



**TO: PLANNING AND ZONING COMMISSION**

**FROM: BRETT BURNINGHAM, PLANNING ADMINISTRATOR**

**RE: Discussion and Possible Approval of P17-0126, “Ben Franklin Church of Jesus Christ of Latter-Day Saints (LDS) Meetinghouse Site Plan”, a request by Jim King for approval of a Major Site Plan for a new 20,845 square foot LDS Meetinghouse, located at the southwest corner of Germann Road and Rittenhouse Road, within the Cortina subdivision.**

**DATE: JANUARY 10, 2018**

**STAFF RECOMMENDATION**

Staff recommends approval of P17-0126, “Ben Franklin Church of Jesus Christ of Latter-Day Saints Meetinghouse Site Plan”, subject to the Conditions of Approval outlined in this report.

**RELEVANT COUNCIL GOAL**



Quality Lifestyle

**PROPOSED MOTION**

Move to approve P17-0126, “Ben Franklin Church of Jesus Christ of Latter-Day Saints Meetinghouse Site Plan”, subject to the Conditions of Approval outlined in this report.

**SUMMARY**

The proposal consists of a request for approval of a site plan, landscaping and building elevations for a new 20,845 square foot LDS Church Meetinghouse. The site is approximately 6.09 acres in size and is located at the southwest corner of Germann Road and Rittenhouse Road, within the Cortina subdivision.

**HISTORY**

The site has been a vacant neighborhood commercial parcel associated with the Cortina subdivision.

In Dec. 2014, Corner Store started a Conditional Use Permit (C14-062) and Site Plan (SP14-063). However, both applications were withdrawn in 2015 after significant neighborhood opposition.

**DISCUSSION**

The Church of Jesus Christ of Latter-Day Saints (LDS) is requesting approval of a site plan, landscaping and building elevations for a new 20,845 square foot meetinghouse. The site is approximately 6.09 acres in size and located at the southwest corner of Germann Road and Rittenhouse Road, within the Cortina subdivision.

The proposed church building will service the growing LDS population by adding accommodations for 3-4 additional congregations in the immediate area. The proposed building architecture is consistent with existing LDS buildings built around Queen Creek and will be constructed of exposed brick with concrete tile roof and a white metal steeple. The proposed building is one story in height with the main roofline being approximately 27 feet tall, with the maximum height of the steeple at 70 feet in height. The proposed building heights are in compliance with the 30-foot allowable height in the C-1 zoning district.

The subject property was planned as a neighborhood commercial parcel associated with the Cortina residential development. The current zoning for the site is Light Commercial (C-1). Churches are a permitted use in the C-1 zoning district. The church will be accessed by one (1) existing driveway off of Germann Road, and one (1) drive entrance off of Rittenhouse Road. After reviewing the Traffic Impact Analysts, the Town Transportation Manager has determined that access on Rittenhouse Road shall be right-in/right-out with a declaration lane and a Condition of Approval has been added accordingly.

<b>Project Information</b>	
Project Name	Ben Franklin LDS Church Meetinghouse
Site Location	SWC of Germann Rd. and Rittenhouse Rd.
Current Zoning	Light Commercial (C-1)
General Plan Designation	Neighborhood Commercial (NC)
Surrounding Zoning Designations:	
North	Germann Road R1-43 (Rural Estate District) - Benjamin Franklin High School
South	R1-6 (Urban Development Type A District) - Cortina
East	Rittenhouse Road MDR (Medium Design Residential) - Cortina
West	MDR (Medium Design Residential) - Cortina
Site Area	6.09 Acres
Parking Required	163
Parking Provided	299

<b>Project Information</b>	
Landscaping Required	25%
Landscaping Provided	35%
Bldg. Square Footage	20,845

**ANALYSIS**

**General Plan Review:** The project is located in the Neighborhood Commercial designation on the 2008 General Plan Land Use map. The project is consistent with the General Plan as the Neighborhood Commercial designation allows religious institutions.

