



TO: PLANNING AND ZONING COMMISSION

FROM: BRETT BURNINGHAM, PLANNING ADMINISTRATOR; STEVEN ESTER, PLANNER I

RE: Discussion and Possible Approval of P18-0043, “Meridian North LDS Church Meetinghouse Site Plan”, a request by Jason Fowers for approval of a Major Site Plan for a new 16,443 square foot LDS Church Meetinghouse, located north of the northwest corner of Meridian Road and Ocotillo Road.

DATE: MAY 9, 2018

STAFF RECOMMENDATION

Staff recommends approval of P18-0043, “Meridian North LDS Church Meetinghouse Site Plan”, subject to the Conditions of Approval outlined in this report.

RELEVANT COUNCIL GOAL



Quality Lifestyle

PROPOSED MOTION

Move to recommend approval of P18-0043, “Meridian North LDS Church Meetinghouse Site Plan”, subject to the Conditions of Approval outlined in this report.

SUMMARY

The proposal consists of a request for approval of a site plan, landscaping, and building elevations for a new 16,443 square foot LDS Church Meetinghouse. The site is approximately 6.3 acres in size and is located north of the northwest corner of Meridian Road and Ocotillo Road.

HISTORY

The site has been a vacant commercial parcel associated with the Malone Place PAD originally approved in September of 2016.

DISCUSSION

Jason Fowers, on behalf of The Church of Jesus Christ of Latter-Day Saints (LDS), is requesting approval of a site plan, landscaping, and building elevations for a new 16,443 square foot meetinghouse. The site is approximately 6.3 acres in size and located north of the northwest corner of Meridian Road and Ocotillo Road.

The proposed church building will service the growing LDS population by adding accommodations for 3-4 additional congregations in the immediate area. The proposed building architecture is consistent with existing LDS buildings around Queen Creek, and will be constructed of exposed brick with concrete tile roof and a white metal steeple. The proposed building is one story in height with the main roofline being approximately 27 feet tall and the maximum height of the steeple at 66 feet and 4 inches. The proposed building heights comply with the 30-foot maximum in the C-2 zoning district.

The subject property was planned as a commercial parcel associated with the Malone Place PAD. Currently, the zoning for the site is General Commercial (C-2/PAD). Churches are a permitted use in the C-2 zoning district. The church will be accessed by two (2) driveways off of Meridian Road, and one (1) drive entrance off of a future road on the northern border of the site.

Project Information	
Project Name	Meridian North LDS Church Meetinghouse
Site Location	N/NWC of Meridian Rd. and Ocotillo Rd.
Current Zoning	General Commercial District (C-2/PAD)
General Plan Designation	Commercial
Surrounding Zoning Designations:	
North	R1-5/PAD (Urban Development District)
South	C-2/PAD (General Commercial District)
East	Meridian Road EMP-A (Office/Industrial Park)
West	R1-5/PAD (Urban Development District)
Site Area	6.3 Acres
Parking Required	147
Parking Provided	299
Landscaping Required	15%
Landscaping Provided	48.5%
Bldg. Square Footage	16,443

ANALYSIS

General Plan Review: The project is located in the Commercial designation on the 2008 General Plan Land Use Map. The project is consistent with the General Plan, as the Commercial designation allows religious institutions.

Zoning Review: The zoning designation of the property is General Commercial (C-2/PAD), which allows for religious institutions.

Site Plan Review: The project meets the Zoning Ordinance Standards for religious institutions.

Building Elevation Review: The building elevations comply with the Town Design Standards, and are consistent with other Church of Jesus Christ of Latter-Day Saints (LDS) buildings in the Town.

Landscape Plan Review: The overall landscaping meets the Town's standards as set forth in the Zoning Ordinance.

Public Comments: Staff has not received any public comment to date.

CONDITIONS OF APPROVAL

1. This project shall be developed in accordance with the plans and exhibits associated with this case and all the provisions of the Town zoning ordinance.

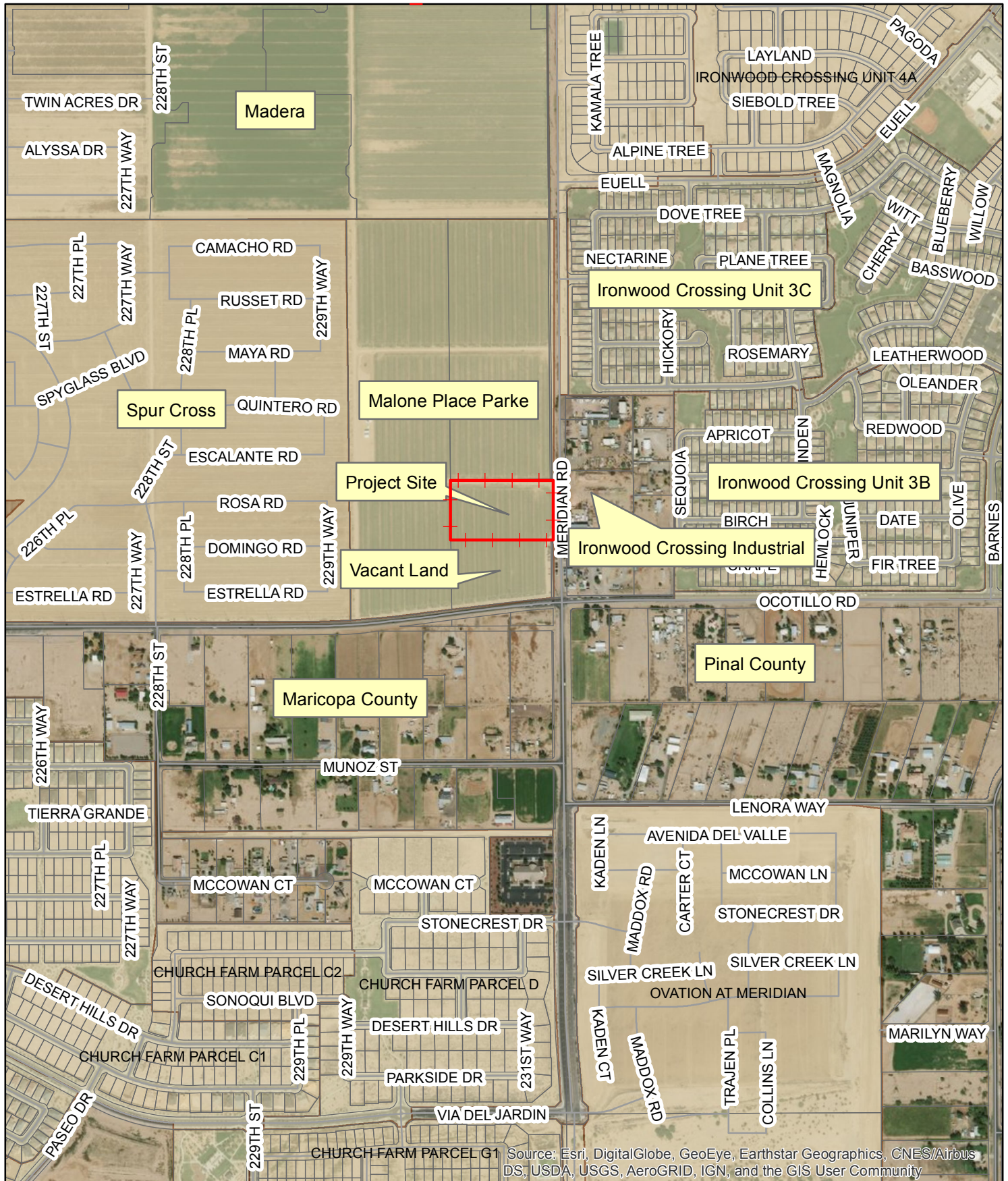
ATTACHMENTS

1. Aerial Photo Exhibit
2. General Plan Exhibit
3. Zoning Exhibit
4. Site Plan
5. Landscape Plan
6. Building Elevations

Project Name: Meridian North LDS Church Meetinghouse Aerial

Case Number: P18-0043

Hearing Date: May 9, 2018 Planning and Zoning Commission

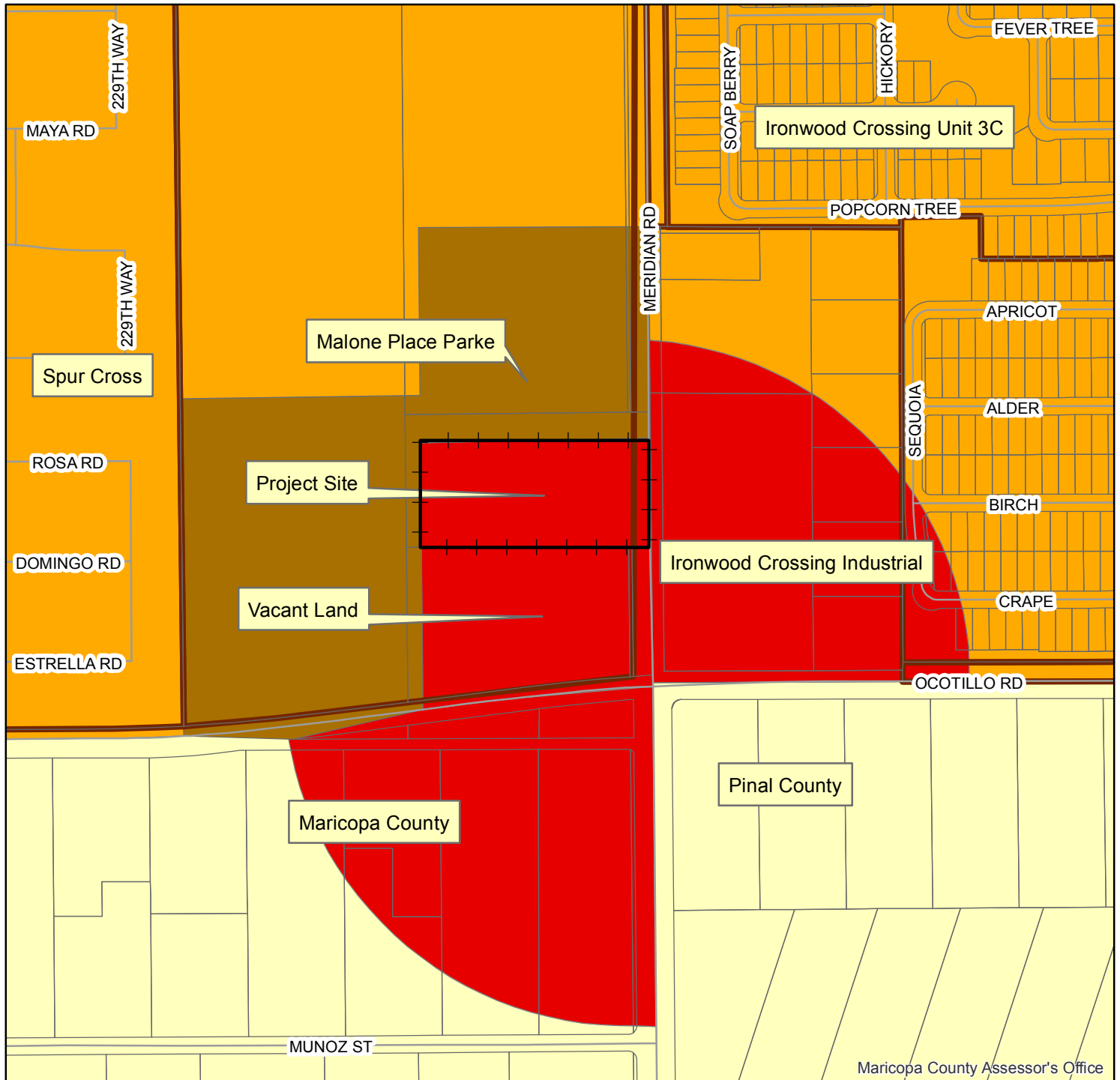


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Project Name: Meridian North LDS Church Meetinghouse General Plan Exhibit

