



Requesting Department:  
Development Services

**TO: PLANNING AND ZONING COMMISSION**

**FROM: Brett Burningham, Planning Administrator; Christine Sheehy, Principal Planner**

**RE: Discussion and Possible Approval on P17-0100 “Malone Place Parke Preliminary Plat”, a request from John Gray, Bowman Consulting Group, for approval of a Preliminary Plat for a 231 lot subdivision with a 11.5 acre commercial corner on approximately 81 acres located on the northwest corner of Ocotillo and Meridian Roads.**

**DATE: May 9, 2018**

**STAFF RECOMMENDATION**

Staff recommends approval of P17-0100 “Malone Place Parke Preliminary Plat”, subject to the Conditions of Approval outlined in this report.

**PROPOSED MOTION**

Move to recommend approval of P17-0100 “Malone Place Parke Preliminary Plat”, subject to the Conditions of Approval outlined in this report.

**RELEVANT COUNCIL GOALS**



Secure Future

**SUMMARY**

This proposal consists of a request by John Gray, Bowman Consulting Group, for approval of a Preliminary Plat for a 231 lot subdivision with a 11.5 acre commercial corner on approximately 81 acres located on the northwest corner of Ocotillo and Meridian Roads. The property is currently zoned R1-7 (Urban Development District Type A)/PAD, R1-5 (Urban Development Type-B District)/PAD and C-2 (General Commercial)/PAD.

## HISTORY

- December 20, 2017      Town Council approved Ordinance 654-17 for a Minor General Plan Amendment to reconfigure the project's Commercial and Medium High Density Land Use Classification areas, and a PAD zoning amendment for the realignment of the zoning district boundaries of the PAD/R1-5 (Urban Development District), R1-7 (Urban Development Type A District) and C-2 (General Commercial) on approximately 316 acres.
- September 21, 2016:      Town Council approved Ordinance 621-16 authorizing the rezone of 377 acres (Malone Place aka Meridian Ranch) from R1-43 (Rural Estate District) to a Planned Area Development PAD/R1-5 (Urban Development District), R1-7 (Urban Development Type A District) and C-2 (General Commercial). Malone Place Parke comprises 81 acres of this approval.
- February 21, 2018:      The Council approved adding the zoning district C-2/PAD to the Staff Reports and Ordinance 621-16 to correct a scrivener's error.

## PROJECT INFORMATION

<b>Malone Place Parke Preliminary Plat</b>	
Project Name	Malone Place Parke
Site Location	This project is generally located on the northwest corner of Ocotillo and Meridian Roads.
Current Zoning	Planned Area Development PAD/R1-7 and PAD/R1-5 (Urban Development Districts) and PAD/C-2 (General Commercial)
General Plan Designation	MDR (Medium Density Residential), MHDR (Medium-High Density Residential) and CS (Commercial/Services)
Surrounding Zoning Designations:	
North	PAD/R1-5 and PAD/R1-5 Madera
South	RU-43 Maricopa County
East	EMP-A Employment
West	PAD/R1-5 and PAD/R1-5 Spur Cross
Gross Acreage	81 Acres
Total Lots/Units	231
Proposed Density	4.55 dwelling units/net acre; 3.49 dwelling units/ gross acre
Open Space Acreage: Provided	20.2% (12.72 acres)

<b>Malone Place Parke Preliminary Plat</b>	
Required	20% (12.61 acres)
Active Open Space:	
Provided	33.2% of required open space (4.18 acres)
Required	30% of required open space (3.94 acres)

**DISCUSSION**

This proposal consists of a request by John Gray, Bowman Consulting Group, for approval of a Preliminary Plat for a 231 lot subdivision with a 11.5 acre commercial corner on approximately 81 acres located on the northwest corner of Ocotillo and Meridian Roads. The property is currently zoned R1-7 (Urban Development District Type A)/PAD, R1-5 (Urban Development Type-B District)/PAD and C-2 (General Commercial)/PAD.

The total number of lots proposed for Malone Place Parke is 231. The Malone Place Parke Preliminary Plat proposes a total of four (4) different lot sizes. Three (3) lot sizes are proposed for the R1-5 zoning district and one (1) for the R1-7 zoning district. (see table below) The table below summarizes the dimensions, minimum lot sizes, and the composition of each lot type provided in the subdivision. In total, the proposed 231 lots amounts to an overall density of 3.49 dwelling units/ gross acre, which is consistent with the approved PAD zoning for this site.

<b>Malone Place Parke Preliminary Plat</b>				
<b>Lot Size</b>	<b>Zoning District</b>	<b>Minimum Lot Size</b>	<b>Number of Lots</b>	<b>% of Development</b>
45' x 125'	R1-5	5,625 square feet	67	29%
55' x 100'	R1-5	5,500 square feet	83	36%
55' x 125'	R1-5	6,875 square feet	30	13%
65' x 130'	R1-7	8,450 square feet	51	22%
<b>Total</b>			<b>231 units</b>	<b>100%</b>

The development includes a total of 12.72 acres or 20.2% of open space for the residential component of the development, where 20% is required by the Town’s Zoning Ordinance for the R1-5, and R1-7 zoning districts. Of the 12.72 acres, 4.18 acres of active open space is provided (33.2% of total open space), where 30% is required by the Town’s Zoning Ordinance. When the commercial property develops it will be required to provide fifteen percent (15%) open space as required by the Zoning Ordinance.

Active open space amenities include two neighborhood parks. The neighborhood parks include ramadas, shaded play structures, bocce and horseshoe courts, barbeque grills, picnic and game tables, benches and dogi receptacles. Other open space areas include large open turf areas. One (1) 12-foot wide community trail is provided that runs parallel

to Meridian Road. In addition, 5-foot wide sidewalks provides pedestrian connectivity throughout the community.

## GENERAL ANALYSIS

**General Plan Review:** The project is designated as Medium Density Residential (MDR) (0-3 du/ac), Medium High Density Residential (MHDR) (0-5 du/acre) and Commercial/Services (CS) on the General Plan Land Use Map. The project is consistent with the General Plan land use designations.

**Zoning Review:** The current zoning designation for the property is R1-7 (Urban Development District Type A)/PAD, R1-5 (Urban Development Type-B District)/PAD and C-2 (General Commercial)/PAD. The project is in conformance with the standards set by the Zoning Ordinance and the standards as established by the Malone Place PAD (Ordinance 621-16).

**Adequate Public Facilities:** In accordance with Article 5.1 (Adequate Public Facilities) provision of the Zoning Ordinance, the Applicant has provided information regarding the project's potential impact on public facilities. Staff's review of those reports indicates that adequate public facilities will be provided by the project. Appropriate internal circulation and improvements to the existing arterial streets are provided. The Town of Queen Creek will be the potable water and waste water service provider for the property. The Applicant will also participate in providing traffic signal cost sharing as specified in the Conditions of Approval.

**Engineering Review:** The preliminary plat has been reviewed by the Engineering Division. Conditions of Approval have been added to address the Engineering requirements for this project.

**Transportation Review:** The preliminary plat has been reviewed by the Town's Transportation Engineer. Conditions of Approval have been added to address the Traffic requirements for this proposed development.

**Landscape / Open Space Review:** A total of 20% of Open Space is required. Malone Place Parke is proposing to provide a total of 20.2% (12.72 acres). A total of 30% of the required open space is to be active (33.2% is provided) that totals 4.18 acres. Active open space amenities include two neighborhood parks. The neighborhood parks include ramadas, shaded play structures, bocce and horseshoe courts, barbeque grills, picnic and game tables, benches and dogi receptacles. Other open space areas include large open turf areas. One (1) 12-foot wide community trail is provided that runs parallel to Meridian Road. In addition, 5-foot wide sidewalks provides pedestrian connectivity throughout the community.

**Landscape Plan and Wall/Fencing Plan:** The development will be surrounded by a decorative theme wall that includes board formed concrete columns, stained CMU block and painted stucco. Two entrances to the project are provided on Meridian Road and

one on Ocotillo Road. The entrance monumentation includes three distinctive materials—board formed concrete, wire mesh screens and painted stucco. The landscaping, walls, fences and entry features meet the Zoning Ordinance and Design Standards requirements.

### **CONDITIONS OF APPROVAL**

1. This project shall be developed in accordance with the plans attached to this case and all the provisions of the Zoning Ordinance applicable to this case.
2. All Conditions of Approval for Malone Place PAD (RZ16-045) remain in effect.
3. As a subdivision, this property will be required to obtain an Arizona Department of Water Resources (ADWR) Certificate of Assured Water Supply (CAWS). A copy of the CAWS, or ADWR Exemption, in the builder/ developer's name, will have to be provided to the Town of Queen Creek Water Division. This may be accomplished by transferring a current CAWS, converting an existing Analysis of Assured Water Supply associated with the proposed development, applying for an exemption where applicable, or by applying for a new CAWS in the event that one does not currently exist. The Town of Queen Creek Water Division cannot agree to supply water to the subdivision unless this stipulation is met as the Town of Queen Creek does not have a 100 year assured water designation. The Town has however completed a Physical Availability Determination (PAD) study that has evaluated most properties in the area to determine that the groundwater hydrology can support new development in undeveloped portions of the Town. This information was developed as the technical background needed to obtain a CAWS and can be provided upon request.
4. The project must be enrolled as a member in the Central Arizona Groundwater Replenishment District ("CAGR") program with ADWR before the Town of Queen Creek can supply water to the development.
5. A fire flow test(s) will be required with the final construction plans to confirm assumptions made in the preliminary water report/model.
6. Final Construction Plans shall address the following:
  - Remove 12" line going north in Meridian and the connection into the site from E. Escalante Rd.
  - Revise system connection to be on the H2O pressure zone. A PRV will be needed. Location is to be around E. Russel Rd.
  - All lines in the development can be 8"
  - Keep water connection through tract 3 at the northwest corner.

## ATTACHMENTS

1. Aerial Photo Exhibit
2. General Plan Exhibit
3. Zoning Map Exhibit
4. Malone Place Parke Development Plan
5. Malone Place Parke Project Narrative
6. Malone Place Parke Open Space/Park Plans
7. Malone Place Parke Wall Plan
8. Malone Place Parke Entry Monumentation
9. Malone Place Parke Landscape Plans
10. Malone Place Parke Phasing Plan
11. Malone Place Parke Preliminary Plat

**Project Name: Malone Place Parke Preliminary Plat Aerial Map**

**Case Number: P17-0100**

**Planning Commission Hearing Date: May 9, 2018**

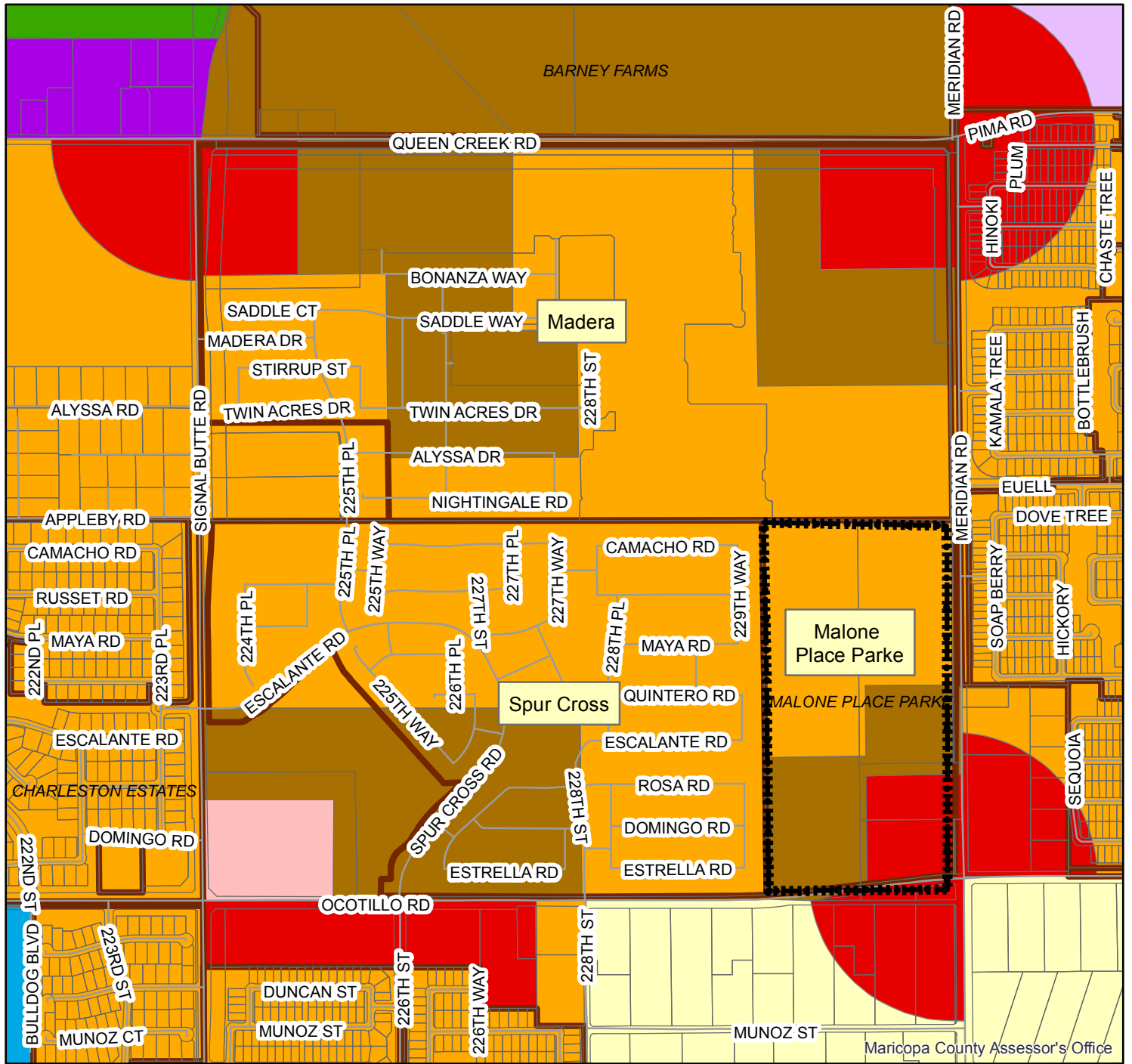


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

**Project Name: Malone Place Parke General Plan Exhibit**

**Case Number: P17-0100 Preliminary Plat**

**Hearing Date: May 9, 2018 Planning Commission**



**General Plan Land Use**

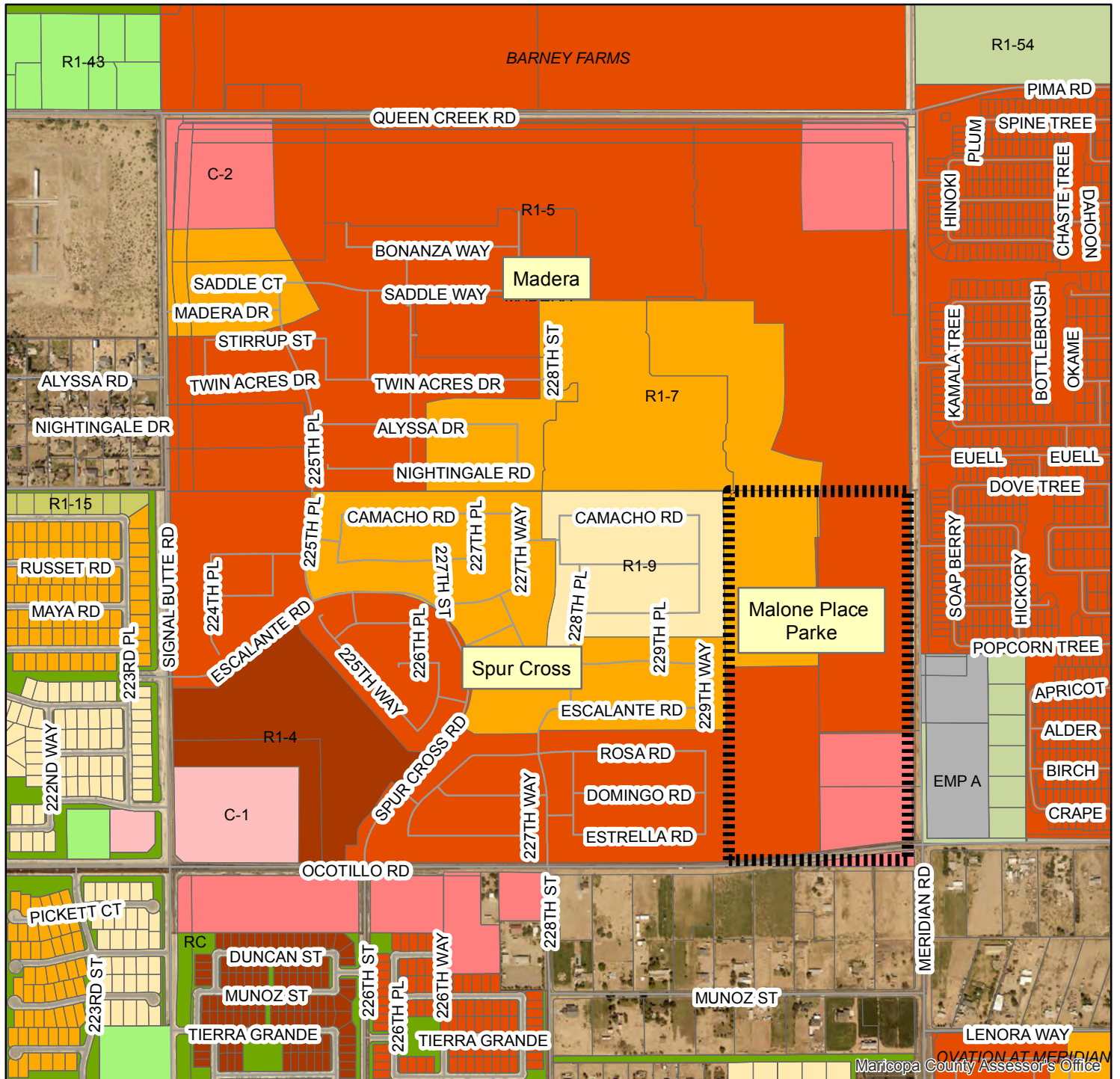
Very Low Density Residential (0-1 DU/AC)	Mixed Use	Regional Commercial Center
Low Density Residential (0-2 DU/AC)	Town Center Mixed Use	Employment Type A
Medium Density Residential (0-3 DU/AC)	Neighborhood Commercial	Employment Type B
MHDR	Community Commercial	Agritainment
Multi-Family	Office/Services	Public/Quasi-Public
Master Planned Community (0-1.8 DU/AC)	Commercial	Open Space



**Project Name: Malone Place Parke Zoning Exhibit**

**Case Number: P17-0100 Preliminary Plat**

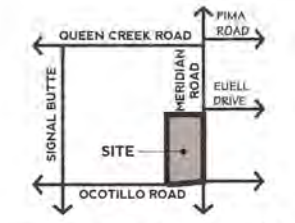
**Hearing Date: May 9, 2018 Planning Commission**



**Zoning Districts**

C-1, Commercial	RC, Recreation/Conservation	R1-7, Residential	R1-18, Residential
C-2, Commercial	PCD, Planned Community Development	R1-8, Residential	R1-35, Residential
TC, Commercial	MDR, Multi-Family	R1-9, Residential	R1-43, Residential
EMP A, Heavy Industrial	R1-4, Residential	R1-10, Residential	R1-54, Residential
EMP B, Light Industrial	R1-5, Residential	R1-12, Residential	R1-190, Residential
PQP, Public/Quasi-Public	R1-6, Residential	R1-15, Residential	

Maricopa County Assessor's Office  
Aerials 2018



**VICINITY MAP**

PLAN SCALE: N.T.S.

**SITE DATA**

ZONING: R1-5, R1-9, & C-2 PAD  
PA17-0025, CASE #RZ16-45

SITE GROSS AREA: 81.11 AC  
SITE NET AREA: 75.02 AC

RESIDENTIAL NET AREA: 66.05 AC  
REQUIRED OPEN SPACE: 20% (12.61 AC)  
PROPOSED OPEN SPACE: 20.2% (12.72 AC)  
REQUIRED ACTIVE OPEN SPACE: 30% (3.84 AC)  
PROPOSED ACTIVE OPEN SPACE: 33.2% (4.18 AC)

COMMERCIAL AREA: 11.55 AC

STANDARD RESIDENTIAL DENSITY CALCULATION  
D = DU / A = (C1+5+0+0) / 81.11 = 0.75  
DU = DWELLING UNITS  
A = ACRES

A: 81.11 AC  
C: 11.55 AC  
I: 0 AC  
S: 0 AC  
AS: 6.09 AC  
OS: 12.72 AC

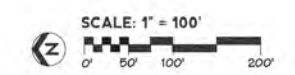
D = 231  
81.11(11.55+0+0+6.09+12.72) = 80.75  
D = 4.55 DU/AC

**LOT TABLE**

PARCEL	LOT SIZE	ACREAGE	LOTS
1	55' x 100'	22.06 AC	83
2	45' x 125' 55' x 125'	25.22 AC	97
3	65' x 130'	15.78 AC	51
<b>TOTAL</b>			<b>231</b>

**GENERAL NOTES**

- MAINTENANCE OF ALL COMMON AREAS, TRACTS AND LANDSCAPING IN ALL RIGHTS OF WAY IN ALL LOCAL, ARTERIAL AND COLLECTOR ROADWAYS IS THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.
- ALL PLANTS & TURF GRASS SHALL BE WATERED BY AN EFFICIENT DRIP AND SPRINKLER SYSTEM.
- THE WATER SOURCE FOR IRRIGATION SHALL BE POTABLE WATER METERS THROUGHOUT THE DEVELOPMENT TO BE DESIGNED WITH FINAL CONSTRUCTION PLAN.