**Zoning Review:** The zoning designation of the property is Light Commercial (C-1) allows for religious institutions.

**Site Plan Review:** The project meets the Zoning Ordinance Standards for Religious Institutions.

**Building Elevation Review:** The building elevations are in compliance with the Town Design Standards and are consistent with other Church of Jesus Christ of Latter-Day Saints (LDS) buildings that have been built in the Town.

**Landscape Plan Review:** The overall landscaping meets the Town’s standards as set forth in the Zoning Ordinance.

**Public Comments:** Staff has not received any public comment to date.

**CONDITIONS OF APPROVAL**

1. This project shall be developed in accordance with the plans and exhibits associated with this case and all the provisions of the Town zoning ordinance.
2. Access on Rittenhouse Road shall be right-in/right-out with a declaration lane. Please utilize Standard Details P1243-4 with 30' return.

**ATTACHMENTS**

1. Aerial Photo Exhibit
2. General Plan Exhibit
3. Zoning Exhibit
4. Site Plan
5. Landscape Plan
6. Building Elevations



# Project Name: Ben Franklin LDS Meetinghouse Site Plan

Case Number: P17-0126

Hearing Date: January 10, 2018

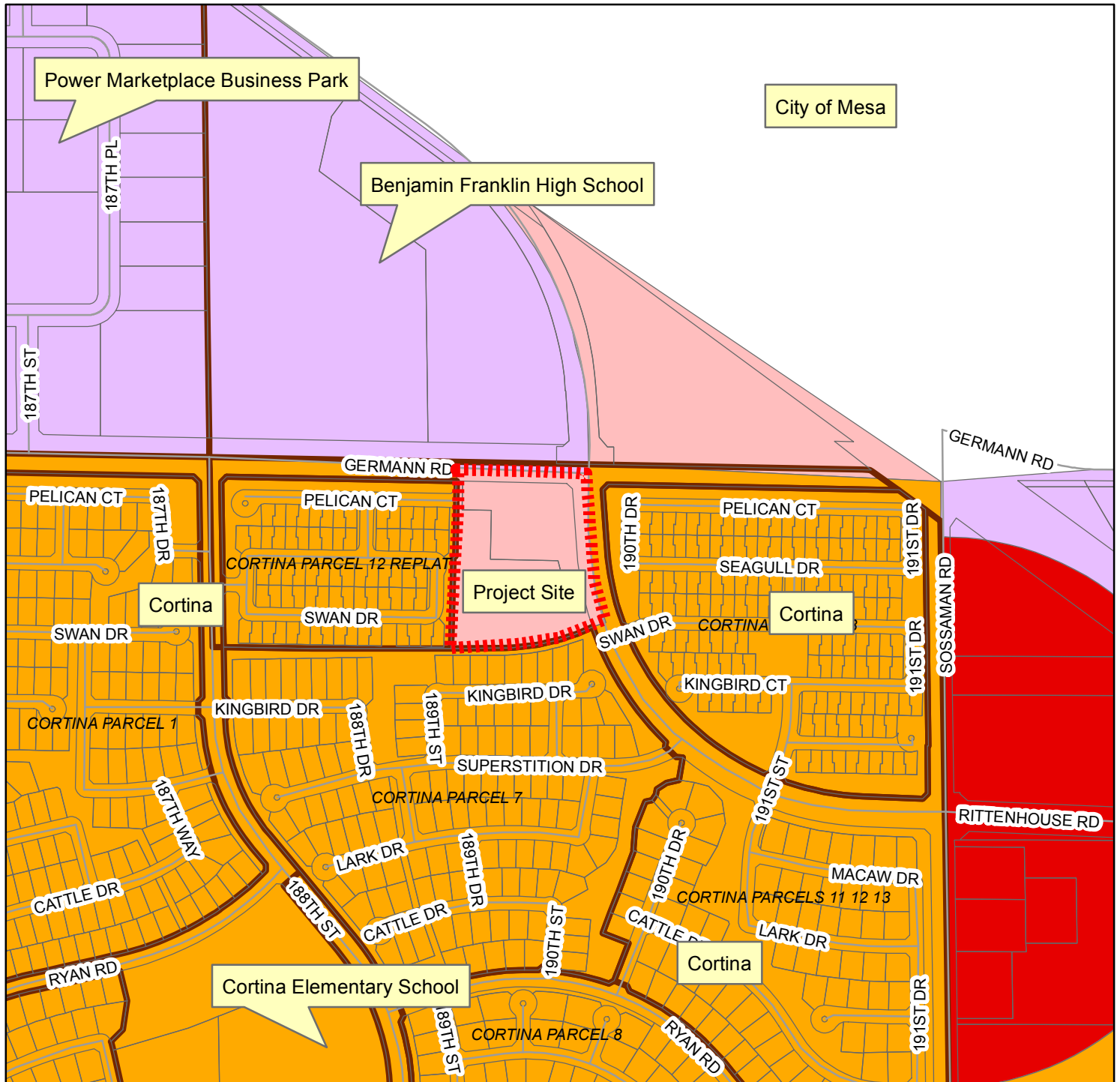






















# Project Name: Ben Franklin LDS Meetinghouse Site Plan

Case Number: P17-0126

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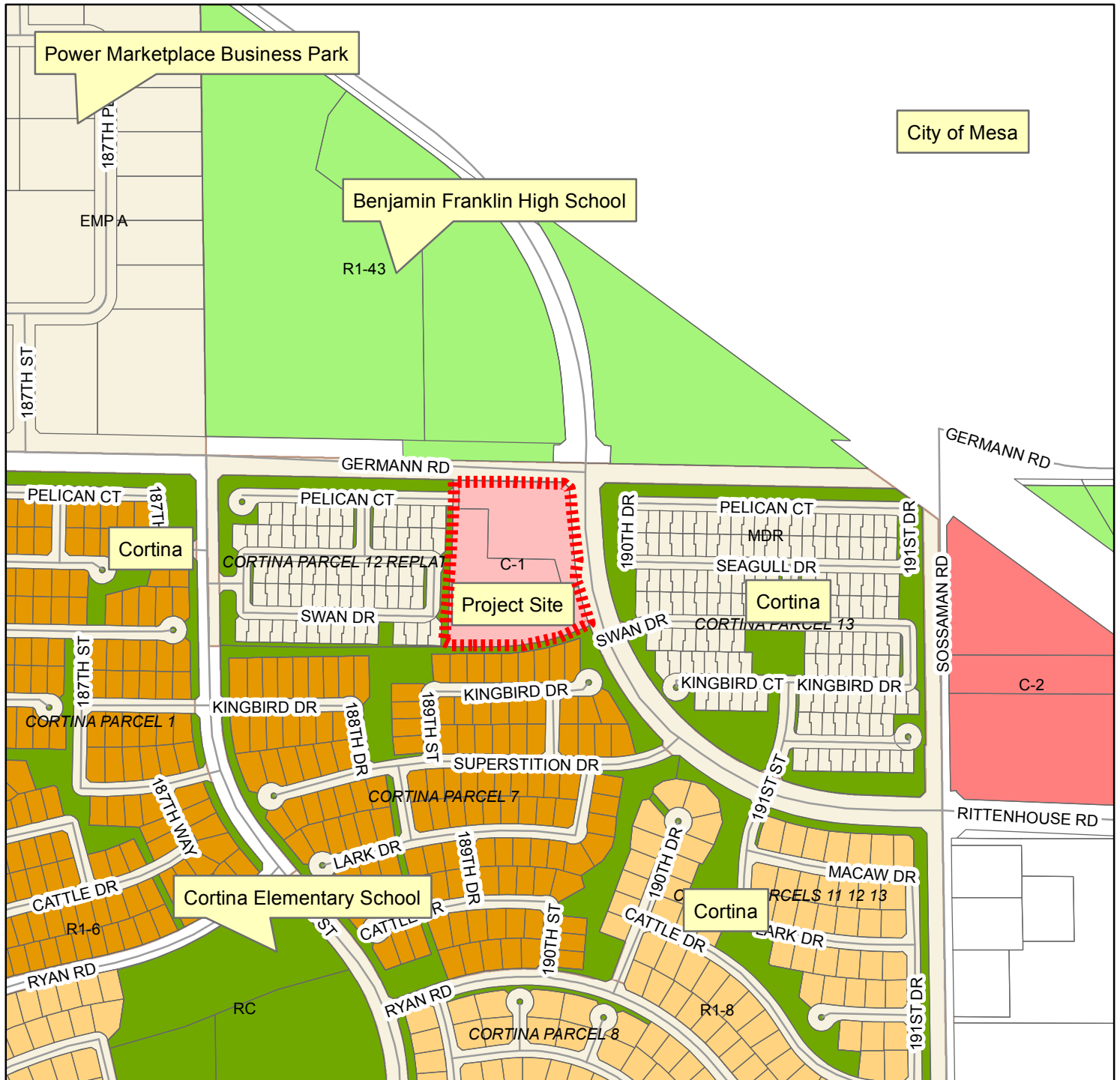
## General Plan Land Use