Case Numbers: P18-0043

Hearing Date: May 9, 2018 Planning and Zoning Commission



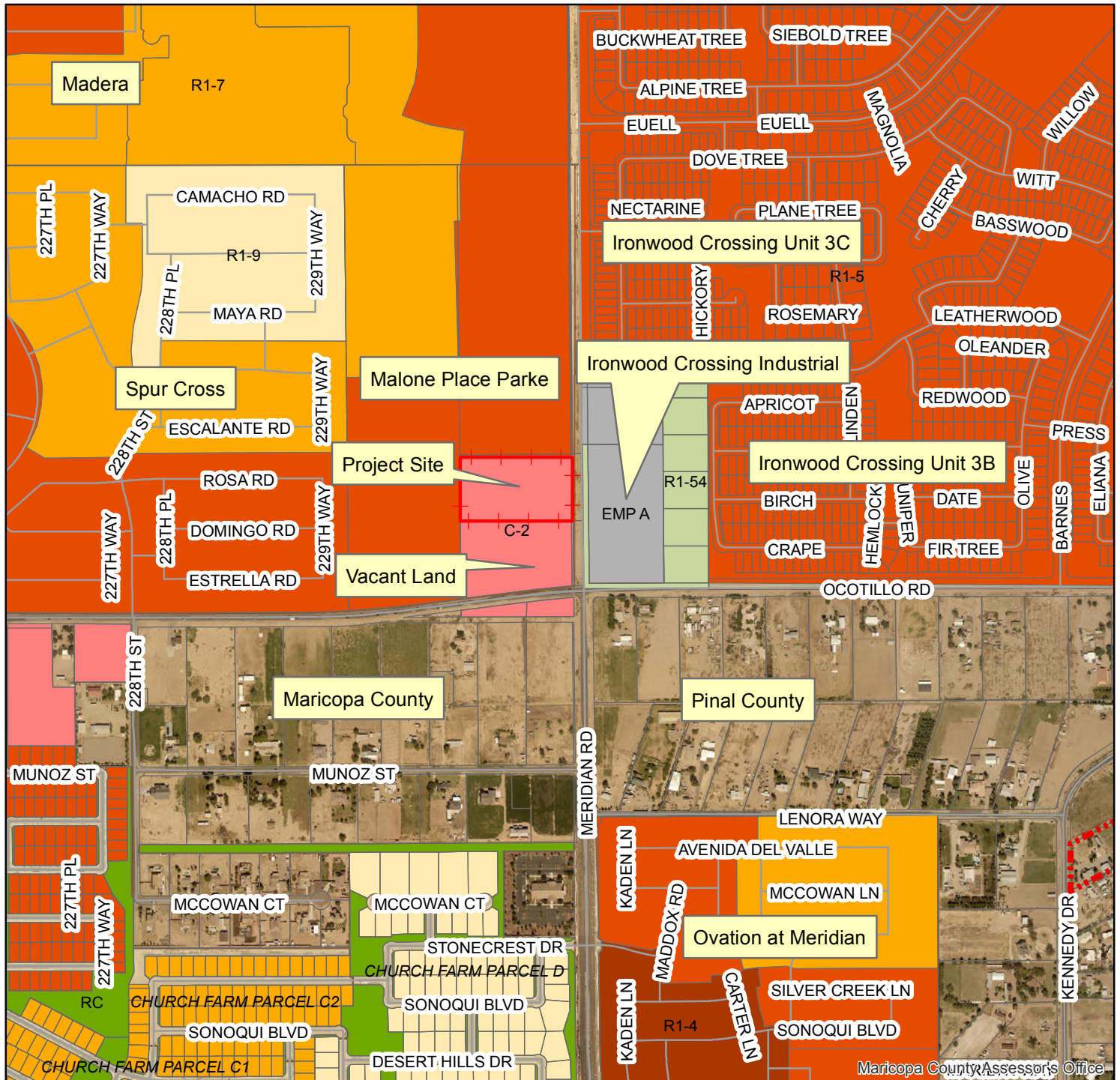
General Plan Land Use

- | | | |
|--|-------------------------|----------------------------|
| Very Low Density Residential (0-1 DU/AC) | Mixed Use | Regional Commercial Center |
| Low Density Residential (0-2 DU/AC) | Town Center Mixed Use | Employment Type A |
| Medium Density Residential (0-3 DU/AC) | Neighborhood Commercial | Employment Type B |
| MHDR | Community Commercial | Agritainment |
| Multi-Family | Office/Services | Public/Quasi-Public |
| Master Planned Community (0-1.8 DU/AC) | Commercial | Open Space |

Project Name: Meridian North LDS Church Meetinghouse Zoning Exhibit

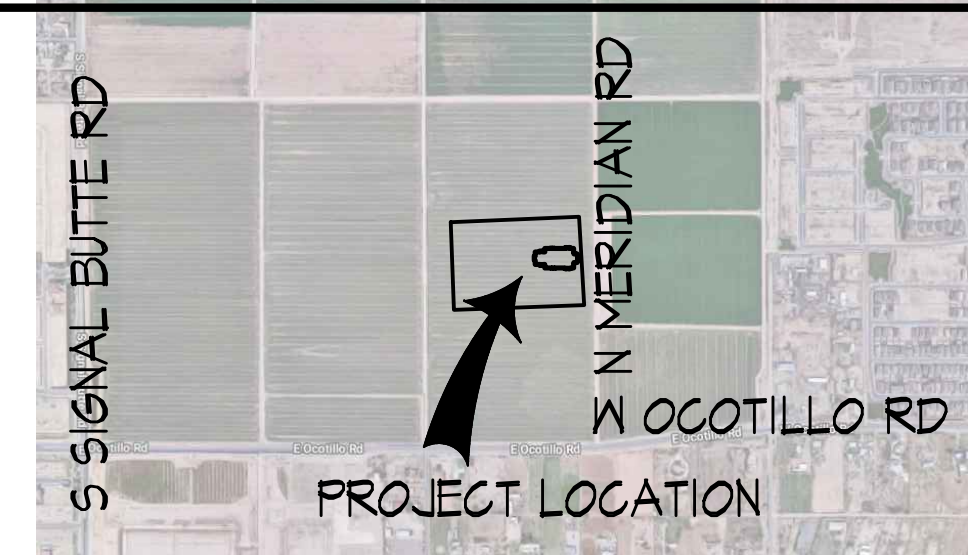
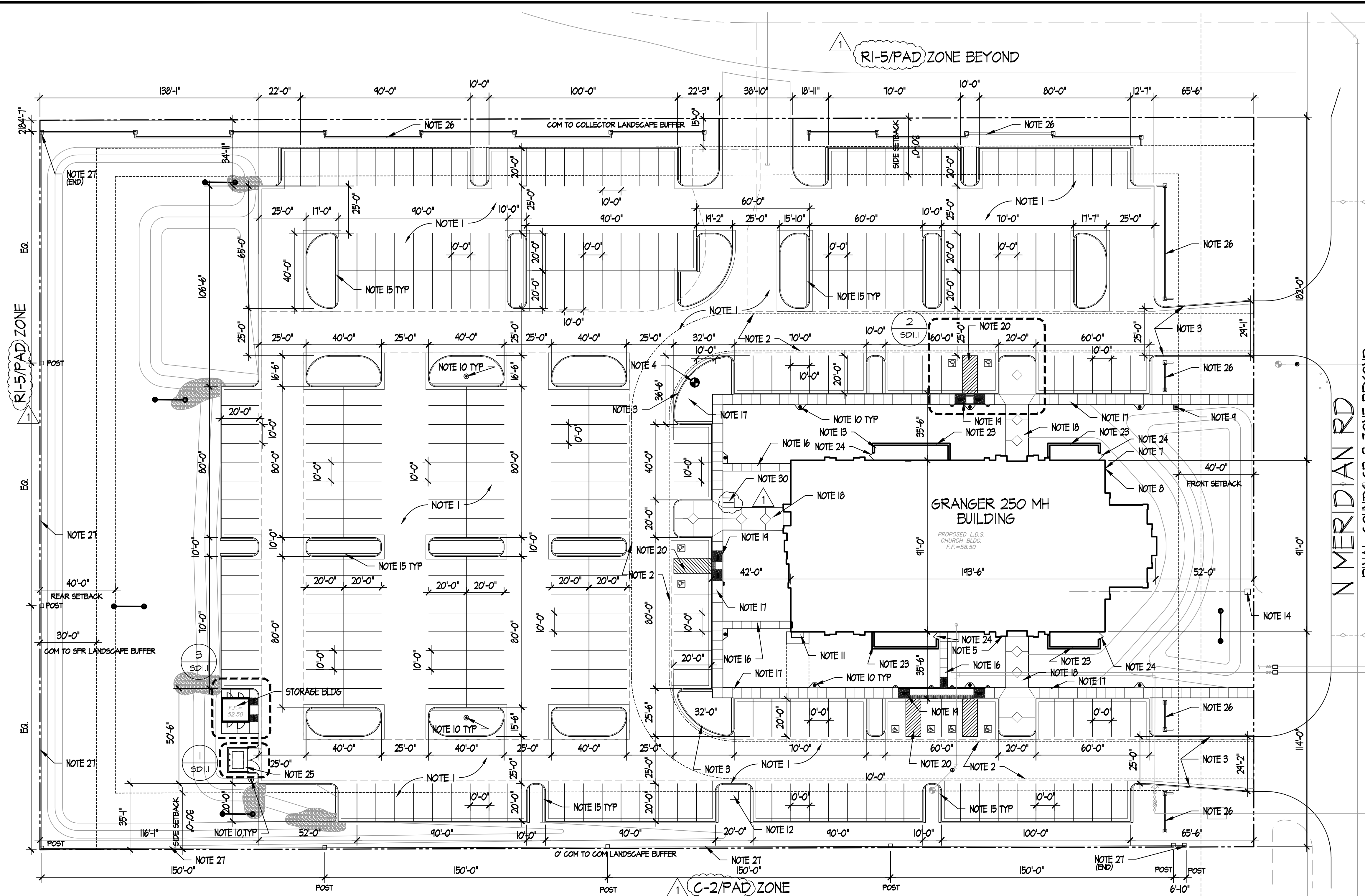
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Zoning Districts

C-1, Commercial	RC, Recreation/Conservation	R1-7, Residential	R1-18, Residential
C-2, Commercial	PCD, Planned Community Development	R1-8, Residential	R1-35, Residential
TC, Commercial	MDR, Multi-Family	R1-9, Residential	R1-43, Residential
EMP A, Heavy Industrial	R1-4, Residential	R1-10, Residential	R1-54, Residential
EMP B, Light Industrial	R1-5, Residential	R1-12, Residential	R1-190, Residential
PQP, Public/Quasi-Public	R1-6, Residential	R1-15, Residential	