**PROJECT TEAM**

**OWNER**  
LEGACY COLLATERAL HOLDINGS  
1121 W. WARNER ROAD, STE. 109  
TEMPE, AZ 85284  
P: 480.931.2000  
CONTACT: SETH KEELER

**J.B. HOLDING INC.**  
9240 S. KENNETH PLACE  
TEMPE, AZ 85284  
P: 602.339.9702  
CONTACT: SETH KEELER

**LANDSCAPE ARCHITECT**  
THOMAS + CROWLEY LLC  
126 E. CONSTITUTION COURT  
GILBERT, AZ 85296  
P: (480) 878-4708  
CONTACT: PAUL THOMAS

**CIVIL ENGINEER**  
BOWMAN CONSULTING  
1295 N. WASHINGTON STREET, SUITE 109  
TEMPE, AZ 85281  
PH: (480) 629-3830  
CONTACT: JOHN GRAY

**LANDSCAPE PALETTE**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
	<b>TREES</b>			<b>SHRUBS</b>			<b>TURF</b>	
	ULMUS PARVIFOLIA SEMPERVIRENS EVERGREEN ELM	24" BOX		NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL		NATURAL TURF CYNODON DACTYLON 'MIDIRON'	500
	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	24" BOX		RUPELLIA BRITTONIANA COMMON RUELLIA	5 GAL		ARTIFICIAL TURF 70 OZ PREMIUM TURF	70 OZ
	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	24" BOX		RUSSELLIA EQUITIFORMIS CORAL FOUNTAIN	5 GAL	<b>TOP DRESSING</b>		<b>SIZE</b>
	CHITALPA TASHKENTENSIS CHITALPA	24" BOX		MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL		DECOMPOSED GRANITE SANTA FE BROWN 2" DEEP MINIMUM	1/2" SCREENED
	ACACIA SHALLII SWEET ACACIA	24" BOX		MUHLENBERGIA RIGENS DEER GRASS	5 GAL		ANGULAR RIP RAP COCO BROWN 4" DEEP MINIMUM	3'-6"
	CHILOPSIS LINEARIS 'BURGUNDY' BURGUNDY DESERT WILLOW	24" BOX		MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL			
				EROMOPHILA MACULATA VALENTINE VALENTINE BUSH	5 GAL			
				<b>PALMS</b>				
				CHAMEROPS HUMILIS MEDITERRANEAN FAN PALM	5 GAL			
				CYCUS REVOLUTA SAGO PALM	5 GAL			
				BOUGAINVILLEA SPECIES RUSH BOUGAINVILLEA	5 GAL			
				TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL			
				LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	5 GAL			
				EROMOPHILA MACULATA VALENTINE VALENTINE BUSH	5 GAL			
				<b>ACCENTS</b>				
				HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL			
				HESPERALOE PARVIFOLIA RED YUCCA	5 GAL			
				GROUND COVER				
				LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL			
				LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL			
				ROSHARINUS OFFICINALIS PROSTRATUS PROSTRATE ROSEMARY	1 GAL			
				WEDELIA TRILOBATA YELLOW DOT	1 GAL			

**KEYED NOTES**

- ENTRY MONUMENT, SEE SHEET L5
- THE "GAME ROOM" PARK, SEE DETAIL 1, SHEET L6
  - (1) PLAY STRUCTURE
  - (1) CHALKBOARD WALL
  - (1) BOCCE BALL COURT
  - (1) HORSESHOE COURT
  - (2) BBQ GRILL
  - (3) GAME TABLES
  - (6) PARK BENCHES
  - (2) PICNIC TABLES
  - (2) DOGI POTS
  - (1) TRASH RECEPTACLE
- THE "HALL" PARK, SEE DETAIL 2, SHEET L6
  - (1) PLAY STRUCTURE
  - (2) BBQ GRILL
  - (3) PARK BENCHES
  - (1) HORSESHOE COURT
  - (2) PICNIC TABLES
  - (1) DOGI POT
  - (1) TRASH RECEPTACLE
- 20' x 20' RAMADA, SEE DETAIL 3, SHEET L6
- 5'-0" MEANDERING OPEN SPACE SIDEWALK
- 12'-0" UNPAVED TRAIL

**LANDSCAPE CALC'S**

**STREET TREE CALC'S**  
REQUIRED: 1 TREE, 6 SHRUBS PER 30 L.F.  
PROVIDED: 1 TREE, 6 SHRUBS PER 30 L.F.

**OPEN SPACE CALC'S**  
REQUIRED: 2 TREES PER DWELLING UNIT  
(231 LOTS)(2) = 462 TREES  
PROVIDED: 462 TREES  
25% OF THE PROVIDED TREES SHALL BE 24" FOX OR LARGER  
STREET TREES CAN BE COUNTED TOWARDS THIS QUANTITY.



**MALONE PLACE PARKE**

ILLUSTRATIVE  
LANDSCAPE PLAN

**L1**

**INFRASTRUCTURE IMPACT STATEMENT AND PHASING PLAN**

To accompany the  
**PRELIMINARY PLAT SUBMITTAL**

**FOR**  
***MALONE PLACE PARKE***

**NWC Ocotillo and Meridian Roads**

Submitted to:

**Town of Queen Creek**  
22358 S. Ellsworth Rd.  
Queen Creek, AZ 85142

Prepared for:

**LEGACY COLLATERAL HOLDINGS, LLC**  
1121 W Warner Road, Suite 109  
Tempe, Arizona 85284  
480-931-2000

**&**

**JB HOLDINGS INC.**  
9240 S Kenneth Place  
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602-339-5702

Prepared by:

**Bowman Consulting Group, Ltd.**  
1295 W. Washington Street, Suite 108  
Tempe, Arizona 85281  
480-629-8830

BOWMAN Project No. 50227

March 21, 2018

**I. PROJECT DESCRIPTION AND REQUEST**

Malone Place Parke, the “project”, is a portion of larger 400 acre Planned Area Development (PAD) located south of Queen Creek Road between Signal Butte Road and Meridian Road in the Town of Queen Creek, Arizona. This project lies within a portion of Section 13, Township 2 south, Range 7 east of the Gila and Salt River Base and Meridian, Maricopa County (see Exhibit 1 – Vicinity Map). This project is approximately 80 acres of the overall PAD and located on the northwest corner Meridian Road and Ocotillo Road.

The project site will be developed into a residential subdivision comprised of 231 lots with a portion of the site reserved for commercial development to be constructed at a future date.

This subdivision consists of infrastructure for the improvement of 231 residential lots in three (3) distinct lot sizes ranging from 5,575 square feet to 21,390 square feet with an average lot size of 6,879 square feet resulting in a total residential density of 4.59/DUA. 12.7 acres of landscape/open space tracts are provided. All of the lots and design elements of the Malone Place Parke subdivision conform to the development standards of the Town’s Zoning Code; consequently, there is no need for a PAD rezoning modification. There will be a future commercial parcel on the northwest corner Meridian Road and Ocotillo Road. That commercial parcel is not part of this Preliminary Plat.

This request is for review by the Town’s Staff for the 66.05 acres (gross) residential subdivision. The property has a PAD overlay and contains portions of three Town Zoning Districts: C-1, R1-7 and R1-5. The project may be constructed in phases. The Commercial Parcel will be completed separately from the residential and is designed to connect to off-site infrastructure so that it is not schedule dependent on the residential phases.

**Proposed Lot Sizes**

<b>Parcel No.</b>	<b>Lot Size</b>	<b>Total No. Lots</b>
1	55’ x 100’	83
2	45’ x 125’, 55’ x 125’	97
3	65’ x 130’	51
	11.55 ACRES	Future Commercial
<b>Total</b>		<b>231</b>

**II. ZONING & PLANNED AREA DEVELOPMENT**

The property contains portions of three Town Zoning Districts: an R1-7 area along the northwest, a future C-1 zoned commercial parcel and the R1-5 residential component of the subdivision. The proposed Malone Place Parke subdivision conforms to the Town’s Zoning; consequently and the PAD, there is no need for a rezoning application.

**PHOENIX-MESA (WILLIAMS) GATEWAY AIRPORT**

“Malone Place Parke” is located within Overflight Area 3 of the Williams Gateway Airport Overlay District.

The ownership and the future homebuilders will comply with all notification and noise attenuation requirements of this overlay district, providing a community that is compatible with the airport.

### **III. PUBLIC UTILITIES AND SERVICES**

Utilities and services will be provided as follows:

Water:	Town of Queen Creek
Sewer:	Town of Queen Creek
Electric:	Salt River Project
Gas:	Southwest Gas
Cable:	Cox Communications
Telephone:	Qwest/Century Link
Police:	Maricopa County Sheriff
Fire:	Town of Queen Creek
School:	Queen Creek Unified School District

#### Water

Currently, there is an existing 12-inch water main in both Signal Butte Road and Ocotillo Road. The proposed distribution system for the project will utilize 12 and 8-inch water mains and make two connections to the existing water infrastructure. The first connection will be to the 12-inch water main in Ocotillo Road via the 229<sup>th</sup> St driveway entrance, and the other by building a new 12-inch water main in Meridian Road which makes a connection to the 12-inch water main in Ocotillo Road. A 3<sup>rd</sup> connection will be provided by constructing a 12 inch stub that will be extended by the Madera subdivision to the north, ultimately making connection to Queen Creek Road. The proposed distribution system will be adequate to provide a minimum pressure of 20 PSI during fire flow conditions and 40 PSI during peak hour demand prior to the 12 inch line extension to Queen Creek Road. After completion of the 12 inch line, pressures will increase and become more reliable.

The proposed water system improvements will be designed and developed in accordance with Town of Queen Creek and Maricopa County Environmental Services Department (MCESD) requirements. A Preliminary Water Report has been provided with this application.

#### Wastewater

Sewer service for the Property will be provided by the Town of Queen Creek’s sewer system. It is anticipated that this project make a connection to the existing wastewater infrastructure surrounding the development. There is an existing 21-inch sewer main in Ocotillo Road. The invert to the 21” line has been measured to be 23.67 feet below the manhole. At the northernmost end of the subdivision, the invert will be 1443.71, running at a minimum slope of 0.0034 ‘/ft at including 0.1’ drops at bends. At this northernmost end of the subdivision, the minimum finished floors are anticipated to be approximately elevation 1452.50, so the depth is more than sufficient. The proposed collection system for the project will utilize an 8-inch diameter gravity sewer which will adequately handle the peak sewage flows for the development while adhering to the design

**Project Narrative**  
**Malone Place Parke**

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standards set forth according to Town of Queen Creek and MCESD requirements. A Preliminary Wastewater Report has been provided with this construction plans application.

Streets/Circulation

Fulton Homes currently is in the final stages of construction for improvements to the Meridian Road / Queen Creek Road intersection and the east side of Meridian. The Malone Place Parke development will provide final half-street improvements to Meridian Road to Pinal County standards. The Malone Place Parke development will provide half-street improvements for the north side of Ocotillo Road.

Vehicular ingress and egress to the Property will occur from either Meridian Road or Ocotillo Road, a Major Collector Street.

Internal local streets will be designed in accordance with the Town's requirements. All roadways within and adjacent to the Property will be dedicated for public use.

State of Arizona Air & Water Quality Standards

"Malone Place Parke" will be designed and constructed in adherence to all relevant State of Arizona air and water quality standards. During project construction, measures will be taken to control any dust generated by activities on the Property and to control any unscreened storm water discharge to adjacent waterways. After the project infrastructure is completed, dust control and storm water management practices will remain in place until all lots within the project have been developed. The construction plan package to be provided will include a storm water pollution prevention plan, (SWPPP).

Schools

Efforts are being coordinated with the Queen Creek Unified School District to ensure that adequate educational facilities are accommodated for the District. The PAD provides for a school parcel on Signal Butte.

**IV. DEVELOPMENT PHASING**

The project may be constructed in phases. Parcels 1 and 3 are owned by JB Holdings Inc., Parcel 2 is owned by Legacy Collateral Holdings, LLC. Two scenarios for phasing of the subdivision have been studied. The owners have created a Joint Development Agreement for cost-sharing of certain elements of the infrastructure that serve both properties. The JDA provides for granting of easements to allow construction for each property through the other. Creation of phases, or out of sequence phasing, should it become necessary, may be administratively approved by the Town, if such changes meet the Town's minimum access, utility, health and safety requirements. Storm water retention is provided for each parcel. The JDA provides for the ability to construct temporary retention basins on the adjacent parcels if required by the final grading design.

Phasing Scenario 1 would be if the east side, Parcel 2, developed first. It is represented on the attached exhibits 1, 2, 3.

Roadways – If all 3 parcels developed simultaneously 2 points of roadway connection would be created to Ocotillo and Meridian Road. If Parcel 2 were to develop first, it would need to provide

**Project Narrative**  
**Malone Place Parke**

---

an emergency access roadway section acceptable to the fire department in Meridian Road to connect to Ocotillo Road to the south and new pavement along the frontage connecting to the Meridian Road pavements currently being constructed in Pinal County by Fulton Homes.

Water – To provide 2 points of connection to the water system, the water line would be extended in Meridian Road to connect to the existing line in Ocotillo Road and a water line would be constructed by Parcel 2 through Parcel 1. Easements would be provided in Parcel 1. Hydrants and services would not be provided along the line through the future phase. This provides two points of connection without connecting to the higher pressure zone to the east.

Sewer – A sewer line would be constructed by Parcel 2 through Parcel 1 to connect to the existing line in Ocotillo Road. Easements would be provided in Parcel 1. Manhole markers would be provided through the future phase.

Phasing Scenario 2 would be if the west side, Parcels 1 & 3, developed first. It is represented on the attached exhibits 4, 5, 6.

Roadways – If Parcel 1 & 3 were to develop first, they would need to provide an emergency access roadway section acceptable to the fire department through Parcel 2 to connect to the Meridian Road pavements currently being constructed in Pinal County by Fulton Homes. Access easements would be provided in Parcel 2.

Water – To provide two points of connection to the water system, the water system would be extended through Parcel 2 and in Meridian Road to connect to the existing line in Ocotillo Road. Easements would be provided in Parcel 2. Hydrants and services would not be provided along the line through the future phase. This provides two points of connection without connecting to the higher pressure zone to the east.

Sewer – Development of Parcels 1 and 3 would not require construction of sewer in Parcel 2. Lines would be extended to the property line for future extension by the Parcel 2 development.

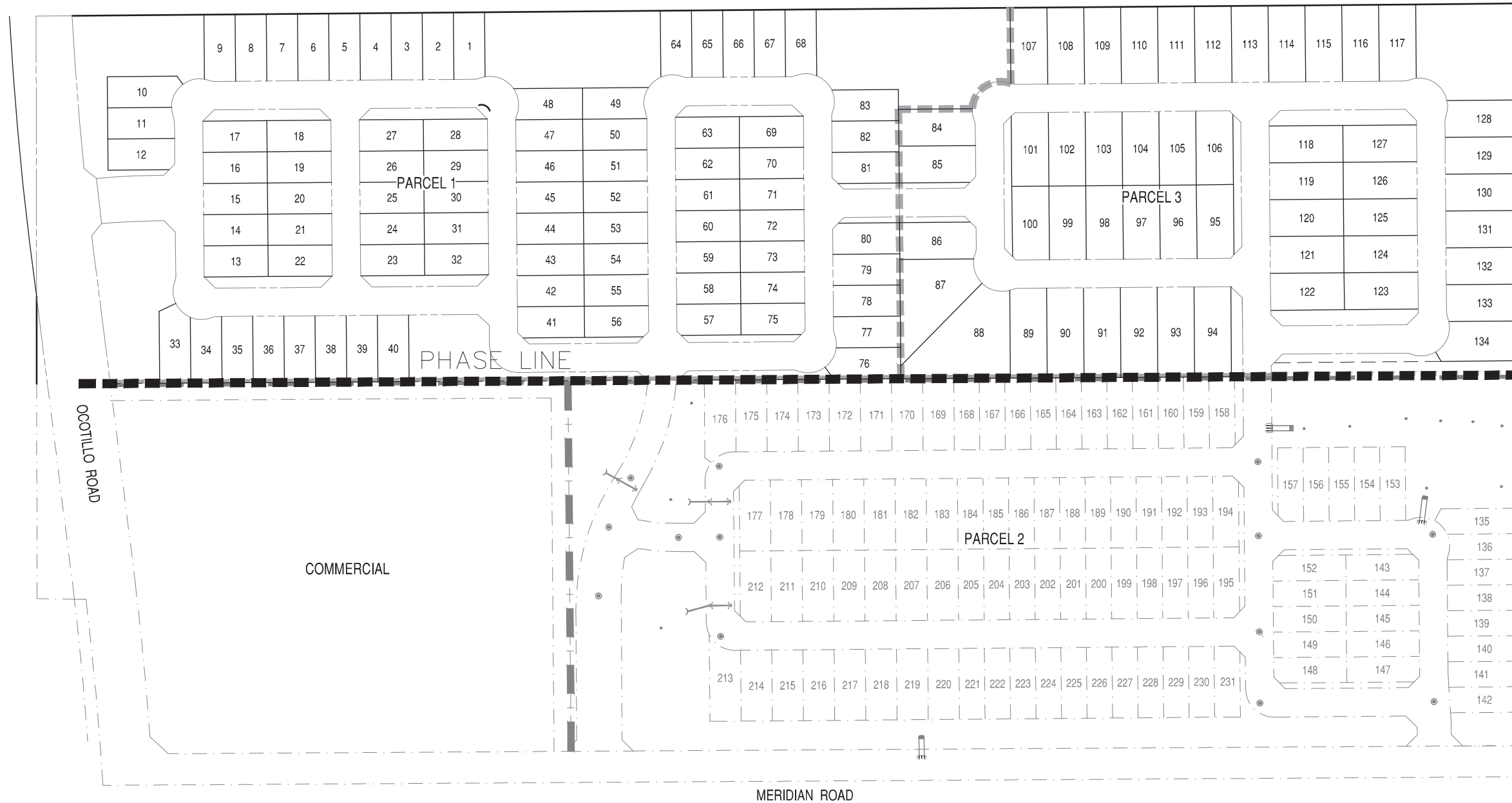
The Commercial Parcel will be completed separately from the residential and is designed to connect to off-site infrastructure so that it is not schedule dependent on the residential construction.

**V. CONCLUSION**

This submittal is consistent and compatible with the vision, goals and policies of the Queen Creek General Plan. The infrastructure improvements that will occur as a result of the submittal will provide enhanced vehicular circulation and safety in the area and will help facilitate future growth and investment in Queen Creek.

The ownership is in agreement with the added condition of approval: To ensure that parks are provided for each parcel. Staff recommends that Tract 1M Park to be developed with Parcel 1. Tract 2F Park to be developed with Parcel 2 and Tract 3I to be developed with Parcel 3.

Bowman Consulting Group, Legacy Collateral Holdings, LLC and JB Holdings Inc. respectfully request your approval of this Application.



