FOR EACH 45-DEGREE BEND AND 5 FEET FOR EACH 90-DEGREE BEND. ICM M502.4.4.

THE ADJOINING WALLS AND FLOOR FRAMING ENCLOSING ON-SITE BUILT-UP SHOWER RECEPTORS SHALL BE LINED WITH UTILIZING APPROVED MATERIALS AND METHODS AS IDENTIFIED ON THE PLANS. THE LINING MATERIAL SHALL EXTEND NOT LESS THAN 2 INCHES BEYOND OR AROUND THE ROUGH JAMBS AND NOT LESS THAN 2 INCHES ABOVE FINISHED THRESHOLDS. SHEET-APPLIED LOAD BEARING, BONDED WATERPROOF MEMBRANES SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. 2" WATER TEST FOR INSPECTION.

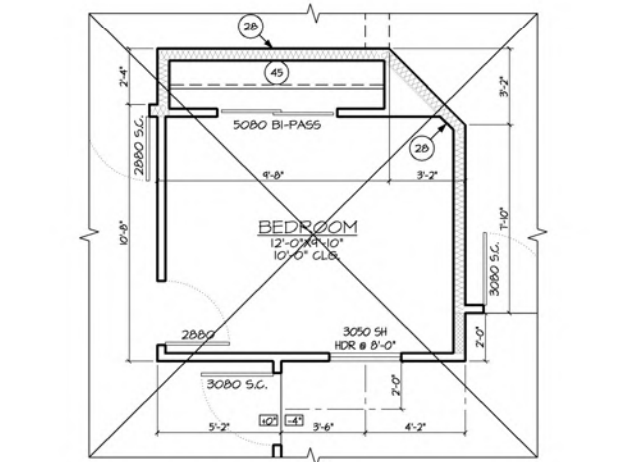
VERIFY WITH BUILDER FOR GAS OR ELECTRIC APPLIANCES SUCH AS WATER HEATER, RANGE, DRYER, ETC., PRIOR TO CONSTRUCTION.



PARTIAL FLOOR PLAN @ ELEV. 'F'
3/16"=1'-0"



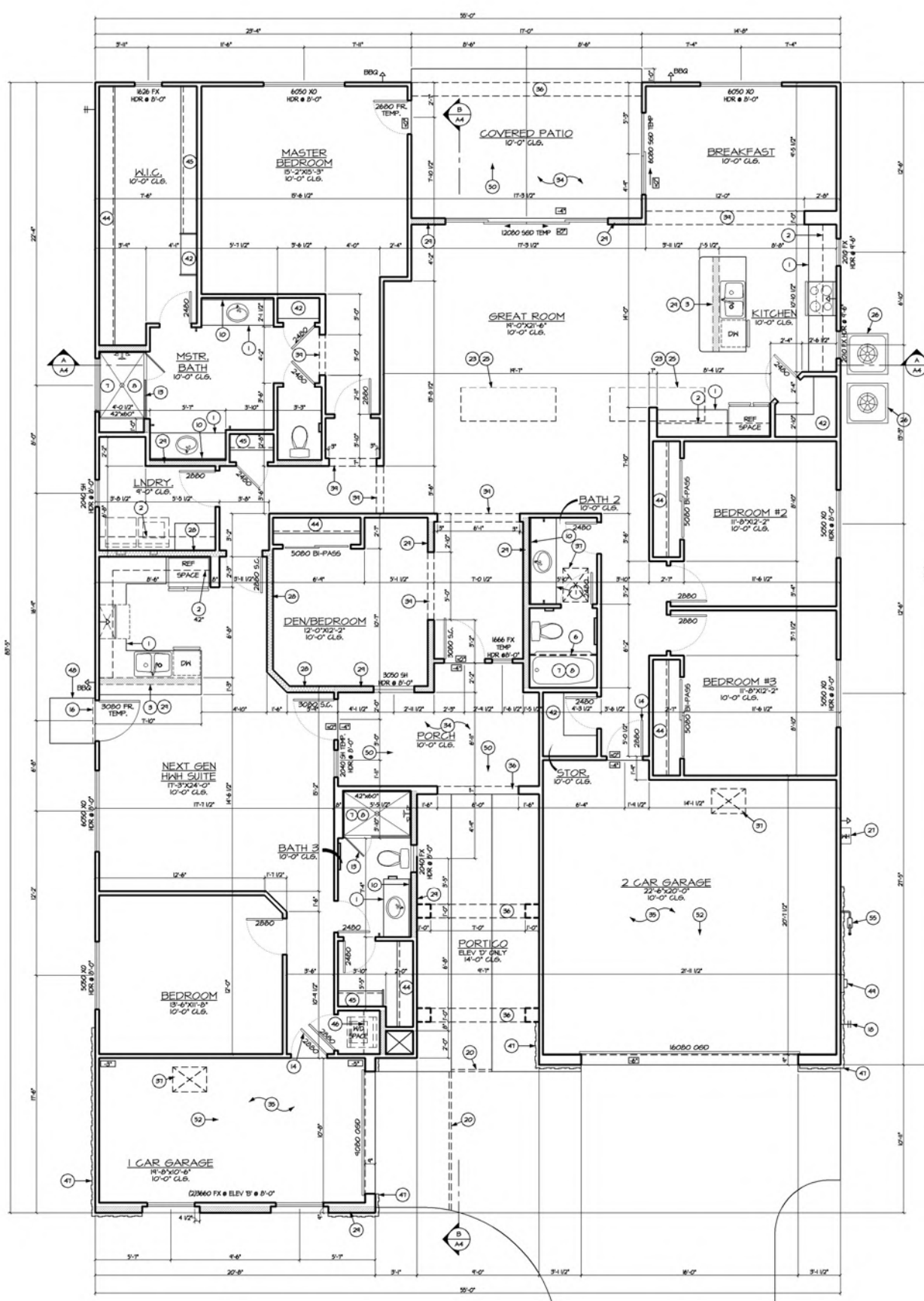
PARTIAL FLOOR PLAN @ ELEV. 'D'
3/16"=1'-0"



OPT. 2nd BEDROOM ILO DEN @ NEXT GEN HWH SUITE
3/16"=1'-0"

AREA CALC'S.

LIVABLE AREAS:	
MAIN LIVABLE	2,295 SQ.FT.
NEXT GEN HWH SUITE LIVABLE	729 SQ.FT.
COVERED AREAS:	
PORCH	122 SQ.FT.
COVERED PATIO	187 SQ.FT.
PORTICO @ ELEV 'D' ONLY	78 SQ.FT.
GARAGE:	
2 CAR GARAGE	480 SQ.FT.
1 CAR GARAGE	236 SQ.FT.
TOTAL SQ. FT. - ELEV. 'B', 'D', & 'F'	4,049 SQ.FT.
TOTAL SQ. FT. - ELEV. 'D'	4,127 SQ.FT.



FLOOR PLAN ELEV. 'B'
3/16"=1'-0"

FLOOR PLAN KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION * ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	BASE CABINET W/COUNTERTOP (PER SPECS.)
2	UPPER CABINETS (PER SPECS.)
3	BREAKFAST BAR W/COUNTERTOP, 2x6 WALL BELOW TO BE @ +34-1/2" HIGH.
4	*NOT USED
5	SHOWER NICHE/SEAT-SLOPE TO DRAIN
6	PROVIDE SHOWER ROD (PER SPECS.)
7	CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS SHALL BE USED AS BACKERS FOR HALL TILE IN TUB AND SHOWER AREAS AND HALL PANELS IN SHOWER AREAS. KERDI SYSTEM MAY BE USED AS BACKER PER ICG ESR-2467 AND MFG INSTALLATION INSTRUCTIONS.
8	TUB/SHOWER W/ WATER RESISTANT MAINGOAT TO 16" ABV FF (26" @ TILE) IRC R302.2
9	RECESSED MEDICINE CABINET (PER SPECS.) - R.O. 14"x24"
10	MIRROR - RUN ENTIRE LENGTH OF VANITY; SITS ON BACK SPLASH
11	EXECUTIVE HEIGHT BASE CABINET W/COUNTERTOP PER SPECS
12	6" FRAMED WALL, 30" HIGH & 45" LONG AT END OF TUB
13	TEMPERED GLASS ENCLOSURE
14	MIN. 1-3/8" SOLID CORE DOOR, SELF-CLOSING & SELF-LATCHING PER IRC R302.5.1
15	3'-6" WIDE WROUGHT IRON GATE
16	2" STUCCO POP OUT ABOVE DOOR
17	FRAMED PLATFORM RAISED 12" A.F.F.
18	BUILDING WATER MAIN SHUT-OFF VALVE LOCATION
19	TEMPERATURE AND PRESSURE RELIEF VALVE SHALL EXTEND OUTSIDE OF BLDG WITH END OF PIPE MAX. 6" ABV. THE FLOOR OR WASTE RECEPTOR & POINTING DOWNWARD
20	DRAINAGE SLEEVE - ZURN Z883 FIBERGLASS-PLASTIC COVER
21	*NOT USED
22	*NOT USED
23	PROVIDE GAS FOR AIR HANDLER
24	MECHANICAL CHASE
25	AIR HANDLER IN ATTIC SPACE
26	PREFAB PAD FOR CONDENSER UNITS, HOLD 6" AWAY FROM HOUSE & MIN. 3" ABOVE GRADE. VERIFY THE SIZE WITH THE MECHANICAL CONTRACTOR
27	RINNALDI TANKLESS WATER HEATER, SEE DETAIL ON A4.1
28	6" WIDE WALL WITH STAGGERED 2x4 STUDS & INSULATION.
29	2x6 WALL
30	LOW WALL, SEE PLAN FOR HEIGHT
31	COURTYARD WALL
32	FENCE RETURNS @ 122" FROM FRONT
33	PROVIDE MIN. 3" REVEAL AROUND WINDOW/DOOR. SEE ELEVATIONS
34	1/2" EXTERIOR GYP. SOFFIT BD. @ ALL C.V.D. PATIOS (ICG ESR-1338 OR EQUAL)
35	5/8" SAG-RESISTANT TYPE 'X' GYP. BD. @ USABLE AREAS UNDER STAIRS AND @ GARAGE CLG. PER CITY OF SURPRISE #2014-04. 1/2" SAG-RESISTANT GYP. BOARD @ ALL OTHER HALLS & CLG PER IRC R302.6
36	SOFFIT - SEE ELEVATION
37	22"x30" ATTIC ACCESS SEE DETAIL & ON SHEET A4.1
38	LINE OF CEILING CHANGE
39	FLAT SOFFIT @ 9'-0"
40	FLAT SOFFIT @ 8'-0"
41	LINE OF 2nd FLOOR EXT. WALL
42	5'-20" OR 16" DEEP SHELVES, EVENLY SPACED. (6 SHELVES @ PANTRY)
43	1 SHELF
44	1 ROD, 1 SHELF
45	2 RODS, 2 SHELVES
46	24" DEEP SHELF 4" ABOVE W/D & 12" DEEP SHELF 15" ABOVE LOWER SHELF.
47	EXTENTS OF STONE VENEER HEIGHTS AND LOCATION PER ELEVATIONS
48	MIN. 26"x36" LANDING AT DOOR
49	ELECTRIC PANEL LOCATION-SEE E-1 AND GEN. NOTES, FRAMER TO PROVIDE LATH BACKING AROUND PANEL
50	SLOPE 1/8" PER 12", NOT TO EXCEED 1/4" PER 12"
51	SLOPE 1/4" PER 12"
52	SLOPE GARAGE 2" OVERALL
53	HANDRAIL/GUARDRAIL (WOOD OR IRON PER SPECS.) TO BE 36" ABOVE WALKING PLANE ON 8" HIGH CURB. RAILS SHOULD BE SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH ANY OPENING. (PER IRC)
54	HANDRAIL (WOOD OR IRON PER SPECS.) TO BE 36" ABOVE WALKING PLANE (PER IRC)
55	NATURAL GAS METER LOCATION - SEE PLUMBING PLAN
56	COMBUSTION & RELIEF GRILLES, 12" FROM FLR. & CLG. W/ GAS APPL.
57	PROVIDE 100 SQ. IN. MAKEUP AIR FOR GAS OR ELEC. DRYER TO BE PROVIDED BY JUMP DUCT OR DOOR VENT SEE MECH.

GENERAL NOTES

- HALL FRAMING - SEE STRUCTURAL - U.N.O. EXTERIOR HALLS - 2x4 @ 16" o.c. U.N.O. INTERIOR BEARING WALLS - 2x4 @ 16" o.c. U.N.O. INTERIOR NON BEAR. - 2x4 @ 24" o.c. U.N.O. PLUMBING HALLS - 2x6 U.N.O. - 16" o.c. @ TUBS & SHOWERS FOR PROPER INSTALLATION OF DENS SHIELD
- INSULATION - MANUFACTURER; CERTAIN TEED OR APPROVED EQUAL MATERIAL, BATTS WALL INSULATION (2x4) R-13, AIR CONDITIONED AREAS (2x6) R-20, AIR CONDITIONED AREAS CEILING INSULATION, R-30 OVER ALL LIVABLE AREAS
- EXTERIOR HALL INSULATION, R-13 2X4R-20 2X6 CAULK AND SEAL BOTTOM PLATES, PENETRATIONS, WINDOWS & DOORS.
- REFER TO FLOOR PLAN SHEETS FOR ALL WINDOW HEADER HEIGHTS, SEE DOOR ROUGH OPENING CHART BELOW.
- SHOWER HEADS @ 82" A.F.F. SHOWER CONTROL VALVES @ 42" A.F.F. STACK SHOWER CONTROL VALVES @ CURVED WALLS U.N.O.
- PROVIDE PRESSURE BALANCE OR THERMO. MIXING VALVE TYP. CONTROL VALVES FOR ALL SHOWER AND TUB COMBOS AND GARDEN TUBS
- GLASS BLOCK SHALL COMPLY WITH IRC.
- ALL BATH ACCESSORIES, (TOWEL BARS, HOOKS ETC.) AND MOUNTING HEIGHTS TO BE DETERMINED BY BUILDER
- PROVIDE BLOCKING IN WALLS AS NECESSARY TO SUPPORT ALL WALL MOUNTED FIXTURES.
- ALL MECH. EQUIPMENT SHALL BE SCREENED A MINIMUM OF 12" ABOVE THE HIGHEST POINT OF THE EQUIPMENT. SEE MECH. PLAN FOR ALL MECH.
- ALL CEILING HEIGHTS INDICATED ARE FROM FINISHED FLOOR ELEVATION.
- REFER TO SPECIFICATIONS FOR ALL FLAT WORK CONCRETE FINISH.
- ALL EQUIPMENT IN GARAGE SHALL HAVE ELECTRIC (OR GAS) IGNITION POINTS AT 18" ABOVE FINISH FLOOR AND SHALL BE PROTECTED FROM DAMAGE.
- XOX WINDOW - TO HAVE ONE OPENABLE WINDOW TO BE 5:7 5/8" MIN. WITH MIN. CLEAR DIM. OF 20" WIDE X 24" HIGH
- ALL EQUIPMENT SHALL BE INSTALLED SO THAT AIR FLOW OVER SURFACES IS NOT PREVENTED AS PER MANUFACTURER'S INSTALLATION REQUIREMENTS. INSULATION SHALL AT A MINIMUM:
 - MAINTAIN THE MIN. CLEARANCE REQUIREMENTS OF THE VENT PIPES.
 - EXTEND A MINIMUM OF 24" ABV. THE CEILING.
 - HAVE A SLOPED TOP.
 - BE SECURED IN PLACE.
 - NOT SUBJECT INSPECTION OF THE VENT PIPE JOINTS.
- CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DRYER VENT TO CONFORM TO IMC SECTION M502. DRYER EXHAUST DUCTS SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS M502.4.1 THROUGH M502.4.6. WHERE THE EXHAUST DUCT IS CONCEALED WITHIN BLDGS CONSTRUCTION, THE EQUIVALENT LENGTH SHALL BE IDENTIFIED ON TAG AND BE WITHIN 6 FEET OF THE DUCT CONNECTION. SEE MECHANICAL PLAN FOR DRYER VENT LOCATION AND TYPE.
- STANDARD WATER HEATER - 50 GAL. - SEE SPECS WATER HEATER TO INCLUDE T & P RELIEF VALVE - SEE SPECS FOR SIZE OF TP LINE AND FLUE SIZE.
- PROVIDE MIN. 15" CLEAR EACH SIDE AND MIN. 24" CLEAR IN FRONT FOR WATER CLOSET.
- PRE PLUMB REFRIGERATOR SPACE FOR ICE MAKER. PROVIDE 34" SPACE.
- PROVIDE REVERSE OSMOSIS ROUGH-IN TO REF. AT DOUBLE SINK.
- PROVIDE INSULATED, DUAL GLAZED, LOW E GLASS AT ALL FRENCH DOORS, WINDOWS AND SLIDING GLASS DOORS
- PLUMBER TO PLACE CLEANOUTS, FEED LINES, ETC. ABOVE 4 3/4" STANDARD BASE BOARD HEIGHT IS 2 1/4"
- PROVIDE TETHER AT STOVE FOR PREVENTION OF TIP OVER
- WHEN PLAN IS FLIPPED, ARGACIA DOORS FLIP ALSO AND DRYER IS ALWAYS TO THE RIGHT OF THE WASHER.
- PROVIDE CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM AS THE BACKER FOR CERAMIC TILE IN TUB AND SHOWER AREAS.

DOOR ROUGH OPENING

- EXTERIOR DOORS -
 - 6'-8" DOOR HEADERS - 82-1/2" TO 83". NOTE: DOORS FROM THE GARAGE TO THE HOUSE ARE EXTERIOR DOORS.
 - 8'-0" DOOR HEADERS 88" TO 94-1/2".
 - SINGLE DOORS ARE 2" OVER THE WIDTH OF THE DOOR.
 - DOUBLE DOORS ARE 2-1/2" TO 3" OVER THE WIDTH OF THE DOORS.
 - ALL STUCCO GROUNDS WILL BE 1-1/4" X 1-1/4". AT GARAGE SERVICE DOORS HEADERS HEIGHT IS MEASURED FROM GARAGE FLOOR.
 - INTERIOR DOORS -
 - HEADERS - 82-1/2".
 - SINGLE DOORS ARE 2" OVER THE WIDTH OF THE DOOR.
 - DOUBLE DOORS ARE 2-1/2" TO 3" OVER THE WIDTH OF THE DOORS.
 - BI-PASS DOORS WIDTH OF THE DOORS WITH 82-1/2" HEADER.
 - BI-FOLD DOORS ARE 1-1/4" OVER THE WIDTH OF THE DOORS. NOTE: BI-FOLD OR BI-PASS DOORS NEED A STUD OR LADDER BACKING FOR THE STOP.
- NOTE: ALL DIMENSIONS ARE MINIMUM

SYMBOL LEGEND

* SEE SPECIFICATION FOR MORE INFORMATION * ALL ITEMS MAY NOT APPLY *

KEYNOTE	DOUBLE SINK W/ DISPOSAL
NOT WATER REGRULATING PMP	DISHWASHER - PROVIDE 1" AIR GAP PER IRC
FINISHED FLOOR ELEVATION	WASHER & DRYER W/ 4" DRYER VENT THROUGH ROOF NOT TO EXCEED 14'-0" PER THE IRC. PROVIDE DRAIN PAN IF DRYER IS LOCATED ON 2ND FLOOR.
2x6 HALL	UTILITY SINK
6" HALL WITH STAGGERED 2x4 STUDS @ 24" O.C. & INSULATION	REFRIGERATOR SPACE PROVIDE 34" WIDE SPACE & INSTALL RECESSED ICE/MAKER LINE
A/C CONDENSING UNIT - SEE MECH. PLAN FOR MORE INFO.	30" SMOOTH TOP RANGE W/MICROWAVE ABOVE
WATER HEATER	REFRIGERATOR SPACE PROVIDE 34" WIDE SPACE & INSTALL RECESSED ICE/MAKER LINE
WATER CLOSET - PROVIDE MIN. 15" EA. SIDE & 24" CLEAR IN FRONT	30" SMOOTH TOP RANGE W/MICROWAVE ABOVE
LABORATORY W/ W/ SPREAD STANDARD 1/2" TUBES	HOSE BIBB W/ ANTI-SIPHON VALVE
WATER RESISTANT SIRCINGS @ 76"	GAS TUB OUT - LOCATE PER MANUFACTURER'S SPECS

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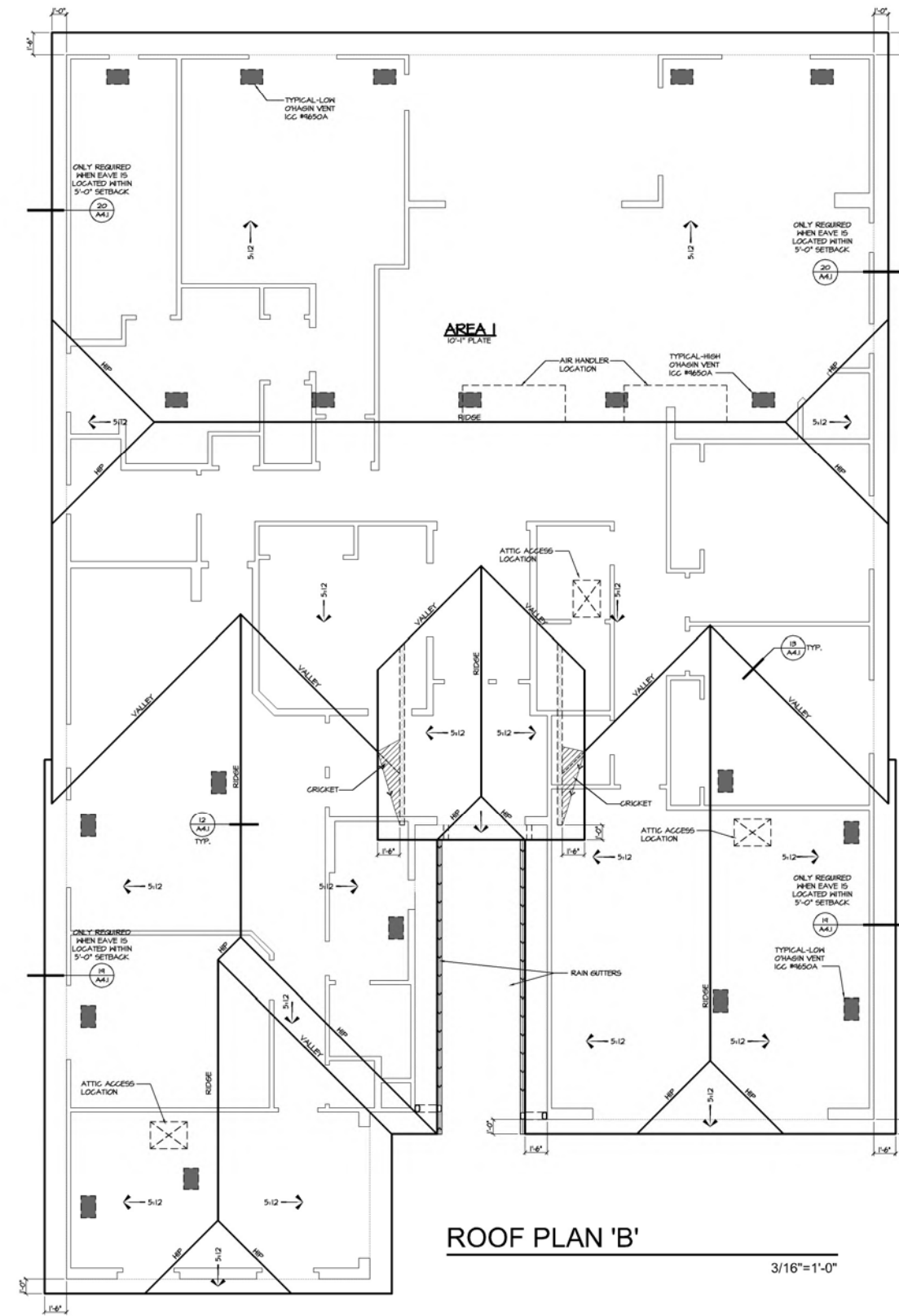
INSTITUTE OF BUILDING DESIGN

FLOOR PLAN

PLOT DATE: 7-31-19
Rev. DATE:
1
2
3
4

PLAN **5582**
Nauvoo Station

SHEET **A1**



ROOF PLAN 'B'
3/16"=1'-0"

VENT CALC's - ELEV 'B'		
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.
4,032	13.44	13.60
HIGH 9 @ 0.68 S.F. EACH		6.12 S.F.
LOW 11 @ 0.68 S.F. EACH		7.48 S.F.
TOTAL = 13.60 S.F.		

VENT CALC's - ELEV 'D'					
ROOF AREA '1'			ROOF AREA '2'		
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.	ROOF S.F.	REQ. VENT S.F. (1/150)	PROVIDED VENT S.F.
4,032	13.44	13.60	83	0.55	0.82
HIGH 9 @ 0.68 S.F. EACH		6.12 S.F.	1	@ 0.68 S.F. EACH	0.68 S.F.
LOW 11 @ 0.68 S.F. EACH		7.48 S.F.			
TOTAL = 13.60 S.F.			TOTAL = 0.82 S.F.		

VENT CALC's - ELEV 'F'		
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.
4,032	13.44	13.60
HIGH 9 @ 0.68 S.F. EACH		6.12 S.F.
LOW 11 @ 0.68 S.F. EACH		7.48 S.F.
TOTAL = 13.60 S.F.		

TYPICAL FREE VENT AREAS											
GABLE VENTS						DORMER VENTS					
SIZE	12x14	12x14	12x18	12x24	12x30	12x30	12x14	12x18	12x24	12x30	12x36
FREE VENT AREA	0.50	0.58	0.73	0.93	1.00	1.20	0.68	0.88	0.97	1.16	1.49
FREE VENT AREA	1.13	1.29	1.50	1.88	1.98	2.20	1.20	1.50	1.80	2.10	2.50
FREE VENT AREA	1.13	1.29	1.50	1.88	1.98	2.20	1.20	1.50	1.80	2.10	2.50

- GENERAL NOTES**
- PER IRC 2006.2, THE MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. 1/300 OF THE VENTED SPACE MAY BE USED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.
 - PER IRC 2006.3, INSTALL INSULATION Baffles TO PROVIDE MIN. OF 1" SPACE AT THE LOCATION BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 - FOAM PLASTIC INSULATION FROM ATTIC AND CRAWL SPACES SHALL COMPLY WITH THE IRC.
 - SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF ATTIC ACCESS AND AIR HANDLER UNIT.
 - AREAS IN ATTIC OVER 30 SF, AND 30" HIGH REQUIRE ACCESS.
 - HIGH VENTS TO BE NO MORE THAN 3" BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE.

Rev.	DATE
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PLAN
5582
Nauvo Station
SHEET
A2

LENNAR
1665 West Alameda Drive, Suite #130 Tempe, Arizona 85282
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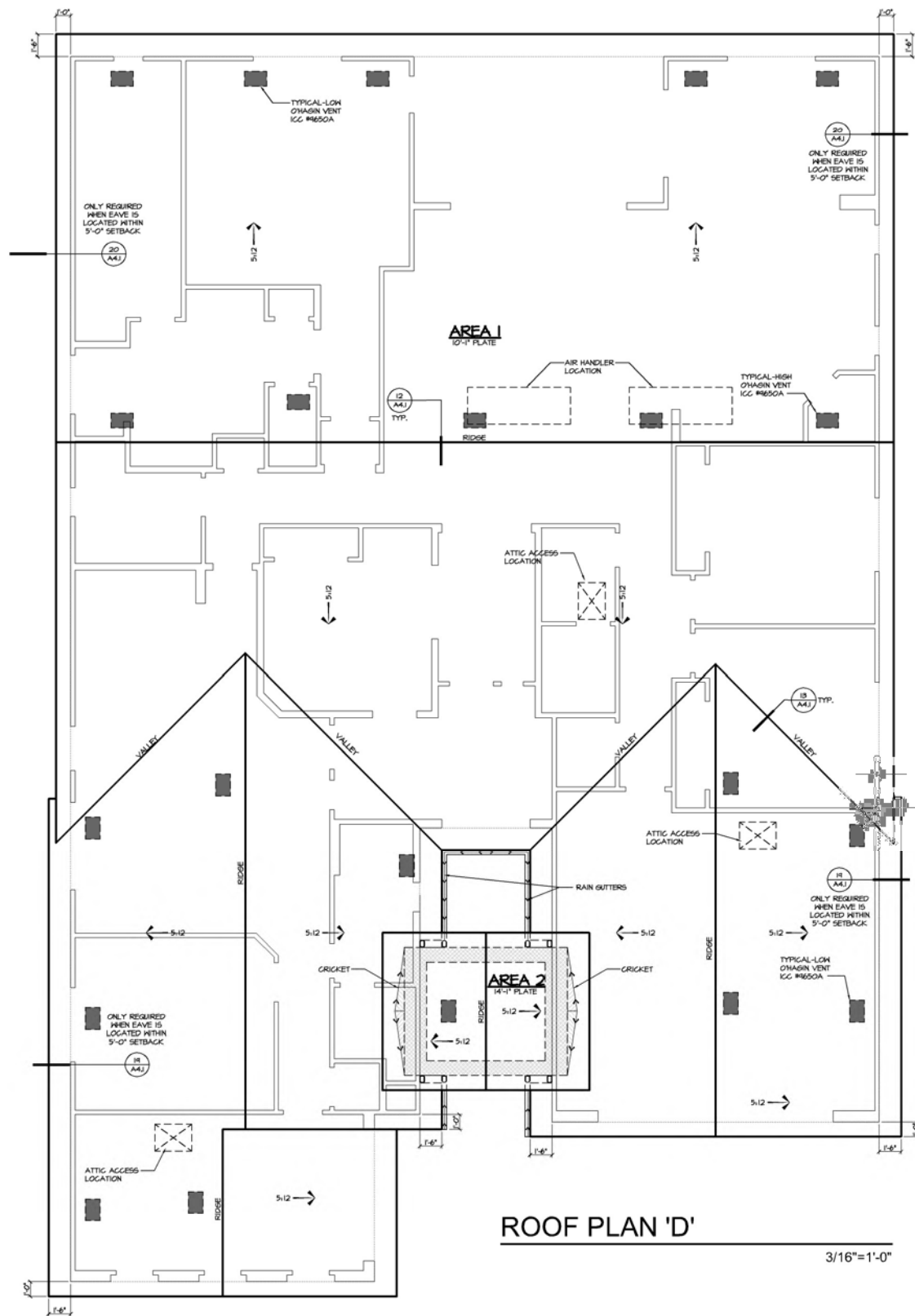
[i]PLAN, LLC
4711 East Falcon Drive • Suite 232
Mesa, Arizona 85215
studio (480) 807-1539 • fax (480) 894-2529
www.iplandesign.com

Home Builders Association
OF CENTRAL ARIZONA

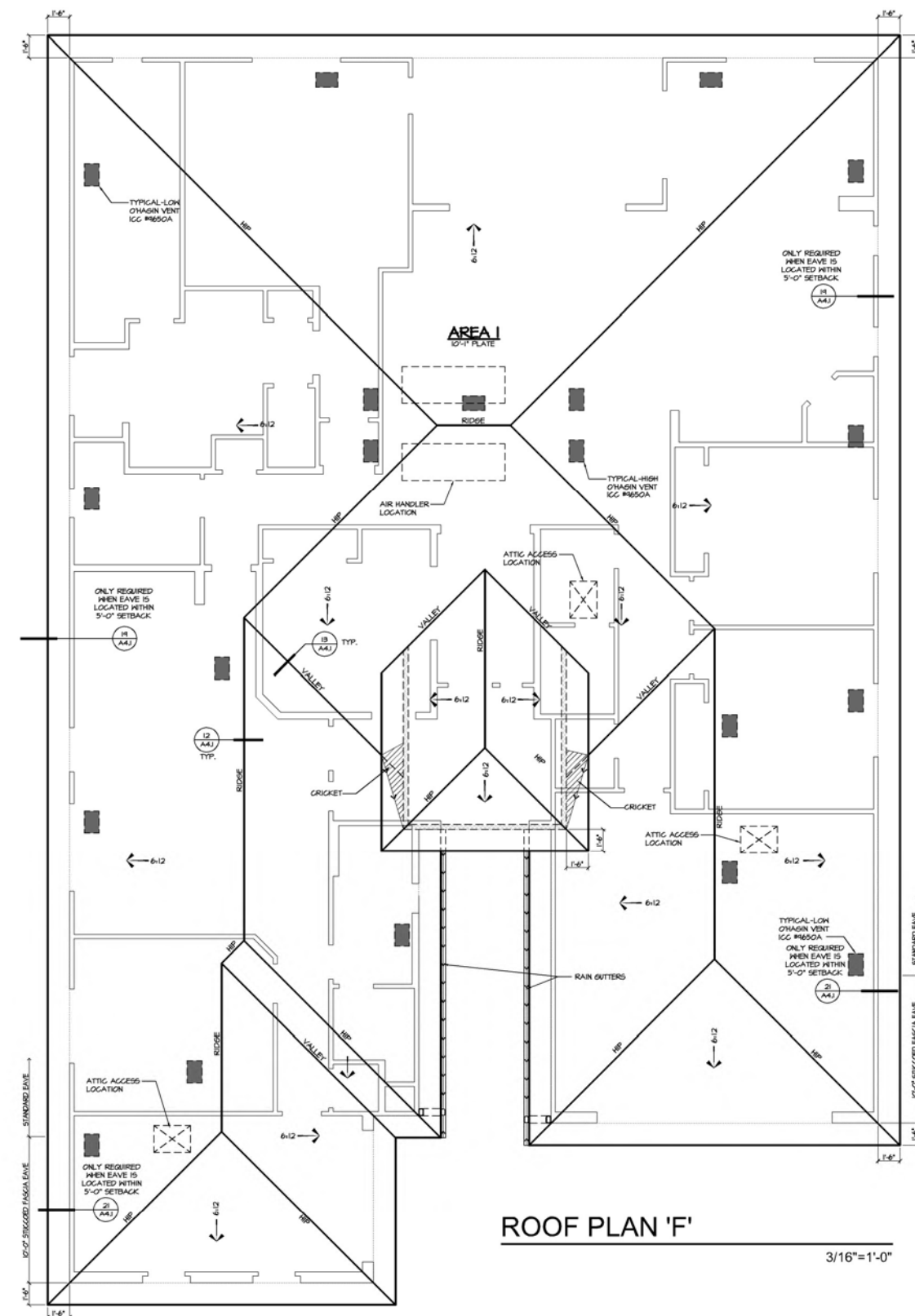
AMERICAN INSTITUTE OF BUILDING DESIGN
A B D
PROFESSIONAL BUILDING DESIGNER

ROOF PLANS 'B'

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ROOF PLAN 'D'
3/16"=1'-0"



ROOF PLAN 'F'
3/16"=1'-0"

VENT CALC's - ELEV 'B'			
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.	
4,032	13.44	13.60	
HIGH 9	@ 0.68 S.F. EACH	6.12 S.F.	
LOW 11	@ 0.68 S.F. EACH	7.48 S.F.	
TOTAL = 13.60 S.F.			

VENT CALC's - ELEV 'D'					
ROOF AREA '1'		ROOF AREA '2'			
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.	ROOF S.F.	REQ. VENT S.F. (1/150)	PROVIDED VENT S.F.
4,032	13.44	13.60	83	0.55	0.82
HIGH 9	@ 0.68 S.F. EACH	6.12 S.F.	1	@ 0.68 S.F. EACH	0.68 S.F.
LOW 11	@ 0.68 S.F. EACH	7.48 S.F.			
TOTAL = 13.60 S.F.			TOTAL = 0.82 S.F.		

VENT CALC's - ELEV 'F'		
ROOF S.F.	REQ. VENT S.F. (1/300)	PROVIDED VENT S.F.
4,032	13.44	13.60
HIGH 9	@ 0.68 S.F. EACH	6.12 S.F.
LOW 11	@ 0.68 S.F. EACH	7.48 S.F.
TOTAL = 13.60 S.F.		

TYPICAL FREE VENT AREAS					
GABLE VENTS			DORMER VENTS		
SIZE	12x12	12x14	12x18	12x20	12x24
FREE VENT AREA	0.50	0.58	0.75	0.83	1.00
REQ. VENT AREA	1.13	1.29	1.50	1.66	1.98
TRUSS VENTS					
TRUSS VENT AREA	1.50	1.77	1.80	1.88	1.93
REQ. VENT AREA	1.88	2.21	2.21	2.21	2.21
EAVE VENTS					
VENT TYPE	3 HOLE VENTED BLOCKING	FULL SCREEN VENT 22 1/2"x3 1/2"	TRUSSES	BRD BLOCKING	3" DIA. SCREENED VENT
FREE VENT AREA	0.43 SQ. FT.	0.41 SQ. FT.			

- GENERAL NOTES**
- PER IRC 806.2, THE MIN. NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. 1/300 OF THE VENTED SPACE MAY BE USED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.
 - PER IRC R806.3, INSTALL INSULATION BAFFLES TO PROVIDE MIN. OF 1" SPACE AT THE LOCATION BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 - FOAM PLASTIC INSULATION FROM ATTIC AND CRAWL SPACES SHALL COMPLY WITH THE IRC.
 - SEE STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF ATTIC ACCESS AND AIR HANDLER UNIT.
 - AREAS IN ATTIC OVER 30 SF, AND 30" HIGH REQUIRE ACCESS.
 - HIGH VENTS TO BE NO MORE THAN 3' BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE.

PLOT DATE: 8-01-19

Rev.	DATE
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NOTE:

ALL ITEMS SHOWN ARE STANDARD U.N.O.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL

NOTE:

FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:

ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

GENERAL NOTES

- SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS - REFER TO FLOOR PLAN SHEET 4 STRUCTURAL.
- THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
- FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN 26 GA. CORROSION RESISTANT METAL PER THE IRC.
- CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, ICGOR ESR-1641 4 PER THE IRC.
- BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
- KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
- ROOF SLOPES ARE 5:12 TYP. U.N.O.
- WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE U.N.O.
- ALL VENTS, ELEC. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE U.N.O.
- SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.

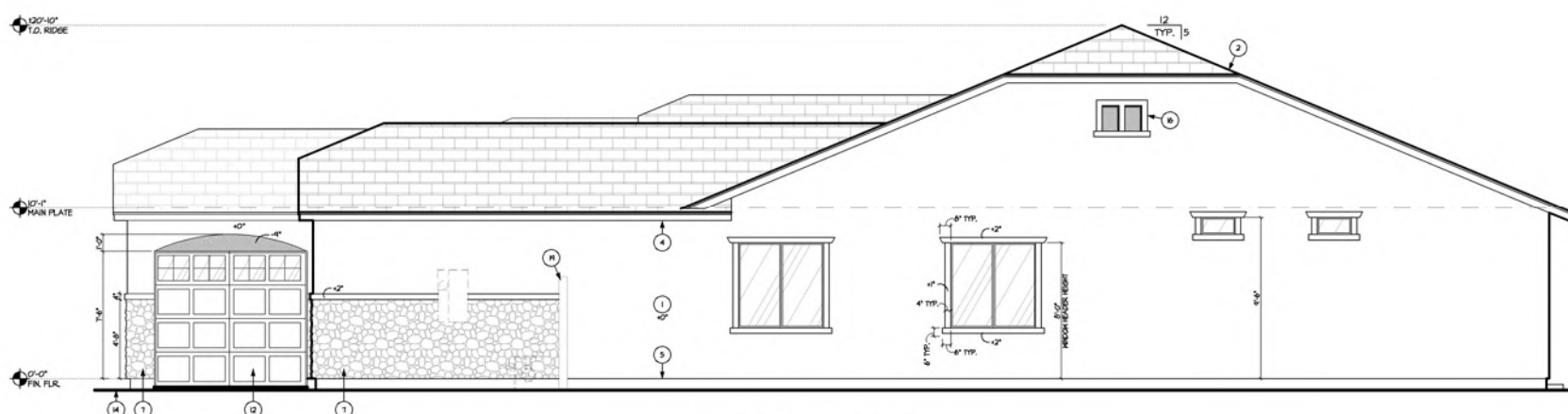
KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.C. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE "D" BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE ICGOR ESR-1641, OVER UNDERLAYMENT. UNDERLAYMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS M MINERAL SURFACED ROLL ROOFING (STYLE: PER ELEVATION)
3	MASONRY LOW WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4J
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4J
5	KEEP SCREED - REF. DETAIL 9 ON SHEET A4J
6	TYPPON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	TYPPON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
8	EXTERIOR LIGHT PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
9	TYPPON TILE VENT (C6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	TYPPON COVE CORBEL (C6X6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	TYPPON POT SHELVES (P504X351) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION
16	DECORATIVE GABLE END DETAIL - SEE DETAILS ON SHEET A4J
17	TYPPON OUTLOOKER (BKT16X32X45) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
19	SIDE YARD FENCE WALL



LEFT ELEVATION 'B'
SCALE: 3/16" = 1'-0"
FARMHOUSE



RIGHT ELEVATION 'B'
SCALE: 3/16" = 1'-0"
FARMHOUSE



REAR ELEVATION 'B'
SCALE: 3/16" = 1'-0"
FARMHOUSE



FRONT ELEVATION 'B'
SCALE: 3/16" = 1'-0"
FARMHOUSE

PLOT DATE: 7-31-19

Rev.	DATE
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NOTE:

ALL ITEMS SHOWN ARE STANDARD U.N.O.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL.