 Very Low Density Residential (0-1 DU/AC)	 Mixed Use	 Regional Commercial Center
 Low Density Residential (0-2 DU/AC)	 Town Center Mixed Use	 Employment Type A
 Medium Density Residential (0-3 DU/AC)	 Neighborhood Commercial	 Employment Type B
 MHDR	 Community Commercial	 Agritainment
 Multi-Family	 Office/Services	 Public/Quasi-Public
 Master Planned Community (0-1.8 DU/AC)	 Commercial	 Open Space

# Project Name: Benjamin Franklin LDS Meetinghouse Site Plan Zoning Exhibit

Case Number: P17-0126

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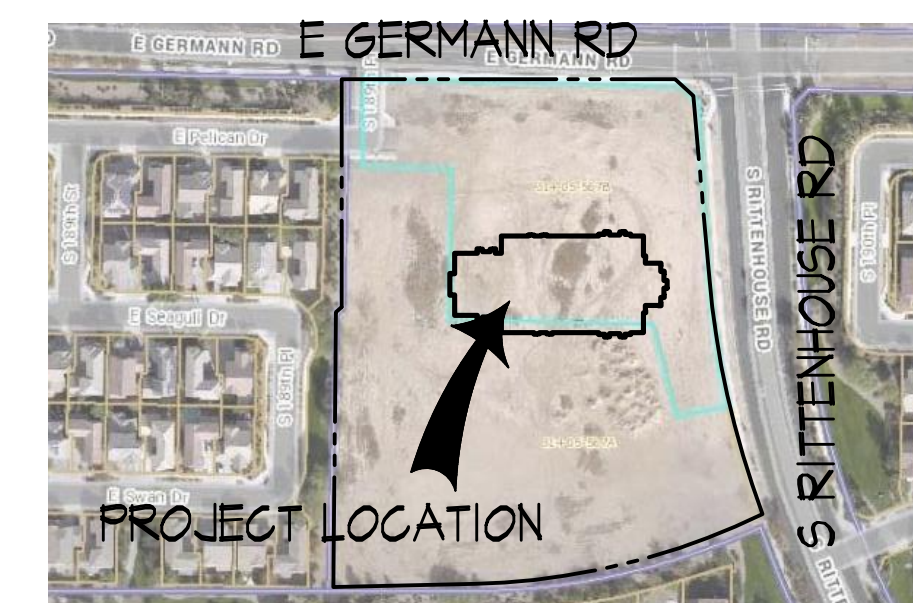


## Zoning Districts

C-1, Commercial	PQP, Public/Quasi-Public	R1-4, Residential	R1-9, Residential	R1-35, Residential
C-2, Commercial	RC, Recreation/Conservation	R1-5, Residential	R1-10, Residential	R1-43, Residential
TC, Commercial	R-2, Residential	R1-6, Residential	R1-12, Residential	R1-54, Residential
I-1, Industrial	R-3, Residential	R1-7, Residential	R1-15, Residential	R1-190, Residential
I-2, Industrial	R-4, Residential	R1-8, Residential	R1-18, Residential	