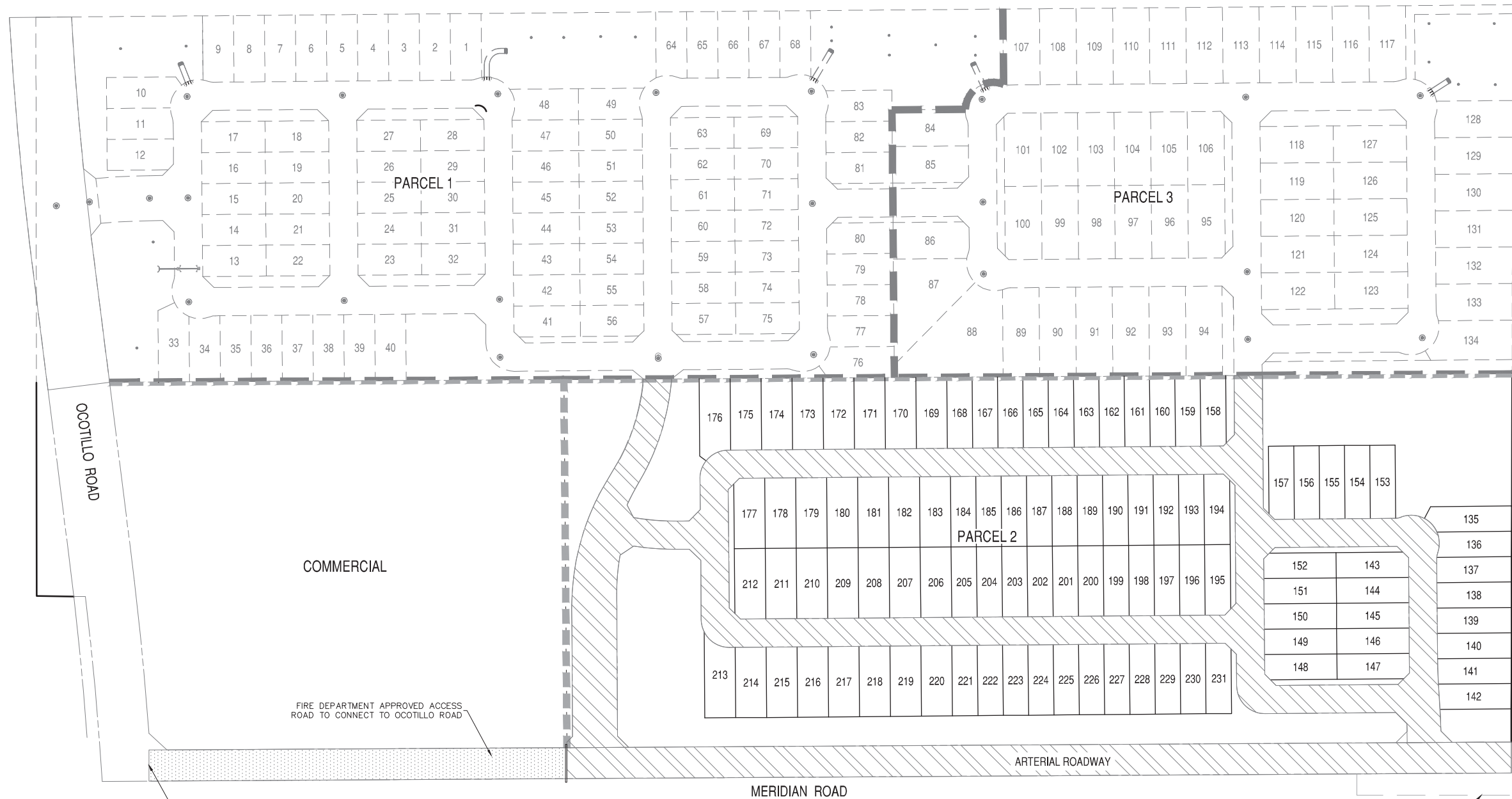
PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION
DESIGN	CAM
DRAWN	CHKD
SCALE	H: 1" = 100'
	V: NONE
JOB No.	050227-01-004
DATE	3/21/2018

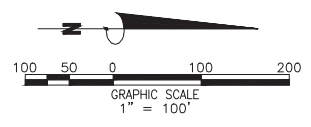






SCENARIO 1 - PARCEL 2 DEVELOPS FIRST

CONNECT TO MERIDIAN ROAD  
CONSTRUCTION BY FULTON HOMES



Bowman Consulting Group, Ltd.  
1295 West Washington, Ste 108  
Tempe, Arizona 85281  
Phone: (480) 629-8830  
www.bowmanconsulting.com  
© Bowman Consulting Group, Ltd.

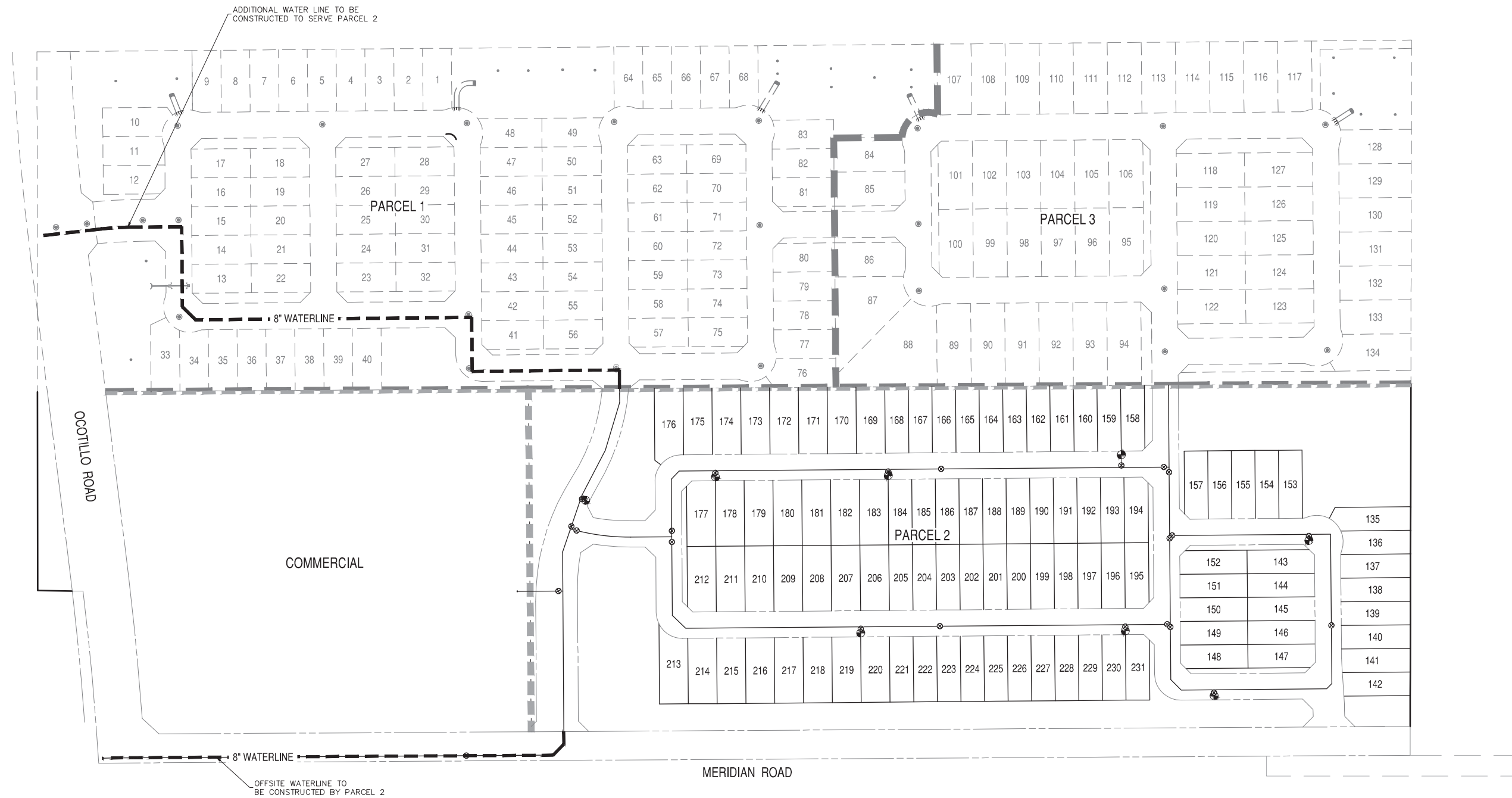
PARCEL 2  
**MALONE PLACE PARKE ROADWAYS**  
 MARICOPA COUNTY  
 QUEEN CREEK, ARIZONA

PROJECT NUMBER

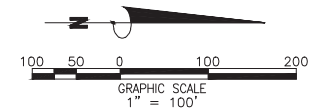
PLAN STATUS

DATE	DESCRIPTION
DESIGN	CAM DRAWN
SCALE	H: 1" = 100' V: NONE
JOB No.	050227-01-004
DATE	3/22/2018

EXH01  
SHEET 1 OF 1



SCENARIO 1 - PARCEL 2 DEVELOPS FIRST



NOTE: WATER SERVICES AND FIRE HYDRANTS WILL NOT BE CONSTRUCTED IN AREAS WHERE THE WATERLINE CROSSES THROUGH FUTURE PHASES



PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION
DESIGN	CAM
	DRAWN
	CHKD
SCALE	H: 1" = 100'
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JOB No.	050227-01-004

DATE : 3/21/2018

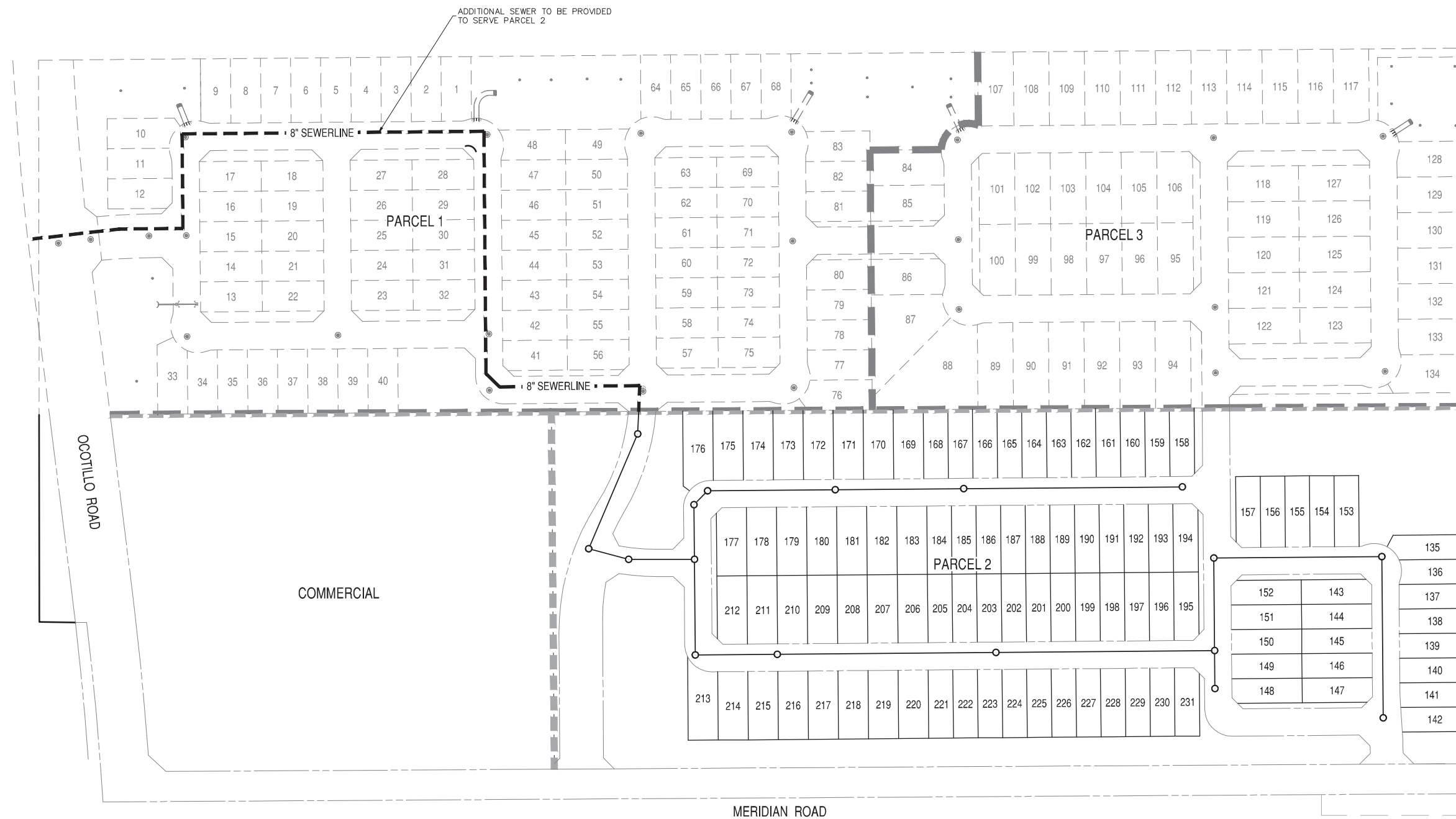
EXH02

SHEET 1 OF 1

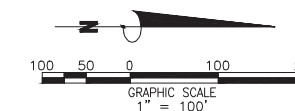
PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION
	CAM
DESIGN	DRAWN
SCALE	H: 1" = 100' V: NONE
JOB No.	050227-01-004
DATE	3/21/2018

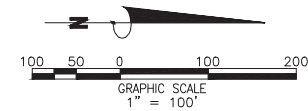
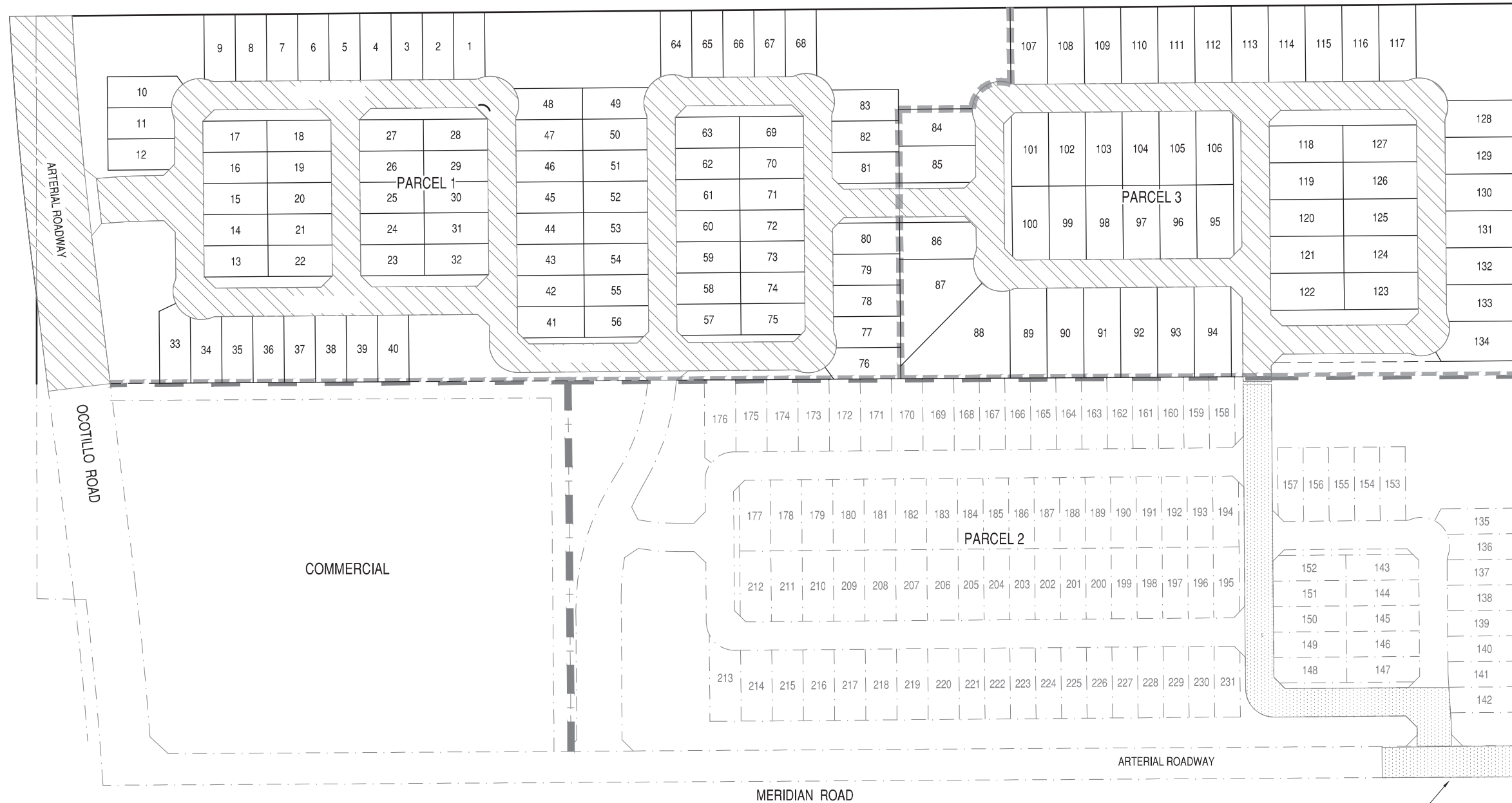


SCENARIO 1 - PARCEL 2 DEVELOPS FIRST



NOTE: MANHOLE MARKERS TO BE PROVIDED WHERE SEWER LINE PASSES THROUGH FUTURE PHASE.





PROJECT NUMBER

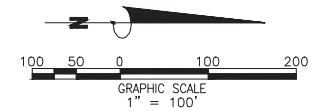
PLAN STATUS

DATE	DESCRIPTION
DESIGN	CAM DRAWN
SCALE	H: 1" = 100' V: NONE
JOB No.	050227-01-004
DATE	3/22/2018

DATE	DESCRIPTION
	CAM
DESIGN	DRAWN
SCALE	H: 1" = 100'
	V: NONE
JOB No.	050227-01-004
DATE	3/22/2018



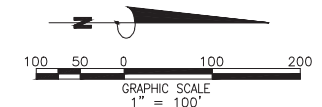
NOTE: WATER SERVICES AND FIRE HYDRANTS WILL NOT BE CONSTRUCTED IN AREAS WHERE THE WATERLINE CROSSES THROUGH FUTURE PHASES



NO ADDITIONAL SEWER REQUIRED  
TO SERVE PARCEL 1 & 3 ALONE



SCENARIO 2 - PARCEL 1 & 3 DEVELOP FIRST



NOTE: MANHOLE MARKERS TO BE PROVIDED  
WHERE SEWER LINE PASSES THROUGH  
FUTURE PHASE.





**1 THE "GAME ROOM" PARK**

PLAN ENLARGEMENT



**2 THE "HALL" PARK**

PLAN ENLARGEMENT



**THE "GAME ROOM" PARK AMENITIES**

- (1) PLAY STRUCTURE
- (1) CHALKBOARD WALL
- (1) BOCCE BALL COURT
- (1) HORSESHOE COURT
- (2) BBQ GRILL
- (3) GAME TABLES
- (6) PARK BENCHES
- (2) PICNIC TABLES
- (2) DOGI POTS
- (1) TRASH RECEPTACLE
- (1) RAMADA

**THE "HALL" PARK AMENITIES**

- (1) PLAY STRUCTURE
- (2) BBQ GRILL
- (3) PARK BENCHES
- (2) PICNIC TABLES
- (1) HORSESHOE COURT
- (1) DOGI POT
- (1) TRASH RECEPTACLE
- (1) RAMADA



**A FRONT ELEVATION**

**B SIDE ELEVATION**

**3 20' x 20' RAMADA**

SCALE: 1/4" = 1'-0"



**BOARD FORMED CONCRETE**  
GRAY CONCRETE WITH  
2x6 ROUGH SAWN WOOD FRAME  
TO ACHIEVE LOOK



**GABION WALL**  
6" - 8" ANGULAR RIP RAP  
NATURAL COLOR  
GABION BASKET WITH NATURAL FINISH



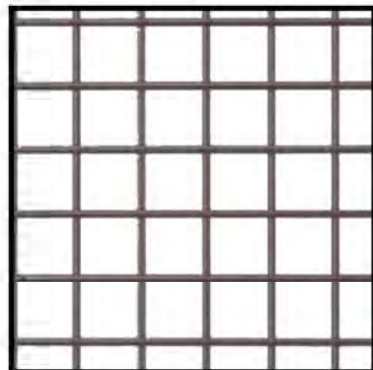
**REGULAR CMU (STAINED)**  
GRAY CMU WITH STAIN  
COLOR: SW 632B - FIREWEED



**STUCCO FINISH**  
COLOR: SW 6060 - CARAIBE



**STEEL**  
PAINTED OR POWDER COATED  
COLOR: SW 632B - FIREWEED



**WELDED WIRE MESH**  
COLOR: NATURAL FINISH

**RAMADA**



**ROOF**  
MERIDIAN STANDING SEAM ROOF  
COLOR: BRANDYWINE

**STEEL POSTS & BEAMS**  
MERIDIAN STANDING SEAM ROOF  
COLOR: BRANDYWINE

**SITE BENCHES**



**PARC VUE BENCH**  
SIZE:  
22" x 18" x 72" BACKLESS  
26" x 36" x 72" BACKED WITH ARMS  
COLOR: POWDER COAT BRONZE  
MANU: LANDSCAPE FORMS