NOTE:

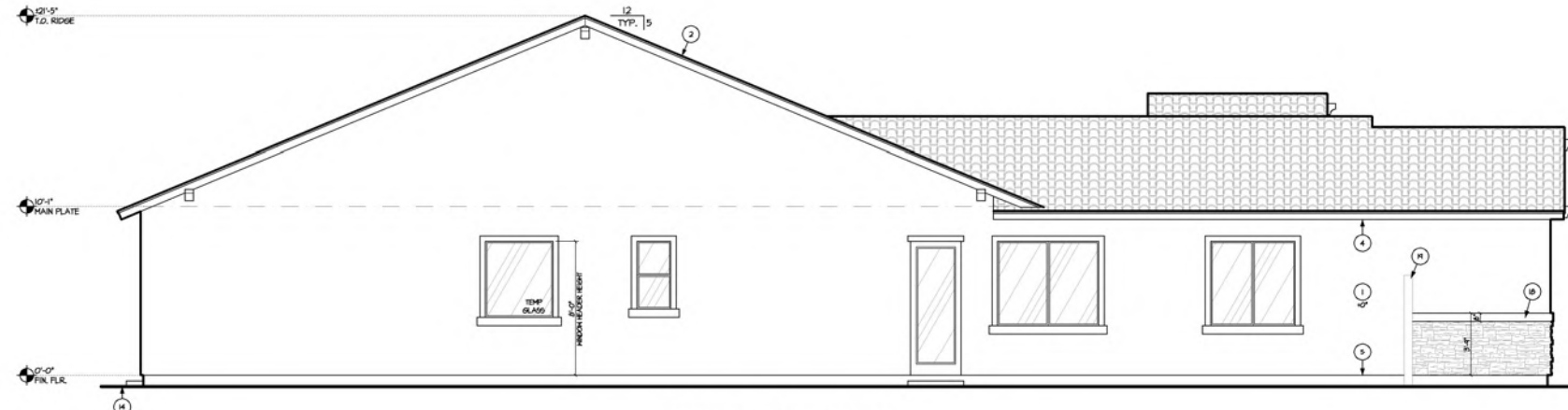
FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:

ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

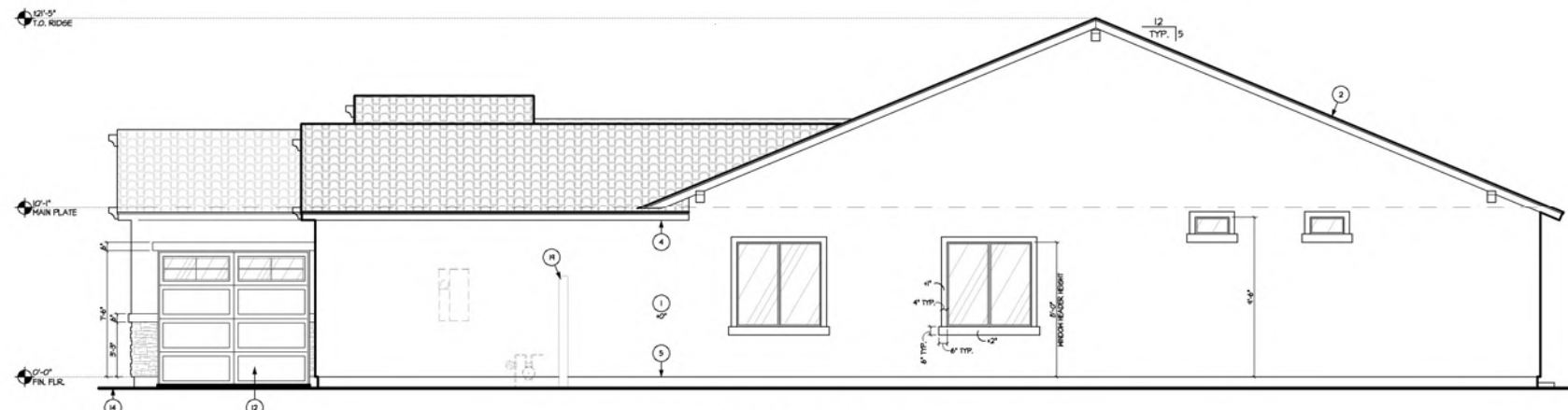
GENERAL NOTES

1. SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS - REFER TO FLOOR PLAN SHEET & STRUCTURAL.
2. THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER. WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
3. FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN 26 GA. CORROSION RESISTANT METAL PER THE IRC.
4. CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, ICB04 ESR-1641 & PER THE IRC.
5. BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
6. KEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
7. ROOF SLOPES ARE 5:12 TYP. UNO.
8. WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE UNO.
9. ALL VENTS, ELEG. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE UNO.
10. PAINT EXPOSED STEMWALLS TO MATCH UNO.
11. SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAYMENT MEETING ROOFING REQUIREMENTS.



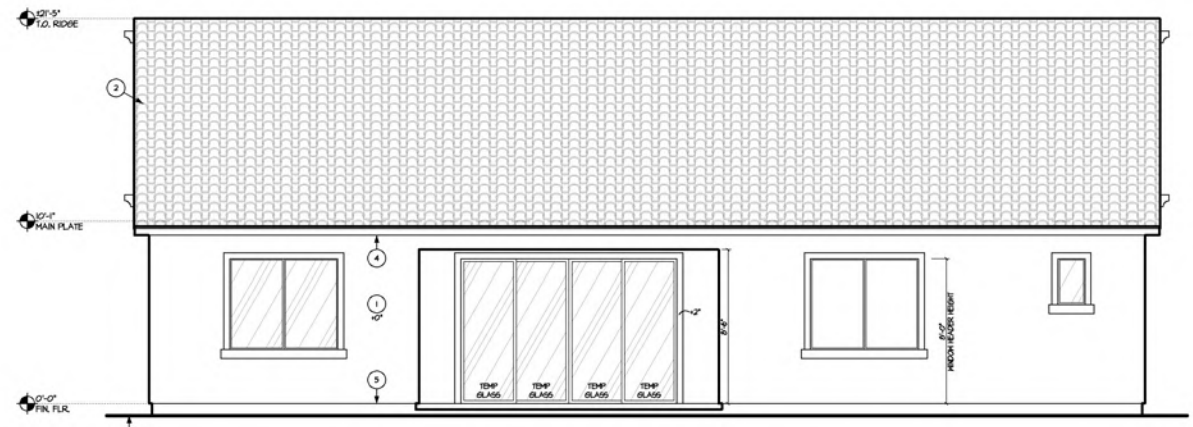
LEFT ELEVATION 'D'

SCALE: 3/16" = 1'-0" COTTAGE



RIGHT ELEVATION 'D'

SCALE: 3/16" = 1'-0" COTTAGE



REAR ELEVATION 'D'

SCALE: 3/16" = 1'-0" COTTAGE



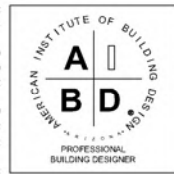
FRONT ELEVATION 'D'

SCALE: 3/16" = 1'-0" COTTAGE

KEYNOTES	
* SEE SPECIFICATION FOR MORE INFORMATION *	
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *	
No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.C. # ESR-224 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE 'D' BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE I.C.C. # ESR-1641, OVER UNDERLAYMENT, UNDERLAYMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6390 CLASS M MINERAL SURFACED ROLL ROOFING (STYLE), PER ELEVATION
3	MASONRY LOW WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4J
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4J
5	KEEP SCREED - REF. DETAIL 9 ON SHEET A4J
6	TYTON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	TYTON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
8	EXTERIOR LIGHT PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
9	TYTON TILE VENT (C6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	TYTON COVE CORBEL (C6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	TYTON POT SHELVE (P58X351) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
12	SECTIONAL METAL ROLL-UP DOOR, PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS, SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION.
16	DECORATIVE GABLE END DETAIL - SEE DETAILS ON SHEET A4J
17	TYTON OUTLOOKER (BKT6X32X45) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
19	SIDE YARD FENCE WALL



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 Mesa, Arizona 85215
 studio (480) 807-1539 • fax (480) 994-2529
 www.iplandesign.com



ELEVATION 'D'

PLOT DATE: 7-31-19

Rev.	DATE
1	
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PLAN
5582
 Nauvoo Station

SHEET
A3.1

NOTE:

ALL ITEMS SHOWN ARE STANDARD U.N.O.

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER EXTERIOR PLASTER

NOTE:

WATER-RESISTIVE BARRIER REQUIRED UNDER ALL EXTERIOR WALL FINISH (SIDING) MATERIAL

NOTE:

FLASHING TO BE INSTALLED IN SHINGLE-FASHION AND MUST EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER.

NOTE:

ALL EXTERIOR WINDOWS AND DOOR OPENING FLASHING SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

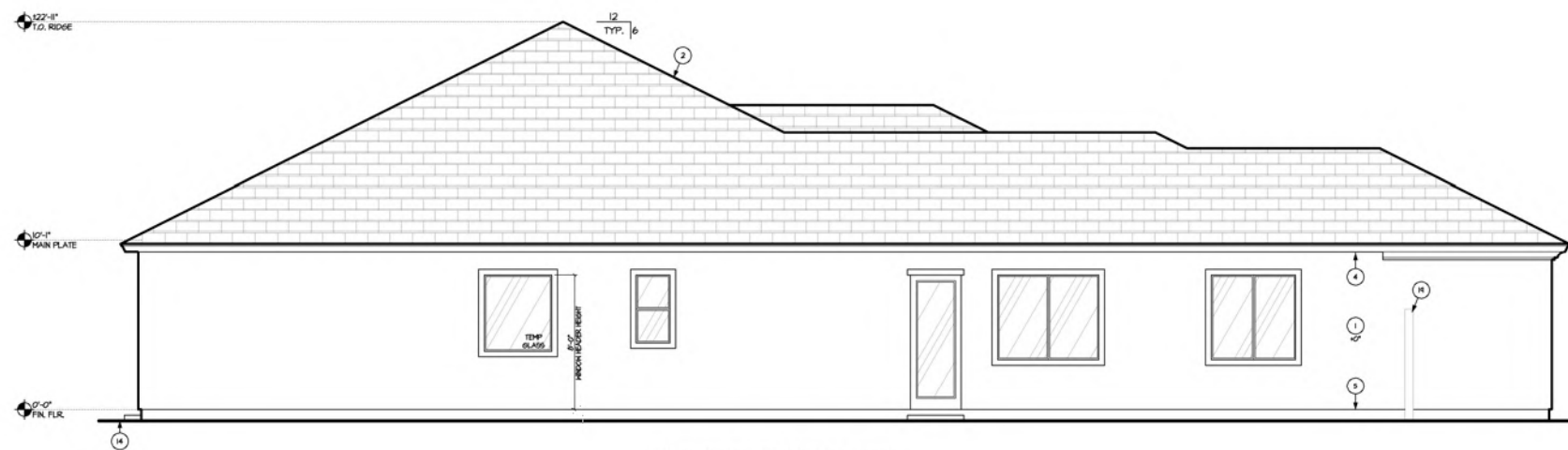
GENERAL NOTES

- SEE FLOOR PLAN & ELEVATIONS FOR WINDOW HEADER HEIGHTS. ALL DOOR HEADER HEIGHTS - REFER TO FLOOR PLAN SHEET 4 STRUCTURAL.
- THE BUILDING SAFETY DEPARTMENT WILL REQUIRE THE INSTALLATION CARD FROM THE STUCCO MANUFACTURER'S APPROVED APPLICATOR BE ON THE JOB SITE BEFORE THE APPLICATION OF THE WEATHER-RESISTIVE BARRIER. A COPY OF THE INSTALLATION CARD MUST BE PRESENTED TO THE BUILDING INSPECTOR AFTER COMPLETION OF THE WORK AND BEFORE THE FINAL INSPECTION. A COPY OF THE INSTALLATION CARD SHALL BE LEFT AT THE JOB SITE FOR HOMEOWNER. WHEN APPLIED OVER WOOD-BASED SHEATHING, THE BARRIER SHALL BE A MINIMUM TWO LAYERS OF GRADE D, BUILDING PAPER PER THE IRC.
- FLASHING OF EXTERIOR OPENINGS SHALL NOT BE LESS THAN 26 GA. CORROSION RESISTANT METAL PER THE IRC.
- CONCRETE TILE ROOFS INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS, ICB® ESR-1641 4 PER THE IRC.
- BUILT UP ROOFING W/ 3 LAYERS #15 FELT AND 300 POUNDS OF GRAVEL PER 100 SQ. FT. OF ROOF OR OTHER APPROVED SURFACING MATERIAL INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND PER THE IRC.
- WEEP SCREED SHALL BE OF NO. 26 GAUGE CORROSION RESISTANT METAL WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/12" AND PLACED A MIN. OF 1" BELOW TOP OF FINISHED FLOOR AND A MINIMUM OF 6" ABOVE FINISHED GRADE @ ALL EXTERIOR WALLS.
- ROOF SLOPES ARE 5:12 TYP. UNO.
- WINDOW FRAMES SHALL BE ANODIZED OR ENAMEL PAINTED TO MATCH HOUSE UNO.
- ALL VENTS, ELEC. BOXES, HVAC UNITS, ETC. SHALL BE PAINTED TO MATCH HOUSE UNO.
- PAINT EXPOSED STEMWALLS TO MATCH UNO.
- SLOPES (EXAMPLE: FIREPLACE / MEDIA NICHE TOPS) OF 60° OR LESS FROM HORIZONTAL TO HAVE UNDERLAMENT MEETING ROOFING REQUIREMENTS.

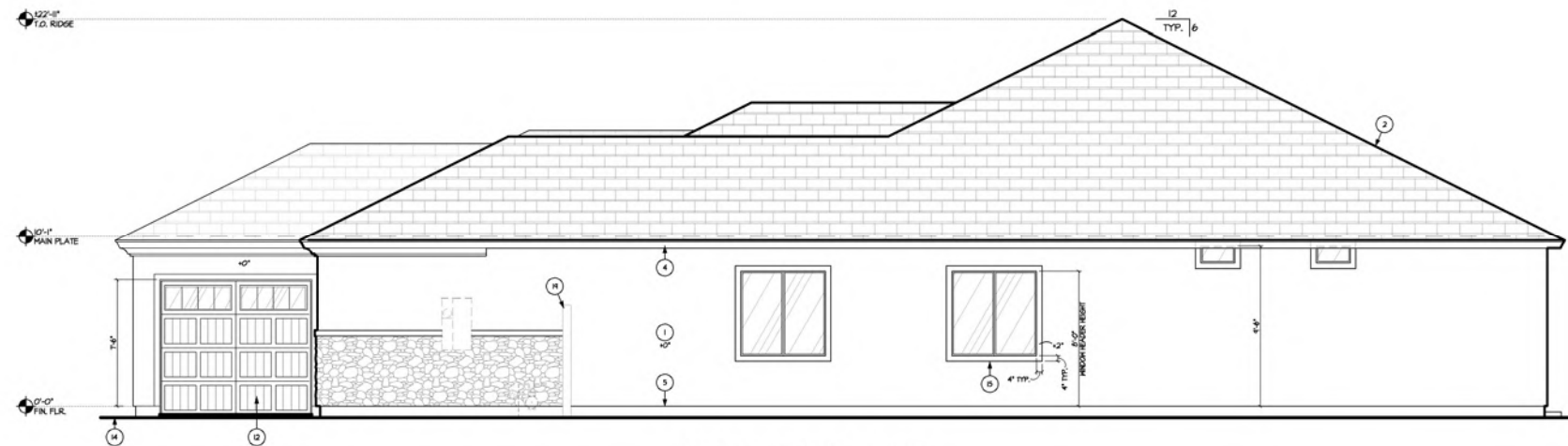
KEYNOTES

* SEE SPECIFICATION FOR MORE INFORMATION *
* ALL KEYNOTES MAY NOT APPLY TO THIS SHEET *

No.	DESCRIPTION
1	3/8" STUCCO SYSTEM OVER 1" FOAM BOARD, LATH BASE OVER BUILDING PAPER - I.C.C. # ESR-2214 WHEN APPLIED OVER ANY WOOD BASED SHEATHING, THE BARRIER SHALL BE A MIN. TWO LAYER OF GRADE "D" BUILDING PAPER PER THE IRC.
2	CONCRETE ROOF TILE ICB® ESR-1641, OVER UNDERLAMENT. UNDERLAMENT SHALL CONFORM TO ASTM D 226 TYPE II; ASTM D 2626 TYPE I; OR ASTM D 6380 CLASS M MINERAL SURFACED ROLL ROOFING (STYLE); PER ELEVATION
3	MASONRY LOW WALL/COLUMN SEE WALL DETAILS 2 & 3 ON SHEET A4J
4	FASCIA - REFER TO DETAIL 26 ON SHEET A4J
5	WEEP SCREED - REF. DETAIL 9 ON SHEET A4J
6	FYPON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
7	FYPON SHUTTERS PER MODEL # ON ELEVATIONS - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
8	EXTERIOR LIGHT PER SPECIFICATIONS SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
9	FYPON TILE VENT (C6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
10	FYPON COVE CORBEL (C6X6) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
11	FYPON POT SHELVE (P564X35T) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
12	SECTIONAL METAL ROLL-UP DOOR. PAINT TO MATCH EXTERIOR OF HOUSE - PER SPEC'S.
13	STREET ADDRESS NUMBER-FINISH PER SPECIFICATIONS. SEE DETAIL 25 ON SHEET A4J FOR INSTALLATION AT STONE VENEER
14	FINISH GRADE - SLOPE MIN. 5% AWAY FROM BUILDING
15	STUCCO SYSTEM OVER FOAM SURROUND PROJECTION
16	DECORATIVE GABLE END DETAIL - SEE DETAILS ON SHEET A4J
17	FYPON OUTLOOKER (BKT16X32X4S) - ATTACH PER MFG SPEC'S. VERIFY ITEM W/ BUILDER SPEC'S
18	EXTEND ACCENT MATERIAL TO THE SIDE YARD FENCE WALL
19	SIDE YARD FENCE WALL



LEFT ELEVATION 'F'
SCALE: 3/16" = 1'-0" ITALIAN RENAISSANCE



RIGHT ELEVATION 'F'
SCALE: 3/16" = 1'-0" ITALIAN RENAISSANCE



REAR ELEVATION 'F'
SCALE: 3/16" = 1'-0" ITALIAN RENAISSANCE



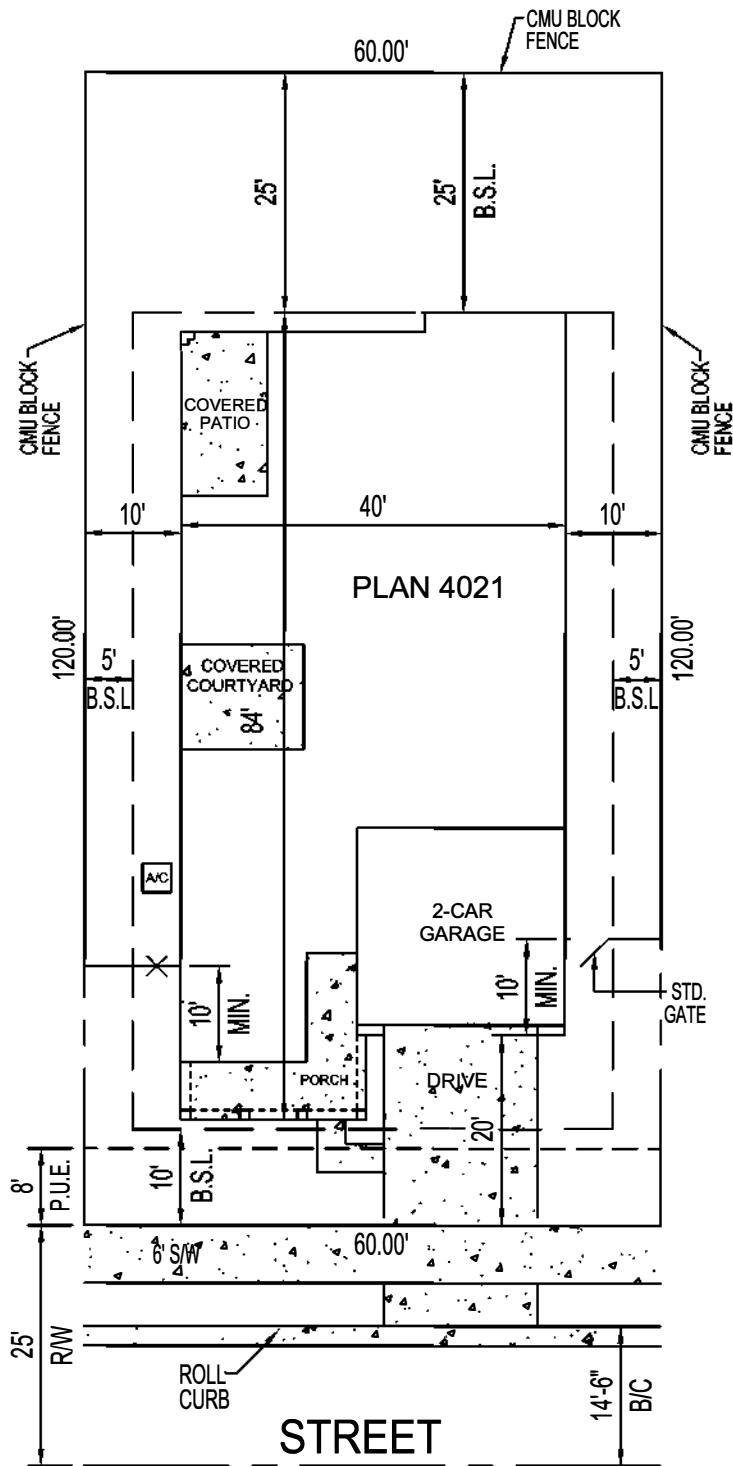
FRONT ELEVATION 'F'
SCALE: 3/16" = 1'-0" ITALIAN RENAISSANCE

PLOT DATE: 7-31-19

Rev.	DATE
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TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING

R1-6

MAXIMUM LOT COVERAGE

50% MAXIMUM

BUILDING SETBACKS

FRONT.....= 10'/20'

*20' MINIMUM TO FRONT FACING GARAGE

*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES

REAR.....= 25'

*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET

*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET

SIDES.....= 5' & 5'

CORNER..= 10'

BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

CITY/STATE: QUEEN CREEK, ARIZONA

LIVABLE AREA

1st FLOOR LIVABLE.....= 2,192 Sq. Ft.
2nd FLOOR LIVABLE...= 0 Sq. Ft.
TOTAL LIVABLE.....= 2,192 Sq. Ft.

FOOTPRINT AREA

1st FLOOR LIVABLE.....= 2,192 Sq. Ft.
GARAGE.....= 463 Sq. Ft.
COVERED ENTRY.....= 179 Sq. Ft.
COV. COURTYARD.....= 140 Sq. Ft.
COVERED PATIO(S)....= 153 Sq. Ft.
TOTAL FOOTPRINT.....= 3,127 Sq. Ft.

COVERAGE

TOTAL FOOTPRINT.....= 3,127 Sq. Ft.
LOT AREA.....= 7,200 Sq. Ft.
LOT COVERAGE.....= 43.4 %

DATE DRAWN: 08/16/19

REVISION DATE:

HARDLINE
CAD Services // // // // //

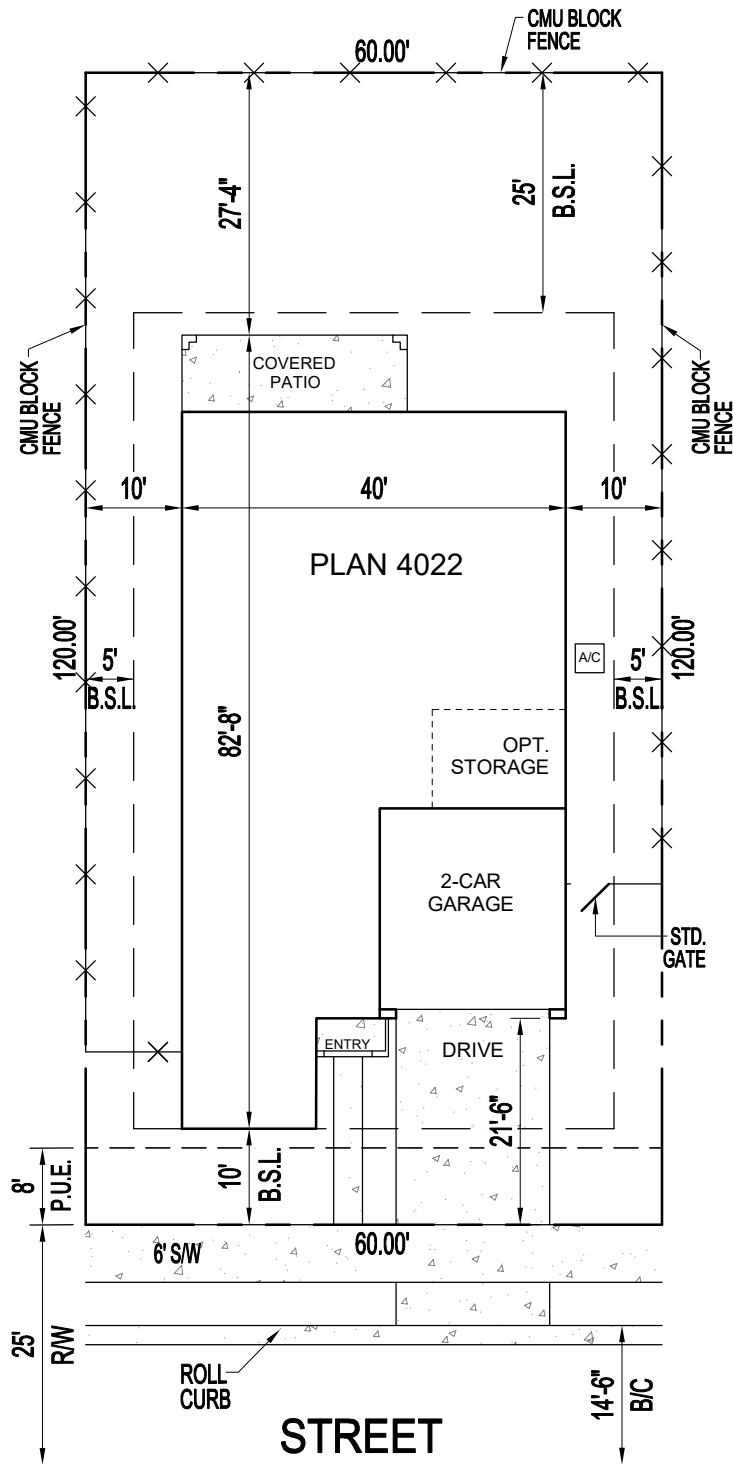
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Ph. 480.326.5665 | email: hardlinecad@gmail.com

Plot Plans
Model Complex
Lot Fit Analysis

HS

TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING
R1-6

MAXIMUM LOT COVERAGE
50% MAXIMUM

BUILDING SETBACKS
FRONT.....= 10'/20'
*20' MINIMUM TO FRONT FACING GARAGE
*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES
REAR.....= 25'
*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET
*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET
SIDES.....= 5' & 5'
CORNER..= 10'

LIVABLE AREA

1st FLOOR LIVABLE.....	=	2,264	Sq. Ft.
2nd FLOOR LIVABLE....	=	0	Sq. Ft.
TOTAL LIVABLE.....	=	2,264	Sq. Ft.

FOOTPRINT AREA

1st FLOOR LIVABLE.....	=	2,264	Sq. Ft.
GARAGE.....	=	424	Sq. Ft.
COVERED ENTRY.....	=	30	Sq. Ft.
COVERED PATIO(S).....	=	188	Sq. Ft.
TOTAL FOOTPRINT.....	=	2,906	Sq. Ft.

COVERAGE

TOTAL FOOTPRINT.....	=	2,906	Sq. Ft.
LOT AREA.....	=	7,200	Sq. Ft.
LOT COVERAGE.....	=	40.4	%

DATE DRAWN: 05/22/19

REVISION DATE:

HARDLINE CAD SERVICES Plot Plans Model Complex Lot Fit Analysis

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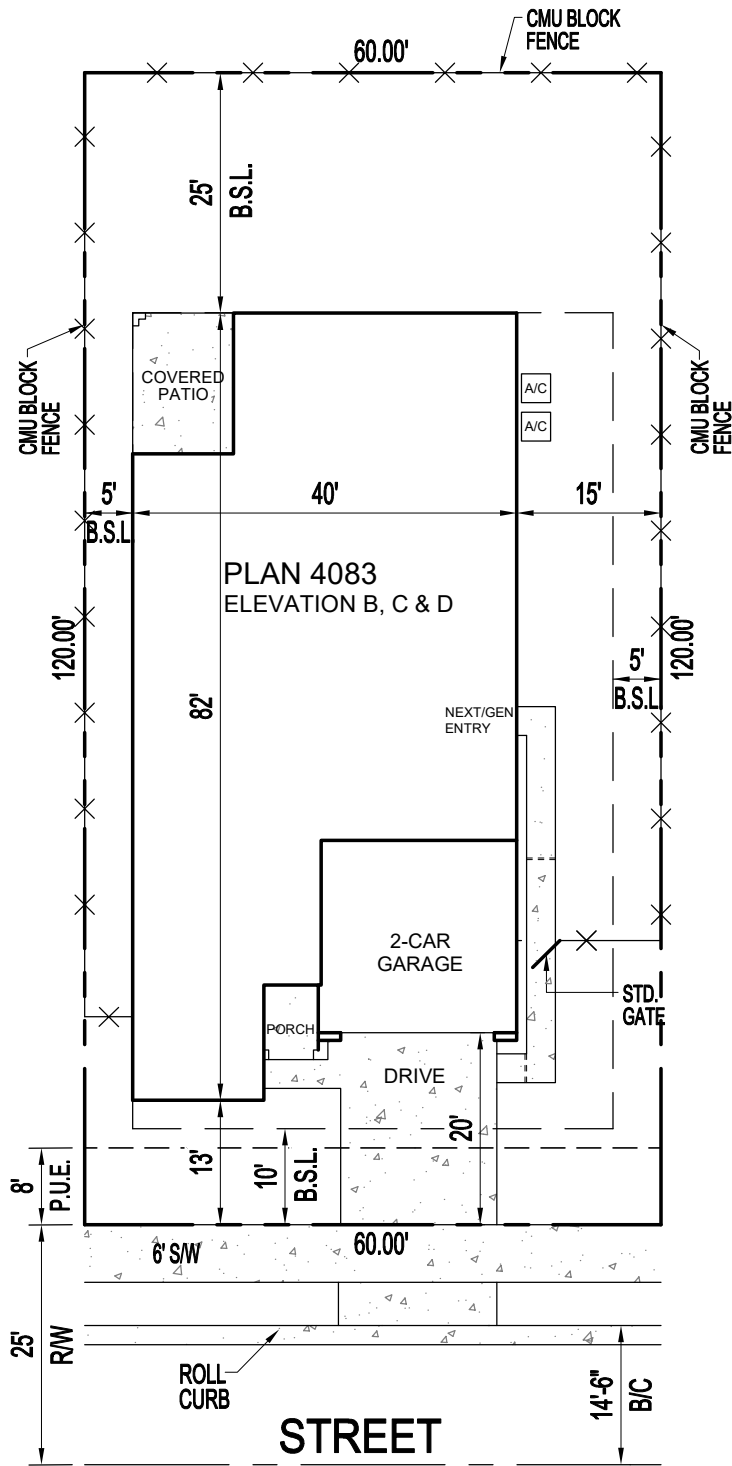
BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

CITY/STATE: QUEEN CREEK, ARIZONA

TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING
R1-6

MAXIMUM LOT COVERAGE
50% MAXIMUM

BUILDING SETBACKS

- FRONT..... = 10'/20'
- *20' MINIMUM TO FRONT FACING GARAGE
- *10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES
- REAR..... = 25'
- *NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET
- *35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET

SIDES..... = 5' & 5'
CORNER.. = 10'

BUILDER: LENNAR
SUBDIVISION: NAUVOO STATION
CITY/STATE: QUEEN CREEK, ARIZONA

LIVABLE AREA

1st FLOOR LIVABLE.....	=	2,502	Sq. Ft.
2nd FLOOR LIVABLE.....	=	0	Sq. Ft.
TOTAL LIVABLE.....	=	2,502	Sq. Ft.

FOOTPRINT AREA

1st FLOOR LIVABLE.....	=	2,502	Sq. Ft.
GARAGE.....	=	426	Sq. Ft.
COVERED ENTRY.....	=	46	Sq. Ft.
COVERED PATIO(S).....	=	154	Sq. Ft.
TOTAL FOOTPRINT.....	=	3,128	Sq. Ft.

COVERAGE

TOTAL FOOTPRINT.....	=	3,128	Sq. Ft.
LOT AREA.....	=	7,200	Sq. Ft.
LOT COVERAGE.....	=	43.4	%

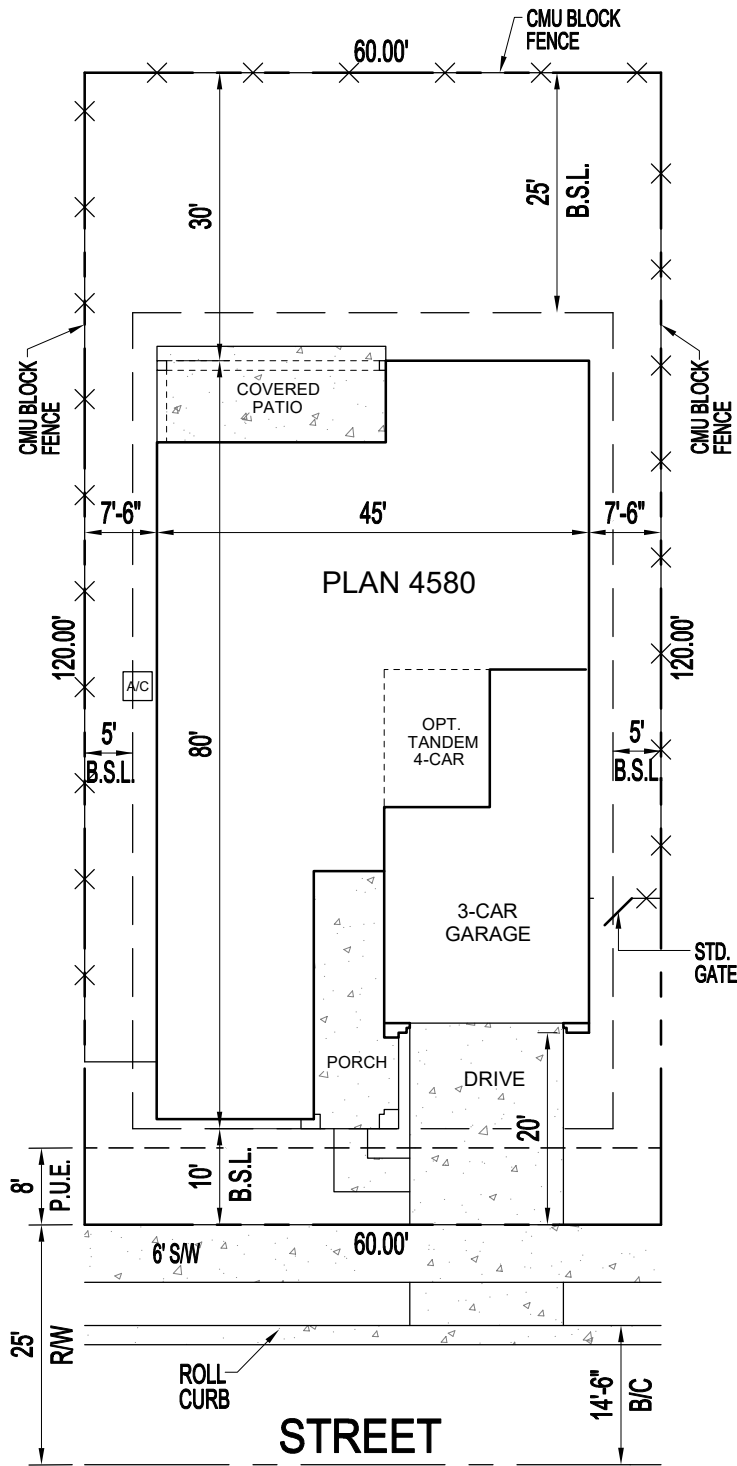
DATE DRAWN: 05/22/19
REVISION DATE: 05/29/19

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Model Complex
Lot Fit Analysis

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TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ALTERNATIVE DRIVE
MATERIAL REQUIRED:
ELEV B: NO SLIP BROOM
ELEV C: SCORED 4X4
ELEV D: SALT

ZONING

R-1-6

MAXIMUM LOT COVERAGE

50% MAXIMUM

BUILDING SETBACKS

FRONT.....= 10'/20'

*20' MINIMUM TO FRONT FACING GARAGE

*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES

REAR.....= 25'

*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET

*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET

SIDES.....= 5' & 5'

CORNER..= 10'

BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

CITY/STATE: QUEEN CREEK, ARIZONA

LIVABLE AREA

1st FLOOR LIVABLE.....	=	2,325	Sq. Ft.
2nd FLOOR LIVABLE.....	=	0	Sq. Ft.
TOTAL LIVABLE.....	=	2,325	Sq. Ft.

FOOTPRINT AREA

1st FLOOR LIVABLE.....	=	2,325	Sq. Ft.
GARAGE.....	=	646	Sq. Ft.
COVERED ENTRY.....	=	213	Sq. Ft.
COVERED PATIO(S).....	=	203	Sq. Ft.
TOTAL FOOTPRINT.....	=	3,387	Sq. Ft.