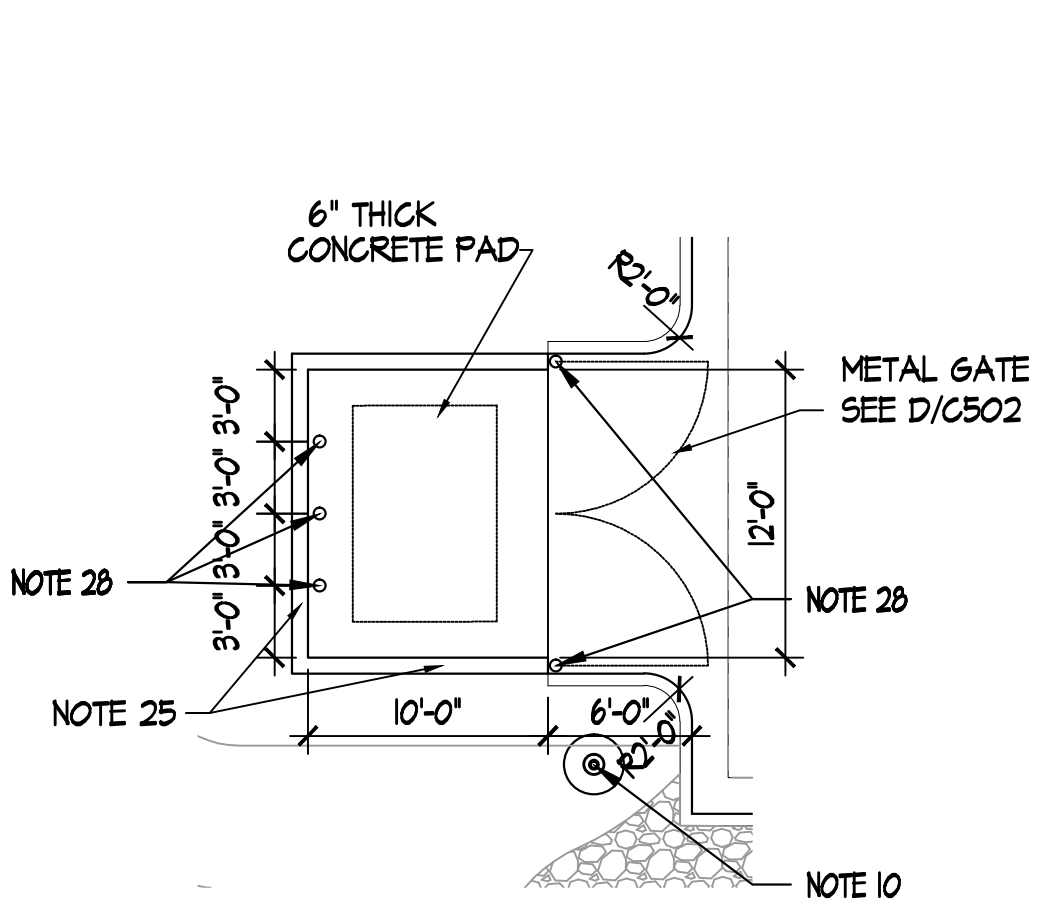


VICINITY MAP

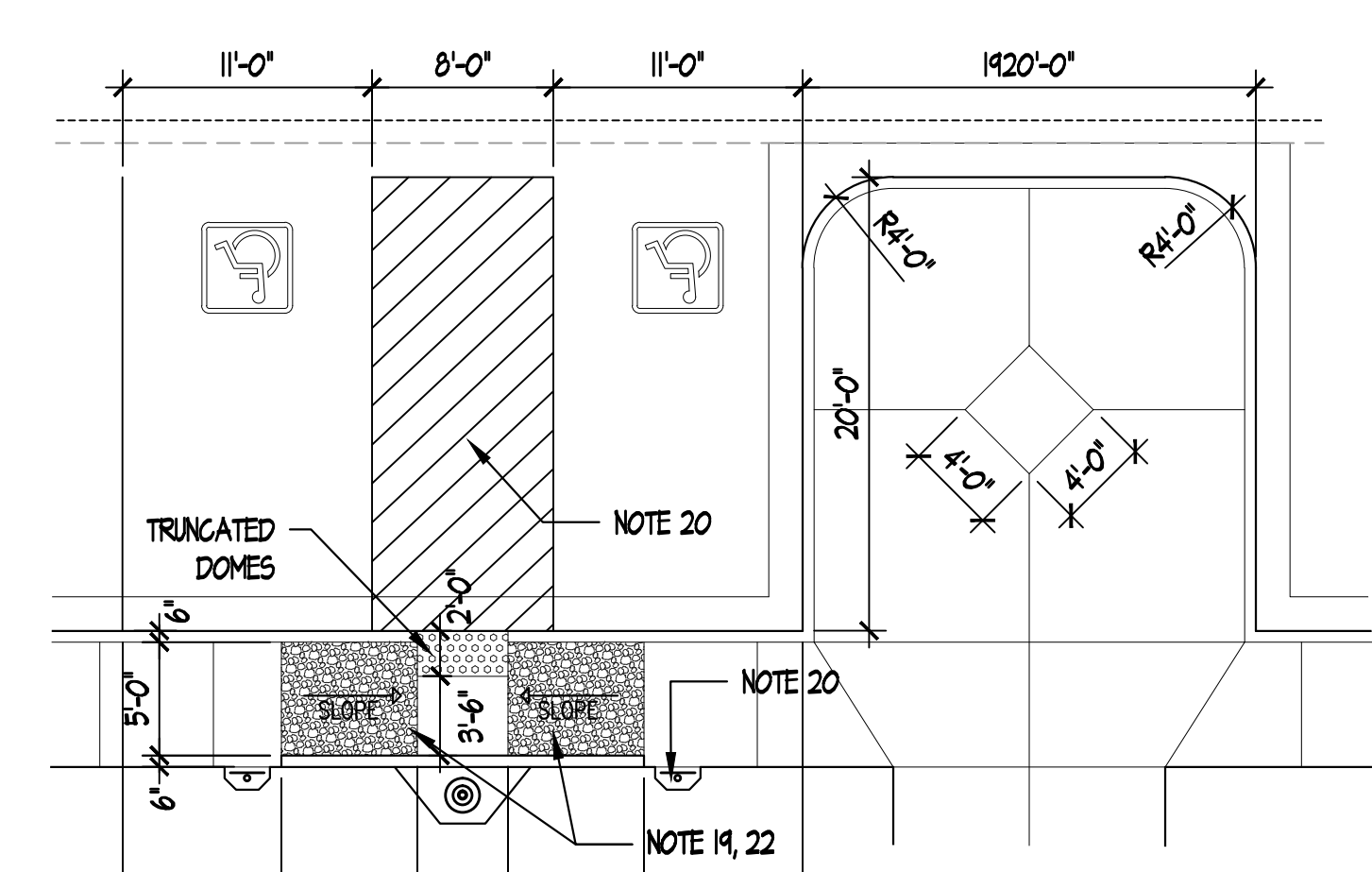
SITE INFORMATION	
PARCEL NO.	304-64-0035
ZONING	C-2/PAD (GENERAL COMMERCIAL)
GROSS SITE AREA	274,229 S.F. (6.30 ACRES)
NEW GRANGER 250 MH BUILDING S.F.	
HEATED	15,447 S.F.
CHURCH BUILDING FOOTPRINT	16,443 S.F.
STORAGE BUILDING FOOTPRINT	190 S.F.
TOTAL COVERAGE	16,633 S.F.
% SITE COVERAGE	6%
PARKING	
ONE PARKING SPACE PER 8 SEATS IN CHAPEL REQ'D	
278 SEATS / 8 = 35 STALLS REQ'D.	
OR 1170 OCCUPANT LOAD = 1170 / 8 = 147 STALLS REQ'D.	
PARKING PROVIDED	STANDARD SPACES 241
	HANDICAP SPACES 8
	TOTAL 249

- KEY NOTES**
- CONCRETE PAVING.
 - INDICATES FIRE LANE.
 - CURB PAINTED AND MARKED "NO PARKING - FIRE LANE", PER TOWN OF QUEEN CREEK.
 - NEW FIRE HYDRANT - PROVIDE 3'-0" CLEARANCE.
 - FIRE DEPT. KNOX BOX, ORDERED AND INSTALLED PER TOWN OF QUEEN CREEK FPD.
 - REMOTE FIRE DEPARTMENT CONNECTION (FDC).
 - MEETING HOUSE STONE SIGN. SEE SIGN PERMIT DOCUMENTS.
 - BUILDING ADDRESS SIGN. SEE SIGN PERMIT DOCUMENTS.
 - LIGHTED FLAG POLE SEE L/ACT02.
 - LIGHT POLE - TYP. 15'-0" HIGH MAX PER B, C46/ACT02.
 - SERVICE ENTRY SECTION FOR ELECTRICAL.
 - TRANSFORMER, W/ CONC. PAD AND BOLLARDS AS REQ'D BY UTILITY CO.
 - IRRIGATION CONTROLLER PER LANDSCAPE PLANS.
 - ELECTRIC BOX FOR FUTURE CONNECTION - SEE ELECTRICAL.
 - 1'-0" CONCRETE STEP OFF WALK.
 - 4'-0" SIDEWALK.
 - 5'-6" SIDEWALK.
 - 12'-0" SIDEWALK.
 - ACCESSIBLE RAMP AT ADA PARKING, SEE DETAIL SHEET J/ACT02.
 - ACCESSIBLE STRIPING TO BE WHITE AND AT 45° ANGLE.
 - ACCESSIBLE PARKING SIGNAGE SEE N/ACT01.
 - WASHED AGGREGATE FINISH CONCRETE.
 - CMU MECHANICAL ENCLOSURE PER D/ACT03. HEIGHT SHALL BE MIN. 12' ABOVE TOP OF MECHANICAL UNITS.
 - MECHANICAL ENCLOSURE GATE PER C/ACT03.
 - TRASH ENCLOSURE PER A/ACT03 & B/ACT03.
 - 3'-0" CMU PARKING SCREEN WALL PER ACT04.
 - 6'-0" TALL CMU WALL W/ POSTS MIN 150' O.C. AS SHOWN, PER ACT04.
 - CONCRETE BOLLARD, SEE R/ACT01.
 - APPROX. LOCATION OF BACK FLOW PREVENTION DEVICES FOR POTABLE WATER AND IRRIGATION. SEE CIVIL AND LANDSCAPING DRAWINGS FOR MORE INFORMATION.
 - 1 BIKE RACK PER D/ACT02.

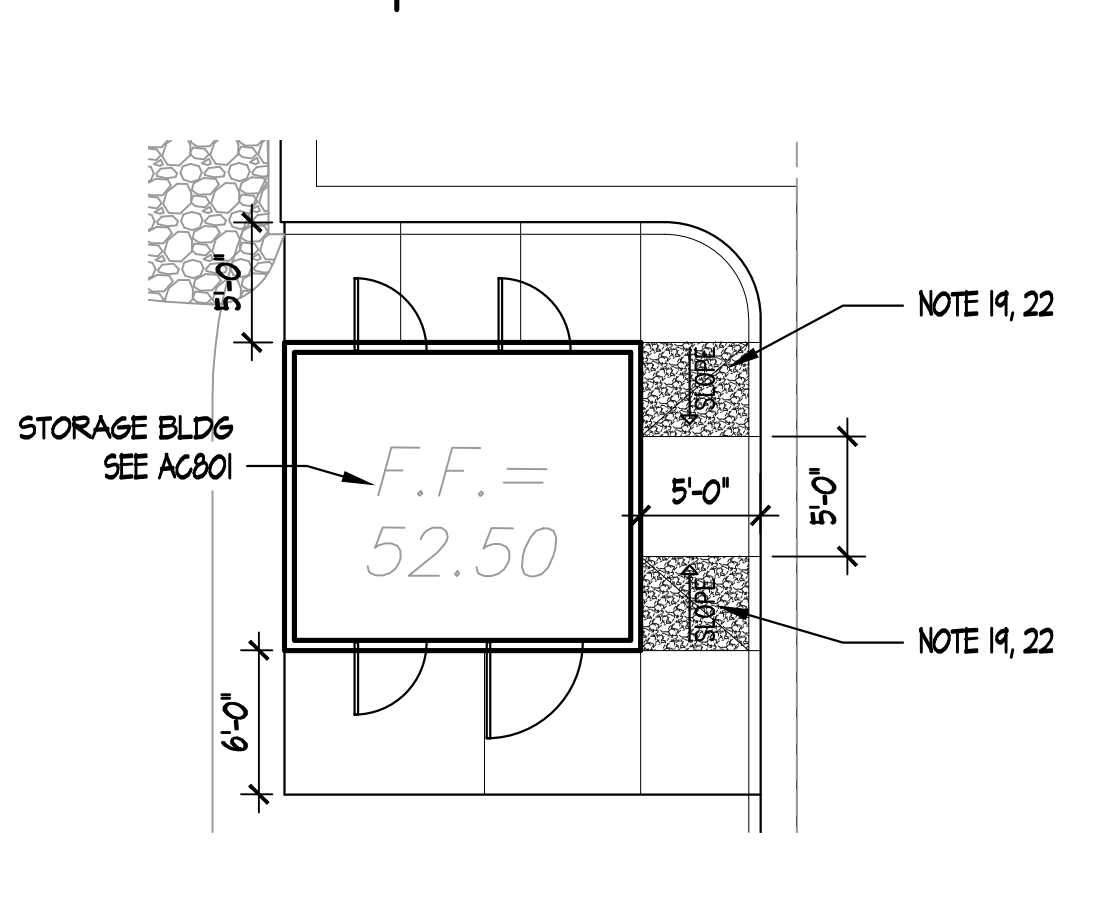
SITE PLAN
1" = 30'-0"



1 TRASH ENCLOSURE
1/8" = 1'-0"



2 ADA PARKING (TYP.)
1/8" = 1'-0"



3 STORAGE BLDG CONC
1/8" = 1'-0"

GENERAL NOTES

- VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS, SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE ACCESS ROADS AND FIRE HYDRANTS.
- STRUCTURE CONSTRUCTION, ALTERATION, OR DEMOLITION, SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 241.