**PICNIC TABLE**



**CARNIVAL PICNIC TABLE**  
MODEL: CRTP-66-1G-P  
COLOR: POWDER COAT BRONZE  
MANU: THOMAS STEELE

**GAME TABLE**



**CAROUSEL**  
MODEL: BACKED, 4 SEATS, SOLID TOP,  
SURFACE MOUNT  
COLOR: POWDER COAT BRONZE  
MANU: LANDSCAPE FORMS

**TRASH RECEPTACLE**



**CARNIVAL LITTER RECEPTACLE**  
MODEL: CRTR  
COLOR: POWDER COAT BRONZE  
MANU: THOMAS STEELE

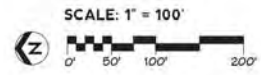
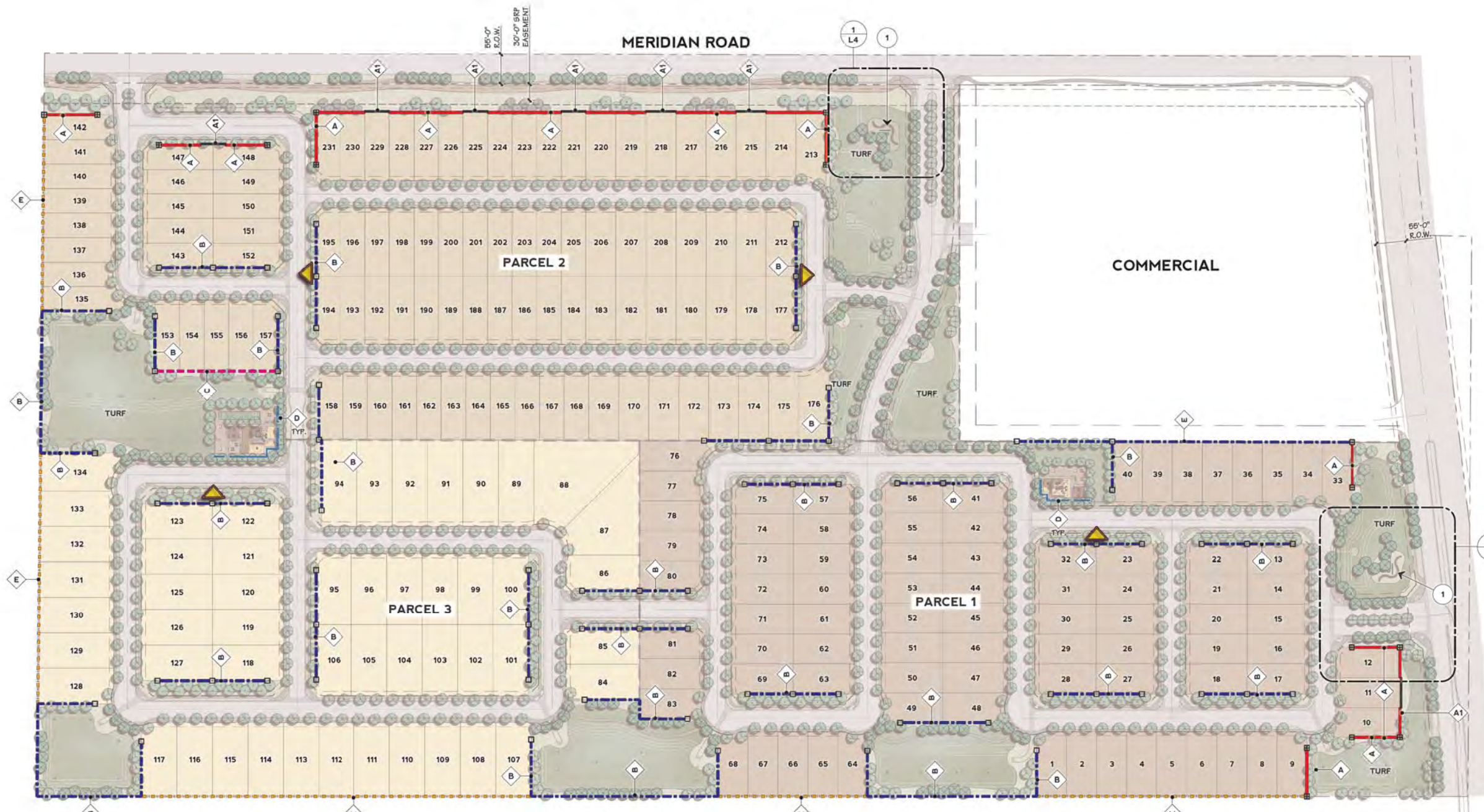
**PLAY STRUCTURE**

MODEL: VARIES  
COLOR: BROWN POST,  
BROWN DECKING  
TAN & GREEN PANELS AND SLIDES  
MANU: LITTLE TIKES COMMERCIAL

**PLAY STRUCTURE**







**MAILBOXES**

MAILBOX LOCATIONS  
LOCATIONS SUBJECT TO CHANGE  
PER USPS REQUIREMENTS  
  
SEE SHEET L8 FOR DETAIL

**KEYED NOTES** X

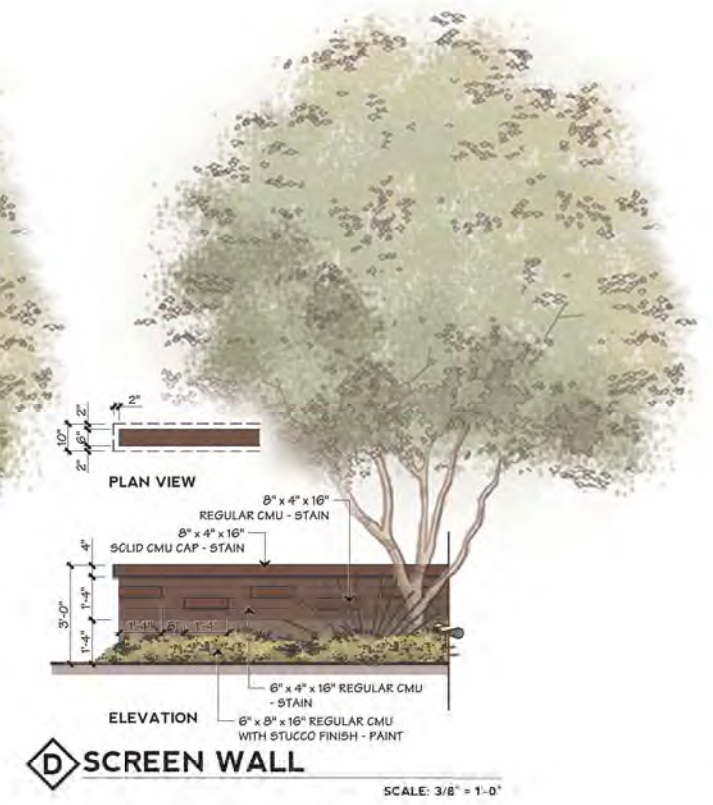
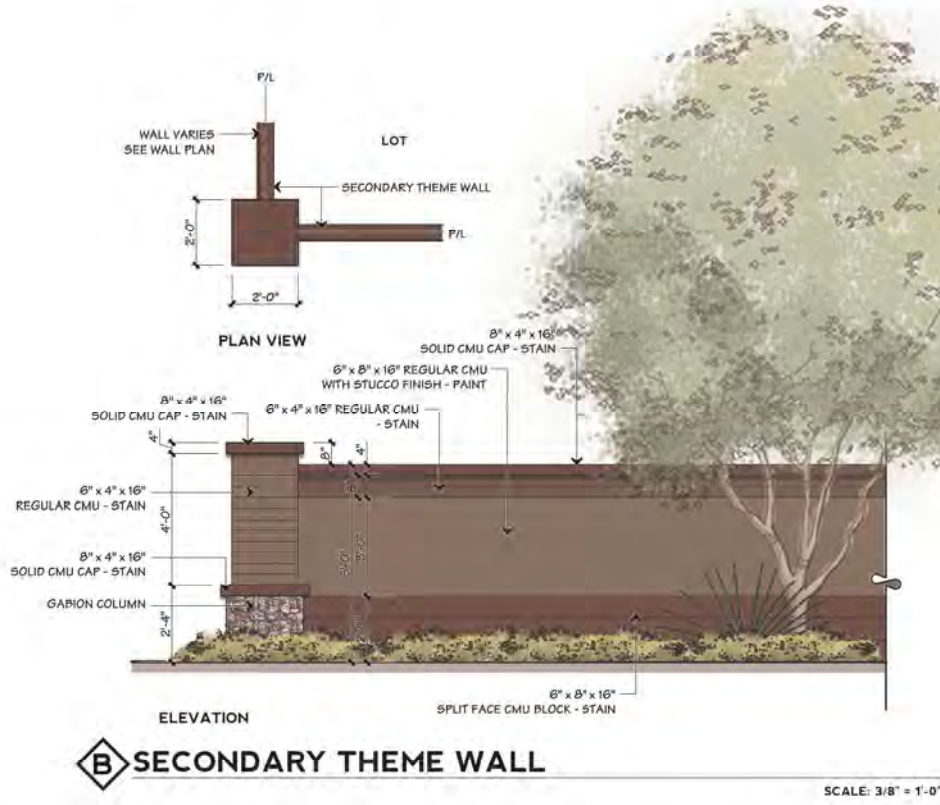
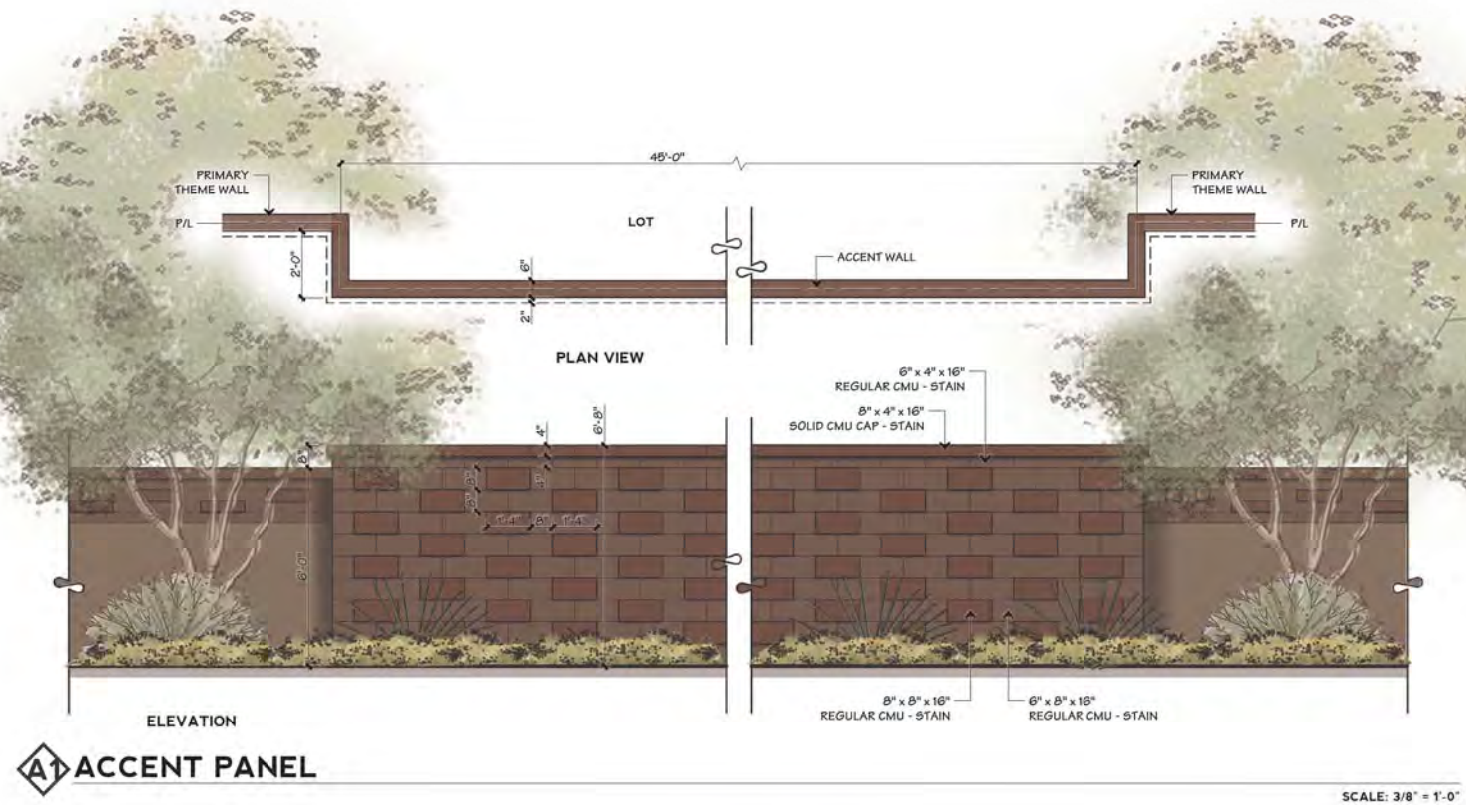
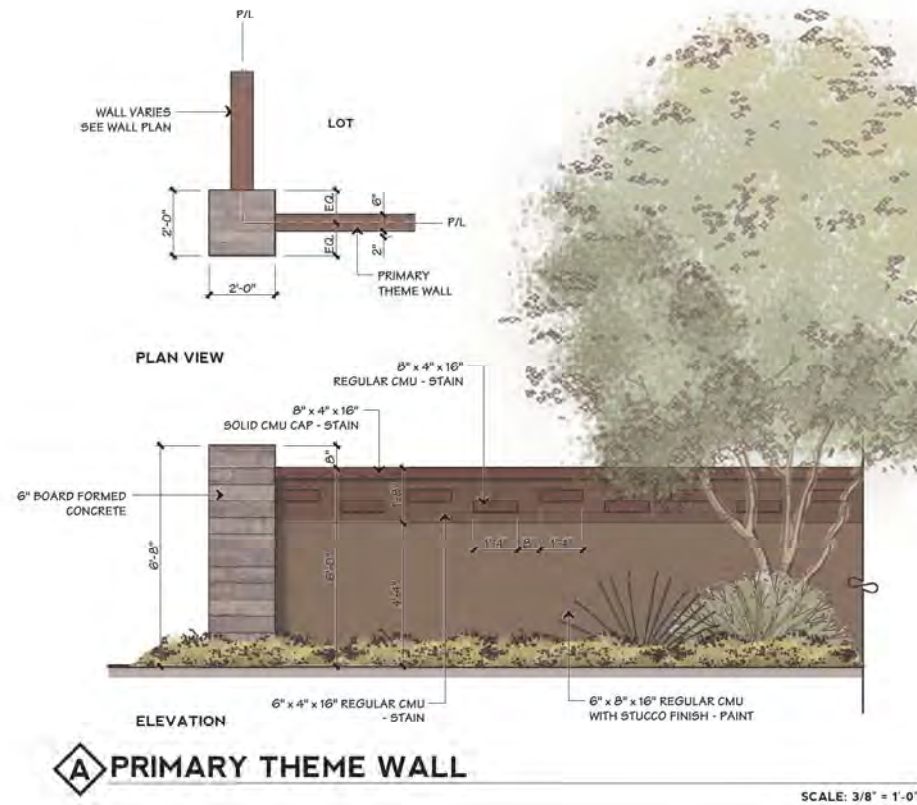
1 ENTRY MONUMENT, SEE SHEET L8

**WALL NOTES**

- SEE L8 FOR ALL WALL DETAILS
- ALL LOT & PROPERTY LINES (WITHOUT A WALL SYMBOL) THAT REQUIRE A WALL SHALL BE CONSTRUCTED OF BUILDER WALL (OR EQUAL) PER TOWN OF QUEEN CREEK STANDARDS.
- WALLS FOLLOW REAR AND SIDE LOT PROPERTY LINES UNLESS OTHERWISE SHOWN (SEE ENGINEERING FINAL PLAT FOR DIMENSIONS).
- A 6"x6" CONCRETE HEADER SHALL BE PLACED BETWEEN THE WALL COLUMN SETBACK & SIDEWALK WHERE PROPERTY LINE OCCURS.
- ALL WALLS SHALL BE CONSTRUCTED OUTSIDE OF RIGHT OF WAYS, PUBLIC UTILITY EASEMENTS AND SIGHT VISIBILITY TRIANGLES PER TOWN OF QUEEN CREEK STANDARDS

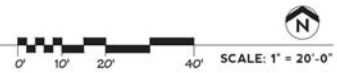
**WALL LEGEND**

- PRIMARY THEME WALL  
INDICATES COLUMN LOCATION
- ACCENT PANEL  
OCCURS EVERY 300' MIN.
- SECONDARY THEME WALL  
INDICATES COLUMN LOCATION
- VIEW WALL
- SCREEN WALL
- BUILDER WALL  
PER TOWN OF QUEEN CREEK  
STANDARD DETAILS

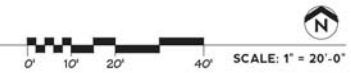


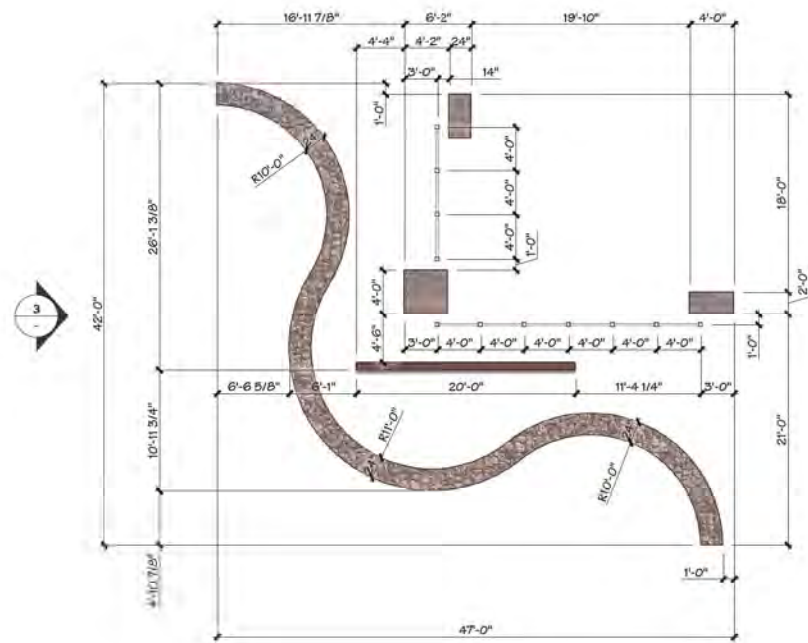


**1** MERIDIAN ROAD ENTRY MONUMENT  
PLAN ENLARGEMENT



**2** OCOTILLO ROAD ENTRY MONUMENT  
PLAN ENLARGEMENT





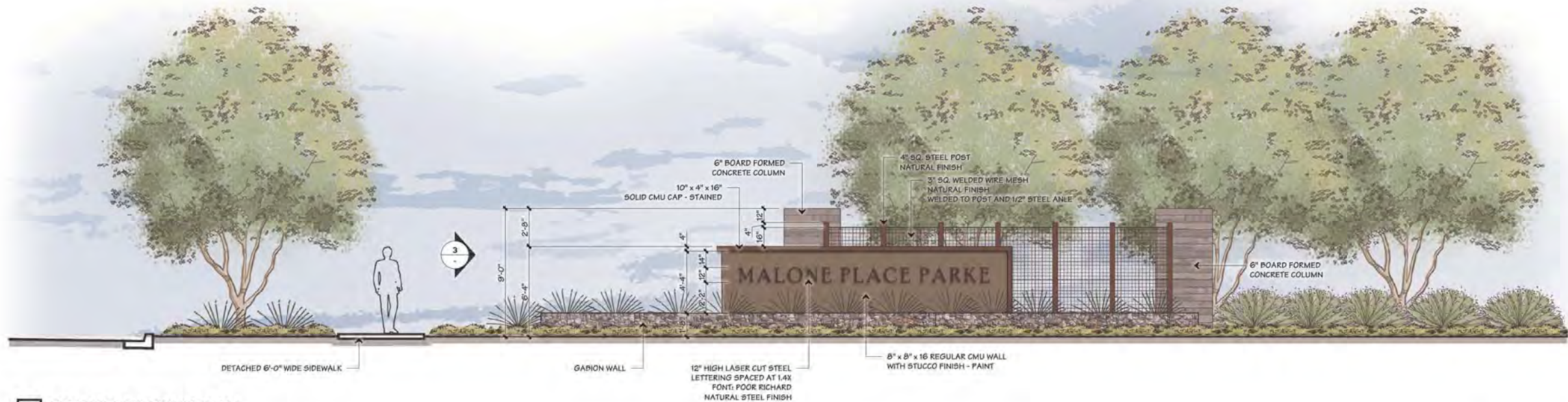
1 PLAN VIEW

SCALE: 1/8" = 1'-0"