COVERAGE

TOTAL FOOTPRINT.....	=	3,387	Sq. Ft.
LOT AREA.....	=	7,200	Sq. Ft.
LOT COVERAGE.....	=	47.0	%

DATE DRAWN: 05/22/19

REVISION DATE:

HARDLINE
CAD Services

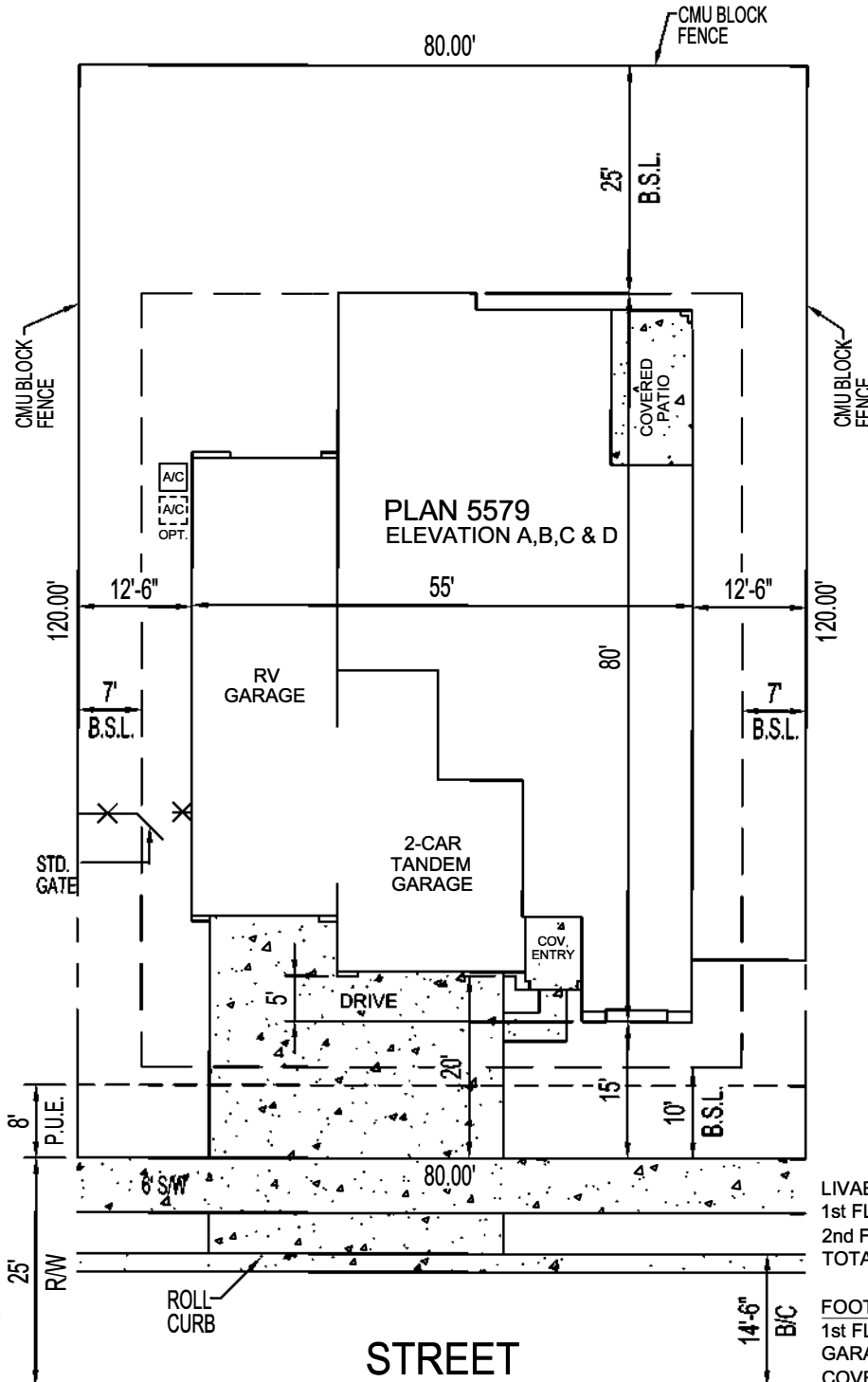
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Plot Plans
Model Complex
Lot Fit Analysis

HS

TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING
R1-8

MAXIMUM LOT COVERAGE
50% MAXIMUM

BUILDING SETBACKS
FRONT.....= 10'/20'
*20' MINIMUM TO FRONT FACING GARAGE
*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES
REAR.....= 25'
*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET
*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET
SIDES.....= 7' & 7'
CORNER..= 10'

LIVABLE AREA	
1st FLOOR LIVABLE.....	= 2,177 Sq. Ft.
2nd FLOOR LIVABLE....	= 0 Sq. Ft.
TOTAL LIVABLE.....	= 2,177 Sq. Ft.
FOOTPRINT AREA	
1st FLOOR LIVABLE.....	= 2,177 Sq. Ft.
GARAGE.....	= 1,398 Sq. Ft.
COVERED ENTRY.....	= 52 Sq. Ft.
COVERED PATIO(S)....	= 153 Sq. Ft.
TOTAL FOOTPRINT.....	= 3,780 Sq. Ft.
COVERAGE	
TOTAL FOOTPRINT.....	= 3,780 Sq. Ft.
LOT AREA.....	= 9,600 Sq. Ft.
LOT COVERAGE.....	= 39.4 %

DATE DRAWN: 08/16/19

REVISION DATE: 08/26/19

HARDLINE CAD Services Plot Plans Model Complex Lot Fit Analysis

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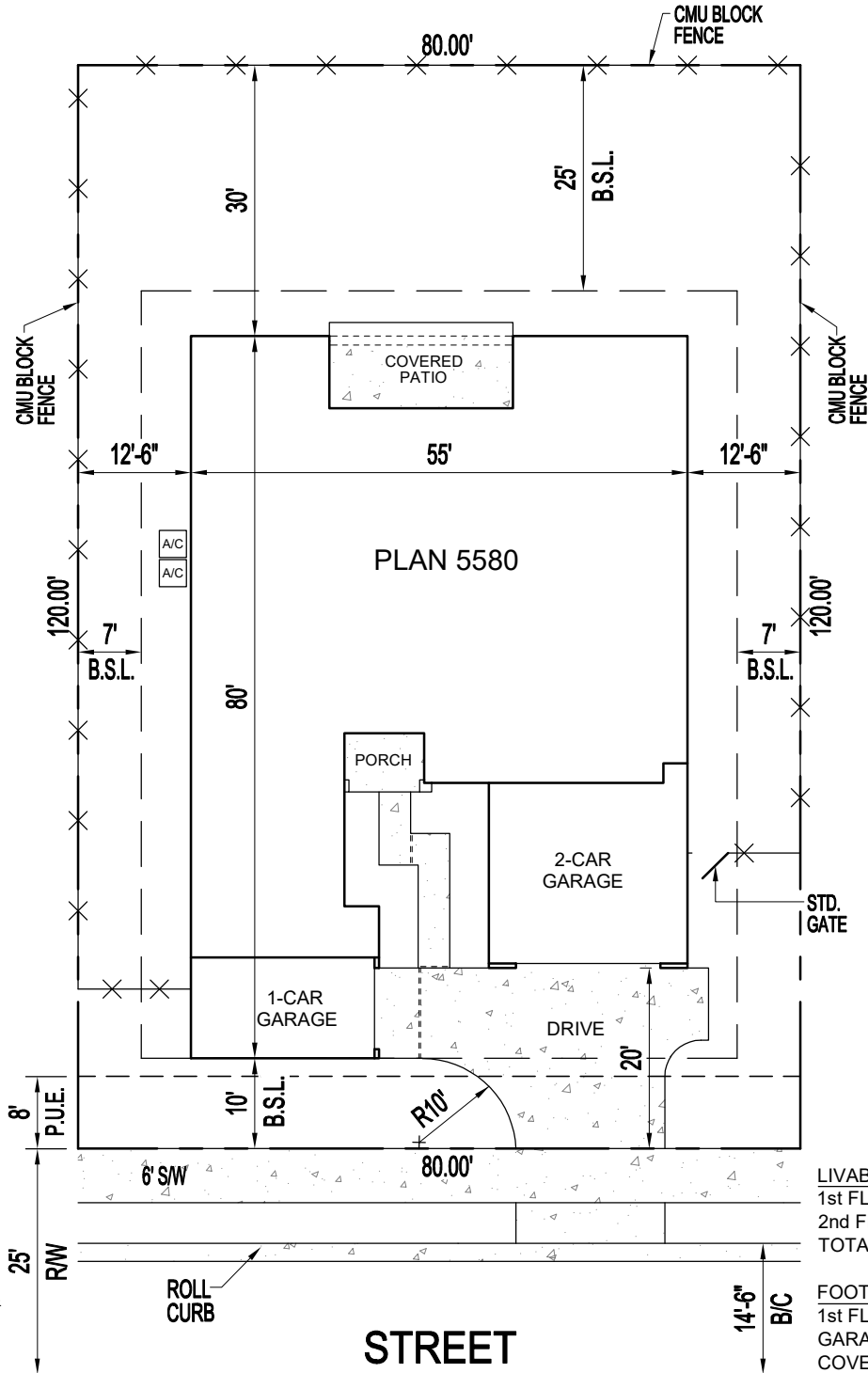
BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

CITY/STATE: QUEEN CREEK, ARIZONA

TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING
R1-8

MAXIMUM LOT COVERAGE
50% MAXIMUM

BUILDING SETBACKS
FRONT.....= 10'/20'
*20' MINIMUM TO FRONT FACING GARAGE
*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES
REAR.....= 25'
*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET
*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET
SIDES.....= 7' & 7'
CORNER..= 10'

LIVABLE AREA	
1st FLOOR LIVABLE.....	= 2,862 Sq. Ft.
2nd FLOOR LIVABLE....	= 0 Sq. Ft.
TOTAL LIVABLE.....	= 2,862 Sq. Ft.

FOOTPRINT AREA	
1st FLOOR LIVABLE.....	= 2,862 Sq. Ft.
GARAGE.....	= 690 Sq. Ft.
COVERED ENTRY.....	= 58 Sq. Ft.
COVERED PATIO(S).....	= 193 Sq. Ft.
TOTAL FOOTPRINT.....	= 3,803 Sq. Ft.

COVERAGE	
TOTAL FOOTPRINT.....	= 3,803 Sq. Ft.
LOT AREA.....	= 9,600 Sq. Ft.
LOT COVERAGE.....	= 39.6 %

DATE DRAWN: 05/22/19

REVISION DATE:

BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

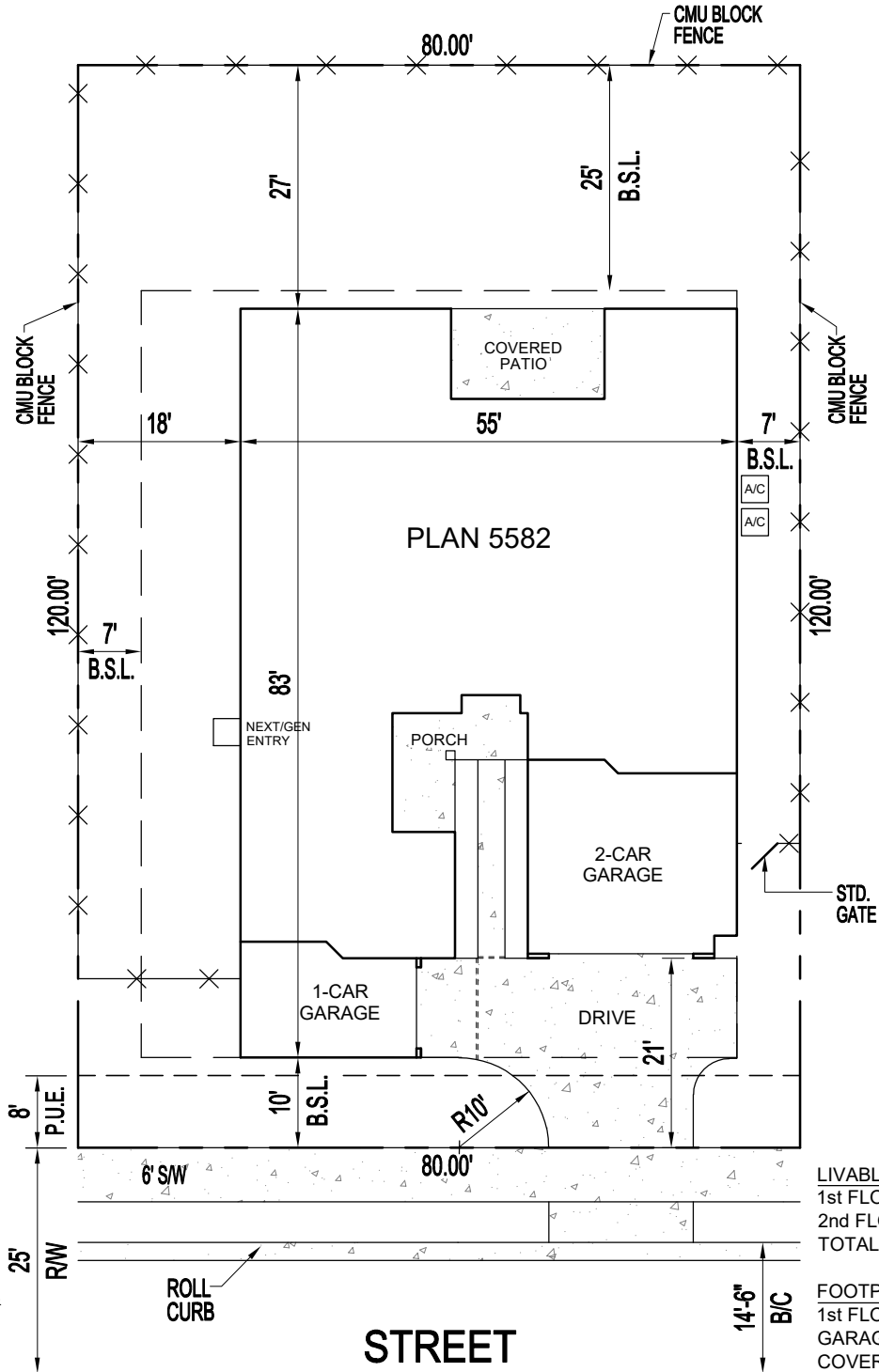
CITY/STATE: QUEEN CREEK, ARIZONA

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TYPICAL PLOT PLAN

SCALE: 1" = 20'-0"



ZONING

R1-8

MAXIMUM LOT COVERAGE

50% MAXIMUM

BUILDING SETBACKS

FRONT.....= 10'/20'

*20' MINIMUM TO FRONT FACING GARAGE

*10' MINIMUM TO LIVING AREA & SIDE ENTRY GARAGES

REAR.....= 25'

*NO 2-STORY HOMES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET

*35' FOR 2-STORY HOMES THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET

SIDES.....= 7' & 7'

CORNER..= 10'

BUILDER: LENNAR

SUBDIVISION: NAUVOO STATION

CITY/STATE: QUEEN CREEK, ARIZONA

LIVABLE AREA

1st FLOOR LIVABLE.....	=	2,958	Sq. Ft.
2nd FLOOR LIVABLE.....	=	0	Sq. Ft.
TOTAL LIVABLE.....	=	2,958	Sq. Ft.

FOOTPRINT AREA

1st FLOOR LIVABLE.....	=	2,958	Sq. Ft.
GARAGE.....	=	722	Sq. Ft.
COVERED ENTRY.....	=	146	Sq. Ft.
COVERED PATIO(S).....	=	187	Sq. Ft.
TOTAL FOOTPRINT.....	=	4,013	Sq. Ft.

COVERAGE

TOTAL FOOTPRINT.....	=	4,013	Sq. Ft.
LOT AREA.....	=	9,600	Sq. Ft.
LOT COVERAGE.....	=	41.8	%

DATE DRAWN: 05/22/19

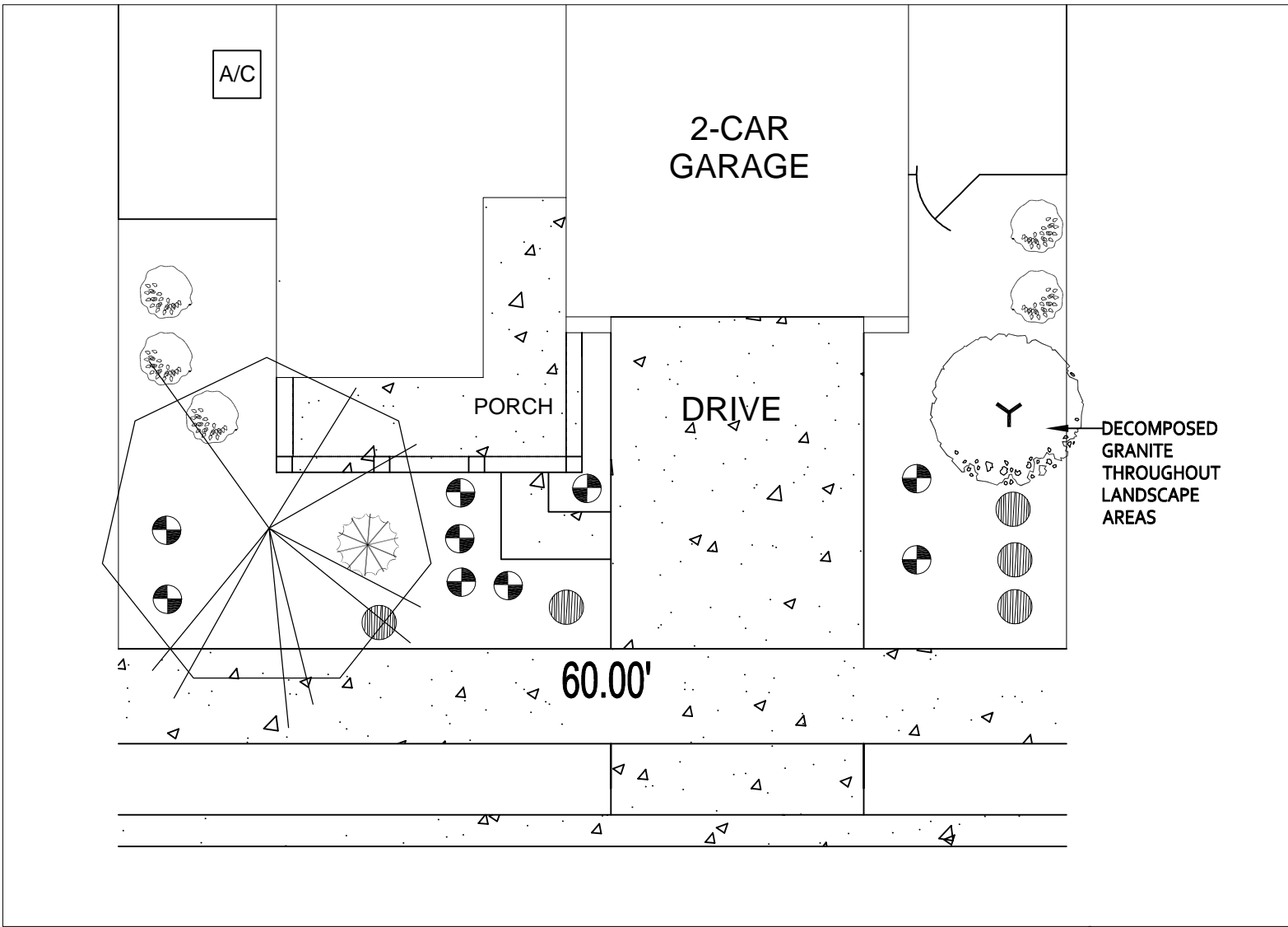
REVISION DATE:

HARDLINE
CAD Services

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Plot Plans
Model Complex
Lot Fit Analysis

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Scale 1"=10'-0"

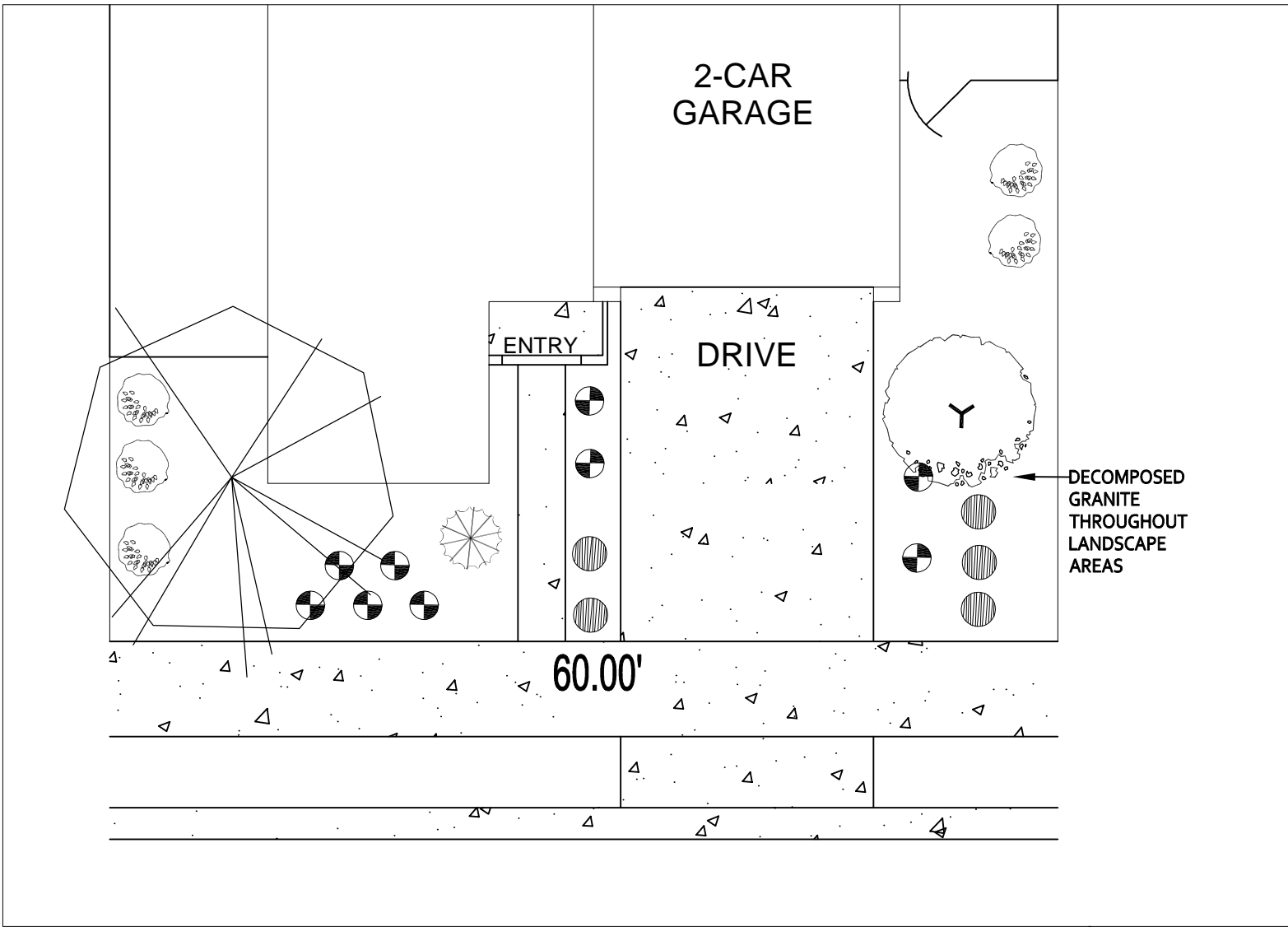
Legend

- | | | | | | |
|--|--|---------|--|---|--------|
| | 1 Desert Shade Tree
Hybrid Palo Verde
Sissoo | 24" Box | | 14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu | 1 gal. |
| | 1 Desert Tree
Desert Willow
Sweet Acacia | 24" Box | DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold | | |
| | 5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia | 5 gal | | | |
| | 2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea | 5 gal | | | |

Low Water Usage

PLAN 4021 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree 24" Box
Hybrid Palo Verde
Sissoo



1 Desert Tree 24" Box
Desert Willow
Sweet Acacia



5 Desert Shrub 5 gal
Thunder Cloud Sage
Valentine Bush
Desert Ruelia



2 Desert Accent Shrub 5 gal
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea

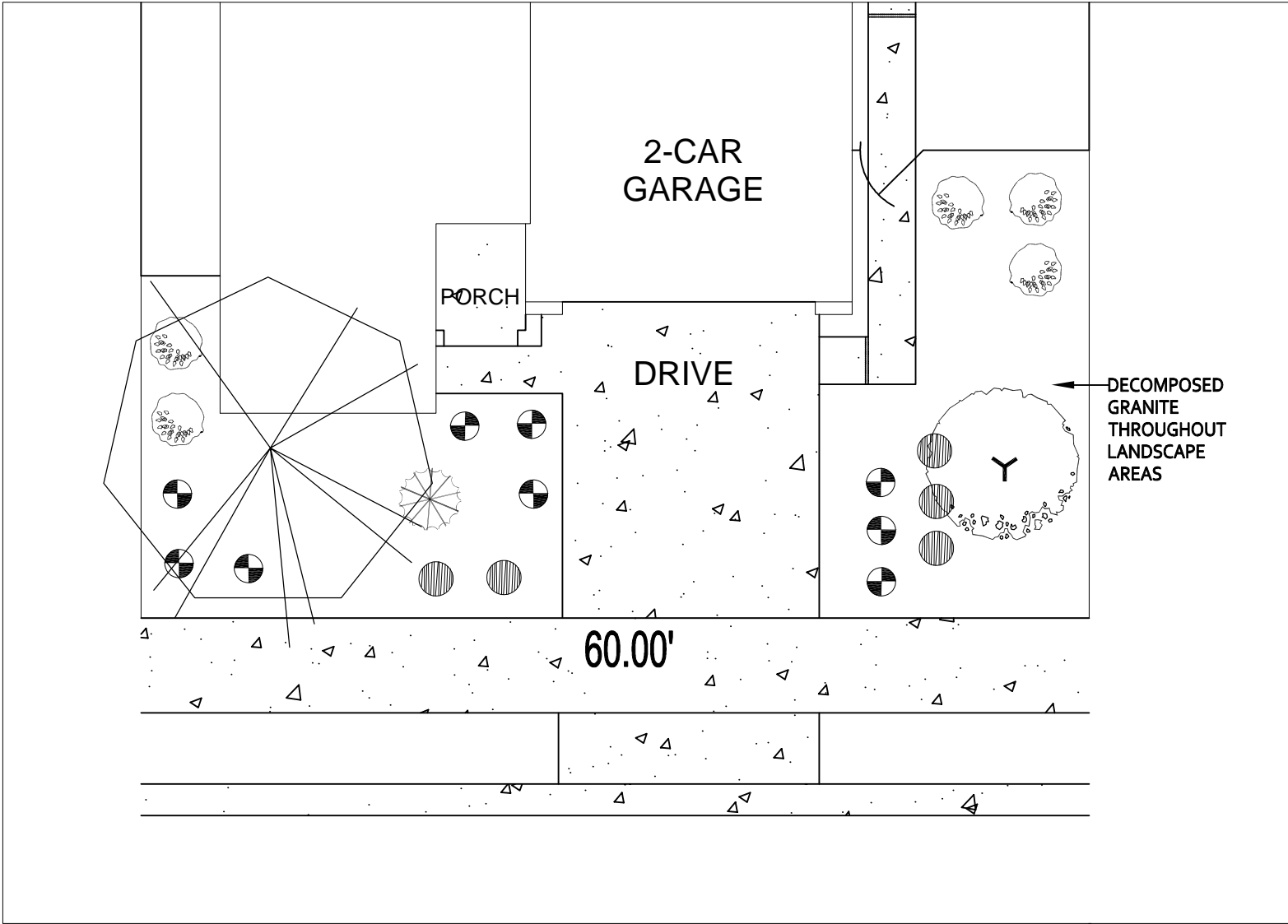
14 Ground Cover 1 gal.
Trailing Lantana
Little John Bottle Brush
Trailing Emu

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4022 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

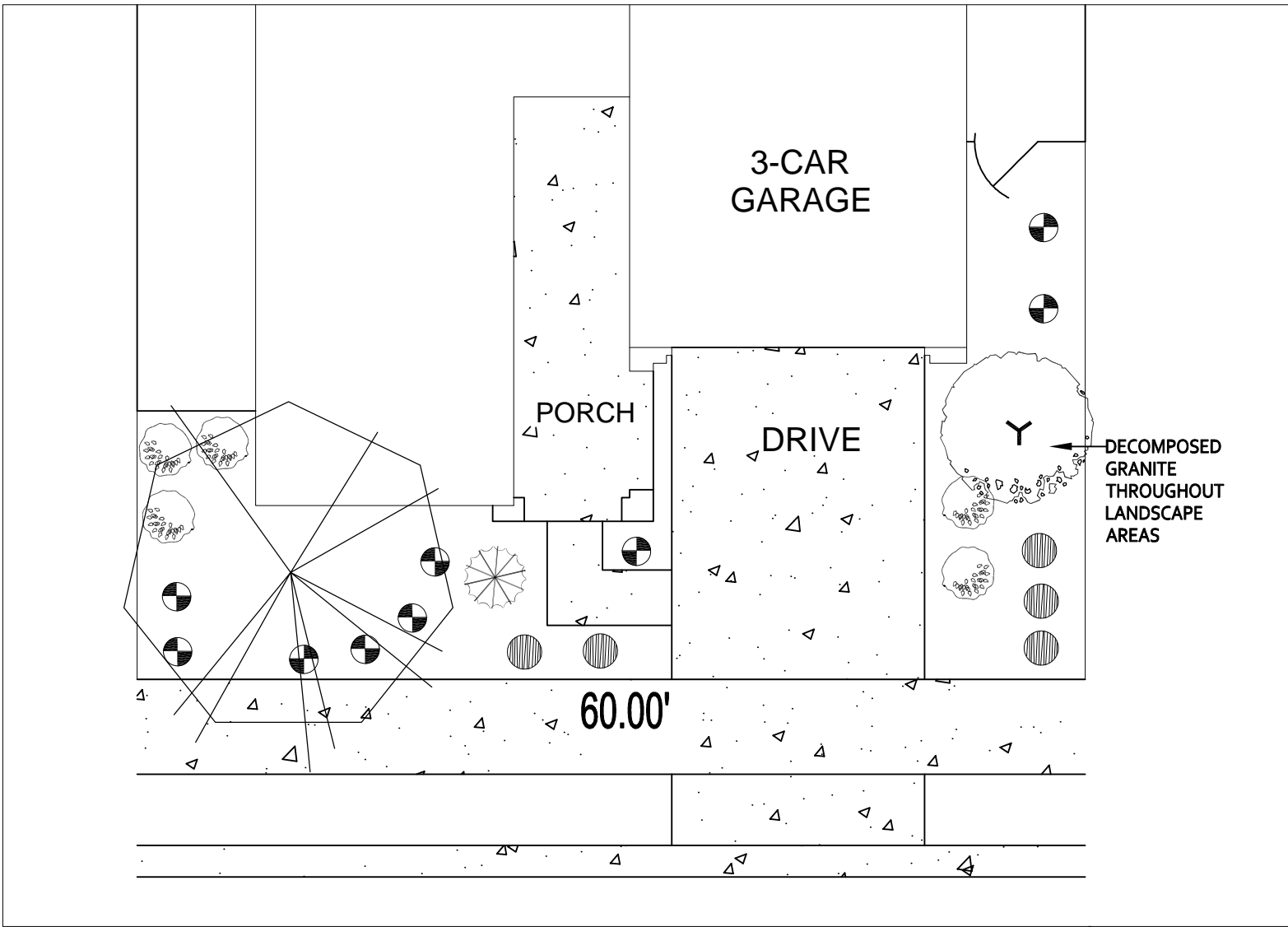
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4083 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

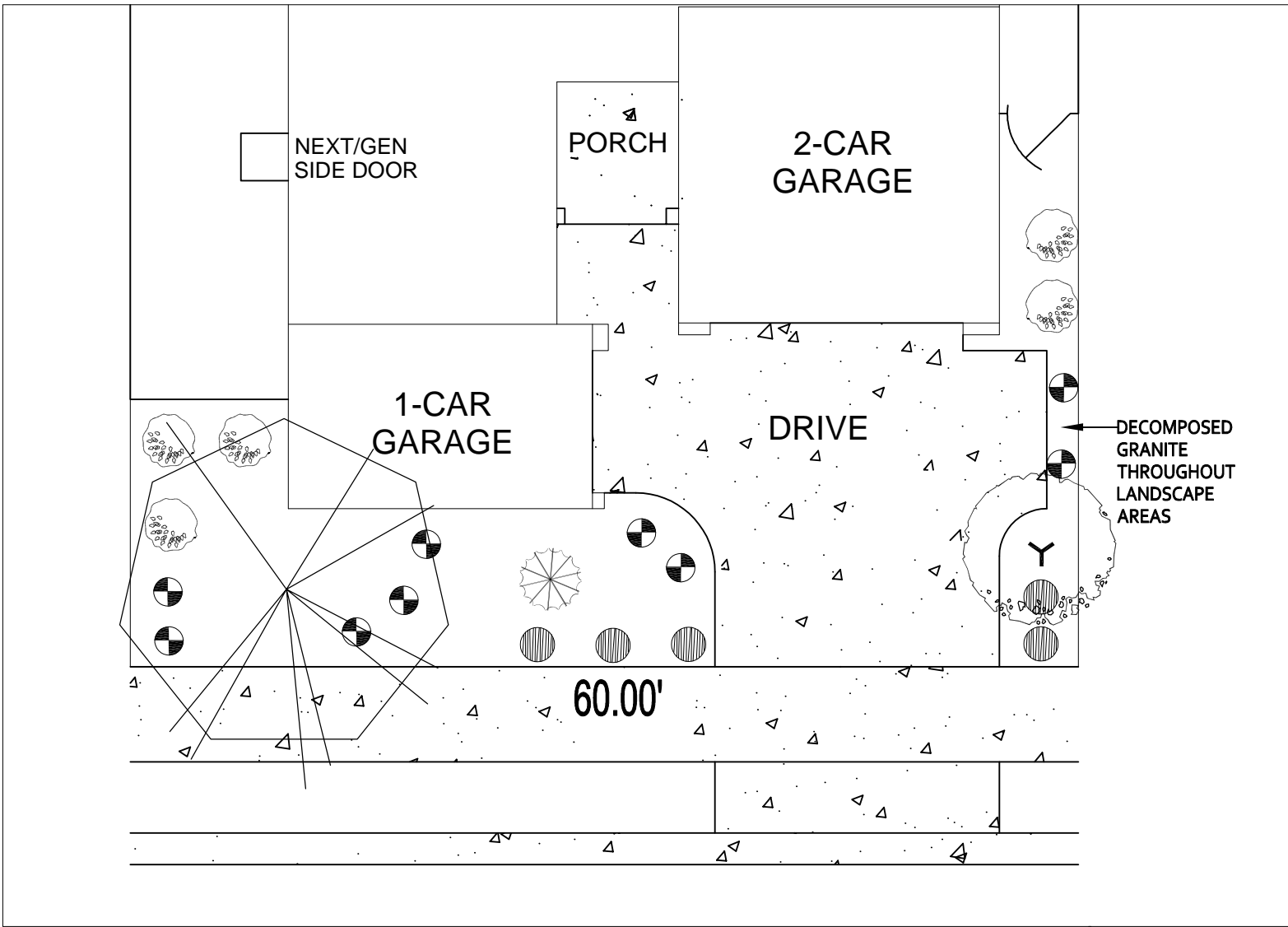
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4580 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree 24" Box
Hybrid Palo Verde
Sissoo



1 Desert Tree 24" Box
Desert Willow
Sweet Acacia



5 Desert Shrub 5 gal
Thunder Cloud Sage
Valentine Bush
Desert Ruelia



2 Desert Accent Shrub 5 gal
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea

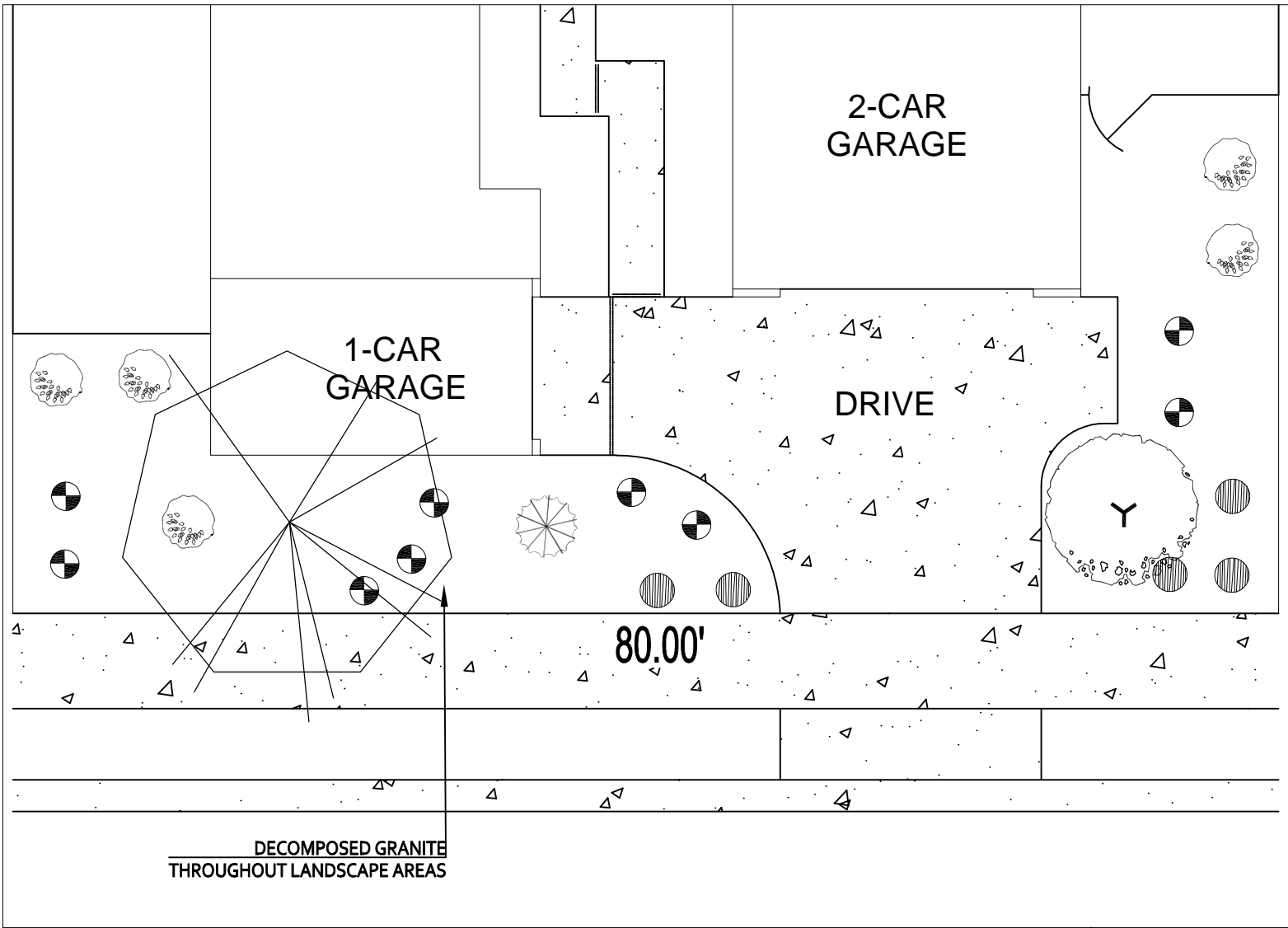
14 Ground Cover 1 gal.
Trailing Lantana
Little John Bottle Brush
Trailing Emu

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4585 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