OWNER INFORMATION
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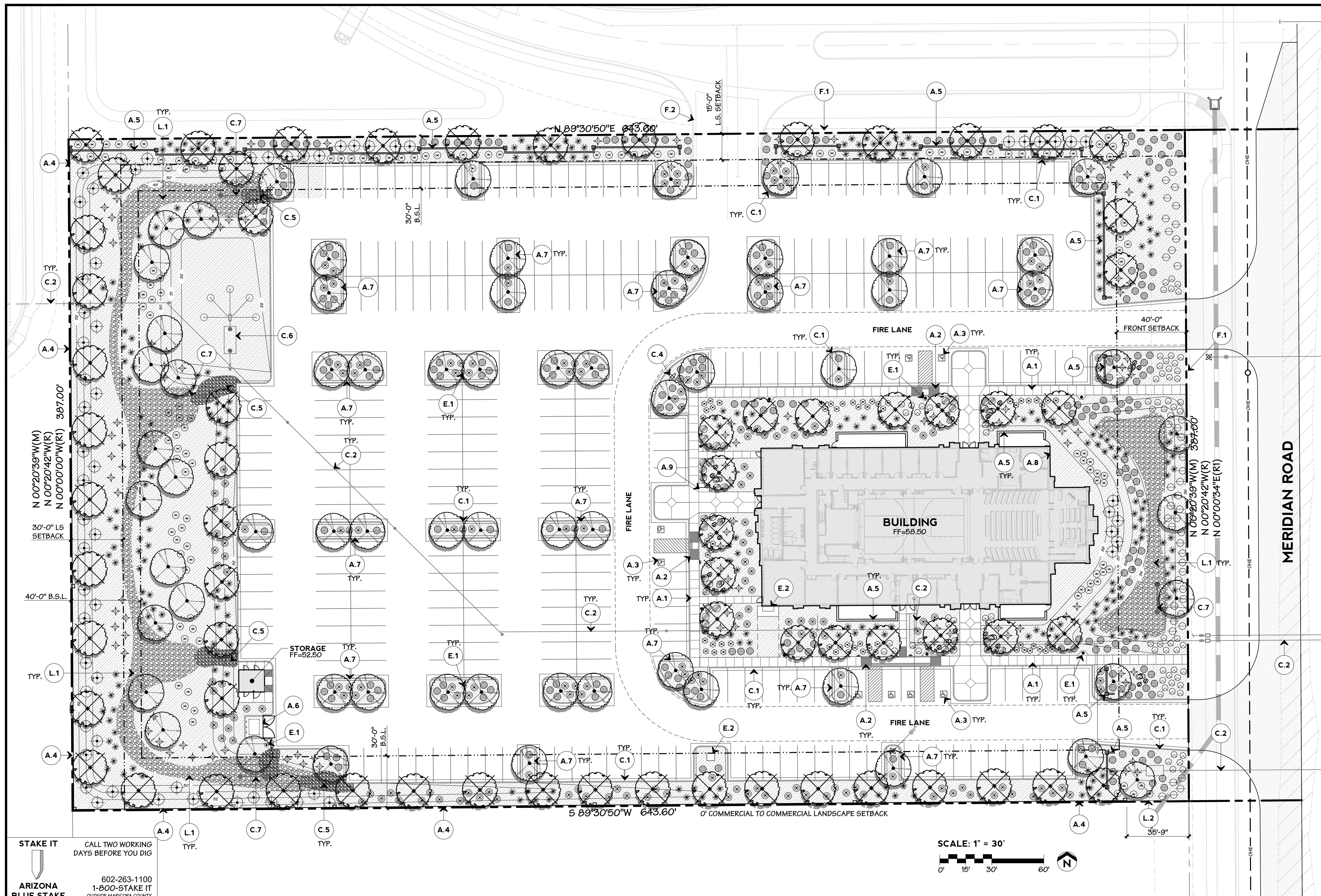
Architect's Seal:
SCOTT KENNETH LUTES
Professional Engineer
No. 46187
Arizona, U.S.A.
Expires 06/30/19

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Project Number:
1715441.00
Plan Series:
G25-MH-17-AZ
Property Number:
501-2985

Sheet Title:
**SITE PLAN
SITE DETAILS**

Sheet:
SD1.1



LANDSCAPE LEGEND & SCHEDULE

SYMBOL	BOTANICAL NAME COMMON NAME	BOX SIZE CALIPER (INCHES) HEIGHT X WIDTH	QTY
	PISTACIA X 'RED PUSH' RED PUSH PISTACHE - STANDARD TRUNK	36" BOX 2.0 CALIPER 10' H x 5' W	66
	FRAXINUS VELUTINA 'FANTEX' FANTEX ASH - STANDARD TRUNK	36" BOX 2.0 CALIPER 10' H x 6' W	68
SHRUBS			
	BOUGAINVILLEA GALABRA BUSH BOUGAINVILLEA	5 GAL.	64
	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.	134
	LEUCOPHYLLUM LANGMANIAE RIO BRAVO SAGE	5 GAL.	208
	CALLISTEMON CITRINUS 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH	5 GAL.	61
	RUSSELLIA EQUESETIFORMIS CORAL FOUNTAIN	5 GAL.	76
ACCENTS			
	MULENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.	268
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.	109
GROUNDCOVER			
	LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL.	269
	LANTANA MONTIVENDESIS PURPLE TRAILING LANTANA	1 GAL.	45
	WEDELIA TRILOBATA YELLOW DOT	1 GAL.	36
TOP DRESSING			
	DECOMPOSED GRANITE COLOR: SANTA FE BROWN 2" DEEP MINIMUM SEE DETAIL 6/102	1/2" SCREENED	86,360 S.F.
	ANGULAR RIP RAP COLOR: COCO BROWN 4" DEEP MINIMUM	3'-6" ANGULAR	8,666 S.F.
BOULDERS			
	SURFACE SELECT BOULDER	2' x 2' x 3'	18
	SURFACE SELECT BOULDER	3' x 3' x 4'	4
	SURFACE SELECT BOULDER	4' x 4' x 5'	5
LANDSCAPE EDGING			
	CONCRETE HEADER 6"x6" REGULAR GRAY SEE DETAIL 7/102		36 L.F.

DESIGN CRITERIA

ECO REGION: 10.2 - SOUTHERN WARM DESERT
 CLIMATE ZONE: ZONE 9B : 25 TO 30 (F)
 ZONING ORDINANCE: C-2/PAD
 WATER AVAILABILITY: 60 PSI, AND 200 GPM
 SOIL TYPE: SEE SOILS REPORT
 SLOPES: 4% MAX, SEE GRADING PLANS
 WIND: N/A
 SETBACKS / EASEMENTS: 40' (EAST) 30' (NORTH & SOUTH) 40' (WEST)
 MICROCLIMATES: N/A
 SOILS PH: SEE SOILS REPORT
 LAWN AREA PERCENTAGE: 0%
 UNDEVELOPED PROPERTY: 0
 IRRIGATION SYSTEM: YES, AUTOMATIC, SEE IRRIGATION PLAN

Architect / Engineer:
 1688 North Greenfield Road
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 Mesa, Arizona 85205
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 F: 480.878.3839
 www.thomas+crowley.com

EMC2
 Architects + Planners, P.C.

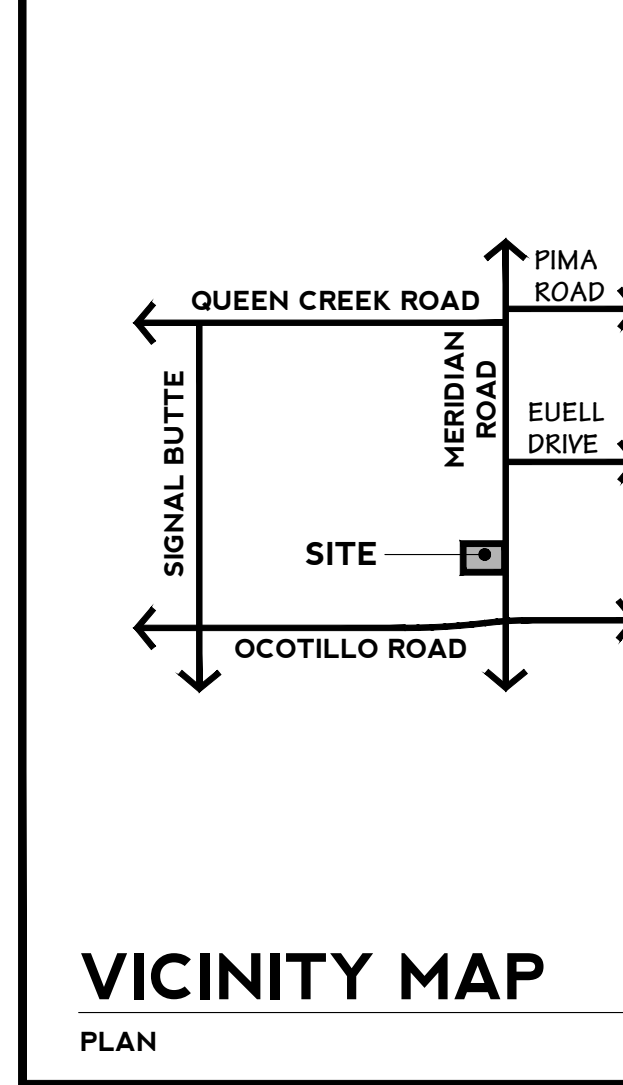
Stamp:
 LANDSCAPE ARCHITECT
 54031
 PAUL THOMAS
 ARIZONA, U.S.A.
 EXPIRES 12/31/18

Project for:
MERIDIAN NORTH MH
SAN TAN VALLEY
AZ NORTH STAKE

NW OF N MERIDIAN AND W OCOTILLO RD
 QUEEN CREEK, AZ 85140

Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

STAKE IT
 ARIZONA BLUE STAKE
 CALL TWO WORKING DAYS BEFORE YOU DIG
 602-263-1100
 1-800-STAKE IT
 OUTSIDE MARICOPA COUNTY



PROJECT TEAM

OWNER INFORMATION
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 EMAIL: PAUL@THOMAS-CROWLEY.COM

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 JASON FOWERS - PROJECT MANAGER

CIVIL ENGINEER
STANDAGE & ASSOCIATES
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 CONTACT: WILLIAM H. STANDAGE

KEYED NOTES

F.X FUTURE
 F.1 FUTURE SIDEWALK
 F.2 FUTURE CURB AND GUTTER

E.X ELECTRICAL
 E.1 LIGHT POLE, SEE ELECTRICAL PLANS
 E.2 TRANSFORMER, SEE ELECTRICAL PLANS

A.X ARCHITECTURE
 A.1 NEW SIDEWALK, SEE ARCHITECTURE PLANS
 A.2 NEW RAMP, SEE ARCHITECTURE PLANS
 A.3 NEW ACCESSIBLE PARKING STALLS, SEE ARCHITECTURE PLANS
 A.4 NEW SITE WALL, SEE ARCHITECTURE PLANS
 A.5 NEW SCREEN WALL, SEE ARCHITECTURE PLANS
 A.6 TRASH ENCLOSURE, SEE ARCHITECTURE PLANS
 A.7 1'-0" CONCRETE PARKING WALK OFF PAD SEE ARCHITECTURE PLANS
 A.8 BUILDING SIGN, SEE ARCHITECTURE PLANS. CONTRACTOR TO ENSURE NO PLANTS ARE BLOCKING THE VISIBILITY OF THIS SIGN
 A.9 BIKE RACK, SEE ARCHITECTURE PLANS