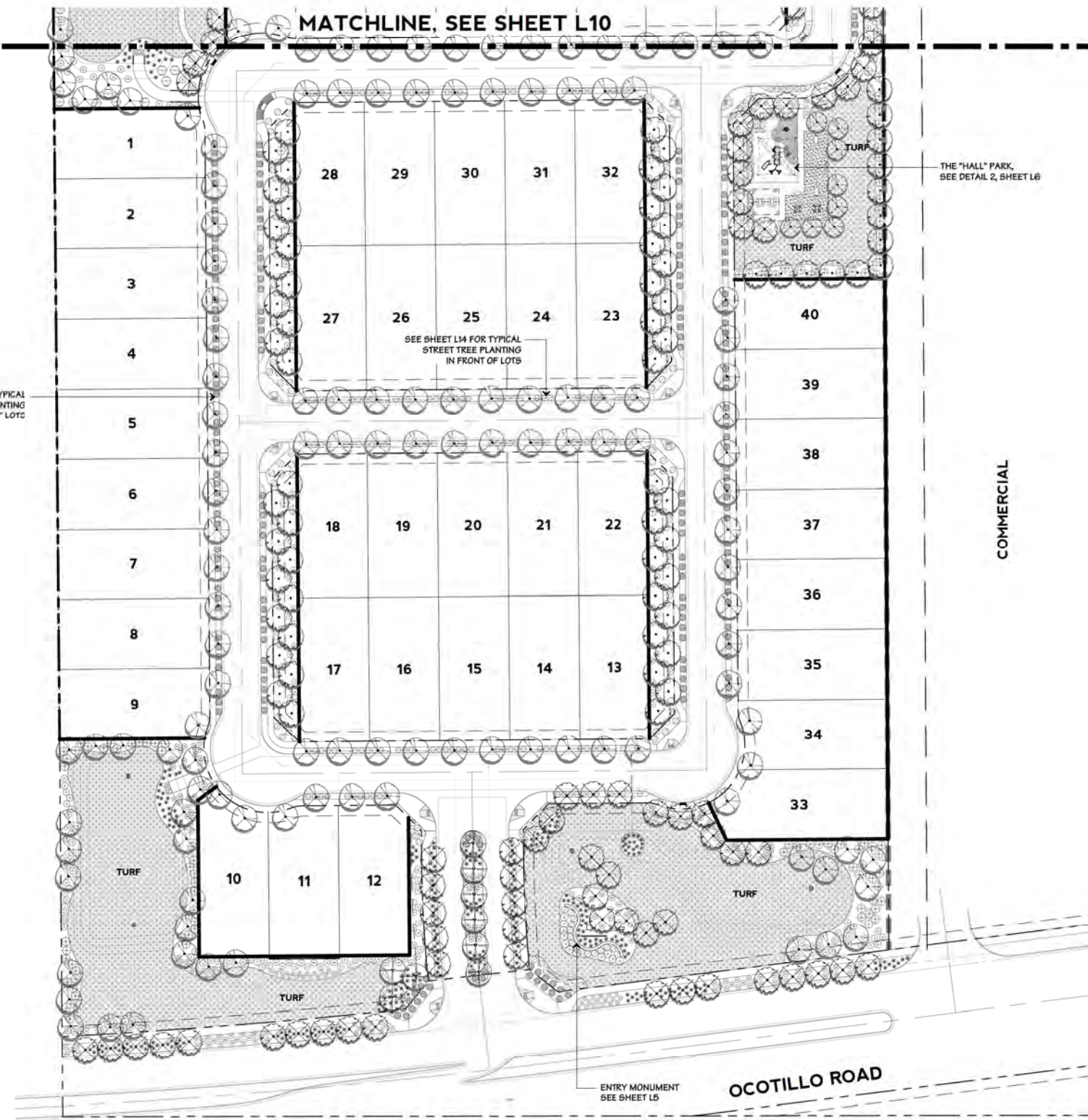
3 SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION

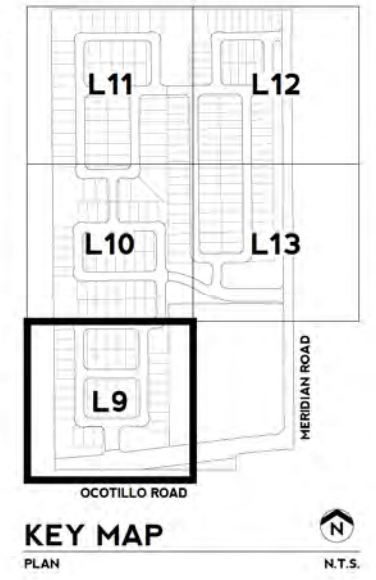
SCALE: 1/4" = 1'-0"

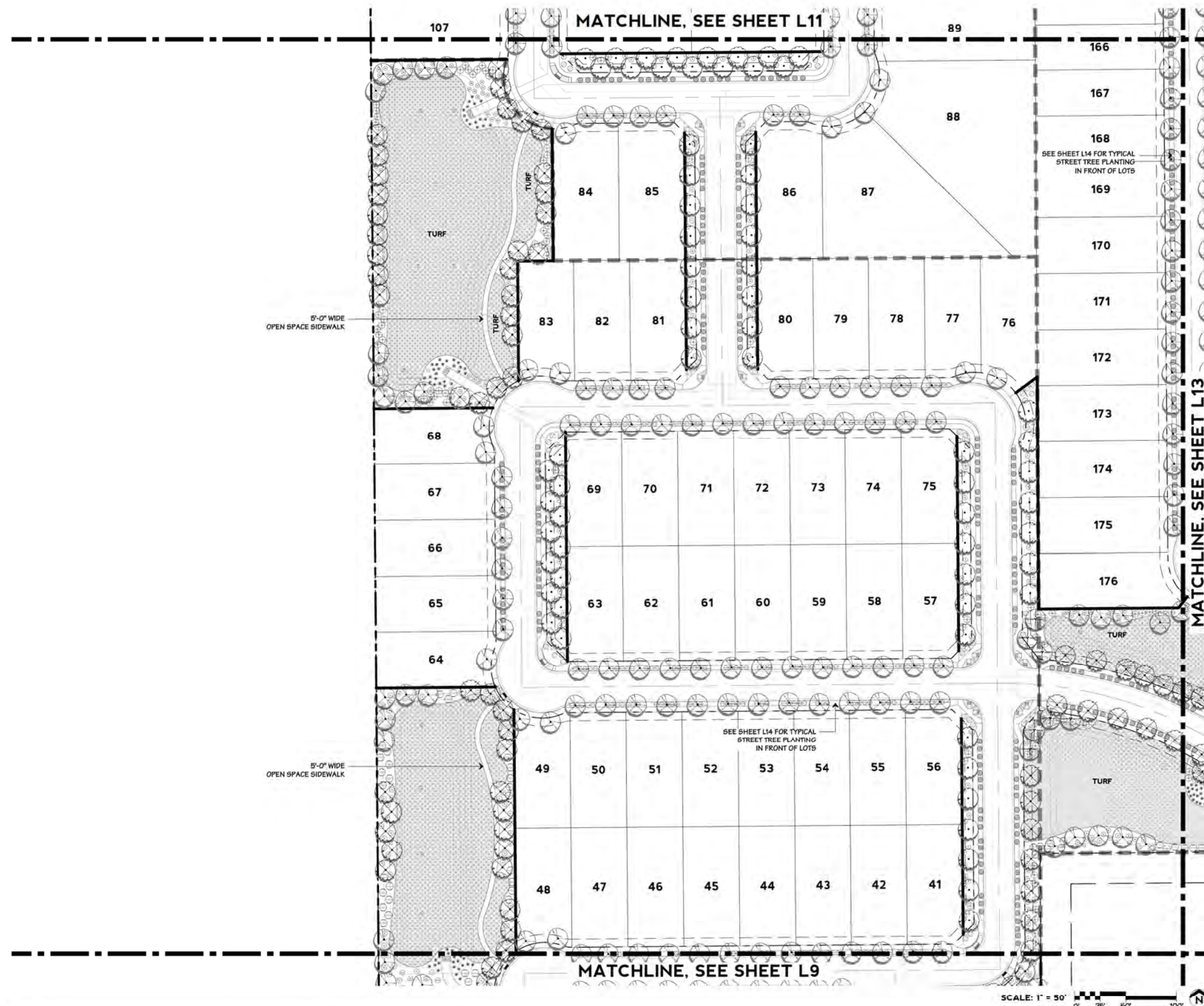


### LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
<b>TREES &amp; LARGE PALMS</b>		
⊗	ULMUS PARVIFOLIA SEMPREVIRENS EVERGREEN ELM	24' BOX
⊗	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	24' BOX
⊗	FRAXINUS VELUTINA MODESTO MODESTO ASH	24' BOX
⊗	CHITALPA TASHKENTENSIS CHITALPA	24' BOX
⊗	ACACIA SMALLII SWEET ACACIA	24' BOX
⊗	CHILOPSIS LINEARIS 'BURGUNDY' BURGUNDY DESERT WILLOW	24' BOX
<b>PALMS</b>		
⊗	CHAMEROPS HUMILIS MEDITERRANEAN FAN PALM	5 GAL.
⊗	CYCUS REVOLUTA SAGO PALM	5 GAL.
<b>SHRUBS</b>		
⊗	BOUGAINVILLEA SPECIES BUSH BOUGAINVILLEA	5 GAL.
⊗	TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL.
⊗	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	5 GAL.
⊗	EROMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.
⊗	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.
⊗	RUPELLIA BRITTONIANA COMMON RUPELLIA	5 GAL.
⊗	RUSSELLIA EQUISSETIFORMIS CORAL FOUNTAIN	5 GAL.
⊗	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL.
+	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.
+	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.
<b>ACCENTS</b>		
+	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
+	HESPERALOE PARVIFOLIA RED YUCCA	5 GAL.
<b>GROUNDCOVER</b>		
⊗	LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL.
⊗	LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL.
⊗	ROSMARINUS OFFICINALIS 'PROSTRATUS' PROSTRATE ROSEMARY	1 GAL.
⊗	WEDELIA TRILOBATA YELLOW DOT	1 GAL.

NOTE:  
1. SEE SHEET L14 FOR TYPICAL STREET PLANTING PLANS.  
2. SEE SHEET L14 FOR ALL QUANTITIES, & SITE DATA.

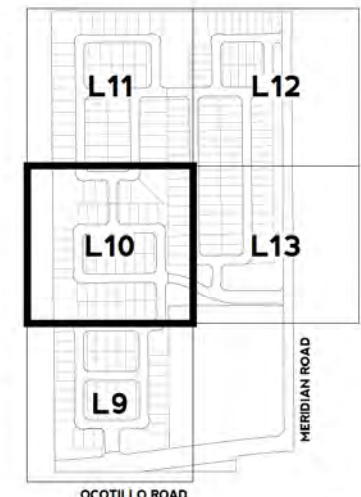




**LANDSCAPE LEGEND**

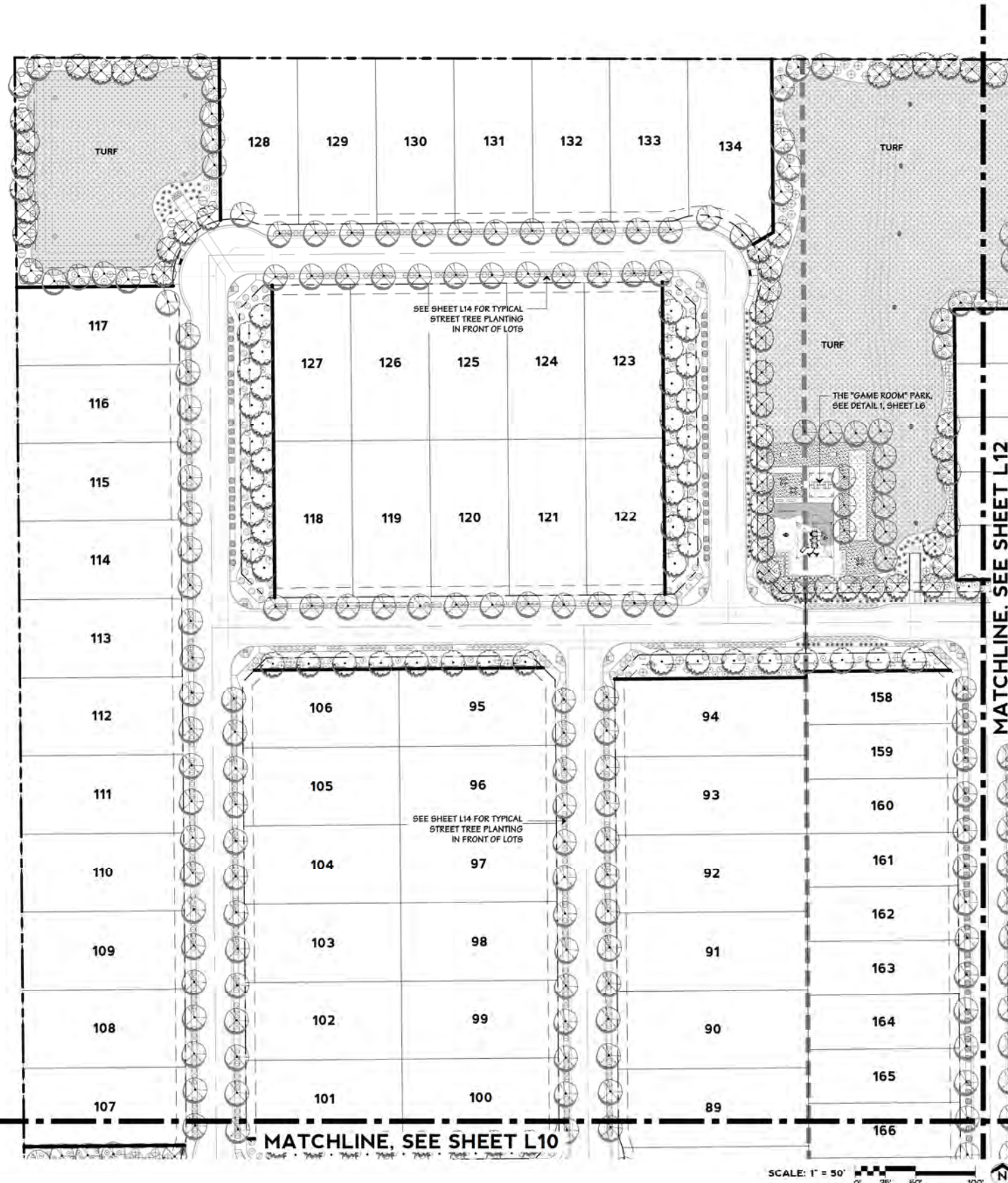
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
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+	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.
+	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.
<b>ACCENTS</b>		
+	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
+	HESPERALOE PARVIFOLIA RED YUCCA	5 GAL.
<b>GROUNDCOVER</b>		
⊗	LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL.
⊗	LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL.
⊗	ROSMARINUS OFFICINALIS 'PROSTRATUS' PROSTRATE ROSEMARY	1 GAL.
⊗	WEDELIA TRILOBATA YELLOW DOT	1 GAL.

NOTE:  
1. SEE SHEET L14 FOR TYPICAL STREET PLANTING PLANS.  
2. SEE SHEET L14 FOR ALL QUANTITIES, & SITE DATA.



**KEY MAP**  
PLAN N.T.S.

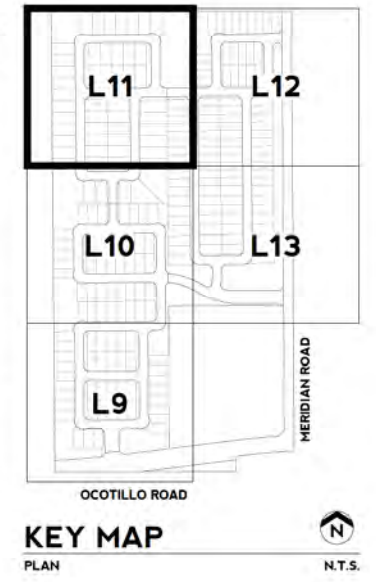
SCALE: 1" = 50'



**LANDSCAPE LEGEND**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
<b>TREES &amp; LARGE PALMS</b>		
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⊙	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
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<b>GROUND COVER</b>		
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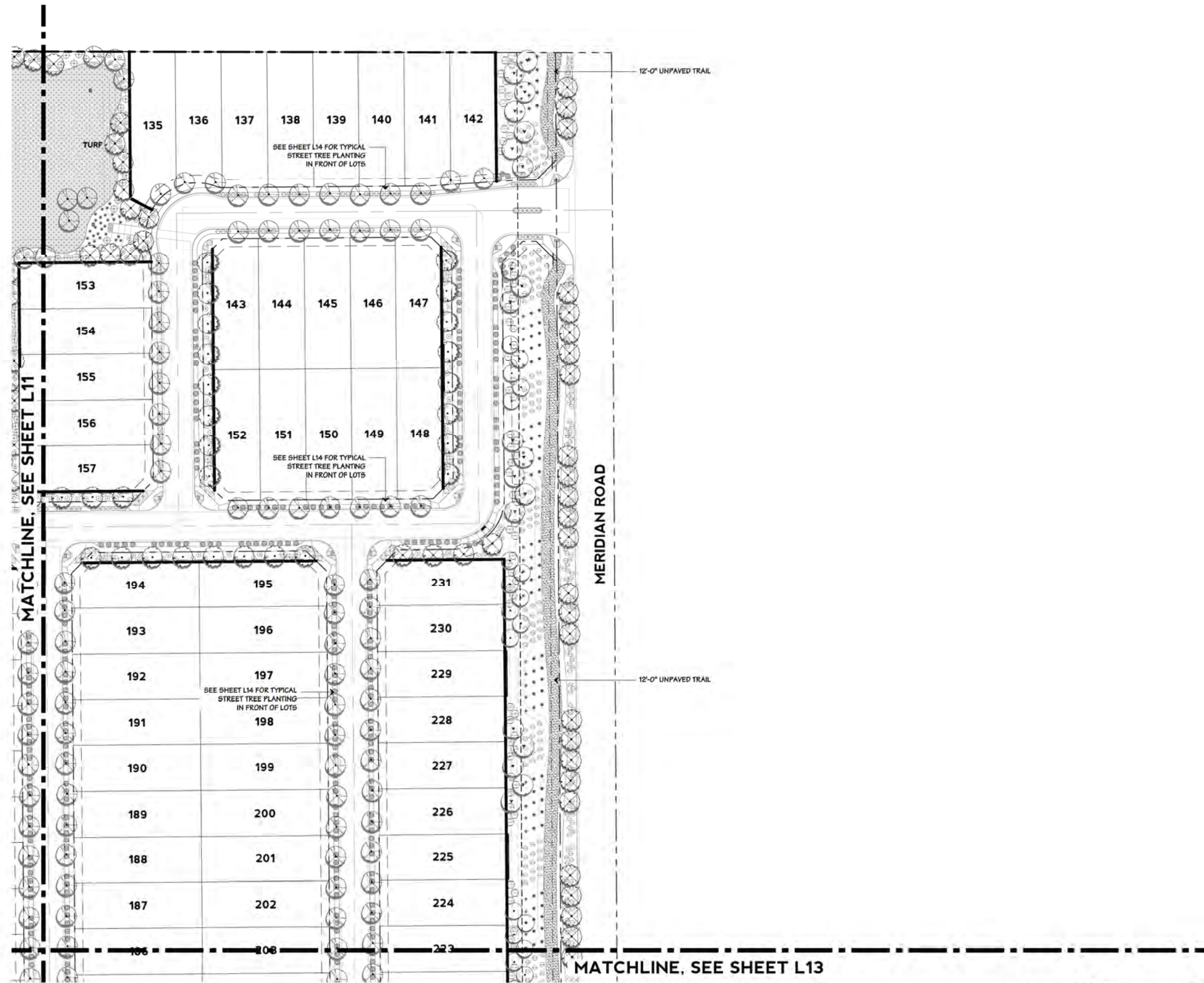
NOTE:  
1. SEE SHEET L14 FOR TYPICAL STREET PLANTING PLANS.  
2. SEE SHEET L14 FOR ALL QUANTITIES, & SITE DATA.



MATCHLINE, SEE SHEET L12

MATCHLINE, SEE SHEET L10

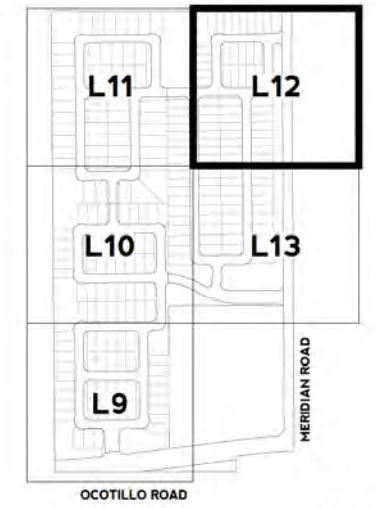




### LANDSCAPE LEGEND

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<b>TREES &amp; LARGE PALMS</b>		
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⊗	CYCUS REVOLUTA SAGO PALM	5 GAL.
<b>SHRUBS</b>		
⊕	BOUGAINVILLEA SPECIES BUSH BOUGAINVILLEA	5 GAL.
⊕	TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL.
⊕	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	5 GAL.
⊕	EROMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.
⊕	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.
⊕	RUPELLIA BRITTONIANA COMMON RUPELLIA	5 GAL.
⊕	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	5 GAL.
⊕	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL.
⊕	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.
⊕	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.
<b>ACCENTS</b>		
+	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
⊕	HESPERALOE PARVIFOLIA RED YUCCA	5 GAL.
<b>GROUND COVER</b>		
⊕	LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL.
⊕	LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL.
⊕	ROSMARINUS OFFICINALIS 'PROSTRATUS' PROSTRATE ROSEMARY	1 GAL.
⊕	WEDELIA TRILOBATA YELLOW DOT	1 GAL.