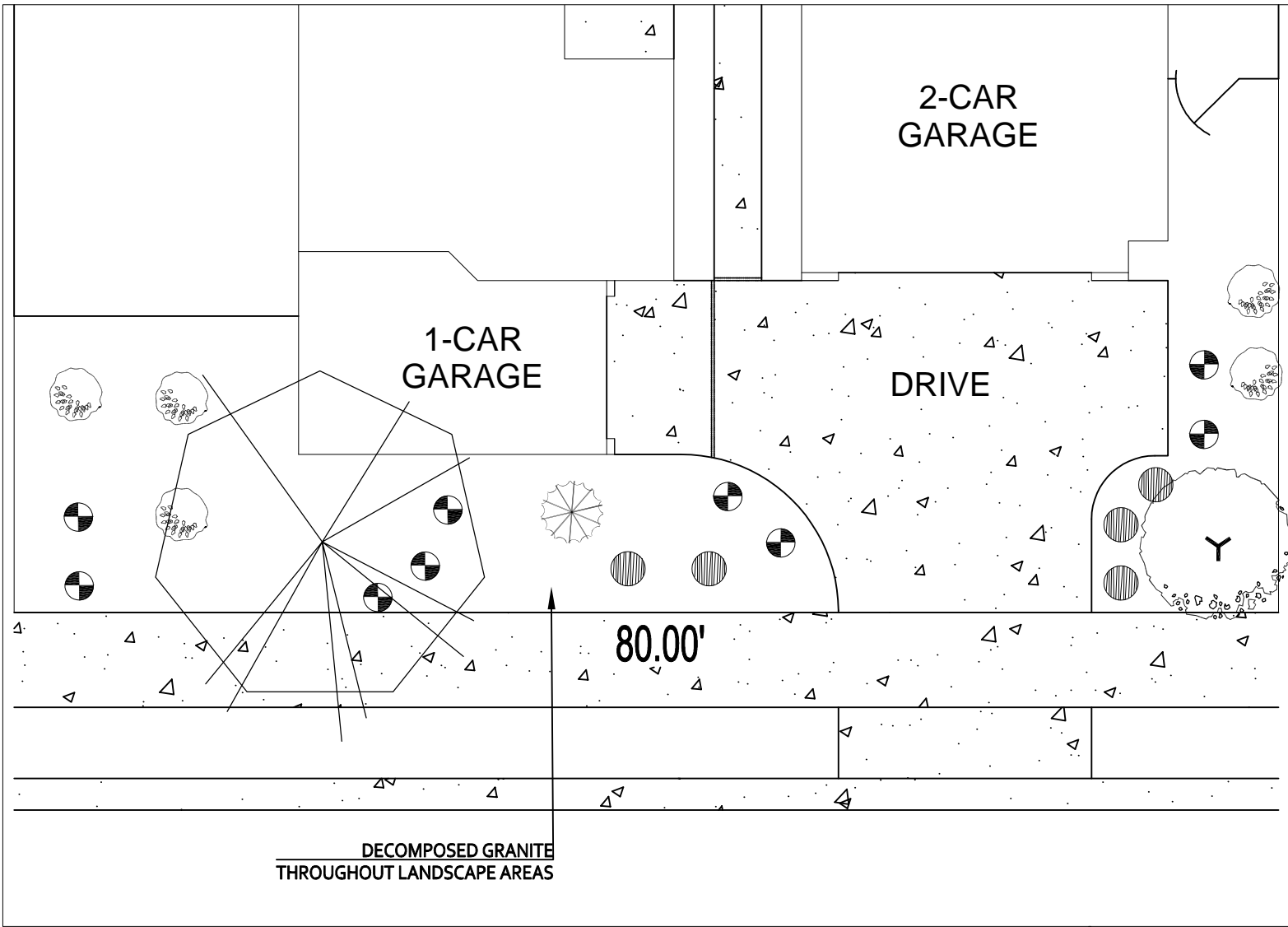
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 5580 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

Legend



1 Desert Shade Tree 24" Box
Hybrid Palo Verde
Sissoo



1 Desert Tree 24" Box
Desert Willow
Sweet Acacia



5 Desert Shrub 5 gal
Thunder Cloud Sage
Valentine Bush
Desert Ruelia



2 Desert Accent Shrub 5 gal
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea

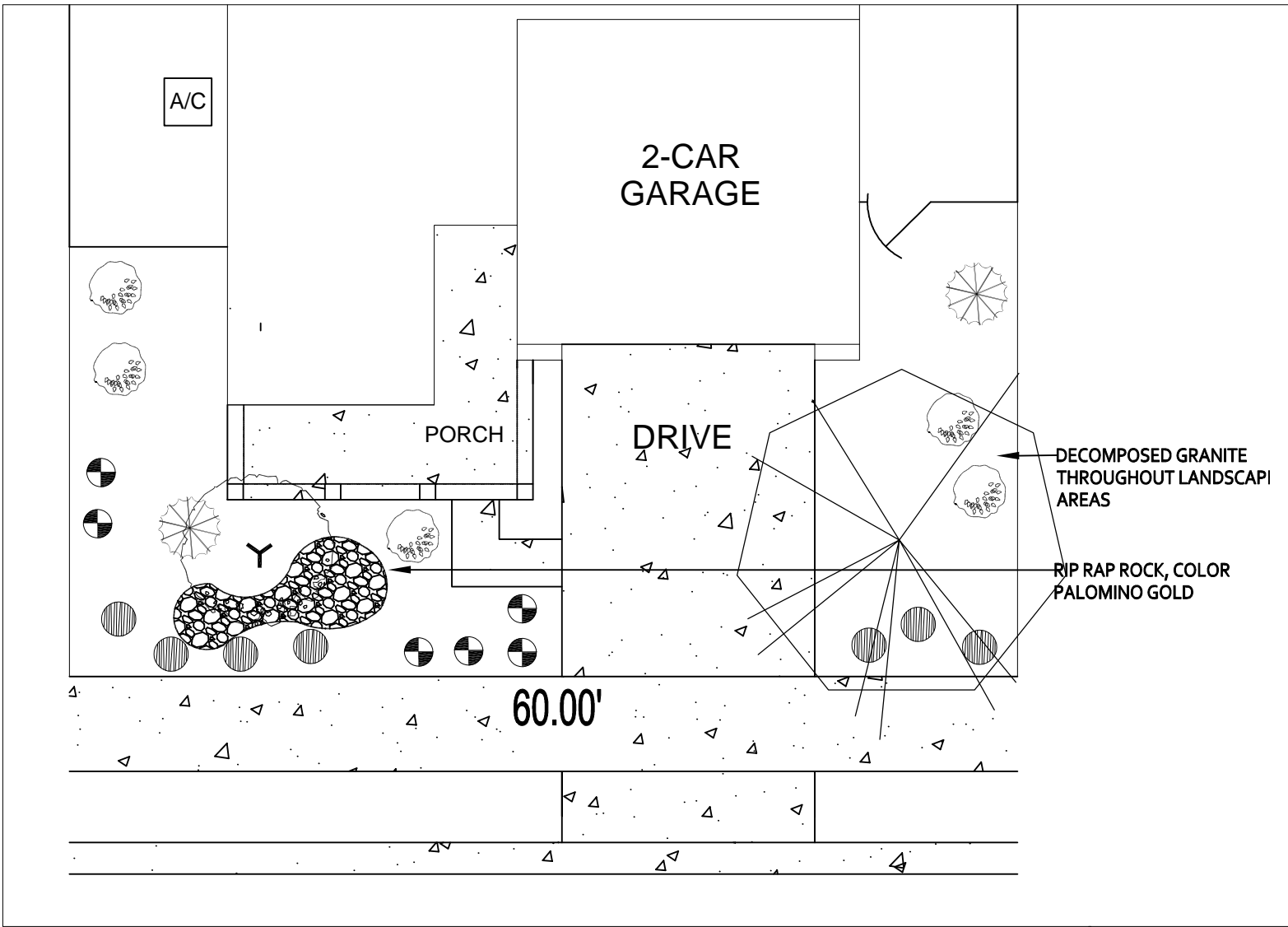
14 Ground Cover 1 gal.
Trailing Lantana
Little John Bottle Brush
Trailing Emu

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 5582 FRONT YARD TYPICAL 1





Scale 1"=10'-0"

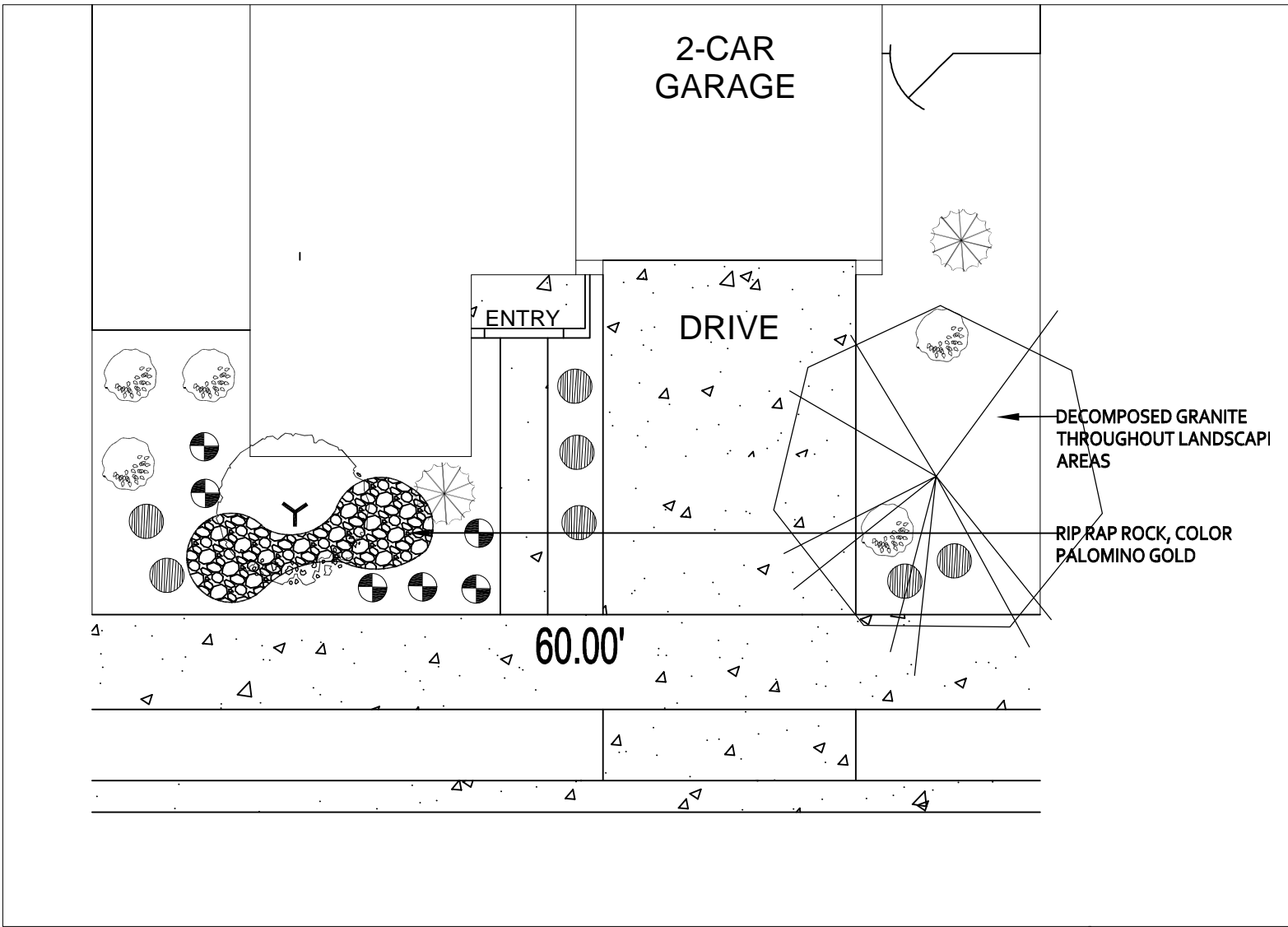
Legend

- | | | | | | | | |
|--|---|--|---------|--|----|--|--------|
| | 1 | Desert Shade Tree
Hybrid Palo Verde
Sissoo | 24" Box | | 14 | Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu | 1 gal. |
| | 1 | Desert Tree
Desert Willow
Sweet Acacia | 24" Box | | | | |
| | 5 | Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia | 5 gal | DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold | | | |
| | 2 | Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea | 5 gal | | | | |

Low Water Usage

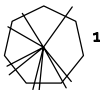
PLAN 4021 FRONT YARD TYPICAL 2





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



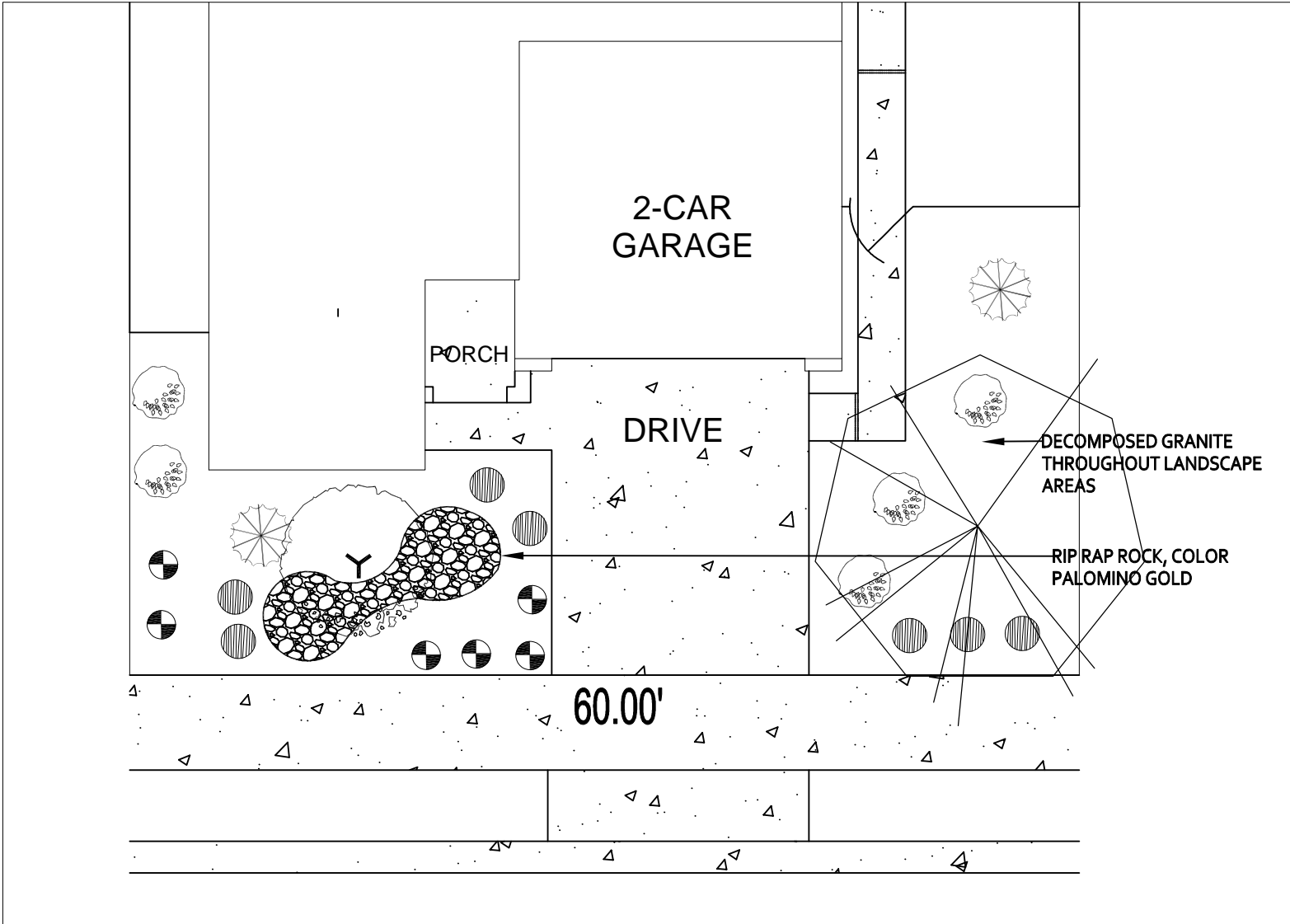
2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



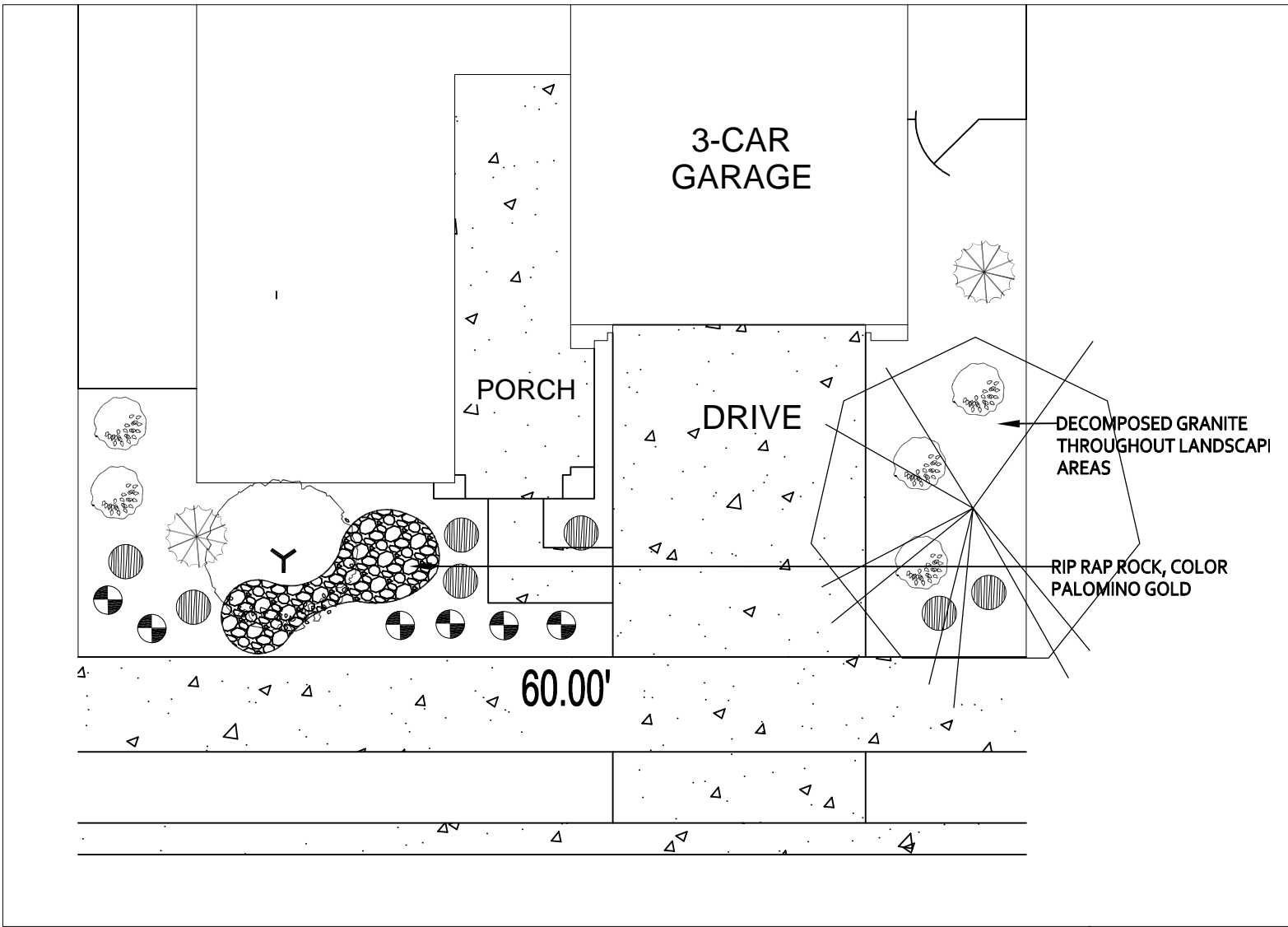
2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

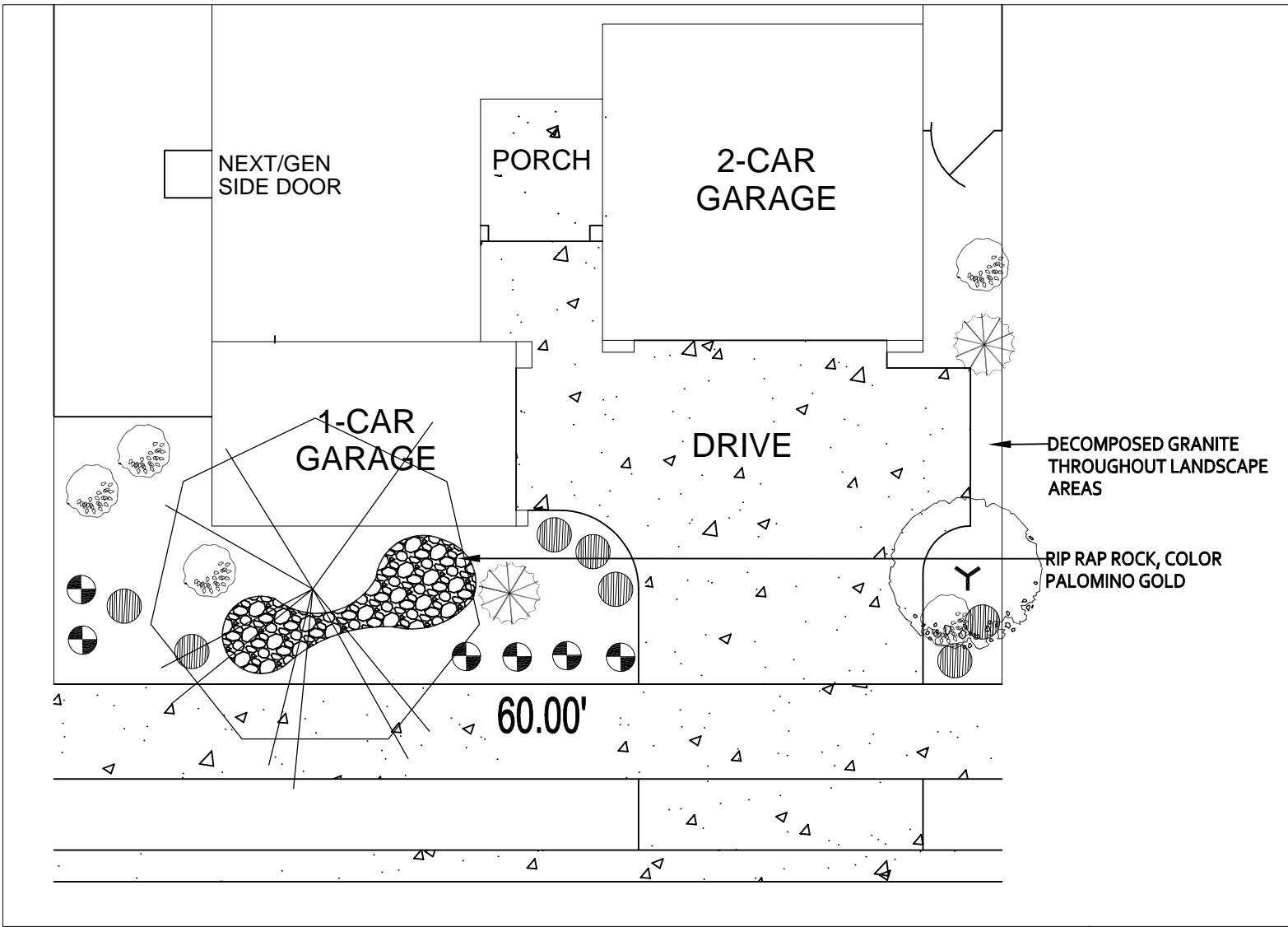
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4580 FRONT YARD TYPICAL 2





Scale 1"=10'-0"

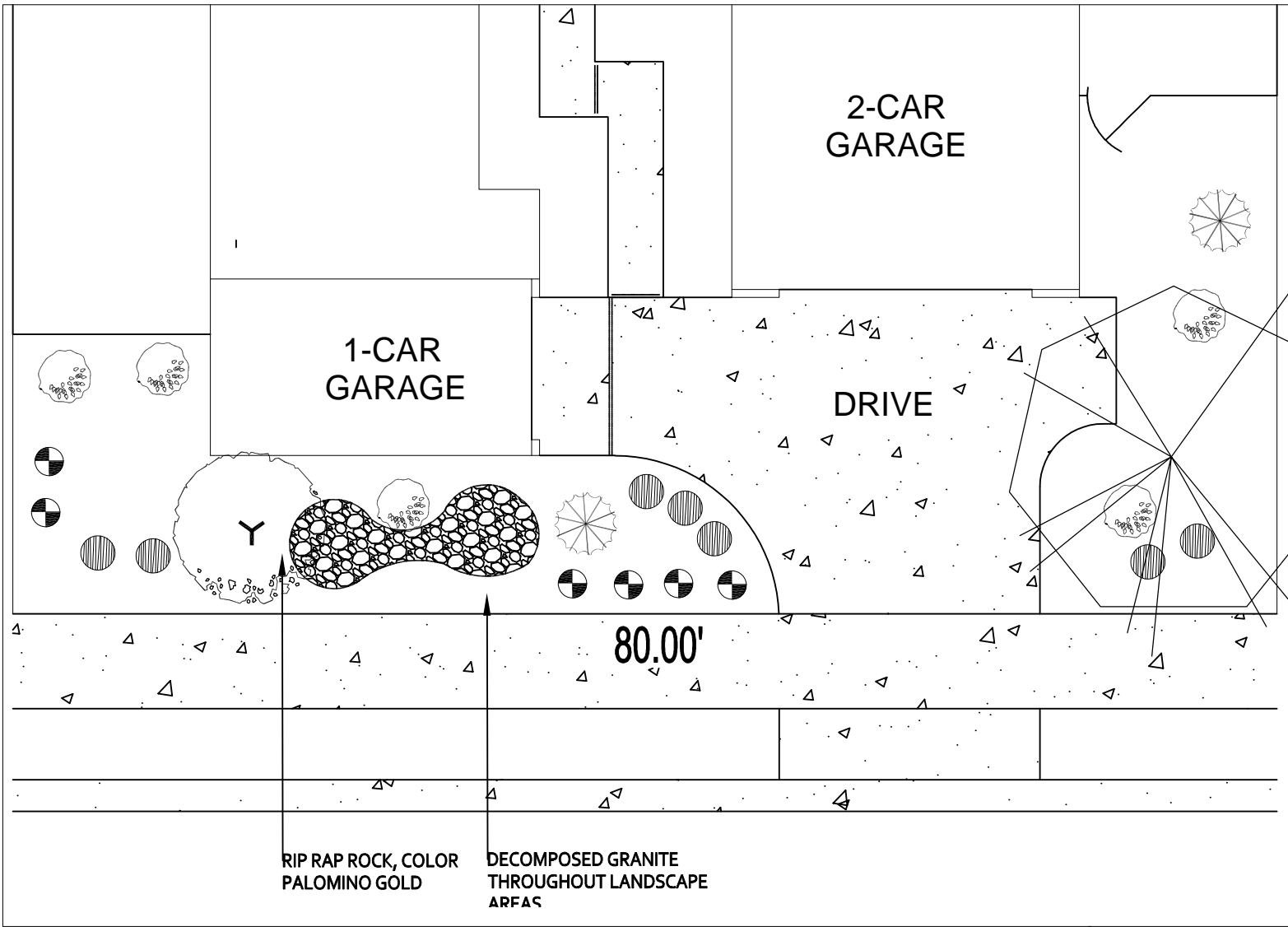
Legend

- | | | | | | |
|--|--|---------|--|---|--------|
| | 1 Desert Shade Tree
Hybrid Palo Verde
Sissoo | 24" Box | | 14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu | 1 gal. |
| | 1 Desert Tree
Desert Willow
Sweet Acacia | 24" Box | DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold | | |
| | 5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia | 5 gal | | | |
| | 2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea | 5 gal | | | |

Low Water Usage

PLAN 4585 FRONT YARD TYPICAL 2





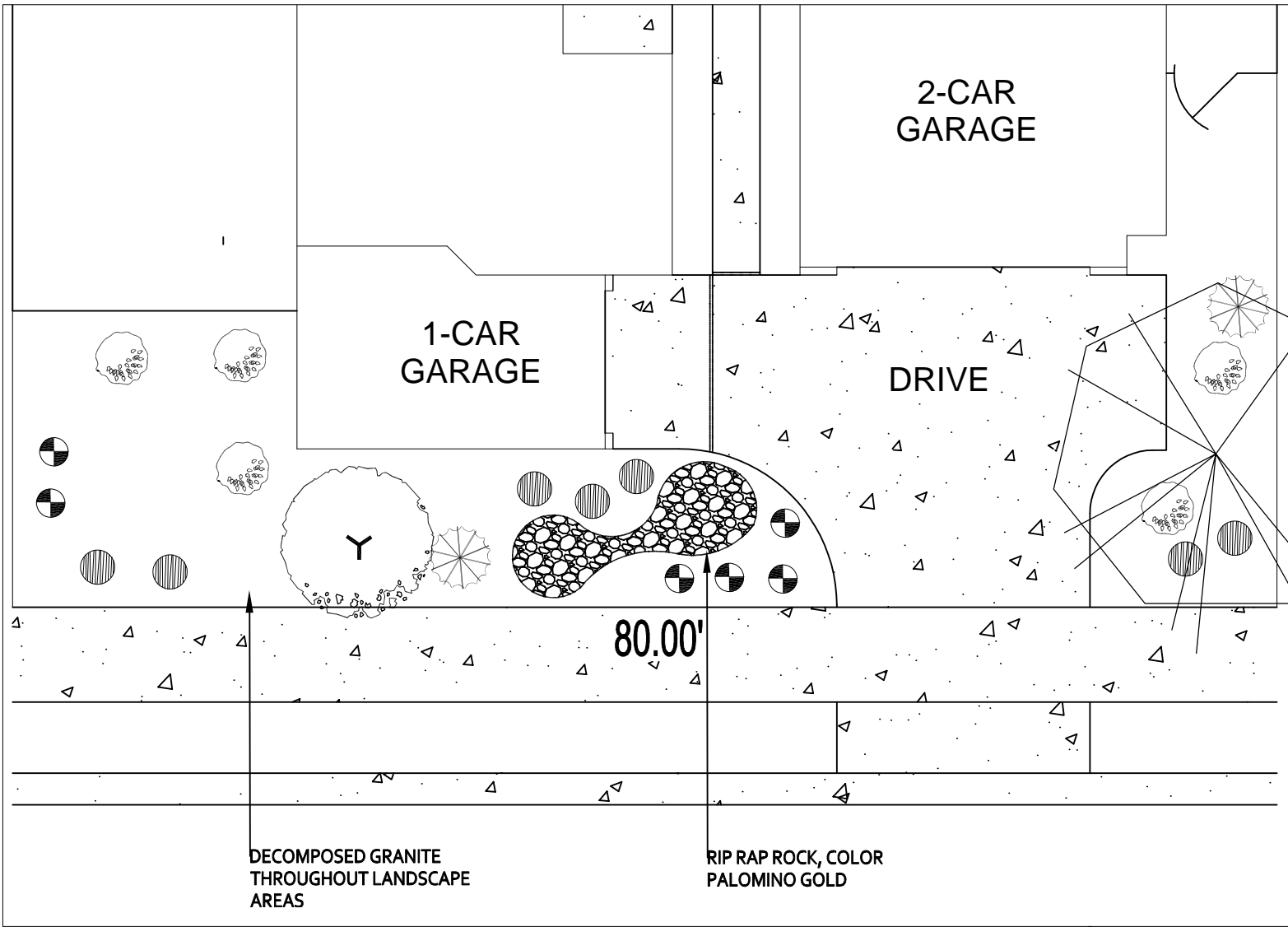
Scale 1"=10'-0"

Legend

- | | | | | | |
|--|--|---------|--|---|--------|
| | 1 Desert Shade Tree
Hybrid Palo Verde
Sissoo | 24" Box | | 14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu | 1 gal. |
| | 1 Desert Tree
Desert Willow
Sweet Acacia | 24" Box | DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold | | |
| | 5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia | 5 gal | | | |
| | 2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea | 5 gal | | | |

Low Water Usage





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



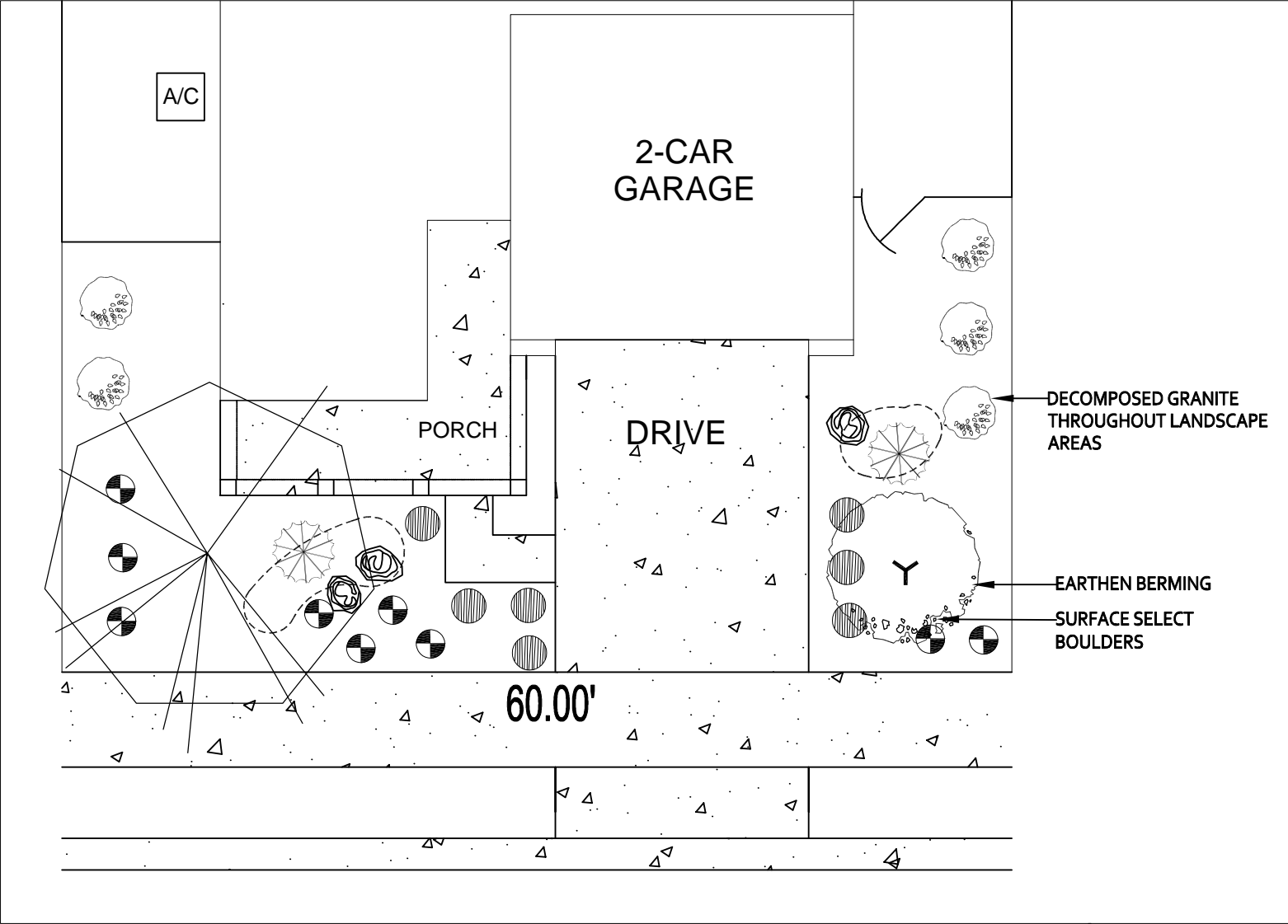
2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage





Scale 1"=10'-0"

Legend

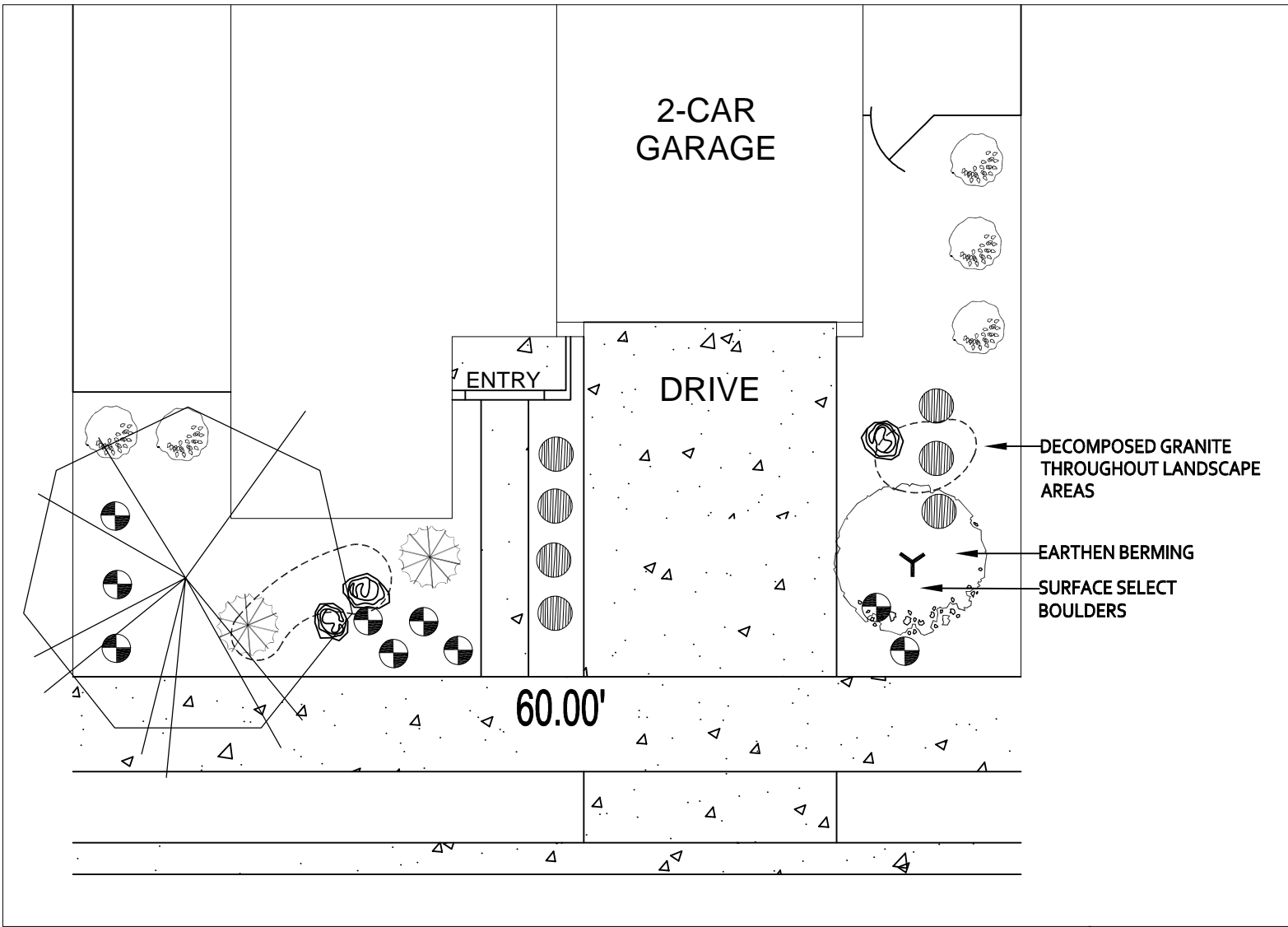
	1 Desert Shade Tree Hybrid Palo Verde Sissoo	24" Box		14 Ground Cover Trailing Lantana Little John Bottle Brush Trailing Emu	1 gal.
	1 Desert Tree Desert Willow Sweet Acacia	24" Box			
	5 Desert Shrub Thunder Cloud Sage Valentine Bush Desert Ruelia	5 gal			
	2 Desert Accent Shrub Hopseed Bush Arizona Yellow Bells Torchglow Bougainvillea	5 gal			