C.X CIVIL
 C.1 NEW CURB AND GUTTER, SEE CIVIL PLANS
 C.2 UTILITY LINE, SEE CIVIL ENG. PLANS
 C.3 WATER METERS AND BACKFLOW PREVENTERS DEVICES, SEE CIVIL ENG. PLANS
 C.4 FIRE HYDRANT, SEE CIVIL ENG. PLANS
 C.5 NEW RIP RAP SPILLWAY, SEE CIVIL ENG. PLANS. FOR QTY, RIP RAP TO MATCH RIP RAP COLOR IN LANDSCAPE SCHEDULE. TO BLEND NATURALLY WITH LOOSE RIP RAP PER THIS PLAN. COORDINATE WITH CIVIL IMPROVEMENTS
 C.6 SEPTIC PLAN, SEE CIVIL ENG. PLANS
 C.7 DRYWELL, SEE CIVIL ENG PLANS

L.X LANDSCAPE
 L.1 NEW RIP RAP, SEE LANDSCAPE SCHEDULE FOR MORE INFO
 L.2 NEW CONCRETE HEADER SEE LANDSCAPE SCHEDULE FOR MORE INFO TO EXTEND FROM END OF WALL TO SIDEWALK

LEGEND

	PROPERTY LINE		EXISTING CONTOUR LINE
	PUBLIC UTILITY EASEMENT LINE		PROPOSED CONTOUR LINE
	CENTER LINE		LANDSCAPE SETBACK LINE
	OVERHEAD GRP ELECTRICAL LINE		SIGHT VISIBILITY LINE

PLANT COVERAGE

SHRUBS / GROUND COVER COVERAGE	ACTUAL %	% / # REQUIRED BY LOCAL JURISDICTION
STREET FRONTAGE:	25% - 50%	25% N/A
PRIMARY ENTRIES	30% - 55%	40% N/A
BUILDING PERIMETER	25% - 45%	40% N/A
PERIMETER SIDES	10% - 25%	15% N/A
PERIMETER REAR	10% - 25%	15% N/A

TREES	PURPOSE	ACTUAL #	% / # REQUIRED BY LOCAL JURISDICTION
STREET FRONTAGE:	FRAME BUILDING	7	N/A
PRIMARY ENTRIES	FRAME ENTRY	6	N/A
BUILDING PERIMETER	ACCENT BUILDING	7	N/A
PERIMETER SIDES	SCREEN LOT	40	N/A
PERIMETER REAR	SCREEN LOT	32	N/A
PARKING LOT	SCREEN LOT	33	N/A

LANDSCAPE DATA

TOTAL NET SITE AREA: 198,007 S.F. (4.55 AC)
 BUILDING GROUND FLOOR AREA: 16,663 S.F.

LANDSCAPE AREA:	TOTAL	% OF SITE AREA	% / # REQUIRED BY LOCAL JURISDICTION
TREES	134	N/A	N/A
SHRUBS / GROUND COVER	1,270	N/A	N/A
LAWN AREA	0	0%	NOT REQUIRED

SHEET INDEX

#	SHEET	NAME
1	L101	LANDSCAPE PLAN
2	L102	LANDSCAPE DETAILS
3	L201	IRRIGATION PLAN
4	L202	IRRIGATION DETAILS
5	L203	IRRIGATION DETAILS

THOMAS + CROWLEY
 LANDSCAPE ARCHITECTURE 1150 N. COUNTRY CLUB DRIVE, #11
 + PLANNING MESA, AZ 85201
 + SITE DESIGN PH: 480.878.4708
 + CONSTRUCTION MANAGEMENT WWW.THOMAS-CROWLEY.COM

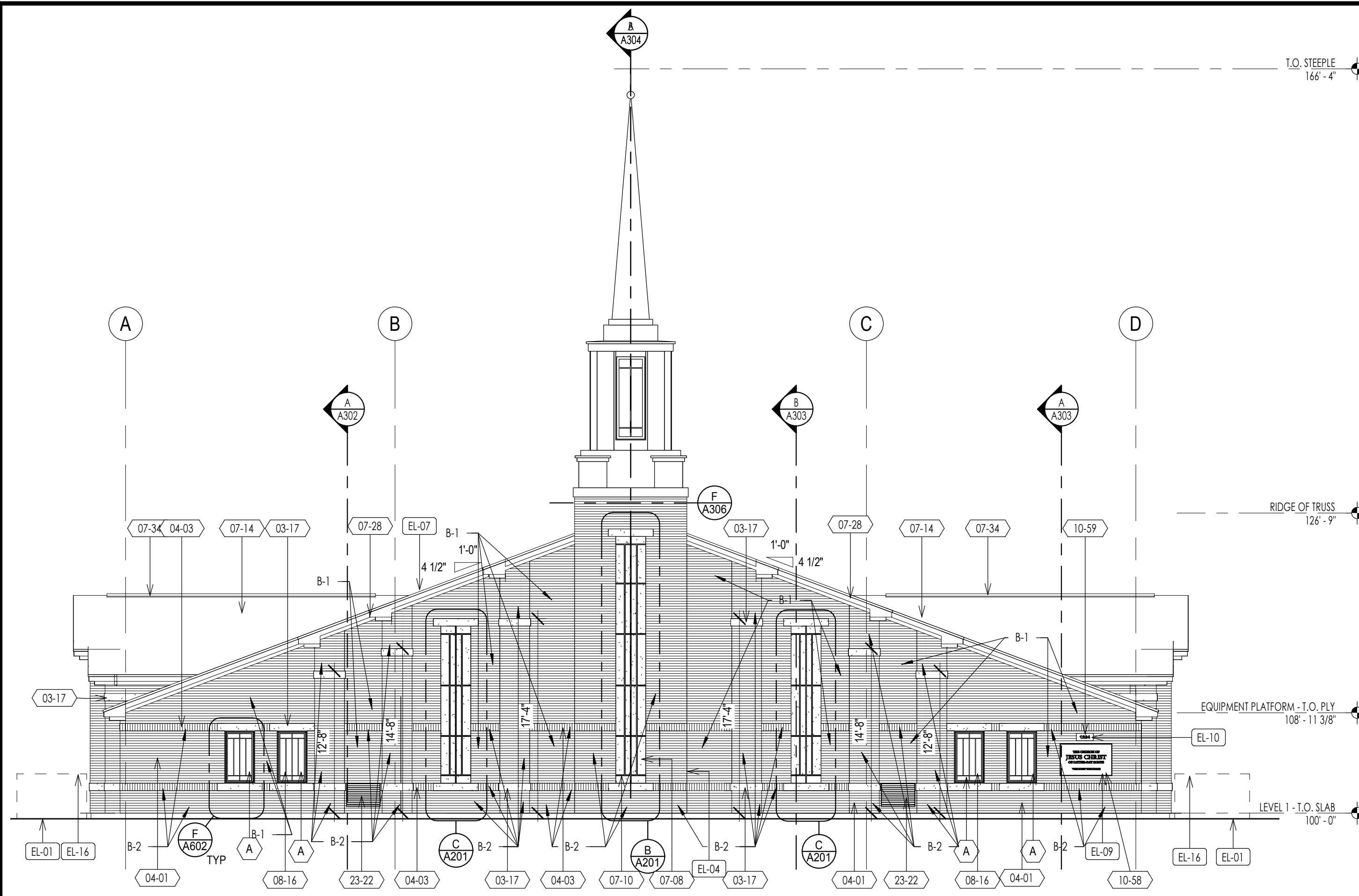
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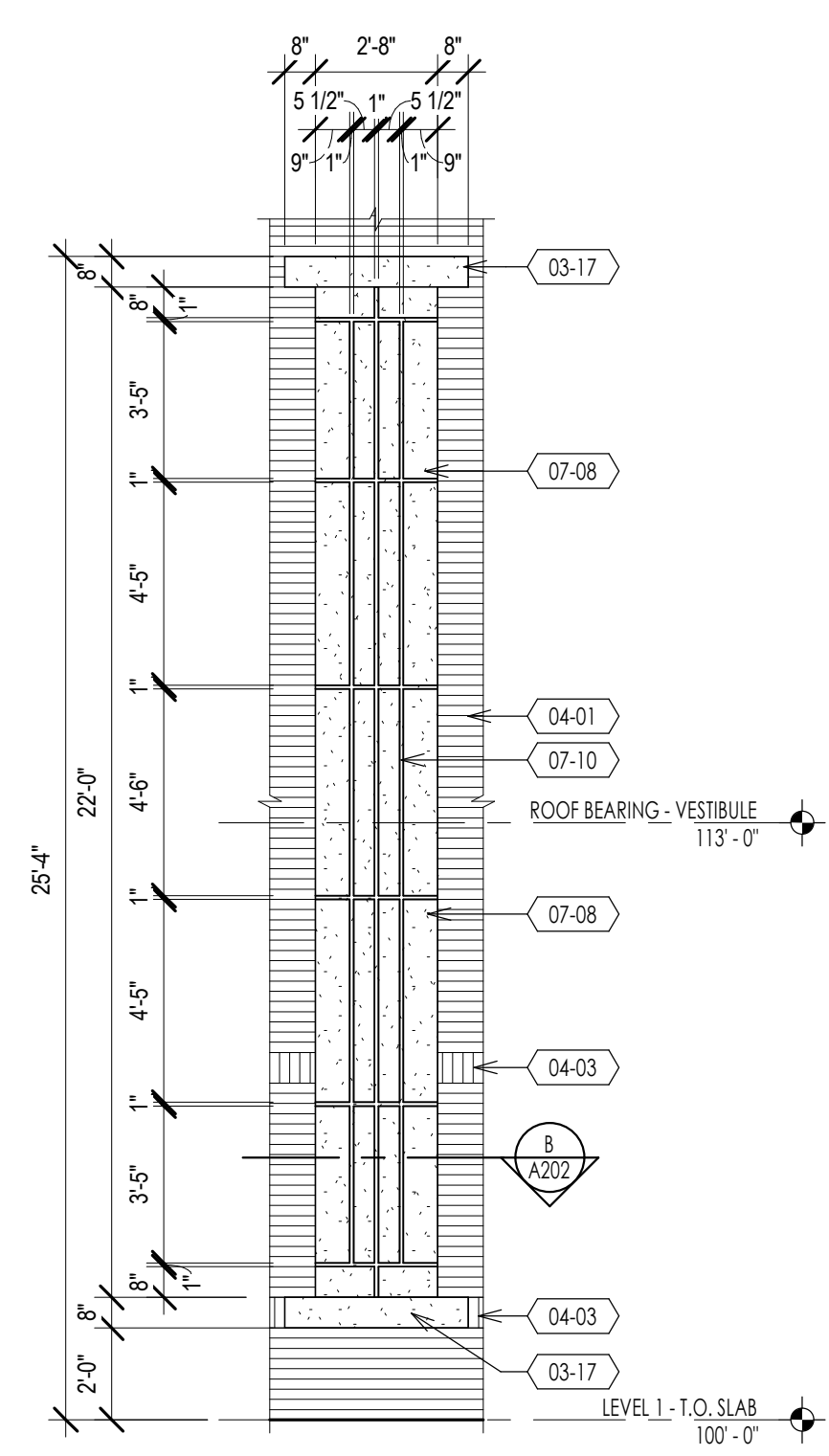
Property Number:
501-2985

Sheet Title:
LANDSCAPE PLAN

Sheet:
L101



EAST ELEVATION
1/8" = 1'-0"



EIFS DETAIL TYPE 2
1/4" = 1'-0"

EIFS DETAIL TYPE 1
1/4" = 1'-0"

KEYNOTES	
MATERIAL KEYNOTES	INSTRUCTIONAL KEYNOTES
XX-XX ← KEYNOTE MATERIAL	FP-XX ← KEYNOTE INSTRUCTION
INSTRUCTIONAL KEYNOTES	
EL-01	VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-04	PROVIDE EXPANSION JOINT IN MASONRY AT INSIDE CORNER AS SHOWN AND NOTED
EL-07	COORDINATE WITH ROOF PLAN FOR ALL VENTING REQUIREMENTS
EL-09	STONE MEETINGHOUSE SIGN. SEE DETAILS
EL-10	BUILDING ADDRESS SIGN. MOUNT AT LOCATION AS SELECTED BY ARCHITECT AND VISIBLE FROM THE STREET. SEE DETAILS
EL-16	MECHANICAL ENCLOSURE WALL (SHOWN DASHED FOR CLARITY). SEE CIVIL & MECHANICAL DRAWINGS