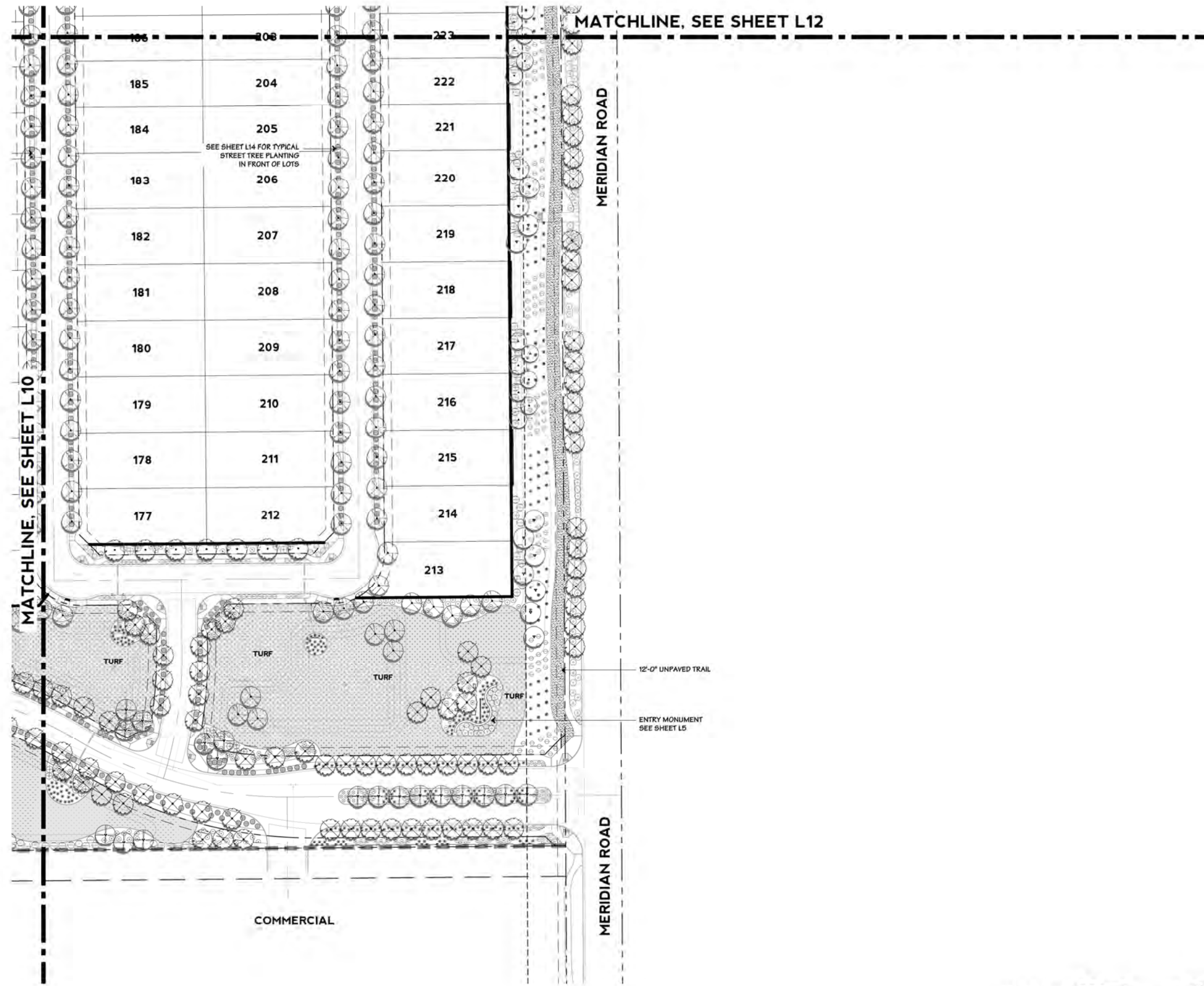
NOTE:  
1. SEE SHEET L14 FOR TYPICAL STREET PLANTING PLANS.  
2. SEE SHEET L14 FOR ALL QUANTITIES, & SITE DATA.



KEY MAP  
PLAN N.T.S.

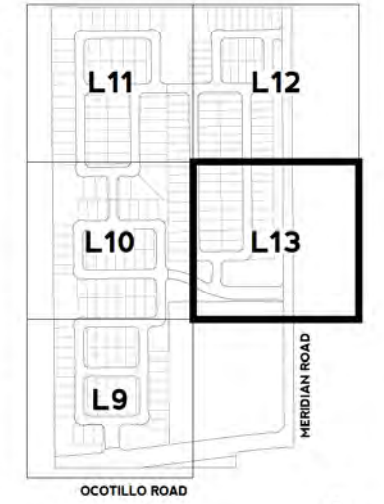


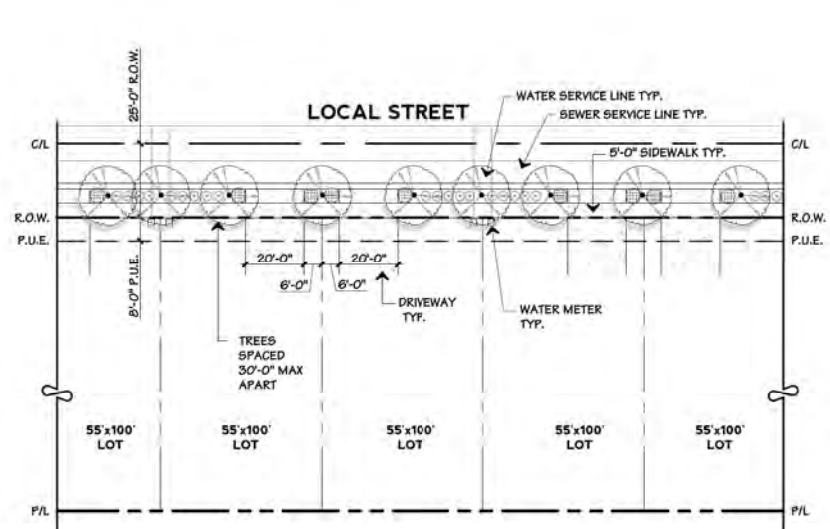




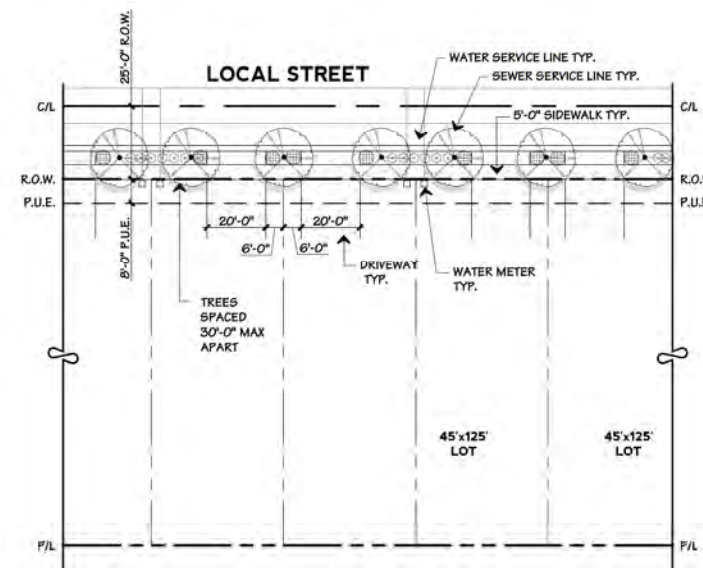
### LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
<b>TREES &amp; LARGE PALMS</b>		
⊙	ULMUS PARVIFOLIA SEMPREVIRENS EVERGREEN ELM	24' BOX
⊗	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	24' BOX
⊙	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	24' BOX
⊙	CHITALPA TASHKENTENSIS CHITALPA	24' BOX
⊙	ACACIA SHALLII SWEET ACACIA	24' BOX
⊙	CHILOPSIS LINEARIS 'BURGUNDY' BURGUNDY DESERT WILLOW	24' BOX
<b>PALMS</b>		
⊗	CHAMEROPS HUMILIS MEDITERRANEAN FAN PALM	5 GAL.
⊗	CYCUS REVOLUTA SAGO PALM	5 GAL.
<b>SHRUBS</b>		
⊕	BOUGAINVILLEA SPECIES BUSH BOUGAINVILLEA	5 GAL.
⊕	TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL.
⊕	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	5 GAL.
⊕	EROMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.
⊕	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.
⊕	RUPELLIA BRITTONIANA COMMON RUPELLIA	5 GAL.
⊕	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	5 GAL.
⊕	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL.
⊕	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.
⊕	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.
<b>ACCENTS</b>		
+	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
⊕	HESPERALOE PARVIFOLIA RED YUCCA	5 GAL.
<b>GROUNDCOVER</b>		
⊕	LANTANA X 'NEW GOLD' YELLOW LANTANA	1 GAL.
⊕	LANTANA MONTIVENDENSIS PURPLE TRAILING LANTANA	1 GAL.
⊕	ROSMARINUS OFFICINALIS 'PROSTRATUS' PROSTRATE ROSEMARY	1 GAL.
⊕	WEDELIA TRILOBATA YELLOW DOT	1 GAL.
<b>NOTE:</b>		
1. SEE SHEET L14 FOR TYPICAL STREET PLANTING PLANS.		
2. SEE SHEET L14 FOR ALL QUANTITIES, & SITE DATA.		

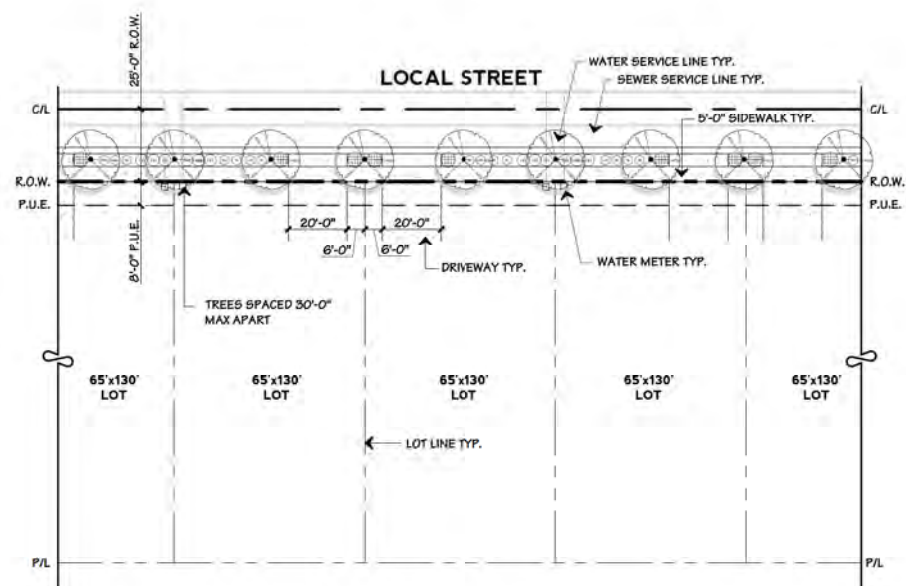




**1 55' x 100' TYPICAL STREET PLANTING** SCALE: 1" = 30'-0"



**1 45' x 125' TYPICAL STREET PLANTING** SCALE: 1" = 30'-0"



**2 65' x 130' TYPICAL STREET PLANTING** SCALE: 1" = 30'-0"

**SITE DATA**

ZONING: R1-5, R1-9, & C-1 PAD  
 PA17-002B, CASE #R216-45

SITE GROSS AREA: 81.11 AC  
 SITE NET AREA: 75.02 AC

RESIDENTIAL NET AREA: 66.05 AC  
 REQUIRED OPEN SPACE: 20% (12.61 AC)  
 PROPOSED OPEN SPACE: 20.2% (12.72 AC)  
 REQUIRED ACTIVE OPEN SPACE: 30% (3.94 AC)  
 PROPOSED ACTIVE OPEN SPACE: 33.2% (4.18 AC)

COMMERCIAL AREA: 11.55 AC

**LANDSCAPE CALC'S**

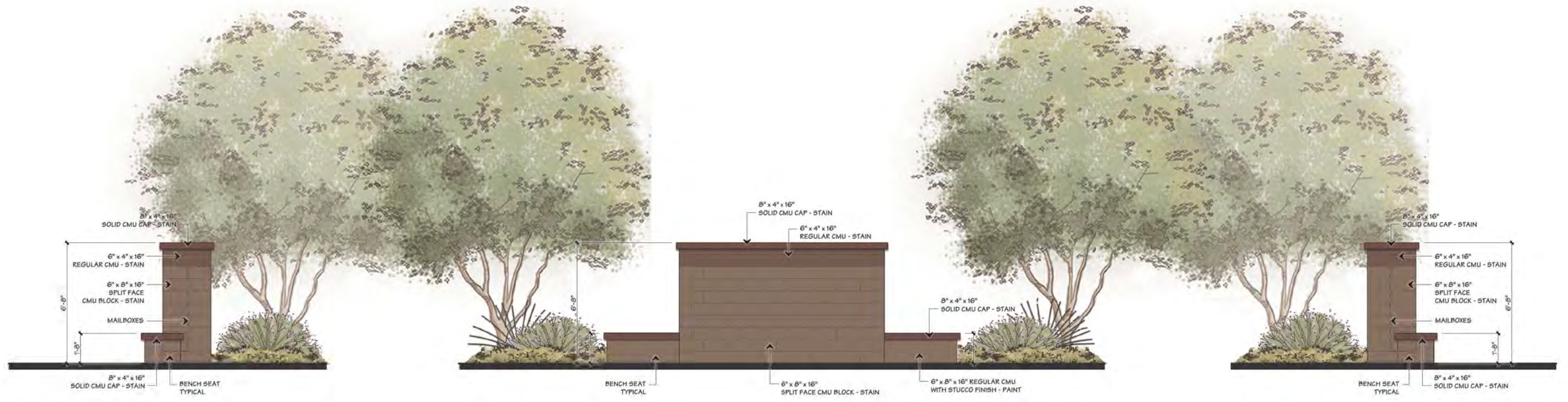
**STREET TREE CALC'S**  
 REQUIRED: 1 TREE, 6 SHRUBS PER 30 L.F.  
 PROVIDED: 1 TREE, 6 SHRUBS PER 30 L.F.

**OPEN SPACE CALC'S**  
 REQUIRED: 2 TREES PER DWELLING UNIT  
 (231 LOTS)(2) = 462 TREES  
 PROVIDED: 462 TREES

- 25% OF THE PROVIDED TREES SHALL BE 24" BOX OR LARGER
- STREET TREES CAN BE COUNTED TOWARDS THIS QUANTITY.

**LANDSCAPE LEGEND**

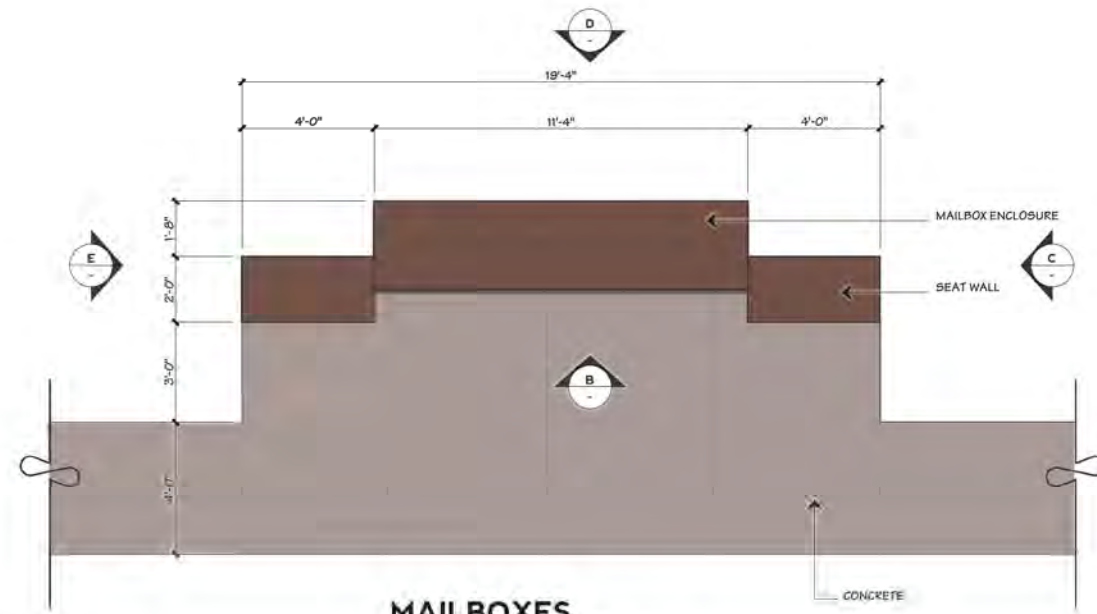
SYMBOL	BOTANICAL NAME COMMON NAME	SIZE
<b>TREES &amp; LARGE PALMS</b>		
	ULMUS PARVIFOLIA SEMPREVIRENS EVERGREEN ELM	24" BOX
	PISTACIA X 'RED PUSH' RED PUSH PISTACHE	24" BOX
	FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	24" BOX
	CHITALPA TASHKENTENSIS CHITALPA	24" BOX
	ACACIA SMALLII SWEET ACACIA	24" BOX
	CHILOPSIS LINEARIS 'BURGUNDY' BURGUNDY DESERT WILLOW	24" BOX
	PHOENIX DACTYLIFERA DATE PALM	20' TALL
<b>PALMS</b>		
	CHAMEROPS HUMILIS MEDITERRANEAN FAN PALM	5 GAL.
	CYCAS REVOLUTA SAGO PALM	5 GAL.
<b>SHRUBS</b>		
	BOUGAINVILLEA SPECIES BUSH BOUGAINVILLEA	5 GAL.
	TECOMA X 'ORANGE JUBILEE' ORANGE JUBILEE	5 GAL.
	LEUCOPHYLLUM FRUTESCENS GREEN CLOUD SAGE	5 GAL.
	EROMOPHILA MACULATA 'VALENTINE' VALENTINE BUSH	5 GAL.
	NERIUM OLEANDER 'PETITE PINK' PETITE PINK OLEANDER	5 GAL.
	RUELLIA BRITTONIANA COMMON RUELLIA	5 GAL.
	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	5 GAL.
	MYRTUS COMMUNIS 'COMPACTA' DWARF MYRTLE	5 GAL.
	MUHLENBERGIA RIGENS DEER GRASS	5 GAL.
	MUHLENBERGIA RIGIDA 'NASHVILLE' NASHVILLE MUHLY GRASS	5 GAL.
<b>ACCENTS</b>		
	HESPERALOE FUNIFERA GIANT HESPERALOE	5 GAL.
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<b>GROUND COVER</b>		
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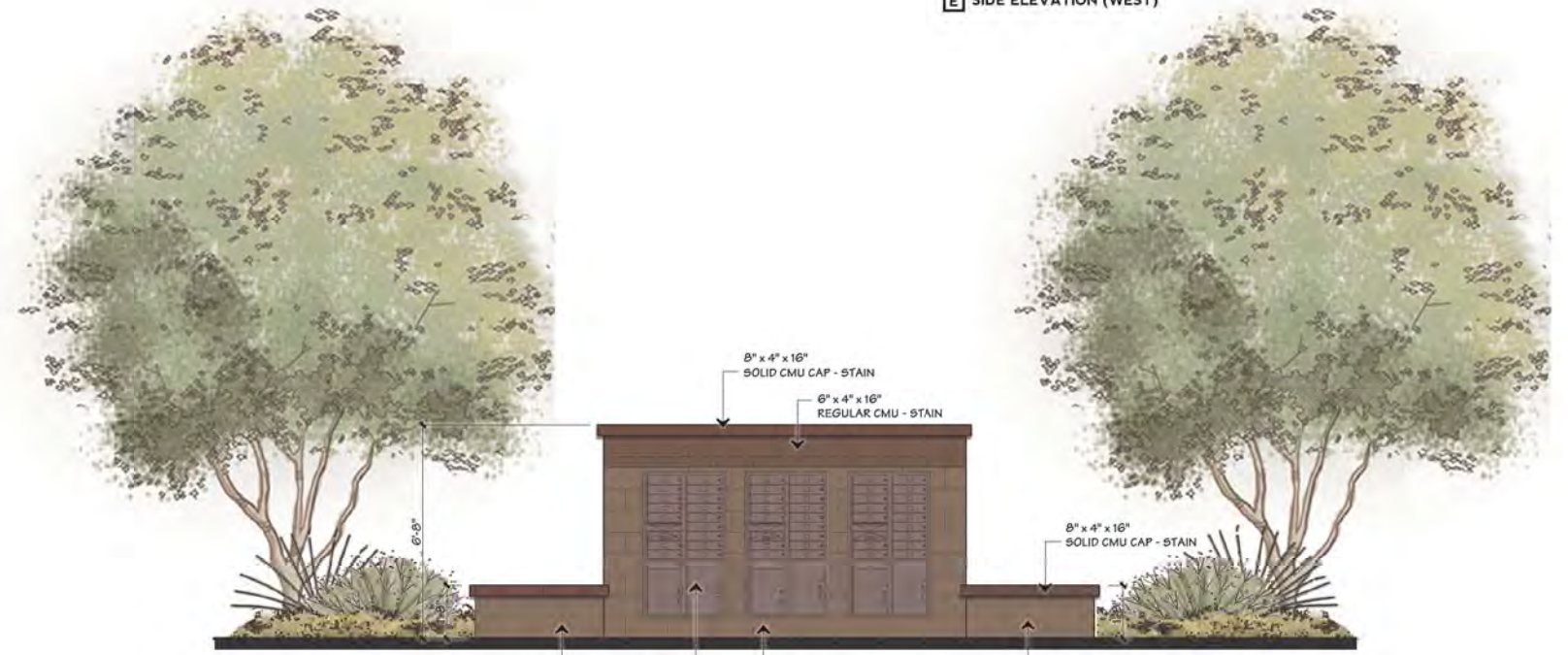
C SIDE ELEVATION (EAST)