DECOMPOSED GRANITE: 3/4" Screened, 2" Depth, Palomino Gold

Low Water Usage

PLAN 4021 FRONT YARD TYPICAL 3





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

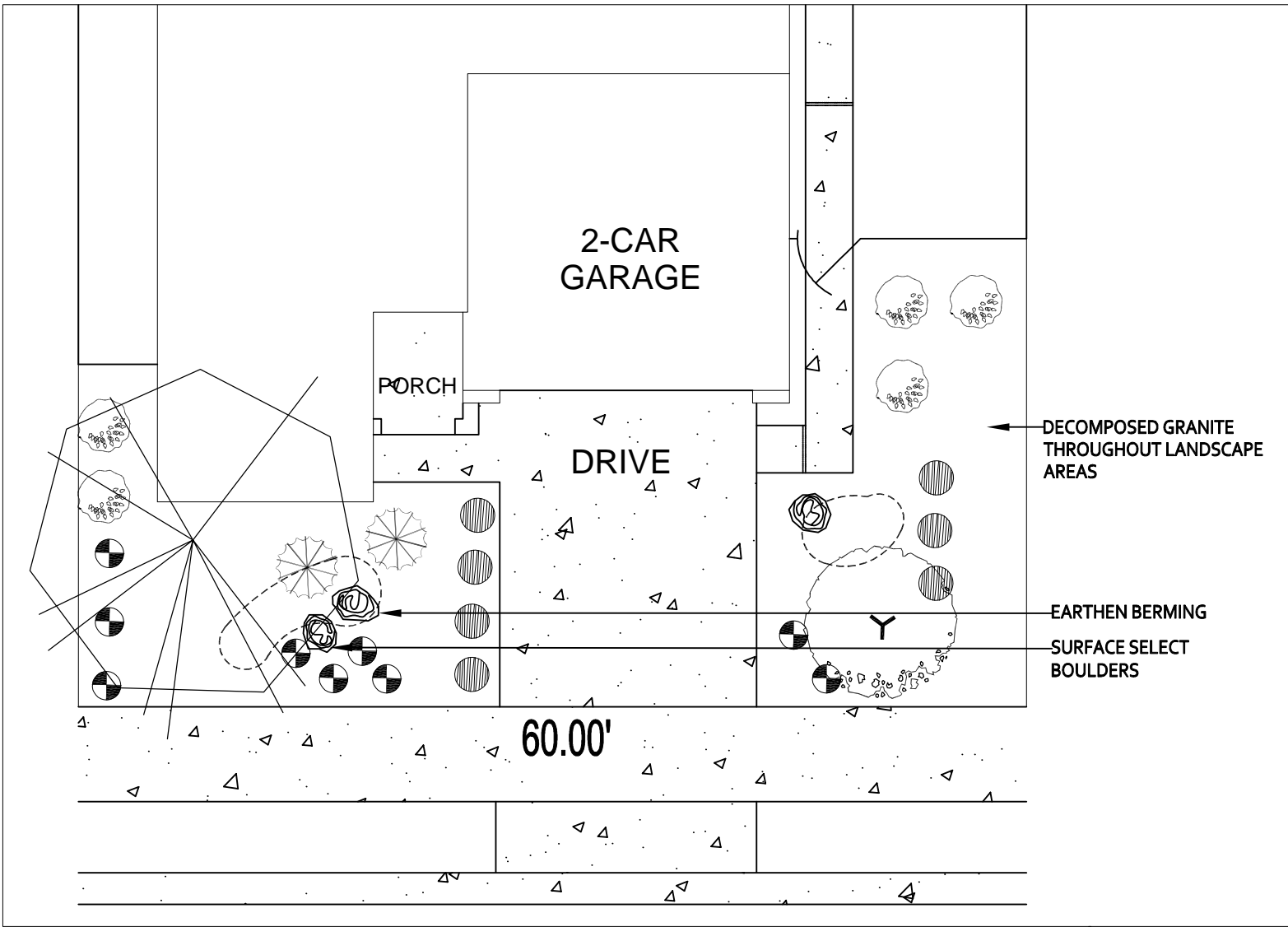
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4022 FRONT YARD TYPICAL 3





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



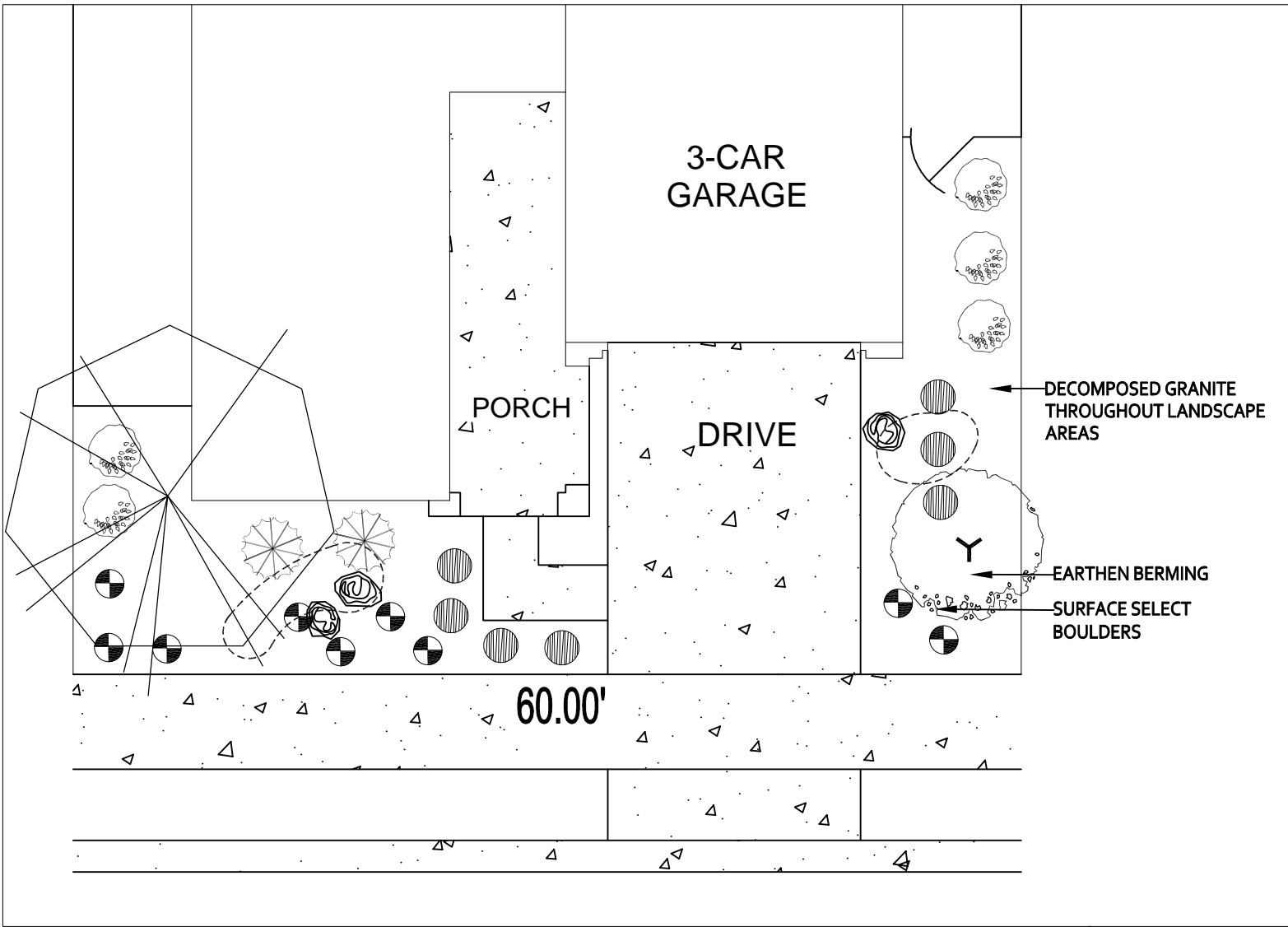
2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage





Scale 1"=10'-0"

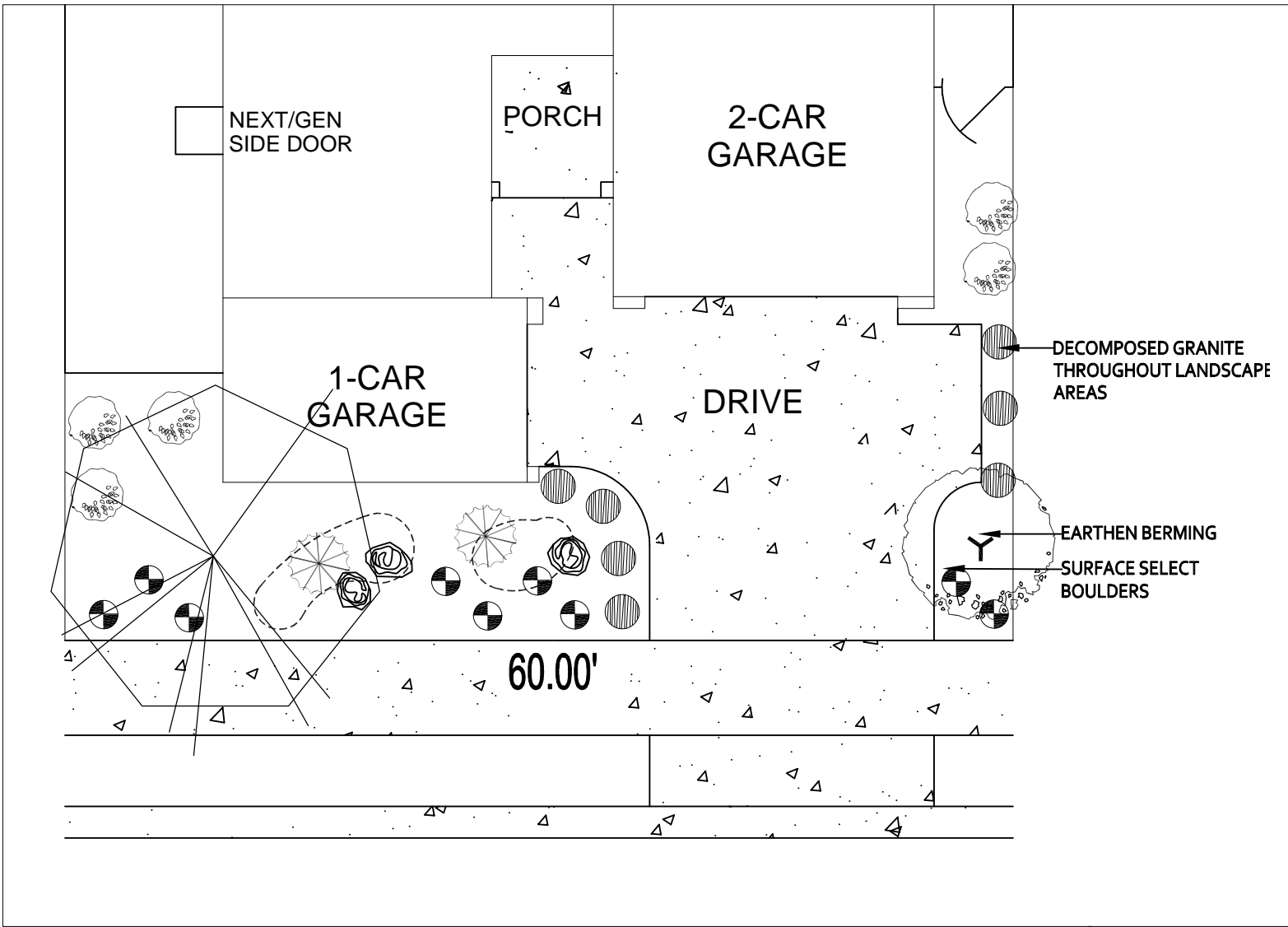
Legend

- | | | | | | |
|--|--|---------|--|---|--------|
| | 1 Desert Shade Tree
Hybrid Palo Verde
Sissoo | 24" Box | | 14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu | 1 gal. |
| | 1 Desert Tree
Desert Willow
Sweet Acacia | 24" Box | | | |
| | 5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia | 5 gal | | | |
| | 2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea | 5 gal | | | |
- DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 4580 FRONT YARD TYPICAL 3





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



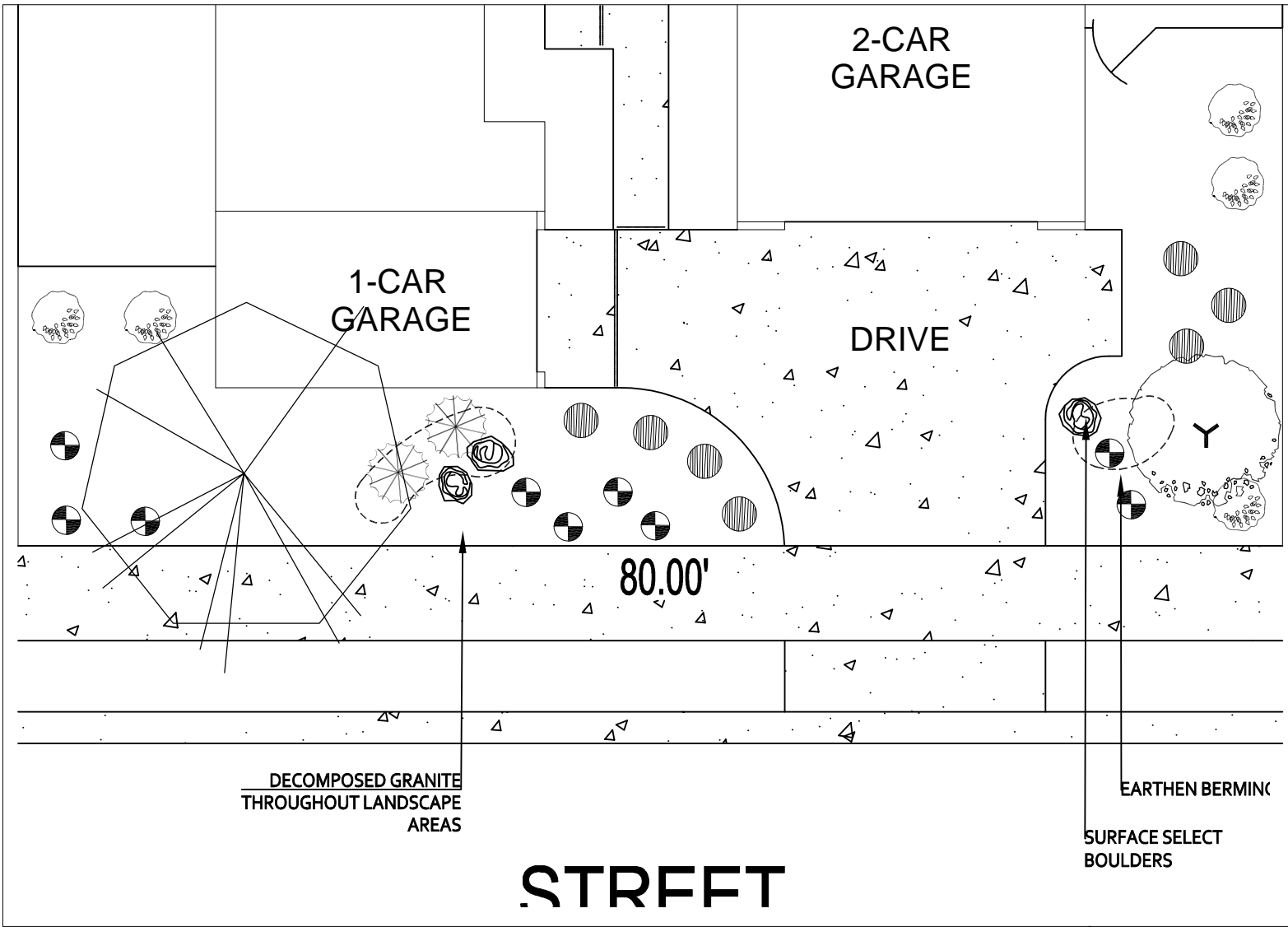
2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage





Scale 1"=10'-0"

Legend



1 Desert Shade Tree
Hybrid Palo Verde
Sissoo 24" Box



1 Desert Tree
Desert Willow
Sweet Acacia 24" Box



5 Desert Shrub
Thunder Cloud Sage
Valentine Bush
Desert Ruelia 5 gal



2 Desert Accent Shrub
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea 5 gal

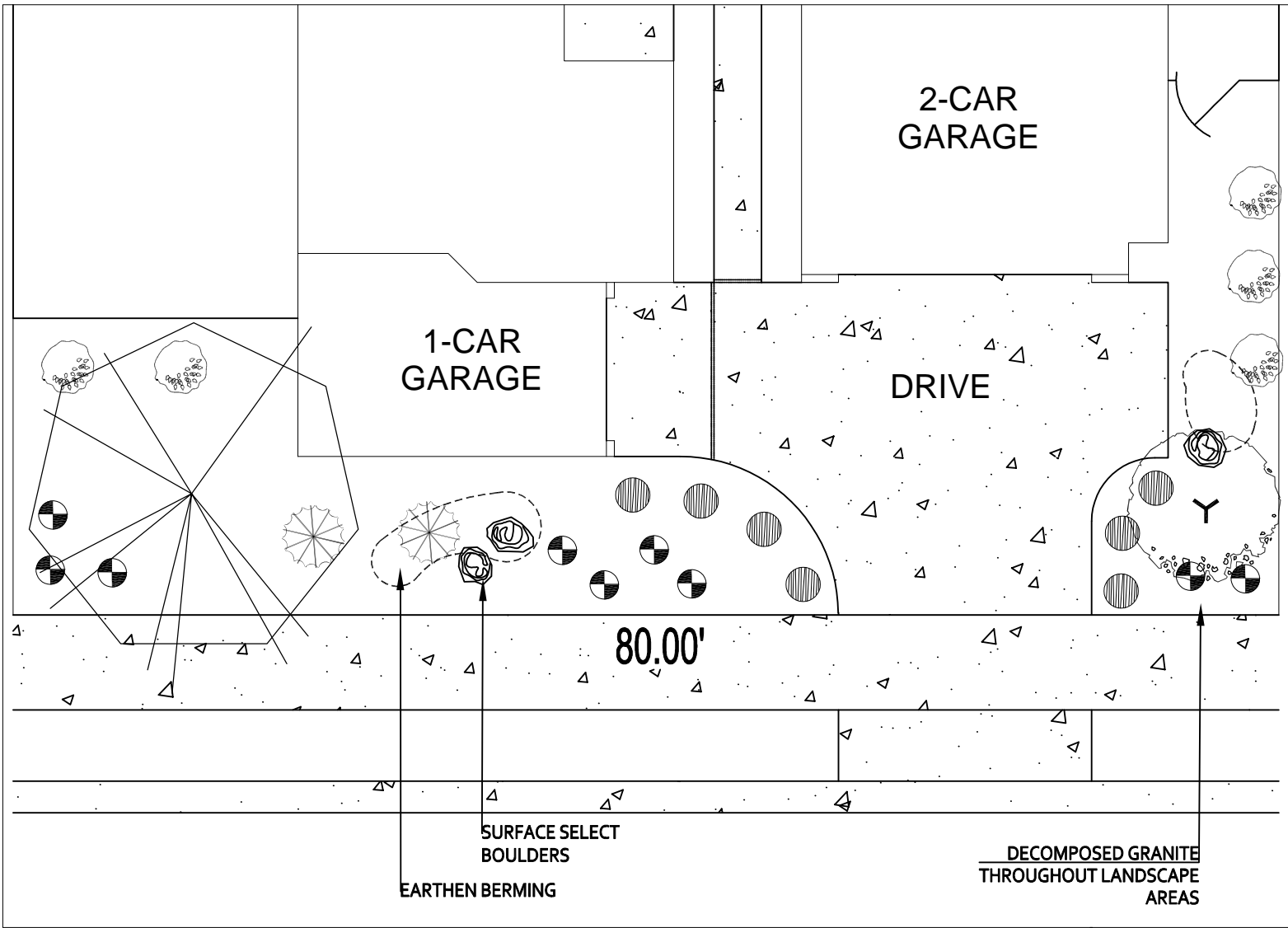
14 Ground Cover
Trailing Lantana
Little John Bottle Brush
Trailing Emu 1 gal.

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage

PLAN 5580 FRONT YARD TYPICAL 3





Scale 1"=10'-0"

Legend



1 Desert Shade Tree 24" Box
Hybrid Palo Verde
Sissoo



1 Desert Tree 24" Box
Desert Willow
Sweet Acacia



5 Desert Shrub 5 gal
Thunder Cloud Sage
Valentine Bush
Desert Ruelia



2 Desert Accent Shrub 5 gal
Hopseed Bush
Arizona Yellow Bells
Torchglow Bougainvillea

14 Ground Cover 1 gal.
Trailing Lantana
Little John Bottle Brush
Trailing Emu

DECOMPOSED GRANITE: 3/4" Screened, 2' Depth, Palomino Gold

Low Water Usage



DEDICATION

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

KNOW ALL MEN BY THESE PRESENTS:

THAT VIP EMPEROR ESTATES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS SUBDIVIDED UNDER THE NAME OF "NAUVOO STATION" A PORTION OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AND HEREBY PUBLISHES THIS PLAT AS AND FOR THE PLAT OF SAID "NAUVOO STATION" AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSION OF THE LOTS, STREETS, TRACTS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH LOT, STREET AND TRACT SHALL BE KNOWN BY THE NUMBER, NAME OR LETTER GIVEN EACH RESPECTIVELY ON SAID PLAT, AND VIP EMPEROR ESTATES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, DECLARANT, AS OWNER, HEREBY DEDICATES TO THE PUBLIC FOR USE AS SUCH THE STREETS AND HEREBY GRANTS TO THE PUBLIC THE DRAINAGE AND PUBLIC UTILITY EASEMENTS AS SHOWN ON THIS PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

TRACTS "A" THRU "QQ" ARE DESIGNATED AS OPEN SPACE, LANDSCAPE AND DRAINAGE EASEMENTS AND WILL BE OWNED AND MAINTAINED BY THE "NAUVOO STATION HOMEOWNERS ASSOCIATION."

TRACTS "TT", "UU", "VV", AND "WW" ARE DESIGNATED AS MEDIAN LANDSCAPE EASEMENTS AND WILL BE OWNED AND MAINTAINED BY THE "NAUVOO STATION HOMEOWNERS ASSOCIATION."

TRACT "SS", IS HEREBY DEDICATED AS A PARK SITE FOR RECREATIONAL AND PEDESTRIAN ACCESS EASEMENTS FOR PUBLIC USE AND WILL BE OWNED AND MAINTAINED BY THE "NAUVOO STATION HOMEOWNERS ASSOCIATION."

TRACT "RR" IS HEREBY DEDICATED TO THE QUEEN CREEK UNIFIED SCHOOL DISTRICT.

SIGHT VISIBILITY TRIANGLES ARE HEREBY DECLARED AS SHOWN.

VIP EMPEROR ESTATES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY HOLMES HOMES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY

IN WITNESS WHEREOF:

VIP EMPEROR ESTATES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS HERETO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS 26th DAY OF July OF 2006.

BY Evelyn H. Petersen, MANAGING MEMBER

ACKNOWLEDGMENT:

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

ON THIS THE 26th DAY OF July, 2006; BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED, EVELYN H. PETERSEN, AND ACKNOWLEDGED HERSELF TO BE THE MANAGING MEMBER OF VIP EMPEROR ESTATES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, AND BEING DULY AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF:

I HERE UNTO SET MY HAND & OFFICIAL SEAL

BY Renda Marie Nuttall, NOTARY PUBLIC, 08/31/09 MY COMMISSION EXPIRES

IN WITNESS WHEREOF:

HOLMES HOMES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS HERETO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE UNDERSIGNED OFFICER THEREUNTO DULY AUTHORIZED THIS 25 DAY OF July OF 2006.

BY Patrick Holmes, MANAGING MEMBER

ACKNOWLEDGMENT:

STATE OF ARIZONA }
COUNTY OF MARICOPA } SS

ON THIS THE 25th DAY OF July, 2006; BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED, PATRICK HOLMES, AND ACKNOWLEDGED HIMSELF TO BE THE MANAGING MEMBER OF HOLMES HOMES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, AND BEING DULY AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF:

I HERE UNTO SET MY HAND & OFFICIAL SEAL
BY Vicki L. Fleming, NOTARY PUBLIC, 08/31/09 MY COMMISSION EXPIRES

FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA
OWNER: VIP EMPEROR ESTATES, LLC

SHEET INDEX

- 1 DEDICATION, APPROVALS, VICINITY & KEY MAPS
2 TRACT TABLE, NOTES, DETAILS
3 - 11 PLAT SHEETS
12 LINE AND CURVE TABLES,
13 CURVE TABLES & LOT TABLES
14 LOT TABLES

BOOK 869 PAGE 38

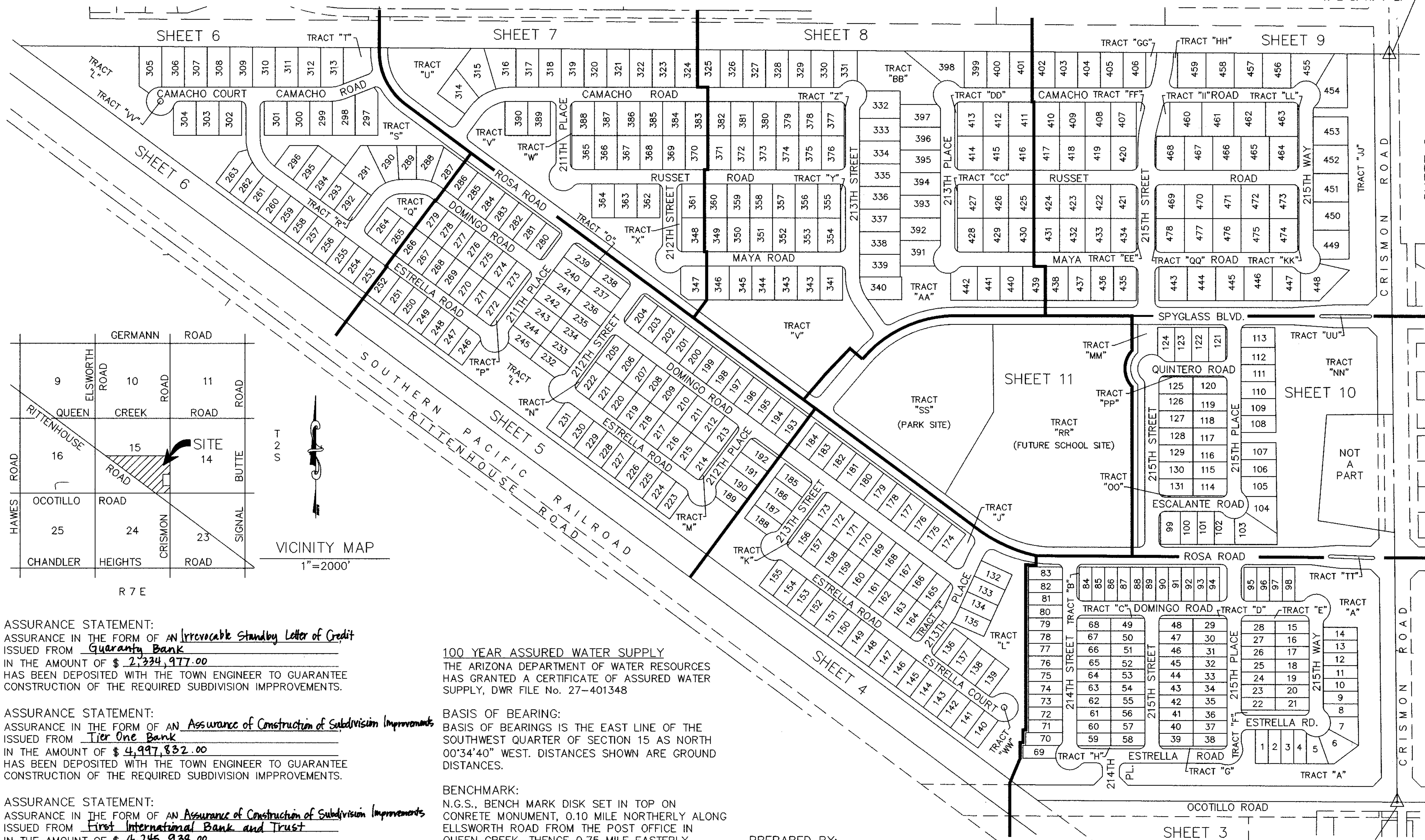
OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER HELEN PURCELL

2006-1283359

09/28/2006

11:38 AM

EAST 1/4 CORNER SECTION 15 T. 2 S. R. 7 E.



ASSURANCE STATEMENT: ASSURANCE IN THE FORM OF AN Irrevocable Standby Letter of Credit ISSUED FROM Guaranty Bank IN THE AMOUNT OF \$ 2,324,977.00 HAS BEEN DEPOSITED WITH THE TOWN ENGINEER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

100 YEAR ASSURED WATER SUPPLY THE ARIZONA DEPARTMENT OF WATER RESOURCES HAS GRANTED A CERTIFICATE OF ASSURED WATER SUPPLY, DWR FILE No. 27-401348

ASSURANCE STATEMENT: ASSURANCE IN THE FORM OF AN Assurance of Construction of Subdivision Improvements ISSUED FROM Tier One Bank IN THE AMOUNT OF \$ 4,997,832.00 HAS BEEN DEPOSITED WITH THE TOWN ENGINEER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BASIS OF BEARING: BASIS OF BEARINGS IS THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 15 AS NORTH 00°34'40" WEST. DISTANCES SHOWN ARE GROUND DISTANCES.

ASSURANCE STATEMENT: ASSURANCE IN THE FORM OF AN Assurance of Construction of Subdivision Improvements ISSUED FROM First International Bank and Trust IN THE AMOUNT OF \$ 4,245,938.00 HAS BEEN DEPOSITED WITH THE TOWN ENGINEER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BENCHMARK: N.G.S., BENCH MARK DISK SET IN TOP ON CONCRETE MONUMENT, 0.10 MILE NORTHERLY ALONG ELLSWORTH ROAD FROM THE POST OFFICE IN QUEEN CREEK, THENCE 0.75 MILE EASTERLY ALONG OCOTILLO ROAD, THENCE 0.10 MILE SOUTHEASTERLY ALONG THE SOUTHERN PACIFIC RAILROAD, 102 FEET NORTHEAST OF THE CENTER OF RITTENHOUSE ROAD, STAMPED "R 364 1967" ELEVATION = 1413.90 FEET (NAVD 88)

APPROVALS section with signatures of Mayor, Town Clerk, Engineering Manager, and Town Planning Manager.

PREPARED BY: FLEET - FISHER ENGINEERING, INC. 4250 E. CAMELBACK ROAD SUITE 410K PHOENIX, AZ. 85018 PHONE (602) 264-3335 RONALD C. FISHER, P.E., R.L.S. REGISTRATION NUMBER - #16533

SURVEYOR'S CERTIFICATION THIS IS TO CERTIFY THAT THE SURVEY AND DIVISION OF THE PREMISES DESCRIBED AND PLATTED HEREON WERE MADE UNDER MY DIRECTION DURING THE MONTH OF MARCH 2005, THAT THIS SURVEY IS COMPLETE AS SHOWN, THAT THE MONUMENTS AND LOT CORNERS SHOWN ACTUALLY EXIST OR WILL BE PERMANENTLY SET BY COMPLETION OF CONSTRUCTION. THAT THEIR POSITIONS ARE CORRECTLY SHOWN, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DEVELOPER: HOLMES HOMES, LLC 10764 E. LOBO AVENUE MESA, AZ. 85209 PHONE (801) 859-5723 FAX (801) 572-6598 CONTACT: PATRICK HOLMES



FLEET • FISHER ENGINEERING INC. 4250 EAST CAMELBACK RD., SUITE 410 K PHOENIX, AZ 85018 PH. (602) 264-3335

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ENGINEER'S COPY

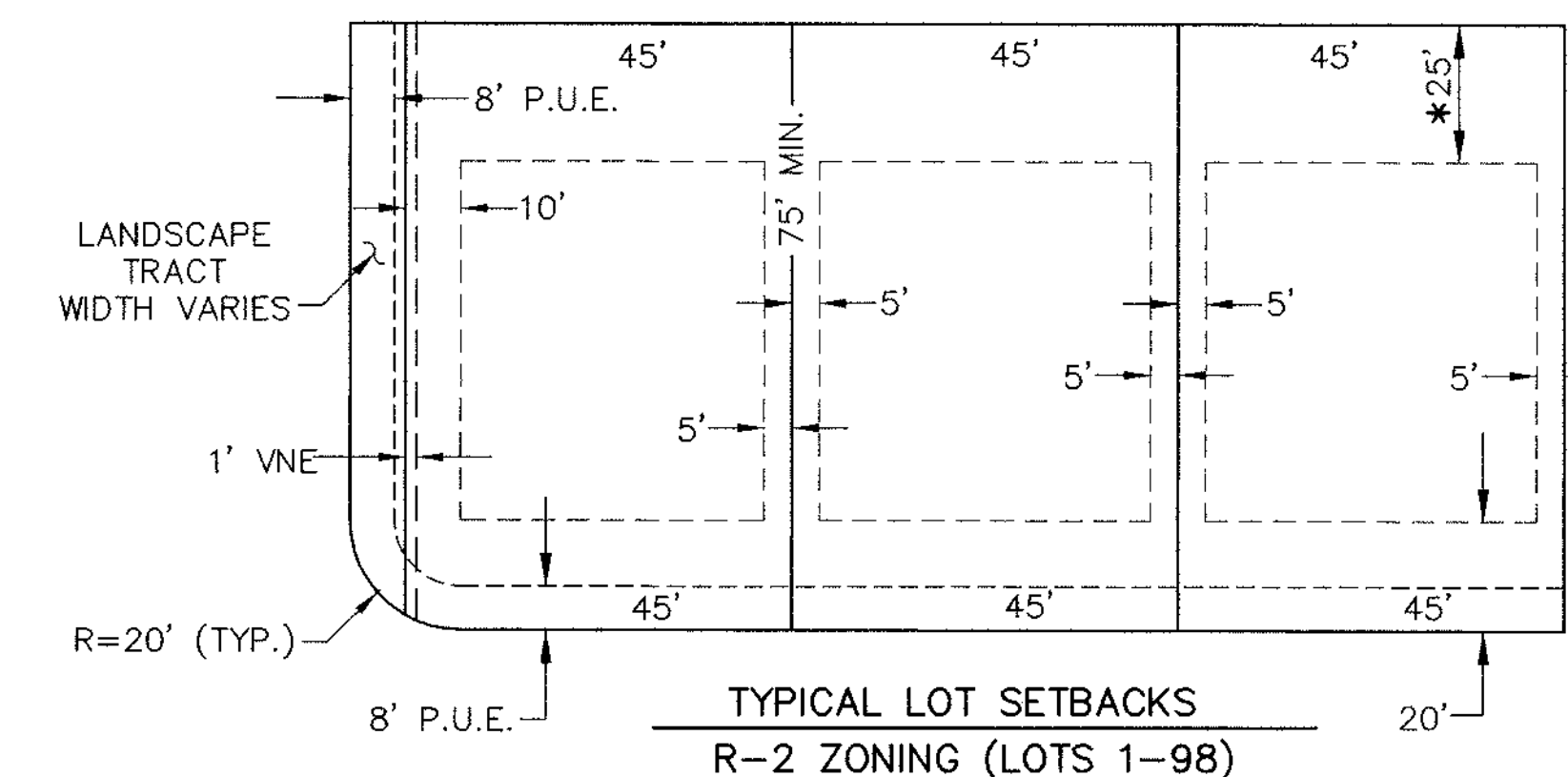
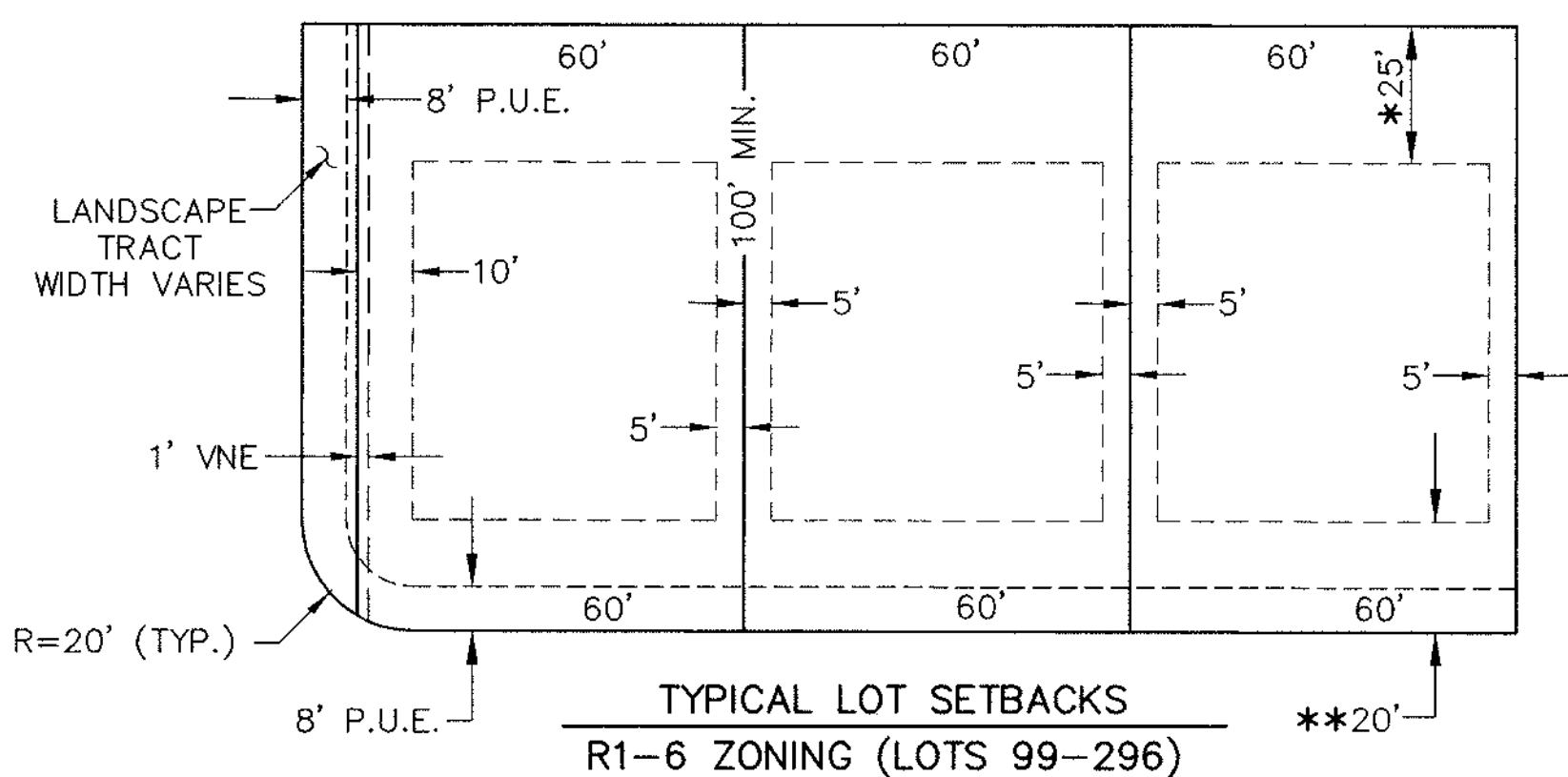
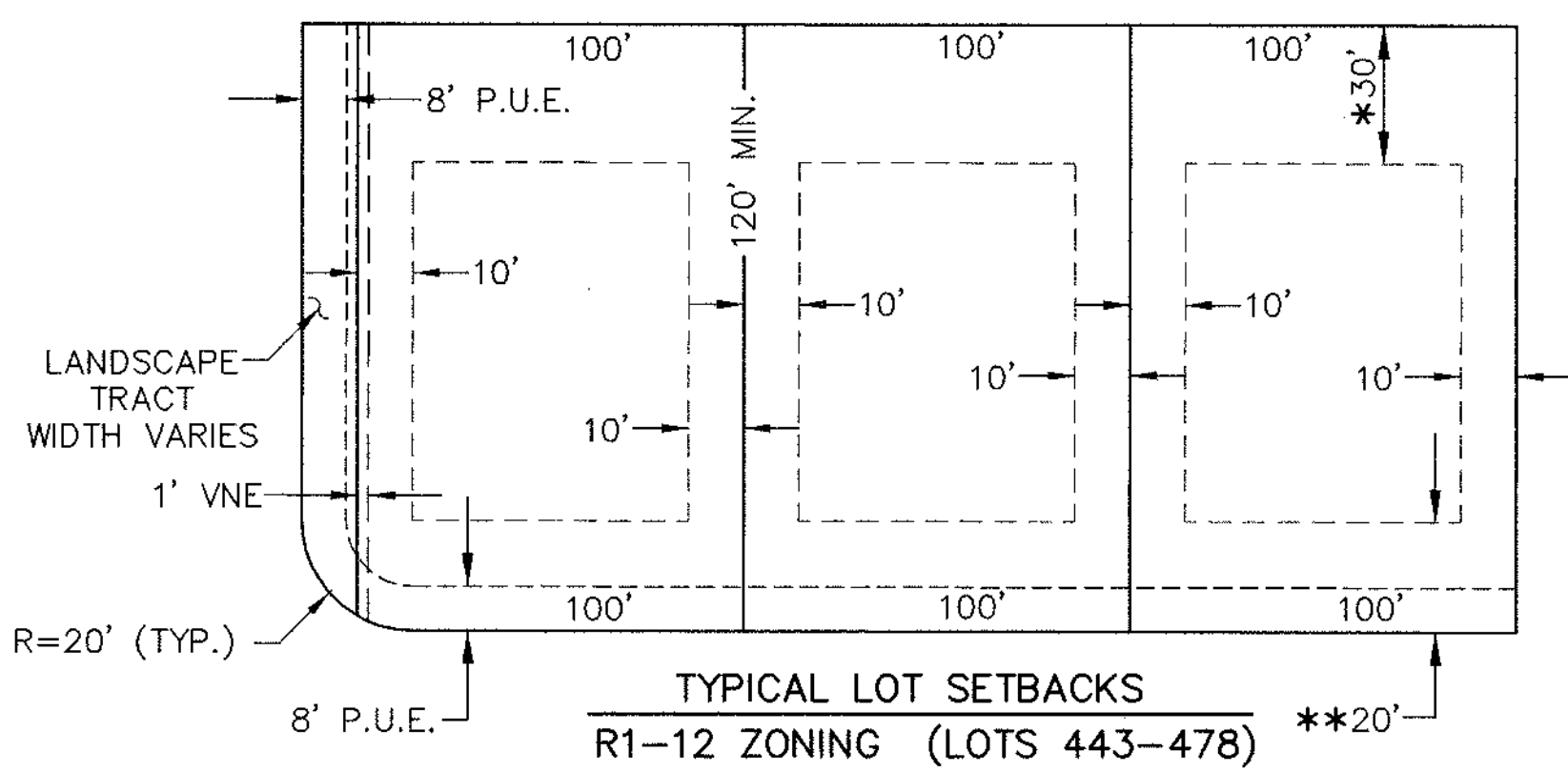
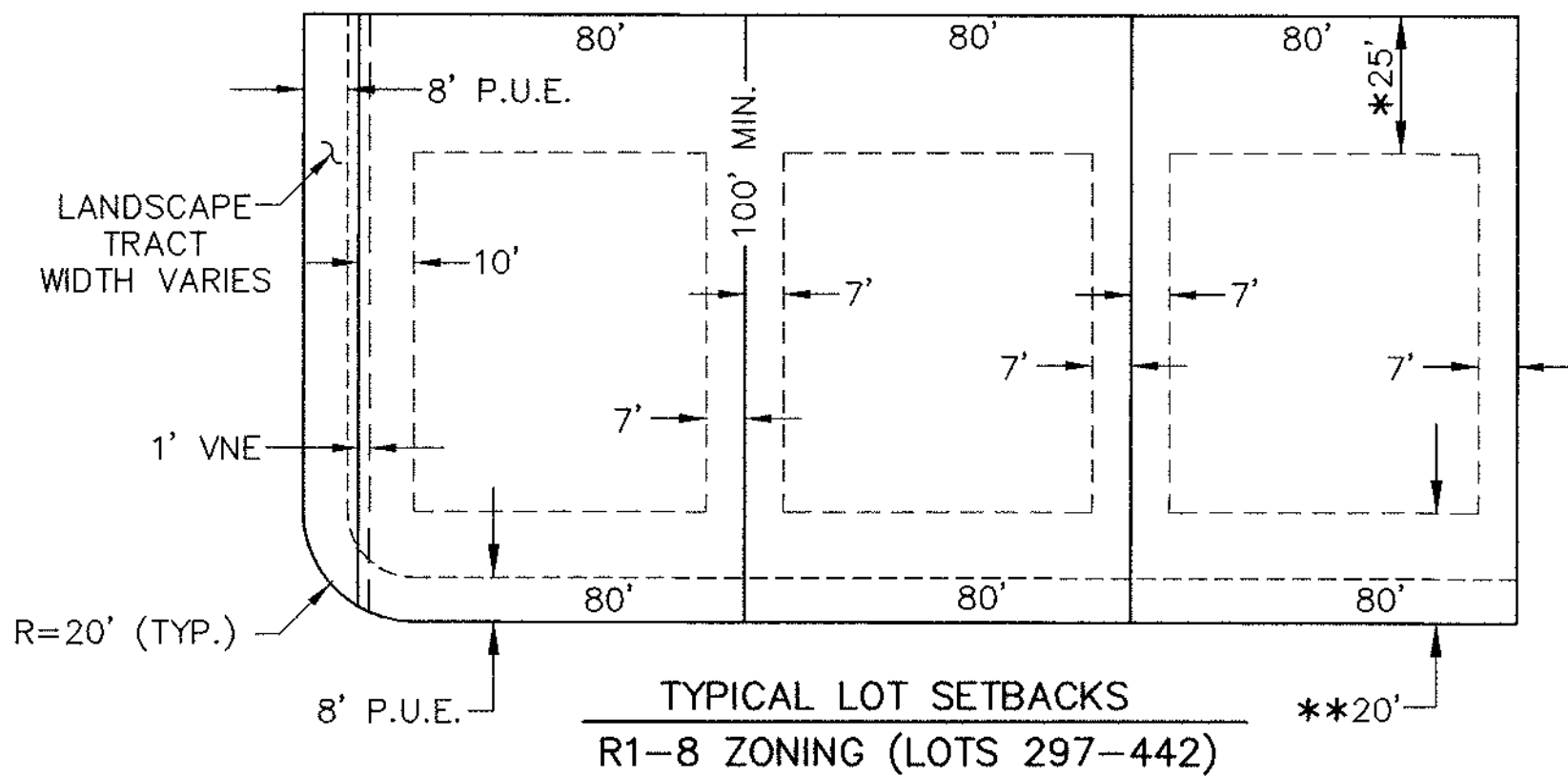
BUILDING SETBACKS NOTES