MATERIAL / SPECIFICATION KEYNOTES	
03-17	ARCHITECTURAL PRE-CAST CONCRETE. SEE DETAILS & SPECIFICATIONS
04-01	BRICK VENEER MASONRY, RUNNING BOND. SEE DETAILS & SPECIFICATIONS
04-03	BRICK VENEER MASONRY, SOLDIER COURSE. SEE DETAILS & SPECIFICATIONS
07-08	WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM. SEE DETAILS & SPECIFICATIONS
07-10	WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT. SEE DETAILS & SPECIFICATIONS
07-14	CONCRETE TILE ROOFING. SEE DETAILS & SPECIFICATIONS
07-28	METAL SOFFIT PANELS & TRIM. SEE DETAILS & SPECIFICATION
07-34	ROOF RELIEF VENTS. SEE DETAILS & SPECIFICATION
08-14	EXTERIOR & INTERIOR ALUMINUM STOREFRONT ENTRANCES. SEE SCHEDULE & SPECIFICATION
08-16	ALUMINUM FRAMED FIXED WINDOWS. SEE SCHEDULE, DETAILS & SPECIFICATIONS
10-58	ENGRAVED STONE LDS PANEL SIGN. SEE DETAILS & SPECIFICATION
10-59	ENGRAVED ADDRESS STONE SIGN. SEE DETAILS & SPECIFICATION
23-22	HVAC GRILLE. SEE MECHANICAL DRAWINGS & SPECIFICATION

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www.emc2architects.com

Architects Planners, PC

Stamp:
SCOTT KENNETH LUTES
REGISTERED ARCHITECT
ARIZONA U.S.A.
EST. 1988 04/30/19

MERIDIAN NORTH MH
SAN TAN VALLEY AZ NORTH STAKE
NW 1/4 N MERIDIAN RD AND W Ocotillo RD
QUEEN CREEK, AZ 85140

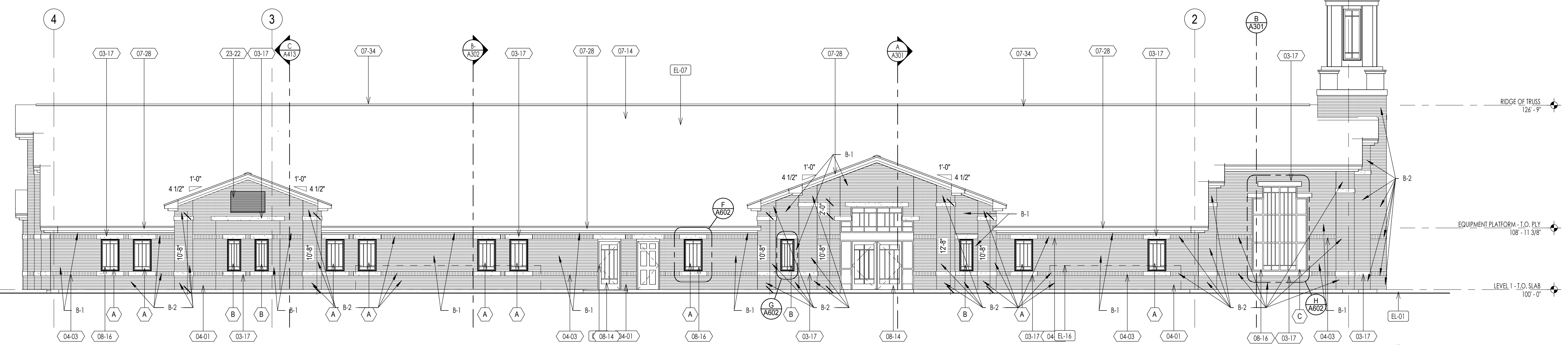
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

#	REVISIONS / SUBMISSIONS	DATE

Project Number:
1717483.00
Plan Series:
G25-MH-AZ
Property Number:
501-2985

Sheet Title:
BUILDING ELEVATIONS

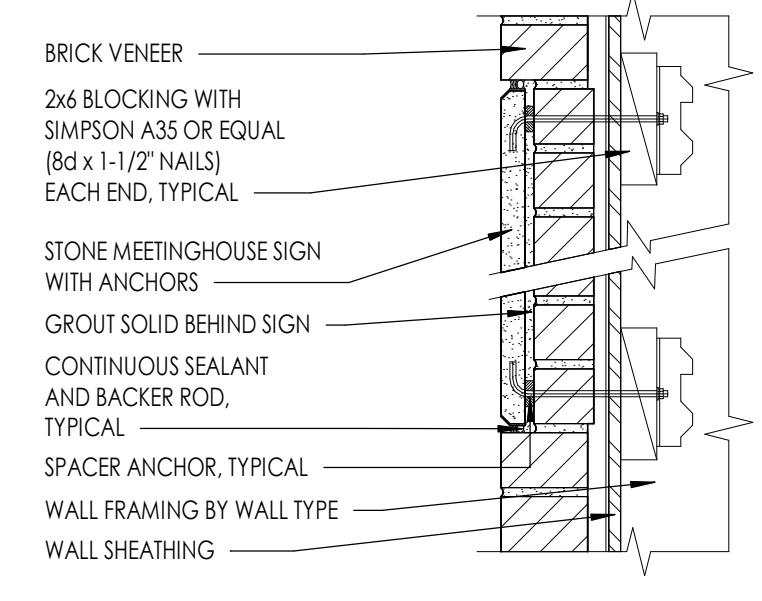
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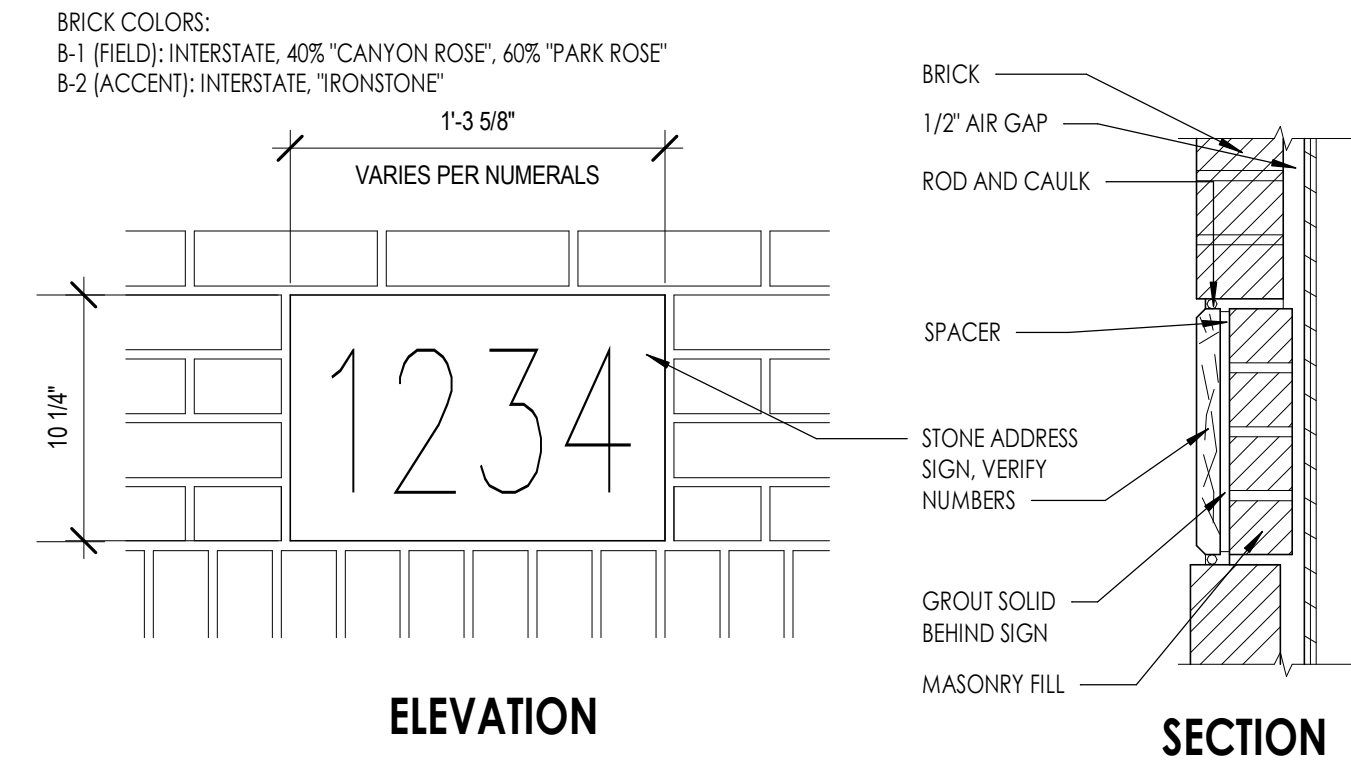
SOUTH ELEVATION
1/8" = 1'-0"



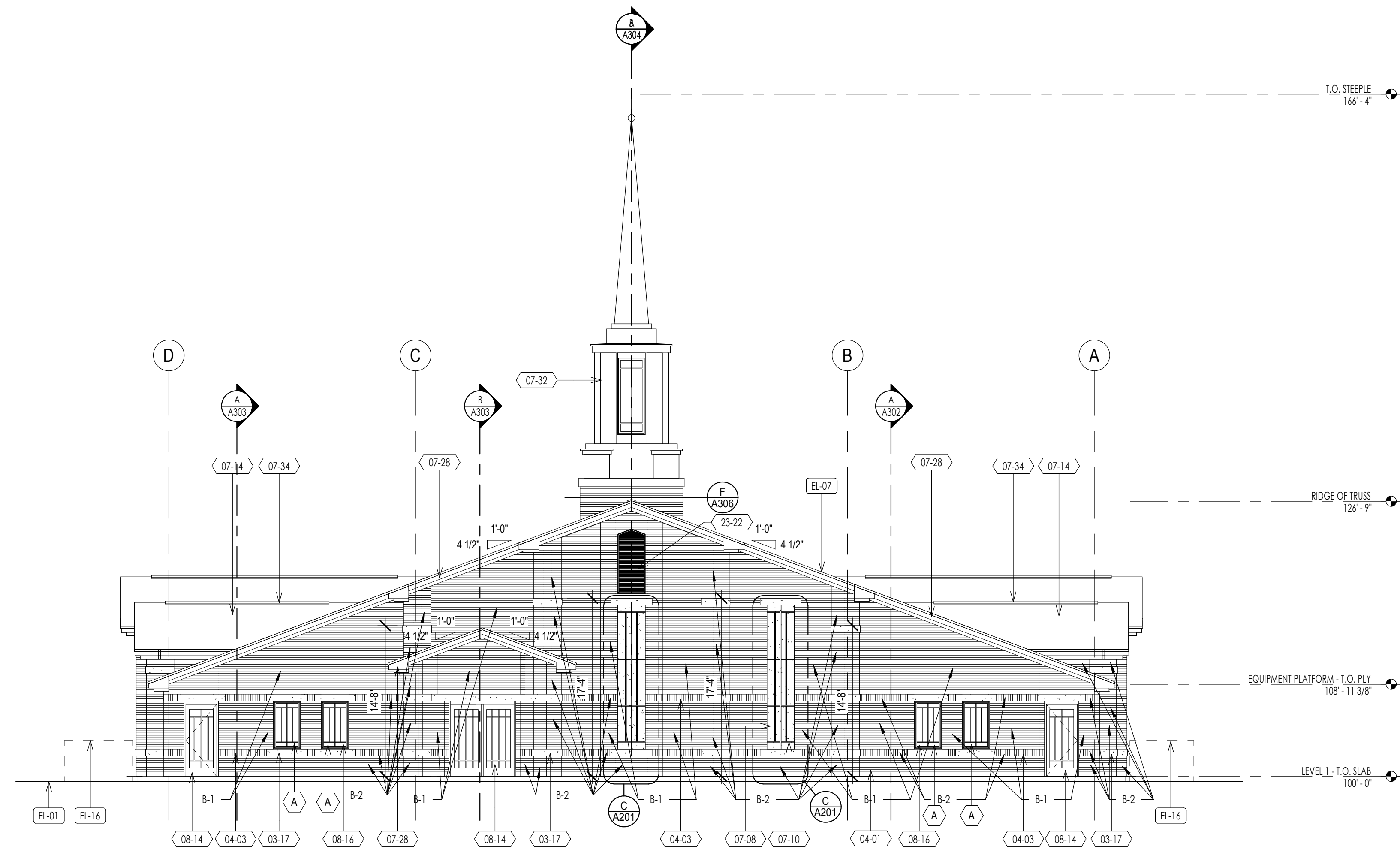
MEETINGHOUSE STONE SIGN
3/4" = 1'-0"