D BACK ELEVATION

E SIDE ELEVATION (WEST)



A PLAN ENLARGEMENT



B FRONT ELEVATION

1 MAILBOXES

MAILBOXES

MAILBOX MODEL: 37150-20 (20 UNITS)  
 RECESSED MOUNTED  
 (20 MB1, 1 FL4, 1FL5, OM2)  
 COLOR: BRONZE

MANUFACTURER: WWW.MAILBOXES.COM  
 SALSBURY INDUSTRIES

SCALE: 3/8" = 1'-0"

# PHASING PLAN



**LEGAL DESCRIPTION**

THE EAST 708.6 FEET OF THE SOUTH HALF OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THAT PORTION CONVEYED TO THE TOWN OF QUEEN CREEK, ARIZONA IN QUIT CLAIM DEED RECORDED JUNE 23, 2015 IN RECORDING NO. 20150446166 ALSO RECORDED JULY 2, 2015 IN RECORDING NO. 20150478776, DESCRIBED AS FOLLOWS:

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID SECTION 13, SAID CORNER BEING A GLO BRASS CAP IN A HANDHOLE AND FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 13 BEING A FOUND ALUMINUM CAP BEARS NORTH 00 DEGREES 31 MINUTES 10 SECONDS WEST, A DISTANCE OF 2618.89 FEET;

THENCE SOUTH 89 DEGREES 44 MINUTES 39 SECONDS WEST, A DISTANCE OF 55.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 13;

THENCE NORTH 00 DEGREES 31 MINUTES 10 SECONDS WEST, A DISTANCE OF 112.43 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF OCOTILLO ROAD AS DESCRIBED IN DOCKET 439, PAGE 115, MARICOPA COUNTY RECORDS, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTH FROM WHICH ITS RADIUS POINT BEARS SOUTH 04 DEGREES 16 MINUTES 51 SECONDS EAST, A DISTANCE OF 5697.00 FEET;

THENCE EASTERLY ALONG SAID CURVE, AN ARC LENGTH OF 55.10 FEET THROUGH A CENTRAL ANGLE OF 00 DEGREES 33 MINUTES 15 SECONDS;

THENCE SOUTH 00 DEGREES 31 MINUTES 10 SECONDS EAST, A DISTANCE OF 116.03 FEET ALONG THE EAST LINE OF SAID SECTION 13 TO THE POINT OF BEGINNING; AND

EXCEPT THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 13, MONUMENTED WITH A G.L.O. BRASS CAP IN HANDHOLE, WHICH BEARS SOUTH 89 DEGREES 43 MINUTES 45 SECONDS EAST 2620.76 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 13, MONUMENTED WITH A BRASS CAP IN HANDHOLE;

THENCE ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13, NORTH 89 DEGREES 43 MINUTES 45 SECONDS WEST, 55.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE NORTH 89 DEGREES 43 MINUTES 45 SECONDS WEST, 274.74 FEET;

THENCE NORTH 00 DEGREES 59 MINUTES 22 SECONDS EAST, 86.50 FEET TO A POINT ON THE SOUTH LINE OF THE DEDICATED COUNTY ROAD AS SHOWN IN BOOK 7 OF ROAD MAPS, PAGE 44, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID POINT BEING THE BEGINNING OF A NON-TANGENT CURVE THE CENTER OF WHICH BEARS SOUTH 06 DEGREES 29 MINUTES 57 SECONDS EAST 5697.00 FEET;

THENCE ALONG SAID NON-TANGENT CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 02 DEGREES 45 MINUTES 34 SECONDS, AN ARC LENGTH OF 274.38 FEET, TO A POINT ON THE LINE 55.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13;

THENCE ALONG SAID PARALLEL LINE SOUTH 00 DEGREES 00 MINUTES 34 SECONDS WEST, 112.26 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH: THE SOUTH HALF OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE WEST 3909.1 FEET; AND

EXCEPT THE EAST 708.6 FEET THEREOF.

TOGETHER WITH:

THE EAST 24.03 FEET OF THE WEST 3909.1 FEET OF THE SOUTH HALF OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

**LEGEND**

- BRASS CAP FLUSH
- o MONUMENT AS NOTED
- BRASS CAP IN HAND HOLE
- SEWER MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE FLOW DIRECTION
- EXISTING GAS MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SIGN
- EXISTING ELECTRICAL PULL BOX
- EXISTING TELEPHONE PEDESTAL
- EXISTING GUY WIRE
- EXISTING POWER POLE
- BOUNDARY LINE
- SECTION LINE
- LOT LINE
- EASEMENT LINE
- R/W RIGHT OF WAY
- EX W EXISTING FENCE
- EX S EXISTING WATER
- EX G EXISTING SEWER
- OHE EXISTING GAS
- EXISTING OVERHEAD UTILITY LINES
- 8"S PROPOSED SEWER
- 8"W PROPOSED WATER
- 27"IRR EXISTING IRRIGATION
- ZONING BOUNDARY

**ADJACENT UTILITIES**

- SRP
- COX
- CENTURYLINK
- QCID
- JOHNSON WATER CO.
- TOQC WATER
- TOQC SEWER

D = DU  
A - (C+I+S+a+OS)

DU = TOTAL # OF DWELLING UNITS PERMITTED  
D = MAXIMUM NET DENSITY  
A = TOTAL SITE AREA (ACRES)  
C = TOTAL COMMERCIAL LAND AREA (ACRES)  
I = TOTAL INDUSTRIAL LAND AREA (ACRES)  
S = SCHOOL SITE RESERVED FOR PURCHASE  
a = ARTERIAL AND COLLECTOR RIGHTS-OF-WAY (ACRES)  
OS = OPEN SPACE

D = 231  
81.11 - ((1.55\*0+0+6.09+12.72))

D = 4.55 du/ac

**MALONE PLACE PARKE  
PRELIMINARY PLAT  
QUEEN CREEK, ARIZONA**

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA



**ENGINEER**

BOWMAN CONSULTING  
1295 W. WASHINGTON ST., SUITE 108  
TEMPE, AZ 85281  
PH: 480.629.8830  
CONTACT: JOHN GRAY

**OWNER**

LEGACY COLLATERAL HOLDINGS, LLC  
1121 W. WARNER RD  
SUITE: 109  
TEMPE, AZ 85284  
PH: 480.931.2000  
CONTACT: SETH KEELER

JB HOLDINGS, INC.  
9240 S. KENNETH PLACE  
TEMPE, AZ 85284  
PH: 602.339.5702  
CONTACT: JOHN BEERLING

**BASIS OF BEARING**

NORTH 00 DEGREES 20 MINUTES 42 SECONDS WEST ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 13, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ACCORDING TO BOOK 1051 OF MAPS, PAGE 29, M.C.R.

**BENCHMARK**

GDACS POINT #21034-2M  
ALUMINUM CAP IN POT HOLE AT THE NORTH QUARTER CORNER OF SECTION 13, T2S, R7E, G&SRB&M.  
ELEVATION = 1442.537 (NAVD88)

**FLOOD ZONE CERTIFICATION**

THIS SITE LIES WITHIN THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) NUMBER 04013C2790L, ZONE X, WITH A CURRENT EFFECTIVE DATE OF OCTOBER 16, 2013. ACCORDING TO THE FEMA GIS DATABASE, THIS PANEL IS NOT PRINTED DUE TO NO SPECIAL FLOOD HAZARD AREAS BEING LOCATED WITHIN THE AREA.

**CERTIFICATE OF ASSURED WATER SUPPLY**

THE ARIZONA DEPARTMENT OF WATER RESOURCES (ADWR) HAS GRANTED AN ANALYSIS OF ASSURED WATER SUPPLY (AAWS), DWR FILE NO. 28-700928.0000. THE AAWS RESERVES A SUFFICIENT WATER SUPPLY THAT WILL BE CONVERTED FOR CERTIFICATES OF ASSURED WATER SUPPLY (CAWS). A COPY OF THE CAWS WILL BE PROVIDED TO THE TOWN OF QUEEN CREEK WATER DIVISION ONCE OBTAINED.

**NOTES:**

1. THE IMPROVEMENTS SHOWN ON THIS PLAT WILL NOT BE FULLY APPROVED BY THE TOWN AND THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE WILL NOT BE ISSUED UNTIL THE UTILITY LINE UNDERGROUNDING REQUIREMENT HAS BEEN SATISFIED.
2. THIS SUBDIVISION SHALL COMPLY WITH THE ZONING ORDINANCE GUIDELINES FOR PLANNED AREA DEVELOPMENTS.

**SITE DATA**

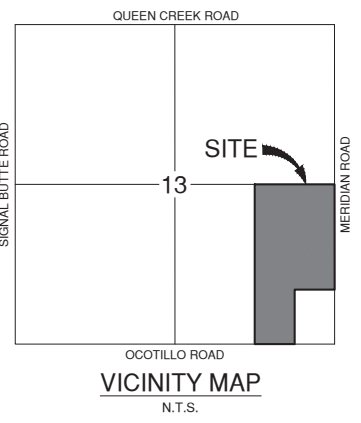
ZONING: R1-5, R1-7 & C-2 PAD, PA17-0025, CASE #RZ16-45  
F.E.M.A. ZONE: ZONE "X"  
TOTAL SINGLE FAMILY LOTS: 231  
SITE GROSS AREA: 81.11 ac  
SITE NET AREA: 75.02 ac  
RESIDENTIAL GROSS AREA: 66.05 ac  
RESIDENTIAL NET AREA: 63.06 ac  
REQUIRED OPEN SPACE: 12.61 ac (20.0%)  
PROPOSED OPEN SPACE: 12.72 ac (20.2%)  
REQUIRED ACTIVE OPEN SPACE: 3.94 ac (30.0%)  
PROPOSED ACTIVE OPEN SPACE: 4.18 ac (33.2%)  
DENSITY (net): 4.55 du/ac  
MIN LOT SIZE: 45'x125'  
MIN LOT AREA: 5,575.00 sf  
MAX LOT AREA: 21,389.77 sf  
AVERAGE LOT AREA: 6,878.68 sf

PARCEL 1  
AREA: 22.06 ac  
LOT SIZE: 55'x100'  
MIN LOT AREA: 5,500 sf  
MAX LOT AREA: 7,141 sf  
LOT COUNT: 83

PARCEL 2  
AREA: 25.22 ac  
LOT SIZE: 45'x125' & 55'x100'  
MIN LOT AREA: 5,625 sf & 5,500 sf  
MAX LOT AREA: 6,550 sf  
LOT COUNT: 97

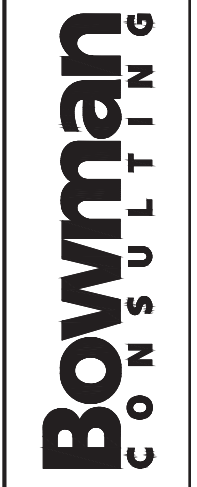
PARCEL 3  
AREA: 15.78 ac  
LOT SIZE: 65'x130'  
MIN LOT AREA: 8,450 sf  
MAX LOT AREA: 21,390 sf  
LOT COUNT: 51

COMMERCIAL AREA: 11.55 ac



**SHEET INDEX**

SHEET NUMBER	SHEET TITLE
PP01	PRELIMINARY PLAT COVER SHEET
PP02	LOT & TRACT TABLES, DETAILS
PP03	PRELIMINARY PLAT WITH UTILITIES
PP04	PRELIMINARY PLAT WITH UTILITIES
PP05	PRELIMINARY PLAT WITH UTILITIES



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Tempe, Arizona 85281  
Phone: (480) 629-8830  
www.bowmanconsulting.com  
© Bowman Consulting Group, Ltd.

PRELIMINARY PLAT COVER SHEET  
**MALONE PLACE PARKE**  
 MARICOPA COUNTY  
 QUEEN CREEK, ARIZONA

P17-0100  
PROJECT NUMBER

PLAN STATUS

DATE	DESCRIPTION
JUG DESIGN	ACJS DRAWN
	JUG CHKD

SCALE: H: 1"=150'  
V: NONE

JOB No. 050227-01-004

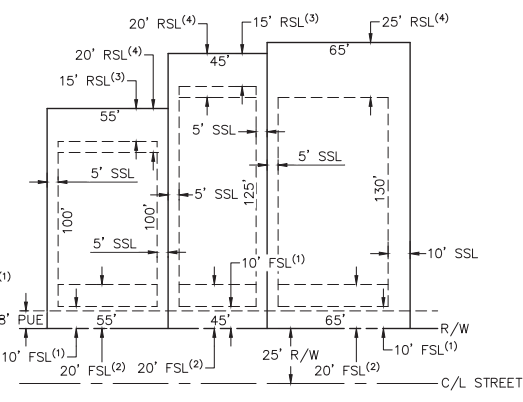
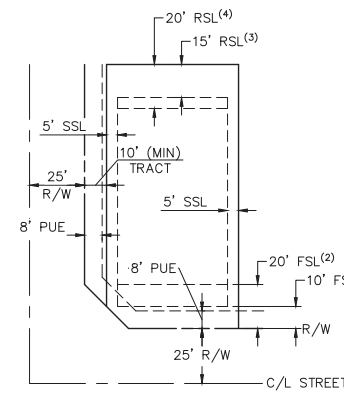
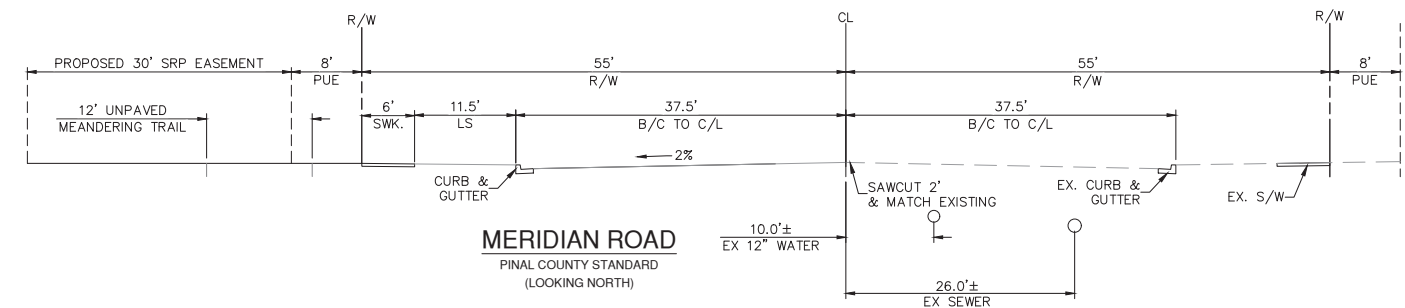
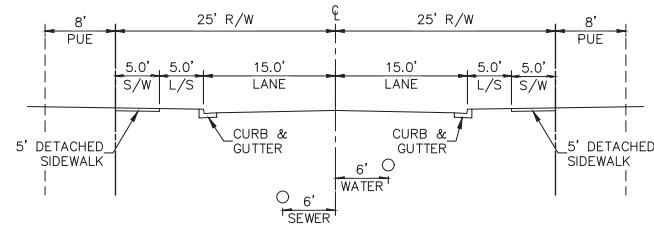
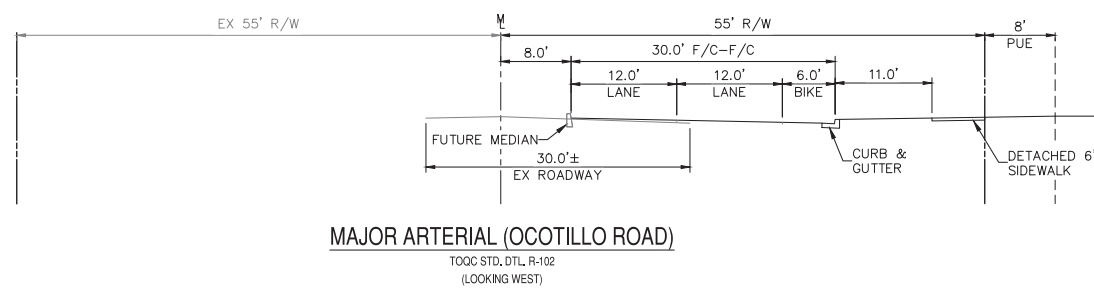
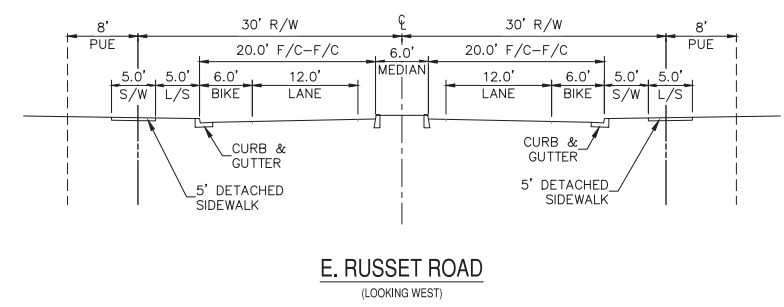
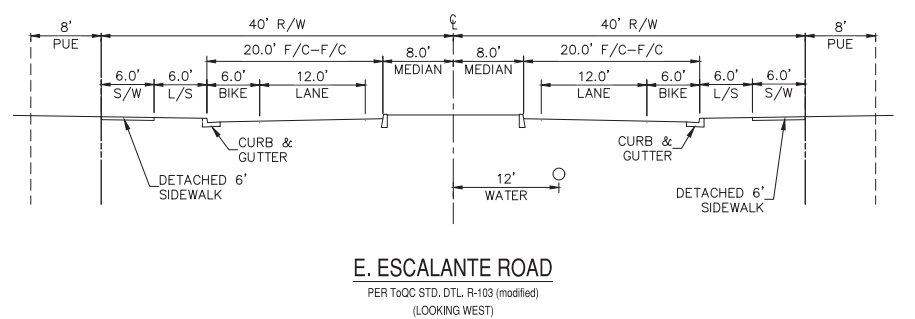
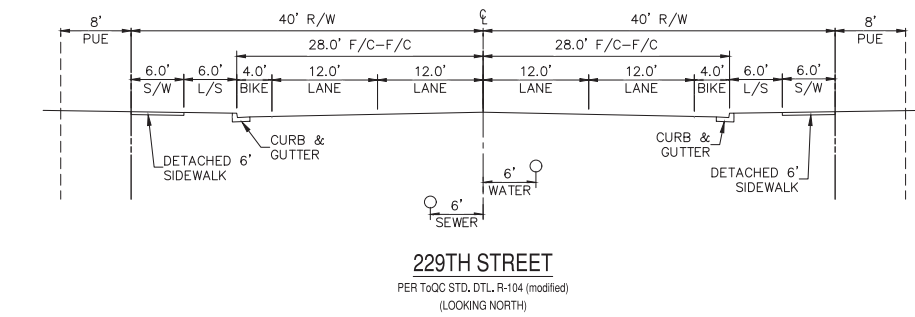
DATE: FEBRUARY 2018