RI-43 ZONE ACROSS STREET



VICINITY MAP

SITE INFORMATION

PARCEL NO. 314 -05 -567A#B
ZONING C-1, LIGHT COM.
NEW GRANGER 250 SC BUILDING S.F.
W/ 3 ROOM SEMINARY POD 20,845 S.F.
SITE S.F.
GROSS AREA 265,206 S.F. (6.09 ACRES)
NET AREA 265,206 S.F. (6.09 ACRES)

PARKING
ONE PARKING SPACE PER 8 SEATS IN CHAPEL REQ'D
286 SEATS / 8 = 36 STALLS REQ'D.
OR 1300 OCCUPANT LOAD = 1300 / 8 = 163 STALLS REQ'D.
PARKING PROVIDED STANDARD SPACES 241
HANDICAP SPACES 8
TOTAL 249

KEY NOTES

- 1. CONCRETE PAVING.
2. INDICATES FIRE LANE.
3. LIGHTED FLAG POLE SEE L/ACT02.
4. BUILDING ADDRESS SIGN. SEE SIGN PERMIT DOCUMENTS.
5. LIGHT POLE - TYP. (15'-0") HIGH MAX PER B, C16/ACT02
6. FIRE DEPT. KNOX BOX, ORDERED AND INSTALLED PER TOWN OF QUEEN CREEK FPD
7. 6'-0" TALL CMU WALL W/ POSTS MIN 150' O.C. AS SHOWN, PER ACT04
8. SERVICE ENTRY SECTION FOR ELECTRICAL.
9. TRANSFORMER W/ CONC. PAD AND BOLLARDS AS REQ'D BY UTILITY CO.
10. NOT USED
11. CURB PAINTED AND MARKED "NO PARKING - FIRE LANE", PER TOWN OF QUEEN CREEK
12. 9'-0" SIDEWALK
13. NEW FIRE HYDRANT - PROVIDE 3'-0" CLEARANCE.
14. NOT USED.
15. MEETING HOUSE STONE SIGN. SEE SIGN PERMIT DOCUMENTS
16. ACCESSIBLE RAMP AT ADA PARKING, SEE DETAIL SHEET J/ACT02.
17. 5'-0" SIDEWALK
18. 12'-0" SIDEWALK
19. ACCESSIBLE STRIPING TO BE WHITE AND AT 45° ANGLE.
20. ACCESSIBLE PARKING SIGNAGE SEE N/ACT01.
21. CONCRETE BOLLARD, SEE R/ACT01
22. WASHED AGGREGATE FINISH CONCRETE
23. TRASH ENCLOSURE PER A/ACT03 & B/ACT03
24. REMOTE FIRE DEPARTMENT CONNECTION (FDC)
25. 4'-0" SIDEWALK
26. 1'-0" CONCRETE STEP OFF WALK
27. CMU MECHANICAL ENCLOSURE PER D/ACT03. HEIGHT SHALL BE MIN. 12" ABOVE TOP OF MECHANICAL UNITS.
28. APPROX. LOCATION OF BACK FLOW PREVENTION DEVICES FOR POTABLE WATER AND IRRIGATION. SEE CIVIL AND LANDSCAPING DRAWINGS FOR MORE INFORMATION.
29. NOT USED
30. NOT USED
31. MECHANICAL ENCLOSURE GATE PER C/ACT03
32. 3'-0" CMU PARKING SCREEN WALL PER ACT04
33. SATELLITE DISH, RECEIVE ONLY PER D/ACT02
34. ELECTRIC BOX FOR FUTURE CONNECTION - SEE ELECTRICAL.