MEETINGHOUSE STONE SIGN SECTION
1 1/2" = 1'-0"



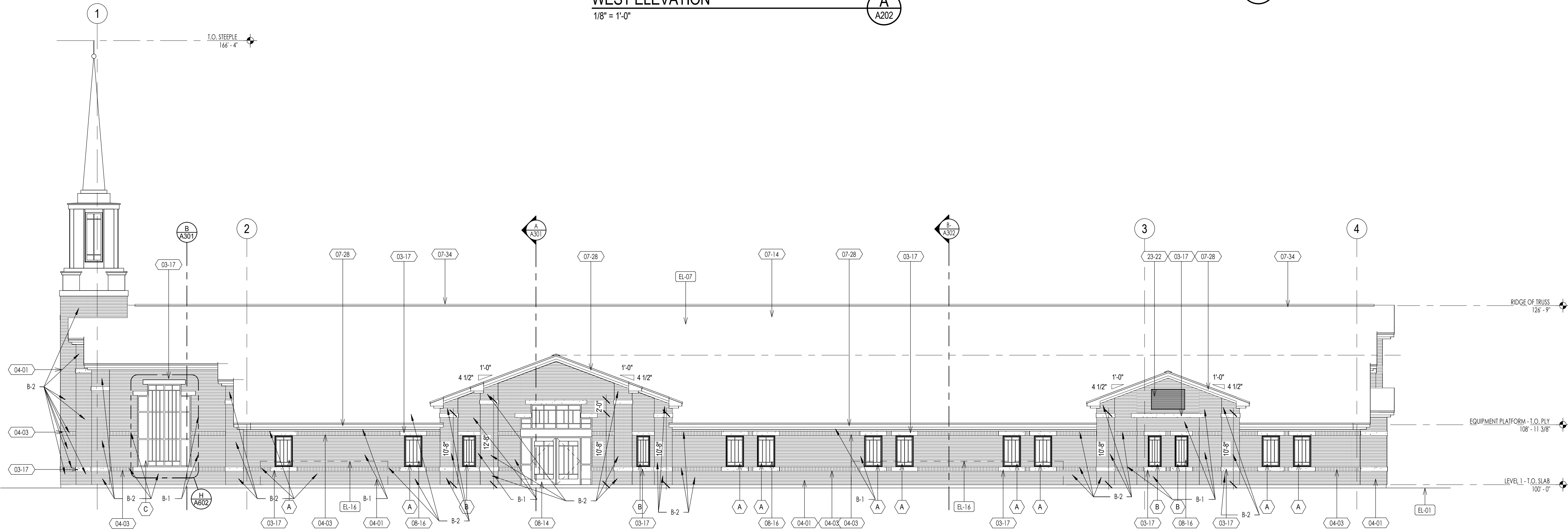
ADDRESS SIGN
1 1/2" = 1'-0"



BRICK COLORS:
 B-1 (FIELD): INTERSTATE, 40% "CANYON ROSE", 60% "PARK ROSE"
 B-2 (ACCENT): INTERSTATE, "IRONSTONE"

WEST ELEVATION
 1/8" = 1'-0"

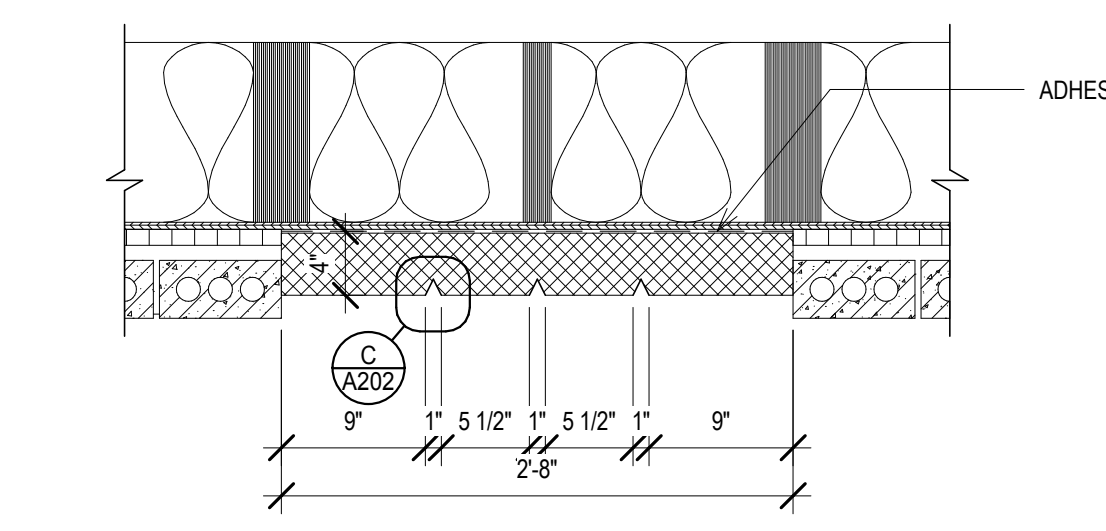
A
A202



BRICK COLORS:
 B-1 (FIELD): INTERSTATE, 40% "CANYON ROSE", 60% "PARK ROSE"
 B-2 (ACCENT): INTERSTATE, "IRONSTONE"

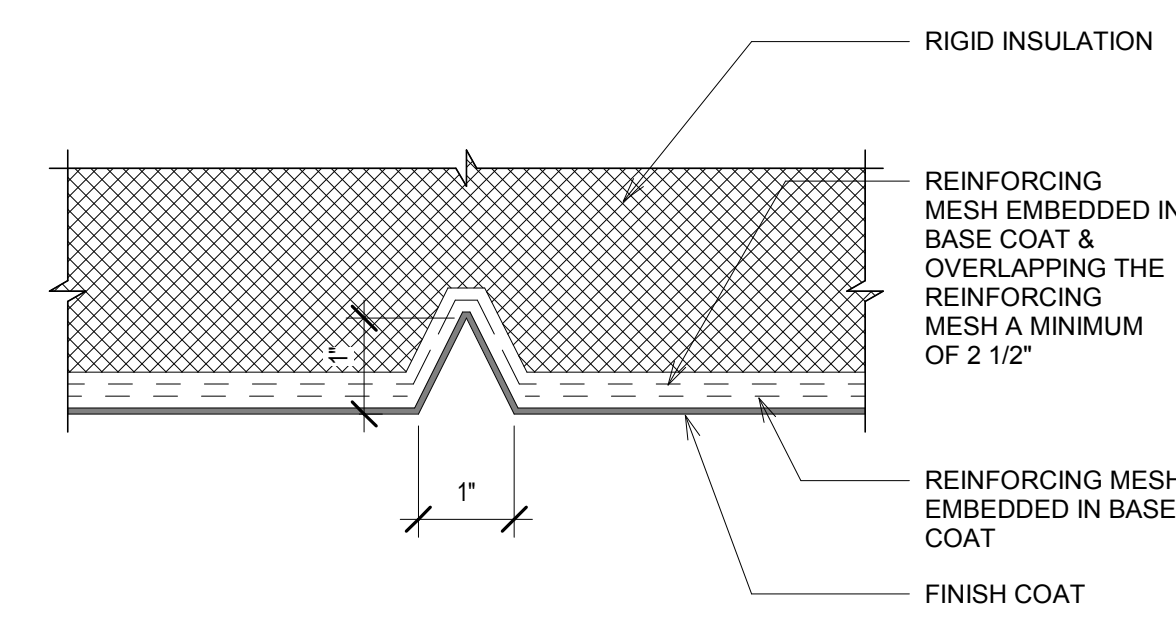
NORTH ELEVATION
 1/8" = 1'-0"

D
A202



EIFS SECTION
 1" = 1'-0"

B
A202



EIFS - ENLARGED REVEAL DETAIL
 6" = 1'-0"

C
A202

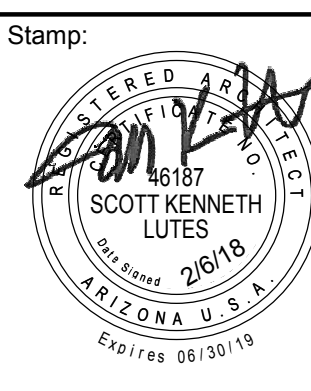
KEYNOTES

MATERIAL KEYNOTES	INSTRUCTIONAL KEYNOTES
XX-XX ← KEYNOTE MATERIAL	FF-XX ← KEYNOTE INSTRUCTION
INSTRUCTIONAL KEYNOTES	
EL-01	VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDING. SLOPE SHALL BE 6" SLOPE IN FIRST 10'-0"
EL-07	COORDINATE WITH ROOF PLAN FOR ALL VENTING REQUIREMENTS
EL-16	MECHANICAL ENCLOSURE WALL (SHOWN DASHED FOR CLARITY). SEE CIVIL & MECHANICAL DRAWINGS

MATERIAL / SPECIFICATION KEYNOTES

03-17	ARCHITECTURAL PRE-CAST CONCRETE. SEE DETAILS & SPECIFICATIONS
04-01	BRICK VENEER MASONRY, RUNNING BOND. SEE DETAILS & SPECIFICATIONS
04-03	BRICK VENEER MASONRY, SOLDIER COURSE. SEE DETAILS & SPECIFICATIONS
07-08	WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM. SEE DETAILS & SPECIFICATIONS
07-10	WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT. SEE DETAILS & SPECIFICATIONS
07-14	CONCRETE TILE ROOFING. SEE DETAILS & SPECIFICATIONS
07-28	METAL SOFFIT PANELS & TRIM. SEE DETAILS & SPECIFICATION
07-32	STEEPLE. SEE ELEVATIONS, DETAILS & SPECIFICATION
07-34	ROOF RELIEF VENTS. SEE DETAILS & SPECIFICATION
08-14	EXTERIOR & INTERIOR ALUMINUM STOREFRONT ENTRANCES. SEE SCHEDULE & SPECIFICATION
08-16	ALUMINUM FRAMED FIXED WINDOWS. SEE SCHEDULE, DETAILS & SPECIFICATIONS
23-22	HVAC GRILLE. SEE MECHANICAL DRAWINGS & SPECIFICATION

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MERIDIAN NORTH MH
 SAN TAN VALLEY AZ NORTH STAKE
 NW of N MERIDIAN RD AND W OCOTILLO RD
 QUEEN CREEK, AZ 85140

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

REVISIONS / SUBMISSIONS	DATE
#	

Project Number:
 1717483.00
 Plan Series:
 G25-MH-AZ
 Property Number:
 501-2985

Sheet Title:
BUILDING ELEVATIONS

Sheet:
A202

Concrete Tile Roofing:
Eagle Grey/Brown Range

Brick Veneer Field:
Interstate Brick:
40% "Tumbleweed"
60% "Smokey Mountain"

Brick Veneer Accents:
Interstate Brick:
"ironstone"