PP01  
SHEET 01 OF 05



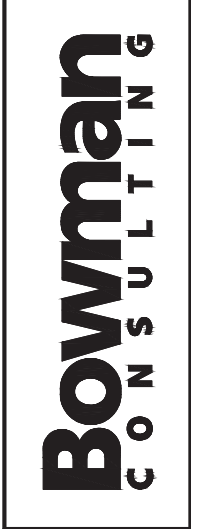
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LOT #	AREA	LOT #	AREA	LOT #	AREA	LOT #	AREA	LOT #	AREA	LOT #	AREA
1	6455.44 SF	36	6446.06 SF	71	6215.00 SF	106	8486.04 SF	141	5895.31 SF	176	7383.26 SF
2	6490.00 SF	37	6453.50 SF	72	6215.00 SF	107	8770.73 SF	142	5775.71 SF	177	6825.00 SF
3	6490.00 SF	38	6460.95 SF	73	6215.00 SF	108	8775.00 SF	143	5737.10 SF	178	6875.00 SF
4	6490.00 SF	39	6468.40 SF	74	6215.00 SF	109	8775.00 SF	144	5787.10 SF	179	6875.00 SF
5	6490.00 SF	40	6475.85 SF	75	6188.46 SF	110	8775.00 SF	145	5787.10 SF	180	6875.00 SF
6	6490.00 SF	41	6446.89 SF	76	6754.63 SF	111	8775.00 SF	146	5787.10 SF	181	6875.00 SF
7	6490.00 SF	42	6490.00 SF	77	6382.85 SF	112	8775.00 SF	147	5737.10 SF	182	6875.00 SF
8	6490.00 SF	43	6490.00 SF	78	6490.00 SF	113	8775.00 SF	148	5737.10 SF	183	6875.00 SF
9	6455.44 SF	44	6490.00 SF	79	6490.00 SF	114	8775.00 SF	149	5787.10 SF	184	5625.00 SF
10	6687.50 SF	45	6490.00 SF	80	6440.00 SF	115	8775.00 SF	150	5787.10 SF	185	5625.00 SF
11	6415.00 SF	46	6490.00 SF	81	6440.00 SF	116	8775.00 SF	151	5787.10 SF	186	5625.00 SF
12	6440.00 SF	47	6490.00 SF	82	6490.00 SF	117	8724.58 SF	152	5737.10 SF	187	5625.00 SF
13	6214.96 SF	48	6352.07 SF	83	6341.90 SF	118	8450.00 SF	153	5850.00 SF	188	5625.00 SF
14	6215.00 SF	49	6077.07 SF	84	8686.76 SF	119	8450.00 SF	154	5850.00 SF	189	5625.00 SF
15	6215.00 SF	50	6215.00 SF	85	8725.00 SF	120	8450.00 SF	155	5850.00 SF	190	5625.00 SF
16	6215.00 SF	51	6215.00 SF	86	8686.80 SF	121	8450.00 SF	156	5850.00 SF	191	5625.00 SF
17	6215.00 SF	52	6215.00 SF	87	16215.63 SF	122	8450.00 SF	157	5800.00 SF	192	5625.00 SF
18	6215.00 SF	53	6215.00 SF	88	21389.77 SF	123	8450.00 SF	158	5643.44 SF	193	5625.00 SF
19	6215.00 SF	54	6215.00 SF	89	10267.76 SF	124	8450.00 SF	159	5636.93 SF	194	5632.38 SF
20	6215.00 SF	55	6215.00 SF	90	10294.42 SF	125	8450.00 SF	160	5641.91 SF	195	5632.37 SF
21	6215.00 SF	56	6171.89 SF	91	10304.82 SF	126	8450.00 SF	161	5646.90 SF	196	5625.00 SF
22	6214.96 SF	57	6188.46 SF	92	10315.22 SF	127	8450.00 SF	162	5651.89 SF	197	5625.00 SF
23	6214.96 SF	58	6215.00 SF	93	10325.62 SF	128	8899.43 SF	163	5656.87 SF	198	5625.00 SF
24	6215.00 SF	59	6215.00 SF	94	10336.03 SF	129	8976.81 SF	164	5661.86 SF	199	5625.00 SF
25	6215.00 SF	60	6215.00 SF	95	8486.04 SF	130	8932.54 SF	165	5666.84 SF	200	5625.00 SF
26	6215.00 SF	61	6215.00 SF	96	8450.00 SF	131	8888.28 SF	166	5671.83 SF	201	5625.00 SF
27	6215.00 SF	62	6215.00 SF	97	8450.00 SF	132	8844.01 SF	167	5676.82 SF	202	5625.00 SF
28	6215.00 SF	63	6215.00 SF	98	8450.00 SF	133	8771.39 SF	168	5681.80 SF	203	5625.00 SF
29	6215.00 SF	64	6342.81 SF	99	8450.00 SF	134	9727.09 SF	169	6951.19 SF	204	5625.00 SF
30	6215.00 SF	65	6490.00 SF	100	8479.85 SF	135	6550.48 SF	170	6958.64 SF	205	5625.00 SF
31	6215.00 SF	66	6490.00 SF	101	8479.85 SF	136	5867.57 SF	171	6966.09 SF	206	6875.00 SF
32	6214.96 SF	67	6490.00 SF	102	8450.00 SF	137	5993.91 SF	172	6973.54 SF	207	6875.00 SF
33	7141.15 SF	68	6342.81 SF	103	8450.00 SF	138	5972.75 SF	173	6980.99 SF	208	6875.00 SF
34	6283.51 SF	69	6215.00 SF	104	8450.00 SF	139	5951.53 SF	174	6988.43 SF	209	6875.00 SF
35	6438.61 SF	70	6215.00 SF	105	8450.00 SF	140	5930.31 SF	175	6995.88 SF	210	6875.00 SF
								231	5632.37 SF		

TRACT AREA		
TRACT ID	TRACT USE	AREA
1A	OPEN SPACE, LANDSCAPE, RETENTION	34727.34 SF
1B	OPEN SPACE, LANDSCAPE, RETENTION	33554.08 SF
1C	OPEN SPACE, LANDSCAPE	4120.00 SF
1D	OPEN SPACE, LANDSCAPE	4055.53 SF
1E	OPEN SPACE, LANDSCAPE	4120.00 SF
1F	OPEN SPACE, LANDSCAPE	4055.53 SF
1G	OPEN SPACE, AMENITY, LANDSCAPE	21270.16 SF
1H	OPEN SPACE, LANDSCAPE, RETENTION	40787.61 SF
1I	OPEN SPACE, LANDSCAPE	2161.24 SF
1J	OPEN SPACE, LANDSCAPE	4120.00 SF
1K	OPEN SPACE, LANDSCAPE	2526.53 SF
1L	OPEN SPACE, LANDSCAPE	4134.35 SF
1M	OPEN SPACE, LANDSCAPE, RETENTION	52509.60 SF
1N	OPEN SPACE, LANDSCAPE	10300.00 SF
1O	OPEN SPACE, LANDSCAPE	10300.00 SF
2A	OPEN SPACE, LANDSCAPE, RETENTION	30492.91 SF
2B	OPEN SPACE, LANDSCAPE, RETENTION	21207.23 SF
2C	OPEN SPACE, LANDSCAPE, RETENTION	119900.21 SF
2D	OPEN SPACE, LANDSCAPE	2200.00 SF
2E	OPEN SPACE, LANDSCAPE	2085.25 SF
2F	OPEN SPACE, LANDSCAPE, AMENITY, RETENTION	91442.24 SF
2G	OPEN SPACE, LANDSCAPE	2272.05 SF
2H	OPEN SPACE, LANDSCAPE	2272.05 SF
2I	OPEN SPACE, LANDSCAPE	7185.82 SF
2J	OPEN SPACE, LANDSCAPE	1664.71 SF
3A	OPEN SPACE, LANDSCAPE	1200.00 SF
3B	OPEN SPACE, LANDSCAPE	1200.00 SF
3C	OPEN SPACE, LANDSCAPE	3226.44 SF
3D	OPEN SPACE, LANDSCAPE	3214.06 SF
3E	OPEN SPACE, LANDSCAPE	2982.41 SF
3F	OPEN SPACE, LANDSCAPE	6750.00 SF
3G	OPEN SPACE, LANDSCAPE	6750.00 SF
3H	OPEN SPACE, LANDSCAPE	4102.41 SF
3I	OPEN SPACE, LANDSCAPE, RETENTION	30636.45 SF
A	OPEN SPACE, LANDSCAPE	17590.36 SF



- NOTES:
- 10' FRONT SETBACK TO FRONT OF SIDE ENTRY GARAGE, LIVING SPACE & COVERED PORCH
  - 20' FRONT SETBACK TO FACE OF GARAGE
  - 15' REAR SETBACK FOR 55'X100', 45'X125' SINGLE STORY PRODUCTS OR COVERED PATIOS
  - 20' REAR SETBACK FOR 55'X100', 45'X125' TWO STORY PRODUCTS; 25' REAR SETBACK FOR 65'X130' TWO STORY PRODUCT
- SEE PAD FOR OTHER SETBACK NOTES

- LEGEND
- SSL SIDE SETBACK LINE
  - RSL REAR SETBACK LINE
  - FSL FRONT SETBACK LINE
  - PUE PUBLIC UTILITY EASEMENT
  - R/W RIGHT OF WAY



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LOT & TRACT TABLES, DETAILS  
MALONE PLACE PARKE  
MARICOPA COUNTY  
QUEEN CREEK, ARIZONA

P17-0100  
PROJECT NUMBER



DATE	DESCRIPTION
JG	ACJS
DESIGN	DRAWN
SCALE	H: AS NOTED
	V: AS NOTED
JOB No.	050227-01-004
DATE	FEBRUARY 2018

PLAN STATUS

PP02  
SHEET 02 OF 05

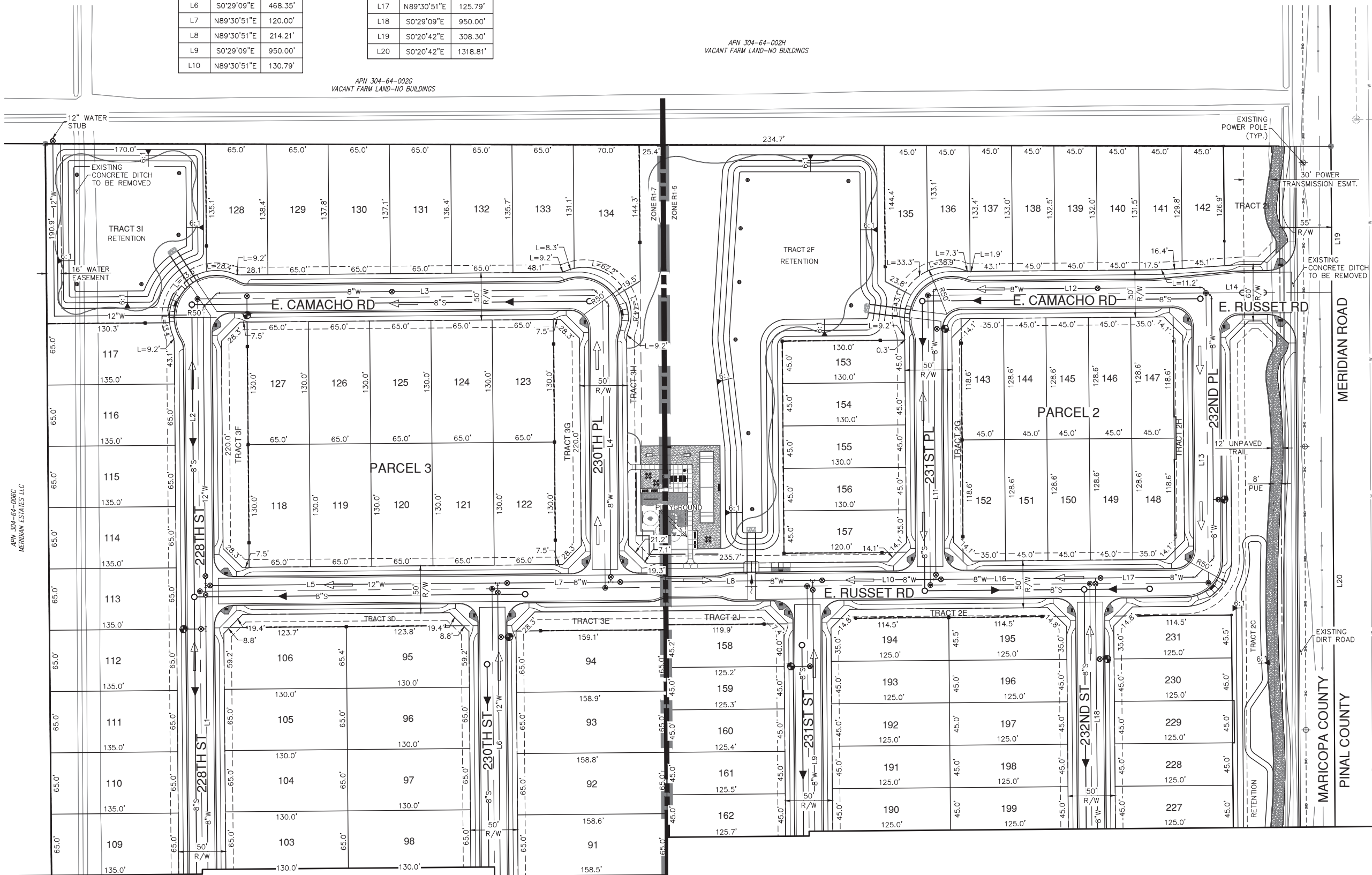


CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L1	S0°29'09"E	468.35'
L2	S0°29'09"E	310.00'
L3	N89°30'51"E	430.00'
L4	S0°29'09"E	310.00'
L5	N89°30'51"E	310.00'
L6	S0°29'09"E	468.35'
L7	N89°30'51"E	120.00'
L8	N89°30'51"E	214.21'
L9	S0°29'09"E	950.00'
L10	N89°30'51"E	130.79'

CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L11	S0°29'09"E	307.20'
L12	N89°30'51"E	295.00'
L13	S0°29'09"E	307.20'
L14	S89°38'13"W	133.61'
L16	N89°30'51"E	169.21'
L17	N89°30'51"E	125.79'
L18	S0°29'09"E	950.00'
L19	S0°20'42"E	308.30'
L20	S0°20'42"E	1318.81'

APN 304-64-002G  
VACANT FARM LAND-NO BUILDINGS

APN 304-64-002H  
VACANT FARM LAND-NO BUILDINGS



APN 304-64-006C  
MERIDIAN ESTATES LLC

SEE SHEET PP04



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PRELIMINARY PLAT WITH UTILITIES  
**MALONE PLACE PARKE**

QUEEN CREEK, ARIZONA

MARICOPA COUNTY

P17-0100  
PROJECT NUMBER



PLAN STATUS

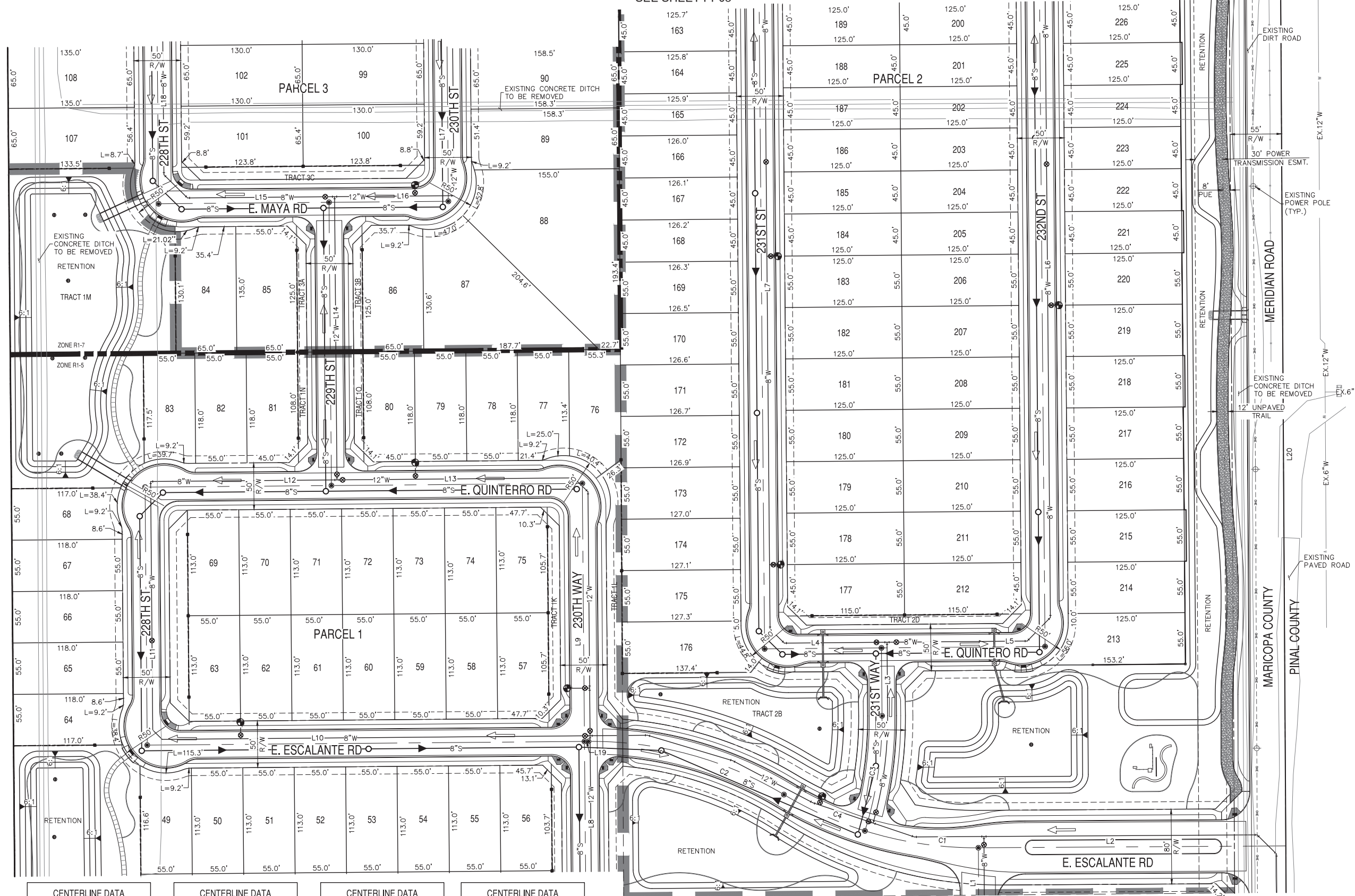
DATE	DESCRIPTION
JUG DESIGN	ACJUS DRAWN
	JUG CHKD
SCALE: H: 1" = 50'	
V: NONE	
JOB No. 050227-01-004	
DATE: FEBRUARY 2018	



DATE	DESCRIPTION
JUG	ACJS
DESIGN	DRAWN
SCALE	CHKD
H: 1" = 50'	
V: NONE	
JOB No.	050227-01-004
DATE	FEBRUARY 2018

SEE SHEET PP03

SEE SHEET PP05



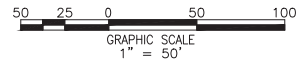
LINE #	BEARING	DISTANCE
L1	N0°20'42"W	100.00'
L2	N89°39'18"E	328.84'
L3	S0°29'09"E	72.67'
L4	N89°30'51"E	125.00'
L5	N89°30'51"E	175.00'

LINE #	BEARING	DISTANCE
L6	S0°29'09"E	950.00'
L7	S0°29'09"E	950.00'
L8	S0°29'09"E	281.00'
L9	N0°29'09"W	276.00'
L10	N89°30'51"E	467.71'

LINE #	BEARING	DISTANCE
L11	S0°29'09"E	276.00'
L12	N89°30'51"E	199.34'
L13	N89°30'51"E	268.37'
L14	S0°29'09"E	303.00'
L15	N89°30'51"E	182.34'

LINE #	BEARING	DISTANCE
L16	N89°30'51"E	127.66'
L17	S0°29'09"E	468.35'
L18	S0°29'09"E	468.35'
L19	N89°30'51"E	4.29'
L20	S0°20'42"E	1318.81'

CURVE #	LENGTH	RADIUS	DELTA
C1	123.22'	400.00'	17°39'00"
C2	219.37'	400.00'	31°25'23"
C3	124.90'	400.00'	17°53'27"
C4	95.17'	400.00'	13°37'56"



APN 304-64-008C  
MERIDIAN ESTATES LLC





DATE	DESCRIPTION
JUG DESIGN	ACJS DRAWN
JUG	CHKD
SCALE	H: 1" = 50'
	V: NONE
JOB No.	050227-01-004
DATE	FEBRUARY 2018

SEE SHEET PP04

CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L1	S0°20'42"E	2503.06'
L2	S0°38'13"W	86.50'
L3	S89°55'06"W	1027.79'
L4	S6°36'21"E	61.69'
L5	S0°29'09"E	68.28'
L6	N89°30'51"E	184.71'
L7	N89°30'51"E	180.00'
L8	S0°29'09"E	276.00'
L9	N89°30'51"E	364.71'
L10	S0°29'09"E	276.00'
L11	N89°30'51"E	364.71'
L12	N89°30'51"E	103.00'
L13	S0°29'09"E	557.00'
L14	S0°29'09"E	276.00'
L15	S0°29'09"E	276.00'

CENTERLINE CURVE DATA			
CURVE #	LENGTH	RADIUS	DELTA
C1	106.81'	1000.00'	6°07'12"
C2	329.48'	5697.00'	3°18'49"

APN: 304-64-006C  
MERIDIAN ESTATES LLC