* NOTE: NO TWO STORY SINGLE FAMILY RESIDENCES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET FRONTAGE. BUILDING SETBACKS SHALL BE 25 FEET FOR ONE STORY UNITS AND 35 FEET FOR 2 STORY UNITS THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET FRONTAGE.

**NOTE: 15' FRONT SETBACK FOR SIDE ENTRY GARAGE.

NOTES:

1. A HOMEOWNERS ASSOCIATION WILL BE FORMED TO OWN AND MAINTAIN ALL COMMON AREAS.
2. ALL LANDSCAPING WITHIN ALL THE TRACTS, OPEN SPACES, LOCAL, COLLECTOR AND ARTERIAL STREET RIGHT-OF-WAY IS TO BE MAINTAINED BY THE NAUVOO STATION HOMEOWNERS ASSOCIATION.
3. ALL UTILITY AND PUBLIC SERVICE EASEMENTS, INCLUDING ANY LIMITATIONS OF EASEMENTS, AND CONSTRUCTION WITHIN SUCH EASEMENTS SHALL BE LIMITED TO UTILITIES, LANDSCAPING AND WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING.
4. ALL NEW AND RELOCATED UTILITIES, INCLUDING STREET LIGHTS AND ELECTRIC LINES UP TO AND INCLUDING 12.5 K.V. INSTALLED WITH THIS DEVELOPMENT, SHALL BE PLACED UNDERGROUND AS CONDITIONED UPON A PERMIT ISSUED BY THE TOWN OF QUEEN CREEK.
5. ALL ELECTRIC AND COMMUNICATION LINES TO BE CONSTRUCTED UNDERGROUND AS REQUIRED BY THE ARIZONA CORPORATION COMMISSION.
6. THE STORM WATER RETENTION VOLUMES REQUIRED BY THE DRAINAGE ORDINANCE HAVE BEEN MET. NO ALTERATIONS SHALL BE MADE TO THE STORM WATER RETENTION AREAS THAT ARE PART OF THESE PREMISES WITHOUT WRITTEN APPROVAL BY THE TOWN OF QUEEN CREEK.
7. NO STRUCTURES SHALL BE CONSTRUCTED IN OR ACROSS NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES THAT ARE A PART OF THIS SUBDIVISION WITHOUT WRITTEN AUTHORIZATION BY THE TOWN OF QUEEN CREEK.
8. NO STRUCTURE OF ANY KIND WILL BE CONSTRUCTED ON OR OVER OR PLACED WITHIN WATER, SEWER OR PUBLIC UTILITY EASEMENTS, EXCEPT WOOD, WIRE OR REMOVABLE TYPE FENCING. THE TOWN OF QUEEN CREEK SHALL NOT BE REQUIRED TO REPLACE ANY OBSTRUCTION OR PLANTING THAT MUST BE REMOVED DURING THE COURSE OF MAINTENANCE, CONSTRUCTION, OR RECONSTRUCTION OF TOWN UTILITIES.
9. NO STRUCTURES OF ANY KIND SHALL BE CONSTRUCTED, NOR ANY INAPPROPRIATE VEGETATION BE PLANTED OR ALLOWED TO GROW WITHIN, ON OR OVER THE DRAINAGE EASEMENT WHICH WOULD OBSTRUCT OR DIVERT THE FLOW OF STORM WATER. ALL OTHER EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENT. THE TOWN OF QUEEN CREEK MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND IN THE EASEMENT AREAS.
10. NO TWO STORY SINGLE FAMILY RESIDENCES SHALL BE PERMITTED ALONG ANY ARTERIAL STREET FRONTAGE. REAR BUILDING SETBACKS SHALL BE 25 FEET FOR ONE-STORY UNITS AND 35 FEET FOR TWO STORY UNITS THAT BACK ONTO ANY LOCAL OR COLLECTOR STREET FRONTAGE.
11. THIS SITE IS NEAR "WILLIAMS GATEWAY AIRPORT." THIS SUBDIVISION'S PROXIMITY IS LIKELY TO EXPERIENCE AIRCRAFT OVER/FLIGHTS, WHICH COULD GENERATE NOISE LEVELS, WHICH MAY BE OF CONCERN TO SOME INDIVIDUALS. THE MIX OF AIRCRAFT CONSISTS OF CARGO, COMMERCIAL, CHARTER, CORPORATE, GENERAL AVIATION AND MILITARY AIRCRAFT. FOR ADDITIONAL INFORMATION CONTACT THE ARIZONA DEPARTMENT OF REAL ESTATE AT (602) 468-1414 OR WILLIAMS GATEWAY AIRPORT PUBLIC RELATIONS OFFICE AT (480) 988-7600.
12. THIS PROPERTY IS WITHIN ONE HALF MILE OF AGRICULTURAL AND CROP DUSTING OPERATIONS THAT EXIST EAST OF THE NORTH BOUNDARIES OF THE SITE. FURTHER, GENERAL AGRICULTURAL OPERATIONS EXIST IN THE AREA AND THE SITE IS LOCATED WHERE THERE IS LIKELY TO BE NOISE, DUST, AND POSSIBLY ODORS NORMALLY ASSOCIATED WITH AGRICULTURAL OPERATIONS. ADDITIONALLY, THIS SITE IS LOCATED IN AN AREA WHERE THERE ARE AIRCRAFT OPERATIONS ASSOCIATED WITH AGRICULTURE.
13. THIS SITE IS NEAR OR ADJACENT TO AN ACTIVE DAIRY. NOISE, ODOR, AND DUST ARE COMMON EXPERIENCES OF THIS LAND USE ACTIVITY.
14. THIS PROPERTY IS LOCATED WITHIN 1,000 FEET OF QUEEN CREEK HIGH SCHOOL SITE, WHEREBY THERE MAY BE SUBSTANTIAL AMOUNTS OF TRAFFIC, NOISE AND LIGHT POLLUTION ASSOCIATED WITH SCHOOL EVENTS SUCH AS BUT NOT LIMITED TO: FINE ARTS, OUTDOOR SPORTING EVENTS, AND GRADUATION CEREMONIES.
15. FUTURE INDUSTRIAL AND COMMERCIAL SITES TO BE LOCATED SOUTH OF THE OCOTILLO AND CRISMON ROAD INTERSECTION AND RESIDENTS IN THE GENERAL VICINITY MAY BE SUBJECT TO NOISE, LIGHT, AND TRAFFIC IMPACTS.
16. THE NAUVOO STATION HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTAINING OR, IF NECESSARY, IMPROVING THE STORM WATER RETENTION SYSTEM TO DRAIN WITHIN THIRTY-SIX (36) HOURS AFTER A STORM AND TO PROVIDE THE APPROVED DESIGN RETENTION VOLUME. (PER STIP. 14-ORD. 280-04).
17. THIS PROPERTY IS ADJACENT TO A PRIVATE AIR STRIP THAT EXISTS ON THE NORTH BORDER OF THE PROJECT.
18. FOR ALL PROPERTIES WITHIN 300 FEET OF THE SOUTHERN PACIFIC RAIL LINE, DEVELOPER SHALL TAKE A PROACTIVE EFFORT TO ENSURE THAT THE HOME BUILDERS USE GENERALLY ACCEPTED NOISE/SOUND ATTENUATION MEASURES FOR CONSTRUCTION OF THE BUILDING CONSISTENT WITH THE NOISE ATTENUATION MEASURES ADOPTED WITH THE TOWN OF QUEEN CREEK ORDINANCE.



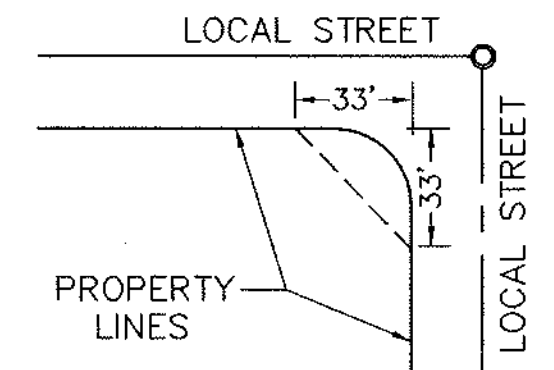
FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

ZONING TABLE

ZONING DISTRICT	MINIMUM AREA	MINIMUM WIDTH	MAXIMUM WIDTH	MINIMUM DEPTH	MAXIMUM DEPTH	MAXIMUM LOT COVERAGE	LOT RANGE
R-2	6,000 S.F.	45 FEET	100 FEET	80 FEET	-	50%	1 - 98
* R1-6	6,000 S.F.	60 FEET	-	-	-	40%	99 - 296
* R1-8	8,000 S.F.	80 FEET	-	-	-	40%	297 - 442
R1-12	12,000 S.F.	100 FEET	130 FEET	120 FEET	140 FEET	35%	443 - 478

* HOUSES BUILT IN THE R1-6 & R1-8 ZONING DISTRICTS WILL BE ALLOWED AND INCREASE IN LOT COVERAGE TO 45% WHERE FRONT PORCHES ARE PROVIDED THAT ARE A MINIMUM OF 120 SQUARE FEET AND 8 FEET IN DEPTH.



SIGHT VISIBILITY TRIANGLE
N.T.S.

TYPICAL OF ALL INTERSECTIONS. ALL STRUCTURES AND LANDSCAPING WITHIN THESE VISIBILITY EASEMENTS SHALL HAVE A 3' MAXIMUM HEIGHT.

TRACT / DATA TABLE

TRACT	AREA (FEET)	(ACRES)	USE
GROSS AREA	7,939,203.33 SQ. FT.	182.259 AC.	
PUBLIC RIGHT OF WAY	1,811,933.28 SQ. FT.	41.596 AC.	
NET AREA	6,127,270.05 SQ. FT.	140.663 AC.	
TOTAL LOT AREA	3,982,837.32 SQ. FT.	91.433 AC.	
TOTAL TRACT AREA	2,144,432.73 SQ. FT.	49.229 AC.	
TOTAL NUMBER OF LOTS	478		
TRACT "A"	172,470.27 SQ. FT.	3.96 AC.	PASSIVE OS, REC, RET
TRACT "B"	9,171.04 SQ. FT.	0.21 AC.	LE
TRACT "C"	2,441.05 SQ. FT.	0.06 AC.	LE
TRACT "D"	2,664.78 SQ. FT.	0.06 AC.	LE
TRACT "E"	4,628.32 SQ. FT.	0.11 AC.	LE
TRACT "F"	4,202.32 SQ. FT.	0.10 AC.	LE
TRACT "G"	2,335.91 SQ. FT.	0.05 AC.	LE
TRACT "H"	2,335.73 SQ. FT.	0.05 AC.	LE
TRACT "I"	7,327.17 SQ. FT.	0.17 AC.	LE
TRACT "J"	25,253.75 SQ. FT.	0.58 AC.	LE
TRACT "K"	2,245.67 SQ. FT.	0.05 AC.	LE
TRACT "L"	415,835.56 SQ. FT.	9.55 AC.	ACTIVE OS, LE, RET
TRACT "M"	2,245.67 SQ. FT.	0.05 AC.	LE
TRACT "N"	2,245.67 SQ. FT.	0.05 AC.	LE
TRACT "O"	2,345.67 SQ. FT.	0.05 AC.	LE
TRACT "P"	2,985.25 SQ. FT.	0.07 AC.	LE
TRACT "Q"	15,054.01 SQ. FT.	0.35 AC.	LE, RET
TRACT "R"	1,715.21 SQ. FT.	0.04 AC.	LE
TRACT "S"	55,015.16 SQ. FT.	1.26 AC.	PASSIVE OS, LE
TRACT "T"	10,699.55 SQ. FT.	0.25 AC.	LE
TRACT "U"	45,880.07 SQ. FT.	1.05 AC.	PASSIVE OS, LE, RET
TRACT "V"	231,380.77 SQ. FT.	5.31 AC.	PASSIVE OS, REC, RET
TRACT "W"	1,090.66 SQ. FT.	0.03 AC.	LE
TRACT "X"	4,028.58 SQ. FT.	0.09 AC.	LE
TRACT "Y"	4,028.58 SQ. FT.	0.09 AC.	LE
TRACT "Z"	1,090.66 SQ. FT.	0.03 AC.	LE
TRACT "AA"	50,500.03 SQ. FT.	1.16 AC.	PASSIVE OS, REC
TRACT "BB"	39,181.03 SQ. FT.	0.90 AC.	PASSIVE OS, RET
TRACT "CC"	2,245.67 SQ. FT.	0.05 AC.	LE
TRACT "DD"	2,245.67 SQ. FT.	0.05 AC.	LE
TRACT "EE"	1,318.20 SQ. FT.	0.03 AC.	LE
TRACT "FF"	2,963.65 SQ. FT.	0.07 AC.	LE
TRACT "GG"	3,665.84 SQ. FT.	0.08 AC.	LE
TRACT "HH"	2,504.20 SQ. FT.	0.06 AC.	LE
TRACT "II"	4,771.29 SQ. FT.	0.11 AC.	LE
TRACT "JJ"	112,894.38 SQ. FT.	2.59 AC.	LE, RET
TRACT "KK"	1,090.66 SQ. FT.	1.02 AC.	LE
TRACT "LL"	1,090.66 SQ. FT.	4.96 AC.	LE
TRACT "MM"	27,627.83 SQ. FT.	0.63 AC.	LE
TRACT "NN"	210,927.05 SQ. FT.	4.84 AC.	ACTIVE OS, LE, RET
TRACT "OO"	1,090.66 SQ. FT.	0.03 AC.	LE
TRACT "PP"	865.40 SQ. FT.	0.02 AC.	LE
TRACT "QQ"	865.40 SQ. FT.	0.02 AC.	LE
TRACT "RR"	428,690.67 SQ. FT.	9.84 AC.	SCHOOL SITE
TRACT "SS"	215,411.27 SQ. FT.	4.95 AC.	ACTIVE OS, PARK, RET
TRACT "TT"	1,776.52 SQ. FT.	0.04 AC.	LE
TRACT "UU"	1,989.58 SQ. FT.	0.05 AC.	LE
TRACT "VV"	314.16 SQ. FT.	0.007 AC.	LE
TRACT "WW"	314.16 SQ. FT.	0.007 AC.	LE

NOTE: ALL TRACTS QUALIFY AS OPEN SPACE (OS)

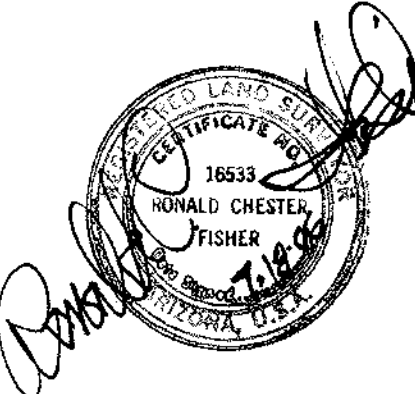
LEGAL DESCRIPTION

THAT CERTAIN PORTION OF THE SOUTH HALF OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION;
- THENCE N 89°41'53" W ALONG THE NORTH LINE OF SAID SOUTH HALF A DISTANCE OF 4826.53 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE OF THE SOUTHERN PACIFIC COMPANY RAILROAD RIGHT OF WAY, FROM WHICH THE WEST QUARTER CORNER OF SAID SECTION BEARS N 89°41'53" W 428.84 FEET;
- THENCE S 53°26'47" E ALONG SAID NORTHEASTERLY RIGHT OF WAY LINE A DISTANCE OF 4461.34 FEET TO THE SOUTH LINE OF SAID SECTION, SAID SOUTH LINE ALSO BEING THE MONUMENT LINE OF OCOTILLO ROAD;
- THENCE S 89°48'45" E ALONG SAID SOUTH LINE A DISTANCE OF 1269.26 FEET TO THE SOUTHEAST CORNER OF SAID SECTION;
- THENCE N 00°34'40" W ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 950.08 FEET;
- THENCE LEAVING SAID EAST LINE N 81°15'40" W 272.76 FEET;
- THENCE N 04°30'30" E 374.00 FEET;
- THENCE N 89°25'20" E 236.00 FEET TO SAID EAST LINE;
- THENCE N 00°34'40" W ALONG SAID EAST LINE A DISTANCE OF 1269.16 FEET TO THE POINT OF BEGINNING.
- EXCEPT THE EAST 55.00 FEET AND THE SOUTH 33.00 FEET THEREOF.

LEGEND

- FOUND OR SET MONUMENT AT SECTION OR 1/4 CORNER PER M.A.G. STD. DET. 120-1 TYPE "A"
- SET MONUMENT PER M.A.G. STD. DET. 120-1 TYPE "C" (CORNER OF SUBDIVISION). TO BE USED IN UNPAVED AREAS.
- STREET CENTERLINE MONUMENTATION, SET B.C. PER M.A.G. STD. DET. 120-1 TYPE "B". TO BE USED IN PAVED AREAS
- SET OR FOUND MONUMENT PER M.A.G. STD. DET. 120-1 TYPE "C" (CORNER OF SUBDIVISION)
- BC BRASS CAP
- DE DRAINAGE EASEMENT
- LE LANDSCAPE EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- OS OPEN SPACE
- PAE PUBLIC ACCESS EASEMENT
- ROW RIGHT OF WAY
- REC RECREATION
- RET RETENTION
- SVT SIGHT VISIBILITY TRIANGLE
- VNE VEHICULAR NON-ACCESS EASEMENT



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GROSS AREA	JOB No.	SHEET
182,259 AC	616-01	2 OF 14

SEE SHEET
 4 OF 14
 MATCH LINE

MATCH SEE SHEET 11 OF 14

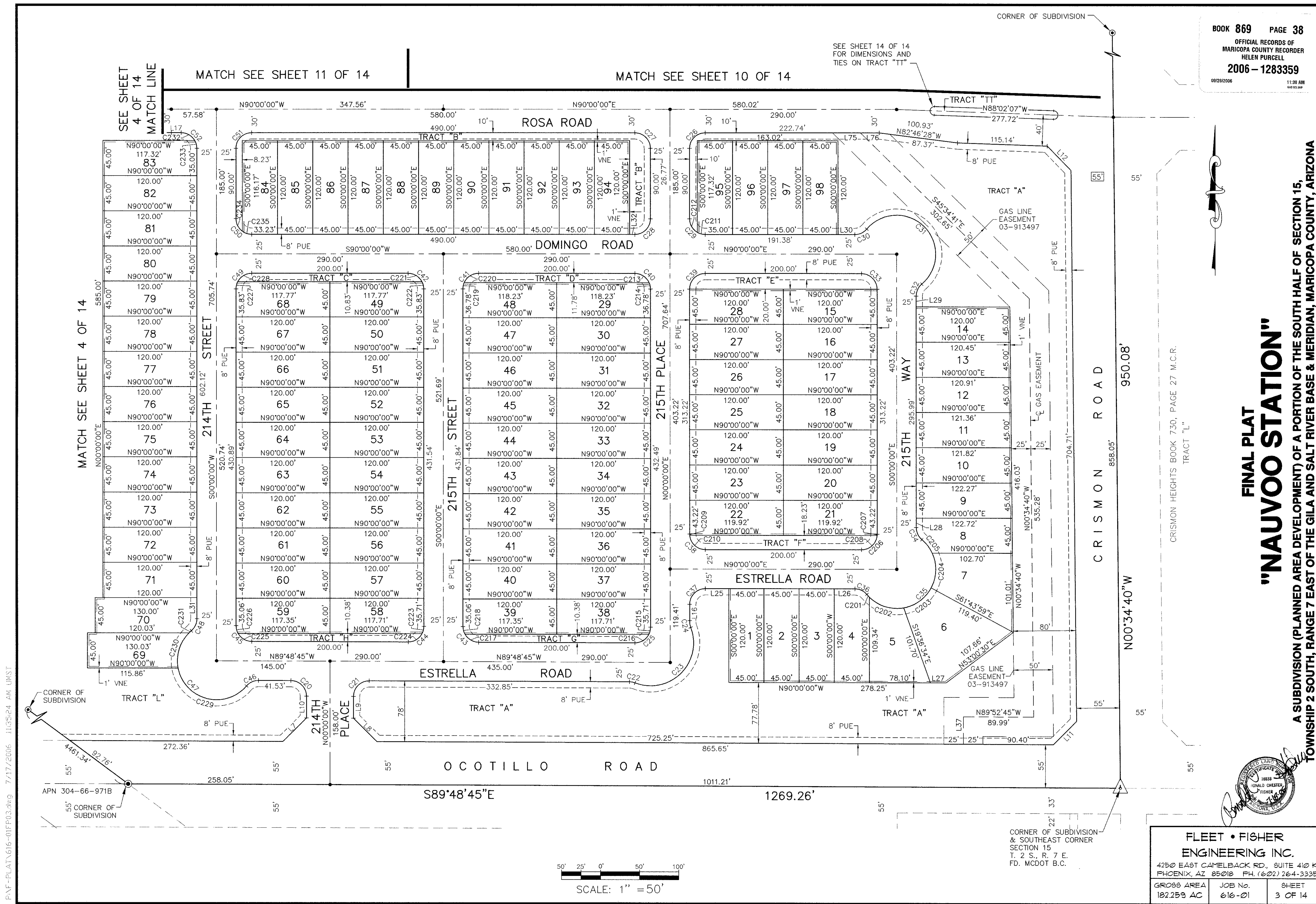
MATCH SEE SHEET 10 OF 14

SEE SHEET 14 OF 14
 FOR DIMENSIONS AND
 TIES ON TRACT "TT"

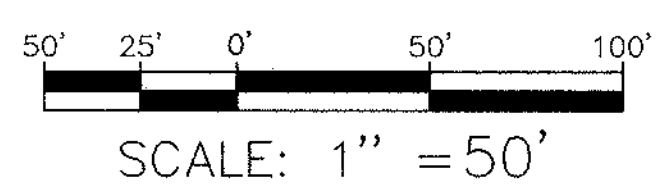


FINAL PLAT
"NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
 TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



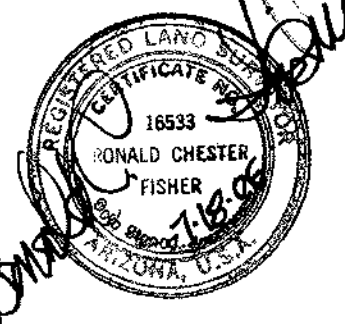
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CORNER OF SUBDIVISION
 & SOUTHEAST CORNER
 SECTION 15
 T. 2 S., R. 7 E.
 FD. MCDOT B.C.

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 PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 3 OF 14
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CRISMON HEIGHTS BOOK 730, PAGE 27 M.C.R.
 TRACT "L"

CRISMON ROAD 858.05'

215TH WAY 403.22'

215TH PLACE 707.64'

214TH STREET 705.74'

ESTRELLA ROAD 435.00'

OCOTILLO ROAD 1269.26'

214TH PLACE 158.00'

215TH STREET 521.69'

DOMINGO ROAD 580.00'

ROSA ROAD 580.02'

CRISMON ROAD 950.08'

214TH STREET 602.12'

215TH PLACE 707.64'

215TH WAY 403.22'

215TH PLACE 707.64'

214TH STREET 705.74'

ESTRELLA ROAD 435.00'

OCOTILLO ROAD 1269.26'

214TH PLACE 158.00'

215TH STREET 521.69'

DOMINGO ROAD 580.00'

ROSA ROAD 580.02'

CRISMON ROAD 950.08'

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214TH STREET 705.74'

ESTRELLA ROAD 435.00'

OCOTILLO ROAD 1269.26'

214TH PLACE 158.00'

215TH STREET 521.69'

DOMINGO ROAD 580.00'

ROSA ROAD 580.02'

CRISMON ROAD 950.08'

214TH STREET 602.12'

215TH PLACE 707.64'

215TH WAY 403.22'

215TH PLACE 707.64'

214TH STREET 705.74'

ESTRELLA ROAD 435.00'

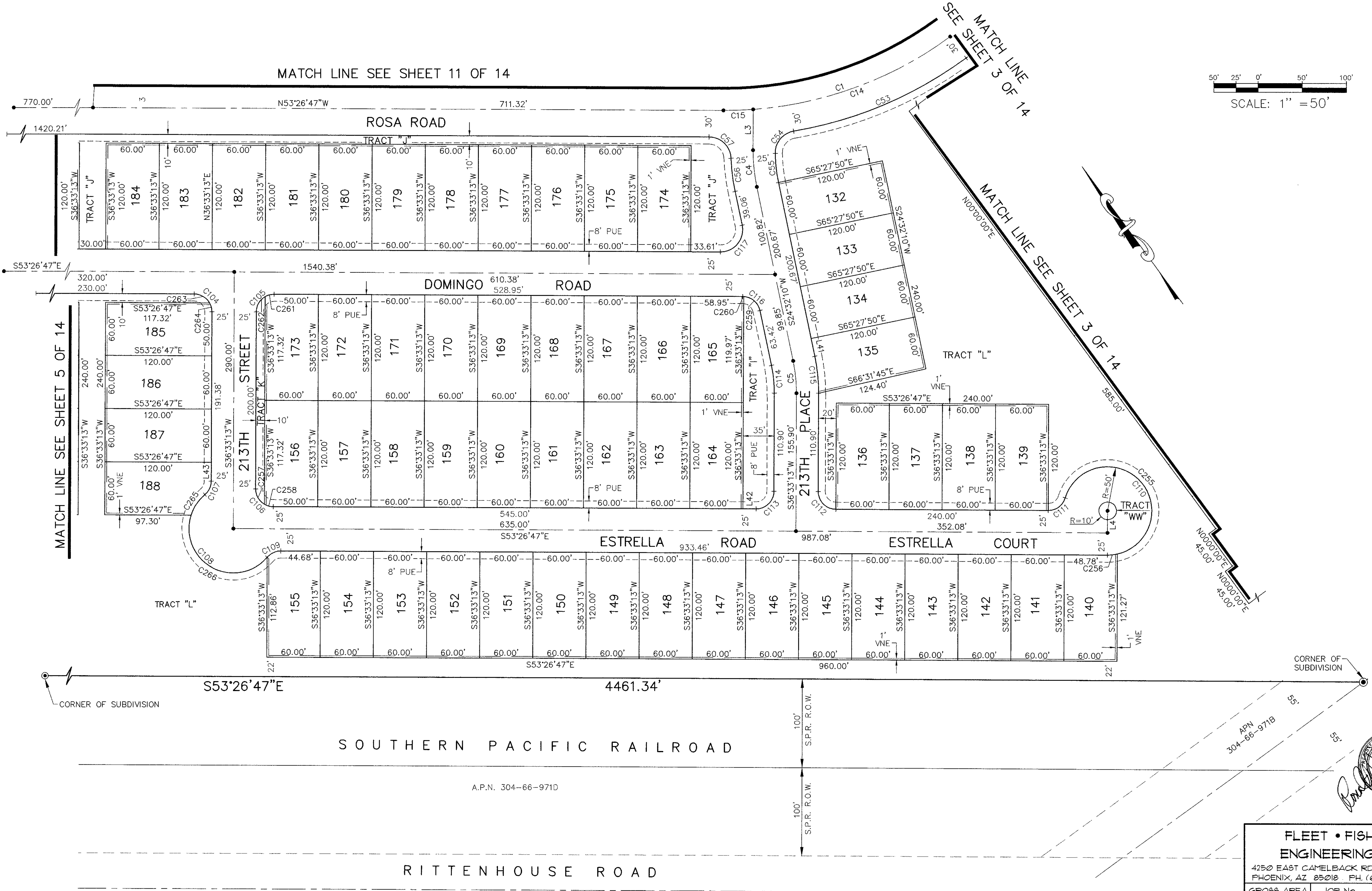
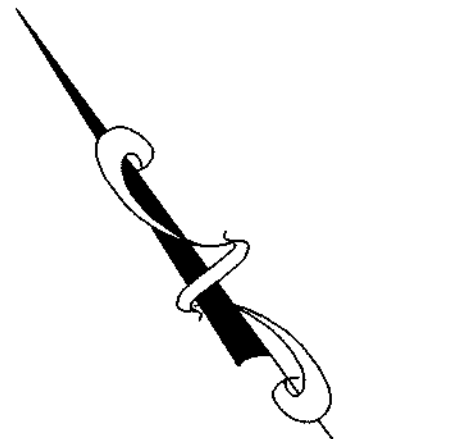
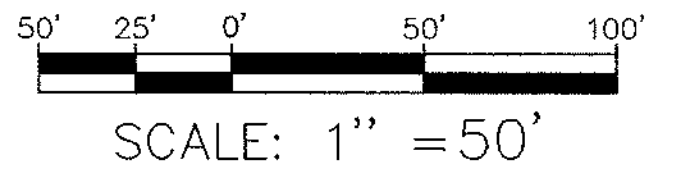
OCOTILLO ROAD 1269.26'

214TH PLACE 158.00'

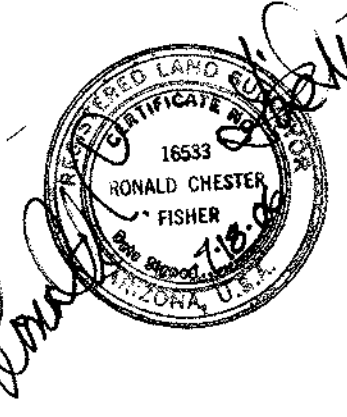
FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

BOOK 869 PAGE 38
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
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09/28/2006 11:38 AM
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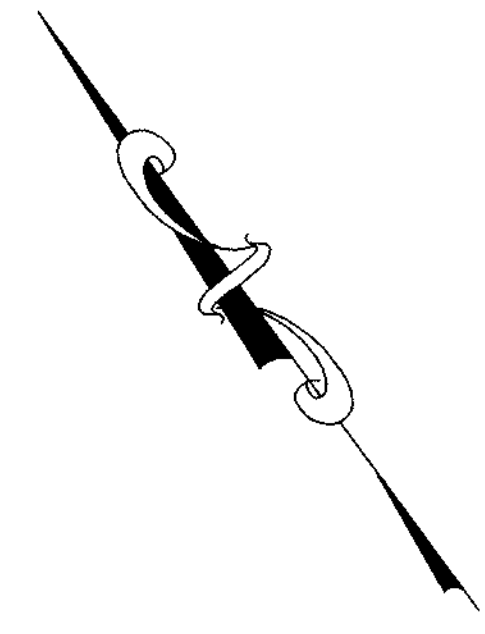
4250 EAST CANEBACK RD., SUITE 410 K
PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 4 OF 14
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FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

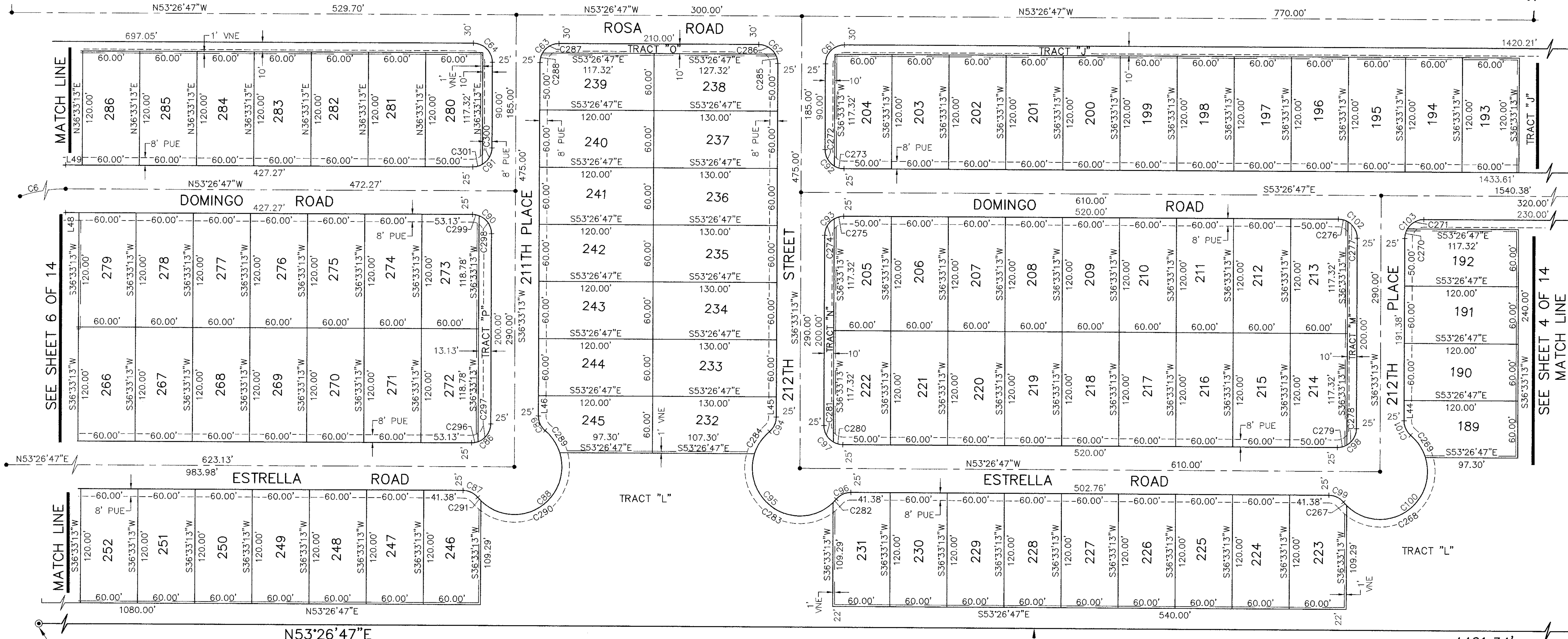
BOOK 869 PAGE 38
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
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09/28/2006 11:38 AM