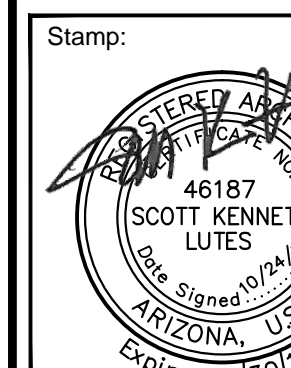
GENERAL NOTES

- 1 - VERTICAL CONSTRUCTION WITH COMBUSTIBLE MATERIALS, SHALL NOT BEGIN PRIOR TO ACCEPTANCE OF FIRE ACCESS ROADS AND FIRE HYDRANTS.
2 - STRUCTURE CONSTRUCTION, ALTERATION, OR DEMOLITION, SHALL COMPLY WITH REQUIREMENTS OF IFC CHAPTER 14 AND NFPA 241.

OWNER INFORMATION

JIM KING, PROJECT MANAGER
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BENJAMIN FRANKLIN WARD
QUEEN CREEK WEST AZ STAKE
SW CORNER E GERMAN RD & E RITTENHOUSE RD
QUEEN CREEK, AZ 85142

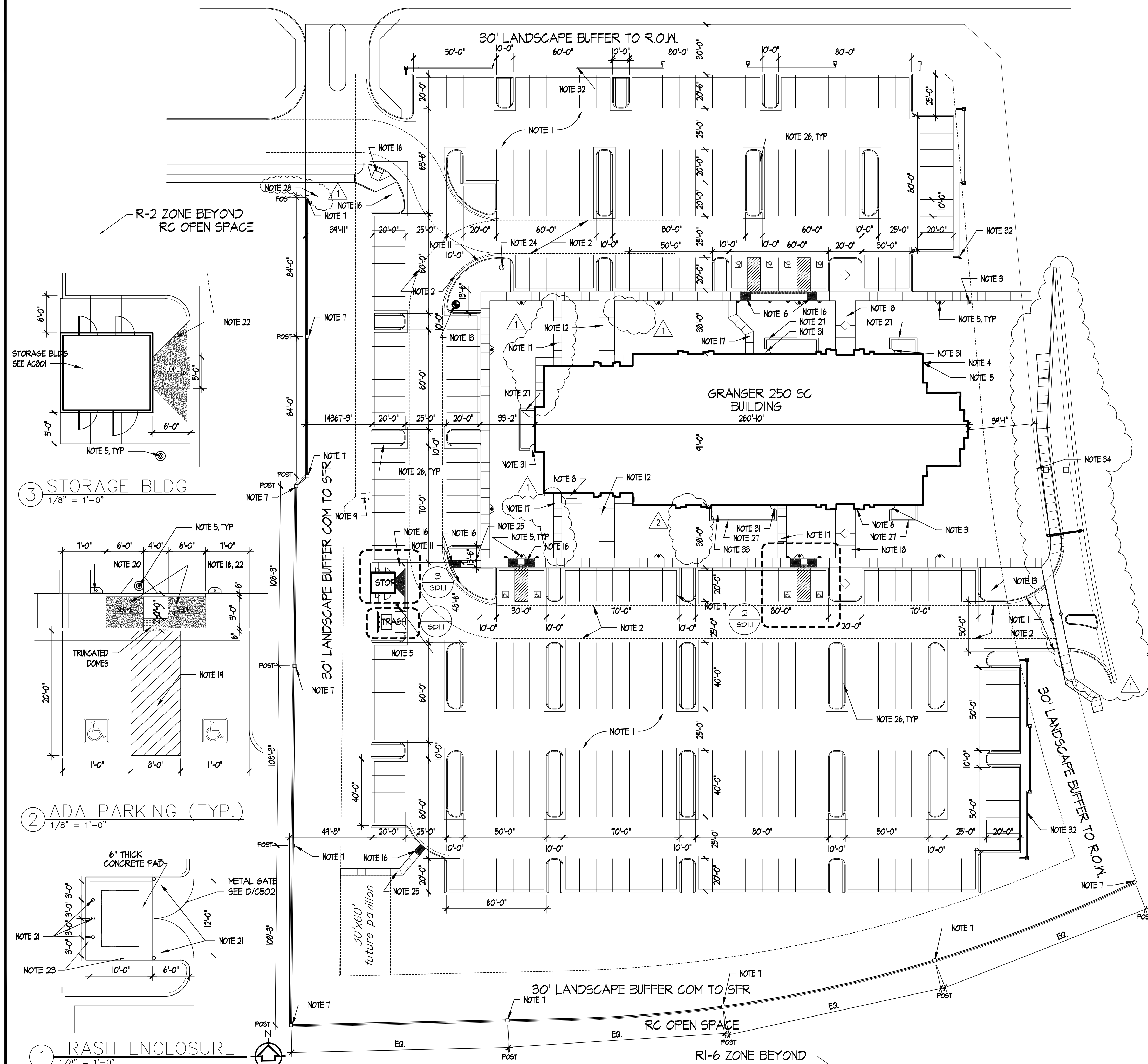
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Table with columns: TOCC 1st Building Rev, TOCC 1st Planning Rev, DATE, SUBMISSIONS