WEST ELEVATION



SOUTH ELEVATION



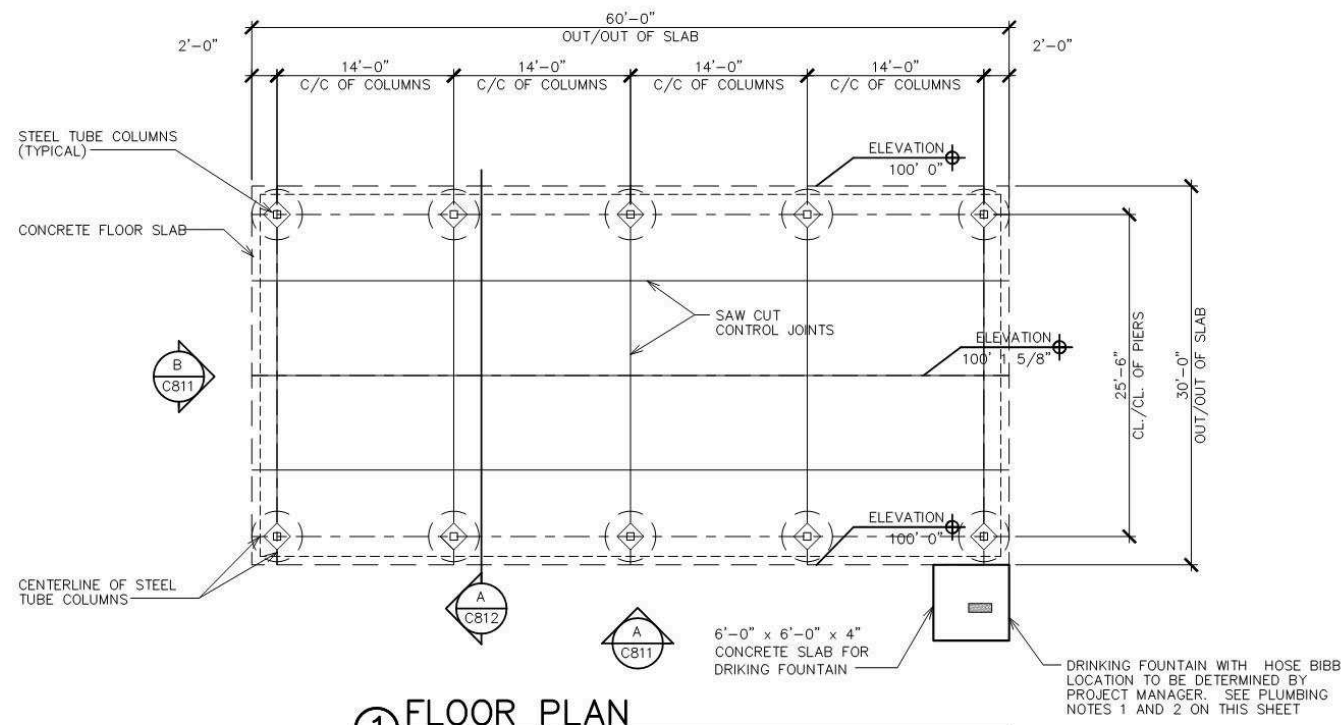
NORTH ELEVATION



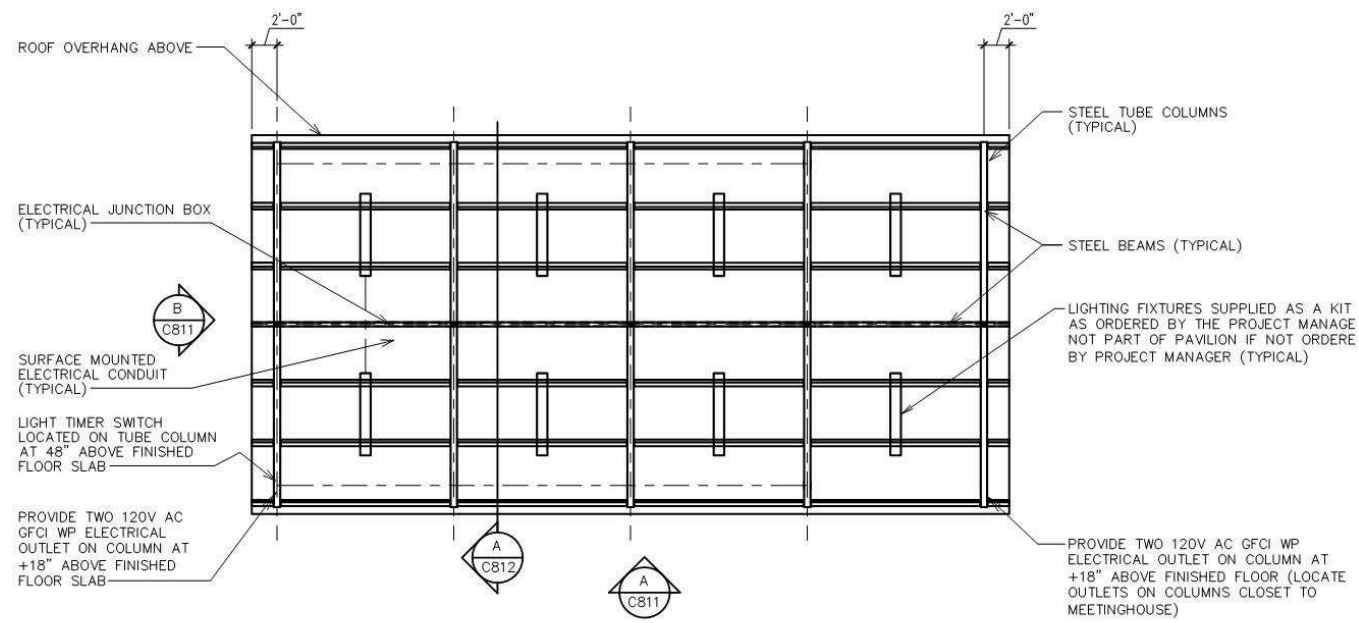
EAST ELEVATION



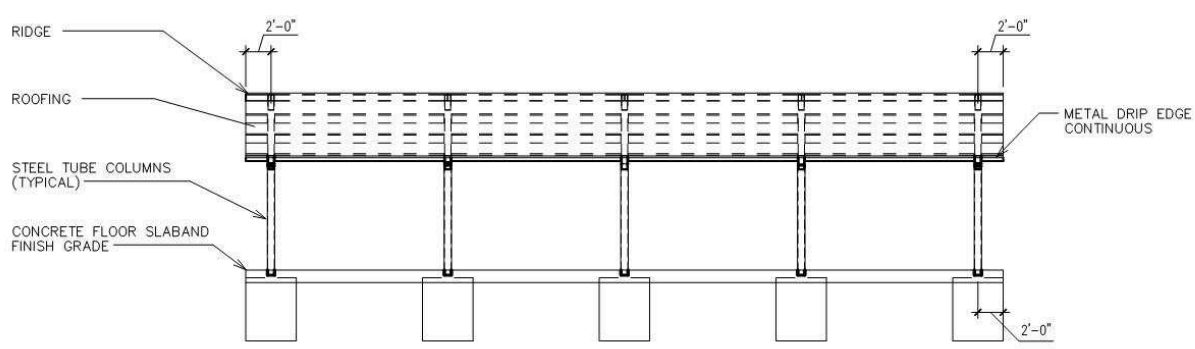
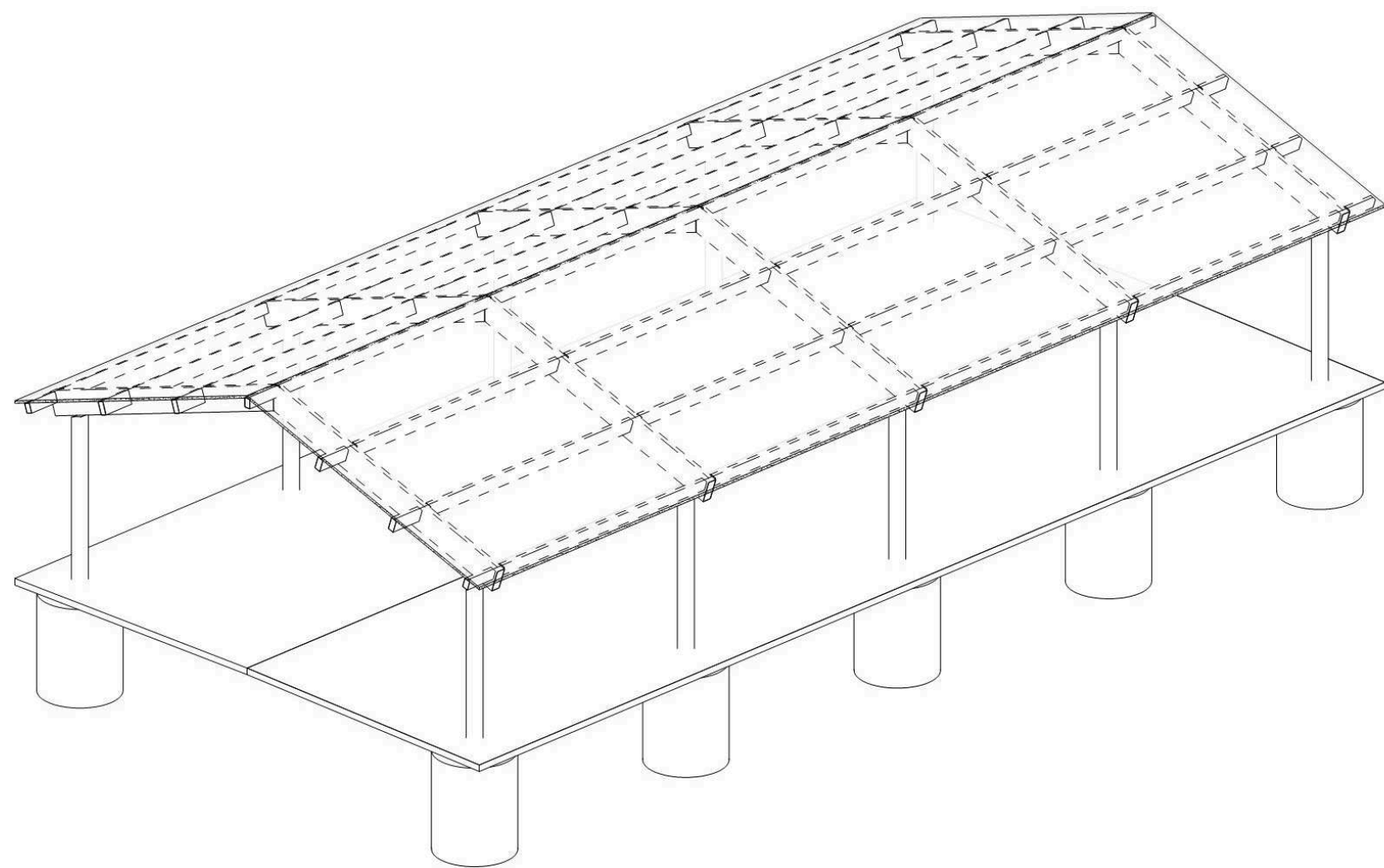
Meridian North Meetinghouse STORAGE BUILDING



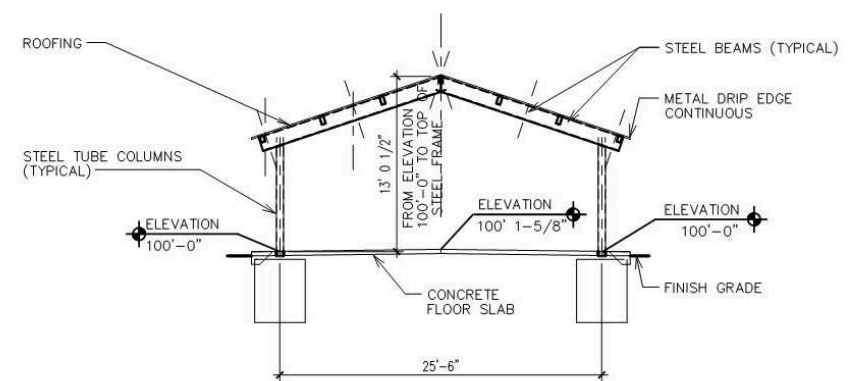
1 FLOOR PLAN



2 REFLECTED CEILING PLAN



A SIDE ELEVATION



B END ELEVATION

Future Pavilion