MATCH LINE SEE SHEET 7 OF 14

MATCH LINE SEE SHEET 8 OF 14

MATCH LINE
SHEET 11 OF 14

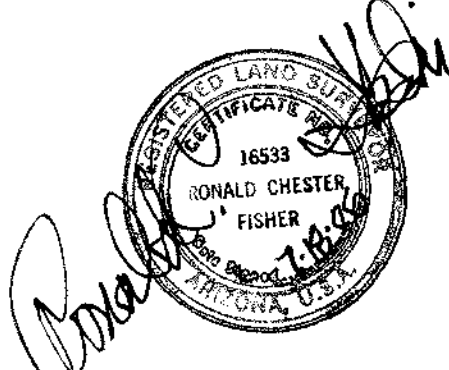
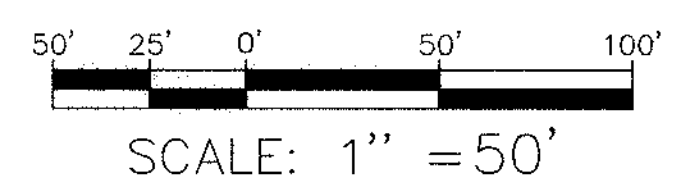


N53°26'47"E 1080.00' 4461.34' CORNER OF SUBDIVISION

SOUTHERN PACIFIC RAILROAD

A.P.N. 304-66-971D

RITTENHOUSE ROAD



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GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 5 OF 14
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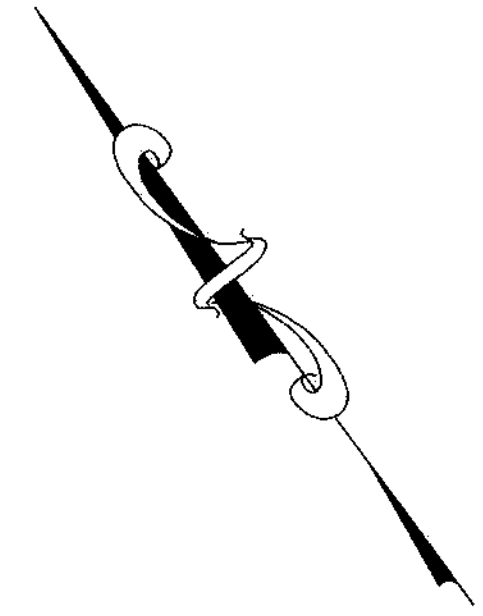
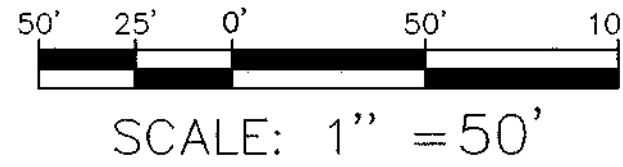
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ENGINEER'S COPY

FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

BOOK 869 PAGE 38
OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL
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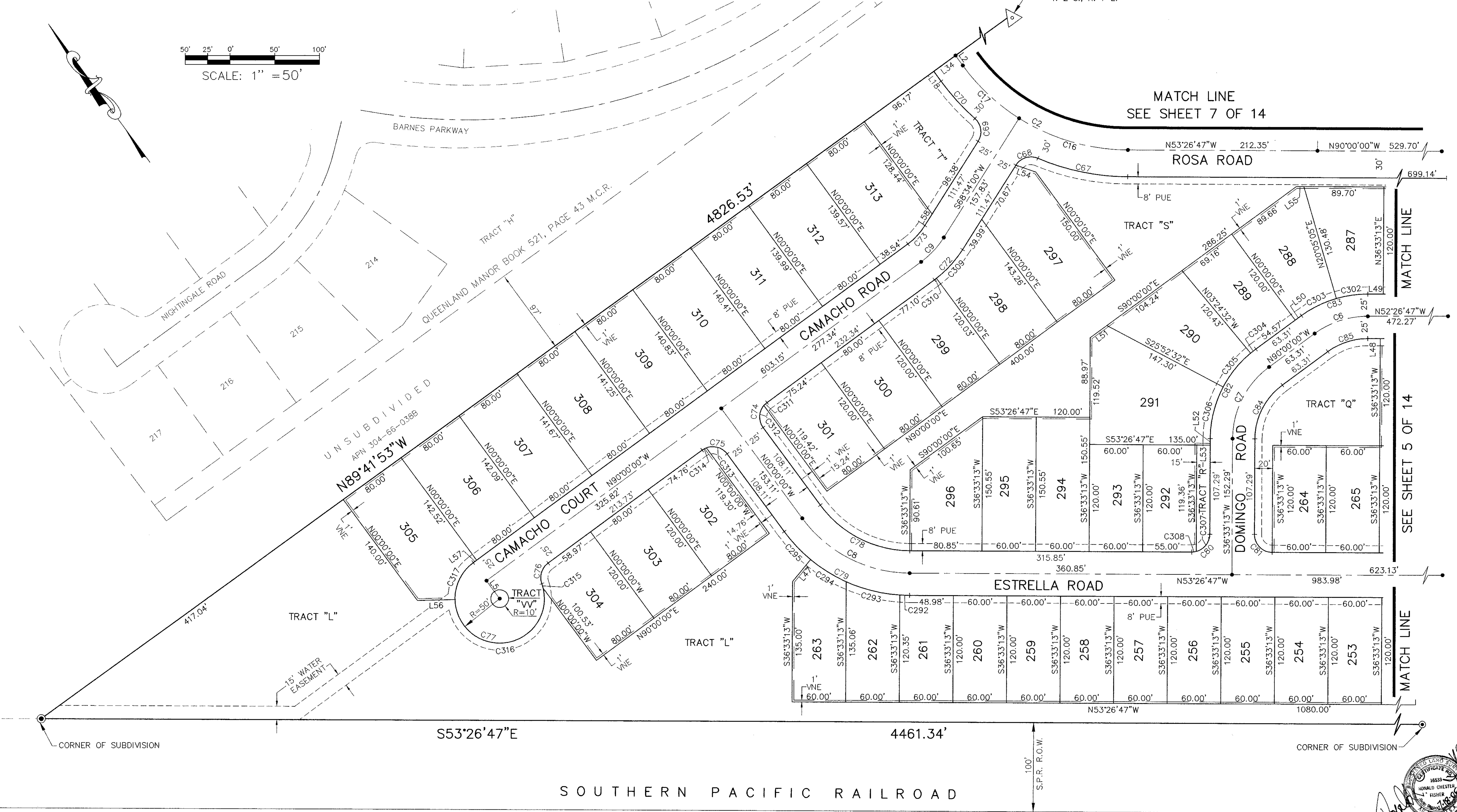
CORNER OF SUBDIVISION
EAST 1/4 CORNER
SECTION 15
T. 2 S., R. 7 E.

MATCH LINE
SEE SHEET 7 OF 14

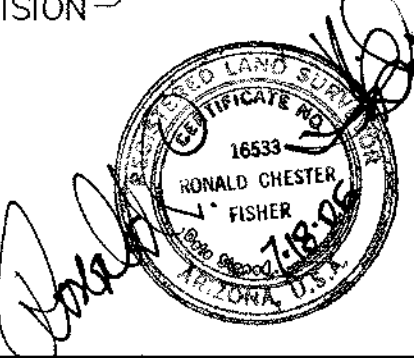
MATCH LINE

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MATCH LINE



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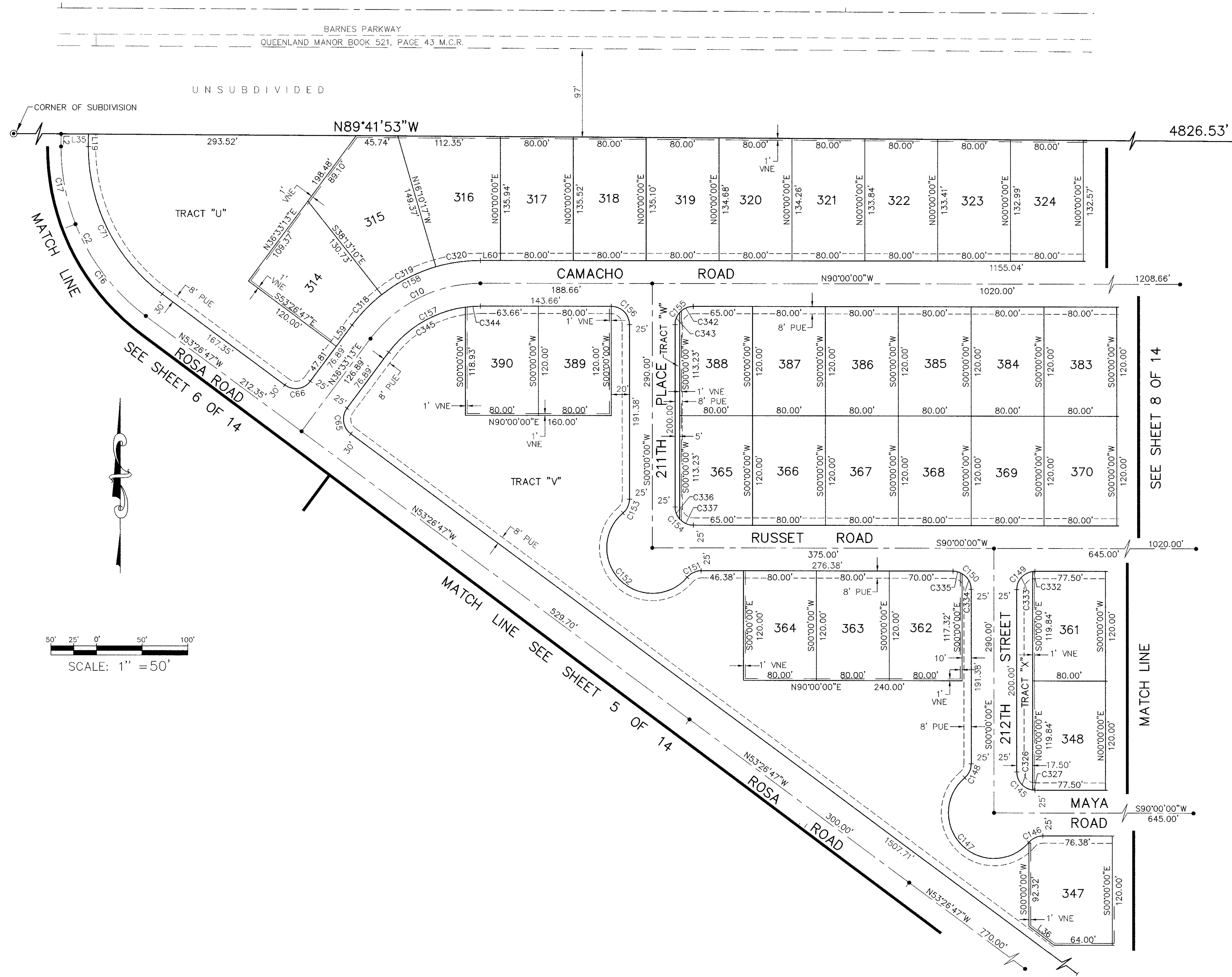
**FLEET • FISHER
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PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 6 OF 14
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SOUTHERN PACIFIC RAILROAD

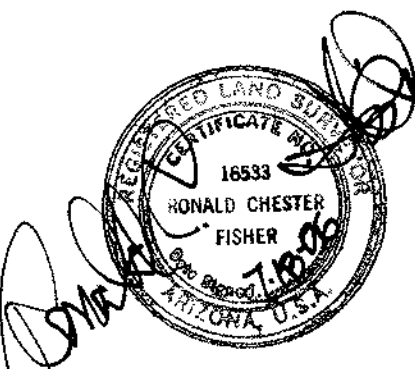
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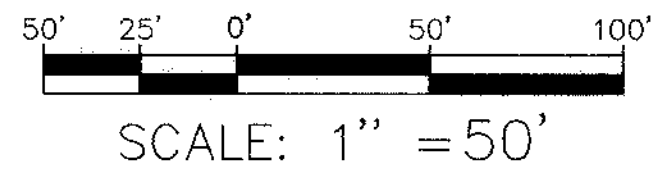
CORNER OF SUBDIVISION
 EAST 1/4 CORNER
 SECTION 15
 T. 2 S., R. 7 E.

FINAL PLAT
"NAUVOO STATION"
 A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
 TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA



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 4250 EAST CAMELBACK RD., SUITE 410 K
 PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 1 OF 14
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ENGINEER'S COPY

CORNER OF SUBDIVISION
 EAST 1/4 CORNER
 SECTION 15
 T. 2 S., R. 7 E.

CORNER OF SUBDIVISION

UNSUBDIVIDED

APN 304-66-038B

TRACT "BB"

TRACT "AA"

TRACT "V"

TRACT "Z"

TRACT "DD"

TRACT "CC"

TRACT "YY"

TRACT "XX"

TRACT "ZZ"

TRACT "VV"

TRACT "WW"

TRACT "UU"

TRACT "TT"

TRACT "SS"

TRACT "RR"

TRACT "QQ"

TRACT "PP"

TRACT "OO"

TRACT "NN"

TRACT "MM"

TRACT "LL"

TRACT "KK"

TRACT "JJ"

TRACT "II"

TRACT "HH"

TRACT "GG"

TRACT "FF"

TRACT "EE"

TRACT "DD"

TRACT "CC"

TRACT "BB"

TRACT "AA"

TRACT "ZZ"

TRACT "YY"

TRACT "XX"

TRACT "VV"

TRACT "UU"

TRACT "TT"

TRACT "SS"

TRACT "RR"

TRACT "QQ"

TRACT "PP"

TRACT "OO"

TRACT "NN"

TRACT "MM"

TRACT "LL"

TRACT "KK"

TRACT "JJ"

TRACT "II"

TRACT "HH"

TRACT "GG"

TRACT "FF"

TRACT "EE"

TRACT "DD"

TRACT "CC"

TRACT "BB"

TRACT "AA"

TRACT "ZZ"

TRACT "YY"

TRACT "XX"

TRACT "VV"

TRACT "UU"

TRACT "TT"

TRACT "SS"

TRACT "RR"

TRACT "QQ"

TRACT "PP"

TRACT "OO"

TRACT "NN"

TRACT "MM"

TRACT "LL"

TRACT "KK"

TRACT "JJ"

TRACT "II"

TRACT "HH"

TRACT "GG"

TRACT "FF"

TRACT "EE"

TRACT "DD"

TRACT "CC"

TRACT "BB"

TRACT "AA"

TRACT "ZZ"

TRACT "YY"

TRACT "XX"

TRACT "VV"

TRACT "UU"

TRACT "TT"

TRACT "SS"

TRACT "RR"

TRACT "QQ"

TRACT "PP"

TRACT "OO"

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TRACT "YY"

TRACT "XX"

TRACT "VV"

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TRACT "PP"

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TRACT "YY"

TRACT "XX"

TRACT "VV"

TRACT "UU"

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TRACT "QQ"

TRACT "PP"

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TRACT "JJ"

TRACT "II"

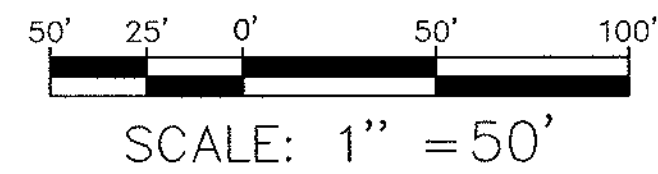
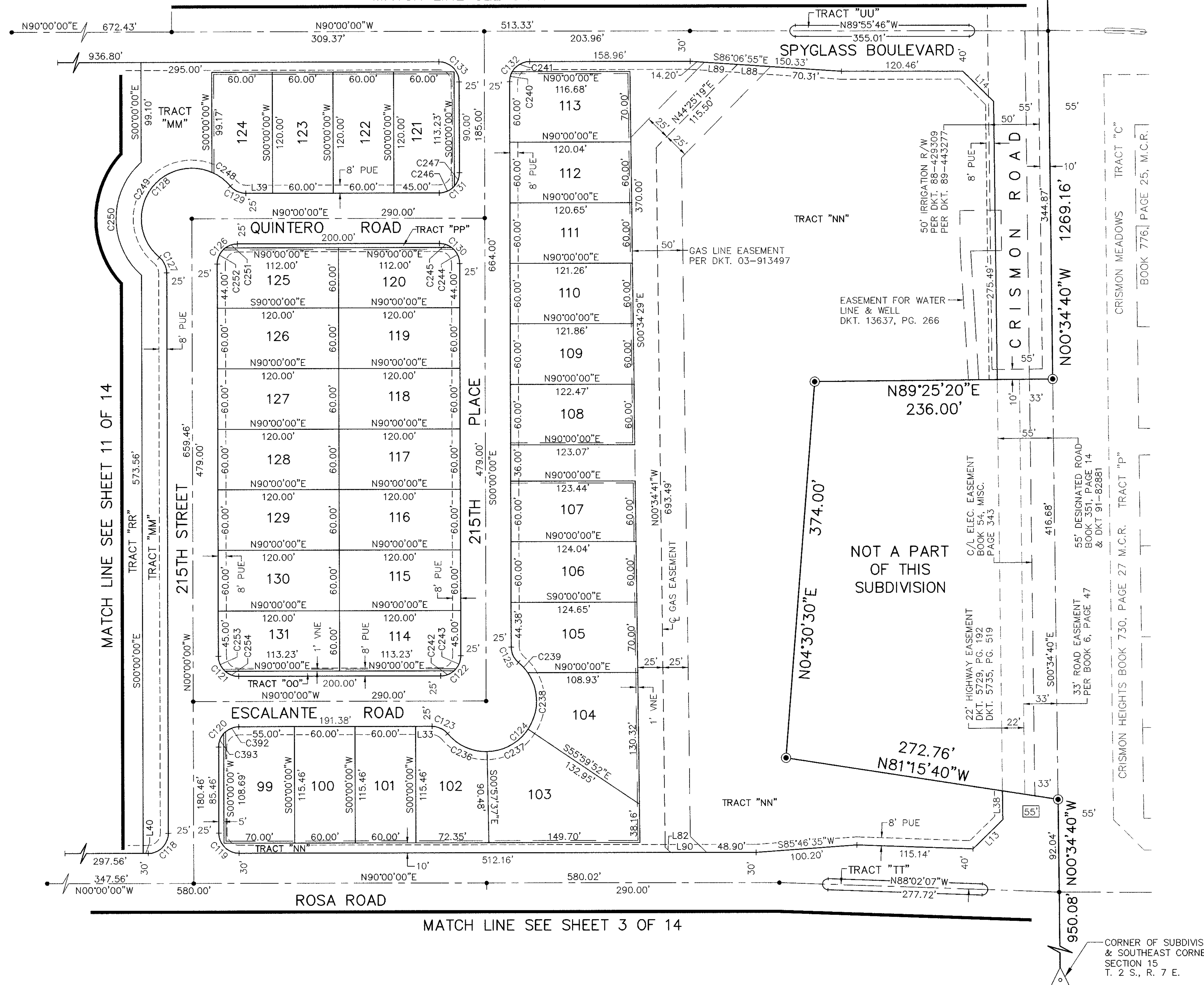
TRACT "HH"

FINAL PLAT "NAUVOO STATION"

**A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA**

ENGINEER'S COPY

MATCH LINE SEE SHEET 9 OF 14



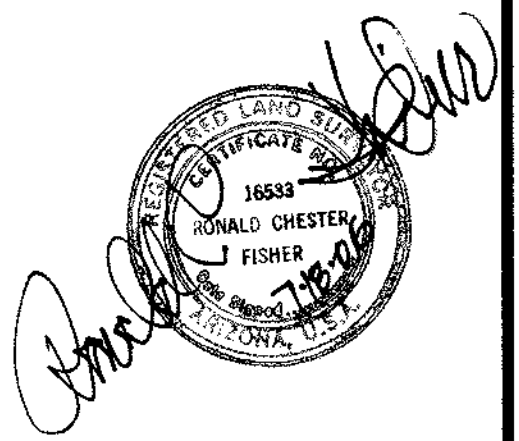
MATCH LINE SEE SHEET 11 OF 14

MATCH LINE SEE SHEET 3 OF 14

CORNER OF SUBDIVISION
EAST 1/4 CORNER
SECTION 15
T. 2 S., R. 7 E.

CORNER OF SUBDIVISION
& SOUTHEAST CORNER
SECTION 15
T. 2 S., R. 7 E.

NOT A PART
OF THIS
SUBDIVISION



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4250 EAST CAMELBACK RD., SUITE 410 K
PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 10 OF 14
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FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

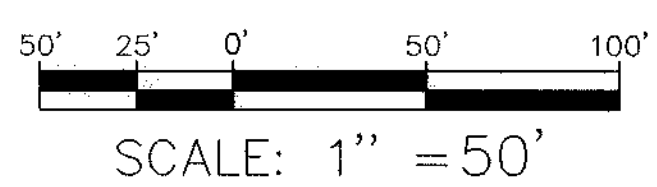
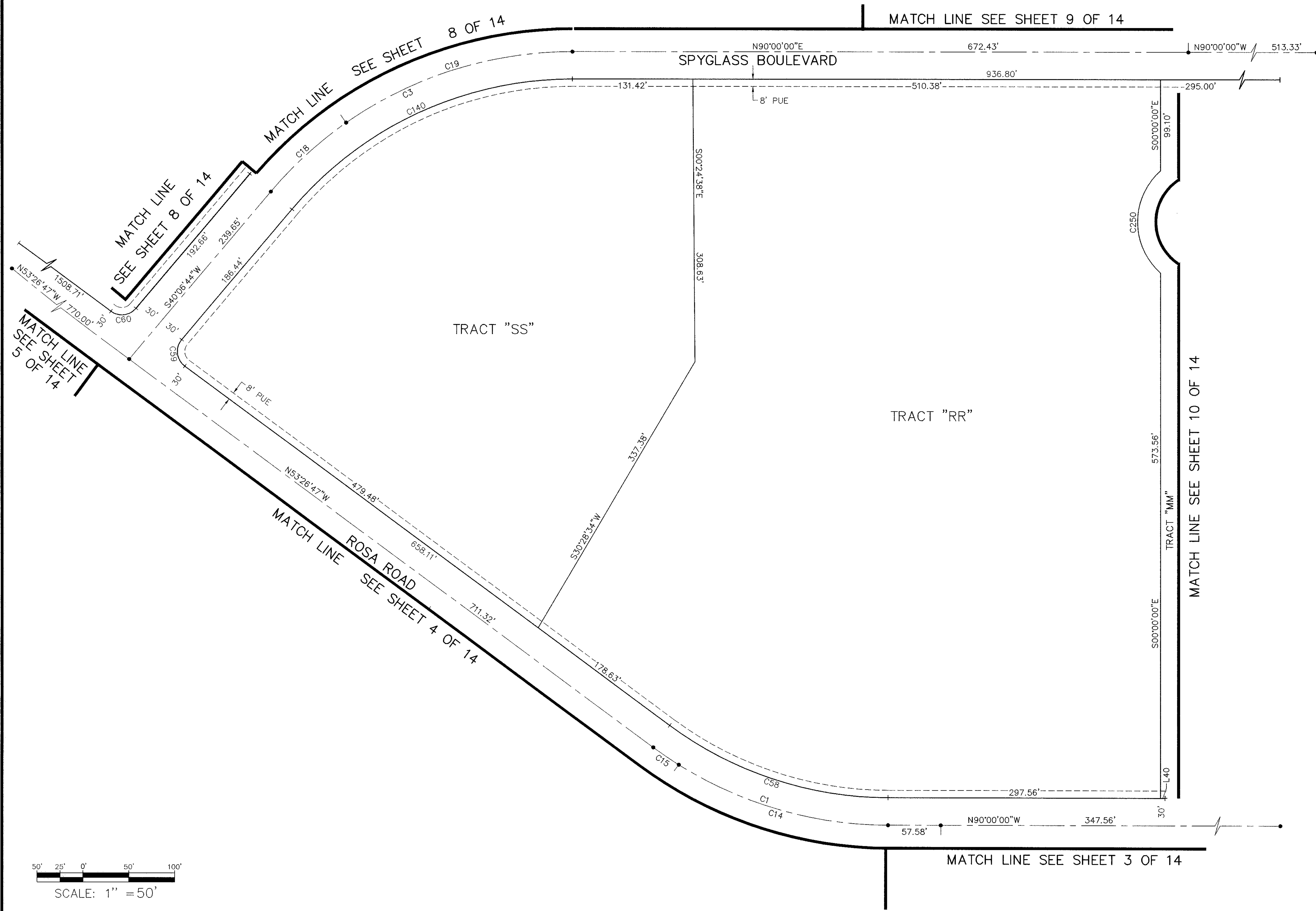
BOOK 869 PAGE 38

OFFICIAL RECORDS OF
MARICOPA COUNTY RECORDER
HELEN PURCELL

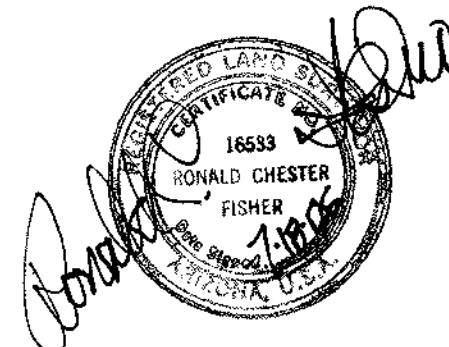
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4250 EAST CAMELBACK RD., SUITE 410 K PHOENIX, AZ 85018 PH. (602) 264-3335		
GROSS AREA	JOB No.	SHEET
182.259 AC	616-01	11 OF 14

FINAL PLAT "NAUVOO STATION"

**A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA**

LINE TABLE		
LINE	LENGTH	BEARING
L1	33.00	S00°11'15"W
L2	13.72	N00°16'44"E
L3	46.07	S36°33'13"W
L4	25.00	S36°33'13"W
L5	25.00	N00°00'00"E
L6	3.24	S00°00'00"W
L7	42.64	N45°05'37"E
L8	42.50	N44°54'23"W
L9	27.93	N00°00'00"W
L10	28.07	N00°00'00"W
L11	42.14	N44°48'17"E
L12	43.36	N44°18'23"W
L13	41.47	N45°41'37"E
L14	42.67	S45°15'13"E
L15	42.19	N44°44'47"E
L16	22.41	S00°00'00"W
L17	12.58	N90°00'00"W
L18	13.73	S00°16'44"W
L19	13.71	S00°16'44"W
L20	18.09	S00°00'00"E
L21	10.42	N15°00'00"E
L22	3.08	S00°00'00"E
L23	3.40	S00°00'00"E
L24	37.21	N15°00'00"E
L25	29.95	N90°00'00"E
L26	26.43	N90°00'00"E
L27	20.15	N90°00'00"E
L28	12.16	N00°00'00"E
L29	13.82	N00°00'00"W
L30	21.38	N90°00'00"W
L31	27.12	N00°00'00"E
L32	6.77	N90°00'00"E
L33	16.38	N90°00'00"E
L34	30.00	S89°41'53"E
L35	30.00	S89°41'53"E
L36	34.49	S53°26'47"E
L37	34.97	S00°05'53"W
L38	28.58	N00°34'40"W
L39	26.38	N90°00'00"E
L40	5.00	N90°00'00"E
L41	20.67	S24°32'10"W
L42	15.00	S53°26'47"E
L43	21.38	S36°33'13"W
L44	21.38	S36°33'13"W
L45	21.38	N36°33'13"E
L46	21.38	S36°33'13"W
L47	31.80	N75°52'01"E
L48	14.14	N53°26'47"W
L49	17.27	N53°26'47"W
L50	8.75	N90°00'00"W
L51	23.18	S90°00'00"E
L52	7.29	S36°33'13"W
L53	15.00	N53°26'47"W
L54	23.59	N34°47'00"W
L55	8.49	N53°26'47"W
L56	42.12	N54°55'29"W
L57	4.61	S90°00'00"E
L58	15.09	N68°34'00"E
L59	29.07	N36°33'13"E
L60	22.00	N90°00'00"E
L61	13.03	S90°00'00"E
L62	29.47	S00°00'00"E
L63	10.08	S35°01'46"E
L64	11.96	N00°00'00"E
L65	22.28	N00°00'00"E
L66	5.23	N90°00'00"E
L67	38.15	S89°41'18"E
L68	30.00	S89°41'53"E
L69	30.00	S89°41'53"E
L70	9.74	N90°00'00"E
L71	9.00	N90°00'00"E
L72	14.38	S89°41'26"E
L73	5.24	N90°00'00"W
L74	25.10	N05°11'08"E
L75	35.72	N90°00'00"E
L76	24.00	S90°00'00"E
L77	37.48	N86°15'23"E
L78	33.74	N86°15'23"E
L79	25.00	S89°41'53"E
L80	37.10	S53°26'47"E
L82	7.61	S45°34'41"E
L83	5.93	N90°00'00"E
L84	35.23	N11°34'48"W
L85	57.15	S52°47'57"E
L86	36.02	S14°44'41"E
L87	46.32	S39°53'52"E
L88	32.90	S86°06'55"E
L89	32.90	S86°06'55"E
L90	35.72	N90°00'00"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	274.33	430.00	142.02	36°33'13"
C2	215.67	230.00	116.50	53°43'34"
C3	374.40	430.00	200.00	49°53'16"
C4	41.95	200.00	21.05	12°01'03"
C5	36.71	175.00	18.42	12°01'03"
C6	63.80	100.00	33.03	36°33'13"
C7	93.28	100.00	50.35	53°26'47"
C8	139.92	150.00	75.52	53°26'47"
C9	37.41	100.00	18.93	21°26'00"
C10	139.92	150.00	75.52	53°26'47"
C11	91.71	150.00	47.34	35°01'46"
C12	78.54	300.00	39.50	15°00'00"
C13	78.54	300.00	39.50	15°00'00"
C14	240.62	430.00	123.55	32°03'40"
C15	33.72	430.00	16.87	4°29'33"
C16	128.51	230.00	65.98	32°00'47"
C17	87.16	230.00	44.11	21°42'47"
C18	111.51	430.00	56.07	14°51'30"
C19	262.89	430.00	135.70	35°01'46"
C20	31.35	20.00	19.93	89°48'45"
C21	31.48	20.00	20.07	90°11'15"
C22	7.34	20.00	3.71	21°02'22"
C23	126.97	55.00	124.31	132°15'59"
C24	7.34	20.00	3.71	21°02'22"
C25	31.48	20.00	20.07	90°11'15"
C26	31.42	20.00	20.00	90°00'00"
C27	31.42	20.00	20.00	90°00'00"
C28	31.42	20.00	20.00	90°00'00"
C29	31.42	20.00	20.00	90°00'00"
C30	17.45	20.00	9.33	49°59'41"
C31	165.80	50.00	572.10	189°59'23"
C32	17.45	20.00	9.33	49°59'41"
C33	31.42	20.00	20.00	90°00'00"
C34	17.45	20.00	9.33	49°59'41"
C35	165.80	50.00	572.10	189°59'23"
C36	17.45	20.00	9.33	49°59'41"
C37	31.42	20.00	20.00	90°00'00"
C38	31.42	20.00	20.00	90°00'00"
C39	31.42	20.00	20.00	90°00'00"
C40	31.42	20.00	20.00	90°00'00"
C41	31.42	20.00	20.00	90°00'00"
C42	31.42	20.00	20.00	90°00'00"
C43	31.35	20.00	19.93	89°48'45"
C44	31.48	20.00	20.07	90°11'15"
C45	31.35	20.00	19.93	89°48'45"
C46	17.45	20.00	9.33	49°59'41"
C47	165.63	50.00	583.10	189°48'08"
C48	17.45	20.00	9.33	49°59'41"
C49	31.42	20.00	20.00	90°00'00"
C50	31.42	20.00	20.00	90°00'00"
C51	31.42	20.00	20.00	90°00'00"
C52	31.42	20.00	20.00	90°00'00"
C53	213.68	460.00	108.80	26°36'53"
C54	35.43	25.00	21.43	81°11'51"
C55	33.23	175.00	16.67	10°52'52"
C56	37.96	225.00	19.03	9°40'00"
C57	38.24	25.00	23.99	87°38'58"
C58	255.19	400.00	132.11	36°33'13"
C59	32.66	20.00	21.28	93°33'31"
C60	30.17	20.00	18.79	86°26'29"
C61	31.42	20.00	20.00	90°00'00"
C62	31.42	20.00	20.00	90°00'00"
C63	31.42	20.00	20.00	90°00'00"
C64	31.42	20.00	20.00	90°00'00"
C65	31.42	20.00	20.00	90°00'00"
C66	31.42	20.00	20.00	90°00'00"
C67	101.63	260.00	51.47	22°23'49"
C68	28.06	20.00	16.90	80°23'02"
C69	28.19	20.00	17.01	80°45'06"
C70	56.56	260.00	28.39	12°27'53"
C71	187.54	200.00	101.30	53°43'34"
C72	46.76	125.00	23.66	21°26'00"
C73	28.06	75.00	14.19	21°26'00"
C74	31.42	20.00	20.00	90°00'00"
C75	31.42	20.00	20.00	90°00'00"
C76	25.62	20.00	14.91	73°23'54"
C77	221.13	50.00	67.08	253°23'54"
C78	116.60	125.00	62.93	53°26'47"
C79	163.24	175.00	88.10	53°26'47"

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C80	31.42	20.00	20.00	90°00'00"
C81	31.42	20.00	20.00	90°00'00"
C82	116.60	125.00	62.93	53°26'47"
C83	79.75	125.00	41.28	36°33'13"
C84	69.96	75.00	37.76	12°01'03"
C85	47.85	75.00	24.77	36°33'13"
C86	31.42	20.00	20.00	90°00'00"
C87	17.45	20.00	9.33	49°59'41"
C88	165.80	50.00	572.10	189°59'23"
C89	17.45	20.00	9.33	49°59'41"
C90	31.42	20.00	20.00	90°00'00"
C91	31.42	20.00	20.00	90°00'00"
C92	31.42	20.00	20.00	90°00'00"
C93	31.42	20.00	20.00	90°00'00"
C94	17.45	20.00	9.33	49°59'41"
C95	165.80	50.00	572.10	189°59'23"
C96	17.45	20.00	9.33	49°59'41"
C97	31.42	20.00	20.00	90°00'00"
C98	31.42	20.00	20.00	90°00'00"
C99	17.45	20.00	9.33	49°59'41"
C100	165.80	50.00	572.10	189°59'23"
C101	17.45	20.00	9.33	49°59'41"
C102	31.42	20.00	20.00	90°00'00"
C103	31.42	20.00	20.00	90°00'00"
C104	31.42	20.00	20.00	90°00'00"
C105	31.42	20.00	20.00	90°00'00"
C106	31.42	20.00	20.00	90°00'00"
C107	17.45	20.00	9.33	49°59'41"
C108	165.80	50.00	572.10	189°59'23"
C109	17.45	20.00	9.33	49°59'41"
C110	221.13	50.00	67.08	253°23'54"
C111	25.62	20.00	14.91	73°23'54"
C112	31.42	20.00	20.00	90°00'00"
C113	31.42	20.00	20.00	90°00'00"
C114	31.46	150.00	15.79	12°01'03"
C115	41.95	200.00	21.05	12°01'03"
C116	27.22	20.00	16.19	77°58'57"
C117	44.51	25.00	30.88	102°01'03"
C118	31.42	20.00	20.00	90°00'00"
C119	31.42	20.00	20.00	90°00'00"
C120	31.42	20.00	20.00	90°00'00"
C121	31.42	20.00	20.00	90°00'00"
C122	31.42	20.00	20.00	90°00'00"
C123	17.45	20.00	9.33	49°59'41"
C124	165.80	50.00	572.10	189°59'23"
C125	17.45	20.00	9.33	49°59'41"
C126	31.42	20.00	20.00	90°00'00"
C127	17.45	20.00	9.33	49°59'41"
C128	165.80	50.00	572.10	189°59'23"
C129	17.45	20.00	9.33	49°59'41"
C130	31.42	20.00	20.00	90°00'00"
C131	31.42	20.00	20.00	90°00'00"
C132	31.42	20.00	20.00	90°00'00"
C133	31.42	20.00	20.00	90°00'00"
C134	31.42	20.00	20.00	90°00'00"
C135	31.42	20.00	20.00	90°00'00"
C136	238.05	460.00	121.75	29°39'00"
C137	29.54	20.00	18.21	84°37'14"
C138	29.54	20.00	18.21	84°37'14"
C139	76.10	460.00	38.14	9°28'44"
C140	348.28	400.00	186.05	49°53'16"
C141	76.42	125.00	39.45	35°01'46"
C142	106.99	175.00	55.23	35°01'46"
C143	31.42	20.00	20.00	90°00'00"
C144	31.42	20.00	20.00	90°00'00"
C145	31.42	20.00	20.00	90°00'00"
C146	17.45	20.00	9.33	49°59'41"
C147	165.80	50.00	572.10	189°59'23"
C148	17.45	20.00	9.33	49°59'41"
C149	31.42	20.00	20.00	90°00'00"
C150	31.42	20.00	20.00	90°00'00"
C151	17.45	20.00	9.33	49°59'41"
C152	165.80	50.00	572.10	189°59'23"
C153				

FINAL PLAT "NAUVOO STATION"

**A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA**

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
1	5,400.00	0.12	R-2
2	5,400.00	0.12	R-2
3	5,400.00	0.12	R-2
4	5,377.46	0.12	R-2
5	5,970.90	0.14	R-2
6	9,032.15	0.21	R-2
7	7,408.69	0.17	R-2
8	5,239.44	0.12	R-2
9	5,512.33	0.13	R-2
10	5,491.91	0.13	R-2
11	5,471.48	0.13	R-2
12	5,451.06	0.13	R-2
13	5,430.64	0.12	R-2
14	5,410.21	0.12	R-2
15	5,400.00	0.12	R-2
16	5,400.00	0.12	R-2
17	5,400.00	0.12	R-2
18	5,400.00	0.12	R-2
19	5,400.00	0.12	R-2
20	5,400.00	0.12	R-2
21	5,399.95	0.12	R-2
22	5,399.95	0.12	R-2
23	5,400.00	0.12	R-2
24	5,400.00	0.12	R-2
25	5,400.00	0.12	R-2
26	5,400.00	0.12	R-2
27	5,400.00	0.12	R-2
28	5,400.00	0.12	R-2
29	5,395.24	0.12	R-2
30	5,400.00	0.12	R-2
31	5,400.00	0.12	R-2
32	5,400.00	0.12	R-2
33	5,400.00	0.12	R-2
34	5,400.00	0.12	R-2
35	5,400.00	0.12	R-2
36	5,400.00	0.12	R-2
37	5,400.00	0.12	R-2
38	5,393.09	0.12	R-2
39	5,391.47	0.12	R-2
40	5,400.00	0.12	R-2
41	5,400.00	0.12	R-2
42	5,400.00	0.12	R-2
43	5,400.00	0.12	R-2
44	5,400.00	0.12	R-2
45	5,400.00	0.12	R-2
46	5,400.00	0.12	R-2
47	5,400.00	0.12	R-2
48	5,395.24	0.12	R-2
49	5,393.36	0.12	R-2
50	5,400.00	0.12	R-2
51	5,400.00	0.12	R-2
52	5,400.00	0.12	R-2
53	5,400.00	0.12	R-2
54	5,400.00	0.12	R-2
55	5,400.00	0.12	R-2
56	5,400.00	0.12	R-2
57	5,400.00	0.12	R-2
58	5,393.08	0.12	R-2
59	5,391.47	0.12	R-2
60	5,400.00	0.12	R-2
61	5,400.00	0.12	R-2
62	5,400.00	0.12	R-2
63	5,400.00	0.12	R-2
64	5,400.00	0.12	R-2
65	5,400.00	0.12	R-2
66	5,400.00	0.12	R-2
67	5,400.00	0.12	R-2
68	5,393.36	0.12	R-2
69	5,344.39	0.12	R-2
70	5,794.62	0.13	R-2
71	5,400.00	0.12	R-2
72	5,400.00	0.12	R-2
73	5,400.00	0.12	R-2
74	5,400.00	0.12	R-2
75	5,400.00	0.12	R-2