Project Number: 1717478
Plan Series: G25-SC-17-02-W3CRPOD
Property Number: 501-0325

Sheet Title:
SITE PLAN
SITE DETAILS

Sheet: SD1.1



RC OPEN SPACE
R-2 ZONE BEYOND

SITE PLAN
1" = 30'-0"

3 STORAGE BLDG
1/8" = 1'-0"

2 ADA PARKING (TYP.)
1/8" = 1'-0"

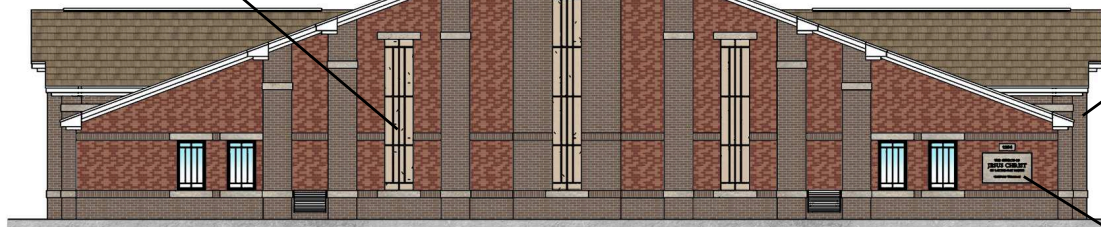
1 TRASH ENCLOSURE
1/8" = 1'-0"

Emc2 Architects & Planners, P.C.



-  Interstate Brick "Mountain Red"
-  Interstate Brick "Park Rose"
-  Interstate Brick "Ironstone"
-  EIFS DEC747 "Sahara"
-  Concrete Tile Roofing Eagle "Grey/Brown Range"

EIFS:  
DEC747  
"Sahara"

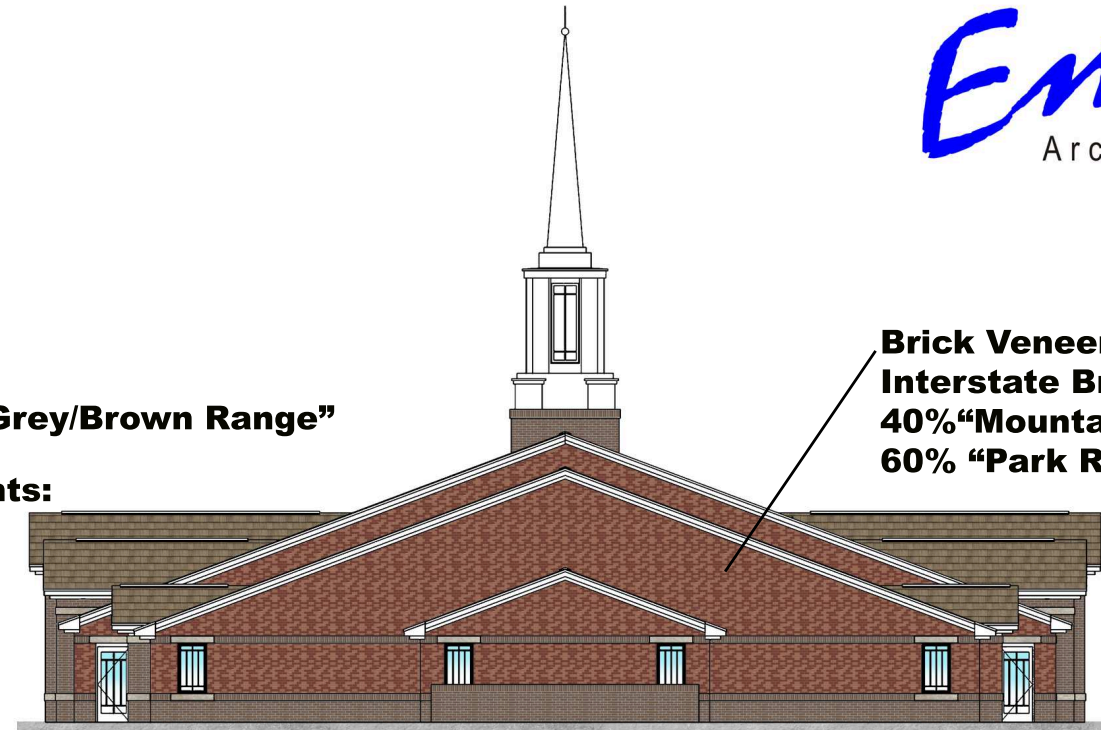


**EAST ELEVATION**

Brick Veneer Accents:  
Interstate Brick:  
"ironstone"

Signage:  
Hans  
"Elberton Sunset Pink"  
Granite

Brick Veneer Field:  
Interstate Brick:  
40% "Mountain Red"  
60% "Park Rose"



**WEST ELEVATION**

Concrete Tile Roofing:  
Eagle Grey/Brown Range



**NORTH ELEVATION**

Header/Sill:  
Precast Concrete  
Sonora "Natural Grey"



**SOUTH ELEVATION**

REVISION:  
10/05/17

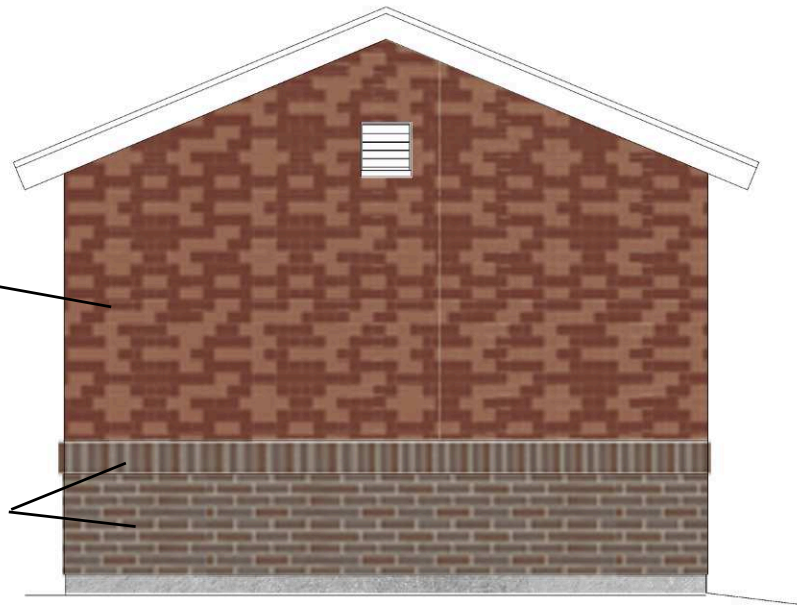
**BEN FRANKLIN WARD**



**Concrete Tile Roofing:  
Eagle Grey/Brown Range**

**Brick Veneer Field:  
Interstate Brick:  
40% "Mountain Red"  
60% "Park Rose"**

**Brick Veneer Accents:  
Interstate Brick:  
"ironstone"**



**WEST ELEVATION**



**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**

-  Interstate Brick "Mountain Red"
-  Interstate Brick "Park Rose"
-  Interstate Brick "Ironstone"
-  EIFS DEC747 "Sahara"
-  Concrete Tile Roofing Eagle "Grey/Brown Range"