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
76	5,400.00	0.12	R-2
77	5,400.00	0.12	R-2
78	5,400.00	0.12	R-2
79	5,400.00	0.12	R-2
80	5,400.00	0.12	R-2
81	5,400.00	0.12	R-2
82	5,400.00	0.12	R-2
83	5,391.32	0.12	R-2
84	5,385.59	0.12	R-2
85	5,400.00	0.12	R-2
86	5,400.00	0.12	R-2
87	5,400.00	0.12	R-2
88	5,400.00	0.12	R-2
89	5,400.00	0.12	R-2
90	5,400.00	0.12	R-2
91	5,400.00	0.12	R-2
92	5,400.00	0.12	R-2
93	5,400.00	0.12	R-2
94	5,400.00	0.12	R-2
95	5,391.32	0.12	R-2
96	5,400.00	0.12	R-2
97	5,400.00	0.12	R-2
98	5,400.00	0.12	R-2
99	8,051.19	0.18	R1-6
100	6,927.74	0.16	R1-6
101	6,927.74	0.16	R1-6
102	7,444.62	0.17	R1-6
103	12,186.33	0.28	R1-6
104	9,854.74	0.23	R1-6
105	8,590.17	0.20	R1-6
106	7,460.59	0.17	R1-6
107	7,424.27	0.17	R1-6
108	7,366.15	0.17	R1-6
109	7,329.82	0.17	R1-6
110	7,293.49	0.17	R1-6
111	7,257.17	0.17	R1-6
112	7,220.84	0.17	R1-6
113	8,370.47	0.19	R1-6
114	7,168.83	0.16	R1-6
115	7,200.00	0.17	R1-6
116	7,200.00	0.17	R1-6
117	7,200.00	0.17	R1-6
118	7,200.00	0.17	R1-6
119	7,200.00	0.17	R1-6
120	7,161.46	0.16	R1-6
121	7,168.83	0.16	R1-6
122	7,200.00	0.17	R1-6
123	7,200.00	0.17	R1-6
124	6,890.50	0.16	R1-6
125	7,161.46	0.16	R1-6
126	7,200.00	0.17	R1-6
127	7,200.00	0.17	R1-6
128	7,200.00	0.17	R1-6
129	7,200.00	0.17	R1-6
130	7,200.00	0.17	R1-6
131	7,168.83	0.16	R1-6
132	7,200.00	0.17	R1-6
133	7,200.00	0.17	R1-6
134	7,200.00	0.17	R1-6
135	7,394.29	0.17	R1-6
136	7,200.00	0.17	R1-6
137	7,200.00	0.17	R1-6
138	7,200.00	0.17	R1-6
139	7,200.00	0.17	R1-6
140	7,204.74	0.17	R1-6
141	7,200.00	0.17	R1-6
142	7,200.00	0.17	R1-6
143	7,200.00	0.17	R1-6
144	7,200.00	0.17	R1-6
145	7,200.00	0.17	R1-6
146	7,200.00	0.17	R1-6
147	7,200.00	0.17	R1-6
148	7,200.00	0.17	R1-6
149	7,200.00	0.17	R1-6
150	7,200.00	0.17	R1-6

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
151	7,200.00	0.17	R1-6
152	7,200.00	0.17	R1-6
153	7,200.00	0.17	R1-6
154	7,200.00	0.17	R1-6
155	7,166.60	0.16	R1-6
156	7,191.32	0.17	R1-6
157	7,200.00	0.17	R1-6
158	7,200.00	0.17	R1-6
159	7,199.99	0.17	R1-6
160	7,200.00	0.17	R1-6
161	7,200.00	0.17	R1-6
162	7,200.00	0.17	R1-6
163	7,200.00	0.17	R1-6
164	7,200.00	0.17	R1-6
165	7,200.00	0.17	R1-6
166	7,200.00	0.17	R1-6
167	7,200.00	0.17	R1-6
168	7,200.00	0.17	R1-6
169	7,200.00	0.17	R1-6
170	7,200.00	0.17	R1-6
171	7,200.00	0.17	R1-6
172	7,200.00	0.17	R1-6
173	7,191.32	0.17	R1-6
174	7,200.00	0.17	R1-6
175	7,200.00	0.17	R1-6
176	7,200.00	0.17	R1-6
177	7,200.00	0.17	R1-6
178	7,200.00	0.17	R1-6
179	7,200.00	0.17	R1-6
180	7,200.00	0.17	R1-6
181	7,200.00	0.17	R1-6
182	7,200.00	0.17	R1-6
183	7,200.00	0.17	R1-6
184	7,200.00	0.17	R1-6
185	7,191.32	0.17	R1-6
186	7,200.00	0.17	R1-6
187	7,200.00	0.17	R1-6
188	6,781.44	0.16	R1-6
189	6,781.44	0.16	R1-6
190	7,200.00	0.17	R1-6
191	7,200.00	0.17	R1-6
192	7,191.32	0.17	R1-6
193	7,200.00	0.17	R1-6
194	7,200.00	0.17	R1-6
195	7,200.00	0.17	R1-6
196	7,200.00	0.17	R1-6
197	7,200.00	0.17	R1-6
198	7,200.00	0.17	R1-6
199	7,200.00	0.17	R1-6
200	7,200.00	0.17	R1-6
201	7,200.00	0.17	R1-6
202	7,200.00	0.17	R1-6
203	7,200.00	0.17	R1-6
204	7,191.32	0.17	R1-6
205	7,191.32	0.17	R1-6
206	7,200.00	0.17	R1-6
207	7,200.00	0.17	R1-6
208	7,200.00	0.17	R1-6
209	7,200.00	0.17	R1-6
210	7,200.00	0.17	R1-6
211	7,200.00	0.17	R1-6
212	7,200.00	0.17	R1-6
213	7,191.32	0.17	R1-6
214	7,191.32	0.17	R1-6
215	7,200.00	0.17	R1-6
216	7,200.00	0.17	R1-6
217	7,200.00	0.17	R1-6
218	7,200.00	0.17	R1-6
219	7,200.00	0.17	R1-6
220	7,200.00	0.17	R1-6
221	7,200.00	0.17	R1-6
222	7,191.32	0.17	R1-6
223	7,136.97	0.16	R1-6
224	7,200.00	0.17	R1-6
225	7,200.00	0.17	R1-6

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
226	7,200.00	0.17	R1-6
227	7,200.00	0.17	R1-6
228	7,200.00	0.17	R1-6
229	7,200.00	0.17	R1-6
230	7,200.00	0.17	R1-6
231	7,136.97	0.16	R1-6
232	7,381.44	0.17	R1-6
233	7,800.00	0.18	R1-6
234	7,800.00	0.18	R1-6
235	7,800.00	0.18	R1-6
236	7,800.00	0.18	R1-6
237	7,800.00	0.18	R1-6
238	7,791.32	0.18	R1-6
239	7,191.32	0.17	R1-6
240	7,200.00	0.17	R1-6
241	7,200.00	0.17	R1-6
242	7,200.00	0.17	R1-6
243	7,200.00	0.17	R1-6
244	7,200.00	0.17	R1-6
245	6,781.44	0.16	R1-6
246	7,136.97	0.16	R1-6
247	7,200.00	0.17	R1-6
248	7,200.00	0.17	R1-6
249	7,200.00	0.17	R1-6
250	7,200.00	0.17	R1-6
251	7,200.00	0.17	R1-6
252	7,200.00	0.17	R1-6
253	7,200.00	0.17	R1-6
254	7,200.00	0.17	R1-6
255	7,200.00	0.17	R1-6
256	7,200.00	0.17	R1-6
257	7,200.00	0.17	R1-6
258	7,200.00	0.17	R1-6
259	7,200.00	0.17	R1-6
260	7,200.00	0.17	R1-6
261	7,201.28	0.17	R1-6
262	7,548.85	0.17	R1-6
263	8,790.19	0.20	R1-6
264	7,200.00	0.17	R1-6
265	7,200.00	0.17	R1-6
266	7,200.00	0.17	R1-6
267	7,200.00	0.17	R1-6
268	7,200.00	0.17	R1-6
269	7,200.00	0.17	R1-6
270	7,200.00	0.17	R1-6
271	7,200.00	0.17	R1-6
272	7,197.25	0.17	R1-6
273	7,197.25	0.17	R1-6
274	7,200.00	0.1	

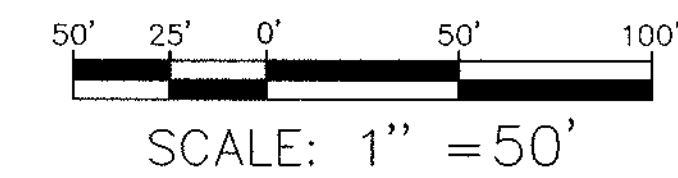
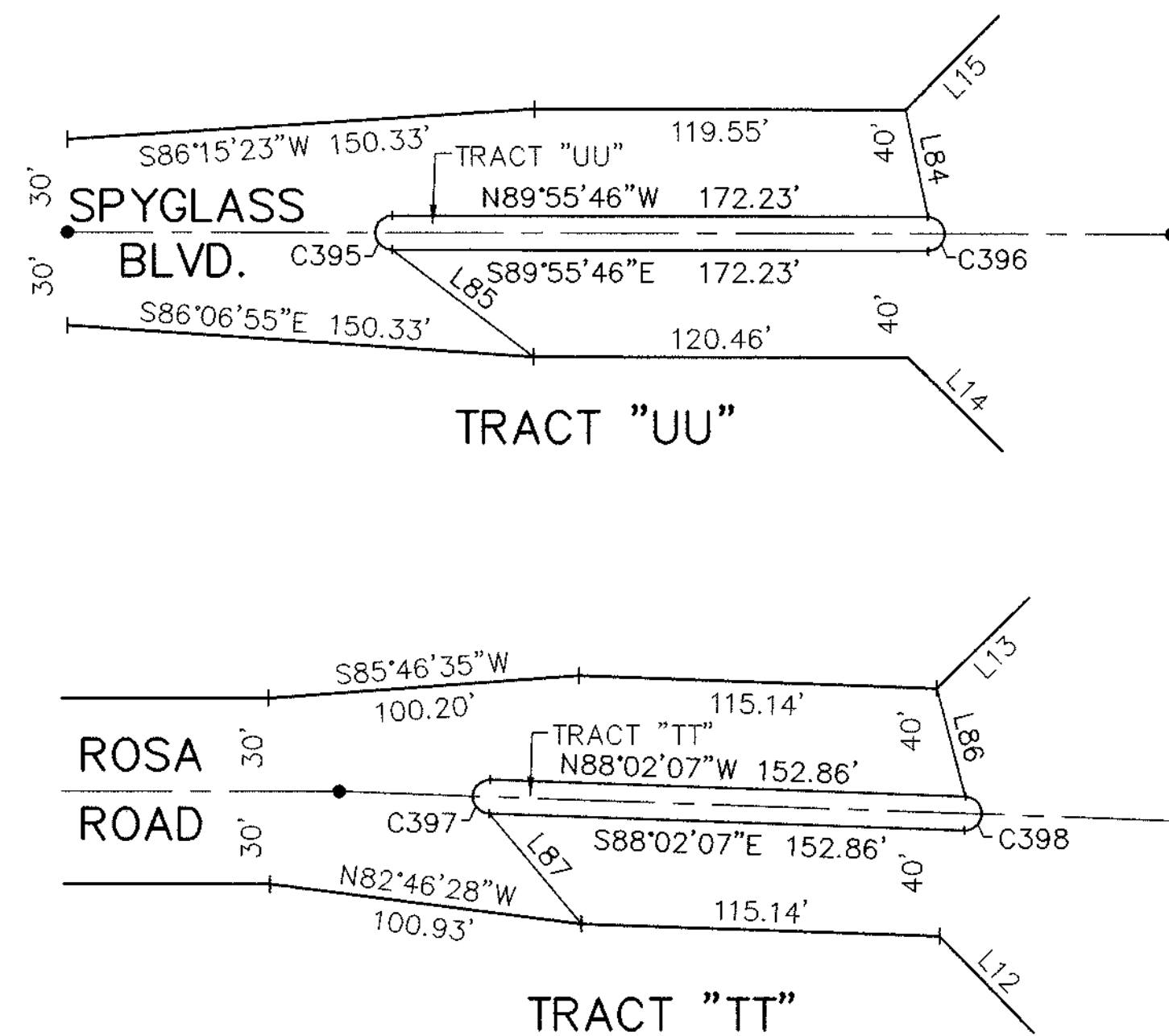
FINAL PLAT "NAUVOO STATION"

A SUBDIVISION (PLANNED AREA DEVELOPMENT) OF A PORTION OF THE SOUTH HALF OF SECTION 15,
TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE & MERIDIAN, MARICOPA COUNTY, ARIZONA

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
301	9,599.09	0.22	R1-8
302	9,598.79	0.22	R1-8
303	9,600.00	0.22	R1-8
304	9,495.90	0.22	R1-8
305	11,993.93	0.28	R1-8
306	11,384.43	0.26	R1-8
307	11,350.72	0.26	R1-8
308	11,317.01	0.26	R1-8
309	11,283.29	0.26	R1-8
310	11,249.58	0.26	R1-8
311	11,215.87	0.26	R1-8
312	11,182.16	0.26	R1-8
313	10,990.11	0.25	R1-8
314	11,263.47	0.26	R1-8
315	14,364.48	0.33	R1-8
316	12,721.22	0.29	R1-8
317	10,858.61	0.25	R1-8
318	10,824.90	0.25	R1-8
319	10,791.19	0.25	R1-8
320	10,757.47	0.25	R1-8
321	10,723.76	0.25	R1-8
322	10,690.05	0.25	R1-8
323	10,656.33	0.24	R1-8
324	10,622.62	0.24	R1-8
325	10,588.91	0.24	R1-8
326	10,555.20	0.24	R1-8
327	10,521.48	0.24	R1-8
328	10,487.77	0.24	R1-8
329	10,454.06	0.24	R1-8
330	10,420.34	0.24	R1-8
331	9,644.79	0.22	R1-8
332	12,540.40	0.29	R1-8
333	11,400.00	0.26	R1-8
334	11,400.00	0.26	R1-8
335	11,400.00	0.26	R1-8
336	11,400.00	0.26	R1-8
337	11,400.00	0.26	R1-8
338	11,400.00	0.26	R1-8
339	11,400.00	0.26	R1-8
340	11,143.16	0.26	R1-8
341	9,591.32	0.22	R1-8
342	9,600.00	0.22	R1-8
343	9,600.00	0.22	R1-8
344	9,600.00	0.22	R1-8
345	9,600.00	0.22	R1-8
346	9,600.00	0.22	R1-8
347	10,686.18	0.25	R1-8
348	9,599.87	0.22	R1-8
349	9,600.00	0.22	R1-8
350	9,600.00	0.22	R1-8
351	9,600.00	0.22	R1-8
352	9,600.00	0.22	R1-8
353	9,600.00	0.22	R1-8
354	9,599.87	0.22	R1-8
355	9,599.87	0.22	R1-8
356	9,600.00	0.22	R1-8
358	9,600.00	0.22	R1-8
357	9,600.00	0.22	R1-8
359	9,600.00	0.22	R1-8
360	9,600.00	0.22	R1-8
361	9,599.87	0.22	R1-8
362	9,591.32	0.22	R1-8
363	9,600.00	0.22	R1-8
364	9,600.00	0.22	R1-8
365	9,568.83	0.22	R1-8
366	9,600.00	0.22	R1-8
367	9,600.00	0.22	R1-8
368	9,600.00	0.22	R1-8
369	9,600.00	0.22	R1-8
370	9,600.00	0.22	R1-8
371	9,600.00	0.22	R1-8
372	9,600.00	0.22	R1-8
373	9,600.00	0.22	R1-8
374	9,600.00	0.22	R1-8
375	9,600.00	0.22	R1-8

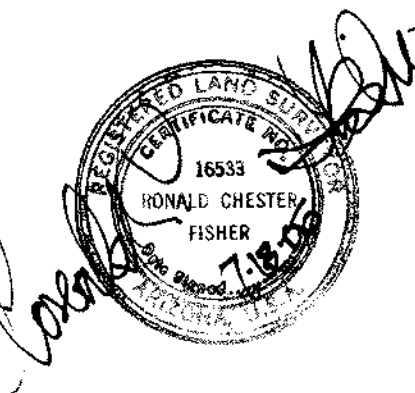
LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
376	9,568.83	0.22	R1-8
377	9,568.33	0.22	R1-8
378	9,600.00	0.22	R1-8
379	9,600.00	0.22	R1-8
380	9,600.00	0.22	R1-8
381	9,600.00	0.22	R1-8
382	9,600.00	0.22	R1-8
383	9,600.00	0.22	R1-8
384	9,600.00	0.22	R1-8
385	9,600.00	0.22	R1-8
386	9,600.00	0.22	R1-8
387	9,600.00	0.22	R1-8
388	9,568.33	0.22	R1-8
389	9,600.00	0.22	R1-8
390	9,594.16	0.22	R1-8
391	11,400.37	0.26	R1-8
392	11,400.00	0.26	R1-8
393	11,400.00	0.26	R1-8
394	11,400.00	0.26	R1-8
395	11,400.00	0.26	R1-8
396	11,400.00	0.26	R1-8
397	11,330.60	0.26	R1-8
398	16,095.06	0.37	R1-8
399	10,192.57	0.23	R1-8
400	10,158.86	0.23	R1-8
401	10,125.14	0.23	R1-8
402	10,091.43	0.23	R1-8
403	10,057.72	0.23	R1-8
404	10,024.01	0.23	R1-8
405	9,990.29	0.23	R1-8
406	9,956.38	0.23	R1-8
407	10,800.00	0.25	R1-8
408	10,800.00	0.25	R1-8
409	10,800.00	0.25	R1-8
410	10,800.00	0.25	R1-8
411	10,800.00	0.25	R1-8
412	10,800.00	0.25	R1-8
413	10,791.32	0.25	R1-8
414	10,791.32	0.25	R1-8
415	10,800.00	0.25	R1-8
416	10,800.00	0.25	R1-8
417	10,800.00	0.25	R1-8
418	10,800.00	0.25	R1-8
419	10,800.00	0.25	R1-8
420	10,755.06	0.25	R1-8
421	10,755.06	0.25	R1-8
422	10,800.00	0.25	R1-8
423	10,800.00	0.25	R1-8
424	10,800.00	0.25	R1-8
425	10,800.00	0.25	R1-8
426	10,800.00	0.25	R1-8
427	10,791.32	0.25	R1-8
428	10,791.32	0.25	R1-8
429	10,800.00	0.25	R1-8
430	10,800.00	0.25	R1-8
431	10,800.00	0.25	R1-8
432	10,800.00	0.25	R1-8
433	10,800.00	0.25	R1-8
434	10,755.06	0.25	R1-8
435	9,575.06	0.22	R1-8
436	9,600.00	0.22	R1-8
437	9,600.00	0.22	R1-8
438	9,600.00	0.22	R1-8
439	9,600.00	0.22	R1-8
440	9,600.00	0.22	R1-8
441	9,600.00	0.22	R1-8
442	10,831.18	0.25	R1-8
443	11,998.17	0.28	R1-12
444	12,000.00	0.28	R1-12
445	12,000.00	0.28	R1-12
446	12,000.00	0.28	R1-12
447	11,690.50	0.27	R1-12
448	13,763.52	0.32	R1-12
449	12,226.01	0.28	R1-12
450	12,576.08	0.29	R1-12

LOT AREA TABLE			
LOT #	SQ. FT.	ACRES	ZONING
451	12,475.17	0.29	R1-12
452	12,347.26	0.28	R1-12
453	12,273.36	0.28	R1-12
454	16,708.20	0.38	R1-12
455	12,853.28	0.30	R1-12
456	12,181.01	0.28	R1-12
457	12,233.69	0.28	R1-12
458	12,286.36	0.28	R1-12
459	12,339.04	0.28	R1-12
460	13,544.62	0.31	R1-12
461	13,545.00	0.31	R1-12
462	13,545.00	0.31	R1-12
463	13,513.83	0.31	R1-12
464	11,968.83	0.27	R1-12
465	12,000.00	0.28	R1-12
466	12,000.00	0.28	R1-12
467	12,000.00	0.28	R1-12
468	11,922.13	0.27	R1-12
469	11,961.46	0.27	R1-12
470	12,000.00	0.28	R1-12
471	12,000.00	0.28	R1-12
472	12,000.00	0.28	R1-12
473	11,968.83	0.27	R1-12
474	11,968.83	0.27	R1-12
475	12,000.00	0.28	R1-12
476	12,000.00	0.28	R1-12
477	12,000.00	0.28	R1-12
478	11,961.46	0.27	R1-12



LINE TABLE		
LINE	LENGTH	BEARING
L84	35.23	N11°34'48"W
L85	57.15	S52°47'57"E
L86	36.02	S14°44'41"E
L87	46.32	S39°53'52"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C395	17.28	5.50	INFINITE	180°00'00"
C396	17.28	5.50	INFINITE	180°00'00"
C397	17.28	5.50	INFINITE	180°00'00"
C398	17.28	5.50	INFINITE	180°00'00"



**FLEET • FISHER
ENGINEERING INC.**

4250 EAST CAMELBACK RD., SUITE 410 K
PHOENIX, AZ 85018 PH. (602) 264-3335

GROSS AREA 182,259 AC	JOB No. 616-01	SHEET 14 OF 14
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Nauvoo Station Plan Matrix

Plan	Elv	Liv Sq Ft	Porch	Patio	Garage	Sty	Beds	Baths
3516	B, C, D	1737	89	181	442	1	3	2
3518	B, C, D	1949	48	144	417	1	4	3
3570	B, C, D	1800	32	102	403	1	4	2
3575	B, C, D	1939	22	128	393	1	5	3
4021	B, C, D	2192	179	153	463	1	3	3
4022	B, C, D	2286	30	188	444	1	4	3
4083	B, C, D	2502	46	154	426	1	4	3
4580	B, C, D	2325	213	203	646	1	4	3
4585	B, C, D	2629	67	165	654	1	4	3
5579	B, C, D	2177	52	153	1398	1	4	3
5580	A, B, C, D	2862	58	193	690	1	3	3
5582	B, D, F	2958	122	187	716	1	5	3

ELEV: 4021/B, 4022/B, 4083/B, 4580/B,
4585/B, 5579/B, 5580/B, 5582/B



89029-12

ELEV: 4021/C, 4022/C, 4083/C, 4580/C,
4585/C,
5579/C, 5580/A, 5580/C, 5582/D

EXTERIOR LIGHTING



89132-12

ELEV: 4021/D, 4022/D, 4083/D, 4580/D,
4585/D, 5579/D, 5580/D, 5582/F



84531-746

ENTRY DOORS



CCR8200



CCR8200



CCR8205

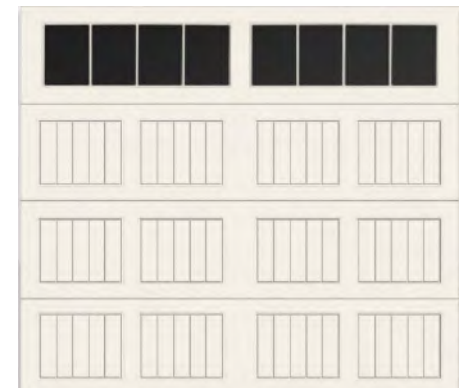
GARAGE DOORS



Colonial W/Stockton I



Ranch W/Stockton II



Sonoma W/Stockbridge

Nauvoo Station

#	Body	Pop-outs	Fascia	Shutters	Front Door	Garage Door	Roof Tile	Stone	Gutters Gutter/ Downspout	Notes
							Eagle (New)			
2	SW 6067 Mocha LRV:21	SW 6107 Nomadic Desert LRV:46	SW 6107 Nomadic Desert LRV:46	SW 6075 Garret Gray LRV: 15	SW 6069 French Roast LRV: 4	SW 6075 Garret Gray LRV: 15	3520 Weathered Terracotta Flashed 'S' Tile	Weather Edge Canyon Grey	Ivory / Buckskin Brown	
4	SW 6066 Sand Trap LRV:40	SW 6107 Nomadic Desert LRV:46	SW 6107 Nomadic Desert LRV:46	SW 6075 Garret Gray LRV: 15	SW 6076 Turkish Coffee LRV: 5	SW6081 Down Home LRV: 20	3785 Clay Springs Blend 'S' Tile	French Country Mesa Verde	Ivory	
6	SW 6046 Swing Brown LRV:20	SW 6107 Nomadic Desert LRV:46	SW 6075 Garret Gray LRV: 15	SW 6075 Garret Gray LRV: 15	SW 6076 Turkish Coffee LRV: 5	SW6033 Bateau Brown LRV: 13	3785 Clay Springs Blend 'S' Tile	French Country Mesa Verde	Beaver Brown/ Beaver Brown	
7	SW 6101 Sands of Time LRV:39	SW 6106 Kilim Beige LRV:57	SW 6106 Kilim Beige LRV:57	SW 6110 Steady Brown LRV: 16	SW 6104 Kaffee LRV: 9	SW6102 Portabello LRV: 21	3645 Sunrise Blend 'S' Tile	Field Stone Autumn Blend	Classic Cream / Ivory	
8	SW6102 Portabello LRV: 21	SW 6099 Sand Dollar LRV:58	SW 6099 Sand Dollar LRV:58	SW 6082 Cobble Brown LRV: 14	SW 6111 Coconut Husk LRV: 11	SW 6101 Sands of Time LRV:39	4880 Shasta Blend Flat	Cobble Buff	Ivory / Buckskin Brown	
9	SW 6088 Nuthatch LRV:19	SW 6086 Sand Dune LRV: 46	SW 6086 Sand Dune LRV: 46	SW 6082 Cobble Brown LRV: 14	SW 6083 Sable LRV: 8	SW 6101 Sands of Time LRV:39	3687 Brown Gray Range 'S' Tile	Field Stone Taupe	Ivory / Woodbeige	
10	SW 6087 Trusty Tan LRV:37	SW 6099 Sand Dollar LRV:58	SW 6099 Sand Dollar LRV:58	SW 6047 Hot Cocoa LRV:14	SW 6111 Coconut Husk LRV: 11	SW 6088 Nuthatch LRV:19	4880 Shasta Blend Flat	Cobble Buff	Ivory / Pebblestone Clay	Lot 239 - 5080/D
12	SW 6151 Quiver Tan LRV:22	SW 6086 Sand Dune LRV: 46	SW 6086 Sand Dune LRV: 46	SW 6082 Cobble Brown LRV: 14	SW 6083 Sable LRV: 8	SW6152 Superior Bronze LRV:15	3606 Vallejo Range 'S' Tile	Field Stone Taupe	Ivory / Pebblestone Clay	
13	SW 6095 Toasty LRV:19	SW 6107 Nomadic Desert LRV:46	SW 6107 Nomadic Desert LRV:46	SW 6103 Tea Chest LRV: 14	SW 6104 Kaffee LRV: 9	SW6145 Thatch Brown LRV:17	4684 San Rafael Blend Flat	Field Stone Autumn Blend	Ivory / Buckskin Brown	
16	SW 6074 Spalding Gray LRV:22	SW 6106 Kilim Beige LRV:57	SW 6106 Kilim Beige LRV:57	SW 6054 Canyon Clay LRV:13	SW 6055 Fiery Brown LRV:5	SW 6075 Garret Gray LRV: 15	3645 Sunrise Blend 'S' Tile	Weather Edge Canyon Grey	Ivory / Pebblestone Clay	Lot 240 - 5580/D
17	SW 7017 Dorian Gray LRV:39	SW 6005 Folkstone LRV:14	SW 6005 Folkstone LRV:14	SW 6005 Folkstone LRV:14	SW 6041 Otter LRV: 6	SW 7067 Cityscape LRV:22	4697 Slate Range Flat	Cobble Ledge Nantucket	Bronze / Colonial Gray	Lot 241 - 4580/B

Updates:

4/27/2018 - Updated matrix for Eagle roof tile conversion

Preliminary Lot Fit Analysis for Lennar at "Nauvoo Station"

Building Setbacks

Front = 10'/20'
 *20' for front facing garages to property line
 *10' for side entry garage or livable area to property line

Rear = 25'

Sides = 5' & 5' / 7' & 7'
 *5' side setbacks for lots 132 - 296
 *7' side setbacks for lots 297 - 313 and lots 377 - 387

Coverage:

50% Max. lot coverage

Notes:

1. No 2-Story homes on corner home sites
2. No same model with the same elev. Side by side or across the street from each other
3. No 2 homes side by side or across the street from each other with the same paint scheme
4. A maximum of 3 homes in a row with the same floor plan,
5. No more than three 2-story homes in a row.

Zoning:

R1-6 & R1-8 PRD

Plan Dimensions

- Plan 4021**.....= 40'-0" X 84'-0" All Elev.
Plan 4022.....= 40'-0" X 82'-8" All Elev.
Plan 4083.....= 40'-0" X 82'-0" All Elev.
Plan 4580.....= 45'-0" X 80'-0" All Elev.
Plan 4585.....= 45'-0" X 85'-0" All Elev.

Legend

- L..... = Plan fits left driveway only
 R..... = Plan fits right driveway only
 NO.... = Plan does not fit
 (1).... = Plan does not fit due to depth
 (2).... = Plan does not fit due to width
 (3).... = Lot Restricted to one-story only.
 (X).... = Indicates cross lot dig

Lot Information										Plan 4021		Plan 4022		Plan 4083		Plan 4580		Plan 4585	
Lot #	Lot Area	Lot Type	Front Setback	Sidewalk Ramp	Vertical Curb Cut	Fire Hydrant	Elec. Trans.	Elec. Svc.	Cross Dig	Fit	1-Story Max. Footprint 3,127 S.F.	Fit	1-Story Max. Footprint 2,906 S.F.	Fit	1-Story Max. Footprint 3,163 S.F.	Fit	1-Story Max. Footprint 3,387 S.F.	Fit	1-Story Max. Footprint 3,515 S.F.
132	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
133	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
134	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
135	7,394	End	10'/20'	-----	-----	-----	-----	-----	-----	L	42.3%	L	39.3%	L	42.8%	L	45.8%	L	47.5%
136	7,200	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
137	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
138	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
139	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
140	7,205	End	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.3%	R	43.9%	R	47.0%	R	48.8%
141	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
142	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
143	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
144	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
145	7,200	-----	10'/20'	Right	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
146	7,200	-----	10'/20'	Left	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
147	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
148	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
149	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
150	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
151	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
152	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
153	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
154	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
155	7,167	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.6%	L	40.5%	L	44.1%	L	47.3%	L	49.0%
156	7,191	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	43.5%	R	40.4%	R	44.0%	R	47.1%	R	48.9%
157	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
158	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
159	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
160	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
161	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
162	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
163	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
164	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
165	7,200	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%

Lot Information										Plan 4021		Plan 4022		Plan 4083		Plan 4580		Plan 4585	
Lot #	Lot Area	Lot Type	Front Setback	Sidewalk Ramp	Vertical Curb Cut	Fire Hydrant	Elec. Trans.	Elec. Svc.	Cross Dig	Fit	1-Story Max. Footprint 3,127 S.F.	Fit	1-Story Max. Footprint 2,906 S.F.	Fit	1-Story Max. Footprint 3,163 S.F.	Fit	1-Story Max. Footprint 3,387 S.F.	Fit	1-Story Max. Footprint 3,515 S.F.
166	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
167	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
168	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
169	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
170	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
171	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
172	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
173	7,191	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	43.5%	L	40.4%	L	44.0%	L	47.1%	L	48.9%
174	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
175	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
176	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
177	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
178	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
179	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
180	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
181	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
182	7,200	-----	10'/20'	Left	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
183	7,200	-----	10'/20'	Right	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
184	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
185	7,191	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	43.5%	L	40.4%	L	44.0%	L	47.1%	L	48.9%
186	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
187	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
188	6,781	End	10'/20'	-----	-----	-----	-----	-----	-----	NO(1)	46.1%	NO(1)	42.9%	NO(1)	46.6%	NO(1)	49.9%	NO(1)	51.8%
189	6,781	End	10'/20'	-----	-----	-----	-----	-----	-----	NO(1)	46.1%	NO(1)	42.9%	NO(1)	46.6%	NO(1)	49.9%	NO(1)	51.8%
190	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
191	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
192	7,191	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	43.5%	R	40.4%	R	44.0%	R	47.1%	R	48.9%
193	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%

271	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
272	7,197	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.1%	L	48.8%
273	7,197	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.1%	R	48.8%
274	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
275	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
276	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
277	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
278	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
279	7,200	End	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
280	7,191	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	43.5%	L	40.4%	L	44.0%	L	47.1%	L	48.9%
281	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
282	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
283	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
284	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
285	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
286	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
287	8,699	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	35.9%	L	33.4%	L	36.4%	L	38.9%	L	40.4%
288	9,263	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	33.8%	R	31.4%	R	34.1%	R	36.6%	R	37.9%
289	7,871	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.7%	L	36.9%	L	40.2%	L	43.0%	L	44.7%
290	9,706	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.2%	R	29.9%	R	32.6%	R	34.9%	R	36.2%
291	14,654	Key	10'/20'	-----	-----	-----	-----	-----	-----	L	21.3%	L	19.8%	L	21.6%	L	23.1%	L	24.0%
292	7,199	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	43.4%	L	40.4%	L	43.9%	L	47.0%	L	48.8%
293	7,200	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	43.4%	R	40.4%	R	43.9%	R	47.0%	R	48.8%
294	9,033	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	34.6%	L	32.2%	L	35.0%	L	37.5%	L	38.9%
295	9,033	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	34.6%	R	32.2%	R	35.0%	R	37.5%	R	38.9%
296	9,748	End	10'/20'	-----	-----	-----	-----	-----	-----	R	32.1%	R	29.8%	R	32.4%	R	34.7%	R	36.1%
297	12,551	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	24.9%	R	23.2%	R	25.2%	R	27.0%	R	28.0%
298	10,323	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	30.3%	L	28.2%	L	30.6%	L	32.8%	L	34.1%
299	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%
300	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
301	9,600	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
302	9,599	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	33.0%	R	35.3%	R	36.6%
303	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
304	9,496	End	10'/20'	-----	-----	-----	-----	-----	-----	L	32.9%	L	30.6%	L	33.3%	L	35.7%	L	37.0%
305	11,994	End	10'/20'	-----	-----	-----	-----	-----	-----	R	26.1%	R	24.2%	R	26.4%	R	28.2%	R	29.3%
306	11,384	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	27.5%	R	25.5%	R	27.8%	R	29.8%	R	30.9%
307	11,351	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	27.5%	L	25.6%	L	27.9%	L	29.8%	L	31.0%
308	11,317	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	27.6%	R	25.7%	R	27.9%	R	29.9%	R	31.1%
309	11,283	-----	10'/20'	Right	-----	-----	-----	-----	-----	L	27.7%	L	25.8%	L	28.0%	L	30.0%	L	31.2%
310	11,250	-----	10'/20'	Left	-----	-----	-----	-----	-----	R	27.8%	R	25.8%	R	28.1%	R	30.1%	R	31.2%
311	11,216	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	27.9%	L	25.9%	L	28.2%	L	30.2%	L	31.3%
312	11,182	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	28.0%	R	26.0%	R	28.3%	R	30.3%	R	31.4%
313	10,990	End	10'/20'	-----	-----	-----	-----	-----	-----	L	28.5%	L	26.4%	L	28.8%	L	30.8%	L	32.0%
377	9,568	Corner	10'/20'	-----	-----	-----	-----	-----	-----	R	32.7%	R	30.4%	R	33.1%	R	35.4%	R	36.7%
378	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
379	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%
380	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
381	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%
382	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
Lot Information										Plan 4021		Plan 4022		Plan 4083		Plan 4580		Plan 4585	
Lot #	Lot Area	Lot Type	Front Setback	Sidewalk Ramp	Vertical Curb Cut	Fire Hydrant	Elec. Trans.	Elec. Svc.	Cross Dig	Fit	1-Story Max. Footprint 3,127 S.F.	Fit	1-Story Max. Footprint 2,906 S.F.	Fit	1-Story Max. Footprint 3,163 S.F.	Fit	1-Story Max. Footprint 3,387 S.F.	Fit	1-Story Max. Footprint 3,515 S.F.
383	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%
384	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
385	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%
386	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	32.6%	L	30.3%	L	32.9%	L	35.3%	L	36.6%
387	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	32.6%	R	30.3%	R	32.9%	R	35.3%	R	36.6%

Preliminary Lot Fit Analysis for Lennar at "Nauvoo Station"

Building Setbacks

Front..... = 10'/20'
 *20' for front facing garages
 to property line
 *10' for side entry garage or livable area
 to property line
Rear..... = 25'
Sides..... = 5' & 5' / 7' & 7'
 *5' side setbacks for lots 132 - 296
 *7' side setbacks for lots 297 - 313
 and lots 377 - 387

Notes:

- No 2-Story homes on corner home sites
- No same model with the same elev. Side by side or across the street from each other
- No 2 homes side by side or across the street from each other with the same paint scheme
- A maximum of 3 homes in a row with the same floor plan,
- No more than three 2-story homes in a row.

Legend

L..... = Plan fits left driveway only
R..... = Plan fits right driveway only
NO..... = Plan does not fit
(1)..... = Plan does not fit due to depth
(2)..... = Plan does not fit due to width
(3)..... = Lot Restricted to one-story only,
(X)..... = Indicates cross lot dig

Plan Dimensions

Plan 4021..... = 40'-0" X 84'-0" All Elev.
Plan 4022..... = 40'-0" X 82'-8" All Elev.
Plan 4083..... = 40'-0" X 82'-0" All Elev.
Plan 4580..... = 45'-0" X 80'-0" All Elev.
Plan 4585..... = 45'-0" X 85'-0" All Elev.
Plan 5579..... = 55'-0" X 79'-0" All Elev.
Plan 5580..... = 55'-0" X 80'-0" All Elev.
Plan 5582..... = 55'-0" X 83'-0" All Elev.

Coverage:

50% Max. lot coverage

Zoning

R1-6 & R1-8 PRD

Lot Information										Plan 5579		Plan 5580		Plan 5582	
Lot #	Lot Area	Lot Type	Front Setback	Sidewalk Ramp	Vertical Curb Cut	Fire Hydrant	Elec. Trans.	Elec. Svc.	Cross Dig	Fit	1-Story Max. Footprint 3,766 S.F.	Fit	1-Story Max. Footprint 3,803 S.F.	Fit	1-Story Max. Footprint 4,083 S.F.
297	12,551	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	30.0%	R	30.3%	R	32.5%
298	10,323	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	36.5%	L	36.8%	L	39.6%
299	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
300	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
301	9,600	Corner	10'/20'	Right	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
302	9,599	Corner	10'/20'	Left	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
303	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
304	9,496	End	10'/20'	-----	-----	-----	-----	-----	-----	L	39.7%	L	40.0%	L	43.0%
305	11,994	End	10'/20'	-----	-----	-----	-----	-----	-----	R	31.4%	R	31.7%	R	34.0%
306	11,384	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	33.1%	R	33.4%	R	35.9%
307	11,351	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	33.2%	L	33.5%	L	36.0%
308	11,317	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	33.3%	R	33.6%	R	36.1%
309	11,283	-----	10'/20'	Right	-----	-----	-----	-----	-----	L	33.4%	L	33.7%	L	36.2%
310	11,250	-----	10'/20'	Left	-----	-----	-----	-----	-----	R	33.5%	R	33.8%	R	36.3%
311	11,216	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	33.6%	L	33.9%	L	36.4%
312	11,182	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	33.7%	R	34.0%	R	36.5%
313	10,990	End	10'/20'	-----	-----	-----	-----	-----	-----	L	34.3%	L	34.6%	L	37.2%
377	9,568	Corner	10'/20'	-----	-----	-----	-----	-----	-----	R	39.4%	R	39.7%	R	42.7%
378	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
379	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
380	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
381	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
382	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
383	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
384	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
385	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%
386	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	L	39.2%	L	39.6%	L	42.5%
387	9,600	-----	10'/20'	-----	-----	-----	-----	-----	-----	R	39.2%	R	39.6%	R	42.5%